



## Historic Structures and Buildings Within Historic Districts

### Chapter 18.105

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Red = 3/27/14

#### 18.105.020 – Building design – Remodeled historic buildings

##### A. REQUIREMENT:

Complies      Conflicts      N/A



Protect and preserve buildings of special historic significance and merit in accordance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (as amended). Historic features are those which have been identified by the Heritage Commission on the Olympia Heritage Register, Washington Heritage Register, and the National Register of Historic Places.

##### B. GUIDELINES:

1. Restore or retain as many historic features as possible.
2. Maintain or restore original proportions, dimensions and architectural elements.
3. Select paint and material colors which are historically accurate, coordinate the entire facade, and do not conflict with adjacent buildings.
4. Consult available historical resources, the Heritage Commission, or Community Planning and Development Department for assistance and detailed information.

#### 18.105.030 – Building design - Structures within a historic district

##### A. REQUIREMENT:

Complies      Conflicts      N/A



Ensure that new or remodeled structures within a historic district will preserve the historic context and merit of the district.

##### B. GUIDELINES:

- ✓ 1. Use roof forms that emulate the historic property roof form.
- ✓ 2. Use windows, materials, relief and details similar to the historic property.
3. Use similar building articulation that breaks up the building mass into modules which reflect proportions similar to the historic building. Methods used to create intervals which reflect and promote compatibility and which respect the scale of the historic building include:
  - ✓ a. Facade modulation - stepping back or extending forward a portion of the facade.
  - ✓ b. Repeating the window patterns at intervals equal to the articulation interval.
  - ✓ c. Providing a porch, patio, deck, or covered entry to the articulation interval.
  - ✓ d. Providing a balcony or bay window for each interval.
  - ✓ e. Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.
  - f. Changing materials with the change in building plane.
  - g. Providing a lighting fixture, trellis, tree or other landscape feature within each interval.
  - h. Using paint and material colors that blend with the historic property.
  - i. Using landscape materials and plantings that are similar to those used on the historic property.

Detail D.R.  
" " "  
N/A

Project Name 4th Ave. Mixed Use Building

Master File # 08-0117

Concept Design Review  
 Detail Design Review

Date: 8/28/08

7/23/09

3/27/14

204-Concept DR

**CITY OF OLYMPIA  
BASIC COMMERCIAL DESIGN CRITERIA**

**Chapter 18.110**

**18.110.020 Frontage**

**A. REQUIREMENT:**

Buildings must abut at least fifty percent (50%) of the street frontage. Gaps in frontage between buildings on a single project may not exceed eighty (80) feet in length.

Complies      Conflicts      N/A

**18.110.030 – Connections**

**A. REQUIREMENT:**

Provide driveway and sidewalk connections to and through the development to adjoining streets, bus stops, designated urban trails, and properties, where access exists or reasonable connections are possible. If a parking lot lies between the building entry and an adjacent public street, a pedestrian walkway at least six (6) feet wide shall be provided between them. In all other cases, on-site sidewalks shall have a passable width of at least four (4) feet. All crossings of vehicular travel lanes shall be clearly marked.

Complies      Conflicts      N/A

**B. GUIDELINES:**

- Provide clear pedestrian circulation routes on site.
- Minimize curb cuts by sharing driveways and access from side streets whenever possible.
- On large sites where no public streets exist, create a grid street system within the project.
- Locate storm drainage ponds, swales, and other drainage system components so they do not unreasonably impede pedestrian access to or between buildings.
- Provide a direct and clear visual connection through the buildings to the front street if parking is located behind the buildings.
- Provide signs for pedestrians and vehicles within the site, if necessary.
- Provide walkways through parking bays and adjacent to landscape islands.

**18.110.040 – Fences and walls**

**A. REQUIREMENT:**

Complies	Conflicts	N/A
		<del>X</del>
		✓

Minimize the use of fences that inhibit pedestrian movement or separate the project from the neighborhood and adjoining streets. Front yards shall be visually open to the street. Where fencing is necessary, maintain a human scale along the street by providing pedestrian connections through use of gates or openings at frequent intervals.

**B. GUIDELINES:**

- Provide variation in fencing through use of stepped fence heights or small setbacks.
- Add visual interest by providing variation in fence materials, texture, or colors.
- Provide landscape screening to break up long expanses of fencing.
- Repeat use of building facade material on fence columns and/or stringers.
- Provide lighting, canopies, trellises or other features to add visual interest.

**18.110.050 – Pedestrian amenities**

**A. REQUIREMENT:**

Complies	Conflicts	N/A
✓		

*Detail Design Review*

Provide pedestrian amenities in places where people typically gather, including but not limited to, transit stops, building entrances, or street corners. These spaces must include seating, landscaping, and at least two of the following: yes yes

1. Patterned materials on walkways;
2. Shelters;
3. Trash receptacles;
4. Drinking fountains;
5. Pedestrian lighting, light bollards, or alley lighting;
6. Fountains, sculptures, mobiles, kiosks, or banners;
- ✓ 7. Street trees, flower boxes, or container landscaping in alleys;
8. Street vendor stations where appropriate; or,
- ✓ 9. Bike racks.

*See OOR 1, 3, 6*

**18.110.060 – View preservation**

**A. REQUIREMENT:**

Complies	Conflicts	N/A
		✓
		<del>X</del>

In order to protect the existing outstanding scenic views which significant numbers of the general public have from public rights-of-way, applicants for development must consider the impact their proposal will have on views of Mt. Rainier, the Olympic Mountains, Budd Inlet, the Black Hills, the Capitol Building, and Capitol Lake or its surrounding hillsides. All development must reserve a reasonable portion of such territorial and immediate views of these features for significant numbers of people from public rights-of-way, and shall provide lookouts, viewpoints, or view corridors so that visual access to existing outstanding scenic vistas is maintained.

Refer to the Scenic Vista overlay zoning maps available at the Community Planning and Development Department.

**18.110.070 – Building location and design**

**A. REQUIREMENT:**

Complies	Conflicts	N/A
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1. Place commercial buildings on the street edge and locate parking on the side or behind the building. Parking lots shall not be located on corners. Exceptions may be made where an alternative building location would provide as good or better pedestrian access. Exceptions may be made in the Auto Oriented Design District and in the HDC-4 Capital Mall area (see Section 18.130.060.
2. Entrances to buildings shall be clearly articulated and obvious from the street.
3. Commercial and public buildings over three (3) stories must have a clearly defined base at street level that is no more than two stories high.

**18.110.080 – Maintaining human scale**

**A. REQUIREMENT:**

Complies	Conflicts	N/A
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Brick

Use design elements to maintain a human scale at the street. Projects requiring a conditional use permit in a residential zone must incorporate elements that relate to existing buildings in the neighborhood.

**B. GUIDELINES:**

Where there is a strong sense of human scale neighborhood identity, use building modulation, roof forms, windows, materials, and details that are similar to the neighborhood buildings.

Articulate façade design features to reduce the apparent size of large buildings. Design elements may include, but are not limited to: facade modulation, cornices, window patterns, plazas, porches, patios, decks, covered entries, balconies, bay windows, dormers, stepped roofs, gables or other roof elements, a variety of cladding materials, lighting fixtures, trellises, trees or other landscape features, and multiple paint colors and building materials.

Locate retail shops with display windows at the street level around the exterior of larger commercial buildings.

**18.110.090 – Street walls**

**A. REQUIREMENT:**

Complies      Conflicts      N/A

✓  
  


*Proposed commercial  
 will result in revisions  
 to Columbia Street  
 Street level.*

Use a high proportion of clear or lightly tinted glass at the street level for displays or to reveal services available where appropriate. This glass shall cover or comprise at least sixty (60) percent of the building face between two (2) and eight (8) feet in elevation above the sidewalk. If glass is not possible, at least one (1) of the following, or an equivalent, shall be substituted for glazing on the building walls fronting on a street, sidewalk, or other pedestrian walkway visible to pedestrians. The following guidelines are listed in order of preference. Wall segments without such treatments should not exceed thirty (30) feet in length:

*4th Ave & 5th Ave facades comply; Columbia St. frontage does not*

**B. GUIDELINES:**

*yes* ✱

Ornamental and structural architectural details that provide texture to the building surface; or, *w/detailed Design Review in 2014*

*yes* ✱

Climbing plants, vines, trees, or other vegetation that, within three (3) years of planting, can reasonably be expected to cover or screen the wall to the degree required to comply with this section; or,

A pedestrian area, consistent with Section 18.06.100, Development Standards, located along the southern, eastern, or western exposure of a building face at a transit stop, intersection corner, or other location.

**18.110.100 – Windows**

**A. REQUIREMENT:**

Complies      Conflicts      N/A

✓  


Windows shall provide relief, detail, and variation to building facades and shall be in harmony with the character of the structure.

**B. GUIDELINES:**

- Provide variation in rhythm both horizontally and vertically.
- Use windows that are recessed or protruding such as bay windows.
- Use visually significant window elements, including lintels, sills, casings, mullions, and frame dimensions.
- Provide more glazing area on the ground floor than on the upper floors.

**18.110.110 – Projections into the right-of-way**

**A. REQUIREMENT:**

Complies      Conflicts      N/A

✓  


In order to create a positive visual experience for the pedestrian moving along the street, add interest and variety to building facades by using projections into the right-of-way.

**B. GUIDELINES:**

Use any of a variety of projections such as awnings, trellises, planter boxes, bay windows, balconies, canopies and porticos. When awnings are used they should cover the pedestrian clear zone (the 42” of sidewalk immediately adjacent to the building).  
 [Also see Development Guidelines and Public Works Standards 12.24.020 as amended.]

**18.110.120 – Roofs****A. REQUIREMENT:**

Provide relief, detail and variation to roof lines.

Complies      Conflicts      N/A

**B. GUIDELINES:**

Use cornices at upper edge of façades or soffit overhangs on rooflines that abut the street.

Use landscaped roof terraces and gardens on buildings that are stepped back from the street.

**18.110.130 – Corners****A. REQUIREMENT:**

Create pedestrian friendly building elements at intersections and alley entrances.

Complies      Conflicts      N/A

**B. GUIDELINES:**

Incorporate features such as inset or angled corners and entrances, display windows, or corner roof features.

**18.110.140 – Consistency****A. REQUIREMENT:**

Buildings shall have a consistent visual identity from all sides visible to the general public; except, building walls adjacent to alleys in the downtown design district.

Complies      Conflicts      N/A

**B. GUIDELINES:**

Use consistent exterior materials, architectural detailing, and color schemes.

Buildings should present a comparable level of quality of materials, detailing and fenestration.

*Also review at Detail Design Review for colors and materials*

*See color board  
DDR 2, 3, 4 & 5*

**18.110.150 – Colors and materials****A. REQUIREMENT:**

Use building materials with texture and pattern (such as brick) on exterior building walls and large surfaces. Reserve brightly saturated colors for trim or accents.

Complies      Conflicts      N/A

**B. GUIDELINES:**

Avoid large expanses of highly tinted or mirrored glass.

Do not use highly reflective exterior materials (except glazing) where glare would affect nearby buildings or traffic.

*Also review at Detail Design Review*

*See Color Board DDR 2, 3, 4 & 5*

**18.110.160 – Lighting**

Detail Design Review

**A. REQUIREMENT:**

Use lighting to emphasize the building and landscaping, and to provide visibility and general security. Lighting shall not shine off-site or into adjacent buildings

Complies      Conflicts      N/A

See DDR 5

**B. GUIDELINES:**

Use lighting to emphasize key architectural elements and landscape features.

Use adequate lighting along sidewalks and alleys to provide well-lit pedestrian walkways.

**18.110.170 – Parking structures**

Detail DR

**A. REQUIREMENT:**

Vehicle entries to garages shall be recessed at least six (6) feet from the street facade plane. At least sixty (60) percent of the street facade between two (2) and eight (8) feet above the sidewalk, shall have at least one (1) of the treatments listed below.

Complies      Conflicts      N/A

4th  5th   
 Columbia

~~60% of Columbia Street garage ≈ 105'~~  
 See DDR 4, 7, 7

**B. GUIDELINES:**

Transparent windows (with clear or lightly tinted glass) where pedestrian-oriented businesses are located along the facade of the parking structure; or,

Proposed -  
 approximately  
 5' x 7' - total  
 coverage  
 50'

Display windows; or,

Art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief art work, or similar features; or,

Decorative metal grille work or similar detailing which provides texture and covers the parking structure opening; or,

Vertical trellis or other landscaping or pedestrian plaza area.

**18.110.180 – Plant selection**

Detailed DR

**A. REQUIREMENT:**

Select plants that are compatible with planting conditions and existing landscaping. Plant trees that at their mature, natural size will be well-suited to the planting location. Avoid use of invasive species adjacent to critical areas. Do not plant noxious weeds, as defined by the Thurston County Noxious Weed Control Program (lists are on file with Thurston County or the City's Community Planning & Development Department).

Complies      Conflicts      N/A

See DDR 7, 8, 9

**B. GUIDELINES:**

Provide visual continuity with the existing streetscape by coordinating tree and shrub species with established, healthy landscaping.

Consider mature tree size in relation to planting area dimensions and soil type.

Avoid a haphazard appearance by using a limited number of plant species.

Choose native plant species for primary landscaping; limit use of exotic plant species to areas of interest or effect.

**18.110.190 – Screening site services****A. REQUIREMENT:**

Complies      Conflicts      N/A



Show the location of all mechanical equipment and utility vaults on both site and landscape plans early in the design process. Provide visual screening so that mechanical equipment and utility vaults are not visible from adjacent public rights-of-way, or adjacent dwelling units. Screen roof-top mechanical and communications equipment on all sides.

**B. GUIDELINES:**

*Roof top / Alley's in building*

Locate mechanical equipment and utility vaults on the least visible side of the building and/or site.

Screen at-grade locations with vertical plants such as trees, shrubs or ornamental grasses.

Screen or paint wall mounted mechanical equipment to match the building.

**18.110.200 – Screening blank walls****A. REQUIREMENT:**

Complies      Conflicts      N/A



*Detailed Design Review*  
Use a variety of landscape materials along lengthy expanses of blank walls or fences.

*Sec DDR 1, 2 & 7*

**B. GUIDELINES:**

Screen walls or fences with a combination of trees, shrubs and vines.

Use irrigated raised planter boxes for screening purposes.

In narrow planting areas adjacent to walls or fences, use espaliered trees or shrubs and vines.

**18.110.210 – Building design - Projects adjacent to historic register buildings or within a historic district****A. REQUIREMENT:**

Complies      Conflicts      N/A



Ensure that new or remodeled structures abutting or directly across from buildings that have been placed on a historic register or within a historic district will preserve the historic context and merit of the historic property.

**B. GUIDELINES:**

Use roof forms that emulate the historic property roof form.

Use windows, materials and details similar to the historic property.

Use similar building articulation that breaks up the building mass into modules which reflect proportions similar to the historic building. Methods used to create intervals which reflect and promote compatibility and which respect the scale of the historic building include:

Facade modulation - stepping back or extending forward a portion of the facade.

Repeating the window patterns at intervals equal to the articulation interval.

Providing a porch, patio, deck, or covered entry to the articulation interval.

Providing a balcony or bay window for each interval.

Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.



Changing materials with the change in building plane.

Providing a lighting fixture, trellis, tree or other landscape feature within each interval.

Using paint and material colors that blend with the historic property.

Using landscape materials and plantings that are similar to those used on the historic property.

**18.110.220 – Building design – Remodeled historic buildings**

**A. REQUIREMENT:**

Complies

Conflicts

N/A



Protect and preserve buildings of special historic significance and merit. Historic features are those which have been identified by the Heritage Commission on the Historic Property Inventory or a Historic Register.

**B. GUIDELINES:**

Restore or retain as many historic features as possible.

Maintain or restore original proportions, dimensions and architectural elements.

Select paint and material colors which are historically accurate, coordinate the entire facade, and do not conflict with adjacent buildings.

Consult available historical resources, the Heritage Commission, or Community Planning and Development Department for assistance and detailed information.

Project Name 4th Ave. Mixed Use Building

Master file # ATTACHMENT D

Concept Design Review

Date: 08/25/09

Detail Design Review

7/23/09

3/27/14

2014 Concept DR

**CITY OF OLYMPIA  
COMMERCIAL DESIGN CRITERIA  
DOWNTOWN  
Chapter 18.120**

**18.120.020 Setbacks**

**A. REQUIREMENT:**

Maintain the continuity of the streetscape with the setbacks of buildings.

Complies      Conflicts      N/A

**B. GUIDELINES:**

Align buildings according to the existing pattern.

N/A Use walls, railings, planters, or other built and landscape elements at the property line if the building or a portion of it is set back from the property line.

**18.120.030 – Waterfront view corridors**

**A. REQUIREMENT:**

On waterfront sites, provide for public view corridors of Capitol Lake and Budd Inlet. All development shall incorporate into the site and building design both territorial and immediate views for significant numbers of people from public rights-of-way. (EXCEPT: Intermittent or partial views of the water may not be deemed necessary to incorporate into the site and building design.) See Scenic Vista overlay zoning maps, which are available at the Community Planning and Development Department.

Complies      Conflicts      N/A

**B. GUIDELINES:**

Locate buildings on the site and design roofs so that they do not interfere with views and vistas.

Design and site waterfront buildings to avoid blocking view corridors on adjacent streets that point toward the water.

**18.120.040 – Parking lots**

**A. REQUIREMENT:**

Locate and design parking lots which maintain the visual continuity of the street and do not create vacant space in the street pattern. Allow for both pedestrian and vehicular circulation, and provide clear access between parking and the principal building(s) on the site.

Complies      Conflicts      N/A

ATTACHMENT D

**B. GUIDELINES:**

- Minimize the width of parking lots located adjacent to the street.
- Screen parking lots which abut the street with hedges, fences, raised planters, or low walls combined with plantings. These screening materials shall not obscure vehicular sight lines as a safety requisite.

**18.120.050 – Building Design**

**A. REQUIREMENT:**

Complies      Conflicts      N/A

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- 
- 

Columbia St. facade

Buildings must have streetscape characteristics, such as pedestrian oriented businesses and/or shops, corner entries, and building edges abutting the sidewalk. For additional Building Design requirements please refer to:

*does not comply*  
*See DPR 1, 2, 3, 4, 6 & 7*  
*See Color Board*

**B. GUIDELINES:**

- Development Standards in the zoning district where the project is located, and,
- Pedestrian Streets Overlay District

*Detail Design Review*

**18.120.060 – Building materials**

**A. REQUIREMENT:**

Complies      Conflicts      N/A

- 
- 

Maintain the character of the existing downtown buildings by using similar enduring materials such as stone, brick, and stucco.

*Brick See Color Board : DPR 2, 3, & 4*  
*Detailed Design Review*

**B. GUIDELINES:**

- Applied brick tiles or exterior insulation finish system (EIFS) that attempt to give the appearance of genuine masonry or stucco are not preferred. Decorative ceramic tiles may be used as accent features.

*Handle ~~Brick~~ : Handle Panel Plant*

**18.120.070 – Building design – Building rhythm**

**A. REQUIREMENT:**

Complies      Conflicts      N/A

- 
- 
- 

Columbia St. parking garage facade

Create visually interesting street walls with variations in horizontal and vertical wall surfaces. Use architectural elements that clearly define a base at street level.

*See DPR 1, 2, 3*

**B. GUIDELINES:**

- Provide variation in fenestration, architectural elements, building materials, and/or building planes at varying intervals..

**18.120.080 – Building orientation**

**A. REQUIREMENT:**

Orient the primary building entrance and active uses such as retail storefront window displays or restaurants to the street.

Complies  Conflicts  N/A

*(Handwritten: green checkmarks and red checkmark)*

**ATTACHMENT D**

**B. GUIDELINES:**

- Provide views and access into interior activities of the building from the street. Use a high proportion of glazing at the street level for displays or to reveal services available.
- Use landscaping, surface texture, or art work on buildings where revealing active uses is inappropriate.

**18.120.090 – Awnings, canopies, and marquees**

**A. REQUIREMENT:**

Provide awnings, canopies, and marquees on buildings that abut the sidewalk.

Complies  Conflicts  N/A

*(Handwritten: green checkmarks and red checkmark)*

**B. GUIDELINES:**

- Maintain the visual and spatial horizontal plane of the street by employing a horizontal alignment of awnings, canopies, and marquees in areas where they are an existing element in the street pattern.
- Select awnings, canopies, and marquees which emphasize the architectural and/or historical character, color, and material of the building without covering or obscuring details of the facade. *Detailed*
- Provide continuity of coverage on both sides and the corner when a building is located on a corner.

*Detail Design Review*

**18.120.100 – Walkways**

**A. REQUIREMENT:**

Provide character and visual diversity to walkways.

Complies  Conflicts  N/A

*(Handwritten: empty checkboxes)*

*Detailed Design Review*

**B. GUIDELINES:**

- Vary sidewalk colors and materials by combining pavers, brick, stone, exposed aggregate and other materials set in geometric or free form patterns.
- Identify street and driveway crossings through changes in colors, materials, or patterns.
- Separate the pedestrian from the street by the use of planters, bollards, or similar elements at the street edge of the sidewalk.
- Provide alleys with lighting, plantings, and paving materials in areas of the City where the alley is or may be used as a pedestrian link.

Incorporate information about historic events or structures into the walkway by use of plaques, signs, and art work. **ATTACHMENT D**

### 18.120.110 – Pedestrian access from parking areas

#### A. REQUIREMENT:

Provide direct and visible pedestrian access through parking areas to building entrances and to adjoining pedestrian ways. Minimize crossings of traffic lanes.

Complies  Conflicts  N/A

#### B. GUIDELINES:

- Provide sidewalks through parking bays.
- Define walkways with vertical plantings, such as trees or shrubs.
- Use materials, textures, patterns, or colors to differentiate pedestrian paths from parking areas. Use non-slip materials.
- Emphasize the entrance to the building by the use of paving materials and landscaping. Avoid locating parking spaces directly in front of the building entrance or in such a way as to interfere with entrance visibility and access.
- Use signs to direct customers to the building entrances and back to the parking areas.

### 18.120.120 – Waterfront public access

#### A. REQUIREMENT:

On waterfront sites used for commercial, residential, or recreational uses, incorporate shoreline public access pursuant to the goals of the Shoreline Management Act in a manner roughly proportionate to the impact created by the development.

Complies  Conflicts  N/A

#### B. GUIDELINES:

- Provide a water-edge trail and view corridors.
- Provide public access to the water-edge trail and/or view corridors.
- Provide necessary improvements appropriate to these facilities, such as signage, seating, and lighting.

### 18.120.130 – Visual context of streetscape

#### A. REQUIREMENT:

Develop visual linkages between adjacent properties through building design, street trees, and streetscape improvements.

Complies  Conflicts  N/A

#### B. GUIDELINES:

- Link dissimilar buildings by using common elements of existing development. Maintain setbacks from the street; repeat or incorporate similar proportions and scale of buildings; use similar exterior materials, paving materials, and lighting standards.
- Plant the same or similar street trees to maintain the continuity of the street.

- Continue walls, screening, and planters where they exist
- Repeat common elements and/or materials of landscape design.

ATTACHMENT D

*Detail Design Review*

**18.120.140 – Signs – Attached to the building**

*At Time of Sign Permits*

**A. REQUIREMENT:**

Choose signs that maintain the architectural integrity of the building; locate them so the building details are not covered or obscured. Signs shall conform with Chapter 18.42, Signs, and to the design requirements of this section and of section 18.120.150.

- Complies  Conflicts  N/A

*see DDR 3 Administration*

**B. GUIDELINES:**

*At time of Tenant Imp or Sign Permits*

- Signs should be subordinate to the building design.
- Coordinate colors with the colors of the building.
- Use sign panel shapes that complement the architectural forms of the building.
- Avoid a wide variety of types and sizes of signs when several businesses share the same building. Use directory signs wherever possible.
- Select colors, materials, size, shape, and illumination similar to signs found on adjacent properties. Emphasize legibility and simplicity.
- Align signs with those on adjacent buildings when possible.
- Design signs for businesses served principally by vehicular traffic to be easily legible from the street.
- Select lettering sizes, styles, and sign locations that will be clearly visible to pedestrians.
- Use window signs where wall signs would detract from architectural elements of building facade. Symbols for the business such as a pair of eyeglasses can be used to add detail at the sidewalk.
- Select a type and intensity of lighting in order to match the lighting levels of signs found in the area.

**18.120.150 – Signs - Freestanding**

*Review under separate sign permit ✓*  
*At time of future sign Permits*

**A. REQUIREMENT:**

When building-mounted signs will obscure the architectural details of the building or where buildings are set back from the sidewalk and/or property line, use a free-standing sign. Signs shall conform to Chapter 18.42 Signs.

- Complies  Conflicts  N/A

Signs shall have a maximum height of four (4) feet above grade. Lettering styles and colors are limited to two (2) lettering styles and three (3) colors. Signs shall be incorporated in planters or screening walls.

Copy for support

18.16.000 - Chapter Contents

Chapter 18.16

PEDESTRIAN STREET OVERLAY DISTRICT

Sections:

- 18.16.020 Intent.
- 18.16.040 Map.
- 18.16.060 General requirements.
- 18.16.080 Specific development standards.

18.16.020 - Intent

This chapter will implement City and regional transportation plans by establishing a pedestrian street overlay district that results in a network of active, aesthetically pleasing, and interesting streets that link the downtown retail core, the Capitol Campus, the waterfront, and residential neighborhoods. In this high quality, compact pedestrian-oriented environment people will be encouraged to work, shop, play, and live in an area that supports decreased dependence on motor vehicles, makes travel on foot pleasant and easy, and encourages around-the-clock activity to occur. The downtown form should: 1) acknowledge the need to accommodate arrival by vehicle, 2) support increased arrival by transit, carpool, bike, and on foot, 3) create incentives to circulate within downtown by non-auto modes (on foot, by shuttle or bus, or bicycle), 4) encourage employee Transportation Demand Management Program success.

In addition, development in the area should:

- ✓ A. Increase architectural and historic continuity between the existing downtown retail core and the remainder of downtown.
- ✓ B. Provide a comfortable sense of enclosure along the street by providing strong, continuous edges which clearly define public open spaces and rights-of-way. *Planters at curb edge, slw width? Street trees - prefer.*
- ✓ C. Contribute to the streetscape by incorporating human-scaled elements into building design.
- ✓ *NOT on Columbia* D. Provide direct visual contact between activities occurring inside buildings and the street environment.
- ✓ *None shown* E. Incorporate artistic elements and public art into the streetscape and buildings.
- ✓ F. Result in urban building patterns and curtail the construction of suburban building patterns.

(Ord. 5896 §6, 1999; Ord. 5517 §1, 1995).

## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

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**18.16.040 - Map**

A. **Relationship to Underlying Zoning.** This overlay zone contains regulations that apply in addition to the regulations included within each downtown zone.

B. **Areas Subject to Pedestrian Streets Regulations.**

- Columbia*  
*4th*  
*5th*
1. **"A" Streets.** All of the requirements of this Chapter apply to the "A" Streets identified in Figure 16-1.
  2. **"B" Streets.** The following requirements of this Chapter apply to "B" Streets as identified in Figure 16-1:
    - a. Blank Wall Limitations, Section 18.16.080(F);
    - b. Primary Building Entrance, Section 18.16.080(G);
    - c. Parking Structure Design, Section 18.16.080(J).
  3. **The Pedestrian Streets Overlay District Map and this text regulate the Pedestrian Streets Overlay District.** The Pedestrian Streets Overlay District regulates portions of the DB, RMH, RMU, UR, UW-H, and UW districts in downtown Olympia. All properties which abut the Pedestrian Streets shown on Figure 16-1 are subject to the rules of this District.



## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

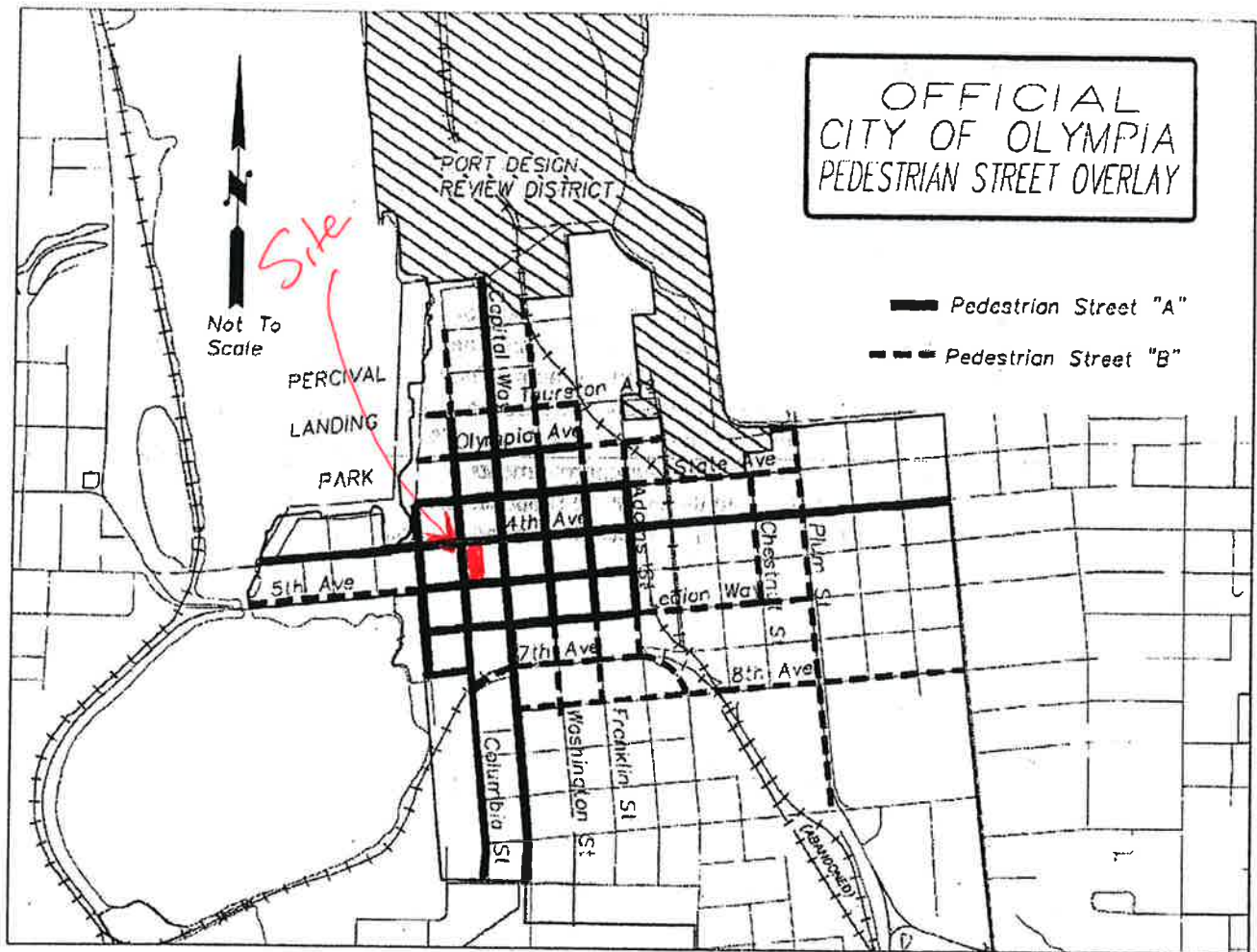


FIGURE 16-1

(Ord. 6323 §6, 2004; Ord. 6195 §24, 2002; Ord. 5896 §7, 1999; Ord. 5517 §1, 1995).

### **18.16.060 - General requirements**

#### **A. Types of Projects Regulated.**

- ✓ 1. **New Development.** The regulations in this chapter apply to all properties which abut the Streets identified in Figure 16-1 (both "A" and "B" Streets). The regulations of this Chapter apply to all new building construction. *See Exemptions*
2. **Existing Buildings.** The regulations in this Chapter also apply to all remodel projects if both of the following conditions apply: (1) the value of the remodel project is greater than fifty (50) percent of the assessed value of the pre-remodeled building excluding land value, and (2) structural facade renovation will be done. (Painting and routine maintenance are not considered structural facade renovation).

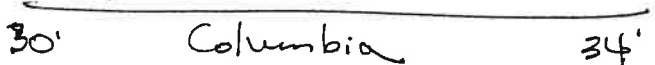
TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

B. Exemptions

1. **Residential Exemption.** Residential projects must comply with Downtown Design Guidelines (18.06A) and Citywide Design Guidelines (18.20). All or a portion of a residential project shall be exempt from the requirements of this Chapter as follows:

✓ a. In the event a residential project comprises the entire block face, 50% of the block face shall comply with this Chapter; provided, that the area of compliance must be evenly placed at each corner of the block face. *Columbia* ✓

✓ b. In the event a residential project is proposed for a portion of a block face which block face has been partially developed in compliance with this Chapter, a portion of the project shall comply with this Chapter according to this formula. The amount of project compliance shall equal the difference between 50% and the percentage of existing improvements on the block which complies with this Chapter. For example, 15% of the project must comply with this Chapter where 35% of existing improvements on the block face meets the requirements of this Chapter. In the event the proposed project is located at a corner of a block face, that portion of the project which is required to comply with this Chapter shall be located at the corner.



$$\frac{248}{124'}$$

TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

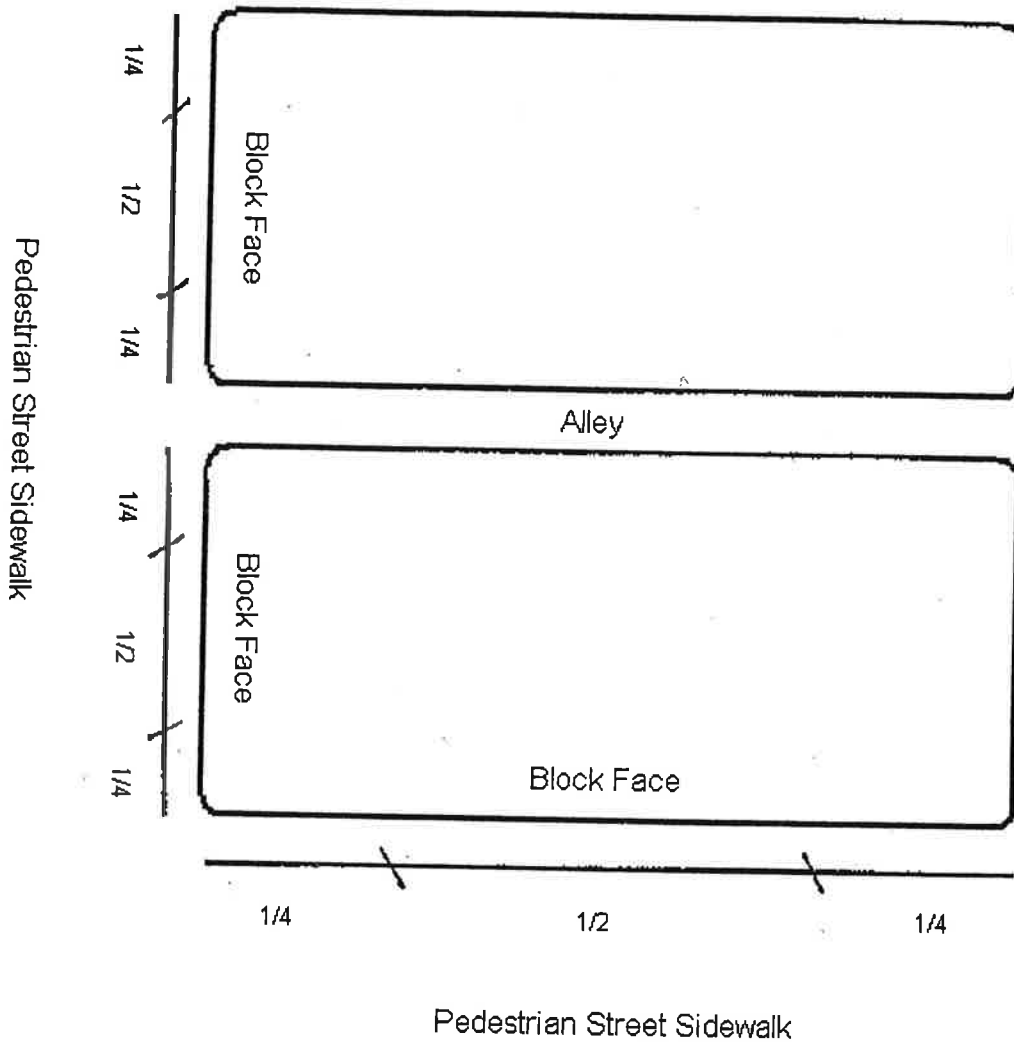


FIGURE 16-9

- N/A 2. **Historic Buildings.** All buildings on the Heritage Register at the time of application are exempt from the requirements of this District.
- N/A 3. **Small Buildings.** Buildings with less than five thousand (5,000) square feet in gross floor area are exempt from the requirements of this District.
- N/A 4. **Existing Parking Lots in Front of Buildings.** When the requirements of this Chapter are triggered by remodels or renovations, existing parking lots remain conforming as an exception to the "Maximum Setbacks Allowed" of this Chapter.

✓ C. See Downtown Design Guidelines, Sections 18.105.020.

(Ord. 6491 §9, 2007; Ord. 5967 §17, 1999; Ord. 5896 §8, 1999; Ord. 5517 §1, 1995).

## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

**18.16.080 - Specific development standards**

The following requirements apply to "A and/or B" Streets.

- Setbacks (A)
- Pedestrian Plaza (A)
- Minimum Street Wall Height (A)
- Awnings, Marquees, and Canopies (A)
- Blank Wall Limitations (A & B)
- Primary Building Entrance (A & B)
- Surface Parking (A)
- Street Frontage - Retail and Service Use (A)
- Parking Structure Design (A & B)

**A. Maximum Setbacks ("A" Streets).**

1. **Intent.** Enclose and define the street space. Place building, walls, and design height and massing that will:
  - ✓ a. Provide human scaled street enclosure and building edge continuity on key downtown streets.
  - ✓ b. Contribute to a continuous building edge on lots adjacent to designated pedestrian streets.
  - ✓ c. Increase liveliness on the street by making physical and visual contact between interior building activities and the street.
- ✓ 2. **Maximum Setback.**
  - ✓ a. The maximum street wall setback is ten (10) feet.
  - ✓ b. Street wall setback areas (the area between the front property line and street wall):
    - i. May be used for landscaping and small commercial uses designed primarily to cater to pedestrians, including, but not limited to vendors, newsstands, flowers, and cafes.
    - ii. May not be used for fences, large trees and landscaping, or other features which form visual barriers or block views to street wall windows.

*Complies on 4/5  
Columbia*

## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

## c. Exceptions to Maximum Setbacks.

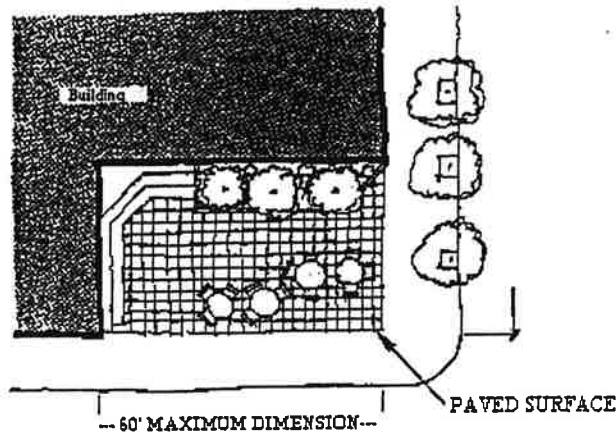
- i. The street wall may be set back to retain water views and to provide transition to residential neighborhoods, to allow privacy in residential development, to meet centerline setback requirements, for building entrances, for pedestrian plazas, and to allow existing setback buildings as conforming uses.
- ii. Building Entrances Allowance. Large entryways which are integral to a building design may be set back more than ten (10) feet.
- iii. Pedestrian Plazas.

N/A  
B. Pedestrian Plazas ("A" Streets).

1. **Intent.** When proposed, plazas will provide small spaces which will attract concentrations of people to gather along the most intensively developed streets in downtown. Buildings will be grouped around small pedestrian plazas; will be carefully located and integrated into the streetscape or building; will make the most of light and sun exposure; and, when proposed, will integrate landscaping and/or public art into the design.
2. **Pedestrian Plaza Requirements.** Pedestrian plaza designs shall meet the following development standards:
  - a. **Size and dimension.** The maximum pedestrian plaza dimension shall be sixty (60) feet across (see Figure 16-2).
  - b. **Access.** The surface of all pedestrian plazas shall be visually and physically accessible from the public rights-of-way. Allowances may be made on sites with steep topography.
  - c. **Surface.** Paved walking surfaces shall be provided.
  - d. **Landscaping and/or Public Art.**
    - i. Required landscaping and/or public art. At least ten (10) percent of the plaza area shall be landscaped with living plants or use public art incorporated into the plaza to provide texture, breakup unadorned expanses of hard surfaces, and add human scale interest to the space.
    - ii. Landscaping. The landscaping shall be planted and maintained according to the City of Olympia development standards (Section 18.38).
    - iii. Location of landscaping and/or public art. Landscaping and/or public art shall not block pedestrian views into the plaza.
  - e. **Seating.**
    - i. Required seating. Seating shall be provided in all pedestrian plazas.
    - ii. Allowed seating walls and steps. Tops of walls and steps may be considered seating.

## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

- f. **Exposure to sunlight.** Southern locations are encouraged to allow direct sunlight to enter the space and strike the plaza floor.
- i. **Required sunlight.** Pedestrian plazas shall be designed to allow measurable direct sunlight to enter the plaza and shall not be blocked by landscaping or art.



- PLAZA MUST BE ENCLOSED ON AT LEAST TWO SIDES
- 30% OF ENCLOSURE WALLS MUST BE OCCUPIED BY PEDESTRIAN-ORIENTED USE
- 10% OF PLAZA AREA MUST BE LANDSCAPED AND/OR USE PUBLIC ART INCORPORATED INTO THE PLAZA TO PROVIDE TEXTURE, BREAK UP UNADORNED EXPANSES OF HARD SURFACES, AND ADD HUMAN SCALE INTEREST TO THE SPACE

Required Pedestrian Plaza Conditions  
FIGURE 16-2

- g. **Plaza edges.**
- i. Plaza enclosure. All pedestrian plazas shall be enclosed on at least two sides by a structure or by landscaping and/or art which creates a wall-like effect.
  - ii. Prohibited edge conditions.
    - (a) Unscreened parking lots, chain link fences, barbed wire, and other inhibiting conditions are prohibited adjacent to pedestrian plazas.
    - (b) Blank walls in pedestrian plazas are subject to the blank wall limitation standards.
- h. **Uses in pedestrian plazas.**
- i. Permitted uses. The following uses are permitted: playground equipment, fountains, waterfalls, pools, sculptures, works of art, arbors, trellises, benches, trees, planting beds, trash receptacles, drinking fountains, bicycle racks, open air cafes, kiosks, vending carts, outdoor furniture, lighting, flagpoles, public telephones, temporary exhibits, canopies, awnings, and similar uses which encourage pedestrian use of these spaces.
  - ii. Allowed motor vehicle use. Motor vehicle use of pedestrian plazas for passenger drop

## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

off and pick up at a building entrance may be allowed. All other loading or motor vehicle access is prohibited.

- i. **Exceptions.** The Director of Community Planning & Development or his or her delegate may grant exceptions to the Pedestrian Plaza Standards if the proposed design meets the intent of this Section and Subsection.

✓ C. **Minimum Street Wall Height Requirement ("A" Streets).**

1. **Intent.** To ensure spatial enclosure on the street and achieve dense land use in the downtown.
2. The minimum street wall height is sixteen (16) feet above the average sidewalk elevation.

D. **Awnings, Marquees or Canopies, and Arcades ("A" Streets).** Awnings, marquees, canopies, and other projections are allowed to project into the ROW. See Downtown Building Design Guidelines - Projections into the ROW.

- ✓ 1. **Intent.** Provide pedestrians rain protection, contribute to overall integration of individual buildings within the streetscape, and help define the pedestrian zone. When awnings are used, they should cover the pedestrian clear zone.

2. **Awnings, Marquees or Canopies, and Arcade Requirements.**

- ✓ a. **Coverage allowed in public rights-of-way.** Awnings, canopies, or marquees may project into the public rights-of-way (see Downtown Building Design Guidelines - Projections Into the ROW). Arcades must be on private property.

*discuss glass as proposed*

- b. **Types of material allowed.** Awnings, marquees, and canopies must be fabric on a retractable frame, metal, glass, or plexiglass. On historic buildings, wood may be used.

- ✓ c. **Area and coverage requirements.** Awnings, marquees, and arcades shall be provided along the street wall, or that portion of the street wall that abuts or is parallel to the sidewalk. The maximum depth (projection from street wall) for awnings and marquees or canopies is regulated in the applicable Section of the Uniform Building Code. Awnings, marquees, or canopies should extend to the maximum depth allowed by the UBC, with allowance for street tree and street light clearance. (See Figure 16-4 of this Chapter.)

- ck ✓ d. **Height requirements.** Except valances, the lower edge of all awnings, marquees, canopies, and arcades must be between the heights of eight (8) and twelve (12) feet above finished grade. Every attempt should be made to make awnings of like heights on a given block.

- N/A e. **Historic buildings.** Historic buildings may be reviewed for exceptions to these standards. Exceptions shall be jointly reviewed by the Design Review Board and Heritage Commission, called the Joint Review Committee or the Heritage Commission and Design Review staff. (See Chapter 18.84 of this Ordinance.)

- ✓ 3. **Prohibited Awnings.** Back-lit awnings or canopies are prohibited.

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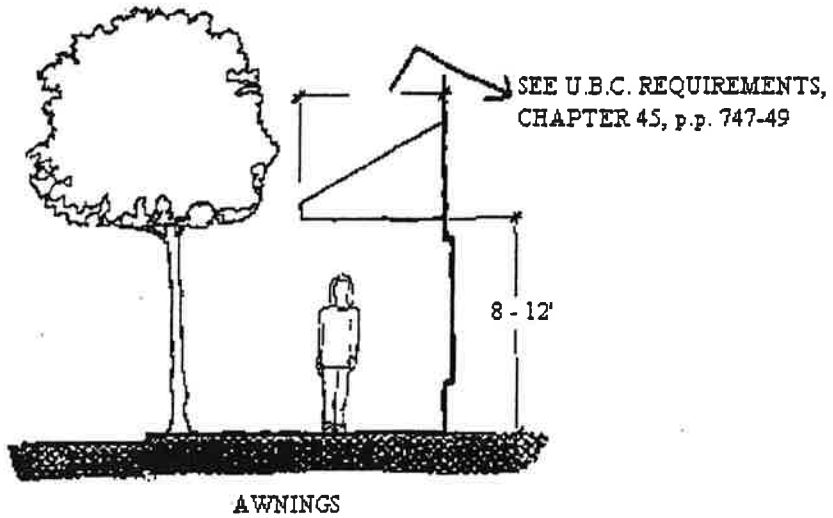


FIGURE 16-4

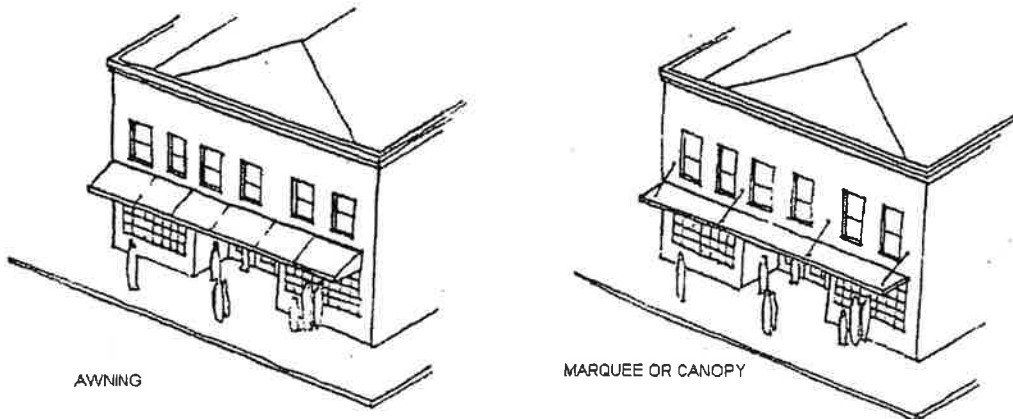


FIGURE 16-5

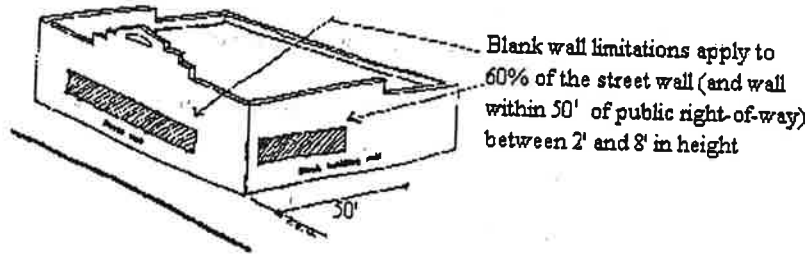


TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

**F. Blank Wall Limitation ("A" and "B" Streets).**

*Columbia St*

1. **Intent.** Reduce blank wall impacts on the pedestrian and business district environment. Provide varied, pedestrian-friendly building facades and sidewalk activities. Avoid the creation of blank walls and dull facades that deaden the surrounding space and create an uninviting street environment.
2. **Development Standards.** Blank walls are not allowed adjacent to or within fifty (50) feet of a pedestrian street right-of-way or a public park. At least sixty percent (60%) of these walls between two (2) feet and eight (8) feet in height must be pedestrian friendly. Pedestrian-friendly facades shall have one or more of the following characteristics:



BLANK WALL LIMITATIONS: AREAS REGULATED

FIGURE 16-6

*No*

- a. **Transparent windows.** Transparent window area or display windows which provide visibility into building interiors. The following transparency standards apply.
  - i. Glass must be clear or lightly tinted in windows, doors, and displays. Because it does not provide visibility between the street and building interiors, reflective or opaque or painted glass is prohibited.
  - ii. Doors and entry windows must be transparent to meet this requirement. If they are not, they shall be considered blank walls.

*No*

- b. **Art or architectural treatment.** Sculpture, mosaic, glass block, opaque art glass as relief artwork, or similar features of visual interest. Structural architectural elements may be acceptable as an administrative waiver if the design meets the intent of this Section.

- c. **Vertical trellis.** A permanent vertical trellis in front of the wall with climbing plants or plant materials.

*depth?  
what inside?*

*No*

- d. **Pedestrian plazas.** Pedestrian plazas may meet this requirement if the design complies with Section 18.16.080(A), Maximum Setbacks Allowed.

- e. **Display windows.** Display windows may be used to meet this requirement.

*Interpretive?*

*N/A*

3. **Retaining Walls.** Retaining walls on Pedestrian Streets shall be considered blank walls and are subject to the regulations in this Section.

*OK*

4. **Exceptions.** Where this Section is in conflict with the Uniform Fire Code, the Uniform Fire Code shall govern.

## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

5. **Approval.** All proposed blank wall treatments are subject to City approval. The applicant must submit architectural plans and elevations showing proposed treatments for approval.

G. **Primary Building Entrance ("A" and "B" Streets).**

1. **Intent.** Allow people to arrive on foot, by transit, or by other means (in addition to by car), and to increase pedestrian and street activity. Create a prominent entry that conveys a clear sense of arrival and that uses high quality products that contribute to the richness and detail of the facade. *planters, sconces?*

2. **Primary Building Entrance Requirements.**

- ✓ a. The primary entrance to all buildings must face the street.
- ✓ b. All primary building entrances must be clearly visible from the sidewalk.
- ✓ c. Direct access shall be provided either:
- From the sidewalk if the building facade is adjacent to the sidewalk; or
  - From a pedestrian plaza if the building facade is not directly adjacent to the sidewalk.

N/A  
NA

H. **Surface Parking Lots ("A" Streets).**

- Intent.** Prohibit the disruption of the continuous building edge along the street.
- Surface Parking Lot Requirements.** Surface parking lots are prohibited on lots abutting pedestrian streets, except when they are located behind buildings.
- Exception.** Properties west of Water Street in this District may have surface parking directly abutting twenty (20) percent of the street frontage.

I. **Street Frontage - Active Street Edge Requirements ("A" Streets).**

1. **Intent.** Provide interest and activity that contribute to the pedestrian streets, reinforce existing service business uses (retail, office, commercial), and establish new activity along the main pedestrian links between downtown and the surrounding neighborhoods.

✓ 2. **Development Standards.** Seventy-five (75) percent of the street frontage will look like a storefront by including one or more of the following: direct at-grade sidewalk entries, high ceilings, recessed doors, storefront windows, awnings, canopies, large room spaces, and similar features in the building. Building entries and lobbies along the street wall are exempt from the street level use requirement calculations;

*4th & 5th  
Columbia*

- ✓ 3. **Exemption.**
- a. Structured parking or that portion of a project used as structured parking are not subject to this requirement. See Section J below for structured parking requirements.

## TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

b. See 18.16.060(1)(B)(1) for residential experience.

N/A J. **Parking Structure Design ("A" and "B" Streets).**

↳ Interior to building

1. **Intent.** Design structured parking in a way that will fit the real and intended human scale of downtown. Acknowledge that while structured parking provides convenient, less intrusive, less land consumptive parking than surface parking, the buildings themselves can be intrusive, since they are often large, monolithic structures with few refinements and little interest or activity.

2. **Street Level Treatment.** Retain the downtown scale and character on structured parking and ground level covered parking facing a pedestrian street by breaking up horizontal openings and incorporating at least one of the following techniques:

a. Provide at least one (1) of the five (5) pedestrian-friendly facade techniques in Section 18.16.080(F), Blank Wall Limitations. Transparent windows shall be permitted only where pedestrian-oriented uses or businesses are located in a parking structure.

4th & 5th - ok  
Columbia

b. Provide enclosed occupiable space for "pedestrian-oriented uses or businesses" at least ten (10) feet in depth along all of the building frontage facing the Pedestrian Street, excluding vehicle and pedestrian entries. If there are multiple pedestrian street frontages, this option should be used on the dominant pedestrian street frontage.

N/A. Incorporate public art into the design or use decorative metal grille work or similar architectural detailing which provides texture and covers the parking structure opening. EXCEPTION: Parallel vertical bars (resembling a jail cell pattern or HVAC intake grilles) are prohibited, and do not meet the intent of this requirement.

✓ N/A 3. **Parking structures over one-half block in size** must provide enclosed occupiable space for "pedestrian-oriented uses or businesses" at least ten (10) feet in depth along the dominant pedestrian street frontage of the building facing the pedestrian street, excluding vehicle and pedestrian entries.

\* ✓ 4. **Vehicle Entry.** The width of garage doors shall be limited to the width of the driveway plus five (5) feet. Vehicular entries shall be recessed at least six (6) feet from the primary facade plane in order to minimize their prominence in the facade.

N/A 3. **Upper Level Treatment.** Assure that upper levels of parking structures remain compatible with downtown scale and character. Break up horizontal openings by:

a. Providing relief, detail, and variation on the facade by employing well-proportioned openings that are designed to create shade and shadow detail.

b. Public art, decorative metal grille work or similar art or architectural detailing which provides texture and covers the opening in the facade.

i. Parallel vertical bars (resembling a jail cell pattern or HVAC intake grilles) are prohibited, and do not meet the intent of this requirement.

TITLE 18 UNIFIED DEVELOPMENT CODE 18.16 Pedestrian Street Overlay District

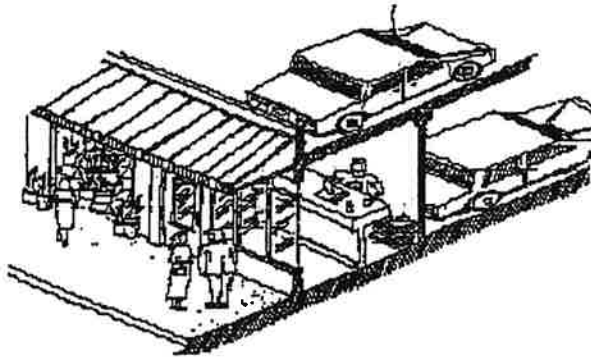
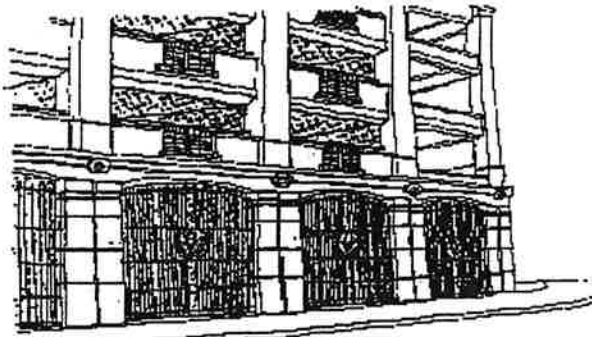


FIGURE 16-7



Parking garage facade treated with decorative grill work.

FIGURE 16-8

(Ord. 6195 §25, 2002; Ord. 5896 §9, 1999; Ord. 5830 §17,46, 1998; Ord. 5517 §1, 1995).