

9463  
REGISTERED  
ARCHITECT  
JOSEPH PATRICK RYDMAN  
STATE OF WASHINGTON

BRIGGS VILLAGE APARTMENT HOMES, LLC  
1515 DOCK STREET, SUITE 1  
TACOMA, WA 98402  
TEL: (253) 565-6090  
EMAIL: [tony@carinonet.com](mailto:tony@carinonet.com)  
CONTACT: TONY CARINO

BCRA  
2106 PACIFIC AVE, SUITE 300  
TACOMA, WASHINGTON 98402  
TEL: 253-627-4367  
EMAIL: jrydman@bcradesign.com  
CONTACT: JOSEPH RYDMAN – PROJECT MANAGER

SCJ ALLIANCE  
8730 TALLON LANE NE, SUITE 200  
LACEY, WA 98516  
TEL: 360-352-1465  
EMAIL: tyrell.bradley@scjalliance.com  
CONTACT: TYRELL BRADLEY - PROJECT MANAGER

BCRA  
2106 PACIFIC AVE, SUITE 300  
TACOMA, WASHINGTON 98402  
TEL: 253-627-4367  
EMAIL: [bjohnson@bcradesign.com](mailto:bjohnson@bcradesign.com)  
CONTACT: BLAKE JOHNSON - STRUCTURAL ENGINEER

SCJ ALLIANCE  
8730 TALLON LANE NE, SUITE 200  
LACEY, WA 98516  
TEL: 360-352-1465  
EMAIL: jeff.glander@scjalliance.com  
CONTACT: JEFF GLANDER - PROJECT MANAGER

ROBISON ENGINEERING, INC.  
20300 19TH AVE N.E.  
SHORELINE, WA 98155  
TEL: 206-364-3343  
EMAIL: [rjackson@robrisonengineering.com](mailto:rjackson@robrisonengineering.com)  
CONTACT: REED JACKSON

RICHMOND ENGINEERING  
8365 HOGUM BAY LANE NE  
OLYMPIA, WASHINGTON 98516  
TEL: 360-956-0384  
EMAIL: [jackh@richmondsystems.com](mailto:jackh@richmondsystems.com)  
CONTACT: JACK HALL

ELECTRICAL DRAWINGS  
FIRE ALARM  
FIRE SPRINKLERS  
CARPORTS  
TRUSSES

## ● REPRESENTS SHEET SUBMITTED

[illegible]

## ● REPRESENTS SHEET SUBMITTED

[illegible]

THE PROJECT CONSISTS OF 72 APARTMENT UNITS CONSISTING OF (5) 3-STORY APARTMENT BUILDINGS ON SITE, (4) CONTAINING 4 UNITS PER FLOOR AND (1) CONTAINING 8 PER FLOOR. THE UNIT MIX IS MADE UP OF 19 ONE BEDROOM/ ONE BATH UNITS, 18 TWO BEDROOM/ ONE BATH, 25 TWO BEDROOM/TWO BATH UNITS AND 6 THREE BEDROOM/TWO BATH UNITS.

SECTION 36 TOWNSHIP 18 RANGE 2W QUARTER N ½NW PLAT BRIGGS VILLAGE WEST NORTH  
RESIDENTIAL PH ONE LT 92 DOCUMENT 3858055

PARCEL #: 3703000-9200  
SITE ADDRESS: 4255 MAPLE STREET SE, OLYMPIA, WA 985001  
TOTAL SITE AREA: +/-2.00 ACRES  
IMPERVIOUS AREA: SEE CIVIL PLANS FOR CALCULATION  
REQUIRED PARKING: 1.5 SPACES PER UNIT: 1.5 x 72 UNITS = 108 STALLS REQ'D.  
5 HC STALLS (1 VAN)  
115 STALLS (INCLUDES 5 HC STALLS)  
40 STALLS ARE COVERED CARPORT STALLS

BUILDING TYPE MIX:

BUILDING TYPE#1 (3-STORY): 1 ON SITE  
BUILDING TYPE#2 (3-STORY): 2 ON SITE  
BUILDING TYPE#3 (3-STORY): 1 ON SITE  
BUILDING TYPE#4 (3-STORY): 1 ON SITE

BUILDING UNIT MIX:

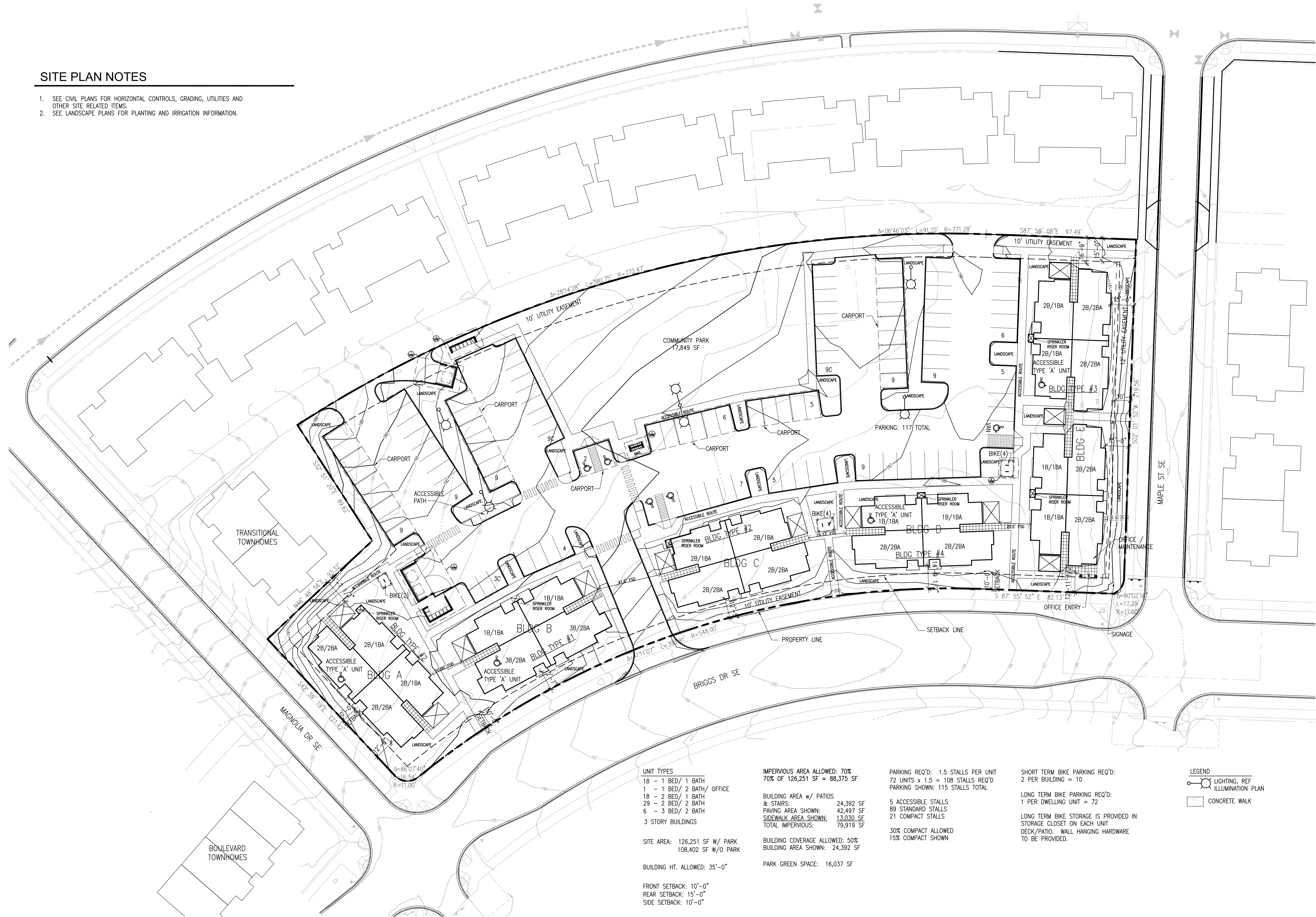
1 BR/1 BA: 19 UNITS  
2 BR/1 BA: 18 UNITS  
2 BR/2 BA: 29 UNITS  
3 BR/2 BA: 6 UNITS

PROJECT NAME	BRIGGS VILLAGE APARTMENTS NORTH
LOCAL JURISDICTION:	CITY OF OLYMPIA
CODES UTILIZED:	2015 OLYMPIA MUNICIPAL CODE
	2015 INTERNATIONAL BUILDING CODE (IBC)
	2015 INTERNATIONAL MECHANICAL CODE
	2012 UNIFORM PLUMBING CODE
	2015 INTERNATIONAL FIRE CODE
	2009 ICC/ANSI A117.1
	2015 WASHINGTON STATE ENERGY CODE
	APPLICABLE WASHINGTON STATE CODE AMENDMENTS
CURRENT ZONING:	R2 - IBC
OCCUPANCY:	V-B
CONSTRUCTION TYPE:	YES - NFPA 13R (INCLUDING EXTERIOR BALCONIES & PATIOS)
SPRINKLERED:	YES
FIRE ALARM:	72 UNITS
TOTAL NUMBER OF UNITS:	3
NUMBER OF STORIES:	35'-0"
MAX. ALLOWABLE HEIGHT:	34'-7" MAX.
TOTAL PROPOSED BUILDING HEIGHT:	VARIABLES, SEE FLOOR PLANS FOR CALCCS
SQUARE FOOTAGE PER STORY:	RESIDENTIAL = 200 GROSS
OCCUPANCY LOAD PER TABLE 1004.1.1:	= 19 OCCUPANTS PER STORY (WORST CASE)
ACCESSIBLE DWELLING UNIT REQ,D	
PER 1107.6.2.1 (WASH. STATE AMEND.):	72 DWELLING UNITS x 5% = 4 "TYPE A" DWELLING UNITS REQUIRED, ALL GROUND FLOOR UNITS TO BE "TYPE B" ACCESSIBLE UNITS.
NON-RENTAL LIVING UNITS:	1



SITE PLAN NOTES

1. SEE CIVIL PLANS FOR HORIZONTAL CONTROLS, GRADING, UTILITIES AND OTHER SITE RELATED ITEMS.
2. SEE LANDSCAPE PLANS FOR PLANTING AND IRRIGATION INFORMATION.



UNIT TYPES  
18 - 1 BED/ 1 BATH  
1 - 1 BED/ 2 BATH/ OFFICE  
18 - 2 BED/ 1 BATH  
29 - 2 BED/ 2 BATH  
6 - 3 BED/ 2 BATH  
3 STORY BUILDINGS

SITE AREA: 126,251 SF W/ PARK  
108,402 SF W/O PARK

BUILDING HT. ALLOWED: 35'-0"

FRONT SETBACK: 10'-0"  
REAR SETBACK: 15'-0"  
SIDE SETBACK: 10'-0"

IMPERVIOUS AREA ALLOWED: 70%  
70% OF 126,251 SF = 88,375 SF

BUILDING AREA W/ PATIOS  
& STAIRS: 24,392 SF  
PAVING AREA SHOWN: 42,497 SF  
SIDEWALK AREA SHOWN: 13,030 SF  
TOTAL IMPERVIOUS: 79,919 SF

BUILDING COVERAGE ALLOWED: 50%  
BUILDING AREA SHOWN: 24,392 SF

PARK GREEN SPACE: 16,037 SF

PARKING REQ'D: 1.5 STALLS PER UNIT  
72 UNITS x 1.5 = 108 STALLS REQ'D  
PARKING SHOWN: 115 STALLS TOTAL

5 ACCESSIBLE STALLS  
89 STANDARD STALLS  
21 COMPACT STALLS

30% COMPACT ALLOWED  
15% COMPACT SHOWN

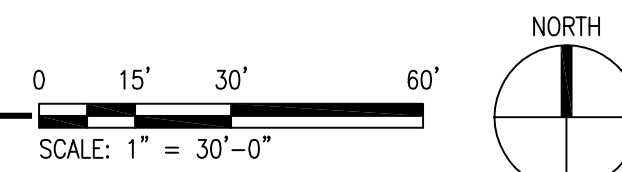
SHORT TERM BIKE PARKING REQ'D:  
2 PER BUILDING = 10

LONG TERM BIKE PARKING REQ'D:  
1 PER DWELLING UNIT = 72

LONG TERM BIKE STORAGE IS PROVIDED IN  
STORAGE CLOSET ON EACH UNIT  
DECK/PATIO, WALL HANGING HARDWARE  
TO BE PROVIDED.

LEGEND  
LIGHTING, REF  
ILLUMINATION PLAN  
CONCRETE WALK

1 SITE PLAN  
SCALE: 1" = 30'-0"



VERTICAL DATUM

NAVD88 VERTICAL DATUM WAS ESTABLISHED USING CITY OF  
OLYMPIA BENCHMARK NO. 1331, FOUND 2.5" BRASS DISC LOCATED  
ON TOP OF CURB AT SOUTH END OF RETURN IN THE SOUTHEAST  
QUADRANT OF THE INTERSECTION OF HENDERSON BOULEVARD AND  
MIDDLE STREET.  
ELEVATION= 193.24 FEET



# Briggs Dr SE Elevation

DESIGN





# View East at Magnolia Dr SE

DESIGN





# View North at Magnolia Dr SE

DESIGN





# View North at Maple St SE

DESIGN





# View West at Maple St SE

DESIGN


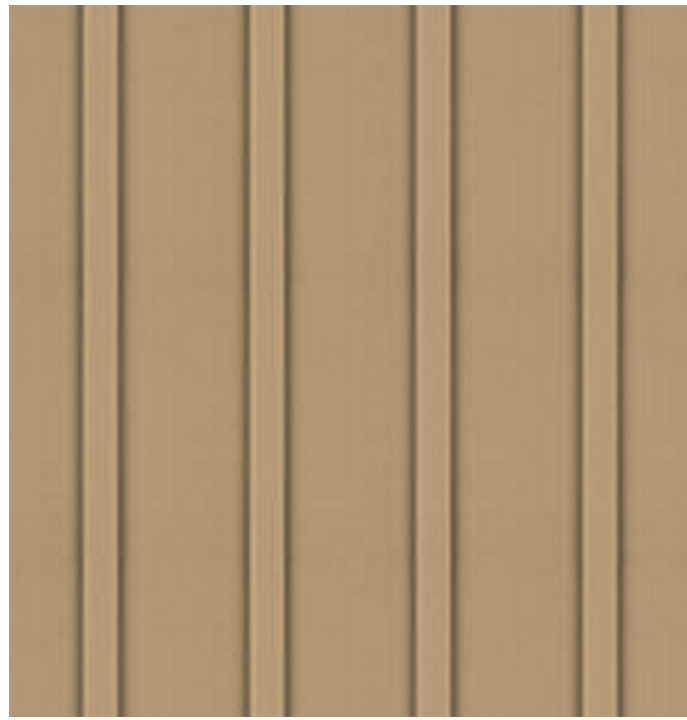






# Colors & Materials

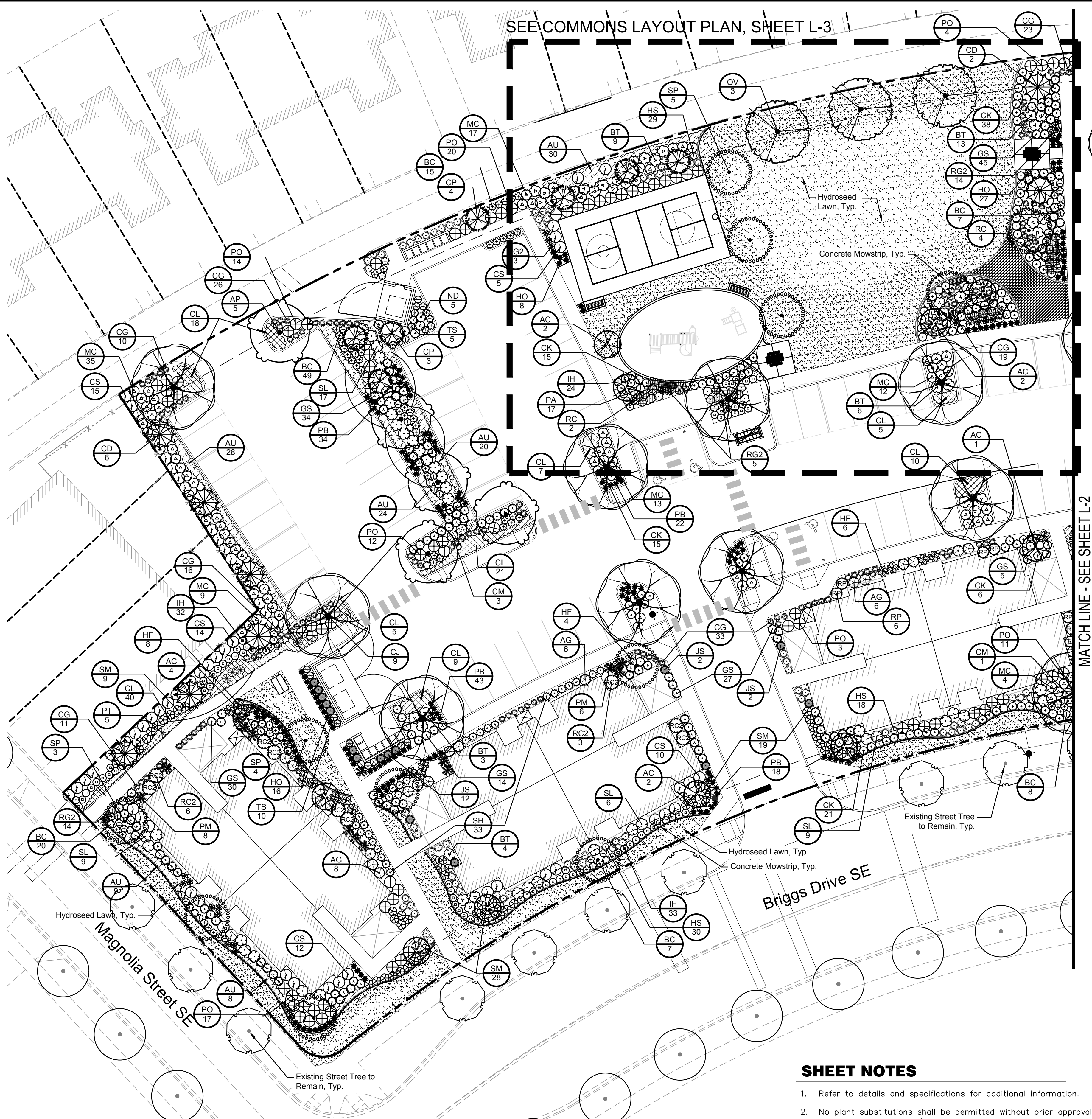
## DESIGN

Colors & Materials  
DESIGN

COLORS		STILLWATER	LABRADOR BLUE	DARTMOUTH GREEN	GRENADIER POND	BRUNSWICK BEIGE	DAVENPORT TAN	TROUT GRAY
FIBER CEMENT SIDING MATERIALS	FIBER CEMENT LAP SIDING							
	FIBER CEMENT BOARD & BATTEN							
	FIBER CEMENT PANEL SIDING							
BUILDING MATERIALS	FIBER CEMENT TRIM MOHAIR							



Mar 16, 2017 5:09:47pm - User: allan@scj.com - CONSTRUCTION DOCUMENTS\CADD\2358.01 L-1-P.DWG  
N:\PROJECTS\2358.01 NORTH MULTI-FAMILY RESIDENTIAL PHASE 20 - ASSOCIATES\2358.01 NORTH MULTI-FAMILY RESIDENTIAL PHASE 20 - L-1-P.DWG



### LANDSCAPE COST ESTIMATE

Following is a breakdown of the cost of the landscape plantings including purchase, installation and maintenance for 3 years.

Planting Type	Quantity	Unit Cost	Subtotal
Trees (2" Caliper or 7-8' ht.)	88	\$480.00	\$42,240.00
Shrubs: 5 gal. container (ea.)	501	\$58.00	\$29,058.00
Shrubs: 2 gal. container (ea.)	1143	\$30.00	\$34,290.00
Shrubs, perennials, groundcovers: 1 gal. container (ea.)	1345	\$55.00	\$73,975.00
Lawn Areas (per s.f.)	14,123	\$2.00	\$28,246.00
Total Cost			\$207,809.00

### TREE UNIT CALCULATIONS

Buildable Site Area	2.9 acres
Required Tree Units (30 units/acre)	87 Units
Existing Tree Units to Remain	0
New Tree Units Provided	87
Total Site Tree Units	87

Tree Unit Calculations do not include Street Trees.

See Landscape Plan this Sheet and Plant Legend, Sheet L-2, for more information about proposed trees.

### SHEET NOTES

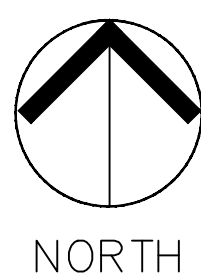
- Refer to details and specifications for additional information.
- No plant substitutions shall be permitted without prior approval of Landscape Architect/Owner.
- All work shall be performed to the satisfaction of the Landscape Architect/Owner.
- Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover quantities shall be adjusted as required for field conditions at the specified spacing.
- All plants must be approved by Landscape Architect or Owner's representative prior to installation.
- All new landscape areas shall be watered by an automatic underground irrigation system.

### PLANT SCHEDULE L-1

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CAL	SIZE
	AC	11	ACER CIRCINATUM / VINE MAPLE	B&B/CONT.	3-5 STEMS, 7'-8' HT.
	AP	5	ACER TRUNCATUM 'PACIFIC SUNSET' / PACIFIC SUNSET MAPLE	B&B/CONT.	12'-14' HT.
	CD	8	CALOCEDRUS DECURRENS / INCENSE CEDAR	B&B/CONT.	7-8' HT.
	CJ	9	CERCIDIPHYLLUM JAPONICUM / KATSURA TREE	B&B/CONT.	2" CAL., 12-14' HT.
	CP	7	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING ALASKA CEDAR	B&B/CONT.	7-8' HT.
	E3	9	EXISTING STREET TREE / STREET TREE TO REMAIN	EXISTING	
	OV	3	OSTRYA VIRGINIANA / AMERICAN HOPHORNBEAM	2" CAL	10'-12' HT.
	SP	12	STEWARTIA PSEUDOCAMELLIA / JAPANESE STEWARTIA	B&B/CONT.	2" CAL., 10' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	AG	20	AUCUBA JAPONICA 'MR. GOLDSTRIKE' / MR. GOLDSTRIKE AUCUBA	5 GAL	4' O.C.
	BT	35	BERBERIS THUNBERGII 'CHERRY BOMB' / 'CHERRY BOMB' BARBERRY	5 GAL	4' O.C.
	BC	106	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL	2-1/2' O.C.
	CG	138	CAREX AUREA / GOLDEN SEDGE	1 GAL	2-1/2' O.C.
	CS	56	CHOISYA TERNATA 'SUNDANCE' / GOLDEN MEXICAN ORANGE	5 GAL	4' O.C.
	CM	5	CORNUS SERICEA 'MIDWINTER FIRE' / MIDWINTER FIRE DOGWOOD	5 GAL	4' O.C.
	CK	95	CORNUS STOLONIFERA 'KELSEY' / KELSEY DOGWOOD	2 GAL	3' O.C.
	GS	155	GAULTHERIA SHALLON / SALAL	2 GAL	3' O.C.
	HS	77	HELIOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	3' O.C.
	HO	64	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	2' O.C.
	HF	19	HOSTA X 'FRANCES WILLIAMS' / FRANCES WILLIAMS' HOSTA	1 GAL	3' O.C.
	IH	89	ILEX CRENATA 'HELERII' / HELERI JAPANESE HOLLY	2 GAL	2-1/2' O.C.
	JS	16	JUNIPERUS VIRGINIANA 'SKYROCKET' / SKYROCKET JUNIPER	B&B/CONT. MIN.3' HT.	3' O.C.
	MC	90	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	2 GAL	3-1/2' O.C.
	ND	5	NANDINA DOMESTICA / HEAVENLY BAMBOO	5 GAL	3-1/2' O.C.
	PB	117	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL	2' O.C.
	PT	5	PHORMIUM TENAX 'TOM THUMB' / DWARF GREEN FLAX	2 GAL	3' O.C.
	PM	14	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	4' O.C.
	PA	17	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD POTENTILLA	2 GAL	3' O.C.
	PO	81	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / 'OTTO LUYKEN' LAUREL	5 GAL, 18" MIN. HT.	4' O.C.
	RC2	9	RHODODENDRON X 'CHRISTMAS CHEER' / CHRISTMAS CHEER RHODODENDRON	5 GAL, 18" MIN. HT.	5' O.C.
	RP	5	RHODODENDRON X 'PERCY WISEMAN' / PERCY WISEMAN RHODODENDRON	5 GAL, 18" MIN. HT.	4' O.C.
	RC	6	ROSA X 'CECILE BRUNNER' / CECILE BRUNNER CLIMBING ROSE	5 GAL	
	RG2	36	RUDEBECKIA FULGIDA 'GOLDSTRUM' / BLACK EYED SUSAN	1 GAL	2-1/2' O.C.
	SH	37	SARCOCOCCA HOOKERIANA HUMILIS / CREEPING SWEET BOX	2 GAL	3' O.C.
	SM	56	SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA	2 GAL	3' O.C.
	SL	41	SPIRAEA X BUMALDA 'LIMEMOUND' / LIMEMOUND SPIREA	5 GAL	4' O.C.
	TS	15	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	B&B/CONT. MIN.3' HT.	2-1/2' O.C.

### GROUND COVERS

GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	AU	124	ARCTOSTAPHYLOS UVA-URSI / KINNICKINICK	1 GAL	
	CL	115	COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER	1 GAL	2-1/2' O.C.



0 20 40  
SCALE IN FEET



STATE OF  
WASHINGTON  
LICENSED  
LANDSCAPE ARCHITECT  
JEFFREY B. GLANDER  
LICENSE NO. 405  
EXPIRES ON 02-06-2019

DATE

REVISIONS

JOB NO.: 2358.01

DRAWN BY: J.MCFARLAND

APPROVED BY: J.GLANDER

DATE: MARCH 2017

**SCJ ALLIANCE**  
CONSULTING SERVICES  
8730 TALLON LANE, SUITE 200, LACEY, WASHINGTON 98516  
P: 360-532-1500  
F: 360-532-1505  
SCJALLIANCE.COM

**BRIGGS NORTH MULTI FAMILY SITE**  
OLYMPIA, WA

SEAL:












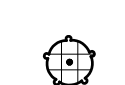





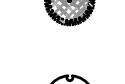









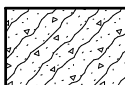

**LANDSCAPE PLAN AND NOTES**  
FOR PERMIT REVIEW

DRAWING NO:  
**L-1**  
**1 OF 7**



Mar 16, 2017 5:05:54pm - User: allmacedonia  
N:\PROJECTS\2358 CABINO & ASSOCIATES\2358.01 NORTH MULTIFAMILY RESIDENTIAL PHASE 20 - CONSTRUCTION DOCUMENTS\CADD\2358.01 L-1.DWG

PLANT SCHEDULE L-2

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CAL	SIZE
	AC	2	ACER CIRCINATUM / VINE MAPLE	B&B/CONT.	3-5 STEMS, 7'-8' HT.
	AP	5	ACER TRUNCATUM 'PACIFIC SUNSET' / PACIFIC SUNSET MAPLE	B&B/CONT.	12'-14' HT.
	CJ	10	CERCIDIPHYLLUM JAPONICUM / KATSURA TREE	B&B/CONT.	2" CAL., 12-14' HT.
	CP	6	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING ALASKA CEDAR	B&B/CONT.	7-8' HT.
	E3	13	EXISTING STREET TREE / STREET TREE TO REMAIN	EXISTING	
	SP	10	STEWARTIA PSEUDOCAMELLIA / JAPANESE STEWARTIA	B&B/CONT.	2" CAL., 10' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	AG	35	AUCUBA JAPONICA 'MR. GOLDSTRIKE' / MR. GOLDSTRIKE AUCUBA	5 GAL	4' O.C.
	BT	23	BERBERIS THUNBERGII 'CHERRY BOMB' / 'CHERRY BOMB' BARBERRY	5 GAL	4' O.C.
	BC	119	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL	2-1/2' O.C.
	CG	135	CAREX AUREA / GOLDEN SEDGE	1 GAL	2-1/2' O.C.
	CS	31	CHOISYA TERNATA 'SUNDANCE' / GOLDEN MEXICAN ORANGE	5 GAL	4' O.C.
	CM	60	CORNUS SERICEA 'MIDWINTER FIRE' / MIDWINTER FIRE DOGWOOD	5 GAL	4' O.C.
	CK	8	CORNUS STOLONIFERA 'KELSEY' / KELSEY DOGWOOD	2 GAL	3' O.C.
	GS	125	GAULTHERIA SHALLON / SALAL	2 GAL	3' O.C.
	HO	37	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	2' O.C.
	HF	26	HOSTA X 'FRANCES WILLIAMS' / 'FRANCES WILLIAMS' HOSTA	1 GAL	3' O.C.
	JS	3	JUNIPERUS VIRGINIANA 'SKYROCKET' / SKYROCKET JUNIPER	B&B/CONT. MIN.3' HT.	3' O.C.
	MC	88	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	2 GAL	3-1/2' O.C.
	PB	99	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL	2' O.C.
	PT	6	PHORMIUM TENAX 'TOM THUMB' / DWARF GREEN FLAX	2 GAL	3' O.C.
	PM	26	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	4' O.C.
	PO	33	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / 'OTTO LUYKEN' LAUREL	5 GAL, 18" MIN. HT.	4' O.C.
	RP	12	RHODODENDRON X 'PERCY WISEMAN' / PERCY WISEMAN RHODODENDRON	5 GAL, 18" MIN. HT.	4' O.C.
	RG2	22	RUDBECKIA FULGIDA 'GOLDSTRUM' / BLACK EYED SUSAN	1 GAL	2-1/2' O.C.
	SH	87	SARCOCOCCA HOOKERIANA HUMILIS / CREEPING SWEET BOX	2 GAL	3' O.C.
	SM	60	SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA	2 GAL	3' O.C.
	SL	25	SPIRAEA X BUMALDA 'LIMEMOUND' / LIMEMOUND SPIREA	5 GAL	4' O.C.
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	AU	111	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	1 GAL	2-1/2" O.C.
	CL	185	COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER	1 GAL	2-1/2" O.C.

SURETY BOND - OMC 16.60.100E.E

SURETY. For residential developments containing more than four units, commercial and industrial projects, the application will be required to post a surety. The surety shall be in the form approved by the city attorney. The surety document shall have a face amount equal to 125 percent of the estimated amount necessary to guarantee the maintenance and replacement of trees in conformance with the mainneance requirement and tree plan for a period of three years from the date the certificate of occupancy is issued by the City.

INSTALLATION AND MAINTENANCE SCHEDULE

GENERAL CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF TREES TO REMAIN WITH OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION.

INSTALLATION & MAINTENANCE SCHEDULE - APPROXIMATE

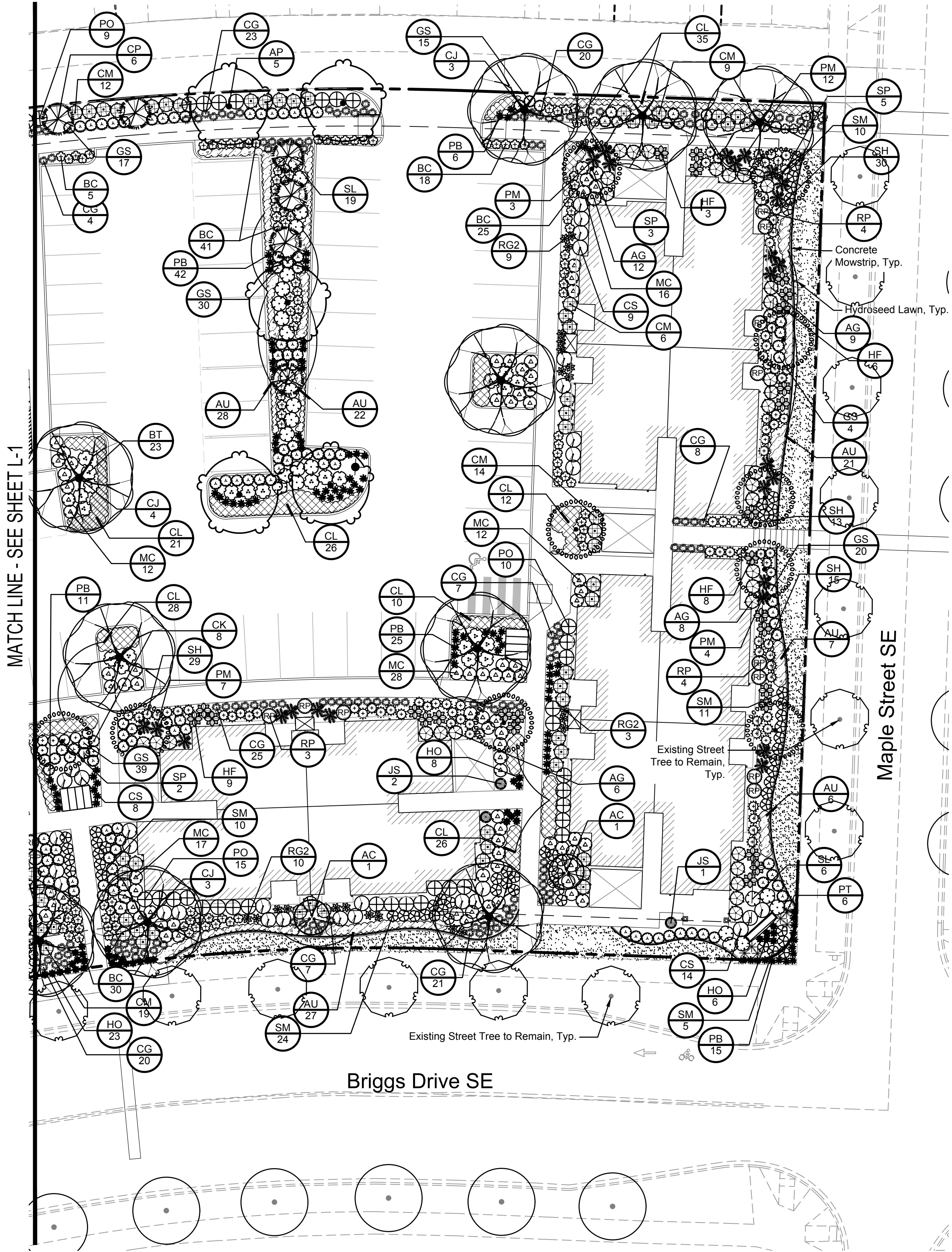
NOV 2017 - FEB 2018

SOIL PREPARATION, IRRIGATION INSTALLATION, PLANTING, STAKING, WATERING. (INCLUDING STORM POND), SUBSTANTIAL COMPLETION EXPECTED FEBRUARY 2018.  
60-DAY MAINTENANCE PERIOD.  
WEEKLY MAINTENANCE VISITS AND INSPECTION OF PLANT MATERIAL  
FINAL PUNCH LIST AND ACCEPTANCE OF PROJECT EXPECTED  
WEEKLY MAINTENANCE VISITS  
LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED  
MONTHLY FERTILIZE AND PRUNING AS NEEDED  
WEEKLY MAINTENANCE VISITS  
LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED  
MONTHLY FERTILIZE AND PRUNING AS NEEDED  
WEEKLY MAINTENANCE VISITS  
LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED  
MONTHLY FERTILIZE AND PRUNING AS NEEDED

FEB 2018 - APR 2018

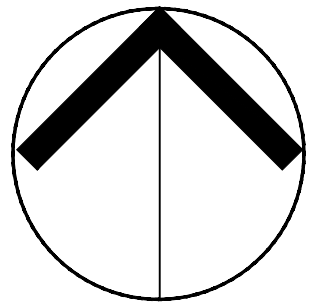
APR 2018

APR-SEPT 2018  
SEPT - NOV 2018  
OCT 2018-MARCH 2019  
MARCH-SEPT 2019  
SEPT - NOV 2019  
OCT 2019-MARCH 2020  
MARCH-SEPT 2020  
SEPT - NOV 2020  
OCT 2020-MARCH 2021



SHEET NOTES

- Refer to details and specifications for additional information.
- No plant substitutions shall be permitted without prior approval of Landscape Architect/Owner.
- All work shall be performed to the satisfaction of the Landscape Architect/Owner.
- Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover quantities shall be adjusted as required for field conditions at the specified spacing.
- All plants must be approved by Landscape Architect or Owner's representative prior to installation.
- All new landscape areas shall be watered by an automatic underground irrigation system.



NORTH

0 20 40  
SCALE IN FEET



STATE OF WASHINGTON  
LICENSED  
LANDSCAPE ARCHITECT  
JEFFREY B. GLANDER  
LICENSE NO. 405  
EXPIRES ON 02-06-2019

DATE

REVISIONS

JOB NO: 2358.01

DRAWN BY: J.MCFARLAND

APPROVED BY: J.GLANDER

DATE: MARCH 2017



SCJ ALLIANCE  
CONSULTING SERVICES  
8730 TALLON LANE, SUITE 200, LACEY, WASHINGTON 98516  
P: 360-532-1100  
F: 360-532-1105  
SCJALLIANCE.COM

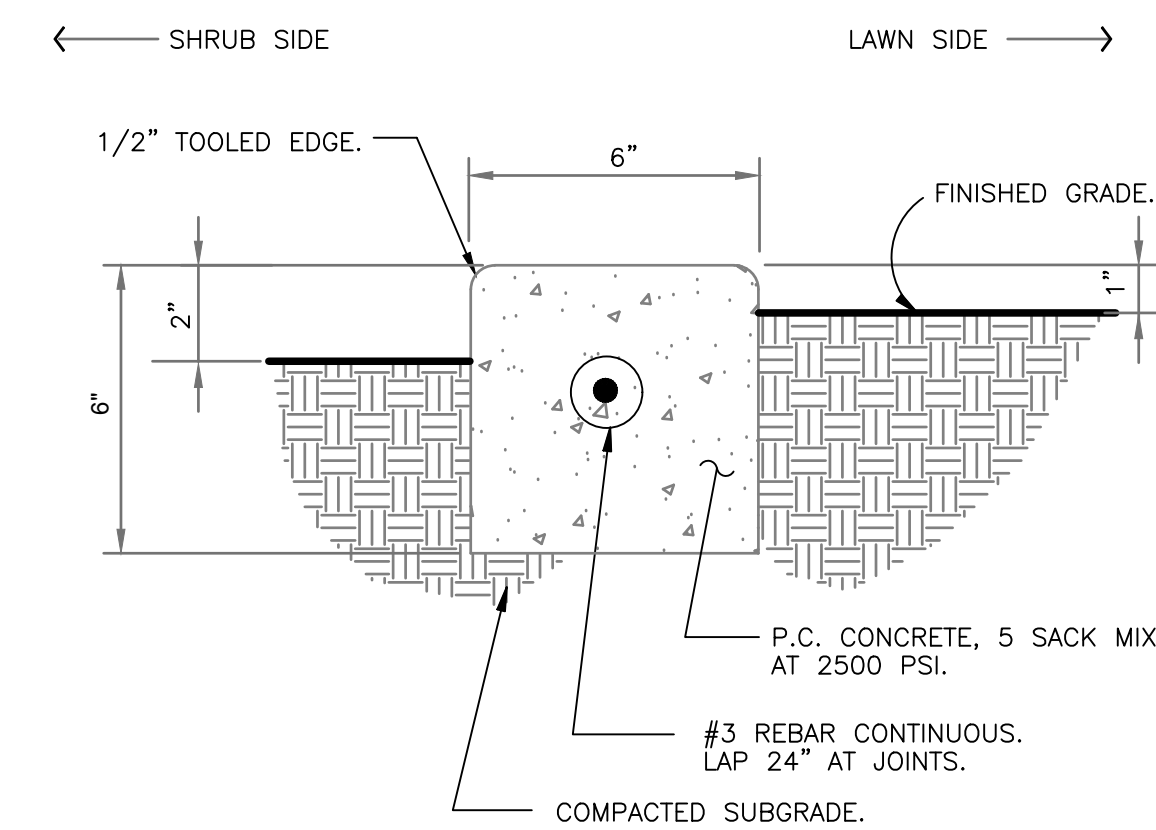
BRIGGS NORTH MULTI FAMILY SITE  
OLYMPIA, WA

SEAL:

LANDSCAPE PLAN AND NOTES  
FOR PERMIT REVIEW

DRAWING NO:  
L-2  
2 OF 7

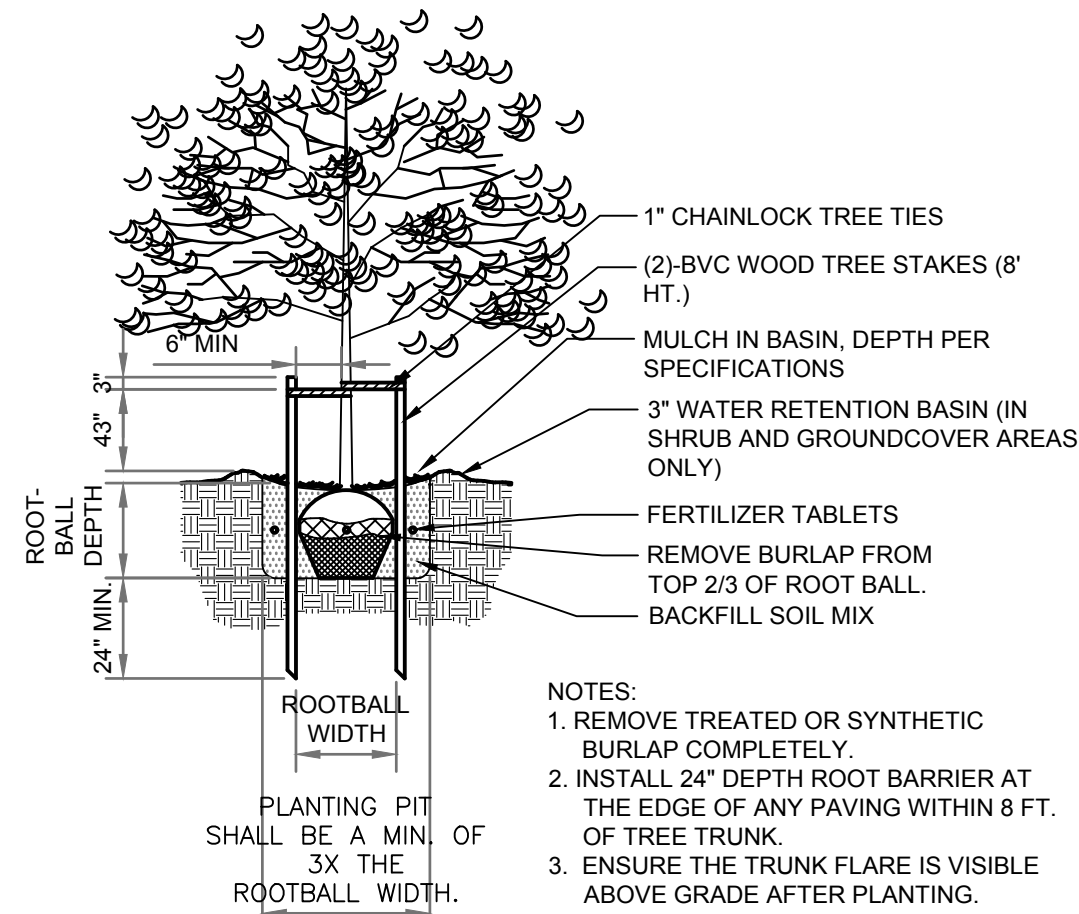




- 3 OF 7



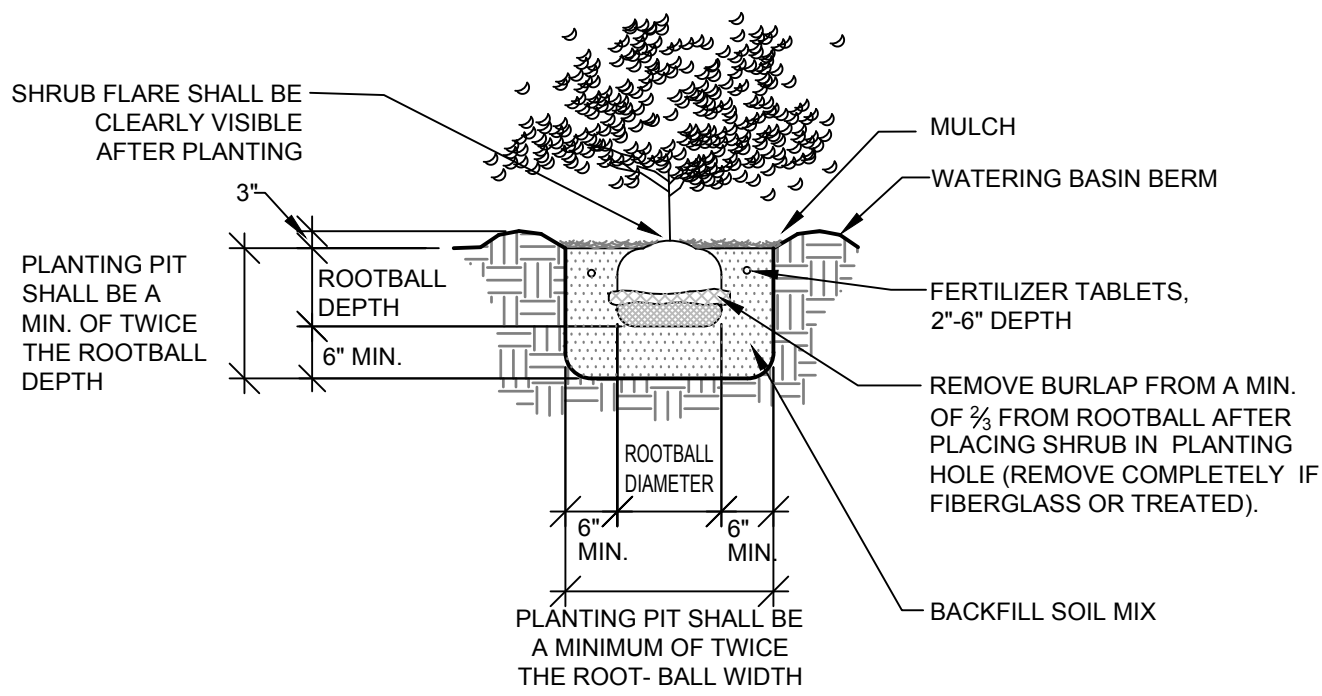
Nov 16, 2017 5:01:02pm User: jllm456789  
NO PROJECTS 2358 GARDEN & ASSOCIATES 2358.01 NORTH MULTIFAMILY RESIDENTIAL PHASE 20 - CONSTRUCTION DOCUMENTS(CADD)\_2358.01 X-LP.DWG



## TREE PLANTING & STAKING DETAIL

N.T.S.

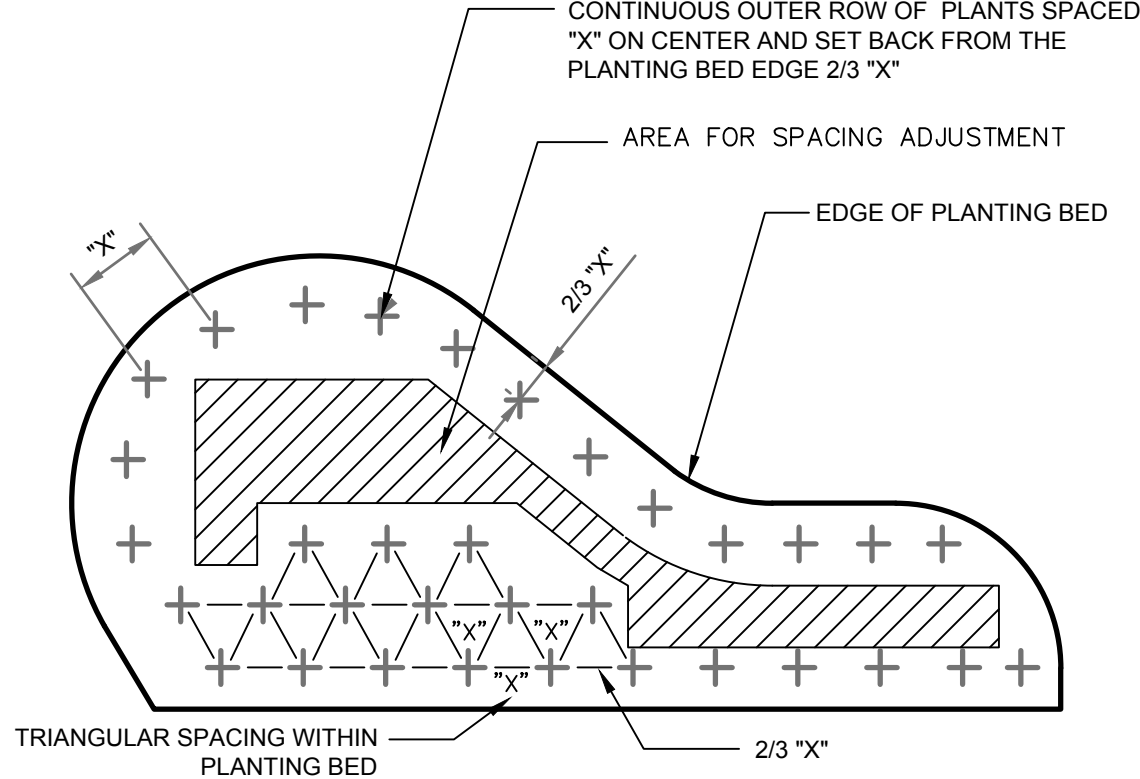
P-CO-BR11-05



## SHRUB PLANTING DETAIL (B&B OR CONT.)

N.T.S.

P-CO-BR11-03



## PLANT SPACING DETAIL

N.T.S.

P-CO-BR11-02

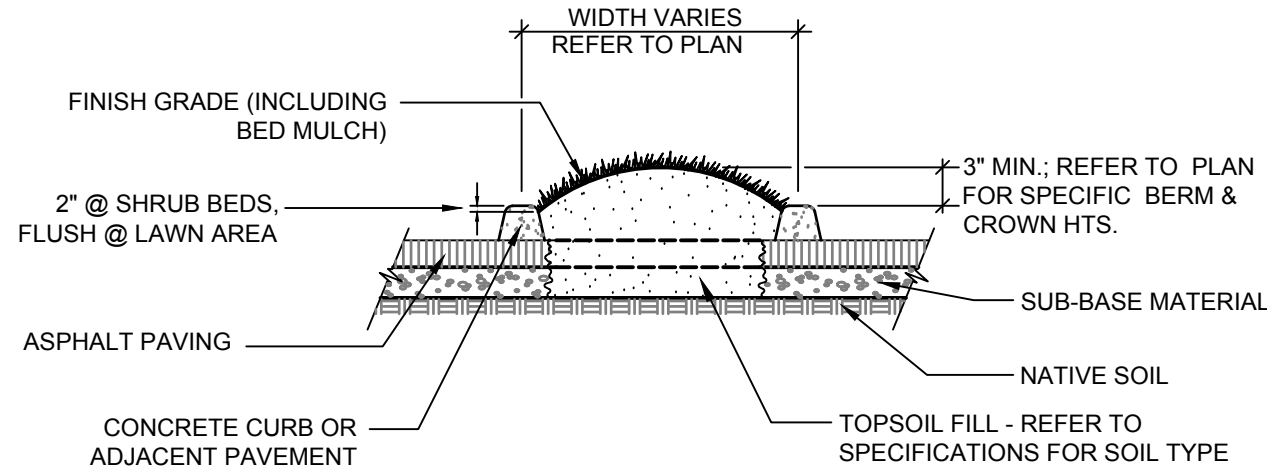
## LANDSCAPE SPECIFICATIONS

- Refer to details for additional information.
- Weed removal - Contractor shall mechanically pull any noxious weed species, such as Scotch Broom and Himalyan blackberry, and dispose of in an off-site dump, taking care to remove as much of the root system as possible. Chemical weed control shall be used only if mechanical and cultural methods are not effective. Any use of herbicides must be recommended and applied by a licensed professional. Any use of chemicals shall be consistent with the requirements of the Integrated Pest Management Plan.
- Distribute imported sandy loam topsoil (approved by the Landscape Architect) in areas shown and at depths indicated for crowning and berming of landscape areas, and backfill of retaining walls (if required). Dotted lines indicate 1' contour intervals. All landscape areas shall receive topsoil, whether indicated on plans or not, so that finish grades of all shrub beds shall be 2" below tops of adjacent curbs and pavement, and lawn areas shall be 1/2" below tops of adjacent curbs and pavement. Structural fill areas: Any landscape areas occurring within structural fill zones shall have said structural fill materials excavated to a depth of 12" below finish grades in shrub areas and 6" below grade in lawn areas, and replaced with specified topsoil. Dispose of excavated material off site.
- Fine grade all landscape beds prior to planting operations. All non-compostable materials shall be removed by hand after application.
- No plant substitutions shall be permitted without prior approval of Landscape Architect/Owner and the City of Olympia.
- All plants shall conform to the latest edition of the American Standard for Nursery Stock.
- All plant materials and plant locations shall be approved by the Landscape Architect prior to installation. All plants shall be thoroughly watered immediately after planting with Alaska Fish Fertilizer solution.
- Root barrier shall be incorporated adjacent and parallel to paving, curb and sidewalk, a minimum of 15 linear feet (7.5' on either side of trunk), 24" deep, where any tree is within 5' of paving, curb or sidewalk. Root barrier shall be DeepRoot UB-24 as available from Ewing Irrigation Products, 2801 S Tacoma Way, Tacoma, WA 98409 (253) 476-8530 or approved equal.
- Soil amendment for soil preparation and planting backfill shall be a screened 5/8" minus nitrified wood residual compost equal to:  
A. "Silver Springs Top Grade Compost" brand compost as available from Corliss Resources Lake Tapps, WA (253) 279-9102.  
B. "Cedar Grove Compost" brand compost as available from Cedar Grove Compost, Maple Valley, WA (877) 764-5748.  
C. PREP/LRI compost as available from Randles Sand and Gravel, Inc., Puyallup, WA (253) 537-6828.

ALL NON-COMPOSTABLE MATERIALS WILL BE REMOVED FROM SITE.

- Soil Preparation - (all landscape areas) must meet Well Head Protection Areas minimum mitigation standards [OMC 18.32.225(A)(2)(a)]. For planting beds spread 3 c.y. of specified soil amendment per 1000 s.f. (approx. 3" depth) and amend to a settled depth of 8" (inches) or a topsoil mix containing 35-40% compost by volume. For lawn areas spread 5.4 c.y. of specified soil amendment per 1000 s.f. (approx. 1.75" depth) and amend to a settled depth of 8" (inches) or a topsoil mix containing 20-25% compost by volume. Spread 100 lbs./1000 s.f. of dolomite lime (in lawn areas only), 150 lbs./1000 s.f. of Agricultural Gypsum and 1 lbs./1000 s.f. of 15-8-8 commercial fertilizer over soil amendment. Roto-till all of the above to a 6"-8" depth and grade smooth, compacting as required and removing all rocks, clods and debris.
- Lawn areas (seed or sod refer to plans) shall consist of one of the following turf types:  
60% Turf-Type Perennial Ryegrass Varieties  
20% Bluegrass  
20% Hard Fescue  
60% Turf-Type Perennial Ryegrass Varieties  
40% Turf-Type Fescue
- Seed and sod shall be equal to that as grown by Country Green Turf Farms, Olympia, WA or JB Instant Lawn, Redmond, WA. Seed shall be applied at 7 lbs/1000 s.f. and include 10 lbs./1000 s.f. of United Horticulture 15-5-10 fertilizer in all lawn areas.
- All trees in lawn areas shall be planted in a 3' diameter circle of bed mulch.
- Backfill mix for all plants (except Rhododendrons & Azaleas) shall be a blend of 1/3 existing site soil, 1/3 coarse sand, and 1/3 soil amendment specified in No. 9. Backfill mix for Rhododendrons and Azaleas shall consist of 2/3 above specified backfill mix and 1/3 fine grind hem-fir bark mulch.
- Only slow release fertilizers shall be applied for the life of the development at a maximum amount of 4 lbs of nitrate as nitrogen annually and no more than 1 lb per application for every 1,000 square feet of turf grass. Only fertilizer formulas with a minimum of 50 percent water insoluble form of nitrogen are permitted for use. Approved water insoluble forms of nitrogen include sulfur and/or polymer coated fertilizers, Isobutylidene Diurea (IBDU), Methylen Urea and Ureafarm, and organic fertilizers registered with Washington Department of Agriculture.
- Apply Osmocote 18-6-12, 9 month slow release fertilizer over the surface of all plant pits at the following rates:

Trees Over 10' Height	2 Cups	Trees Under 10' Height	1 Cup
All Shrubs Except 1 Gallons:	1/2 Cup	1 Gallon Plants:	1/4 Cup
Ground Covers:	1/4 Cup		
- Fertilizer tablets for all plants shall be Agriform (20-10-5) 21 gram or 10 gram tablets distributed as follows: All trees: 4-21 gram tablets, all shrubs (except 1 gallon): 3-21 gram tablets, all 1 gallons: 1-21 gram tablet, all 2-14" and 4" pot ground covers: 1-10 gram tablet each. Set tablets directly next to rootball.
- All shrub and tree planting beds shall receive a 4" depth (6 c.y. per 1000 s.f.) of "Fine Grind" hem-fir bark mulch as top dressing. Ground cover beds shall receive a depth of mulch up to 4" that does not interfere with the plants' growth.
- Apply a granular pre-emergent herbicide to all shrub and groundcover beds at the conclusion of the maintenance period, if recommended and applied by a licensed professional. Do not use Casoron or Norasac Brands. Any use of chemicals shall be consistent with the requirements of the Integrated Pest Management Plan.
- All work shall be performed to the satisfaction of the Landscape Architect/Owner.
- All plants shall be guaranteed for one full year from date of project acceptance. All replaced plants shall be re-guaranteed. All replacements shall be made within 21 days of receiving written notice from the Owner. Contractor shall not be responsible for plants dying due to Owner neglect or vandalism, after the maintenance period.
- Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover and/or mass shrub quantities shall be adjusted as required for field conditions at the specified spacing.
- Final inspection shall occur at the conclusion of a 60-day maintenance period. Maintenance period shall commence upon completion of all landscape installation activities and shall include the following:  
A. Mow lawns once per week.  
B. Remove all weeds over 1" in height.  
C. Replace dead or unhealthy plants.  
D. Ensure proper function of irrigation system.  
E. Ensure adequate moisture is delivered to all landscape beds including non-irrigated areas.  
F. Fertilize all lawns at conclusion of maintenance period. Note: weed and feed type fertilizers containing pre-emergent herbicides shall not be used.



NOTE: GENERAL CONTRACTOR SHALL REMOVE EXCESS ASPHALT PAVEMENT AND SUB-BASE MATERIAL DOWN TO NATIVE SOIL, 12" MIN. DEPTH.

## PARKING ISLAND PLANTER DETAIL OLYMPIA

N.T.S.

P-CO-BR11-07

## ARBOR NOTES:

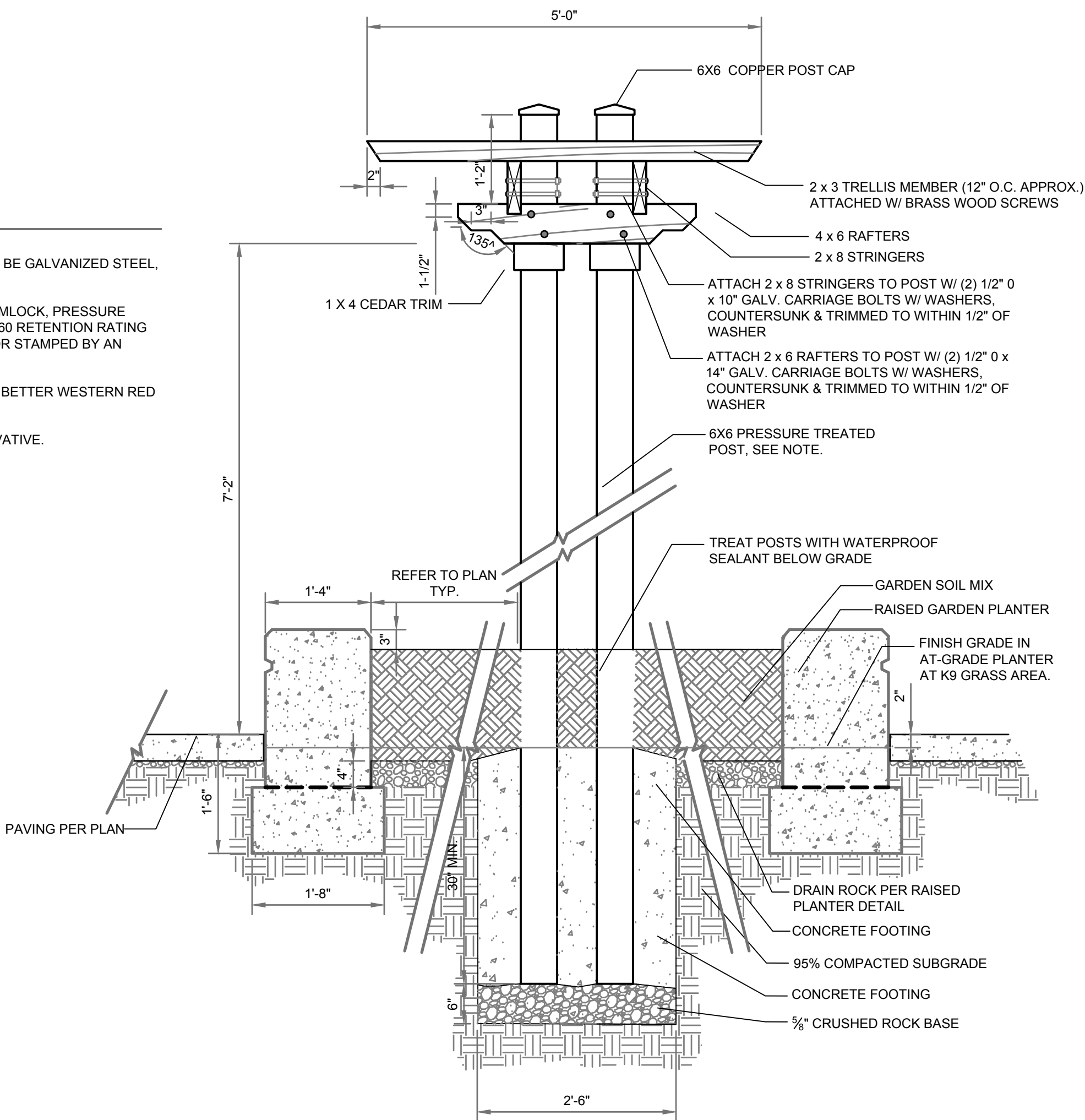
COUNTERSINK ALL BOLTS. ALL HARDWARE TO BE GALVANIZED STEEL, EXCEPT AS NOTED.

POSTS SHALL BE 6x6 SELECT STRUCTURAL HEMLOCK, PRESSURE TREATED W/ A BROWN TONED CCA PROCESS 80 RETENTION RATING MINIMUM (C2-60). ALL WOOD TO BE TAGGED OR STAMPED BY AN A.L.S.C. APPROVED AGENCY.

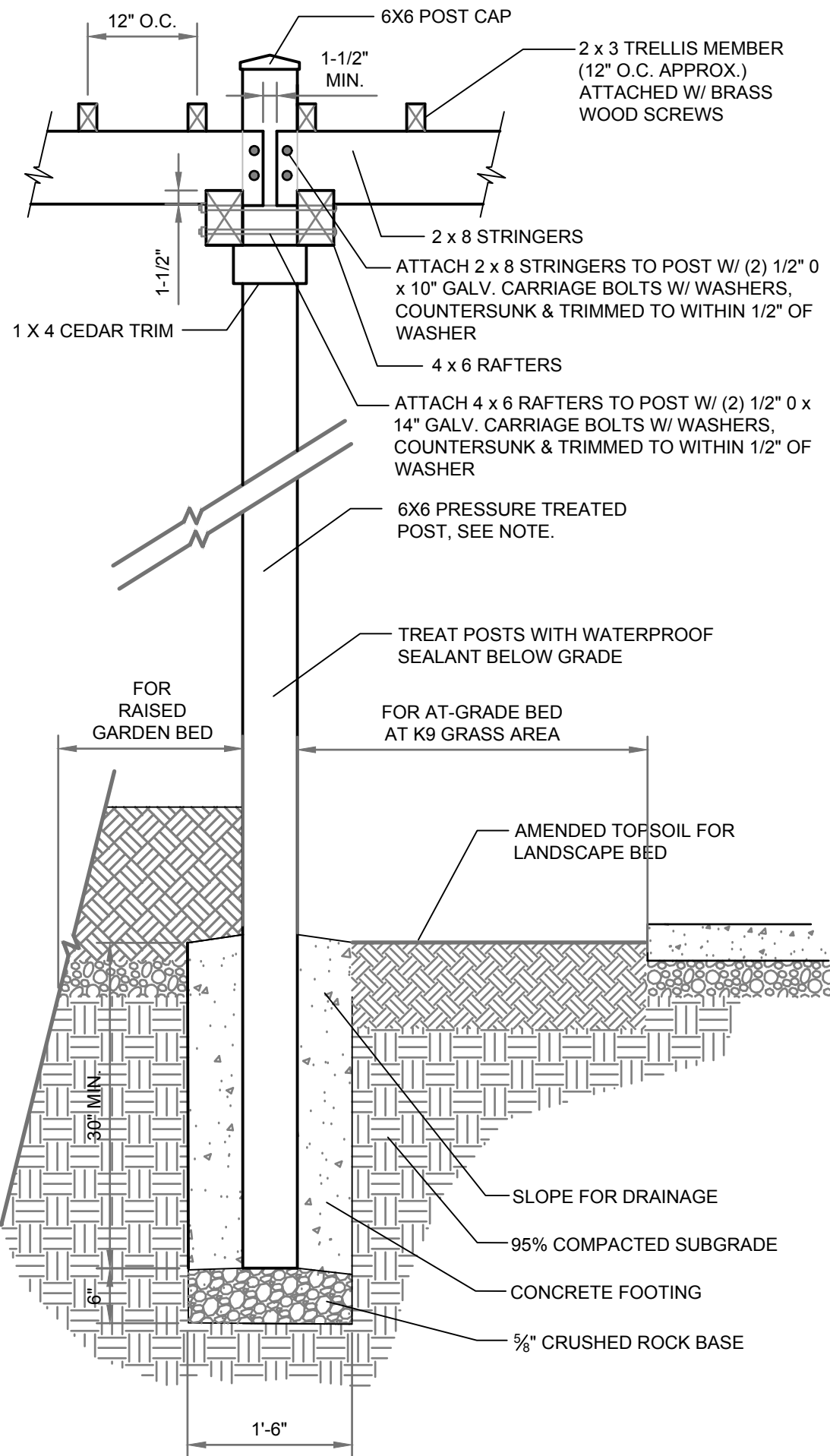
ALL OTHER LUMBER TO BE SELECT GRADE OR BETTER WESTERN RED CEDAR, S-DRIED AND S4S.

TREAT ALL LUMBER W/ CLEAR WOOD PRESERVATIVE.

EASE ALL LUMBER SURFACES.



## SIDE VIEW

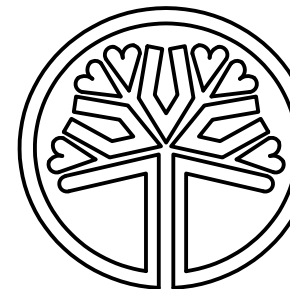


## FRONT VIEW

## WOOD ARBOR AND FOOTING

3/4" = 1'-0"

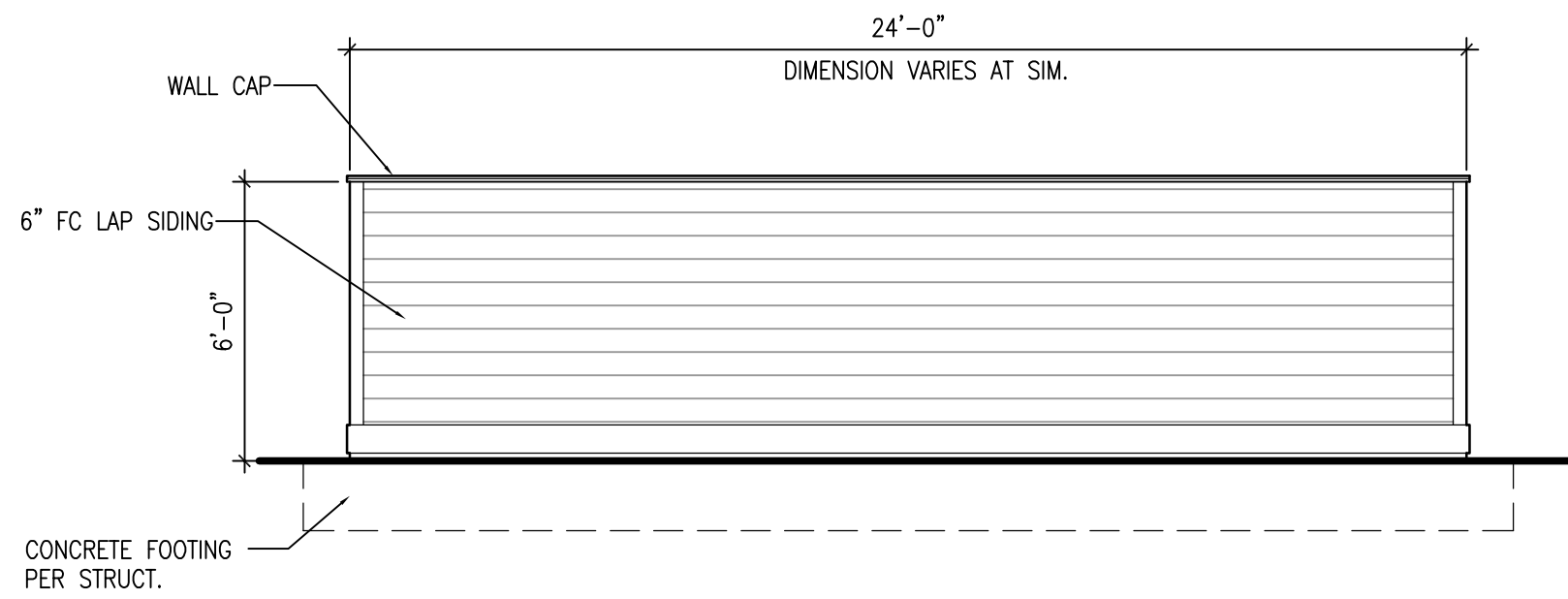
P-CO-BR11-10



STATE OF WASHINGTON  
LICENSED  
LANDSCAPE ARCHITECT  
JEFFREY B. GLANDER  
LICENSE NO. 405  
EXPIRES ON 02-06-2019

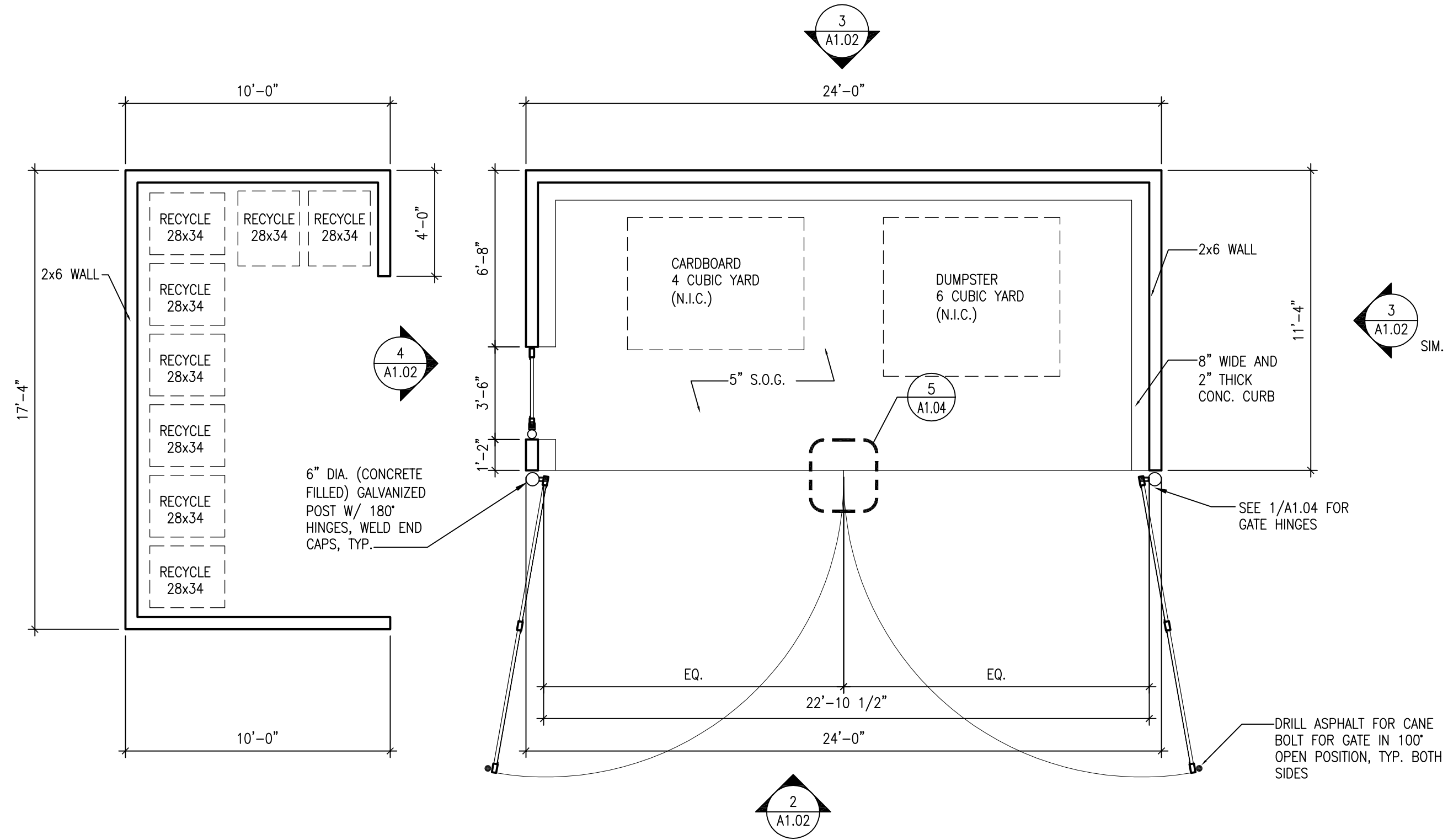
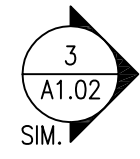
DATE	REVISIONS	JOB NO:	DRAWN BY:	APPROVED BY:	DATE:
		2358.01	J.MCFARLAND	J.GLANDER	MARCH 2017
SCJ ALLIANCE CONSULTING SERVICES					
BRIGGS NORTH MULTI FAMILY SITE					
OLYMPIA, WA					
SEAL:					
LANDSCAPE NOTES AND DETAILS					
FOR PERMIT REVIEW					
DRAWING NO: L-4					
4 OF 7					





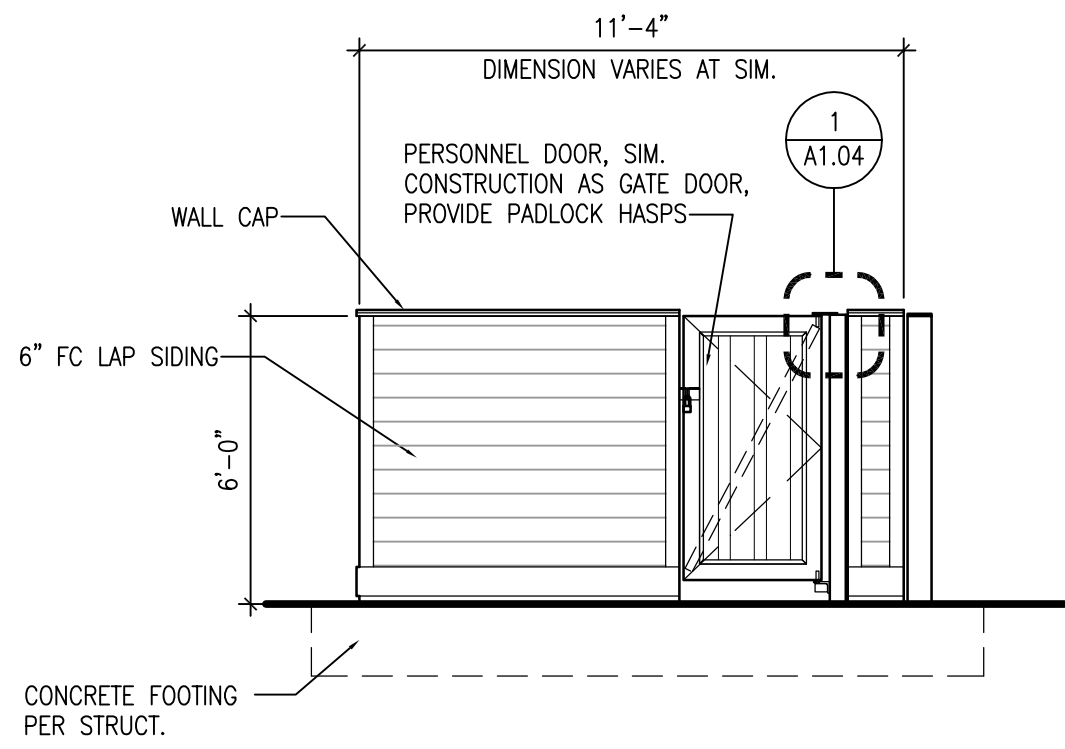
3 DUMPSTER ELEVATION

SCALE: 1/4" = 1'-0"



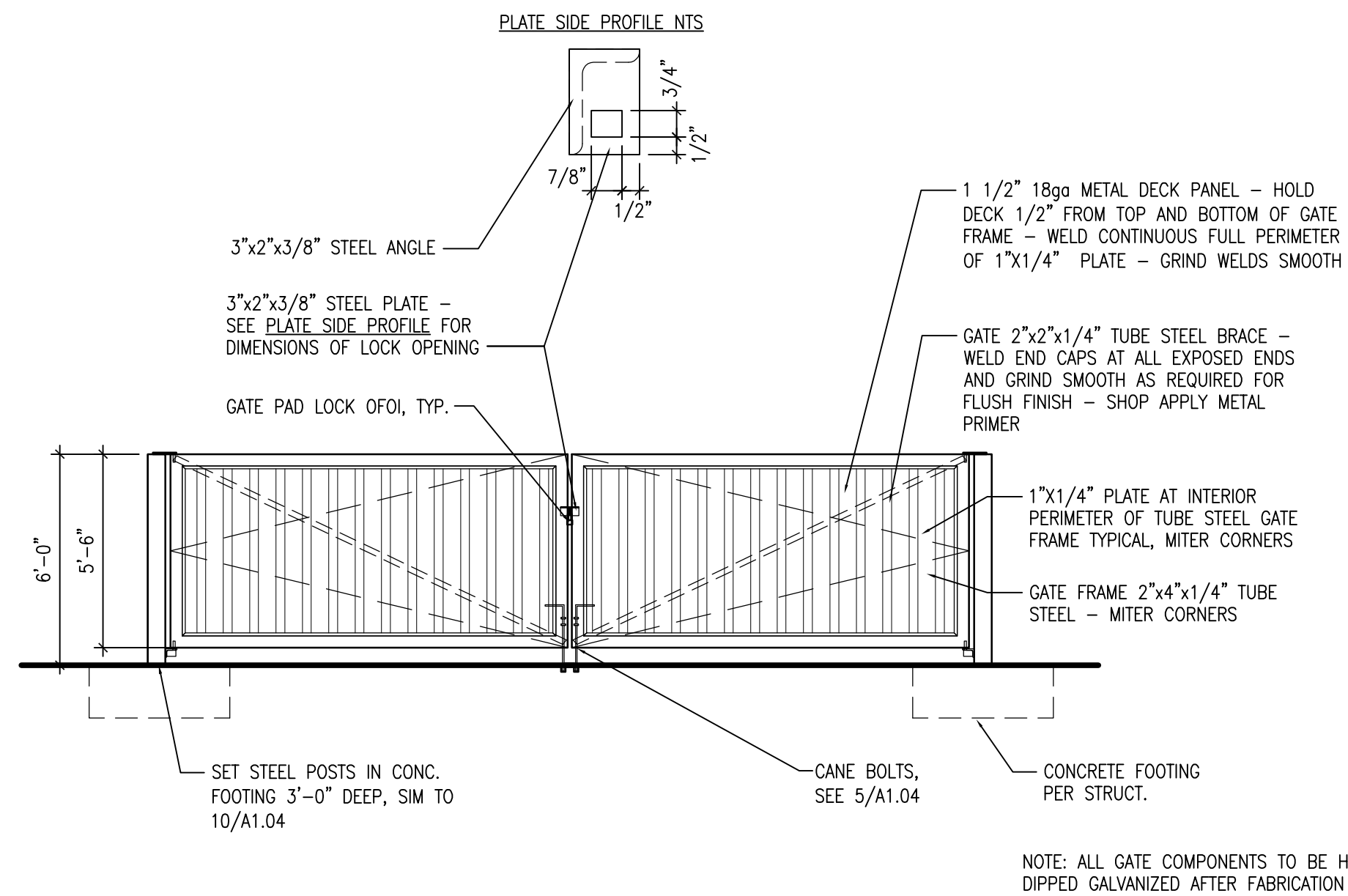
1 DUMPSTER 1 FLOOR PLAN

SCALE: 1/4" = 1'-0"



4 DUMPSTER ELEVATION

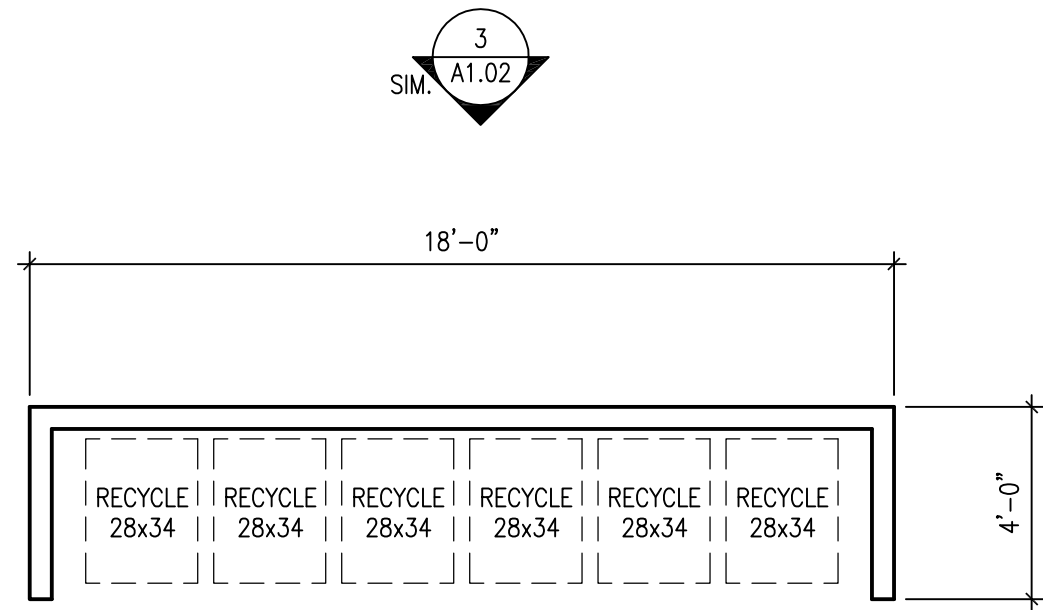
SCALE: 1/4" = 1'-0"



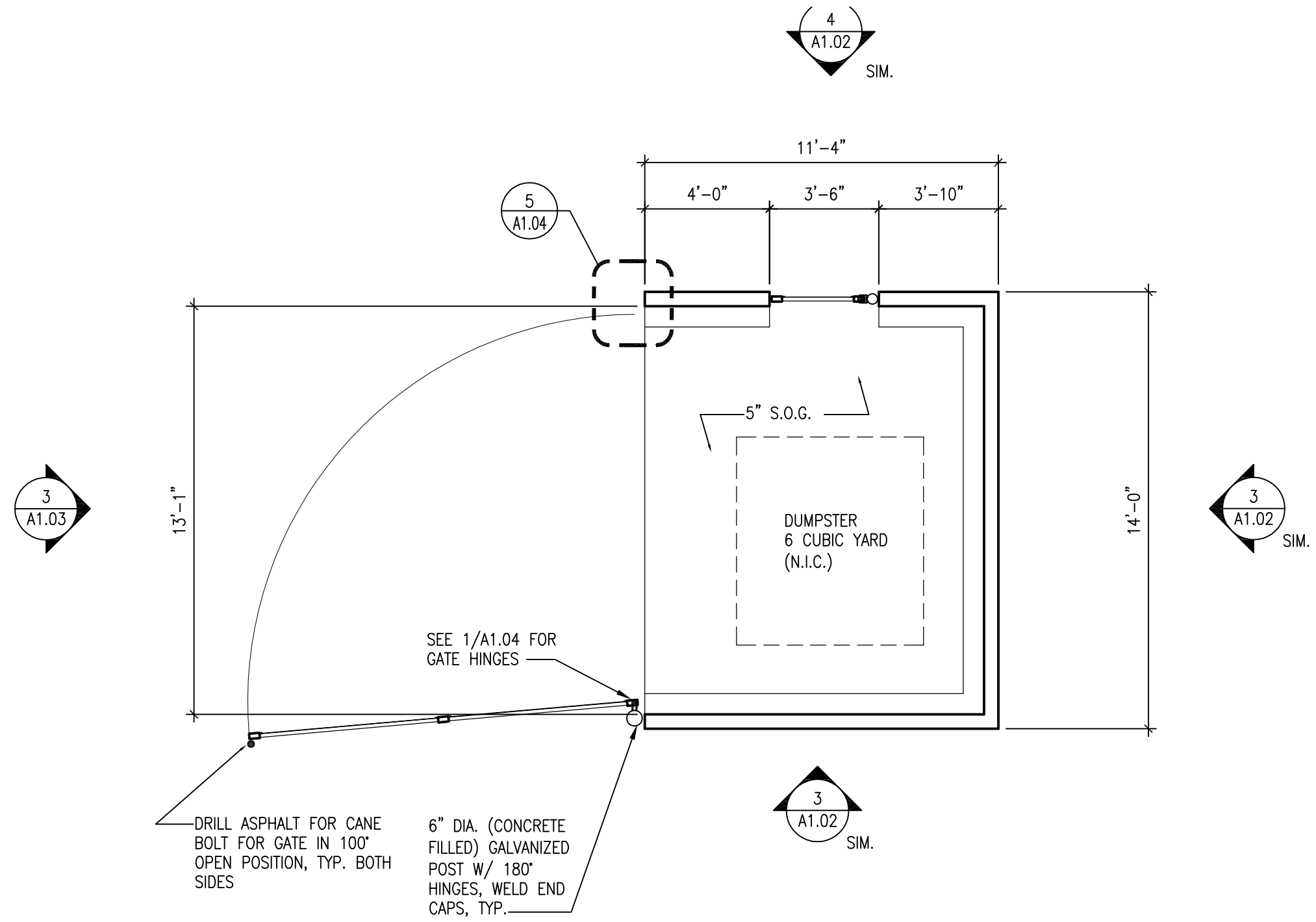
2 DUMPSTER ELEVATION

SCALE: 1/4" = 1'-0"

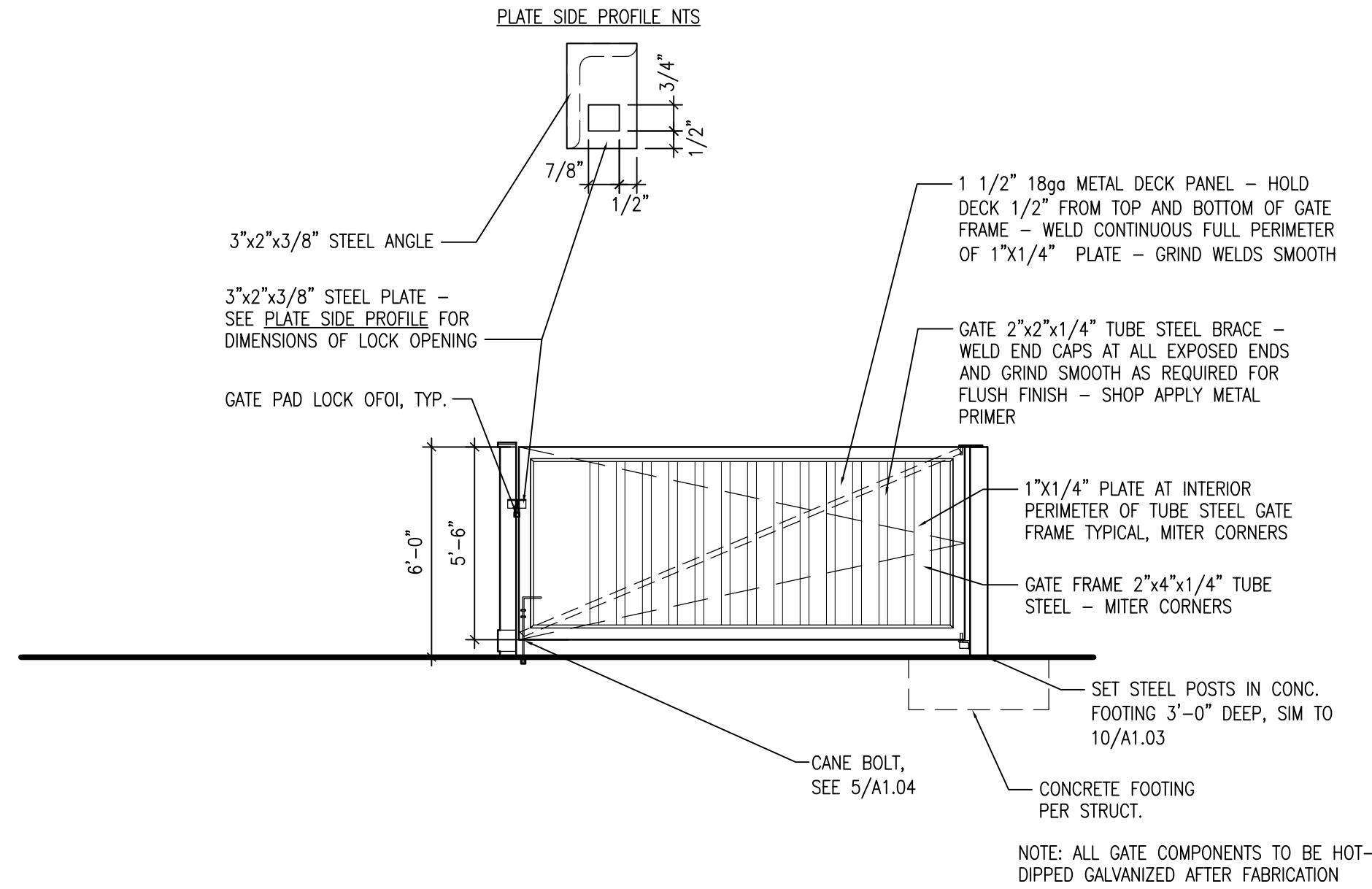




2 RECYCLE SCREEN FLOOR PLAN  
SCALE: 1/4" = 1'-0"



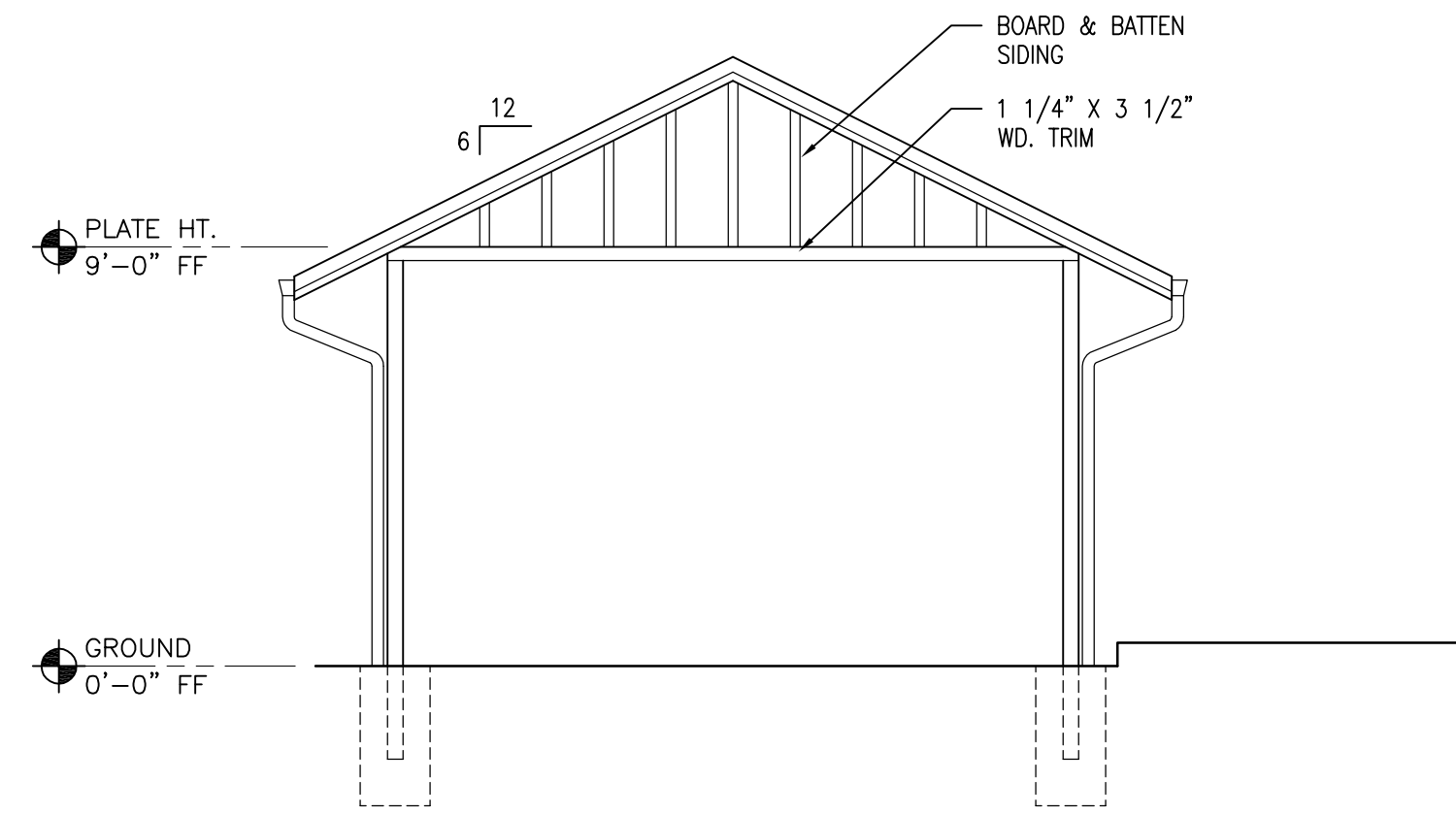
1 DUMPSTER 2 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



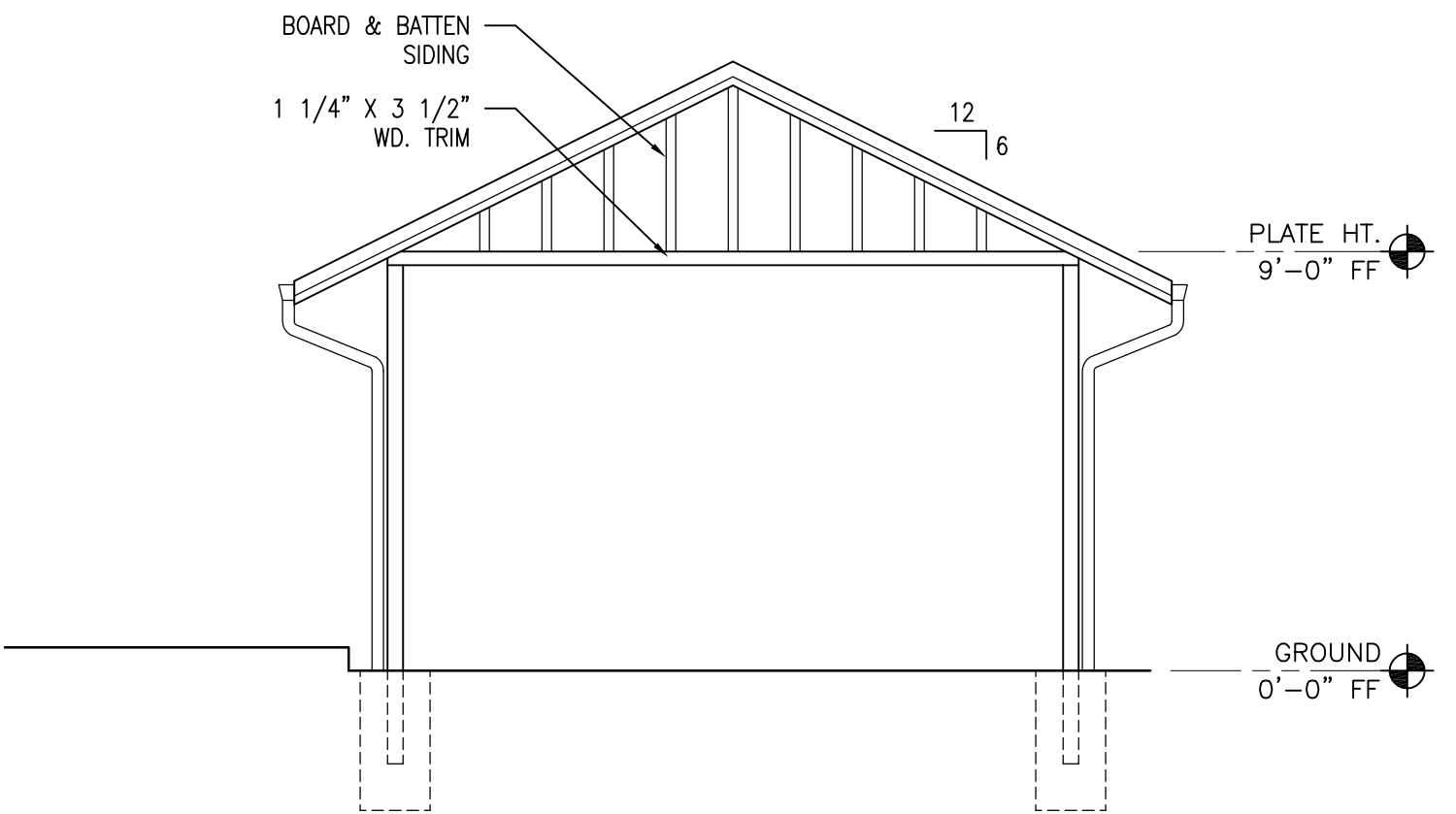
3 DUMPSTER ELEVATION  
SCALE: 1/4" = 1'-0"



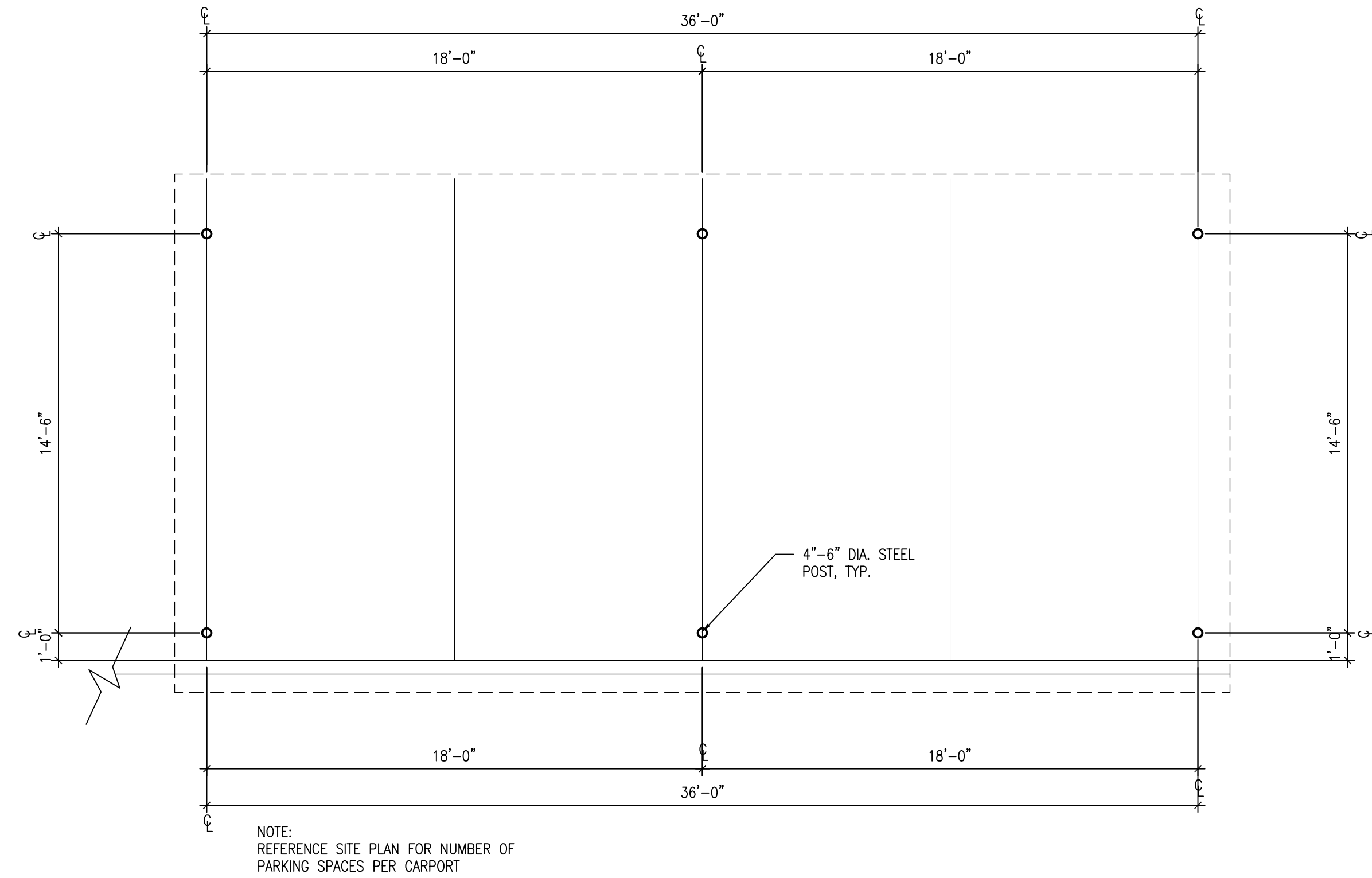
Date Plotted: Mar 20, 2017 - 7:06pm Filename: 15056 A205.dwg By: JOE



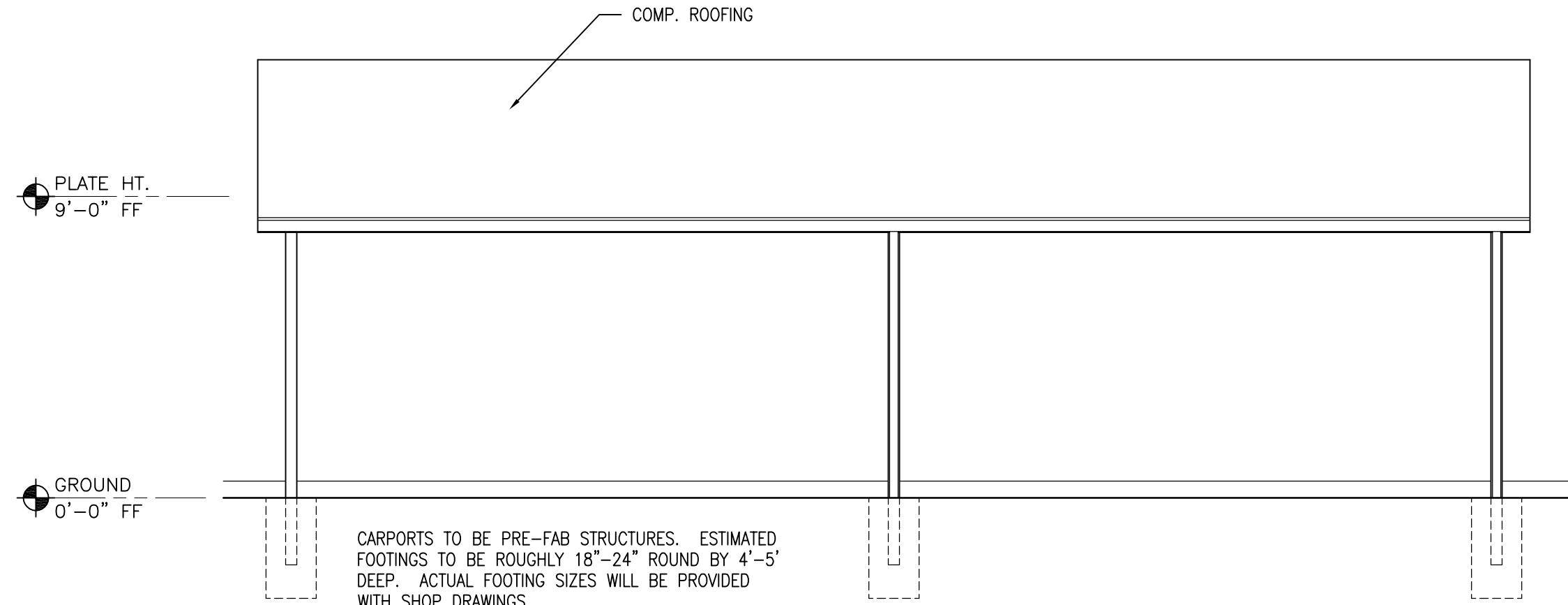
4 TYPICAL CARPORT- SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



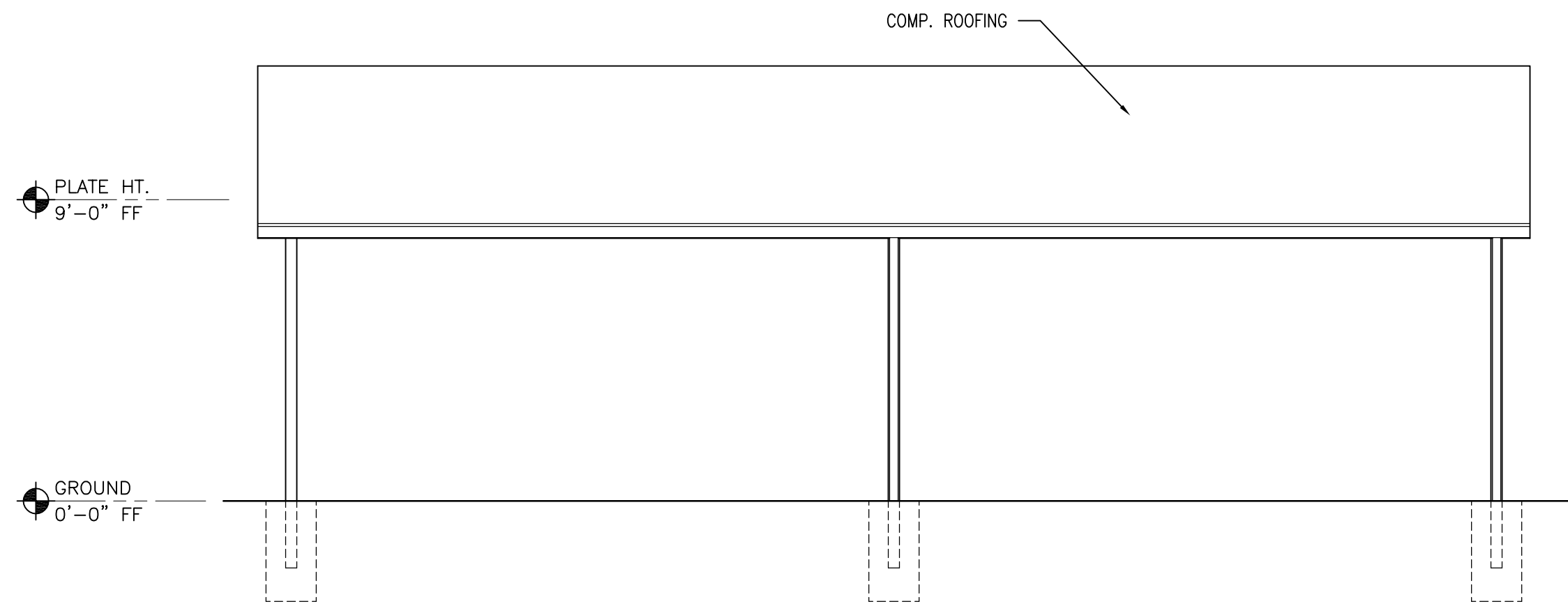
5 TYPICAL CARPORT- SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1 TYPICAL CARPORT- FLOOR PLAN  
SCALE: 1/4" = 1'-0"

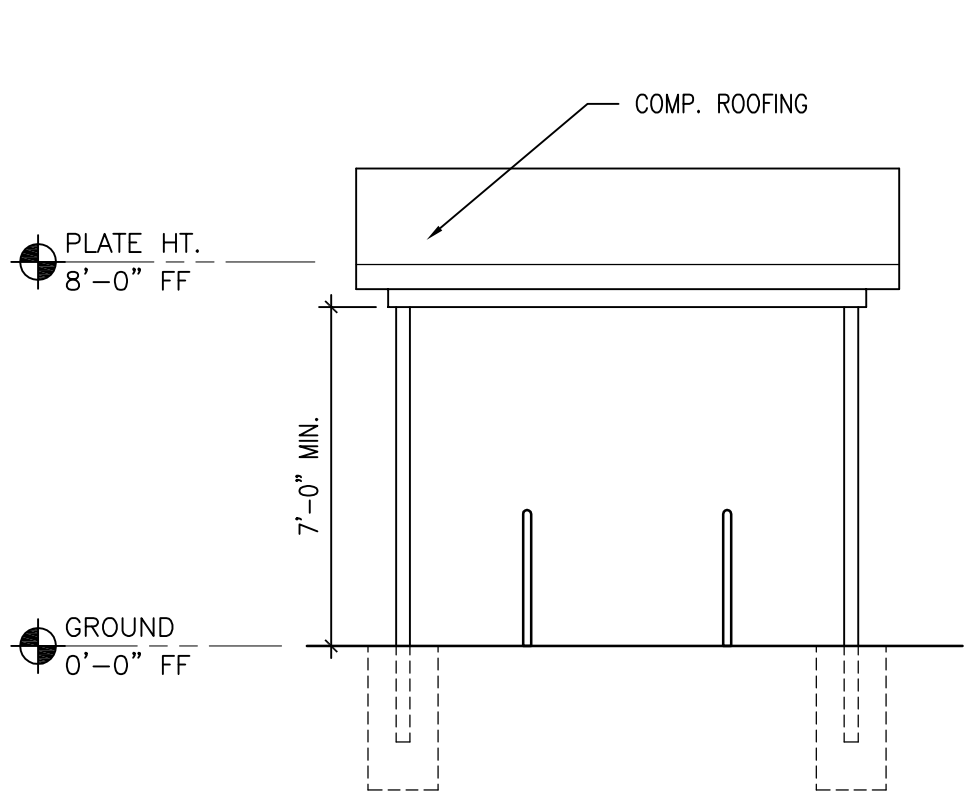


2 TYPICAL CARPORT- FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

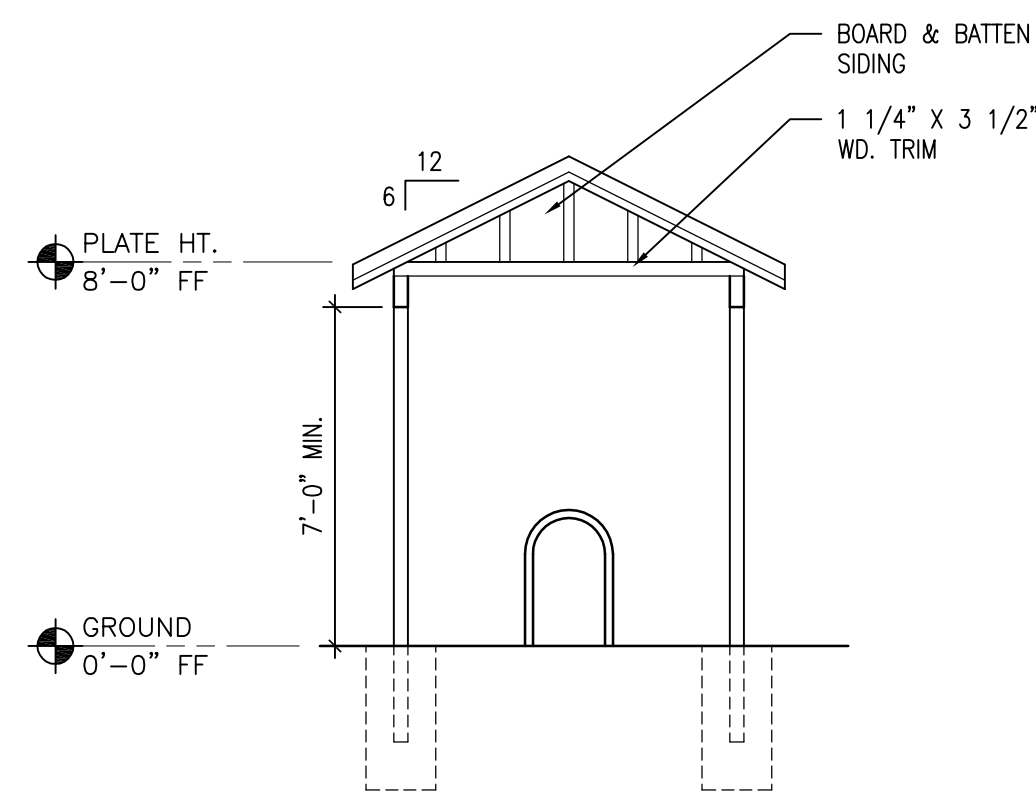


3 TYPICAL CARPORT- REAR ELEVATION  
SCALE: 1/4" = 1'-0"

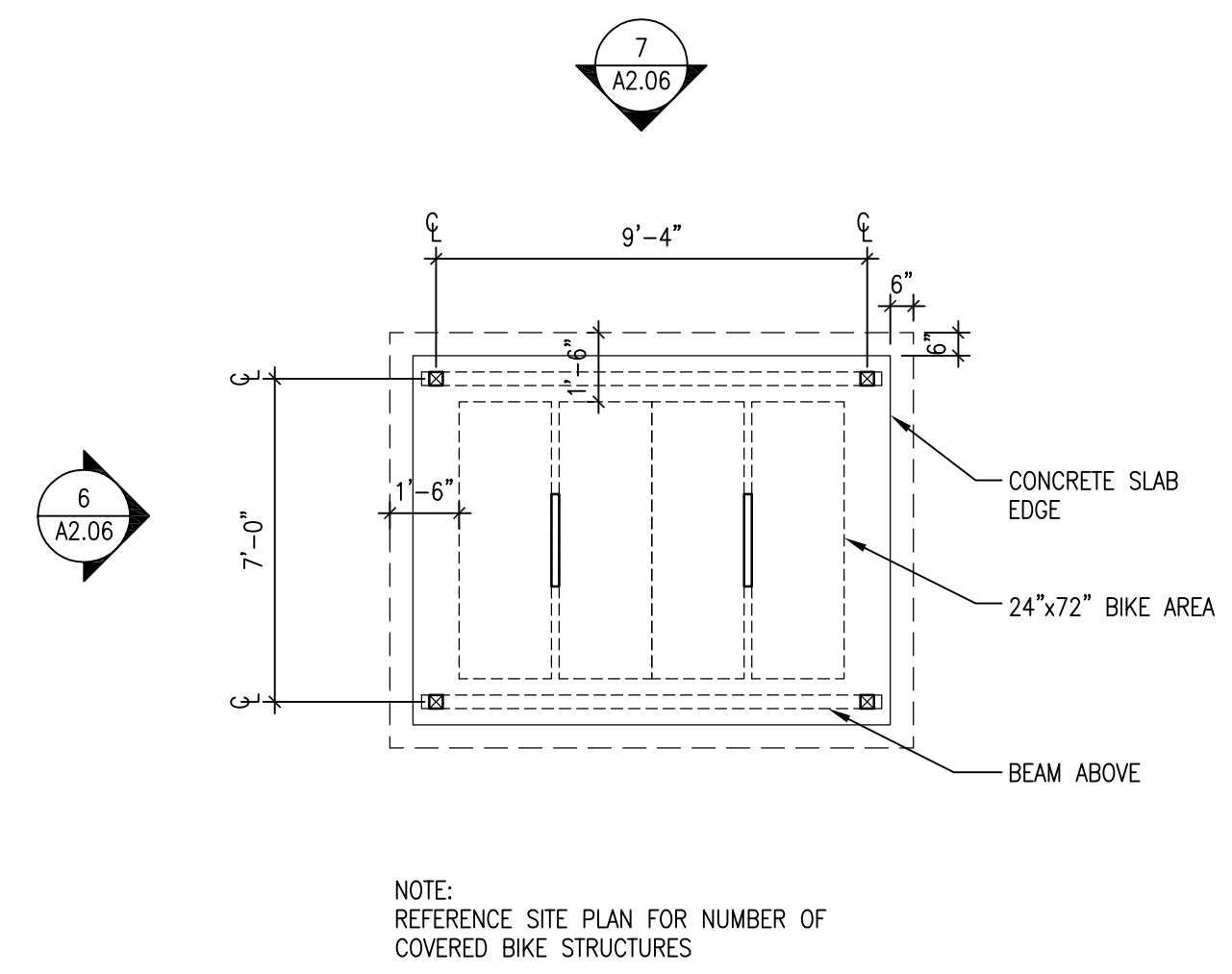




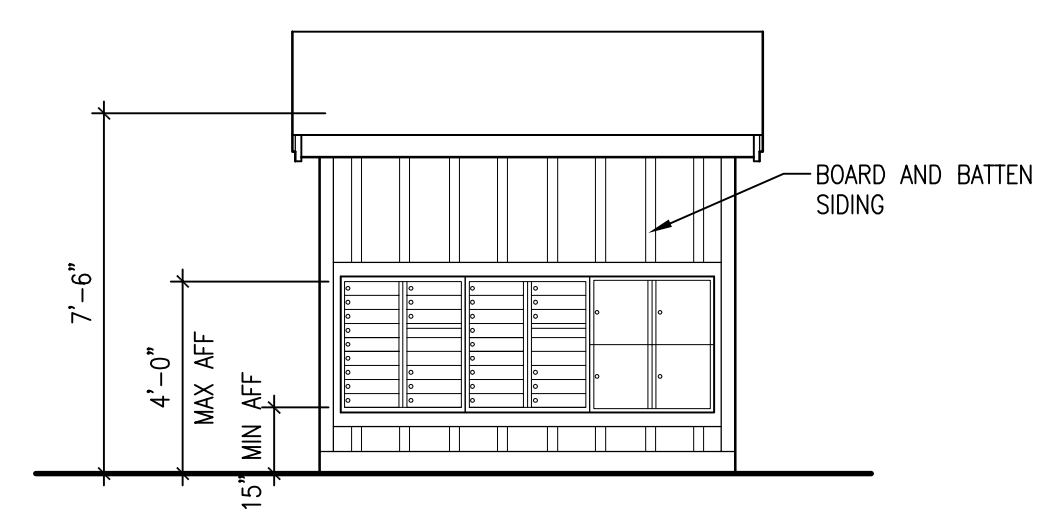
7 BIKE SHELTER ELEV.  
SCALE: 1/4" = 1'-0"



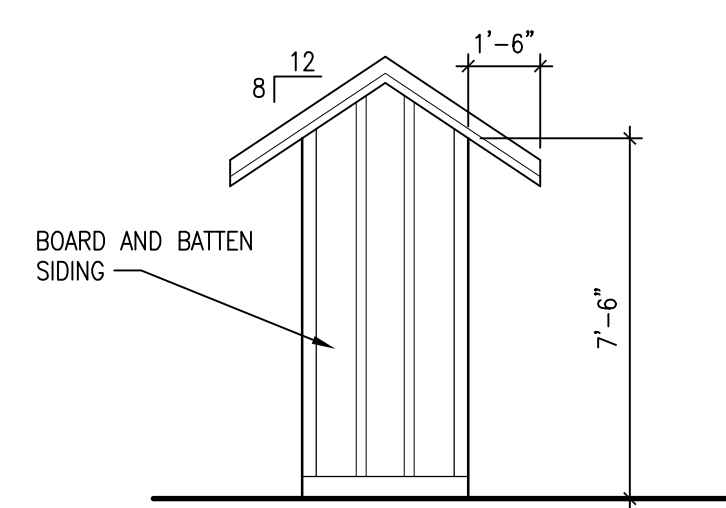
6 BIKE SHELTER ELEV.  
SCALE: 1/4" = 1'-0"



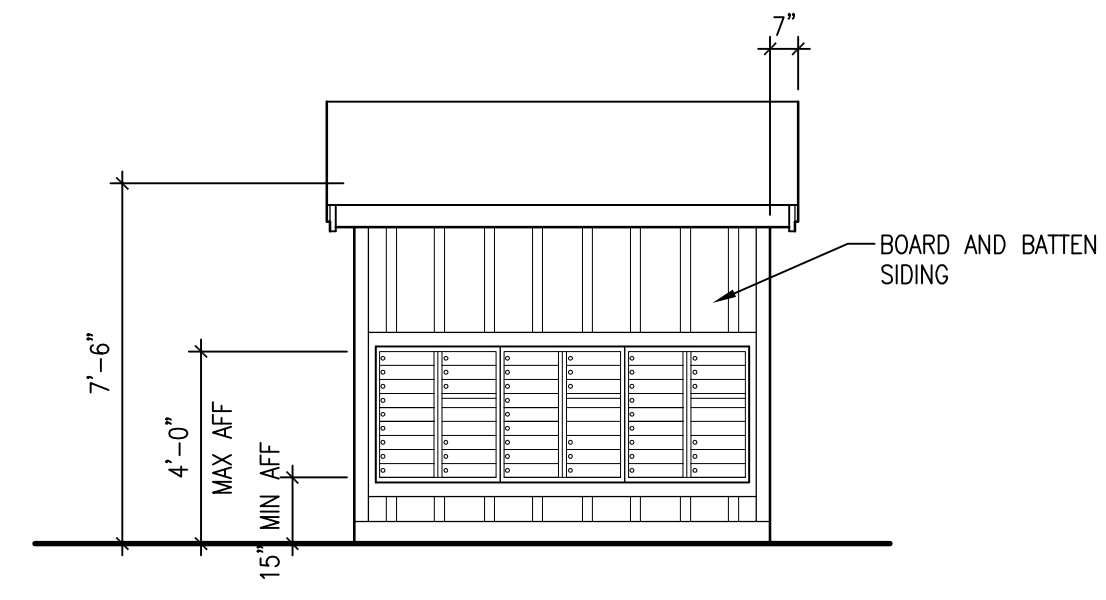
5 BIKE SHELTER  
SCALE: 1/4" = 1'-0"



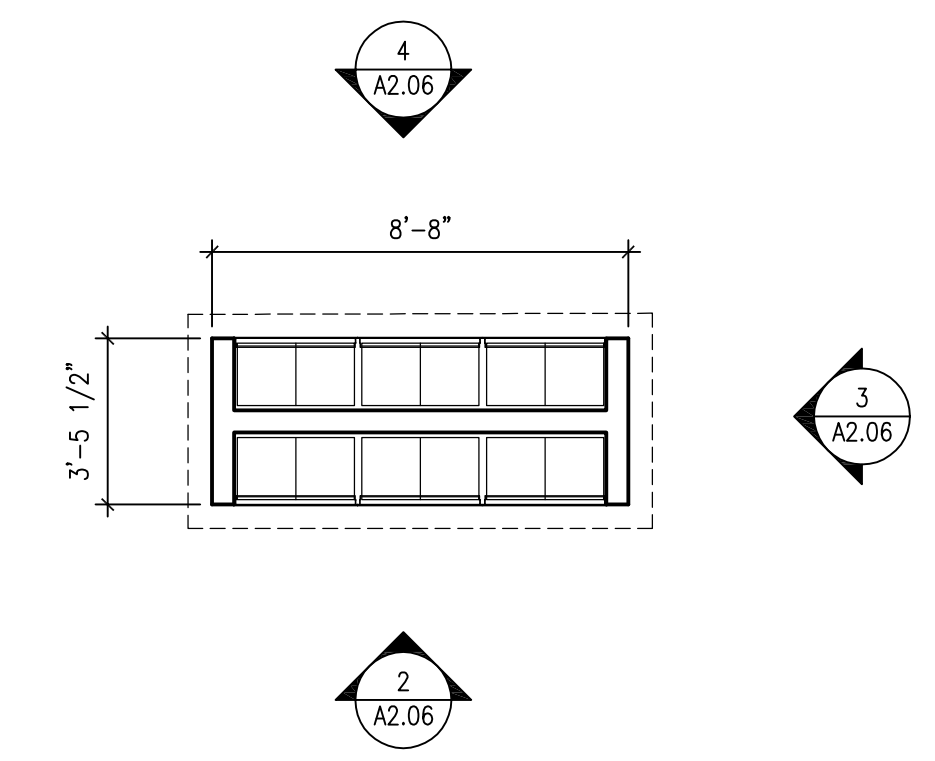
4 MAIL KIOSK ELEV.  
SCALE: 1/4" = 1'-0"



3 MAIL KIOSK ELEV.  
SCALE: 1/4" = 1'-0"



2 MAIL KIOSK ELEV.  
SCALE: 1/4" = 1'-0"



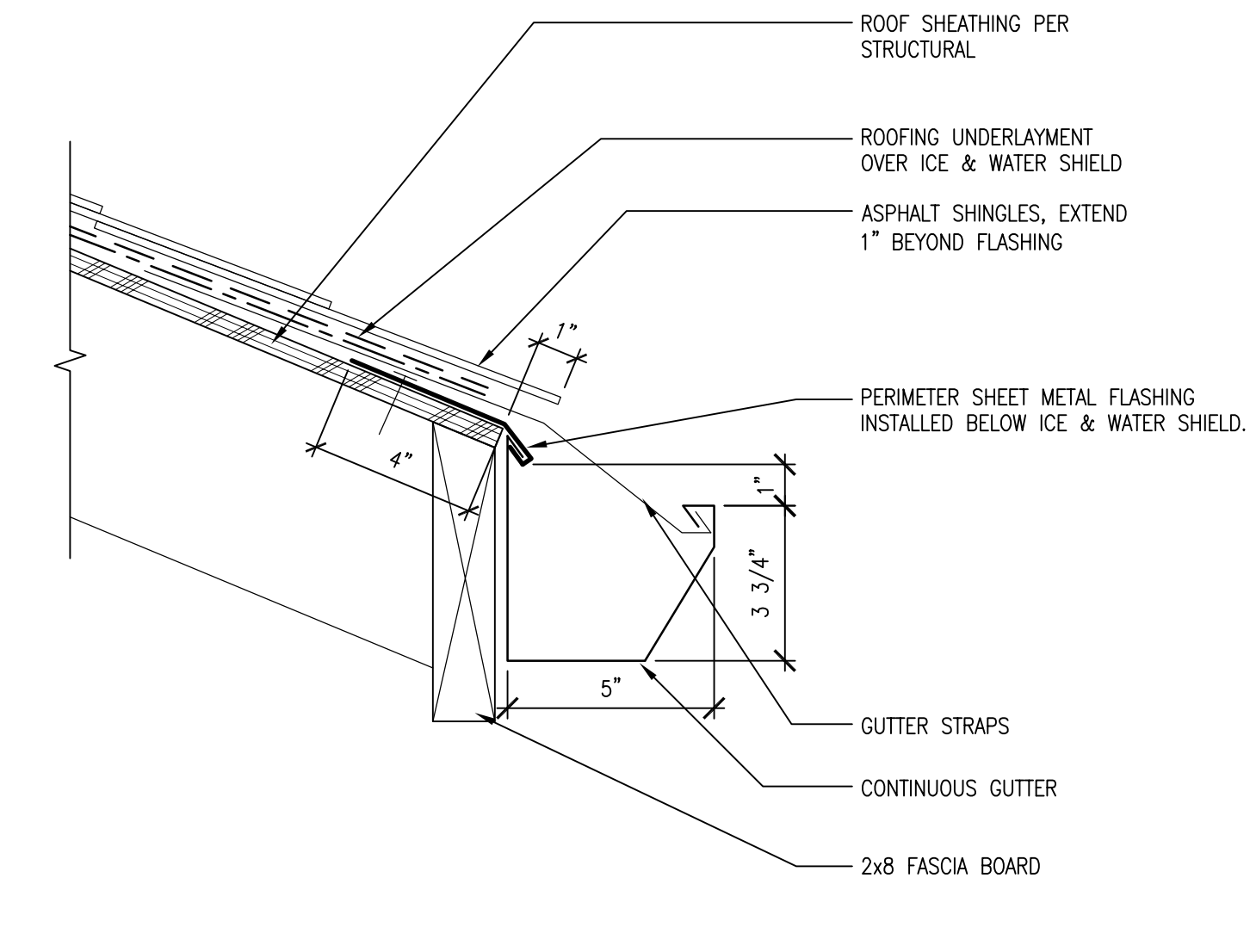
1 MAIL KIOSK PLAN  
SCALE: 1/4" = 1'-0"



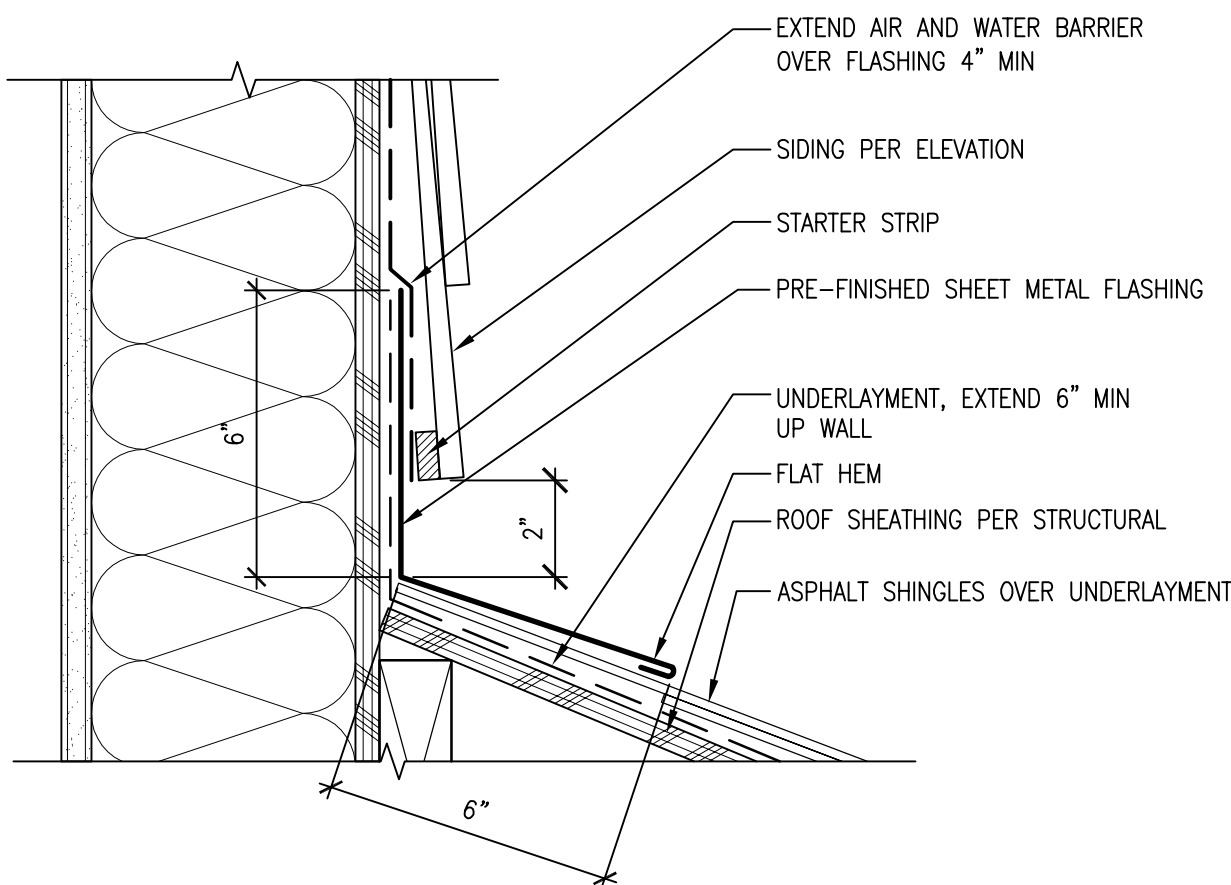




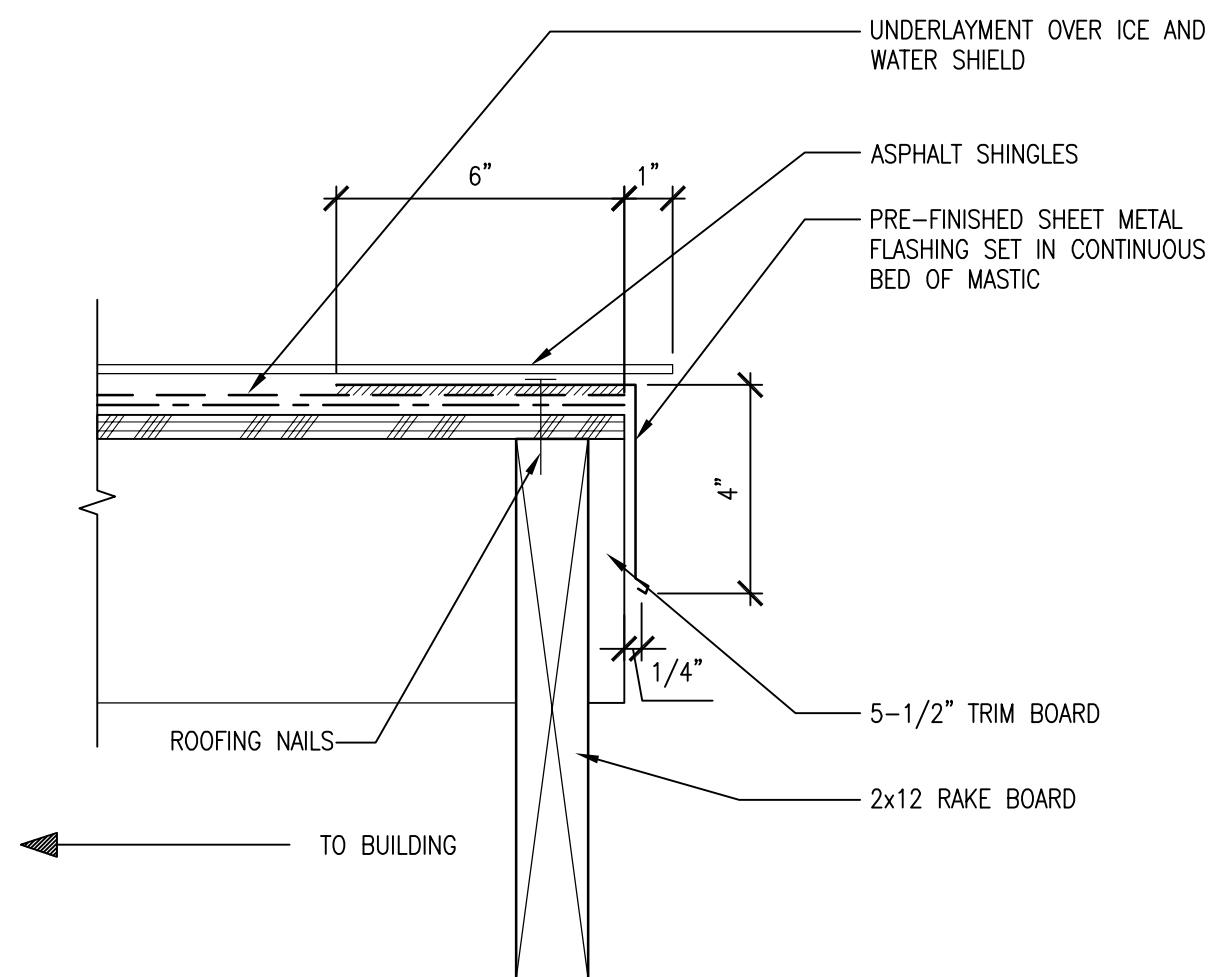
Date Plotted: Mar 20, 2017 - 7:09pm  
Filename: 15056 A651.dwg  
By: JOE



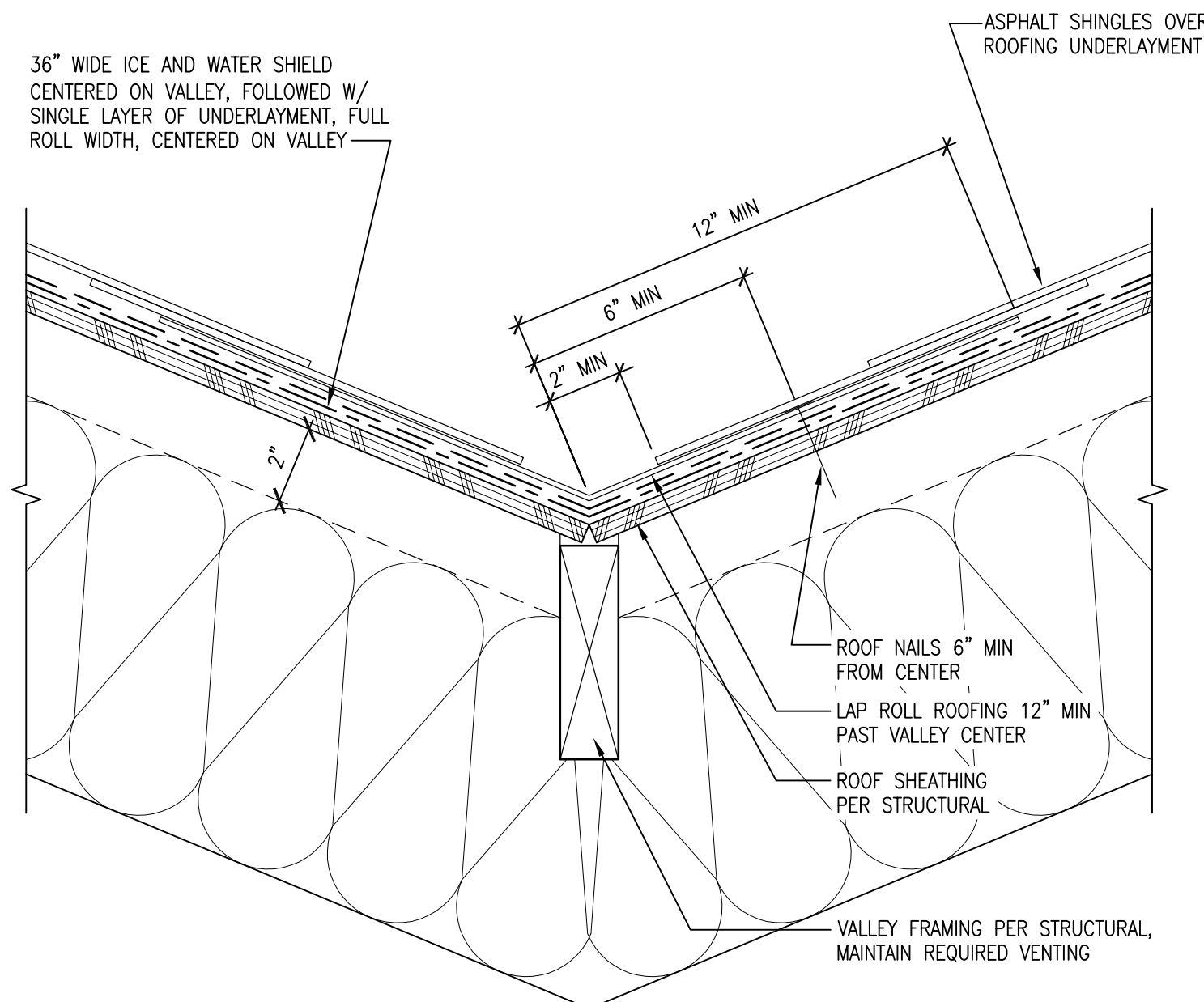
4 TYPICAL EAVE DETAIL  
SCALE: 3" = 1'-0"



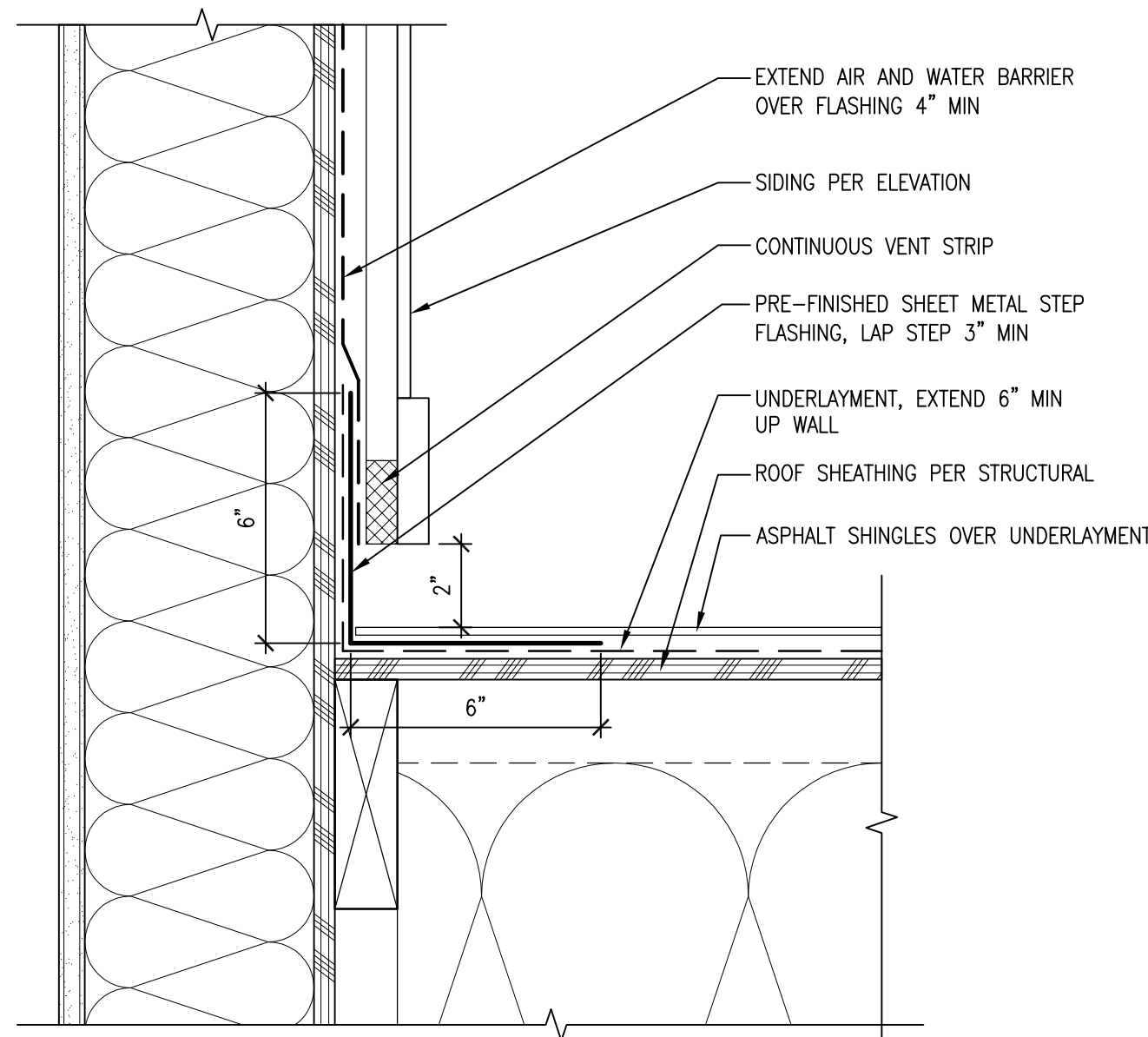
3 TYPICAL HEADWALL TO ROOF DETAIL  
SCALE: 3" = 1'-0"



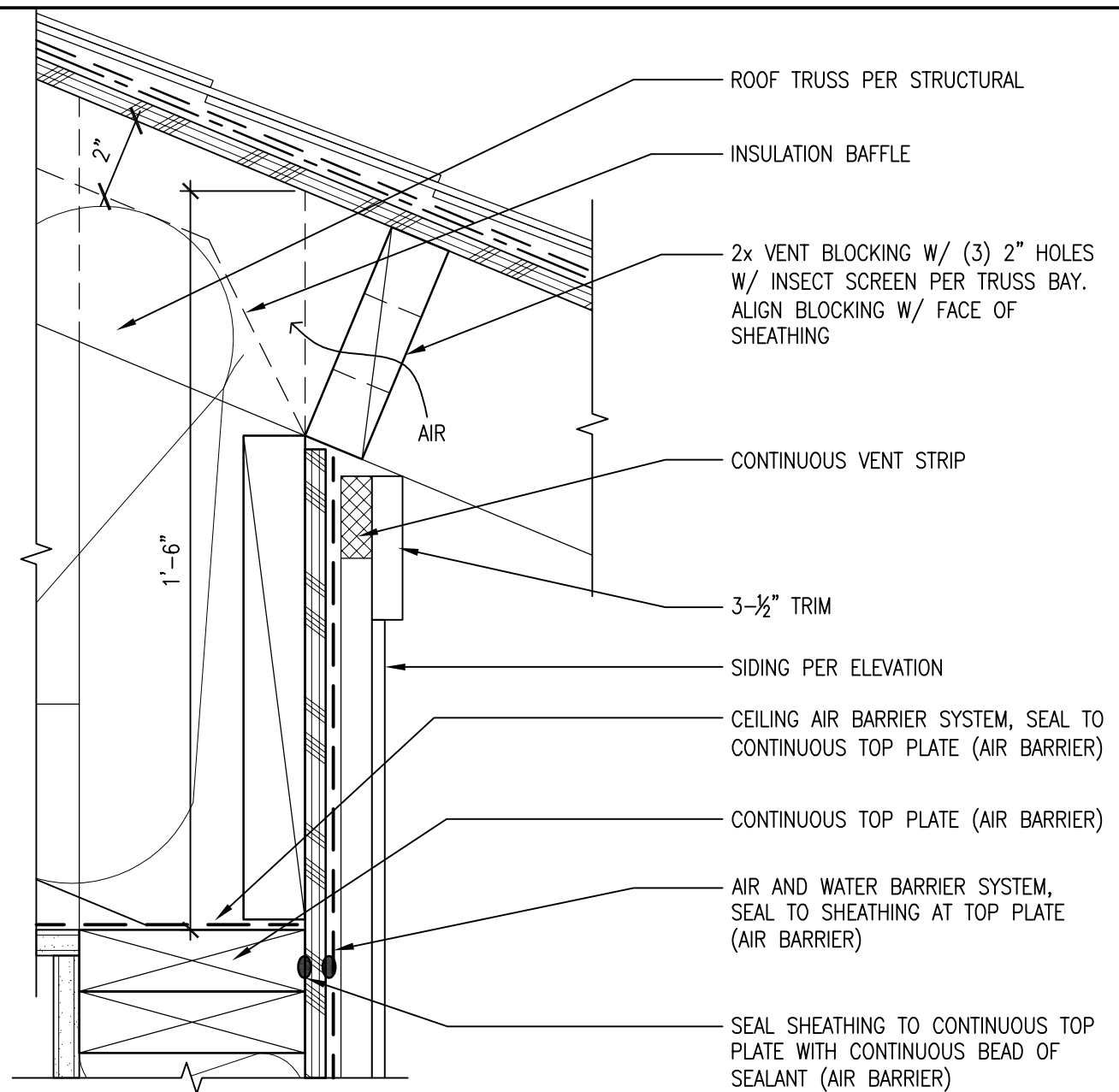
2 TYPICAL RAKE DETAIL  
SCALE: 3" = 1'-0"



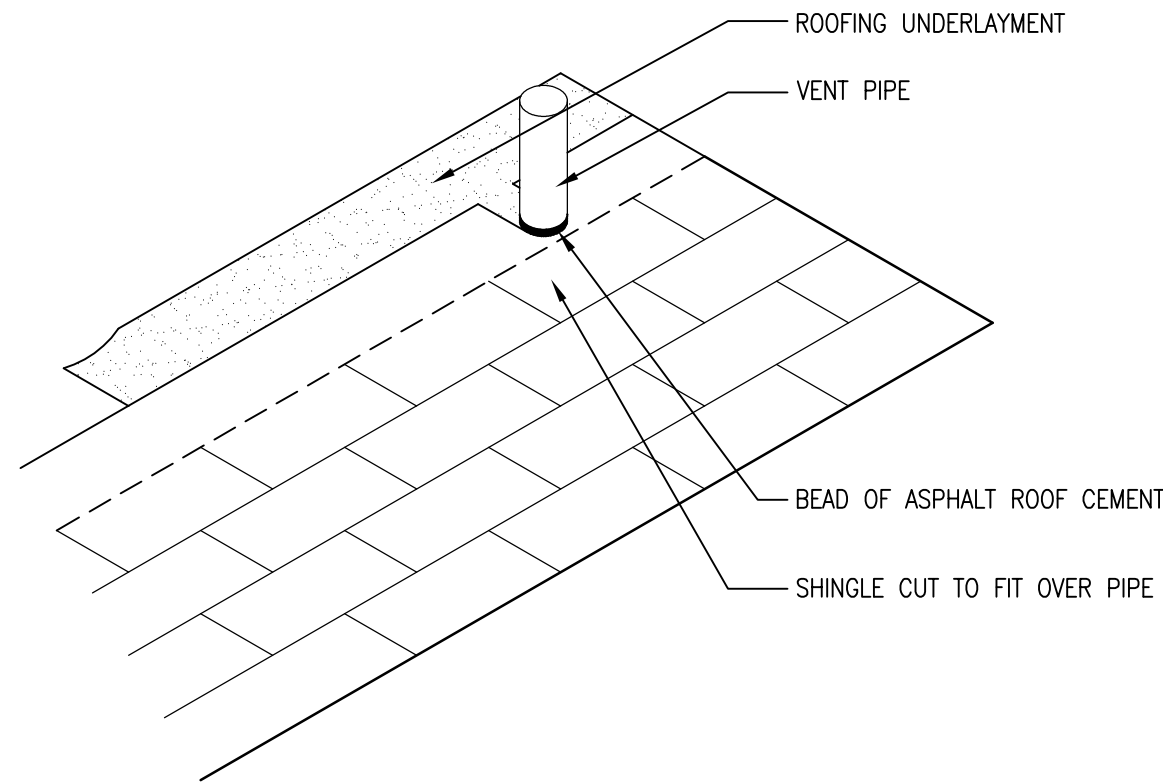
1 TYPICAL VALLEY FLASHING DETAIL  
SCALE: 3" = 1'-0"



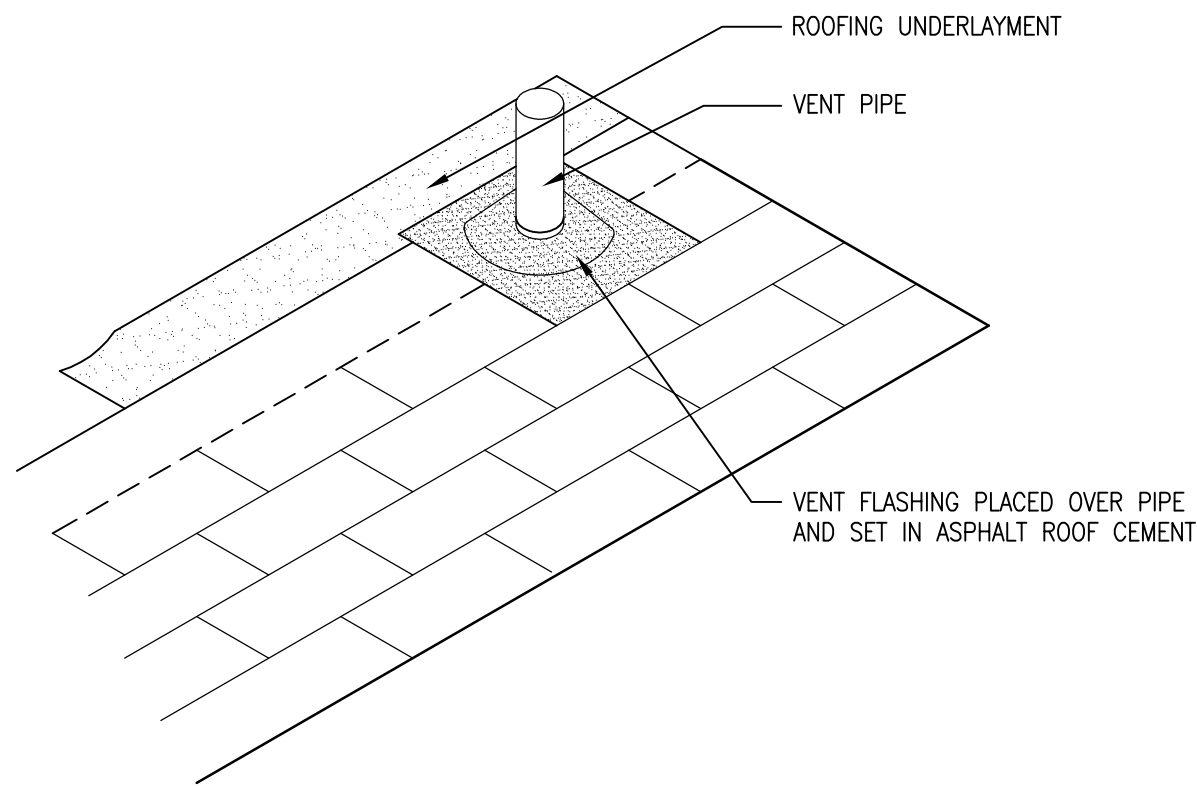
6 TYPICAL STEP FLASHING  
SCALE: 3" = 1'-0"



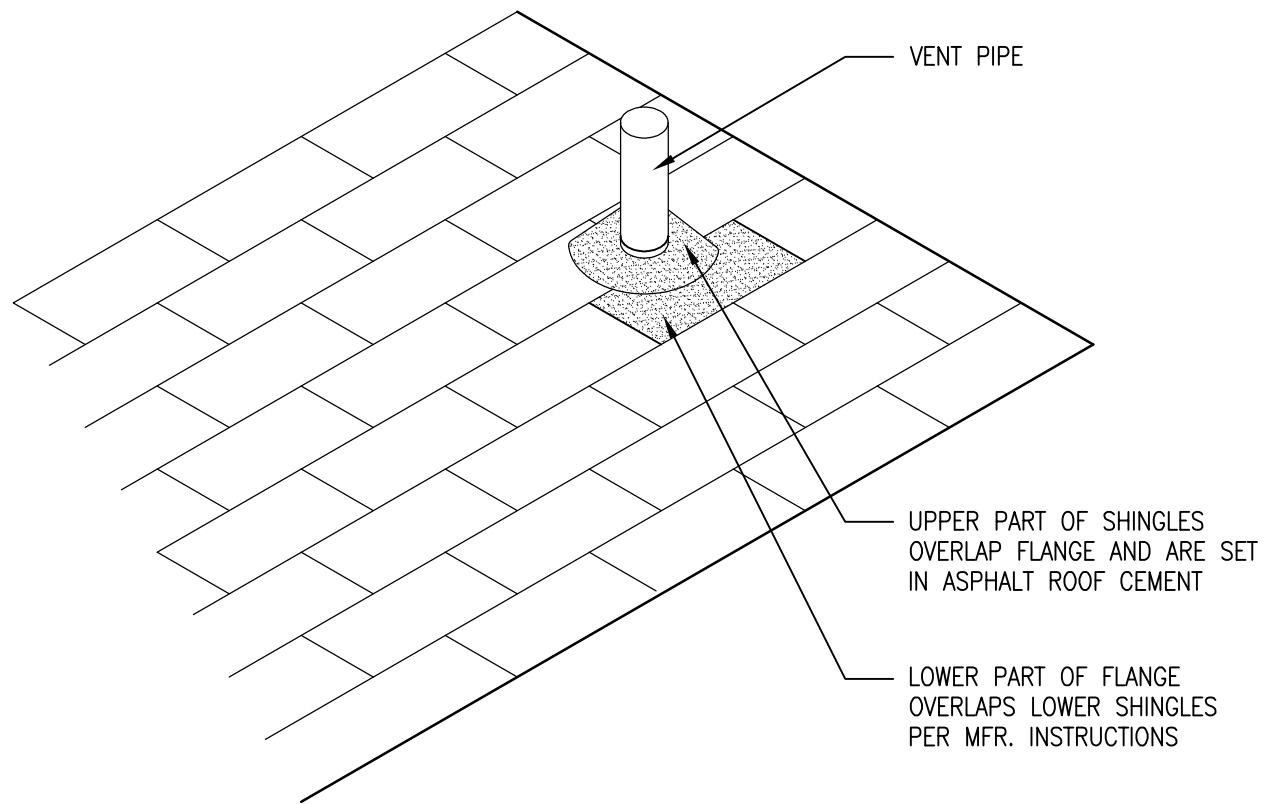
5 TYPICAL EAVE VENT DETAIL  
SCALE: 3" = 1'-0"



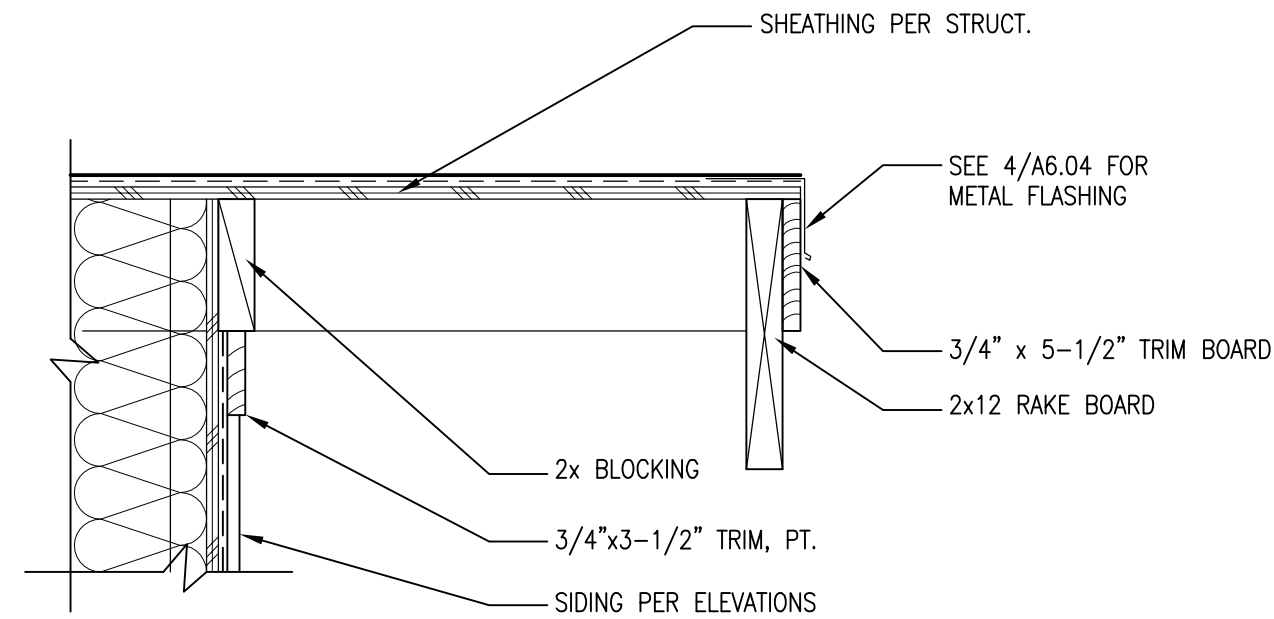
10 PIPE FLASHING STEP 1  
SCALE: NTS



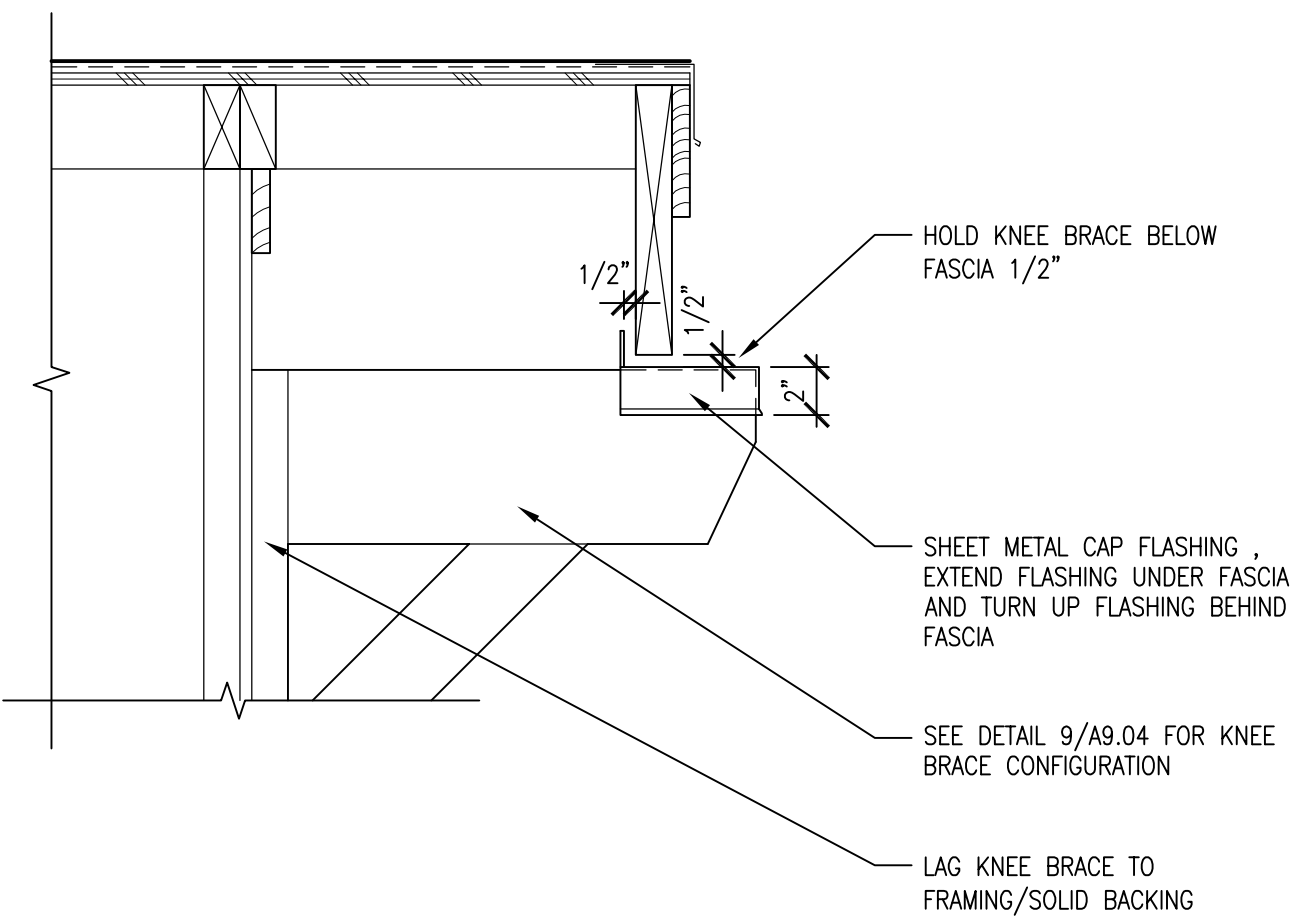
11 PIPE FLASHING STEP 2  
SCALE: NTS



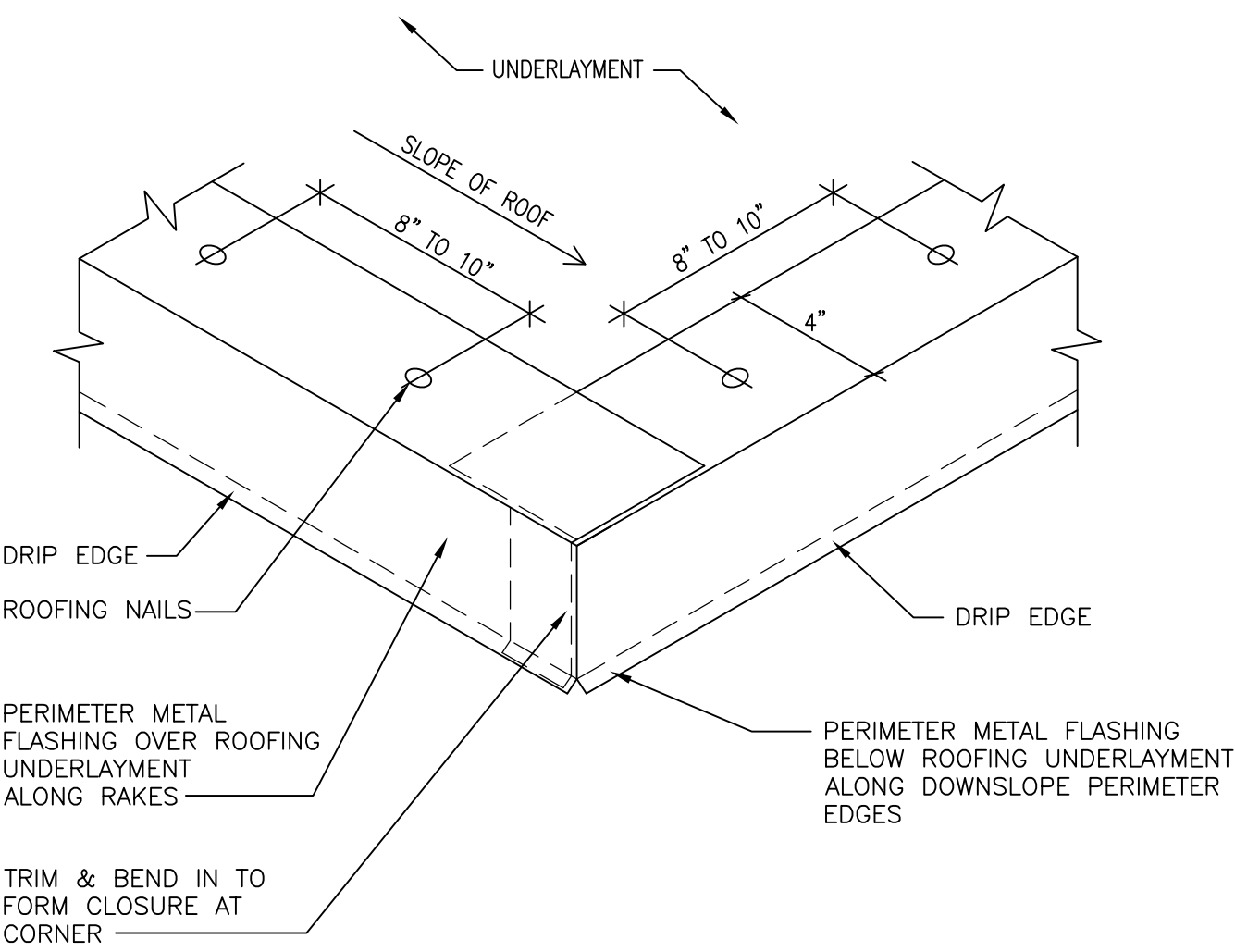
12 PIPE FLASHING STEP 3  
SCALE: NTS



9 RAKE DETAIL  
SCALE: NTS



8 KNEE BRACE AT RAKE BOARD  
SCALE: NTS



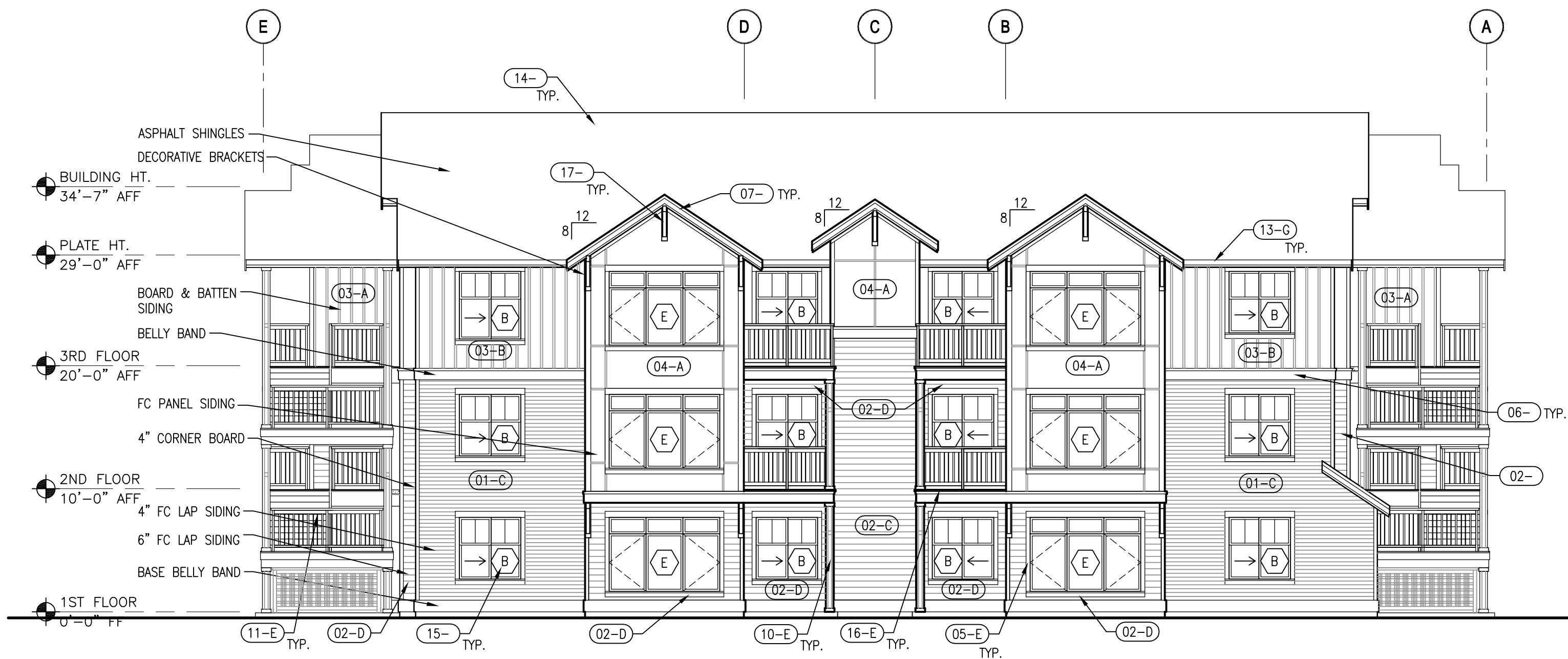
7 TYPICAL PERIMETER DRIP EDGE  
SCALE: 3" = 1'-0"







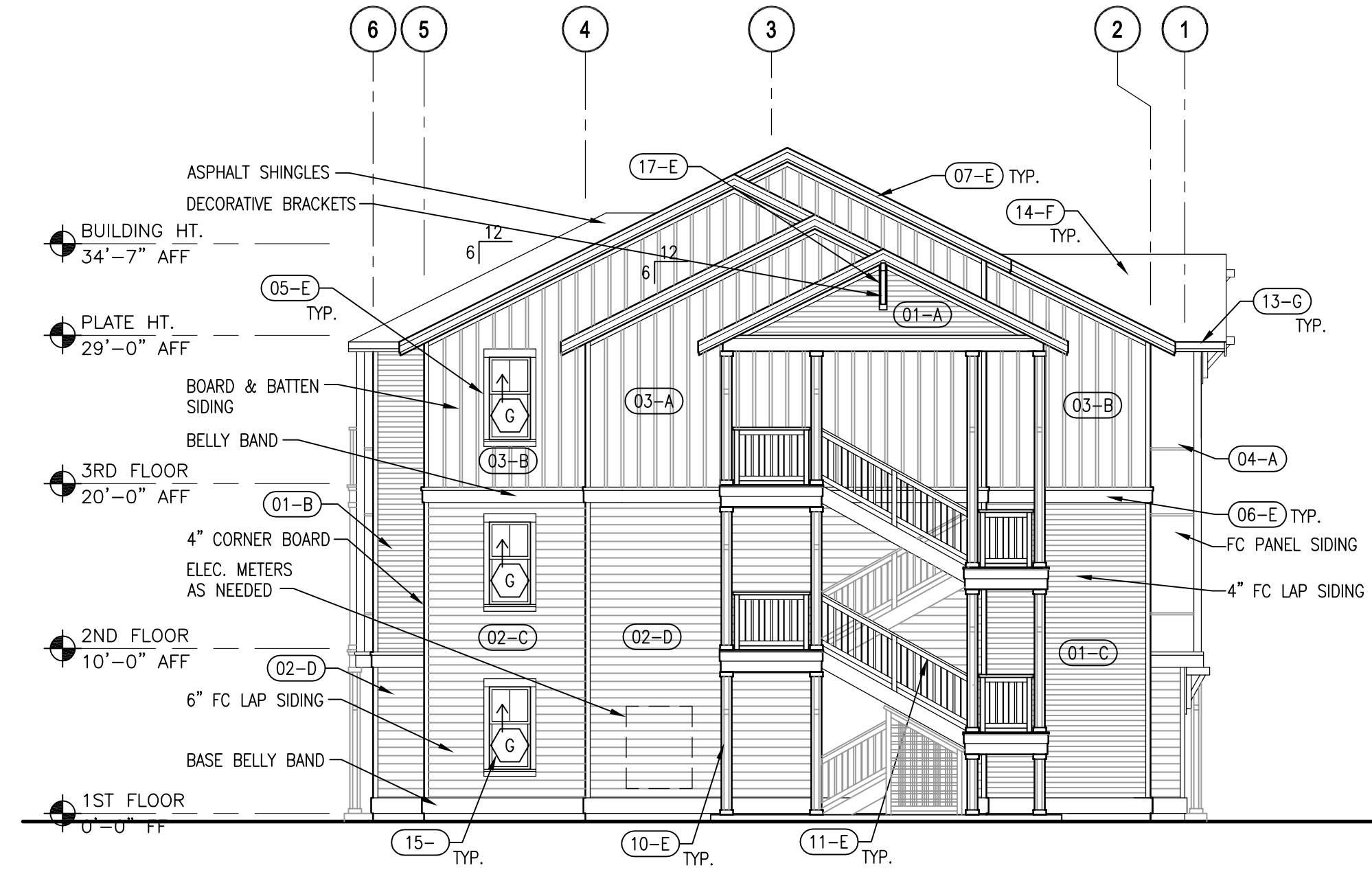
Date Plotted: Mar 20, 2017 - 7:09pm Filename: 150556 A702.dwg By: JOE



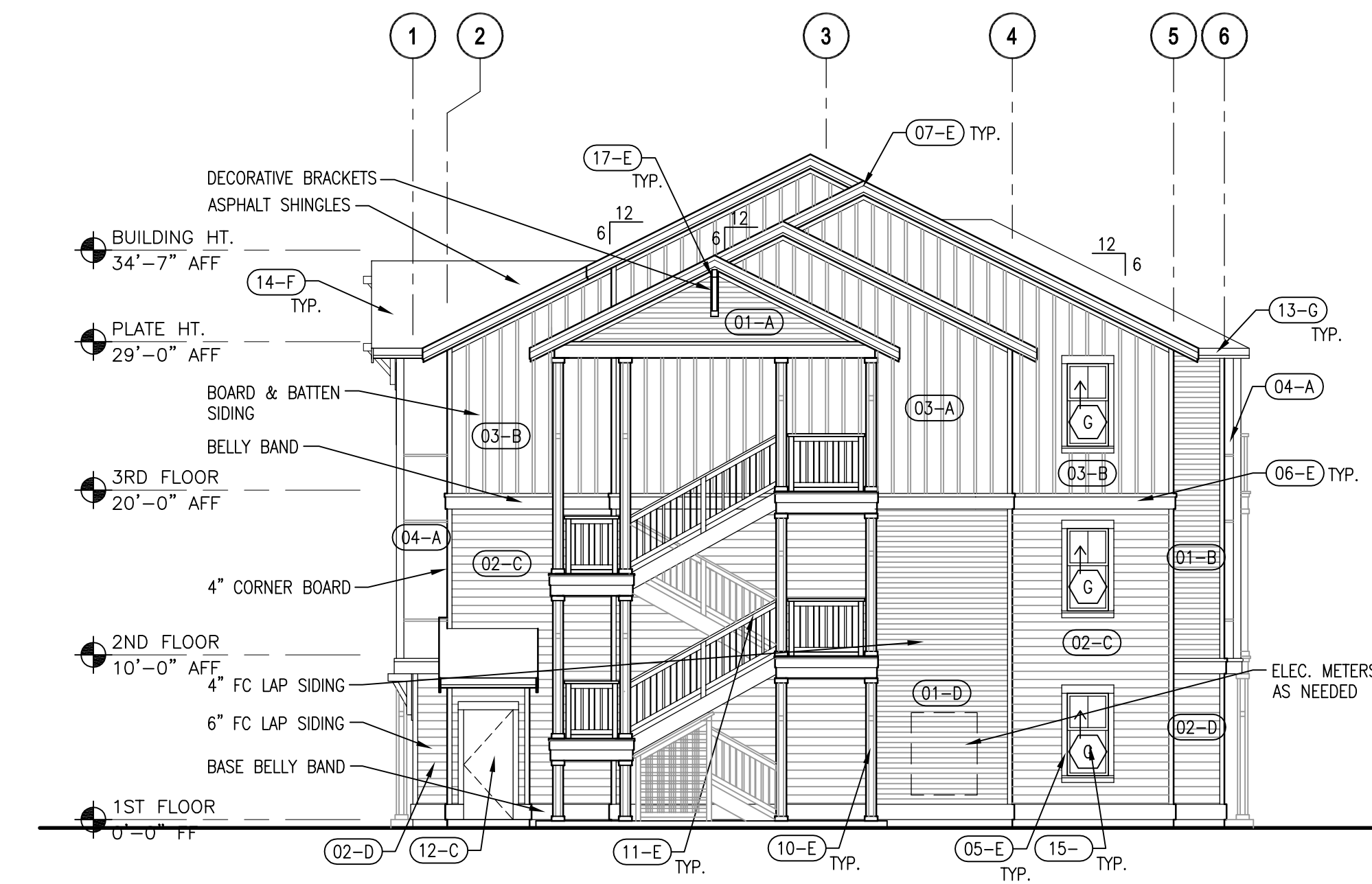
4 EXTERIOR ELEVATION - BUILDING TYPE 2  
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - BUILDING TYPE 2  
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - BUILDING TYPE 2  
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - BUILDING TYPE 2  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE -- BLDGS 'A' & 'C'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-2: "GRENADIER POND"
C	PT-3: "DARTMOUTH GREEN"
D	PT-7: "TROUT GRAY"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

01--	FC 4" LAP SIDING	PT
02--	FC 6" DUTCHLAP SIDING	PT
03--	FC BOARD & BATTEN SIDING	PT
04--	FC PANEL SIDING	PT
05--	FC WINDOW & DOOR TRIM	PT
06--	BELLY BANDS	PT
07--	FASCIA	PT
08--	SOFFIT	PT
09--	FC TRIM UNDER SOFFIT	PT
10--	WOOD COLUMN WRAP	PT
11--	GUARDRAILS	PT
12--	HM DOOR & FRAME	PT
13--	GUTTER	PF
14--	ASPHALT SHINGLES	PF
15--	VINYL WINDOW	PF - WHITE
16--	DECK SURFACE	STAIN
17--	DECORATIVE BRACKET	PT
18--	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

FINISH SCHEDULE NOTES

- SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
- PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
- PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
- PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
- PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

- SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
- SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
- SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
- SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
- SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
- SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
- SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
- SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
- SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
- SEE SHEET A5.01 FOR WINDOW SCHEDULE.
- SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
- SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
- SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
- SEE DETAIL 12/A9.03 FOR VENT FLASHING.





4 EXTERIOR ELEVATION - BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

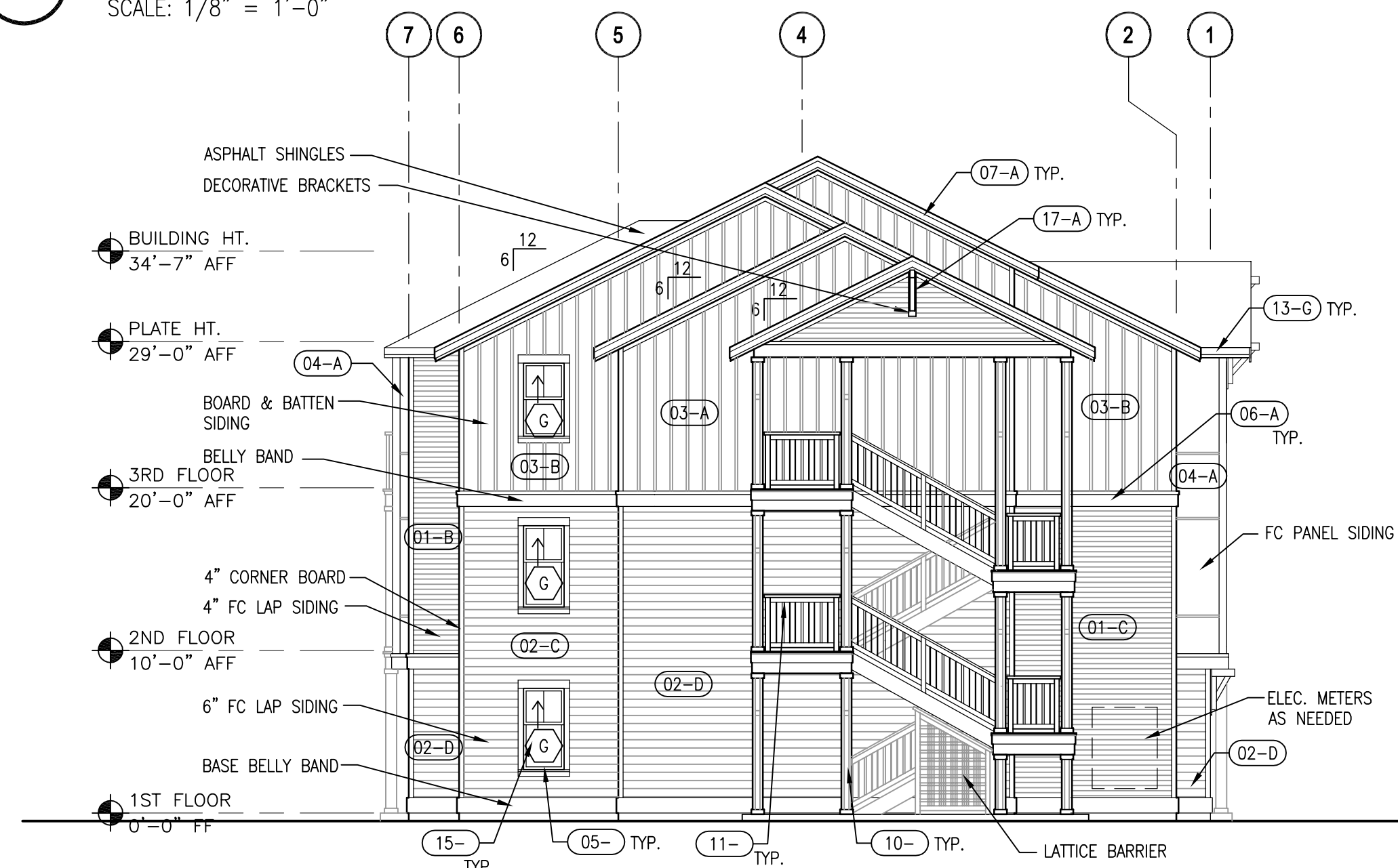
0 4' 8' 16'  
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

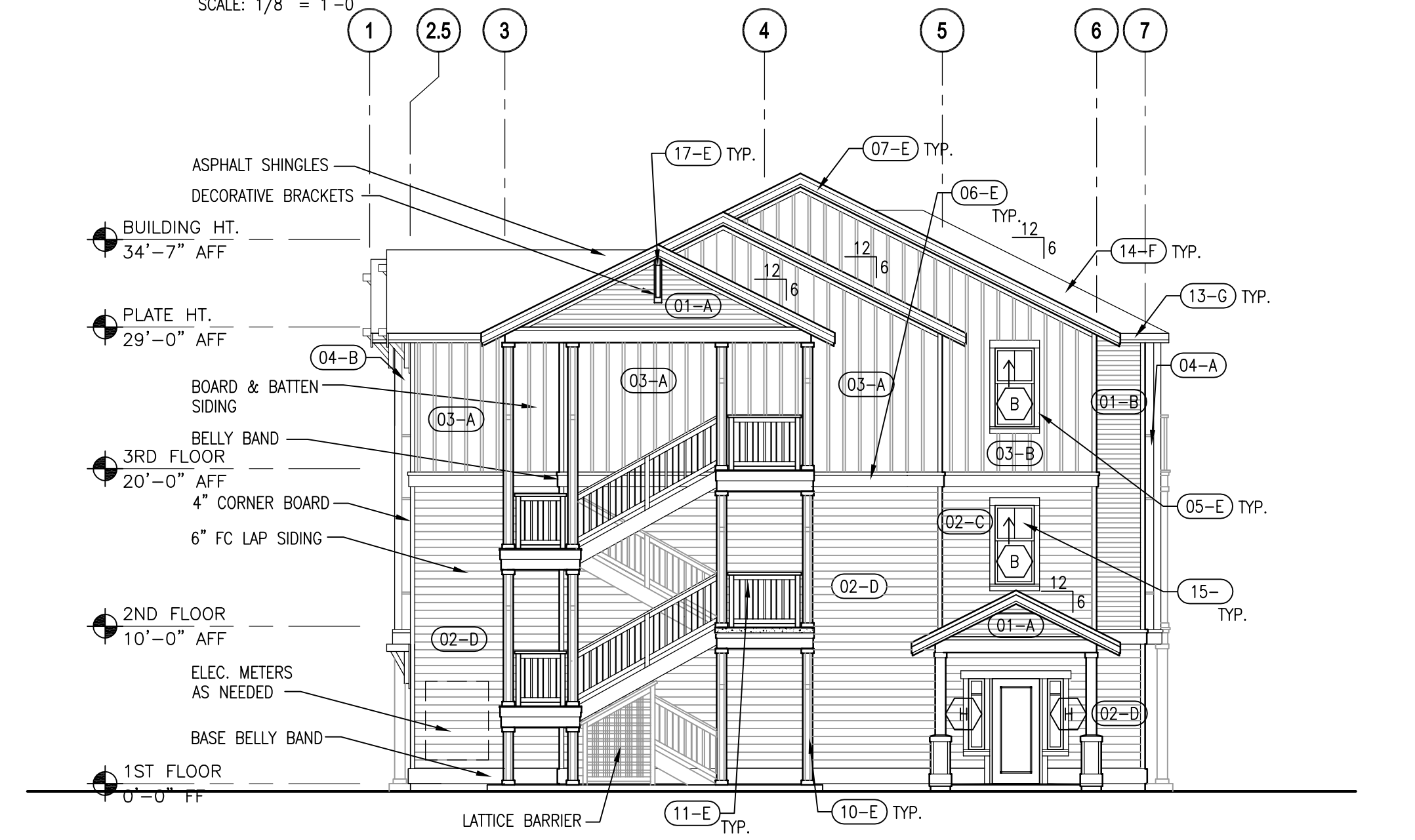
0 4' 8' 16'  
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

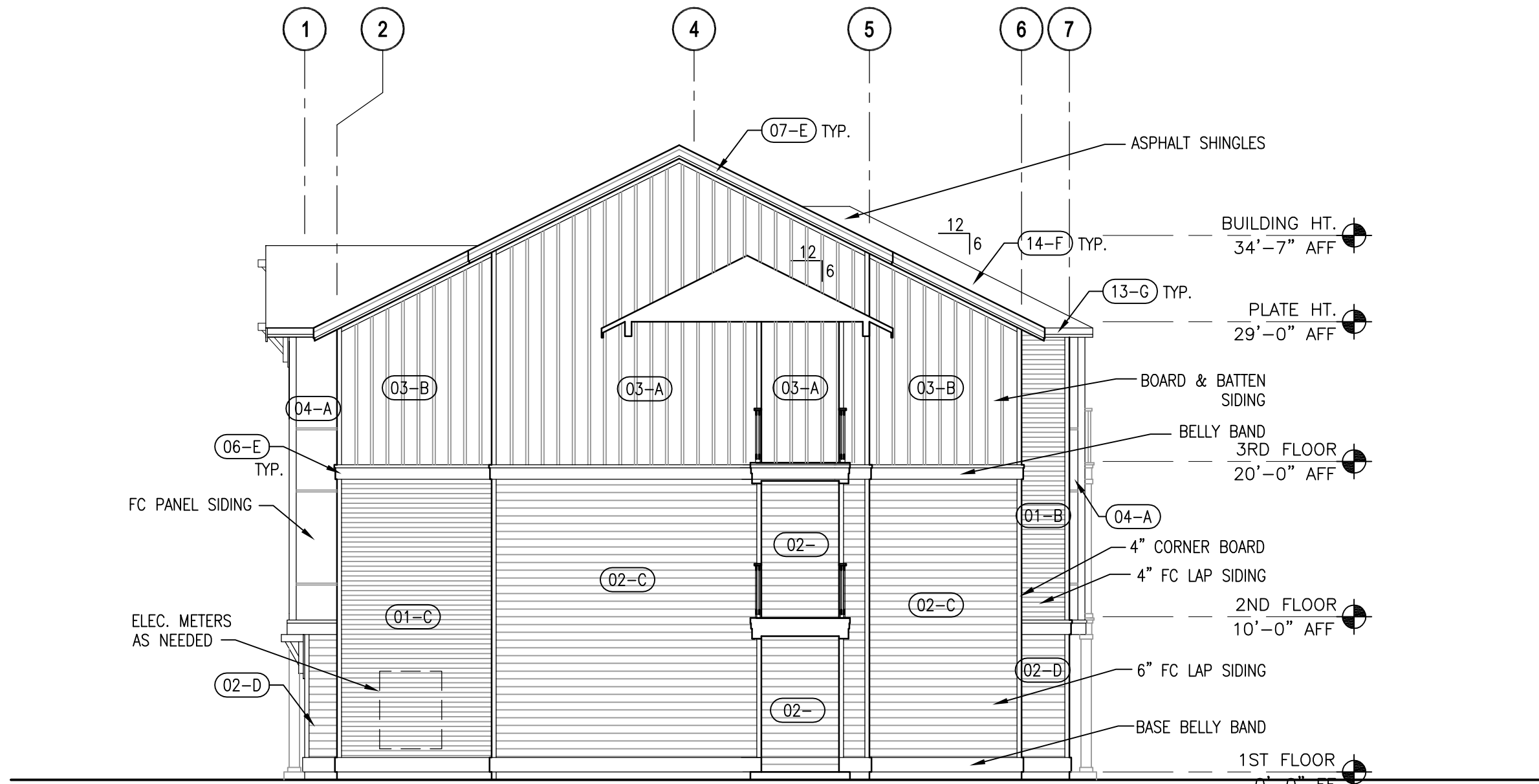


1 EXTERIOR ELEVATION - BUILDING TYPE 3

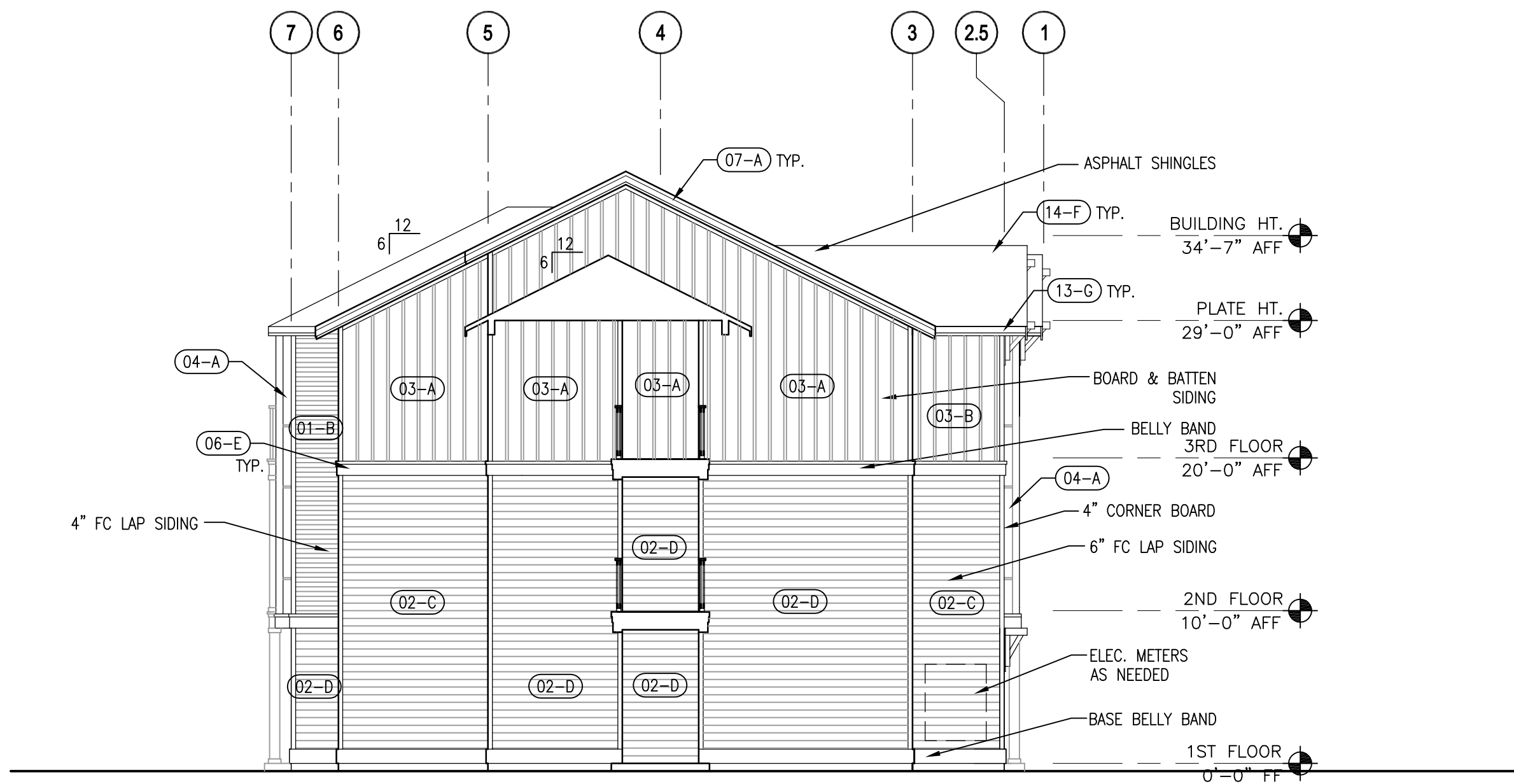
SCALE: 1/8" = 1'-0"

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"





**4** EXTERIOR ELEVATION - BUILDING TYPE 3  
SCALE: 1/8" = 1'-0"



**3** EXTERIOR ELEVATION - BUILDING TYPE 3  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE -- BLDG 'E'	
A	PT-1: "BRUNSWICK BEIGE"
B	PT-4: "LABRADOR BLUE"
C	PT-5: "STILLWATER"
D	PT-7: "TROUT GRAY"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE		
(PT = PAINT; PF = PRE-FINISHED)		
01--	FC 4" LAP SIDING	PT
02--	FC 6" DUTCHLAP SIDING	PT
03--	FC BOARD & BATTEN SIDING	PT
04--	FC PANEL SIDING	PT
05--	FC WINDOW & DOOR TRIM	PT
06--	BELLY BANDS	PT
07--	FASCIA	PT
08--	SOFFIT	PT
09--	FC TRIM UNDER SOFFIT	PT
10--	WOOD COLUMN WRAP	PT
11--	GUARDRAILS	PT
12--	HM DOOR & FRAME	PT
13--	GUTTER	PF
14--	ASPHALT SHINGLES	PF
15--	VINYL WINDOW	PF - WHITE
16--	DECK SURFACE	STAIN
17--	DECORATIVE BRACKET	PT
18--	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

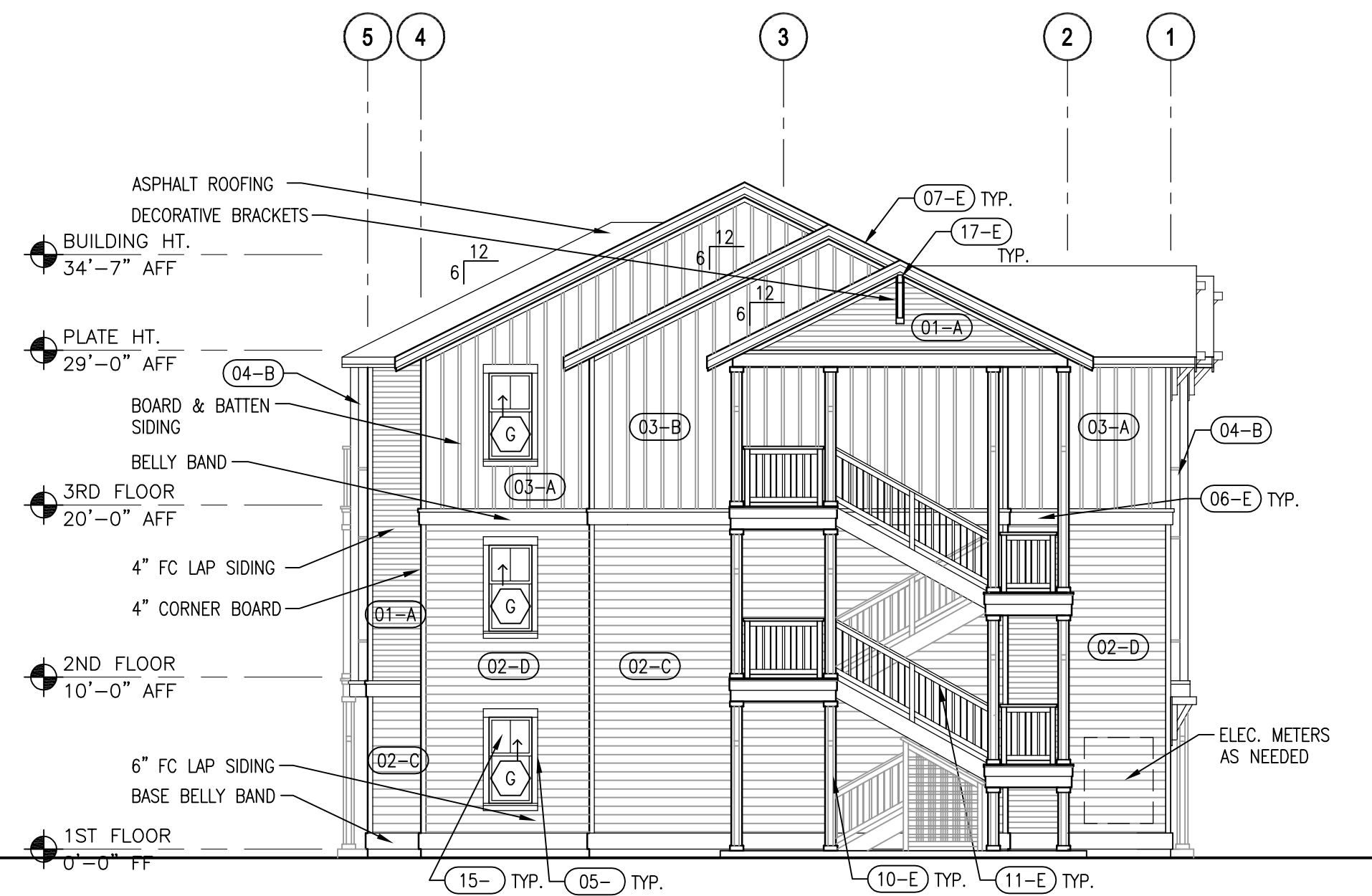
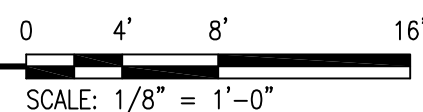
- FINISH SCHEDULE NOTES
- SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
  - PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
  - PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
  - PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
  - PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

- BUILDING ELEVATION NOTES:
- SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
  - SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
  - SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
  - SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
  - SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
  - SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
  - SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
  - SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
  - SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
  - SEE SHEET A5.01 FOR WINDOW SCHEDULE.
  - SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
  - SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
  - SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
  - SEE DETAIL 12/A9.03 FOR VENT FLASHING.
  - SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.

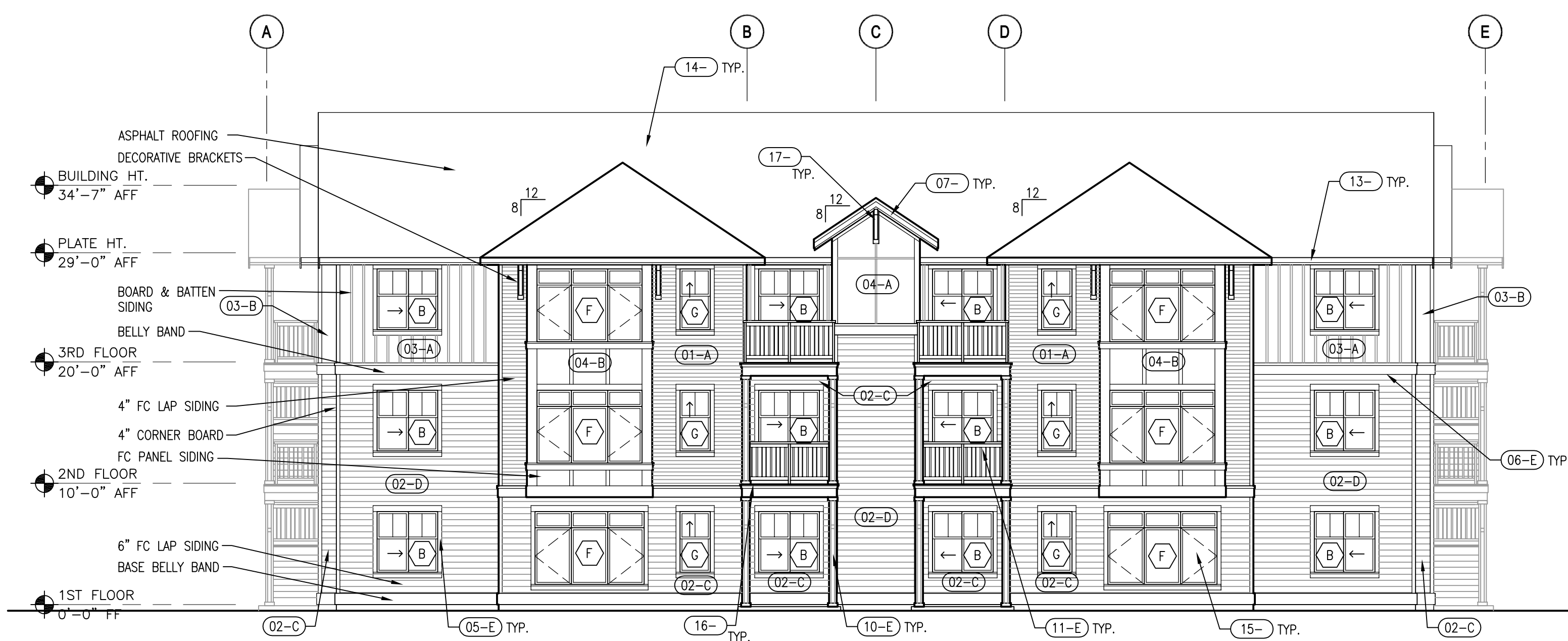
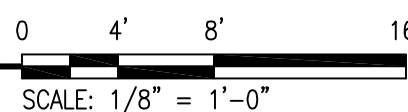




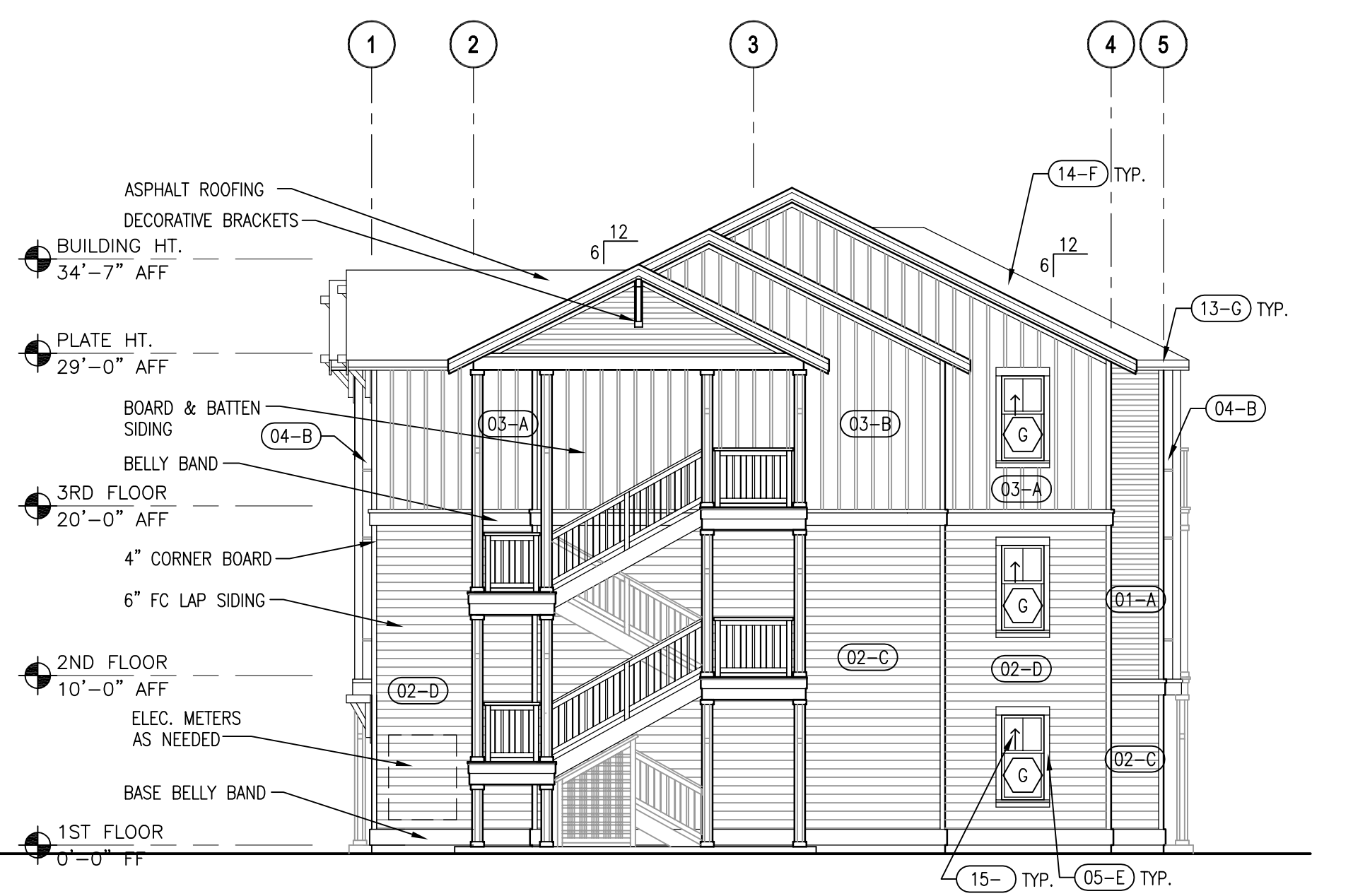
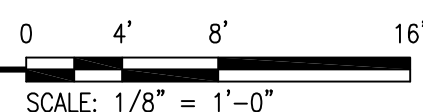
4 EXTERIOR ELEVATION - BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"



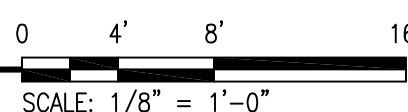
3 EXTERIOR ELEVATION - BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"



COLOR SCHEDULE - BLDG 'D'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-2: "GRENADIER POND"
C	PT-3: "DARTMOUTH GREEN"
D	PT-6: "DAVENPORT TAN"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

01--	FC 4" LAP SIDING	PT
02--	FC 6" DUTCHLAP SIDING	PT
03--	FC BOARD & BATTEN SIDING	PT
04--	FC PANEL SIDING	PT
05--	FC WINDOW & DOOR TRIM	PT
06--	BELLY BANDS	PT
07--	FASCIA	PT
08--	SOFFIT	PT
09--	FC TRIM UNDER SOFFIT	PT
10--	WOOD COLUMN WRAP	PT
11--	GUARDRAILS	PT
12--	HM DOOR & FRAME	PT
13--	GUTTER	PF
14--	ASPHALT SHINGLES	PF
15--	VINYL WINDOW	PF - WHITE
16--	DECK SURFACE	STAIN
17--	DECORATIVE BRACKET	PT
18--	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

FINISH SCHEDULE NOTES

- SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
- PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
- PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
- PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
- PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

- SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
- SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
- SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
- SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
- SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
- SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
- SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
- SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
- SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
- SEE SHEET A5.01 FOR WINDOW SCHEDULE.
- SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
- SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
- SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
- SEE DETAIL 12/A9.03 FOR VENT FLASHING.
- SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.



EXTERIOR COLORS - BLDGS 'A' & 'C'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

01--	FC 4" LAP SIDING	PT
02--	FC 6" DUTCHLAP SIDING	PT
03--	FC BOARD & BATTEN SIDING	PT
04--	FC PANEL SIDING	PT
05--	FC WINDOW & DOOR TRIM	PT
06--	BELLY BANDS	PT
07--	FASCIA	PT
08--	SOFFIT	PT
09--	FC TRIM UNDER SOFFIT	PT
10--	WOOD COLUMN WRAP	PT
11--	GUARDRAILS	PT
12--	HM DOOR & FRAME	PT
13--	GUTTER	PF
14--	ASPHALT SHINGLES	PF
15--	VINYL WINDOW	PF - WHITE
16--	DECK SURFACE	STAIN
17--	DECORATIVE BRACKET	PT
18--	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

COLOR SCHEDULE - BLDGS 'A' & 'C'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-2: "GRENADIER POND"
C	PT-3: "DARTMOUTH GREEN"
D	PT-7: "TROUT GRAY"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE NOTES

- SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
- PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
- PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
- PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
- PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

- SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
- SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
- SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
- SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
- SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
- SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
- SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
- SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
- SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
- SEE SHEET A5.01 FOR WINDOW SCHEDULE.
- SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
- SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
- SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
- SEE DETAIL 12/A9.03 FOR VENT FLASHING.
- SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.

EXTERIOR COLORS - BLDG 'B'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

01--	FC 4" LAP SIDING	PT
02--	FC 6" DUTCHLAP SIDING	PT
03--	FC BOARD & BATTEN SIDING	PT
04--	FC PANEL SIDING	PT
05--	FC WINDOW & DOOR TRIM	PT
06--	BELLY BANDS	PT
07--	FASCIA	PT
08--	SOFFIT	PT
09--	FC TRIM UNDER SOFFIT	PT
10--	WOOD COLUMN WRAP	PT
11--	GUARDRAILS	PT
12--	HM DOOR & FRAME	PT
13--	GUTTER	PF
14--	ASPHALT SHINGLES	PF
15--	VINYL WINDOW	PF - WHITE
16--	DECK SURFACE	STAIN
17--	DECORATIVE BRACKET	PT
18--	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

COLOR SCHEDULE - BLDG 'B'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-4: "LABRADOR BLUE"
C	PT-5: "STILLWATER"
D	PT-6: "DAVENPORT TAN"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE NOTES

- SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
- PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
- PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
- PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
- PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

- SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
- SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
- SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
- SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
- SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
- SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
- SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
- SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
- SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
- SEE SHEET A5.01 FOR WINDOW SCHEDULE.
- SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
- SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
- SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
- SEE DETAIL 12/A9.03 FOR VENT FLASHING.
- SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.

EXTERIOR COLORS - BLDG 'D'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

01--	FC 4" LAP SIDING	PT
02--	FC 6" DUTCHLAP SIDING	PT
03--	FC BOARD & BATTEN SIDING	PT
04--	FC PANEL SIDING	PT
05--	FC WINDOW & DOOR TRIM	PT
06--	BELLY BANDS	PT
07--	FASCIA	PT
08--	SOFFIT	PT
09--	FC TRIM UNDER SOFFIT	PT
10--	WOOD COLUMN WRAP	PT
11--	GUARDRAILS	PT
12--	HM DOOR & FRAME	PT
13--	GUTTER	PF
14--	ASPHALT SHINGLES	PF
15--	VINYL WINDOW	PF - WHITE
16--	DECK SURFACE	STAIN
17--	DECORATIVE BRACKET	PT
18--	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

COLOR SCHEDULE - BLDG 'D'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-2: "GRENADIER POND"
C	PT-3: "DARTMOUTH GREEN"
D	PT-6: "DAVENPORT TAN"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE NOTES

- SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
- PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
- PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
- PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
- PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

- SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
- SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
- SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
- SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
- SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
- SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
- SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
- SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
- SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
- SEE SHEET A5.01 FOR WINDOW SCHEDULE.
- SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
- SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
- SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
- SEE DETAIL 12/A9.03 FOR VENT FLASHING.
- SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.

EXTERIOR COLORS - BLDG 'E'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

01--	FC 4" LAP SIDING	PT
02--	FC 6" DUTCHLAP SIDING	PT
03--	FC BOARD & BATTEN SIDING	PT
04--	FC PANEL SIDING	PT
05--	FC WINDOW & DOOR TRIM	PT
06--	BELLY BANDS	PT
07--	FASCIA	PT
08--	SOFFIT	PT
09--	FC TRIM UNDER SOFFIT	PT
10--	WOOD COLUMN WRAP	PT
11--	GUARDRAILS	PT
12--	HM DOOR & FRAME	PT
13--	GUTTER	PF
14--	ASPHALT SHINGLES	PF
15--	VINYL WINDOW	PF - WHITE
16--	DECK SURFACE	STAIN
17--	DECORATIVE BRACKET	PT
18--	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

COLOR SCHEDULE - BLDG 'E'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-4: "LABRADOR BLUE"
C	PT-5: "STILLWATER"
D	PT-7: "TROUT GRAY"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE NOTES

- SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
- PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
- PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
- PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
- PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

- SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
- SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
- SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
- SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
- SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
- SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
- SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
- SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
- SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
- SEE SHEET A5.01 FOR WINDOW SCHEDULE.
- SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
- SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
- SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
- SEE DETAIL 12/A9.03 FOR VENT FLASHING.
- SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.

BCRA

REGISTERED ARCHITECT

JOSEPH PATRICK HYDMAN

STATE OF WASHINGTON

9463

PROJECT

DETAILED DESIGN REVIEW PLANS

BRIGGS VILLAGE APARTMENTS - NORTH SITE

4255 MAPLE ST SE

OLYMPIA, WA

REVISIONS

DATE

03.22.17

BCRA NO.

CADD FILE

15056 A706.DWG

SHEET TITLE

EXTERIOR COLOR

PALETTES

BCRA

REGISTERED ARCHITECT

© COPYRIGHT 2017 - BCRA, ALL RIGHTS RESERVED

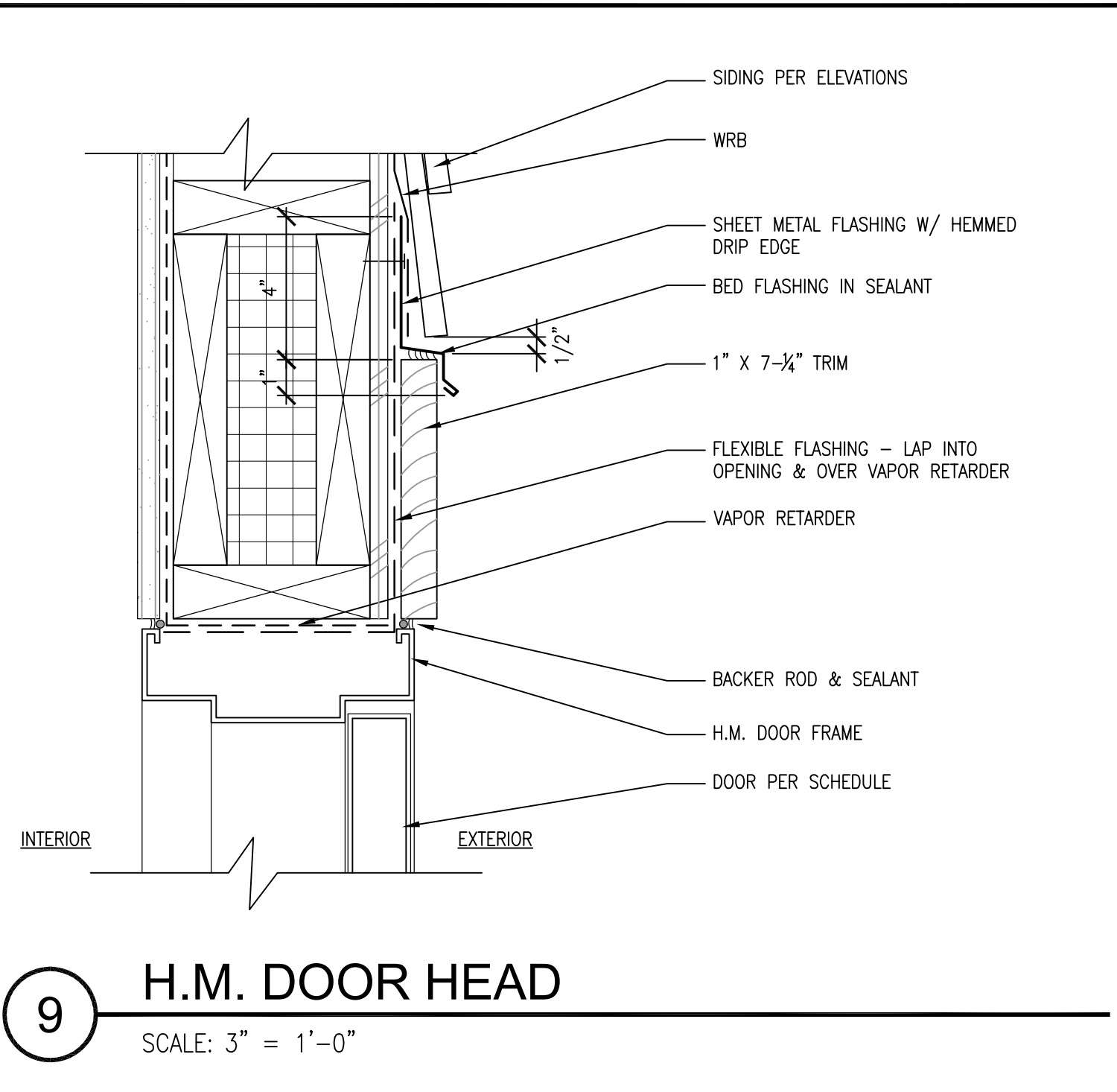
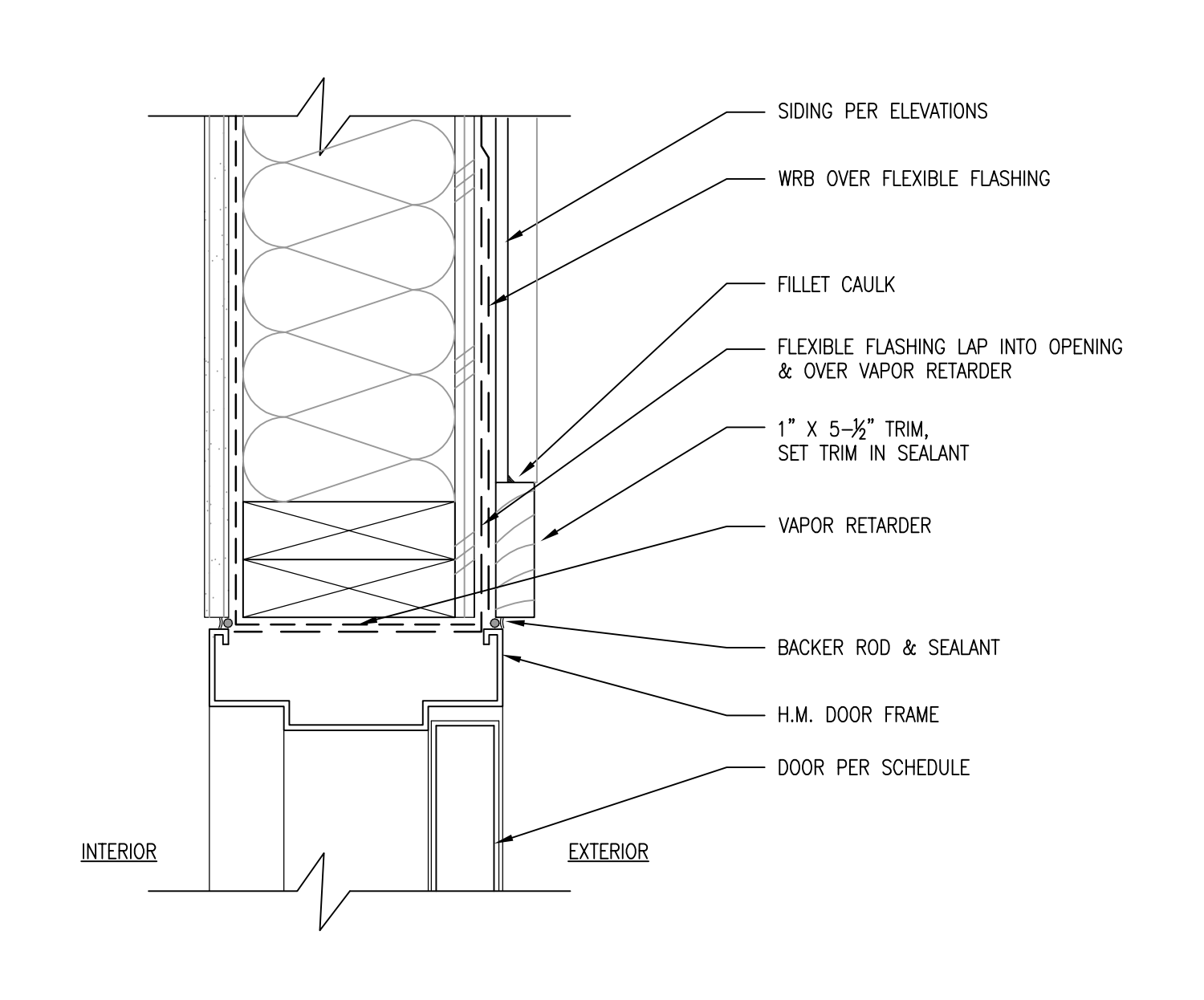
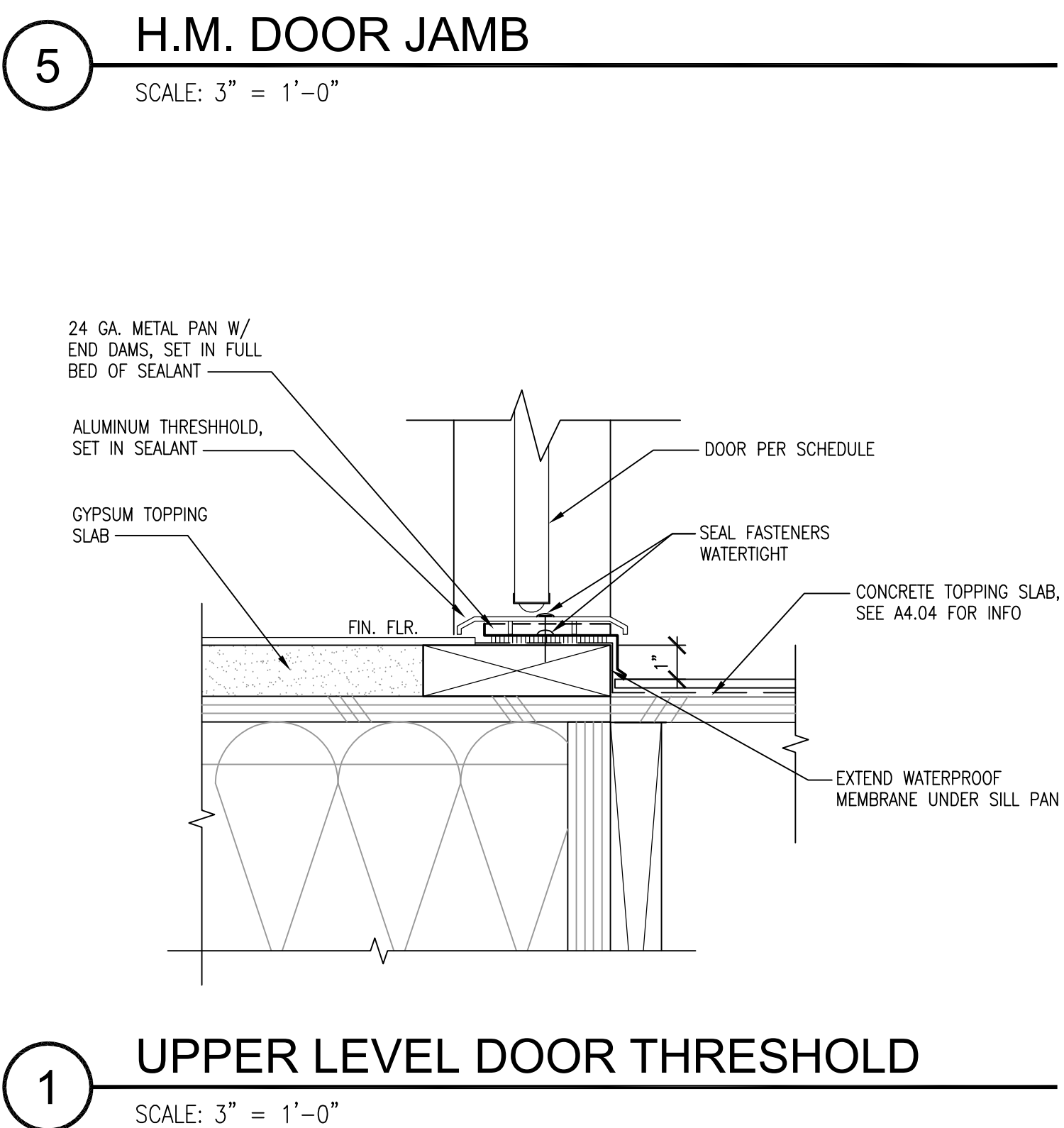
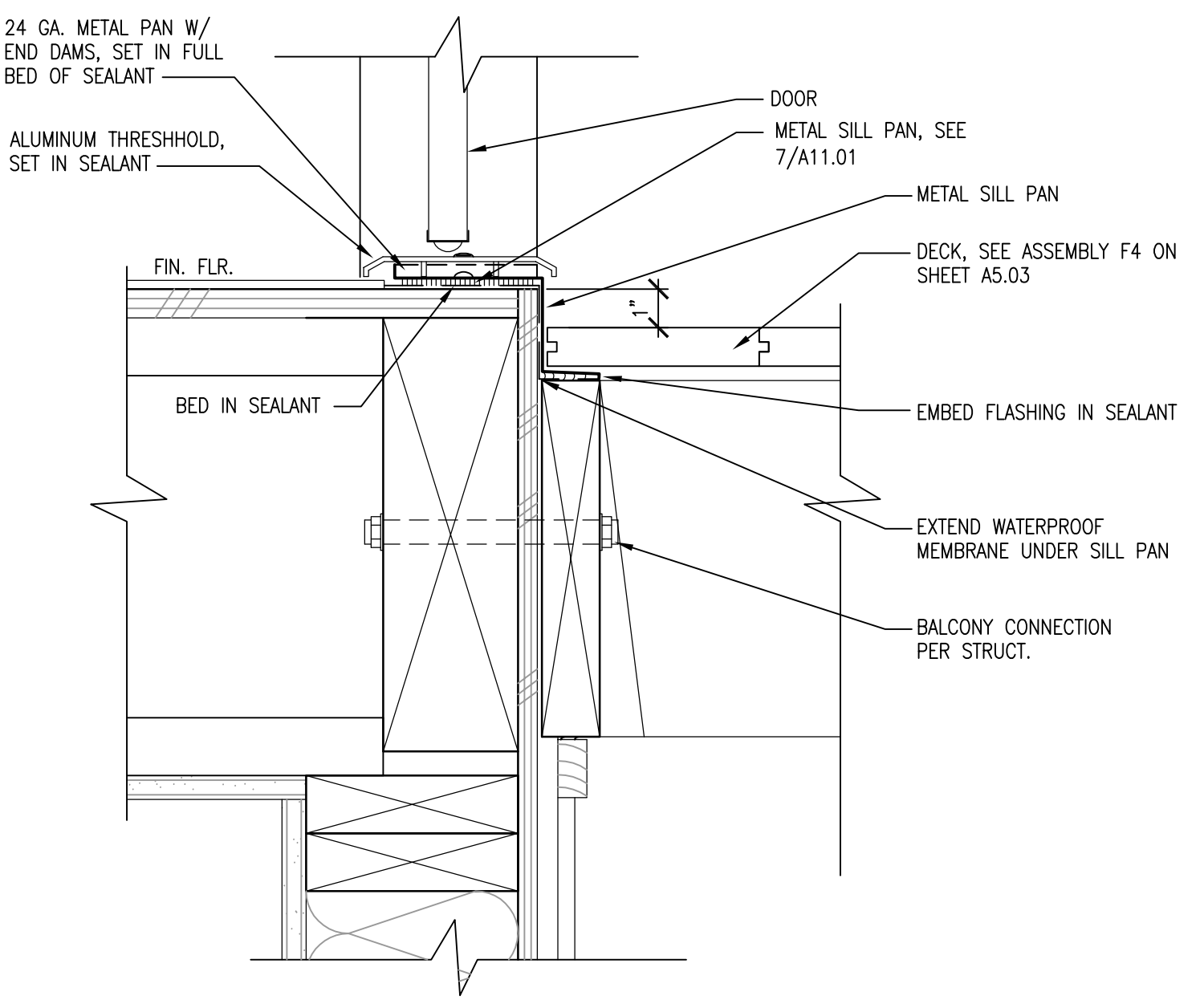
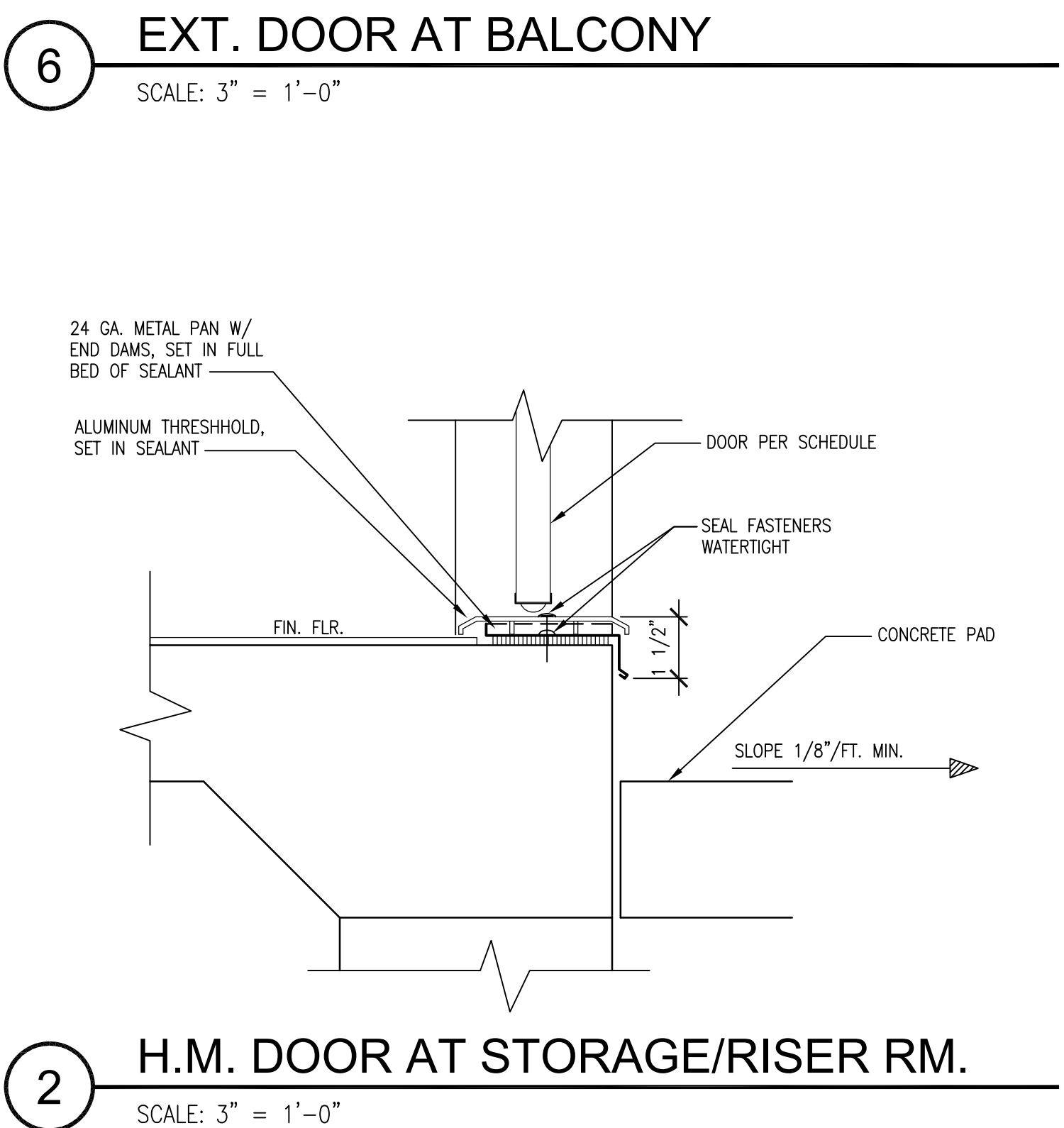
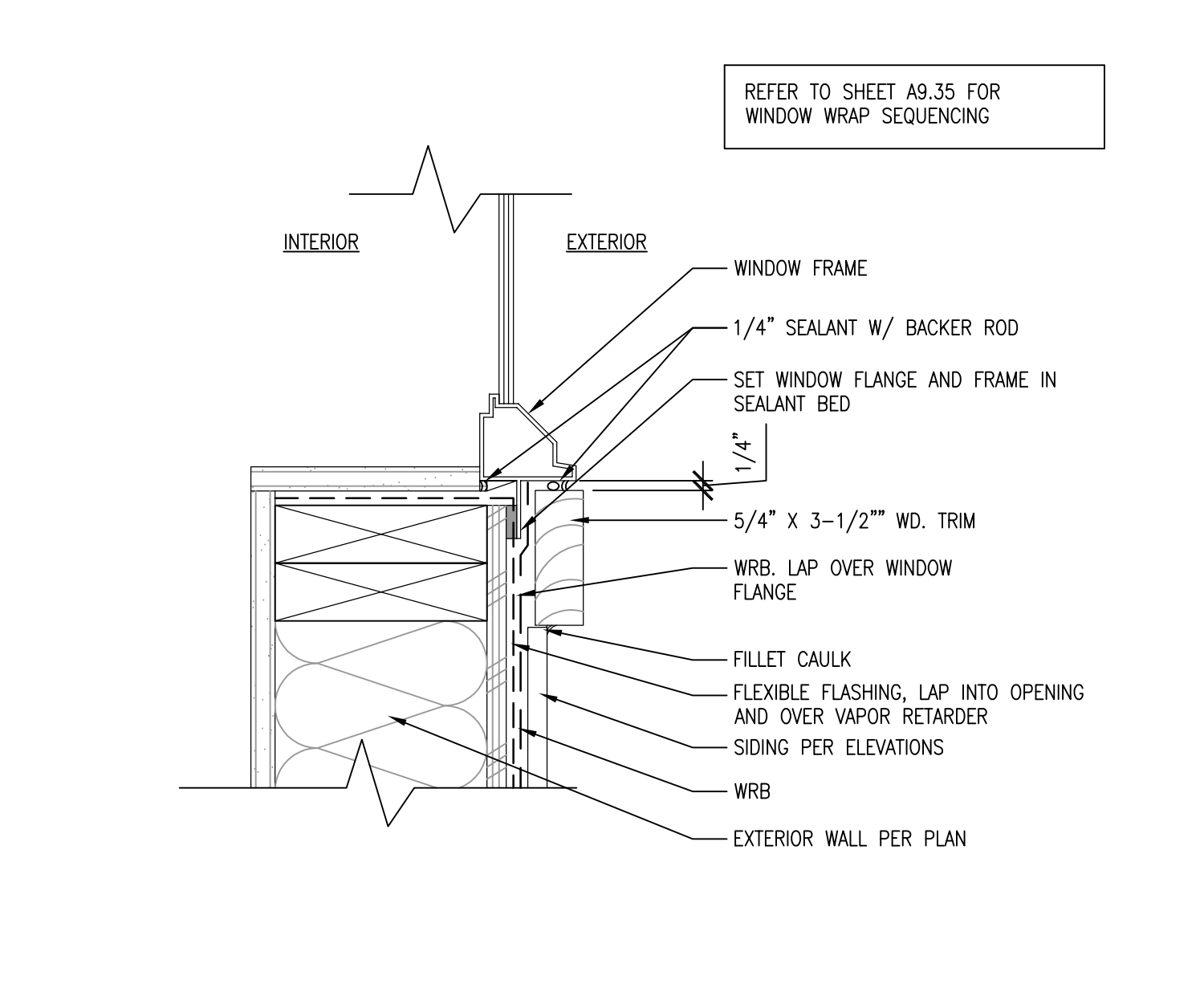
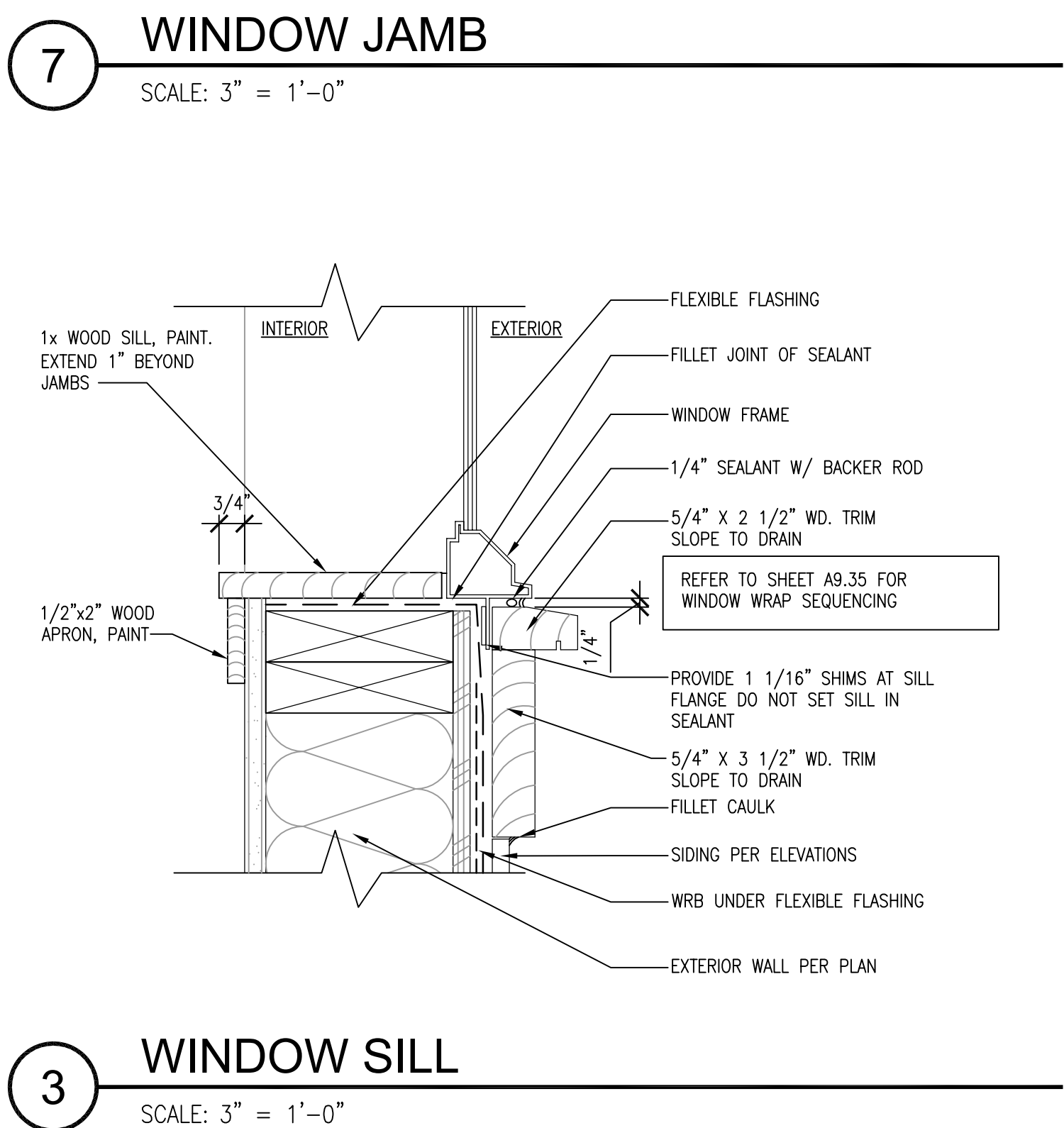
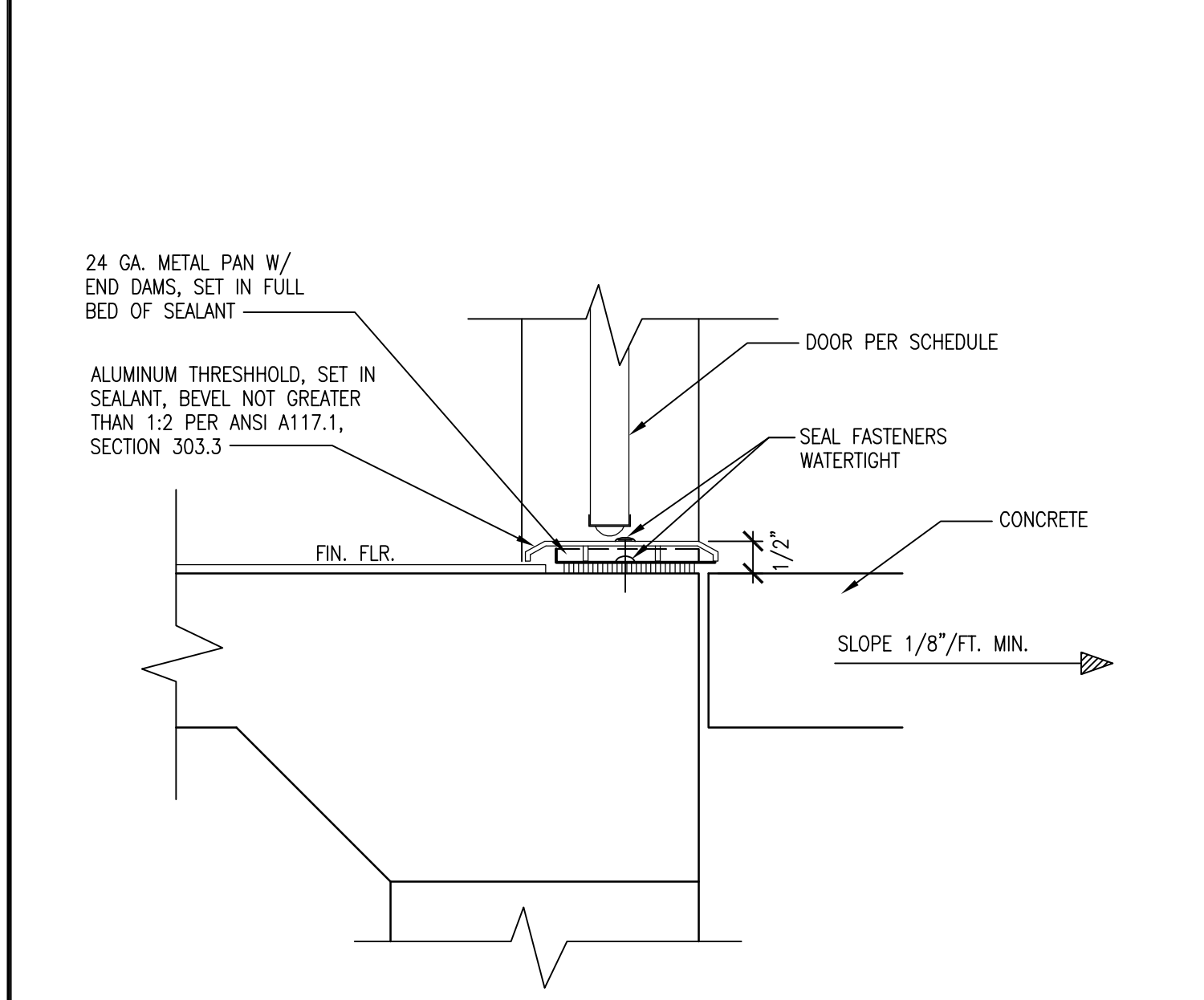
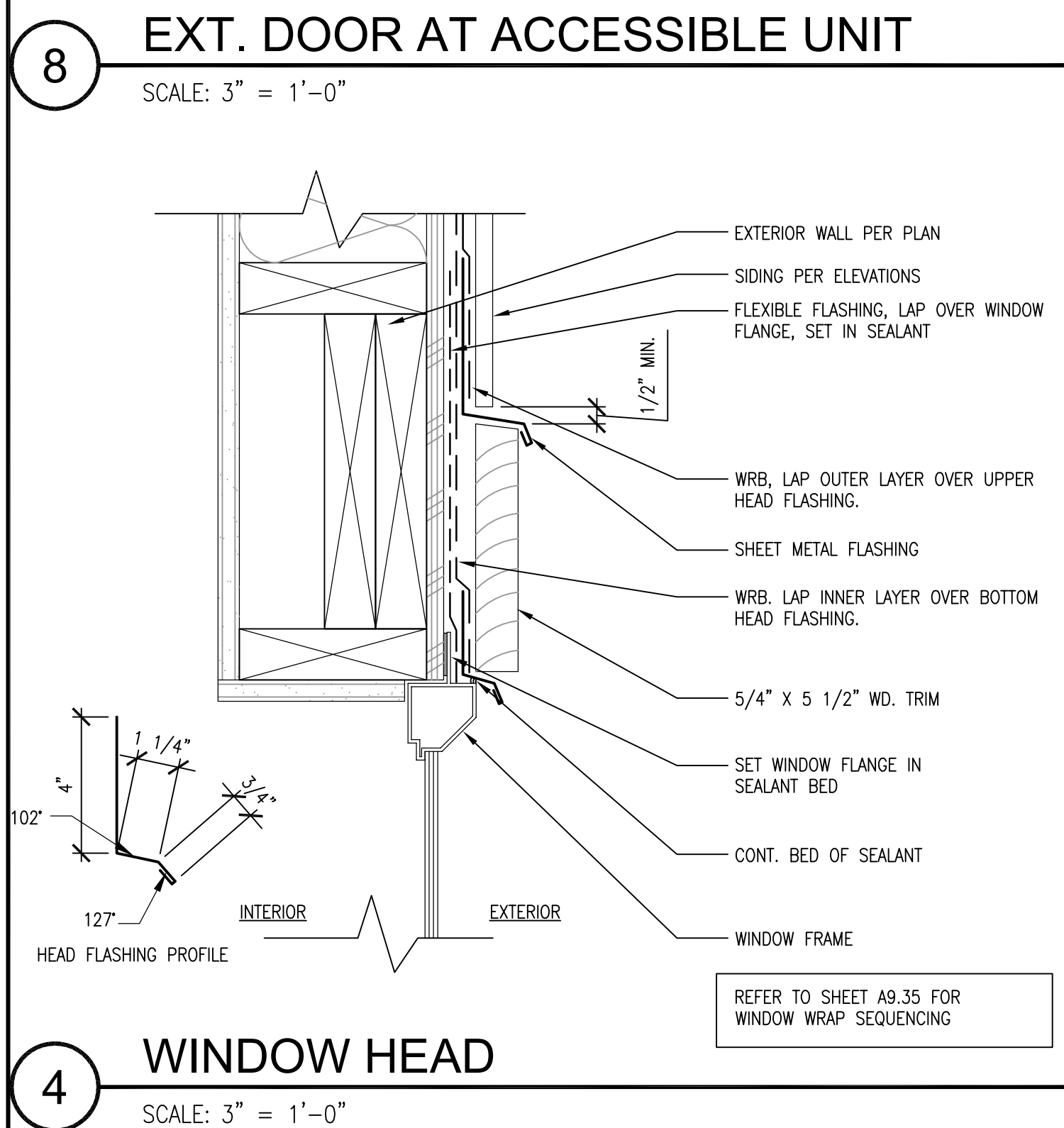
SHEET

A7.06

DTL DESIGN PLANS



Date Plotted: Mar 20, 2017 - 7:11pm Filename: 15056 A933.dwg By: JOE



BCRA

9463 REGISTERED ARCHITECT

JOSEPH PATRICK HYDMAN  
STATE OF WASHINGTON

PROJECT  
DETAILED DESIGN REVIEW PLANS

BRIGGS VILLAGE APARTMENTS - NORTH SITE

4255 MAPLE ST SE  
OLYMPIA, WA

REVISIONS


DATE  
03.22.17

BCRA NO.

CADD FILE  
15056 A933

SHEET TITLE  
DOOR DETAILS

BCRA

© COPYRIGHT 2017 - BCRA, INC. ALL RIGHTS RESERVED

SHEET

A9.33

DTL DESIGN PLANS

T 253.627.4867 F 253.627.4385 WWW.BCRADESIGN.COM

2106 PACIFIC AVENUE, SUITE 300, TACOMA, WA 98402



Mar 21, 2017 8:18:49am - User: Tyrell Bradley  
R:\PROJECTS\2358 CARINO & ASSOCIATES\2358.01 NORTH MULTIFAMILY RESIDENTIAL PHASE 2B - CONSTRUCTION DOCUMENTS\CADD\2358.01 CV-01.DWG

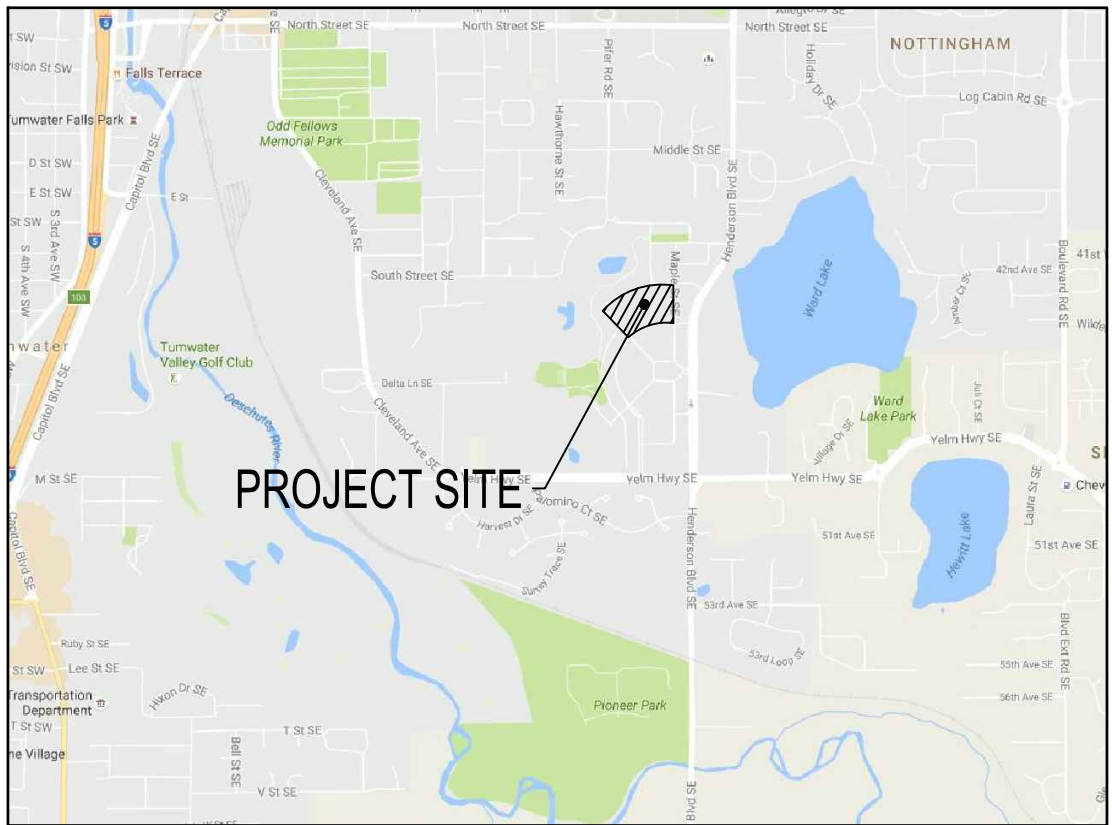
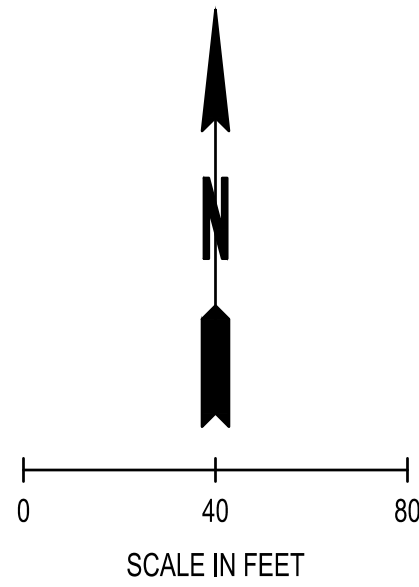
SEC. 36, T18N., R2W., W.M.

BRIGGS NORTH MULTI FAMILY SITE  
LAND USE APPLICATION PACKAGE

OLYMPIA, WASHINGTON

MARCH 2017

SHEET INDEX	
SHEET TITLE	SHEET DESCRIPTION
CV-01	COVER SHEET
EC-01	EROSION CONTROL PLAN
CG-01	GRADING PLAN
CG-02	GRADING PLAN
SD-01	DRAINAGE PLAN
SD-02	DRAINAGE PLAN
WT-01	WATER PLAN
SS-01	SEWER PLAN
IL-01	ILLUMINATION PLAN



VICINITY MAP  
NOT TO SCALE

PROJECT DATA

OWNER/APPLICANT

PARCEL: 37030009200

APPLICANT:  
BRIGGS VILLAGE APARTMENT HOMES, LLC.  
2010 65TH AVE. W#100, 1  
FIRCREST, WA 98466

OWNER:  
BRIGGS VILLAGE, LLC.  
27200 AGOURA RD SUITE 201  
CALABASSAS, CA 91301-5124

SITE ADDRESS:  
4255 MAPLE STREET SE  
OLYMPIA, WA 98501

PROJECT REPRESENTATIVE

SCJ ALLIANCE  
8730 TALLON LANE NE, SUITE 200  
LACEY, WA 98516  
PH: (360) 352-1465  
CONTACT: TYRELL BRADLEY, PE

SITE DATA

UNIT TYPES  
18 - 1 BED/ 1 BATH  
18 - 2 BED/ 1 BATH  
24 - 2 BED/ 2 BATH  
12 - 3 BED/ 2 BATH  
3 STORY BUILDINGS

SITE AREA: 126,241 S.F. W/ PARK  
108,392 S.F. W/O PARK

BUILDING COVERAGE ALLOWED: 50%  
BUILDING AREA SHOWN: 21,445 S.F.

PARK GREEN SPACE: 17,849 S.F.

IMPERVIOUS AREA ALLOWED: 70%  
70% OF 126,241 S.F. = 88,369 S.F.

BUILDING AREA SHOWN: 21,445 S.F.  
PAVING AREA SHOWN: 43,025 S.F.  
SIDEWALK AREA SHOWN: 12,935 S.F.  
TOTAL IMPERVIOUS: 77,405 S.F.

PARKING REQ'D: 1.5 STALLS PER UNIT  
72 UNITS X 1.5 = 108 STALLS REQ'D  
PARKING SHOWN: 114 STALLS TOTAL

5 ACCESSIBLE STALLS  
91 STANDARD STALLS  
18 COMPACT STALLS

30% COMPACT ALLOWED  
15% COMPACT SHOWN

BUILDING HT. ALLOWED: 35'-0"

FRONT SETBACK: 10'-0"  
REAR SETBACK: 15'-0"  
SIDE SETBACK: 10'-0"

VERTICAL DATUM

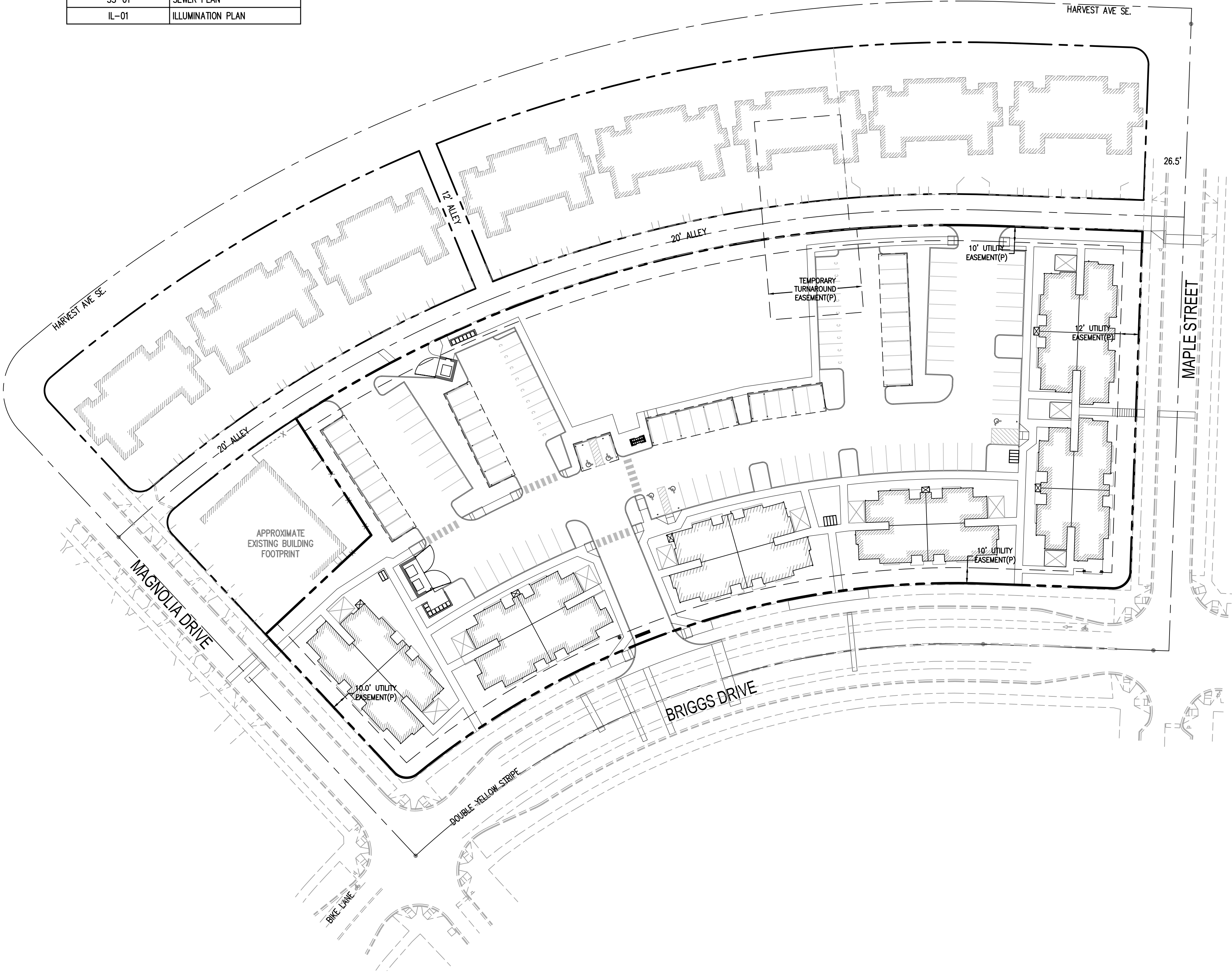
NAV88 VERTICAL DATUM WAS ESTABLISHED USING CITY OF OLYMPIA BENCHMARK NO. 1331. FOUND 2.5" BRASS DISC LOCATED ON TOP OF CURB AT SOUTH END OF RETURN IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF HENDERSON BOULEVARD AND MIDDLE STREET.  
ELEVATION= 193.24 FEET

BASIS OF BEARING:

NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°53'52"E. FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



REVISIONS	DATE	BY




**SCJ ALLIANCE**  
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516  
P: 360-352-1465 F: 360-352-1509  
SCJALLIANCE.COM

COVER SHEET

SHEET TITLE:  
PROJECT NAME:  
BRIGGS NORTH MULTI FAMILY SITE  
OLYMPIA, WASHINGTON

SEAL:  
  
03/22/2017

DESIGNER:  
M. DOBBS

DRAWN BY:  
M. DOBBS

APPROVED BY:  
T. BRADLEY

DATE:  
MARCH, 2017

JOB NO:  
2358.01

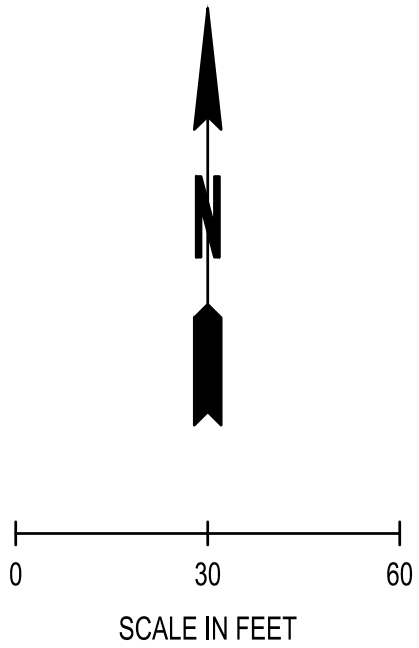
DRAWING FILE NO:  
2358.01 CV-01

DRAWING NO:  
CV-01

SHEET NO:  
1 OF 9



SEC. 36, T18N., R2W., W.M.



LEGEND:

- EXISTING ASPHALT/CONCRETE/SIDEWALK/CURB AND BASE TO BE REMOVED
- STABILIZED CONSTRUCTION ENTRANCE
- STORM DRAIN INLET PROTECTION
- SEDIMENT TRAP
- SILT FENCE
- EXISTING TREES
- EXISTING TREE TO BE REMOVED
- SAWCUT

DEMOLITION NOTES:

- REMOVE EXISTING TREE
- EXISTING LIGHT POLE TO BE RELOCATED, SEE SHEET IL-01
- SAWCUT (TYP.)
- PROTECT EXISTING FENCE DURING CONSTRUCTION
- PROTECT EXISTING HEAT PUMP
- REMOVE QUARRY SPALLS AND FILTER FABRIC
- REMOVE 10' OF EXISTING 8" SEWER LINE
- REMOVE 21' OF EXISTING 8" WATER MAIN

EROSION CONTROL NOTES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER CITY OF OLYMPIA STD. DETAIL ON SHEET EC-02
- INSTALL STORM DRAIN INLET PROTECTION PER CITY OF OLYMPIA STD. DETAIL ON SHEET EC-02
- INSTALL SILT FENCE PER CITY OF OLYMPIA STD. DETAIL ON SHEET EC-02
- CONSTRUCT TEMPORARY SEDIMENT POND PER CITY OF OLYMPIA BMP C241

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	DATE	BY

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516  
P: 360-352-1465 F: 360-352-1509  
SCJALLIANCE.COM

EROSION CONTROL AND DEMOLITION PLAN

BRIGGS NORTH MULTI FAMILY SITE  
OLYMPIA, WASHINGTON

DESIGNER:  
M. DOBBS

DRAWN BY:  
M. DOBBS

APPROVED BY:  
T. BRADLEY

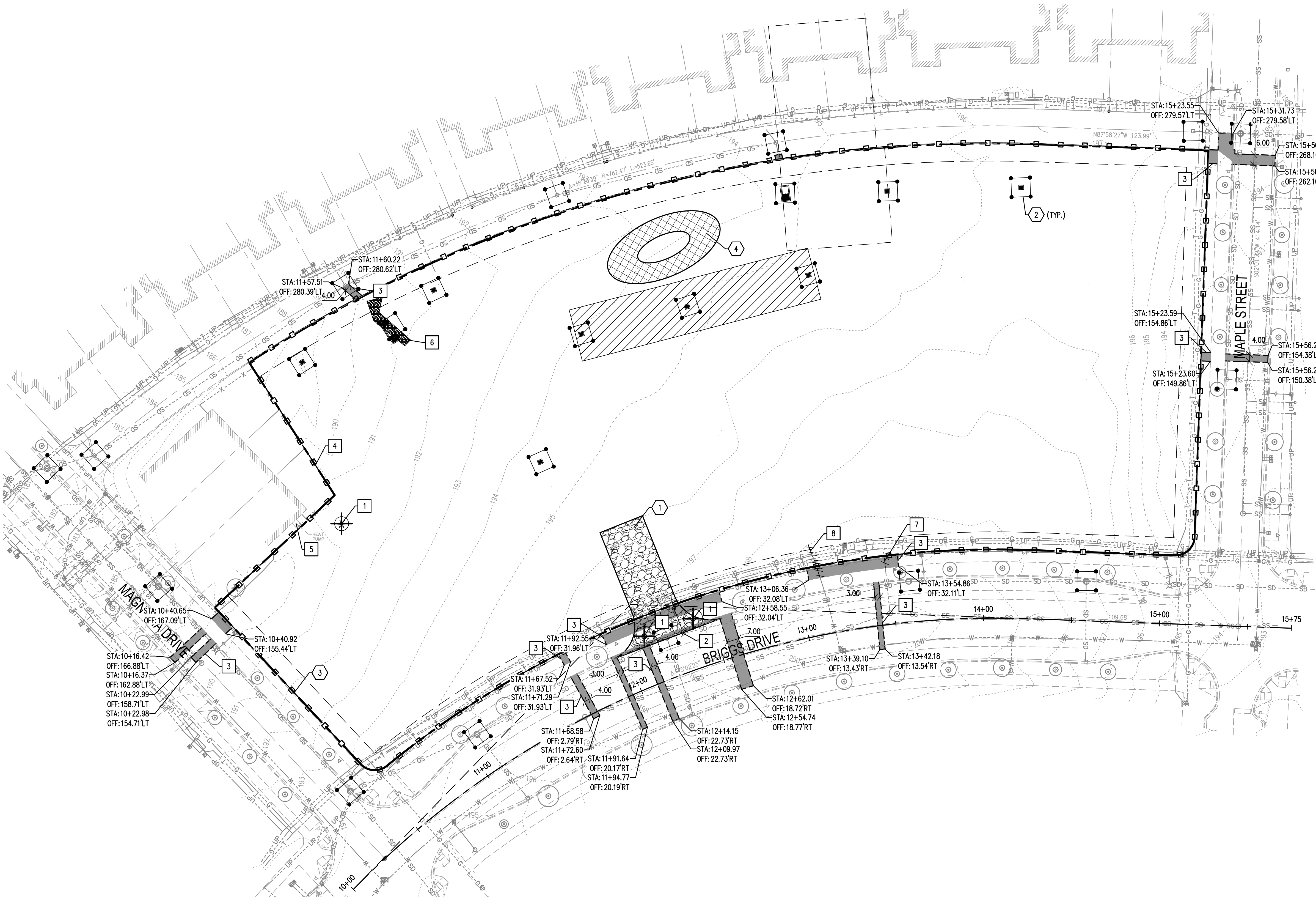
DATE:  
MARCH, 2017

JOB NO:  
2358.01

DRAWING FILE NO:  
2358.01 EC-01

DRAWING NO:  
EC-01

SHEET NO:  
2 OF 9





This is a detailed site plan for a residential development. The plan shows the layout of several buildings, their approximate footprints, and the proposed grading for the site. Key features include:

- Streets:** MAGNOLIA DRIVE (top left), BRIGGS DRIVE (bottom right), and WALLEY (center right).
- Grading:** The plan includes numerous spot elevations (e.g., 189.07, 190.95, 191.12, 192.73, 193.97, 194.44, 195.03, 195.12, 195.26, 195.46, 195.87, 196.00, 196.73, 197.04, 197.25, 197.50, 197.70, 198.02, 198.12, 198.28, 198.49, 198.55, 198.58, 198.62, 198.68, 198.73, 198.81, 198.87, 198.90, 198.96, 199.04, 199.13, 199.45, 199.51, 199.54, 199.58, 199.62, 199.66, 199.70, 199.74, 199.78, 199.82, 199.86, 199.90, 199.94, 199.98, 200.02, 200.06, 200.10, 200.14, 200.18, 200.22, 200.26, 200.30, 200.34, 200.38, 200.42, 200.46, 200.50, 200.54, 200.58, 200.62, 200.66, 200.70, 200.74, 200.78, 200.82, 200.86, 200.90, 200.94, 200.98, 201.02, 201.06, 201.10, 201.14, 201.18, 201.22, 201.26, 201.30, 201.34, 201.38, 201.42, 201.46, 201.50, 201.54, 201.58, 201.62, 201.66, 201.70, 201.74, 201.78, 201.82, 201.86, 201.90, 201.94, 201.98, 202.02, 202.06, 202.10, 202.14, 202.18, 202.22, 202.26, 202.30, 202.34, 202.38, 202.42, 202.46, 202.50, 202.54, 202.58, 202.62, 202.66, 202.70, 202.74, 202.78, 202.82, 202.86, 202.90, 202.94, 202.98, 203.02, 203.06, 203.10, 203.14, 203.18, 203.22, 203.26, 203.30, 203.34, 203.38, 203.42, 203.46, 203.50, 203.54, 203.58, 203.62, 203.66, 203.70, 203.74, 203.78, 203.82, 203.86, 203.90, 203.94, 203.98, 204.02, 204.06, 204.10, 204.14, 204.18, 204.22, 204.26, 204.30, 204.34, 204.38, 204.42, 204.46, 204.50, 204.54, 204.58, 204.62, 204.66, 204.70, 204.74, 204.78, 204.82, 204.86, 204.90, 204.94, 204.98, 205.02, 205.06, 205.10, 205.14, 205.18, 205.22, 205.26, 205.30, 205.34, 205.38, 205.42, 205.46, 205.50, 205.54, 205.58, 205.62, 205.66, 205.70, 205.74, 205.78, 205.82, 205.86, 205.90, 205.94, 205.98, 206.02, 206.06, 206.10, 206.14, 206.18, 206.22, 206.26, 206.30, 206.34, 206.38, 206.42, 206.46, 206.50, 206.54, 206.58, 206.62, 206.66, 206.70, 206.74, 206.78, 206.82, 206.86, 206.90, 206.94, 206.98, 207.02, 207.06, 207.10, 207.14, 207.18, 207.22, 207.26, 207.30, 207.34, 207.38, 207.42, 207.46, 207.50, 207.54, 207.58, 207.62, 207.66, 207.70, 207.74, 207.78, 207.82, 207.86, 207.90, 207.94, 207.98, 208.02, 208.06, 208.10, 208.14, 208.18, 208.22, 208.26, 208.30, 208.34, 208.38, 208.42, 208.46, 208.50, 208.54, 208.58, 208.62, 208.66, 208.70, 208.74, 208.78, 208.82, 208.86, 208.90, 208.94, 208.98, 209.02, 209.06, 209.10, 209.14, 209.18, 209.22, 209.26, 209.30, 209.34, 209.38, 209.42, 209.46, 209.50, 209.54, 209.58, 209.62, 209.66, 209.70, 209.74, 209.78, 209.82, 209.86, 209.90, 209.94, 210.02, 210.06, 210.10, 210.14, 210.18, 210.22, 210.26, 210.30, 210.34, 210.38, 210.42, 210.46, 210.50, 210.54, 210.58, 210.62, 210.66, 210.70, 210.74, 210.78, 210.82, 210.86, 210.90, 210.94, 210.98, 211.02, 211.06, 211.10, 211.14, 211.18, 211.22, 211.26, 211.30, 211.34, 211.38, 211.42, 211.46, 211.50, 211.54, 211.58, 211.62, 211.66, 211.70, 211.74, 211.78, 211.82, 211.86, 211.90, 211.94, 211.98, 212.02, 212.06, 212.10, 212.14, 212.18, 212.22, 212.26, 212.30, 212.34, 212.38, 212.42, 212.46, 212.50, 212.54, 212.58, 212.62, 212.66, 212.70, 212.74, 212.78, 212.82, 212.86, 212.90, 212.94, 212.98, 213.02, 213.06, 213.10, 213.14, 213.18, 213.22, 213.26, 213.30, 213.34, 213.38, 213.42, 213.46, 213.50, 213.54, 213.58, 213.62, 213.66, 213.70, 213.74, 213.78, 213.82, 213.86, 213.90, 213.94, 213.98, 214.02, 214.06, 214.10, 214.14, 214.18, 214.22, 214.26, 214.30, 214.34, 214.38, 214.42, 214.46, 214.50, 214.54, 214.58, 214.62, 214.66, 214.70, 214.74, 214.78, 214.82, 214.86, 214.90, 214.94, 214.98, 215.02, 215.06, 215.10, 215.14, 215.18, 215.22, 215.26, 215.30, 215.34, 215.38, 215.42, 215.46, 215.50, 215.54, 215.58, 215.62, 215.66, 215.70, 215.74, 215.78, 215.82, 215.86, 215.90, 215.94, 215.98, 216.02, 216.06, 216.10, 216.14, 216.18, 216.22, 216.26, 216.30, 216.34, 216.38, 216.42, 216.46, 216.50, 216.54, 216.58, 216.62, 216.66, 216.70, 216.74, 216.78, 216.82, 216.86, 216.90, 216.94, 216.98, 217.02, 217.06, 217.10, 217.14, 217.18, 217.22, 217.26, 217.30, 217.34, 217.38, 217.42, 217.46, 217.50, 217.54, 217.58, 217.62, 217.66, 2



- GENERAL NOTES:

1. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AT ALL TIMES.
2. SLOPE ELEVATIONS REPRESENT FINISHED GRADE AT FLOW LINE UNLESS OTHERWISE NOTED.
3. ALL LANDSCAPE AREAS SHALL BE STABILIZED.
4. THE CONTRACTOR SHALL CONTACT SCJ ALLIANCE TWO (2) DAYS IN ADVANCE OF POURING THE CONCRETE FOR THE ADA RAMPS IN ORDER TO INSPECT THE FORM WORK.
5. ALL CATCH SLOPES ARE 3:1 UNLESS NOTED OTHERWISE
6. ALL SIDEWALKS SHALL SLOPE TOWARDS PARKING LOT AND STREET AT 1.5% SLOPE UNLESS NOTED OTHERWISE

## VERTICAL DATUM

NAVD88 VERTICAL DATUM WAS ESTABLISHED USING CITY OF OLYMPIA BENCHMARK NO. 1331. FOUND 2.5" BRASS DISC LOCATED ON TOP OF CURB AT SOUTH END OF RETURN IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF HENDERSON BOULEVARD AND MIDDLE STREET.  
ELEVATION= 193.24 FEET

**BASIS OF BEARING:**

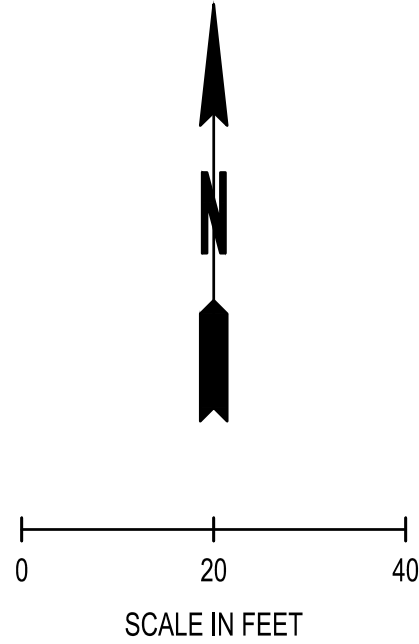
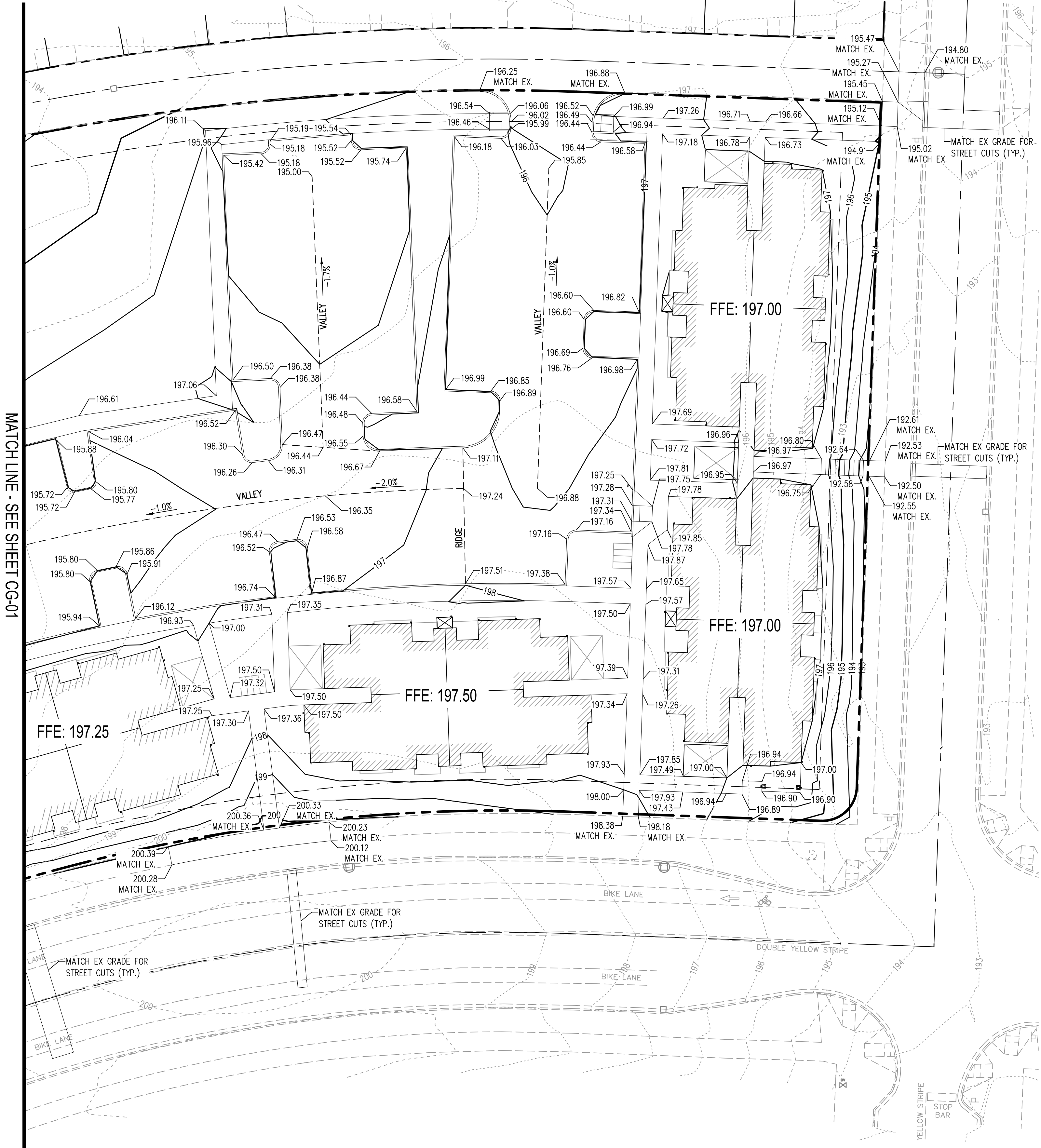
NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°55'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



SEC. 36, T18N., R2W., W.M.



LEGEND:

- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- GRADE BREAK
- SLOPE LABEL
- SPOT ELEVATION
- LOW POINT
- HIGH POINT
- TOP OF CURB

GENERAL NOTES:

- CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AT ALL TIMES.
- SPOT ELEVATIONS REPRESENT FINISHED GRADE AT FLOW LINE UNLESS OTHERWISE NOTED.
- ALL LANDSCAPE AREAS SHALL BE STABILIZED.
- THE CONTRACTOR SHALL CONTACT SCJ ALLIANCE TWO (2) DAYS IN ADVANCE OF POURING THE CONCRETE FOR THE ADA RAMPS IN ORDER TO INSPECT THE FORM WORK.
- ALL CATCH SLOPES ARE 3:1 UNLESS NOTED OTHERWISE
- ALL SIDEWALKS SHALL SLOPE TOWARDS PARKING LOT AND STREET AT 1.5% SLOPE UNLESS NOTED OTHERWISE

VERTICAL DATUM

NAVD88 VERTICAL DATUM WAS ESTABLISHED USING CITY OF OLYMPIA BENCHMARK NO. 1331. FOUND 2.5" BRASS DISC LOCATED ON TOP OF CURB AT SOUTH END OF RETURN IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF HENDERSON BOULEVARD AND MIDDLE STREET.

ELEVATION= 193.24 FEET

BASIS OF BEARING:

NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°53'52"E. FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

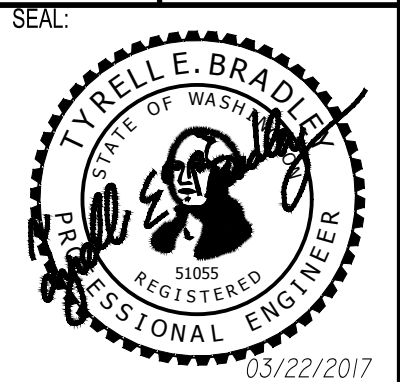
REVISIONS	DATE	BY



**SCJ ALLIANCE**  
CONSULTING SERVICES

8730 TALLOW LANE NE, SUITE 200, LACEY, WASHINGTON 98516  
P: 360-352-1465 F: 360-352-1509  
SCJALLIANCE.COM

SHEET TITLE:	PROJECT NAME:
GRADING PLAN	BRIGGS NORTH MULTI FAMILY SITE OLYMPIA, WASHINGTON



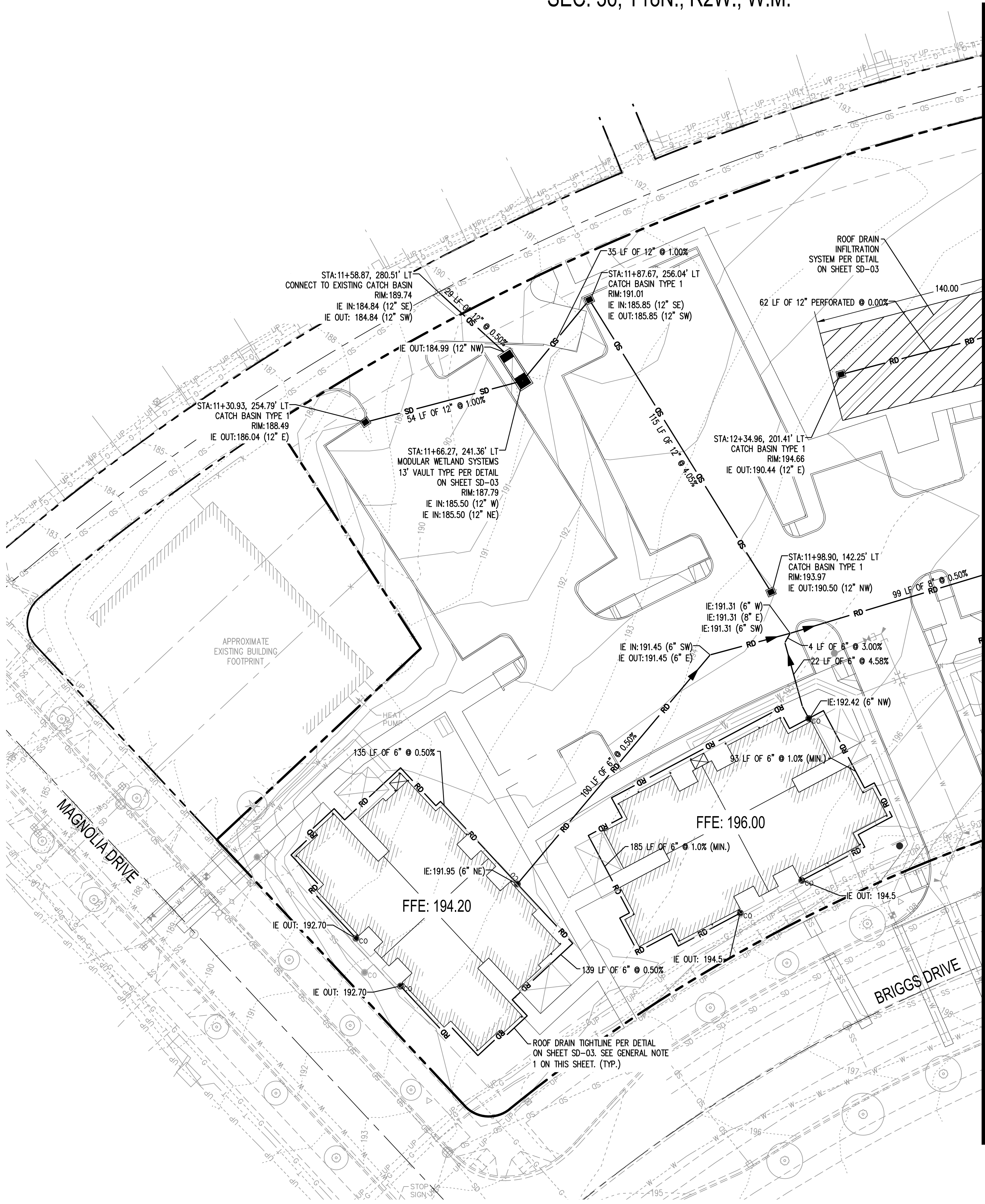
TYRELLE E. BRADLEY  
STATE OF WASHINGTON  
30053  
REGISTERED  
PROFESSIONAL ENGINEER  
03/22/2017

DESIGNER:	M. DOBBS
DRAWN BY:	M. DOBBS
APPROVED BY:	T. BRADLEY
DATE:	MARCH, 2017
JOB NO:	2358.01
DRAWING FILE NO:	2358.01 CG-02
DRAWING NO:	CG-02
SHEET NO:	4 OF 9

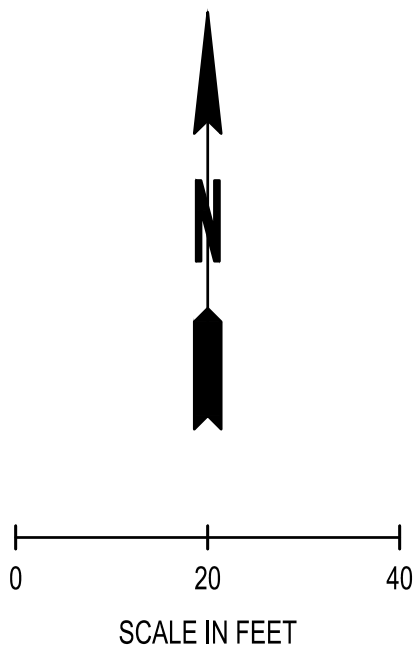


Mar 21, 2017 8:21:50am - User: Tyrell Bradley  
N:\PROJECTS\2358\2358 NORTH MULTIFAMILY RESIDENTIAL PHASE 2B - CONSTRUCTION DOCUMENTS\CADD\2358.01 SD-01.DWG

SEC. 36, T18N., R2W., W.M.



MATCH LINE - SEE SHEET PV-02



LEGEND:

- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SD STORM DRAIN PIPE (ADS N-12 UNLESS NOTED OTHERWISE)
- RD 6" D3034 SDR 35 ROOF DRAIN PIPE, UNLESS OTHERWISE NOTED
- CATCH BASIN TYPE 1 PER WSDOT STD. PLAN B-5.20.01 WITH VANED GRATE UNLESS NOTED OTHERWISE
- STORM DRAIN CLEANOUT, SEE DETAIL ON SHEET SD-03

GENERAL NOTES:

- INSTALL ROOF DRAIN TIGHTLINE PER DETAIL ON SHEET SD-03. CONTRACTOR SHALL COORDINATE DOWNSPOUT LOCATIONS AND CONNECTIONS WITH BUILDING PLANS. MAINTAIN MIN SLOPE OF 1% ON ROOF DRAIN TIGHTLINE UNLESS OTHERWISE NOTED, INSTALL CLEANOUTS ON THE BUILDING CORNERS AS REQUIRED. MAINTAIN 1 FOOT MIN. COVER OVER ROOF DRAIN PIPE.
- TRENCH RESTORATION PER CITY OF OLYMPIA STD. DWG. NO. 4-B

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

REVISIONS	DATE	BY

**SCJ ALLIANCE**  
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516  
P: 360-352-1465 F: 360-352-1509  
SCALLIANCE.COM

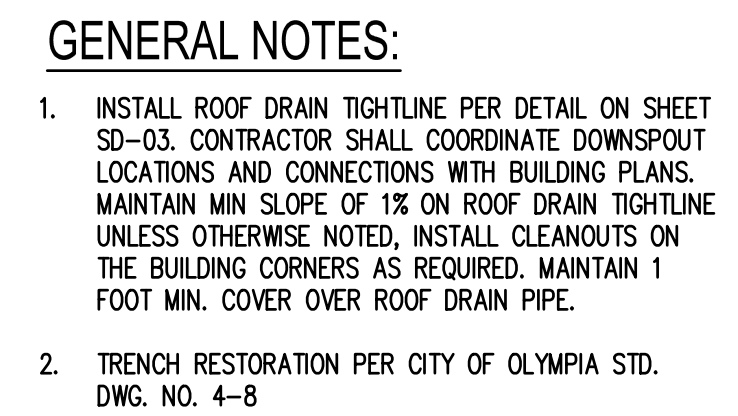
**DRAINAGE PLAN**

**BRIGGS NORTH MULTI FAMILY SITE**  
OLYMPIA, WASHINGTON

SEAL:

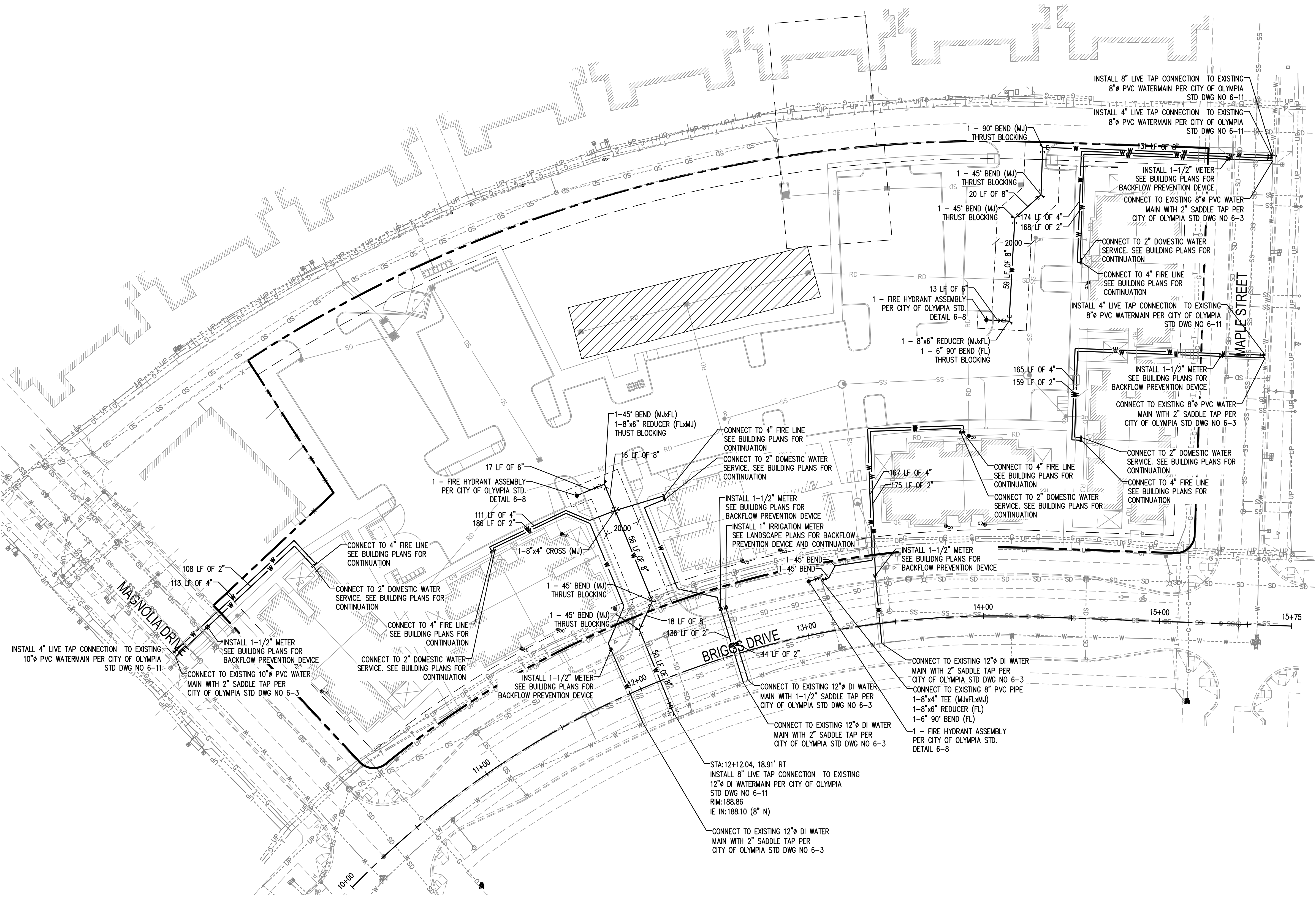
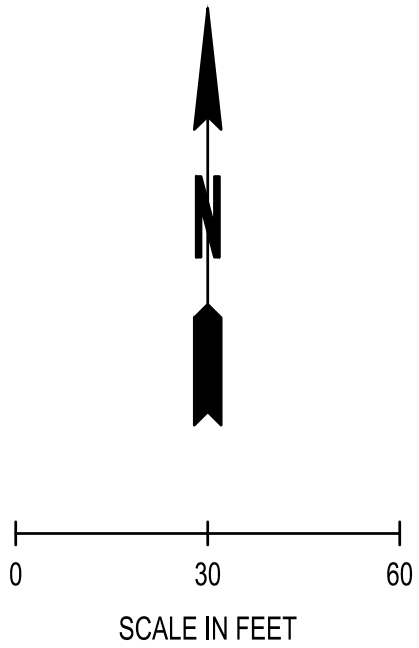
DESIGNER:	M. DOBBS
DRAWN BY:	M. DOBBS
APPROVED BY:	T. BRADLEY
DATE:	MARCH, 2017
JOB NO:	2358.01
DRAWING FILE NO:	2358.01 SD-01
DRAWING NO:	SD-01
SHEET NO:	5 OF 9



[illegible]



SEC. 36, T18N., R2W., W.M.



**LEGEND:**

— W —	WATER LINE (CLASS 50 DUCTILE IRON PIPE UNLESS NOTED OTHERWISE)
- - - W - - -	EXISTING WATER LINE
⊥	FITTING W/ THRUST BLOCKING
●	WATER METER
⊕	HYDRANT
⊥	GATE VALVE
- - -	EASEMENT

- GENERAL (WATER) NOTES:**
- MEGALUG RESTRAINED JOINTS (OR EQUAL) SHALL BE USED AT ALL FIRE LINE FITTINGS, BENDS, TEES, ETC. THE CONTRACTOR SHALL COORDINATE WITH THE JOINT RESTRAINT MANUFACTURER AND SUPPLIER TO DETERMINE NUMBER OF JOINTS REQUIRED TO BE RESTRAINED AT EACH FITTINGS. CALCULATIONS SHALL BE SUBMITTED FOR ENGINEER REVIEW
  - WATER MAIN PIPE TRENCHING AND BEDDING PER CITY OF OLYMPIA STD. DWG. NO. 4-8
  - GATE VALVES SHALL BE CONSTRUCTED WITH WATER VALVE BOX AND OPERATOR NUT ASSEMBLY PER CITY OF OLYMPIA STD. DWG. NO. 6-12
  - MAINTAIN 42-INCH COVER OVER ALL WATER LINES (TYP.)
  - FIRE LINE SHALL BE DUCTILE IRON PIPE CLASS 50
  - DOMESTIC WATER SERVICE LINES SHALL BE C.T.S. 200 PSI POLYETHYLENE PIPE.
  - SEE ARCHITECTURAL PLANS FOR BUILDING MOUNTED FDC AND TAMPER SWITCHED BUTTERFLY VALVE TO ISOLATE BACKFLOW DEVICE.

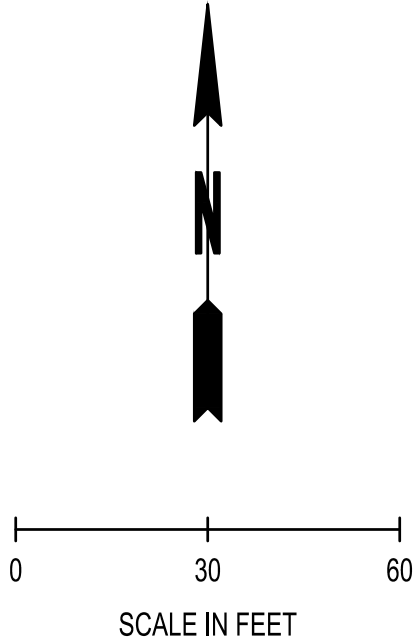
BY	
DATE	
REVISIONS	
8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516 P: 360-352-1465 F: 360-352-1509 SCJALLIANCE.COM	
<b>WATER PLAN</b>	
PROJECT NAME: BRIGGS NORTH MULTI FAMILY SITE OLYMPIA, WASHINGTON	
SHEET TITLE: WATER PLAN	
SEAL:	
DESIGNER:	M. DOBBS
DRAWN BY:	M. DOBBS
APPROVED BY:	T. BRADLEY
DATE:	MARCH, 2017
JOB NO:	2358.01
DRAWING FILE NO:	2358.01 WT-01
DRAWING NO:	WT-01
SHEET NO:	7 OF 9

**BASIS OF BEARING:**  
NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°53'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

**CALL BEFORE YOU DIG**  
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

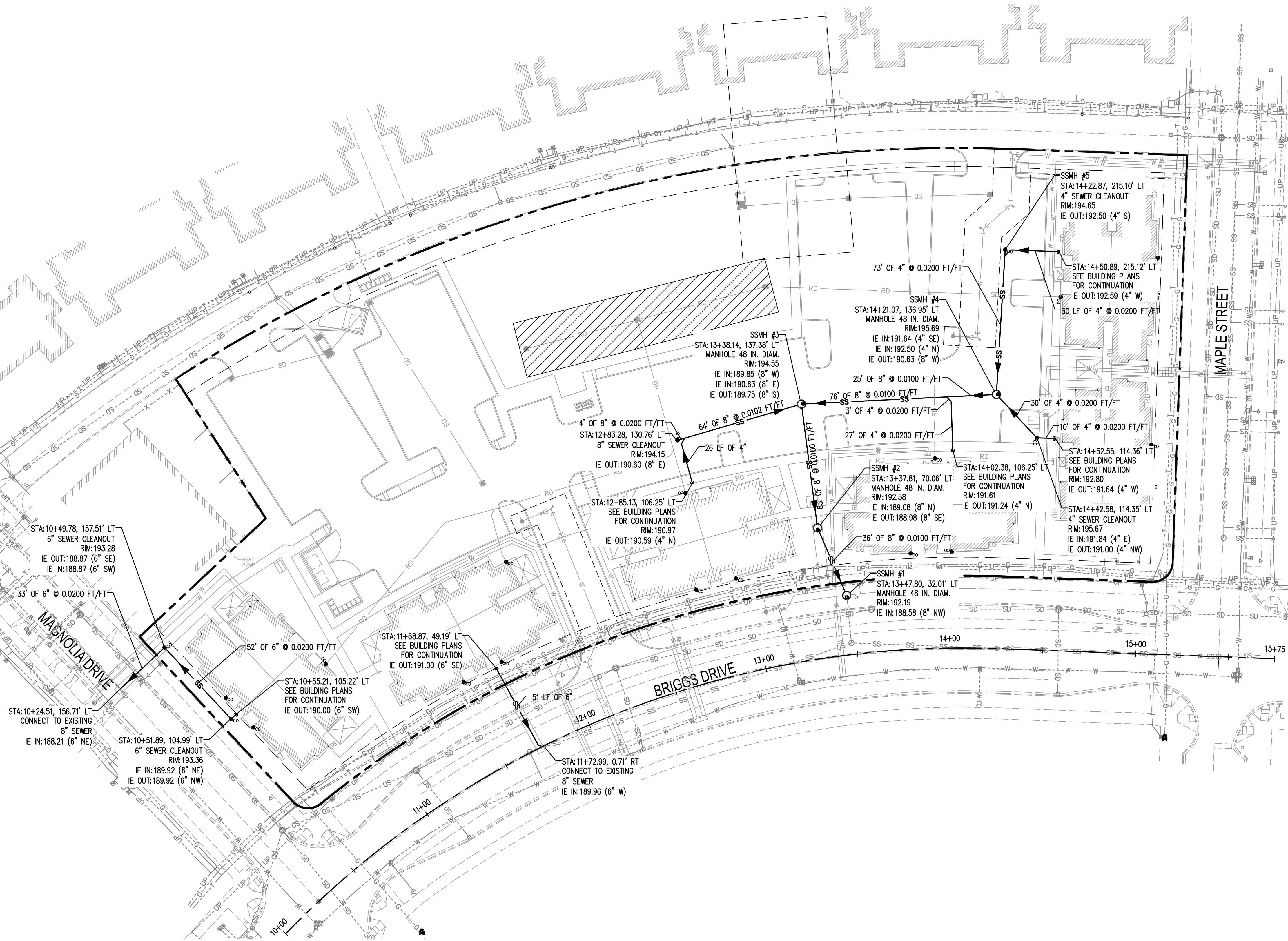


SEC. 36, T18N., R2W., W.M.



LEGEND:

- SS GRAVITY SANITARY SEWER LINE (ASTM D3034 SDR 35)
- SS EXISTING SANITARY SEWER LINE
- SEWER MANHOLE PER CITY OF OLYMPIA STD. DWG. 7-1
- SEWER CLEANOUT PER CITY OF OLYMPIA STD. DWG. NO. 7-5
- EASEMENT



REVISIONS	DATE	BY

**SCJ ALLIANCE**  
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516  
P: 360-352-1465 F: 360-352-1509  
SCALLIANCE.COM

SEWER PLAN

SHEET TITLE:

PROJECT NAME:

BRIGGS NORTH MULTI FAMILY SITE  
OLYMPIA, WASHINGTON

SEAL:

03/22/2017

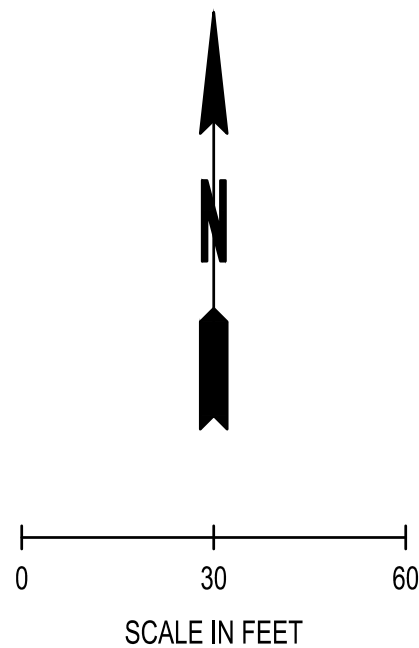
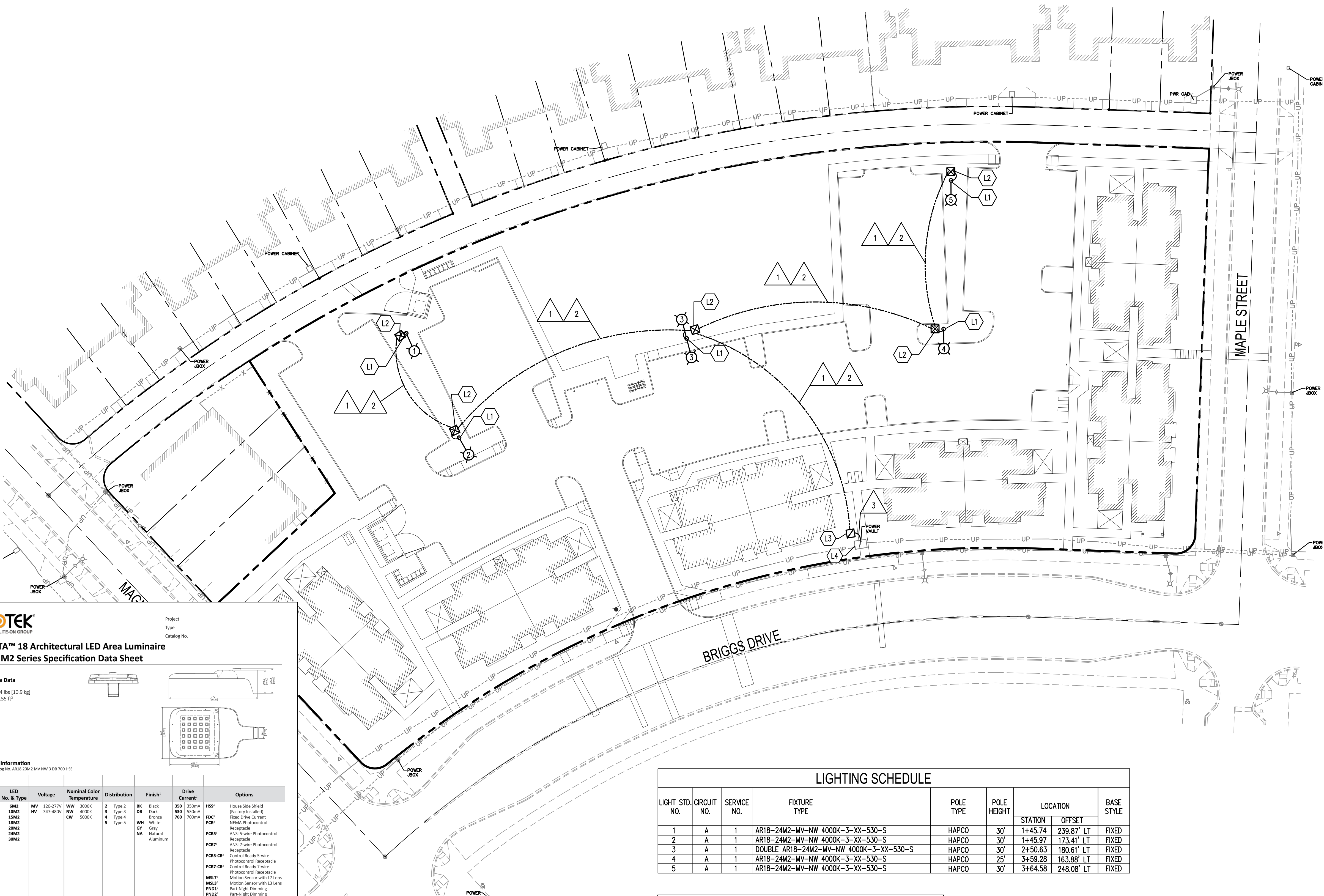
DESIGNER:	M. DOBBS
DRAWN BY:	M. DOBBS
APPROVED BY:	T. BRADLEY
DATE:	MARCH, 2017
JOB NO:	2358.01
DRAWING FILE NO:	2358.01 SS-01
DRAWING NO:	SS-01
SHEET NO:	8 OF 9

**BASIS OF BEARING:**  
NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°53'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.






**CALL BEFORE YOU DIG**  
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



SEC. 36, T18N., R2W., W.M.



## LEGEND

- |   |                        |
|---|------------------------|
|  | WSDOT JUNCTION BOX     |
|  | METERING PEDESTAL      |
| -----   | CONDUIT                |
|  | PARKING LIGHT STANDARD |
|  | WIRE NOTE              |
|  | CONSTRUCTION NOTE      |

### CONSTRUCTION NOTES:

- 1. FURNISH AND INSTALL LUMINAIRE, POLE, AND 1½" CONDUIT CONNECTION TO JUNCTION BOX PER PROJECT SPECIFICATIONS AND FOUNDATION PER WSDOT STANDARD PLAN J-28.30-03 TYPE A. SEE LIGHTING SCHEDULE THIS SHEET.
- 2. FURNISH AND INSTALL TYPE 1 JUNCTION BOX PER WSDOT STANDARD PLAN J-40.10-04
- 3. FURNISH AND INSTALL MYERS POWER PRODUCTS METERING PEDESTAL MODEL MEUG3A-2050 WITH CONCRETE BASE OR APPROVED EQUAL. CONTRACTOR SHALL FURNISH AND INSTALL PHOTOELECTRIC CONTROL AND ENCLOSURE PER NOTES 5 AND 12 ON WSDOT STANDARD PLAN J-10.20-01
- 4. SOURCE OF POWER

**LEOTEK**  
LITE-ON GROUP

Product  
Type  
Catalog No.

# ARIETA™ 18 Architectural LED Area Luminaire

## AR18 M2 Series Specification Data Sheet

### Luminaire Data

Weight 24 lbs [10.9 kg]  
EPA 0.55 R<sub>1</sub>

### Ordering Information

Sample Catalog No. AR18 J20M2 MV NW 3 308 700 HSS

Product	LED No. & Gt	Voltage	Nominal Color Temperature	Distribution	Finish <sup>1</sup>	Drive Current <sup>2</sup>	Options
AR18	6M2	120-277V	WW 3000K	2 Type 2	DB Black	350 330mA <sup>3</sup>	HSS <sup>1</sup> House Side Shield (Factory Installed)
	10M2	HV 347-480V	WW 4000K	3 Type 3	DB Black Bronze	530 530mA	FCDC <sup>1</sup> Fixed Drive Current
	15M2		CW 5000K	4 Type 4	WH White	700mA	NEMA Photocontrol
	20M2			5 Type 5	WH White		PCRS <sup>1</sup> Receptacle
	24M2				GT Gray		AND 5-wire Photocontrol Receptacle
					NA Natural		AND 7-wire Photocontrol Receptacle
					Aluminum		PCRS-CR <sup>1</sup> Control Ready 5-wire Photocontrol Receptacle
							CR7-CR <sup>1</sup> Control Ready 7-wire Photocontrol Receptacle
							MSL2 <sup>1</sup> Motion Sensor with L7 Lens
							MSL3 <sup>1</sup> Motion Sensor with L3 Lens
							PN01 <sup>1</sup> Part Night Dimming
							PN02 <sup>1</sup> Part Night Dimming
							PN03 <sup>1</sup> Part Night Dimming
							ORR <sup>1</sup> Optics Rotated Right
							ORL <sup>1</sup> Optics Rotated Left
							UL <sup>1</sup> Utility Wattage Label

Notes:


- Black, Dark Bronze, White, Gray, or Natural Aluminum standard. Consult factory for other finishes.
- Factory set drive current, field adjustable standard. Consult factory if wattage limits require a special drive current.
- Specify with CR for control-ready wiring for factory or wireless node programming. For details, see Wireless Control Options brochure link at [www.leadtek.com](http://www.leadtek.com) dimming support documents.
- Flush mounted shield factory installed, also available for field installation. House Side Shield out light off at 122 mounting height behind luminaire.
- Non-field adjustable drive current. Specify 350mA, 530mA or 700mA setting.
- Motion Sensor available with MV only. See L7 or L3 Lens coverage details on page 5. Consult factory for MS specified with AND 5-wire or 7-wire Photocontrol Receptacle. PCX option is required for CR/ Off control using light detection.
- Specify Color (GT, DB, BK, WH, NA)
- Specify MV (120-277V) or HV (347V or 480V)
- For PND profile options see page 6. Only available with (120-277V)

	Accessories <sup>1</sup>
HSS <sup>1</sup>	House Side Shield
RPA <sup>1</sup>	Round Pole Adapter
PTF1 <sup>1</sup>	Square Pole Top Filter Single
PTF2 <sup>1</sup>	Square Pole Top Filter Twin at 180°
PTFA <sup>1</sup>	Square Pole Top Filter Quad
WMI <sup>1</sup>	Wall Mount
BSK <sup>1</sup>	Bird Deterrent Spider Kit
PC <sup>1</sup>	Twist Lock Photocontrol
WNI <sup>1</sup>	Long Life Twist Lock Photocontrol
LPX <sup>1</sup>	Twist Lock Spotting Cap
FSB100 <sup>1</sup>	Motion Sensor Configuration Tool

<sup>1</sup>Accessories are ordered separately and not for included in the catalog number

© 2016 Leotek Electronics USA LLC  
AR18\_M2\_121516. Specifications subject to change without notice.

LIGHTING SCHEDULE								
LIGHT STD. NO.	CIRCUIT NO.	SERVICE NO.	FIXTURE TYPE	POLE TYPE	POLE HEIGHT	LOCATION		BASE STYLE
						STATION	OFFSET	
1	A	1	AR18-24M2-MV-NW 4000K-3-XX-530-S	HAPCO	30'	1+45.74	239.87' LT	FIXED
2	A	1	AR18-24M2-MV-NW 4000K-3-XX-530-S	HAPCO	30'	1+45.97	173.41' LT	FIXED
3	A	1	DOUBLE AR18-24M2-MV-NW 4000K-3-XX-530-S	HAPCO	30'	2+50.63	180.61' LT	FIXED
4	A	1	AR18-24M2-MV-NW 4000K-3-XX-530-S	HAPCO	25'	3+59.28	163.88' LT	FIXED
5	A	1	AR18-24M2-MV-NW 4000K-3-XX-530-S	HAPCO	30'	3+64.58	248.08' LT	FIXED

WIRING SCHEDULE						
RUN NO. 	CONDUIT SIZE	WIRE/CABLE				REMARKS
		#2 AWG	#6 AWG	#8 AWG	#8 AWG GRD	
1	1 1/2"			2	1	ILLUMINATION
2	1 1/2"					FUTURE WIRING
3	1 1/2"	2				SERVICE LINE

ALL CONDUIT SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED.

ILLUMINATION NOTE:

PEDESTRIAN LIGHT STANDARDS AND CONDUIT MUST MAINTAIN 5-FOOT HORIZONTAL SEPARATION FROM EXISTING UTILITIES.

ALL WIRING SHALL BE GROUNDED.

**BASIS OF BEARING:**

NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°55'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

# CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

[illegible]



TURNING MOVEMENTS EXHIBIT

