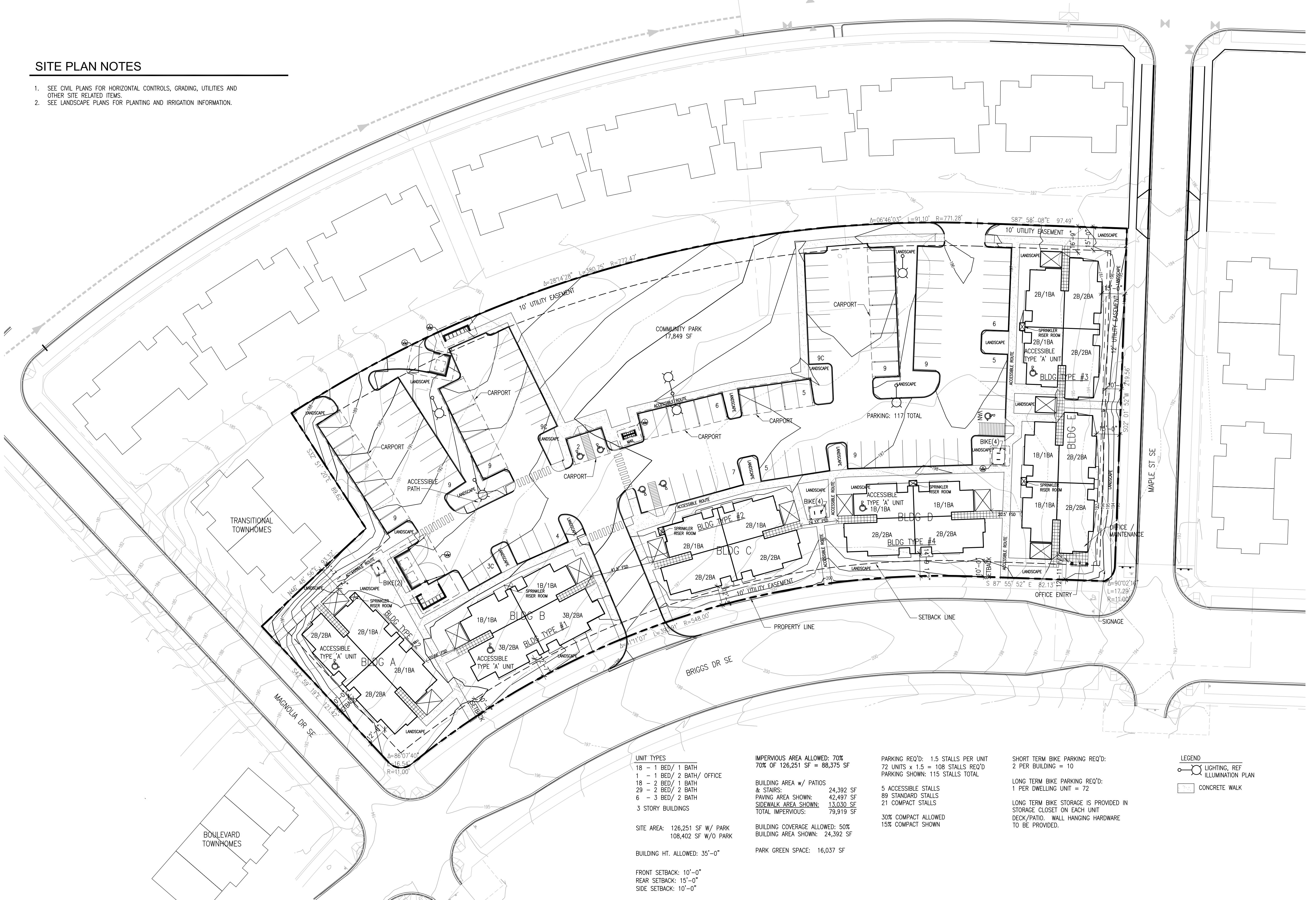


SITE PLAN NOTES

- SEE CIVIL PLANS FOR HORIZONTAL CONTROLS, GRADING, UTILITIES AND OTHER SITE RELATED ITEMS.
- SEE LANDSCAPE PLANS FOR PLANTING AND IRRIGATION INFORMATION.



1 SITE PLAN

SCALE: 1" = 30'-0"

0 15' 30' 60'
SCALE: 1" = 30'-0"



Briggs Dr SE Elevation

DESIGN



View East at Magnolia Dr SE

DESIGN



View North at Magnolia Dr SE

DESIGN



View North at Maple St SE

DESIGN



View West at Maple St SE

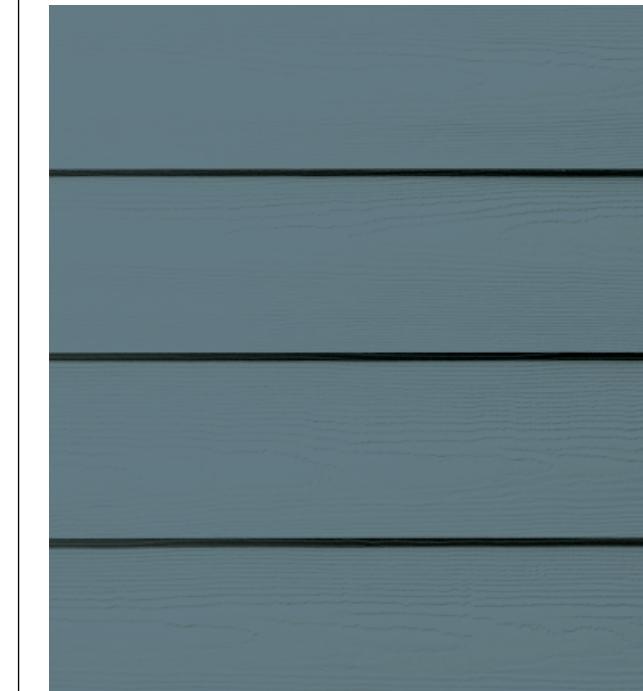
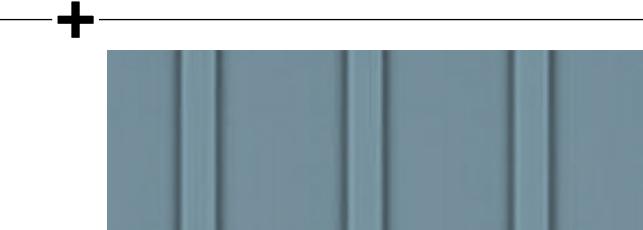
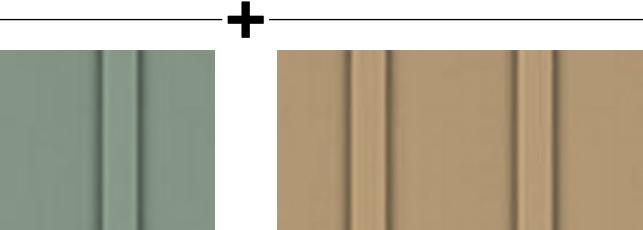
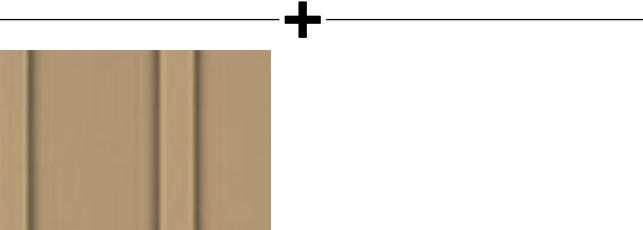
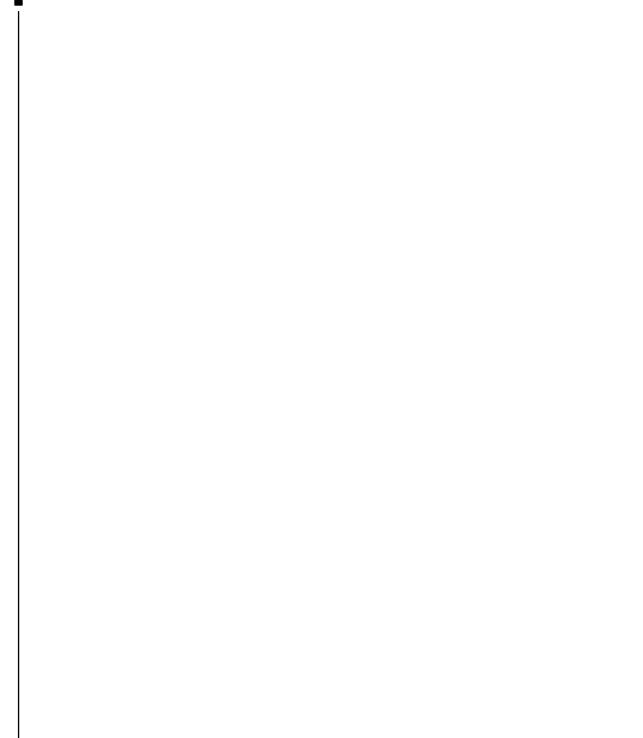
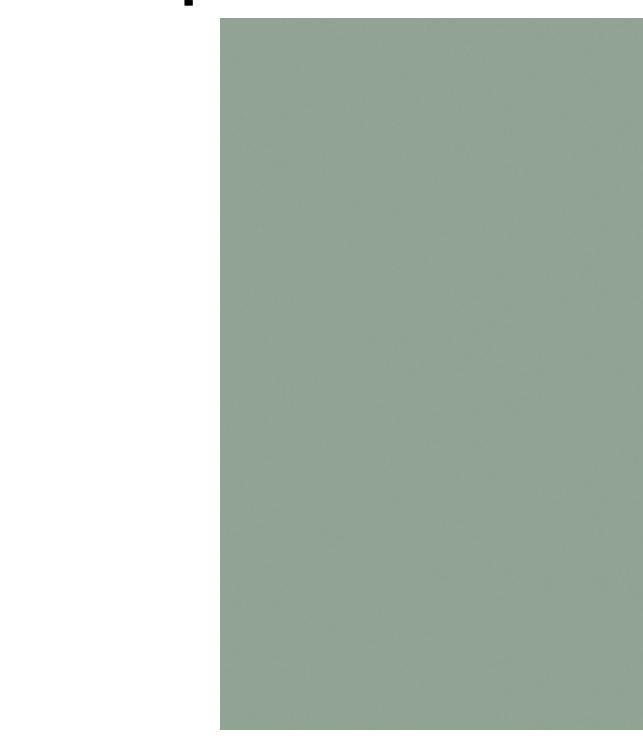
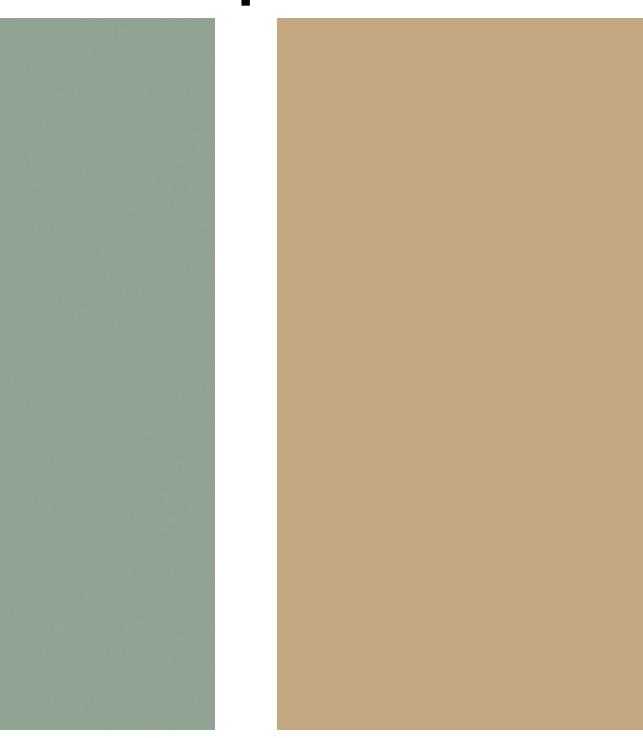
DESIGN

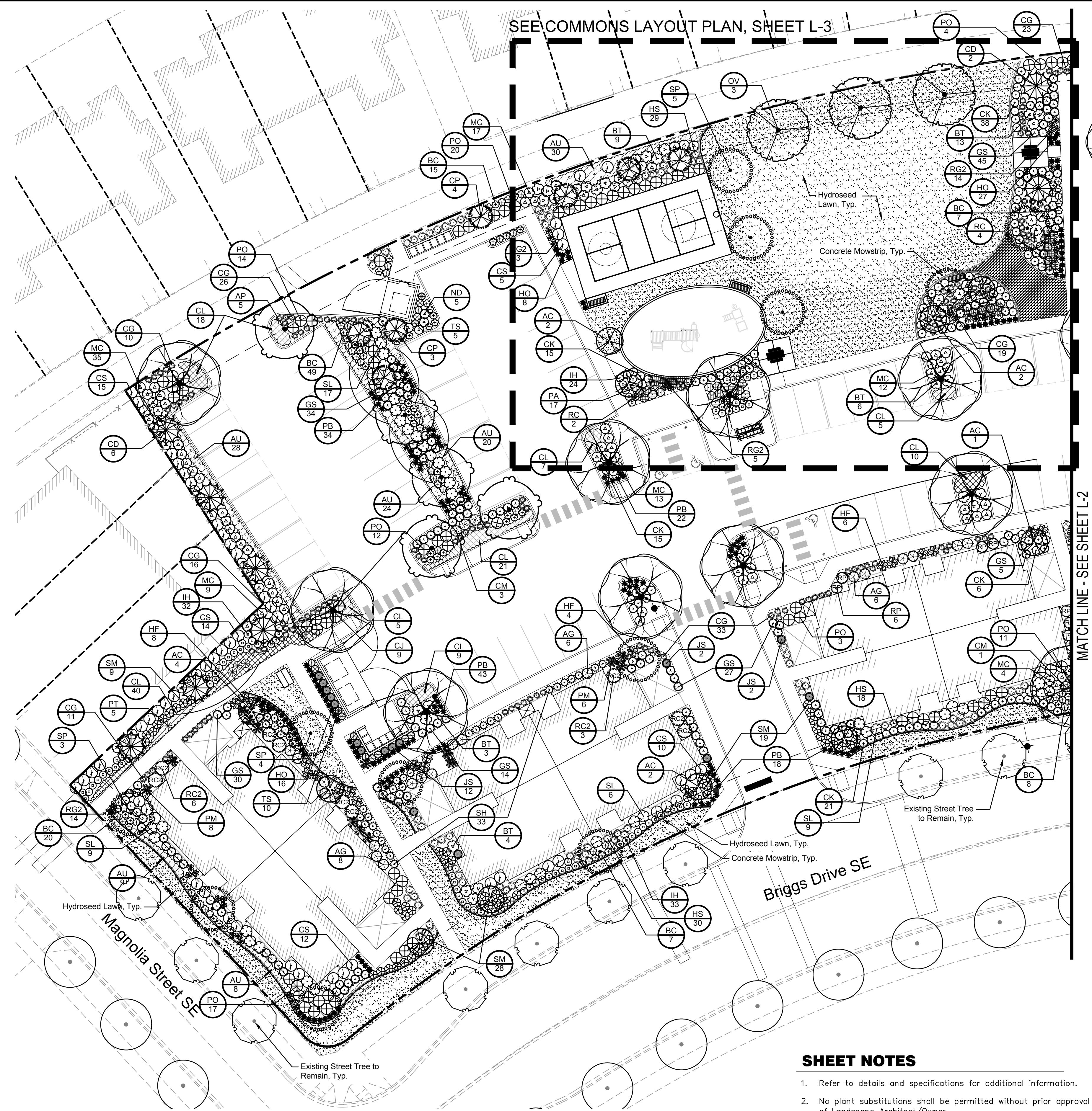


Colors & Materials

DESIGN

Colors & Materials DESIGN

COLORS	STILLWATER	LABRADOR BLUE	DARTMOUTH GREEN	GRENADIER POND	BRUNSWICK BEIGE	DAVENPORT TAN	TROUT GRAY
FIBER CEMENT SIDING MATERIALS							
FIBER CEMENT LAP SIDING							
FIBER CEMENT BOARD & BATTEN							
FIBER CEMENT PANEL SIDING							
BUILDING MATERIALS							



LANDSCAPE COST ESTIMATE

Following is a breakdown of the cost of the landscape plantings including purchase, installation and maintenance for 3 years.

Planting Type	Quantity	Unit Cost	Subtotal
Trees (2" Caliper or 7'-8' ht.)	88	\$480.00	\$42,240.00
Shrubs: 5 gal. container (ea.)	501	\$58.00	\$29,058.00
Shrubs: 2 gal. container (ea.)	1143	\$30.00	\$34,290.00
Shrubs, perennials, groundcovers: 1 gal. container (ea.)	1345	\$55.00	\$73,975.00
Lawn Areas (per.s.f.)	14,123	\$2.00	\$28,246.00
Total Cost			\$207,809.00

TREE UNIT CALCULATIONS

Buildable Site Area	2.9 acres
Required Tree Units (30 units/acre)	87 Units
Existing Tree Units to Remain	0
New Tree Units Provided	87
Total Site Tree Units	87
Tree Unit Calculations do not include Street Trees.	
See Landscape Plan this Sheet and Plant Legend, Sheet L-2, for more information about proposed trees.	

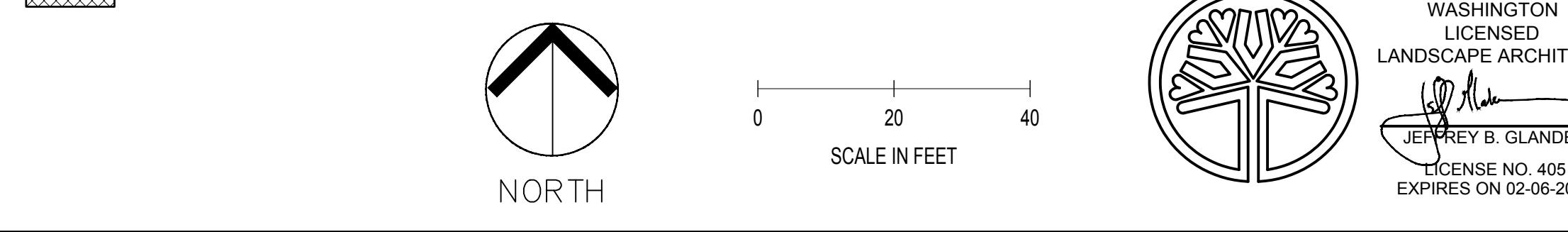
SHEET NOTES

- Refer to details and specifications for additional information.
- No plant substitutions shall be permitted without prior approval of Landscape Architect/Owner.
- All work shall be performed to the satisfaction of the Landscape Architect/Owner.
- Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover quantities shall be adjusted as required for field conditions at the specified spacing.
- All plants must be approved by Landscape Architect or Owner's representative prior to installation.
- All new landscape areas shall be watered by an automatic underground irrigation system.

PLANT SCHEDULE L-1

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CAL	SIZE	
					REVISIONS	DATE
AC	11	ACER CIRCINATUM / VINE MAPLE	B&B/CONT.	3-5 STEMS, 7'-8' HT.		
AP	5	ACER TRUNCATUM 'PACIFIC SUNSET' / PACIFIC SUNSET MAPLE	B&B/CONT.	12'-14' HT.		
CD	8	CALOCEDRUS DECURRENS / INCENSE CEDAR	B&B/CONT.	7'-8' HT.		
CJ	9	CERCIDIOPHYLLUM JAPONICUM / KATSURA TREE	B&B/CONT.	2" CAL., 12-14' HT.		
CP	7	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING ALASKA CEDAR	B&B/CONT.	7'-8' HT.		
E3	9	EXISTING STREET TREE / STREET TREE TO REMAIN	EXISTING			
OV	3	OSTRYA VIRGINIANA / AMERICAN HOPHORNBEAM	2" CAL	10'-12' HT.		
SP	12	STEWARTIA PSEUDOCAMELLIA / JAPANESE STEWARTIA	B&B/CONT.	2" CAL., 10' HT. MIN.		
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	
					REVISIONS	DATE
AG	20	AUCUBA JAPONICA 'MR. GOLDSTRIKE' / MR. GOLDSTRIKE AUCUBA	5 GAL	4' O.C.		
BT	35	BERBERIS THUNBERGII 'CHERRY BOMB' / CHERRY BOMB BARBERRY	5 GAL	4' O.C.		
BC	106	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL	2-1/2' O.C.		
CG	138	CAREX AUREA / GOLDEN SEDGE	1 GAL	2-1/2' O.C.		
CS	56	CHOISYA TERNATA 'SUNDANCE' / GOLDEN MEXICAN ORANGE	5 GAL	4' O.C.		
CM	5	CORNUS SERICEA 'MIDWINTER FIRE' / MIDWINTER FIRE DOGWOOD	5 GAL	4' O.C.		
CK	95	CORNUS STOLONIFERA 'KELSEY' / KELSEY DOGWOOD	2 GAL	3' O.C.		
GS	155	GAULTHERIA SHALLON / SALAL	2 GAL	3' O.C.		
HS	77	HELIOTROCHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	3' O.C.		
HO	64	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	2' O.C.		
HF	19	HOSTA X 'FRANCES WILLIAMS' / 'FRANCES WILLIAMS' HOSTA	1 GAL	3' O.C.		
IH	89	ILEX CRENATA 'HELERII' / HELERI JAPANESE HOLLY	2 GAL	2-1/2' O.C.		
JS	16	JUNIPERUS VIRGINIANA 'SKYROCKET' / SKYROCKET JUNIPER	B&B/CONT. MIN.3' HT.	3' O.C.		
MC	90	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	2 GAL	3-1/2' O.C.		
ND	5	NANDINA DOMESTICA / HEAVENLY BAMBOO	5 GAL	3-1/2' O.C.		
PB	117	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL	2' O.C.		
PT	5	PHORMIUM TENAX 'TOM THUMB' / DWARF GREEN FLAX	2 GAL	3' O.C.		
PM	14	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	4' O.C.		
PA	17	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD POTENTILLA	2 GAL	3' O.C.		
PO	81	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / 'OTTO LUYKEN' LAUREL	5 GAL, 18" MIN. HT.	4' O.C.		
RC2	9	RHODODENDRON X 'CHRISTMAS CHEER' / CHRISTMAS CHEER RHODODENDRON	5 GAL, 18" MIN. HT.	5' O.C.		
RP	5	RHODODENDRON X 'PERCY WISEMAN' / PERCY WISEMAN RHODODENDRON	5 GAL, 18" MIN. HT.	4' O.C.		
RC	6	ROSA X 'CECILE BRUNNER' / CECILE BRUNNER CLIMBING ROSE	5 GAL			
RG2	36	RUDBECKIA FULGIDA 'GOLDSTRUM' / BLACK EYED SUSAN	1 GAL	2-1/2' O.C.		
SH	37	SARCOCOCCA HOOKERIANA HUMILIS / CREEPING SWEET BOX	2 GAL	3' O.C.		
SM	56	SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA	2 GAL	3' O.C.		
SL	41	SPIRAEA X BUMALDA 'LIMEMOUND' / LIMEMOUND SPIREA	5 GAL	4' O.C.		
TS	15	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	B&B/CONT. MIN.3' HT.	2-1/2' O.C.		

GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
AU	124	ARCTOSTAPHYLOS UVA-URSI / KINNICKINICK	1 GAL	2-1/2" O.C.	
CL	115	COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER	1 GAL	2-1/2" O.C.	



SCJ ALLIANCE CONSULTING SERVICES	REVISIONS	DATE
	JACMPALAND	J.GLANDER
8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516 P: 360-352-465 F: 360-352-1509 SCJALLIANCE.COM	APPROVED BY: J.GLANDER	DATE: MARCH, 2017
LANDSCAPE PLAN AND NOTES FOR PERMIT REVIEW		
DRAWING NO: L-1 OF 7		

PLANT SCHEDULE L-2

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CAL	SIZE
AC	AC	2	ACER CIRCINATUM / VINE MAPLE	B&B/CONT.	3-5 STEMS, 7'-8' HT.
AP	AP	5	ACER TRUNCATUM 'PACIFIC SUNSET' / PACIFIC SUNSET MAPLE	B&B/CONT.	12'-14' HT.
CJ	CJ	10	CERCIDIOPHYLLUM JAPONICUM / KATSURA TREE	B&B/CONT.	2" CAL., 12-14' HT.
CP	CP	6	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING ALASKA CEDAR	B&B/CONT.	7-8' HT.
E3	E3	13	EXISTING STREET TREE / STREET TREE TO REMAIN	EXISTING	
SP	SP	10	STEWARTIA PSEUDOCAMELLIA / JAPANESE STEWARTIA	B&B/CONT.	2" CAL., 10' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
AG	AG	35	AUCUBA JAPONICA 'MR. GOLDSTRIKE' / MR. GOLDSTRIKE AUCUBA	5 GAL	4' O.C.
BT	BT	23	BERBERIS THUNBERGII 'CHERRY BOMB' / 'CHERRY BOMB' BARBERRY	5 GAL	4' O.C.
BC	BC	119	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL	2-1/2' O.C.
CG	CG	135	CAREX AUREA / GOLDEN SEDGE	1 GAL	2-1/2' O.C.
CS	CS	31	CHOISYA TERNATA 'SUNDANCE' / GOLDEN MEXICAN ORANGE	5 GAL	4' O.C.
CM	CM	60	CORNUS SERICEA 'MIDWINTER FIRE' / MIDWINTER FIRE DOGWOOD	5 GAL	4' O.C.
CK	CK	8	CORNUS STOLONIFERA 'KELSEY' / KELSEY DOGWOOD	2 GAL	3' O.C.
GS	GS	125	GAULTHERIA SHALLON / SALAL	2 GAL	3' O.C.
HO	HO	37	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	2' O.C.
HF	HF	26	HOSTA X 'FRANCES WILLIAMS' / 'FRANCES WILLIAMS' HOSTA	1 GAL	3' O.C.
JS	JS	3	JUNIPERUS VIRGINIANA 'SKYROCKET' / SKYROCKET JUNIPER	B&B/CONT. MIN.3' HT.	3' O.C.
MC	MC	88	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	2 GAL	3-1/2' O.C.
PB	PB	99	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL	2' O.C.
PT	PT	6	PHORMIUM TENAX 'TOM THUMB' / DWARF GREEN FLAX	2 GAL	3' O.C.
PM	PM	26	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	4' O.C.
PO	PO	33	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / 'OTTO LUYKEN' LAUREL	5 GAL, 18" MIN. HT.	4' O.C.
RP	RP	12	RHODODENDRON X 'PERCY WISEMAN' / PERCY WISEMAN RHODODENDRON	5 GAL, 18" MIN. HT.	4' O.C.
RG2	RG2	22	RUDBECKIA FULGIDA 'GOLDSTRUM' / BLACK EYED SUSAN	1 GAL	2-1/2' O.C.
SH	SH	87	SARCOCOCCA HOOKERIANA HUMILIS / CREEPING SWEET BOX	2 GAL	3' O.C.
SM	SM	60	SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA	2 GAL	3' O.C.
SL	SL	25	SPIRAEA X BUMALDA 'LIMELOUND' / LIMELOUND SPIREA	5 GAL	4' O.C.
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
AU	AU	111	ARCTOSTAPHYLOS UVA-URSI / KINNINNICK	1 GAL	2-1/2' O.C.
CL	CL	185	COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER	1 GAL	2-1/2' O.C.

SURETY BOND - OMC 16.60.100E.E

SURETY. For residential developments containing more than four units, commercial and industrial projects, the application will be required to post a surety. The surety shall be in the form approved by the city attorney. The surety document shall have a face amount equal to 125 percent of the estimated amount necessary to guarantee the maintenance and replacement of trees in conformance with the maintenance requirement and tree plan for a period of three years from the date the certificate of occupancy is issued by the City.

INSTALLATION AND MAINTENANCE SCHEDULE

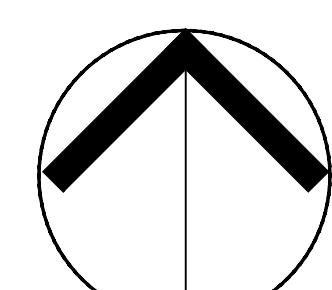
GENERAL CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF TREES TO REMAIN WITH OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION.

INSTALLATION & MAINTENANCE SCHEDULE - APPROXIMATE

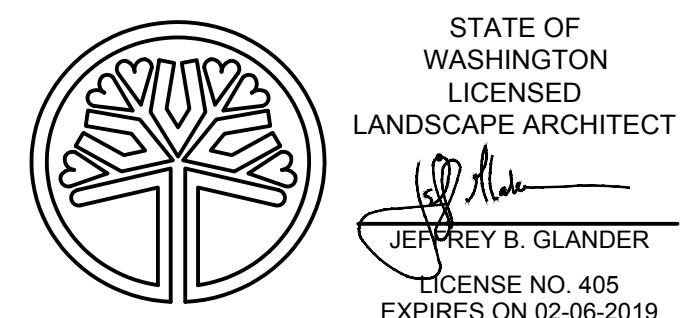
NOV 2017 - FEB 2018	SOIL PREPARATION, IRRIGATION INSTALLATION, PLANTING, STAKING, WATERING, (INCLUDING STORM POND), SUBSTANTIAL COMPLETION EXPECTED FEBRUARY 2018.
FEB 2018 - APR 2018	60-DAY MAINTENANCE PERIOD. WEEKLY MAINTENANCE VISITS AND INSPECTION OF PLANT MATERIAL
APR 2018	FINAL PUNCH LIST AND ACCEPTANCE OF PROJECT EXPECTED APRIL 2018.
APR-SEPT 2018	WEEKLY MAINTENANCE VISITS
SEPT - NOV 2018	LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED
OCT 2018-MARCH 2019	MONTHLY FERTILIZE AND PRUNING AS NEEDED
MARCH-SEPT 2019	WEEKLY MAINTENANCE VISITS
SEPT - NOV 2019	LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED
OCT 2019-MARCH 2020	MONTHLY FERTILIZE AND PRUNING AS NEEDED
MARCH-SEPT 2020	WEEKLY MAINTENANCE VISITS
SEPT - NOV 2020	LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED
OCT 2020-MARCH 2021	MONTHLY FERTILIZE AND PRUNING AS NEEDED

SHEET NOTES

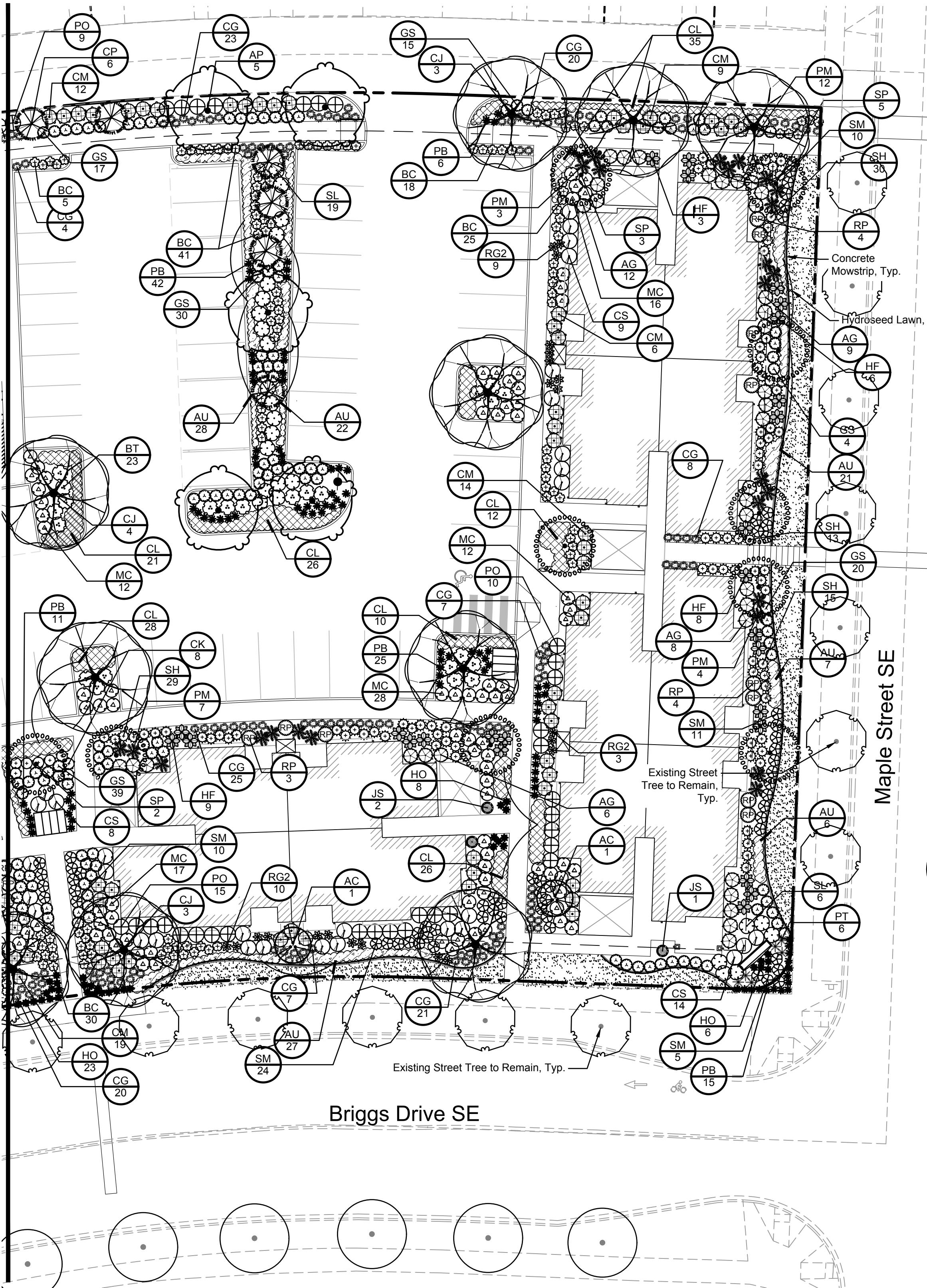
- Refer to details and specifications for additional information.
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- All new landscape areas shall be watered by an automatic underground irrigation system.



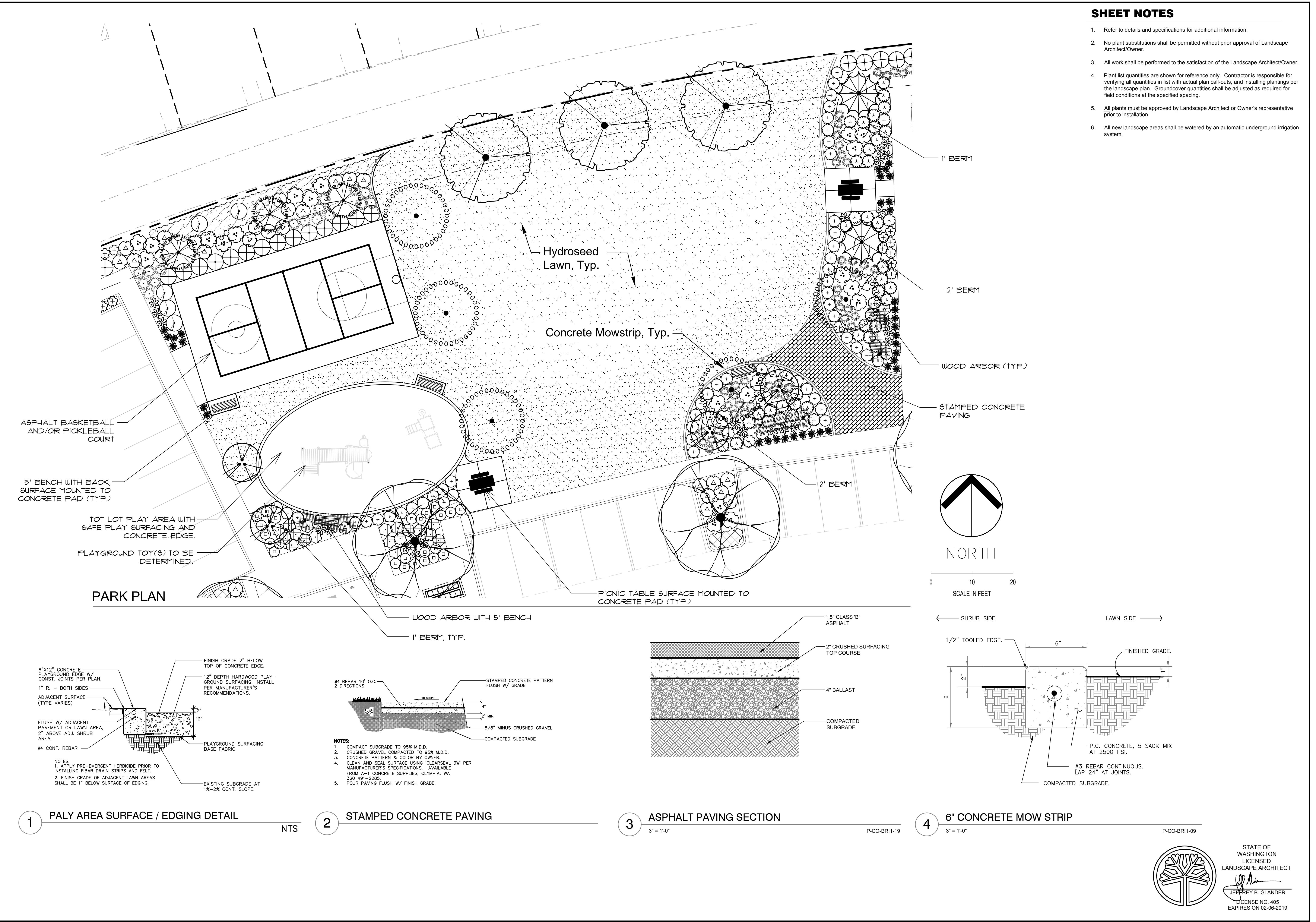
NORTH
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SCALE IN FEET



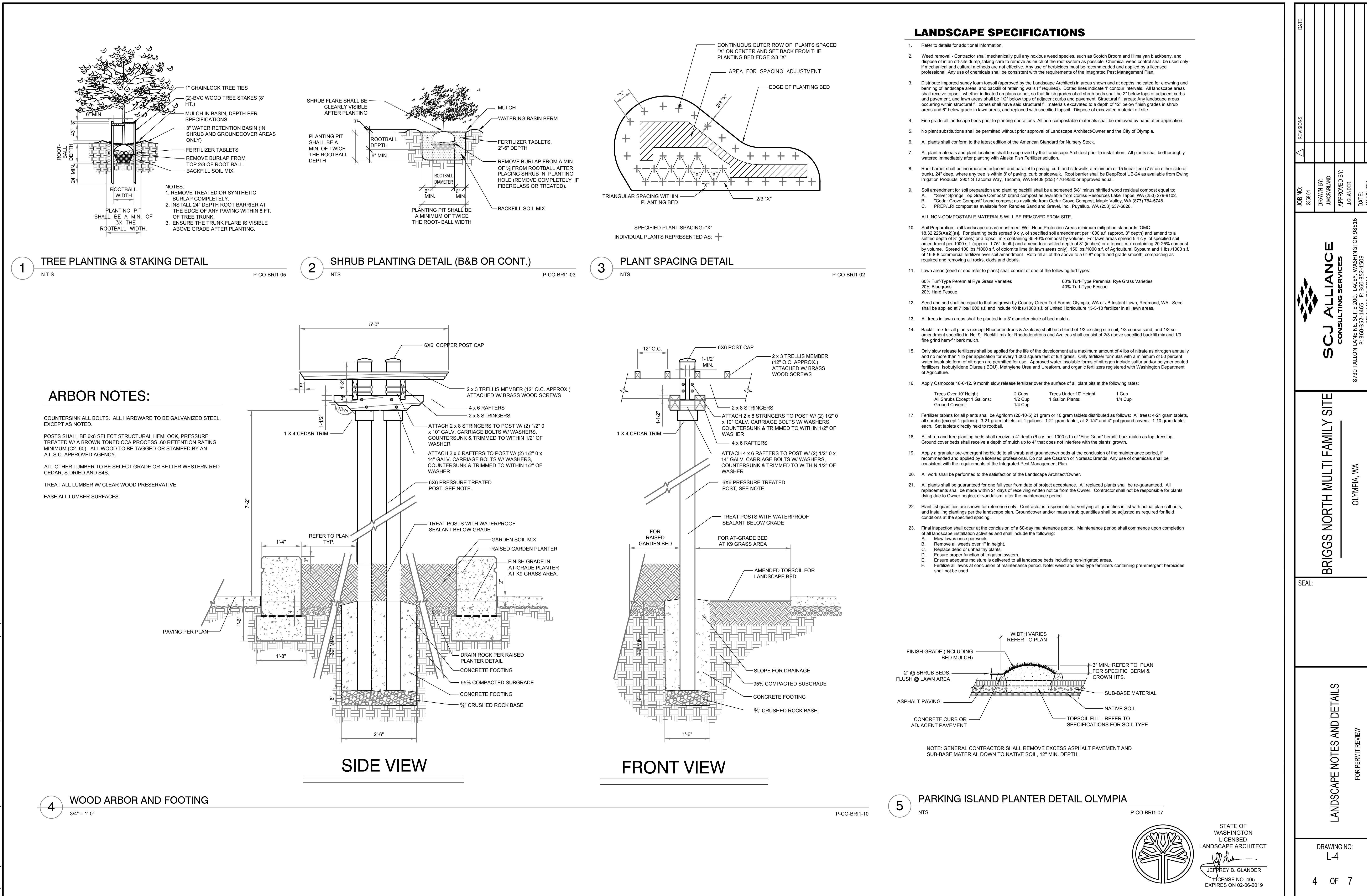
STATE OF
WASHINGTON
LICENSED
LANDSCAPE ARCHITECT
JEFFREY B. GLANDER
LICENSE NO. 405
EXPIRES ON 02-06-2019

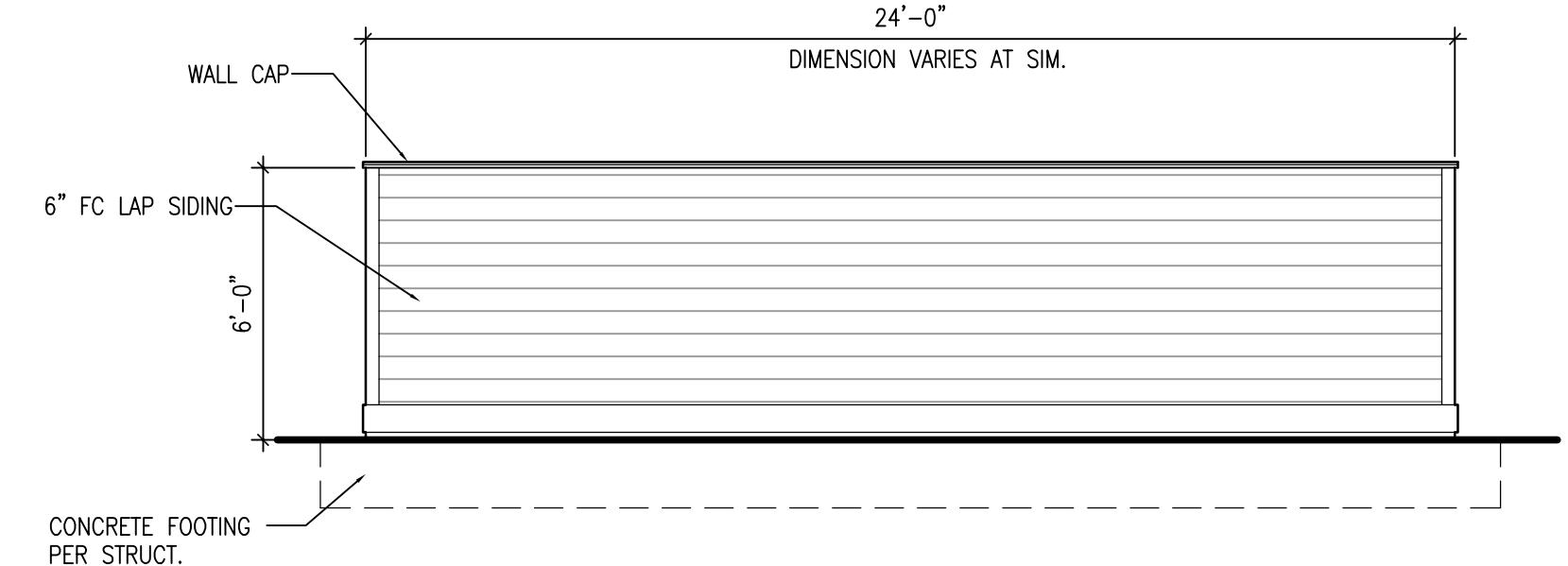


DATE	REVISIONS
JOB NO: 2358.01	DRAWN BY: JMF/CMF/AL
APPROVED BY: J.GLANDER	DATE: MARCH, 2017
SCJ ALLIANCE CONSULTING SERVICES	
8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516	
P: 360-352-465 F: 360-352-1509	
SCJALLIANCE.COM	
BRIGGS NORTH MULTI FAMILY SITE	
OLYMPIA, WA	
SEAL:	
LANDSCAPE PLAN AND NOTES	
FOR PERMIT REVIEW	
DRAWING NO: L-2	
2 OF 7	



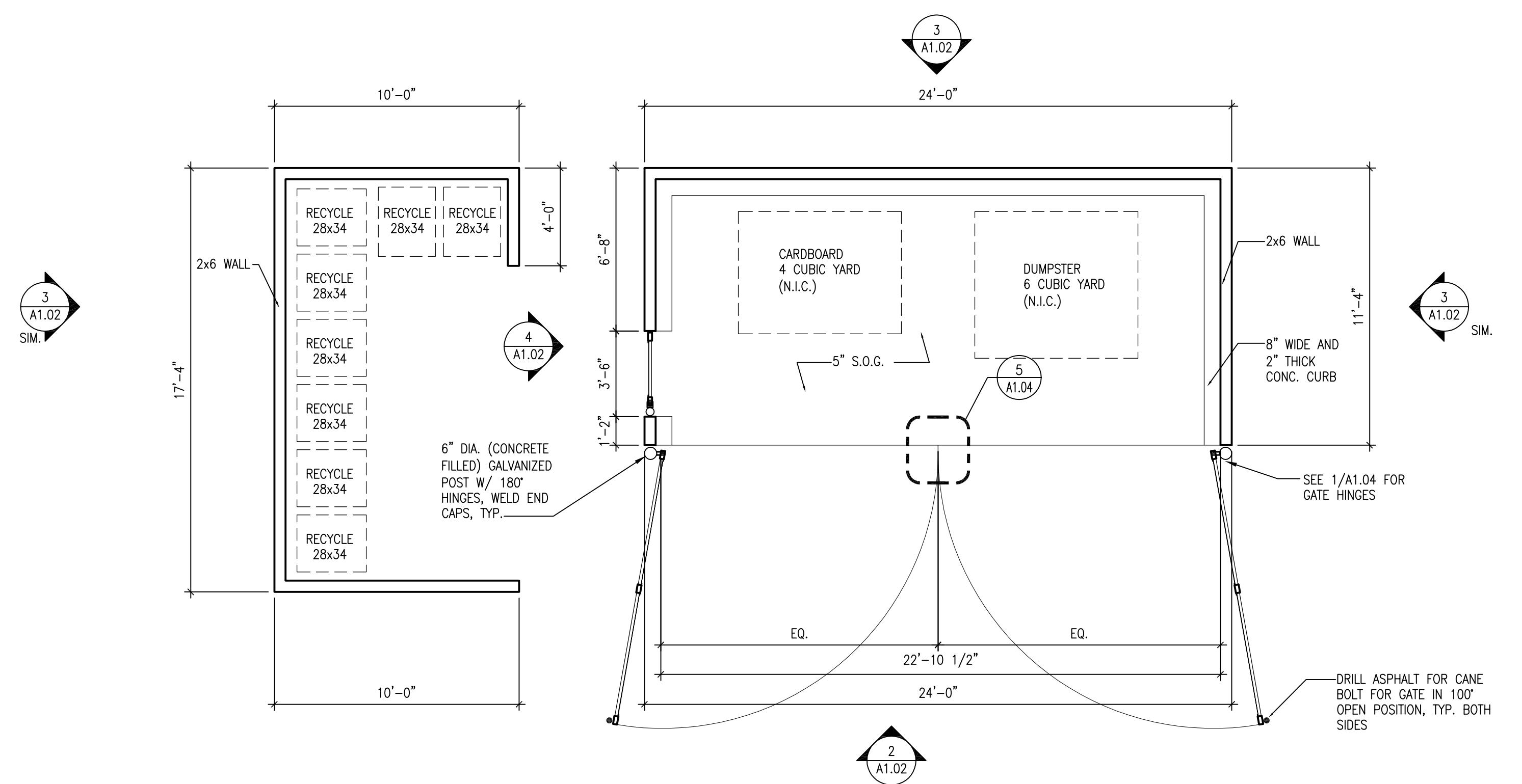
REVISIONS	DATE
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APPROVED BY: J.GLANDER	DATE: MARCH, 2017
8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516 P: 360-352-1465 F: 360-352-1509 SCJALLIANCE.COM	





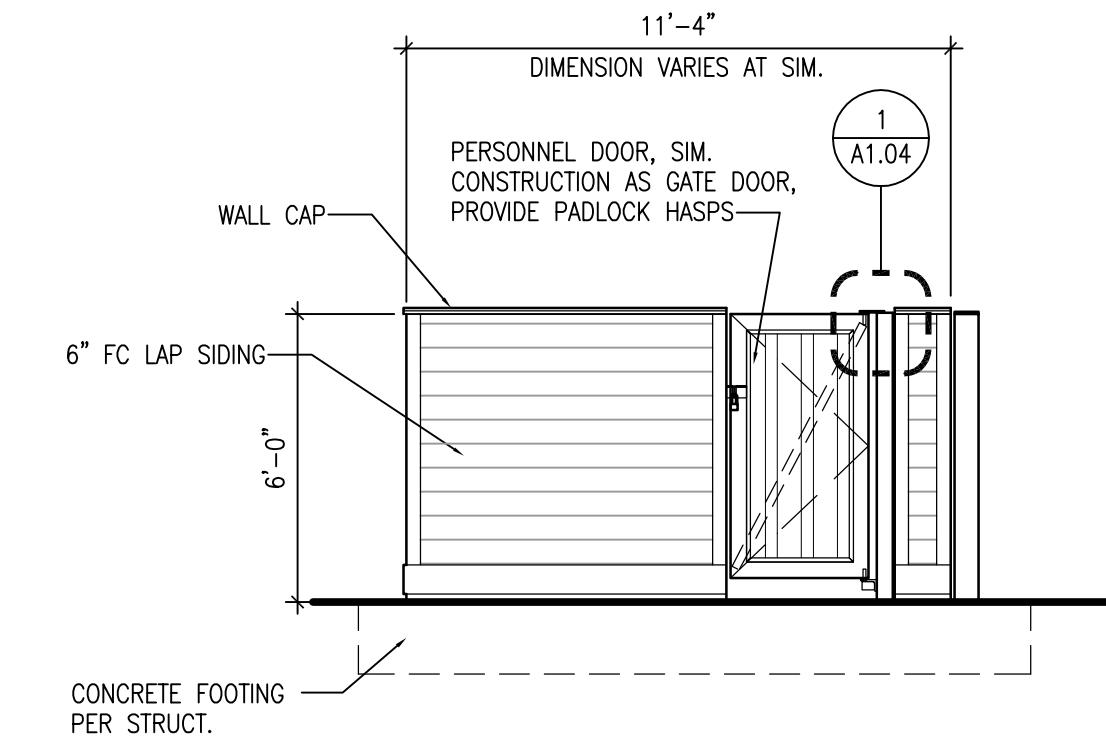
3 DUMPSTER ELEVATION

SCALE: 1/4" = 1'-0"



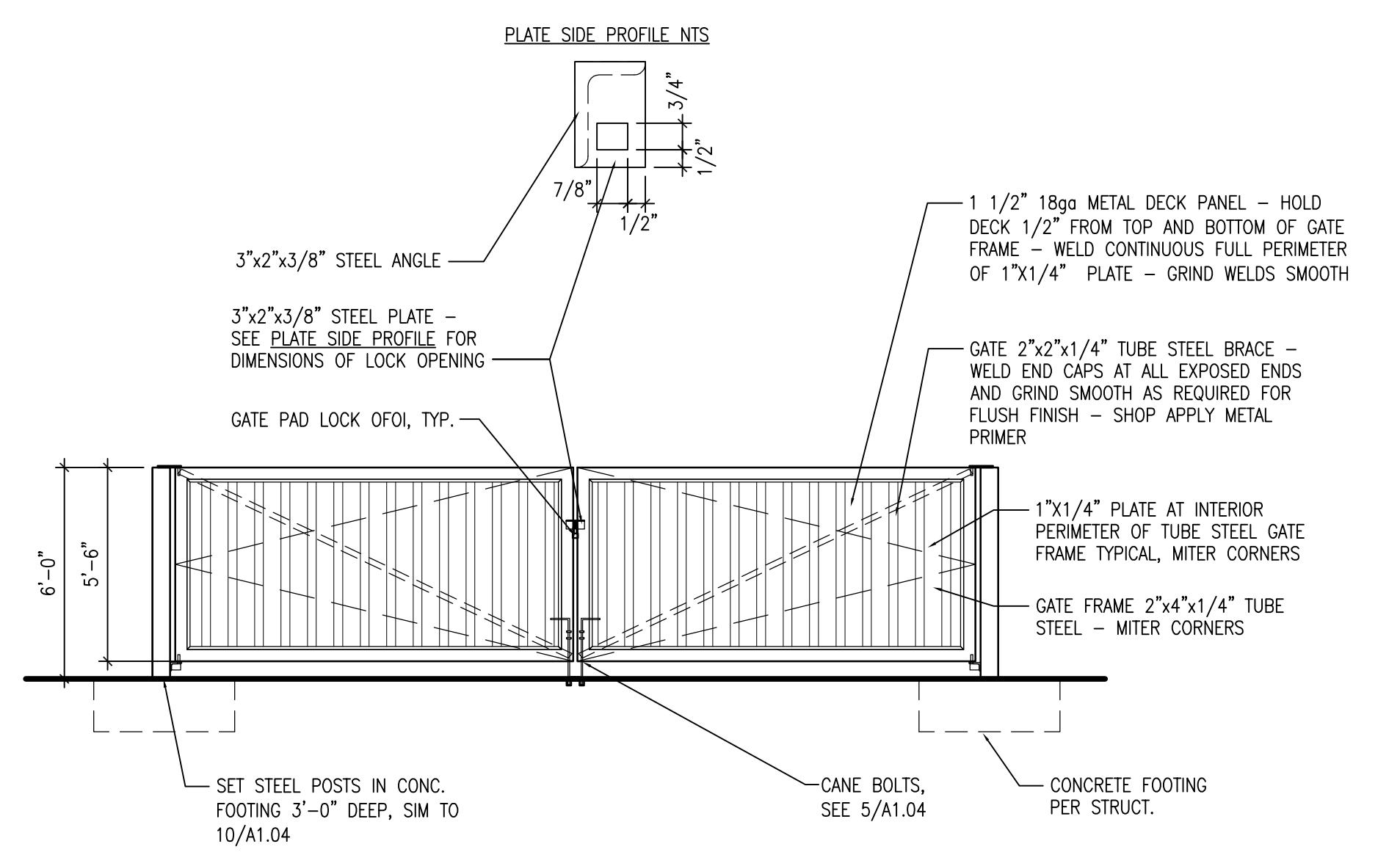
1 DUMPSTER 1 FLOOR PLAN

SCALE: 1/4" = 1'-0"



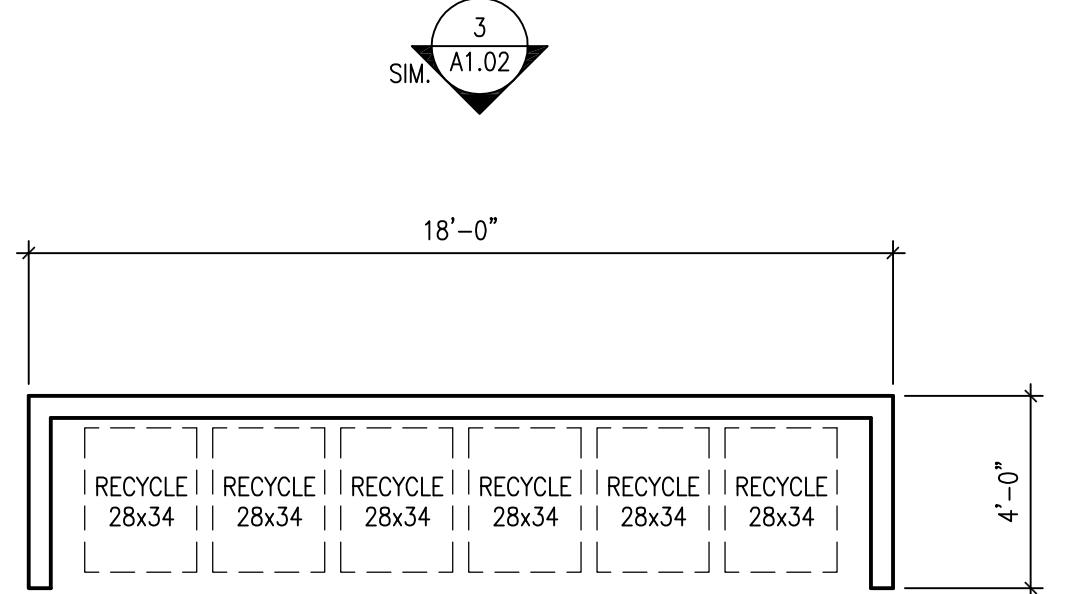
4 DUMPSTER ELEVATION

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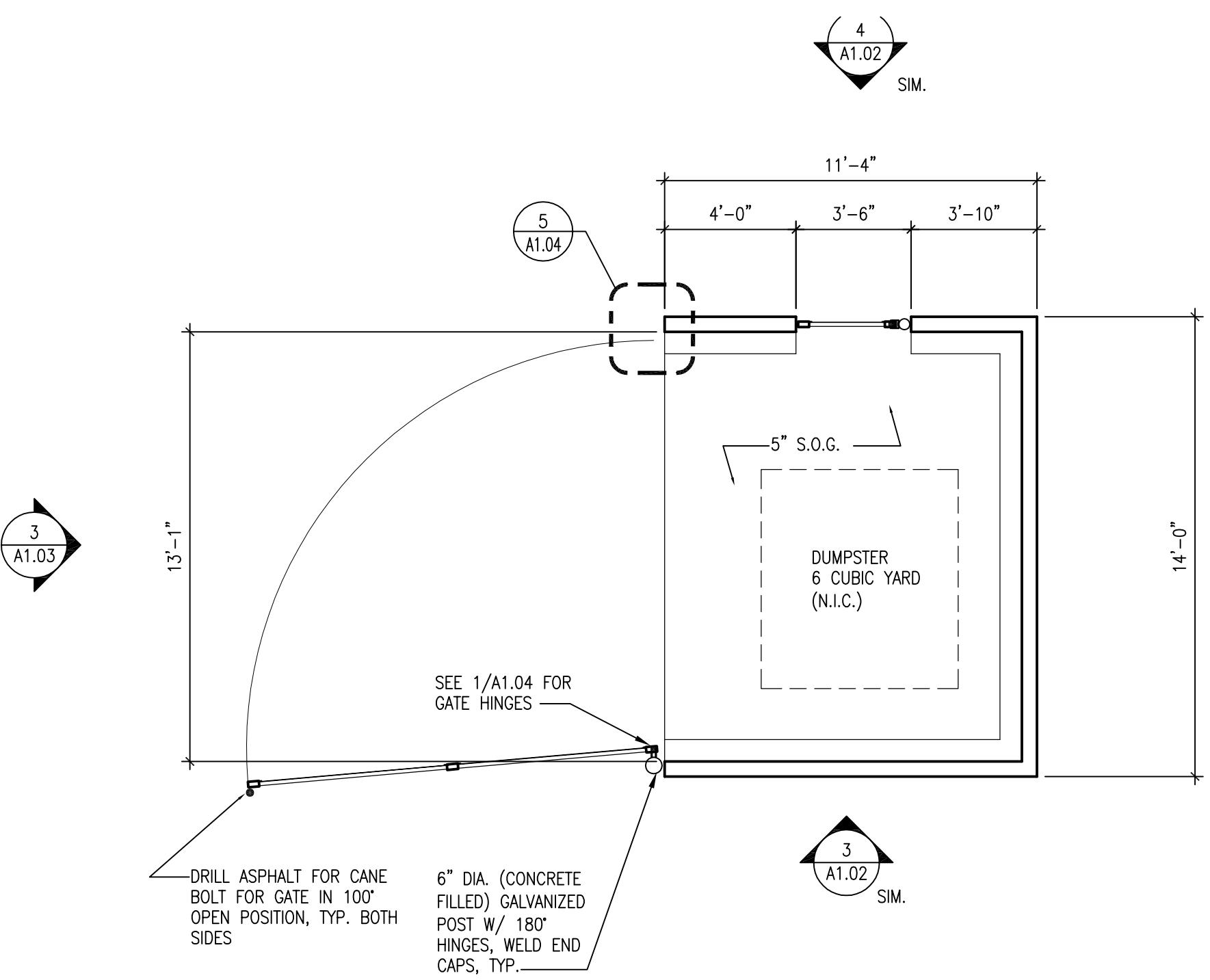


2 DUMPSTER ELEVATION

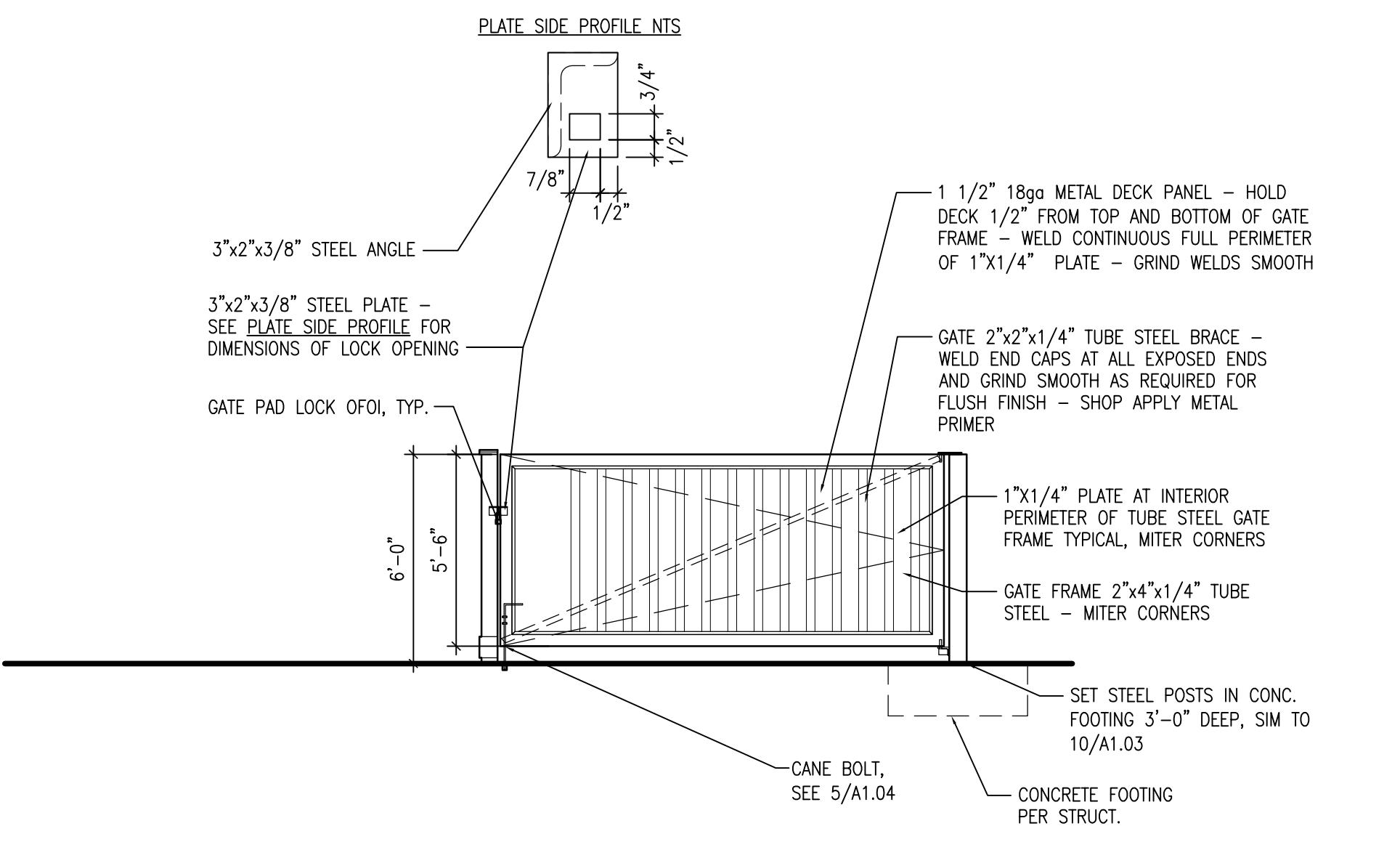
SCALE: 1/4" = 1'-0"



2 RECYCLE SCREEN FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 DUMPSTER 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 DUMPSTER ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT: DETAILED DESIGN REVIEW PLANS
BRIGGS VILLAGE APARTMENTS - NORTH SITE
4255 MAPLE ST SE
OLYMPIA, WA

REVISIONS
DATE
03.22.17
BCRA NO.
CADD FILE
15056A1.03.DWG
SHEET TITLE
DUMPSTER PLAN
DUMPSTER ELEV.

BCRA 
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SHEET
A1.03

DTL DESIGN PLANS

PROJECT
 DETAILED DESIGN REVIEW PLANS
BRIGGS VILLAGE APARTMENTS - NORTH SITE
 4255 MAPLE ST SE
 OLYMPIA, WA

 REVISIONS

 DATE
 03.22.17
 BCRA NO.

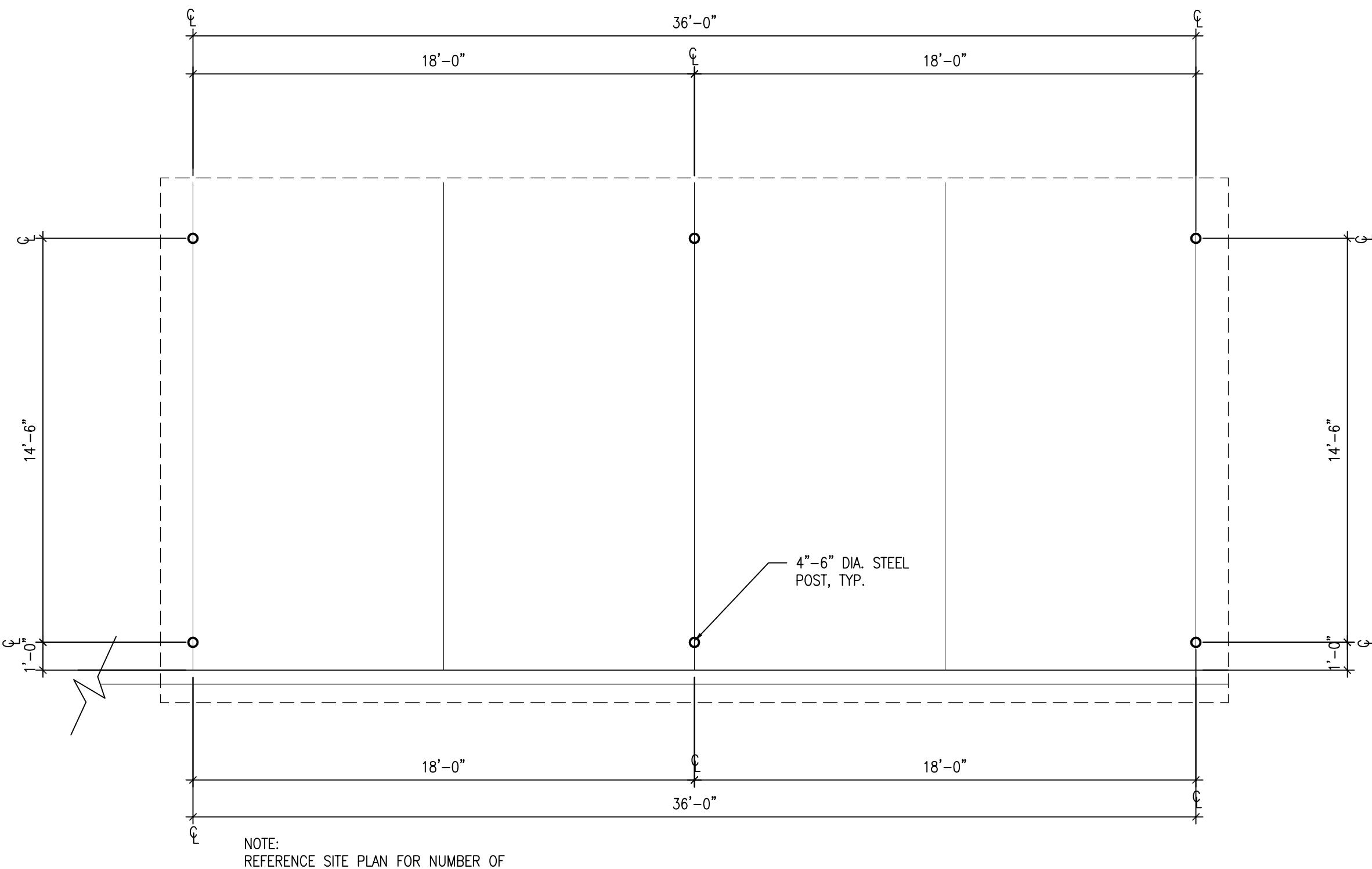
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 SHEET TITLE

 TYPICAL CARPORT
 FLOOR PLAN
 ELEVATIONS

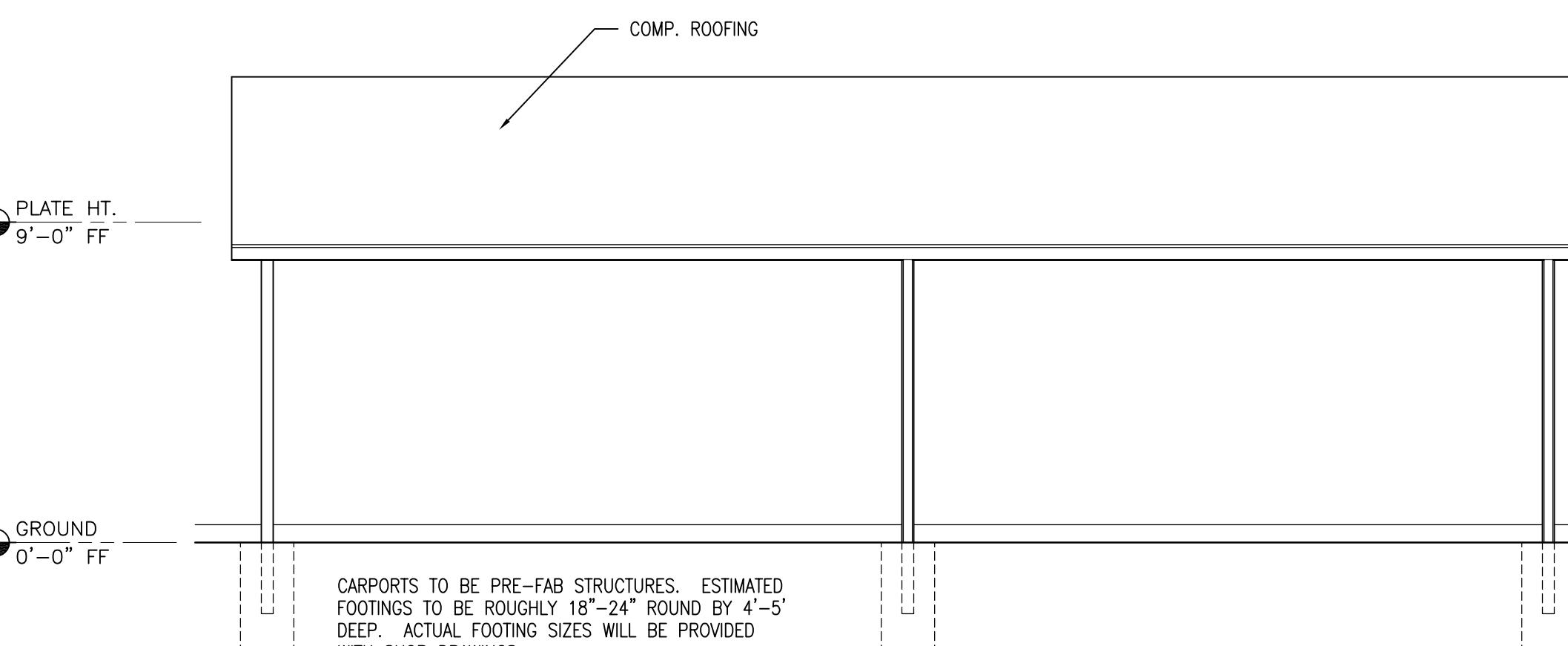
 BCRA
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A2.05

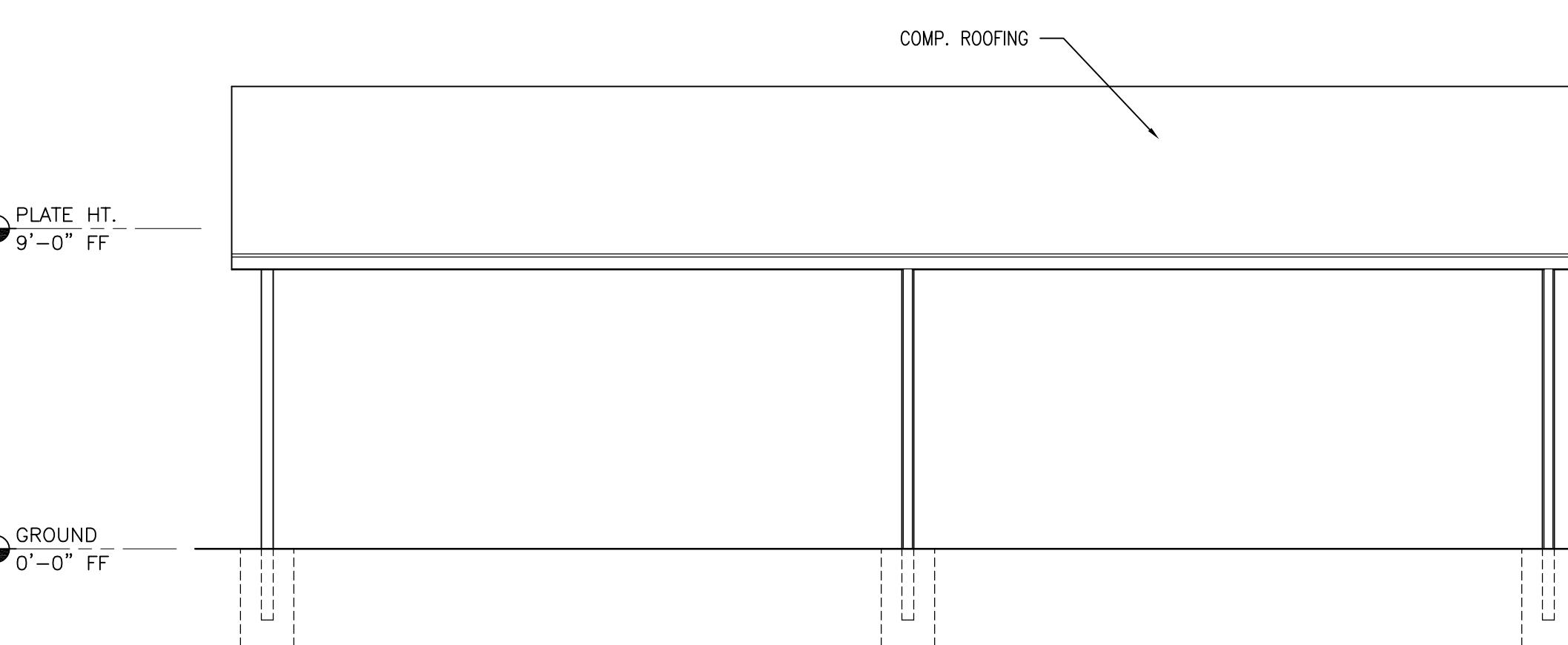
DTL DESIGN PLANS



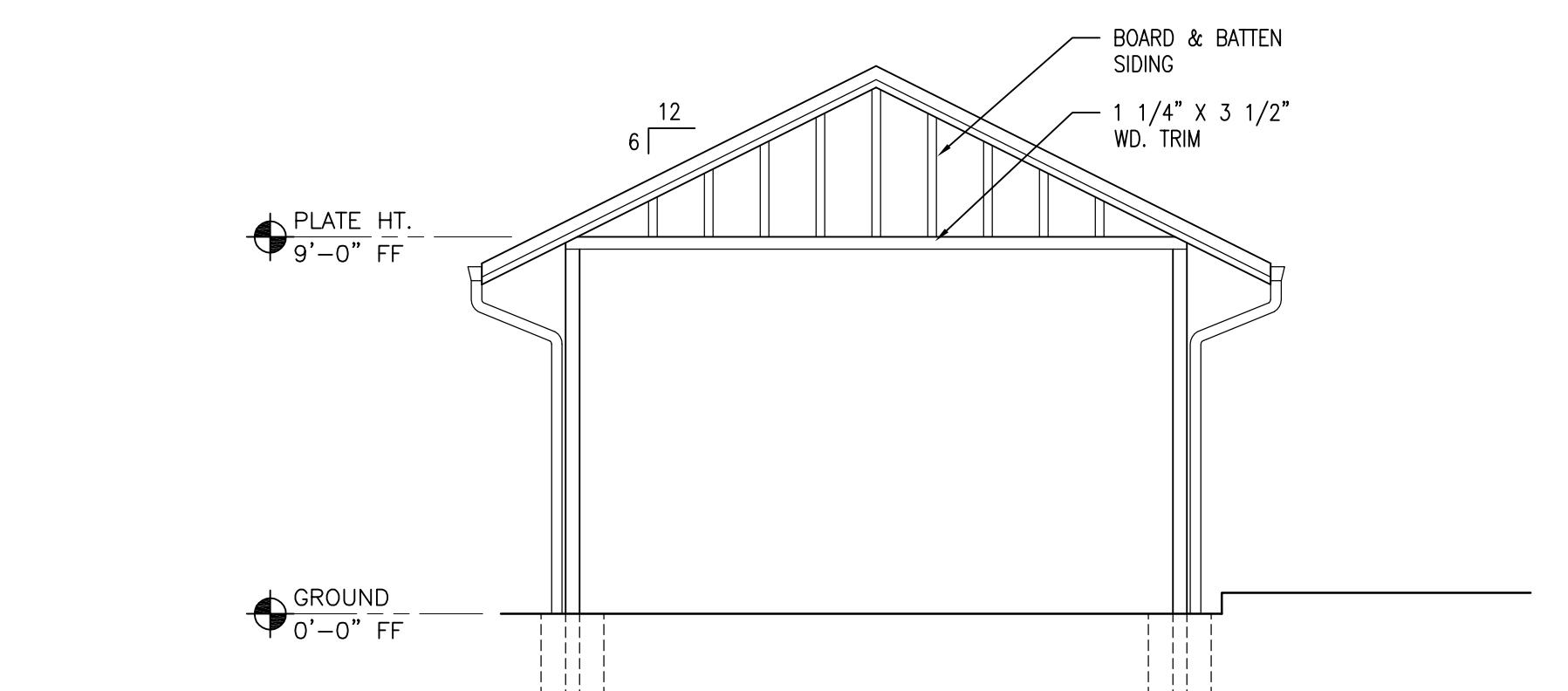
1 TYPICAL CARPORT- FLOOR PLAN
 SCALE: 1/4" = 1'-0"



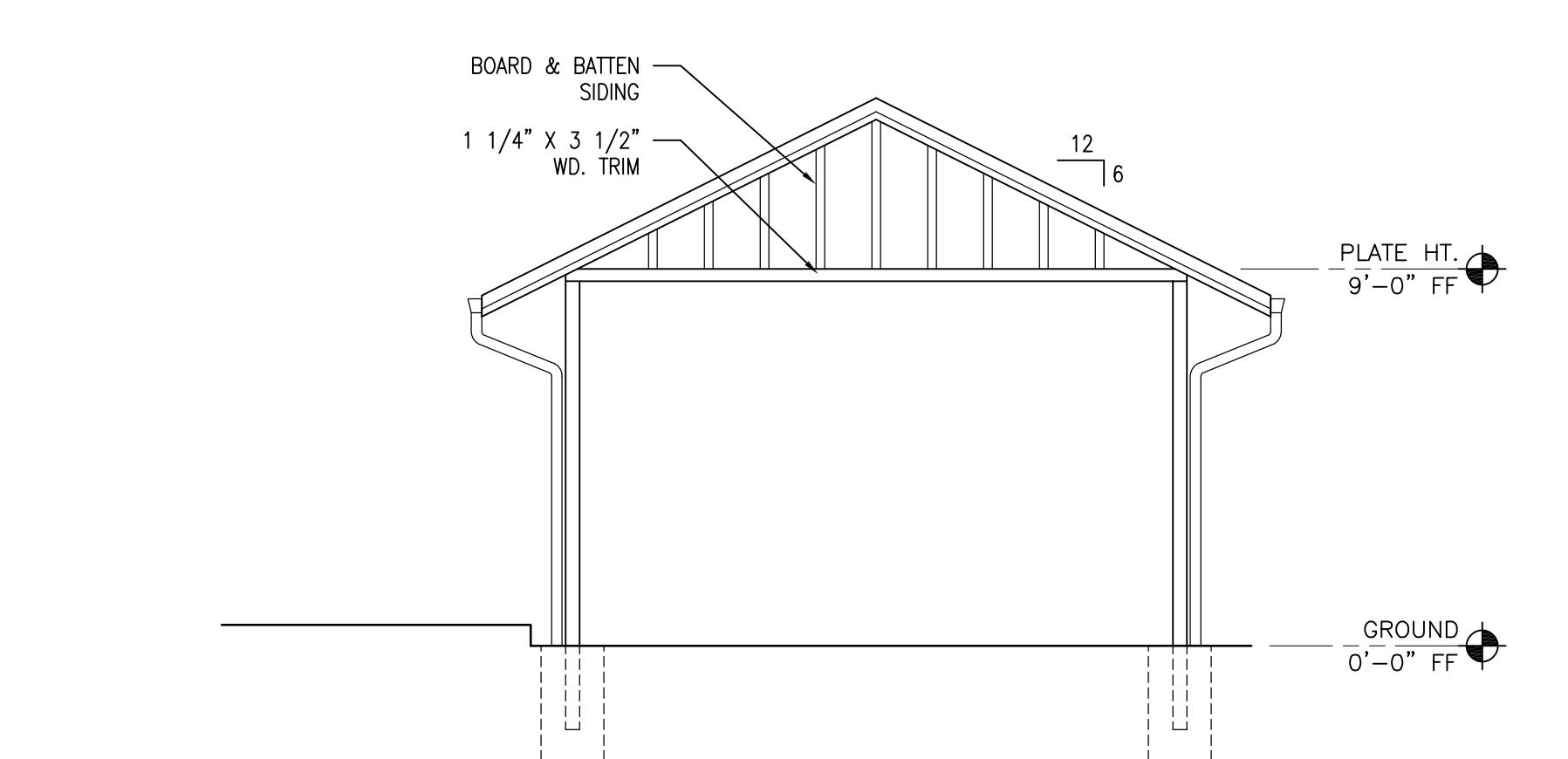
2 TYPICAL CARPORT- FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



3 TYPICAL CARPORT- REAR ELEVATION
 SCALE: 1/4" = 1'-0"



4 TYPICAL CARPORT- SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



5 TYPICAL CARPORT- SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

SEAL

9463
REGISTERED
ARCHITECT
JOSEPH PATRICK RYDMAN
STATE OF WASHINGTON

PROJECT
DETAILED DESIGN REVIEW PLANS
BRIGGS VILLAGE APARTMENTS - NORTH SITE
4255 MAPLE ST SE
OLYMPIA, WA

REVISIONS

DATE

03.22.17

BCRA NO.

CADD FILE

15056 A206.dwg

SHEET TITLE

BIKE STRUCTURE

MAIL KIOSK

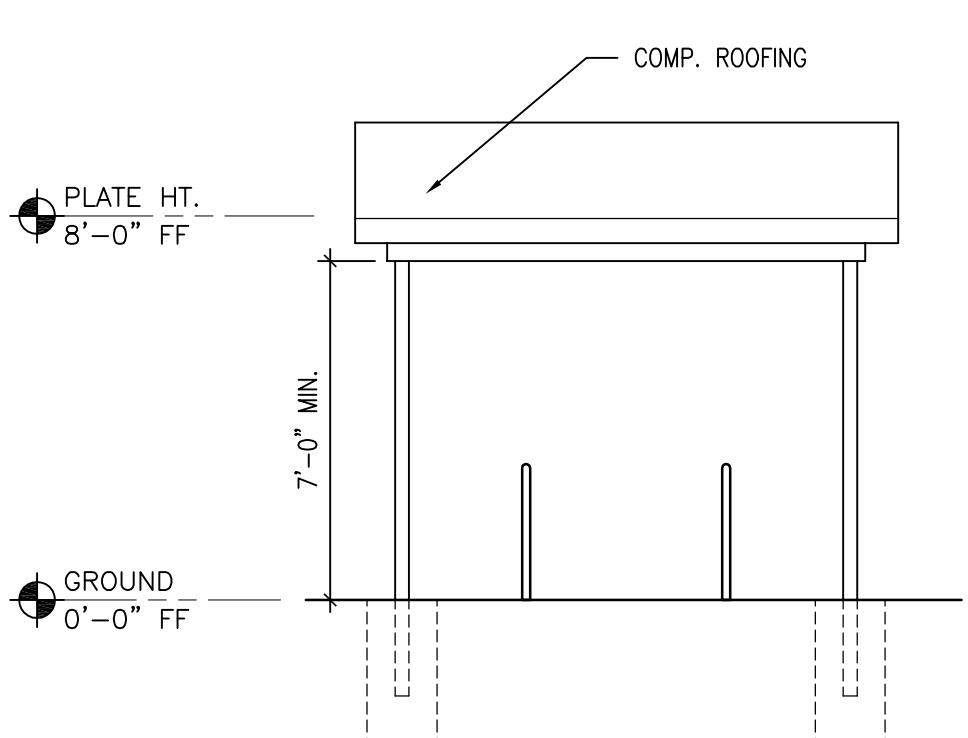
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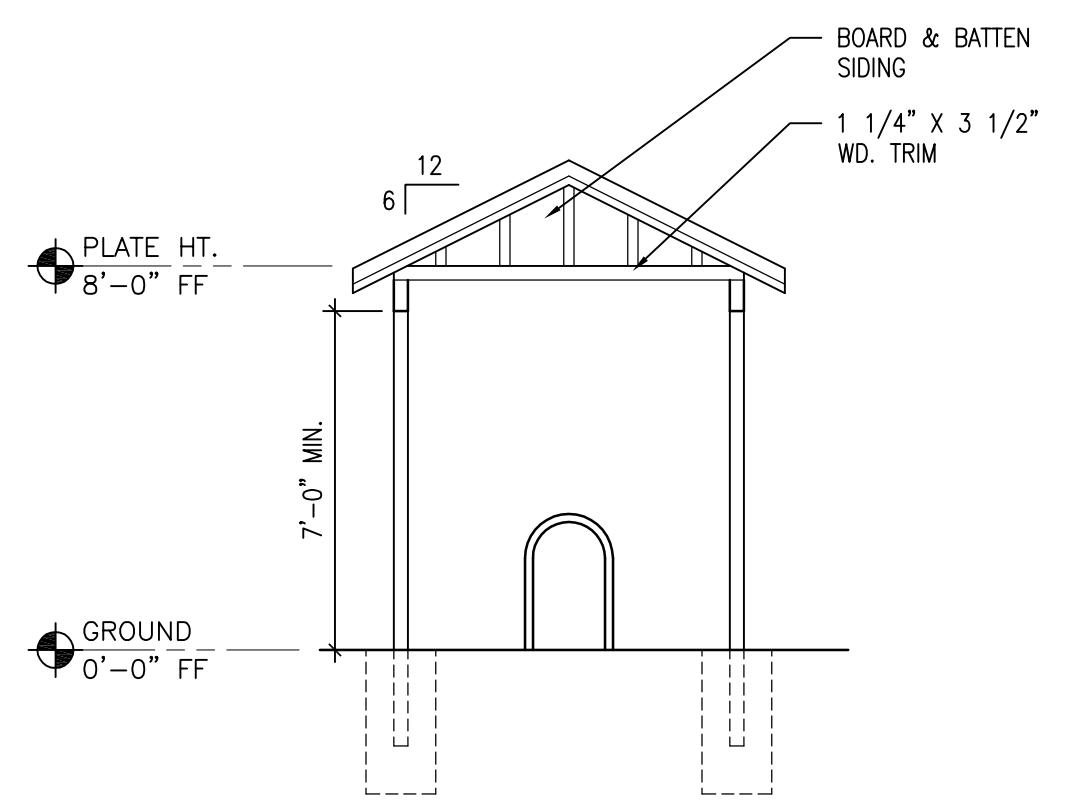
SHEET

A2.06

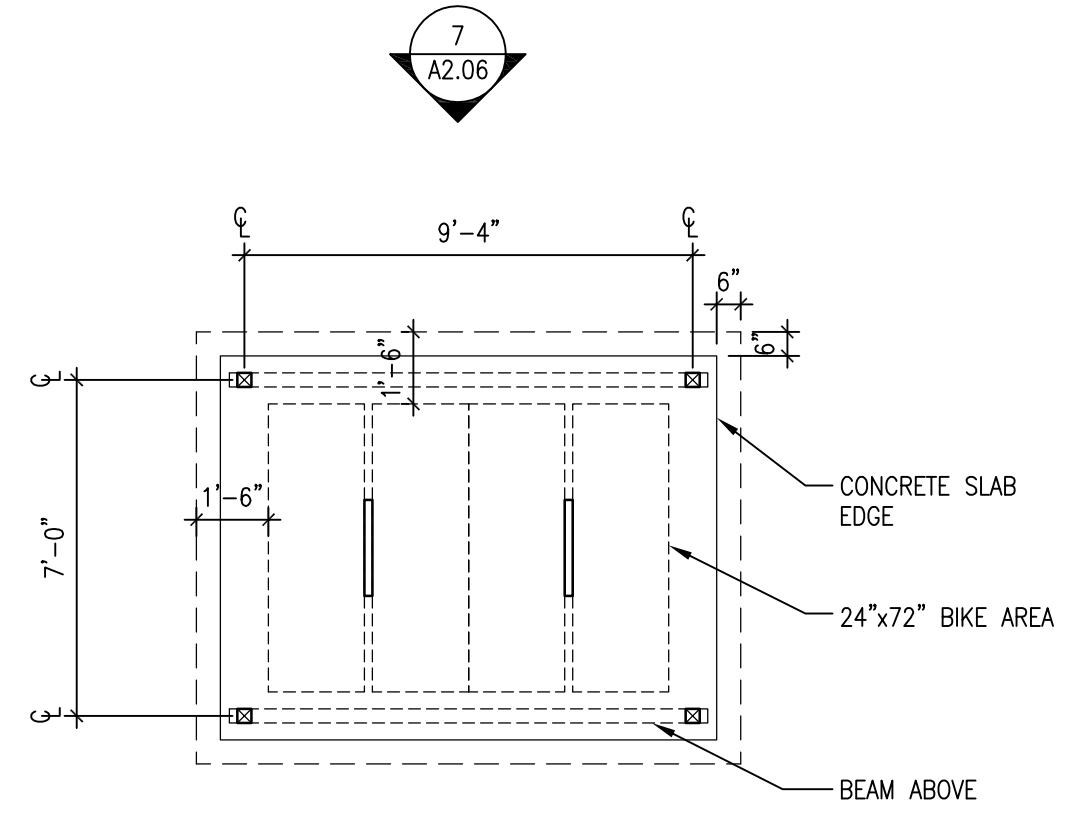
DTL DESIGN PLANS



7 BIKE SHELTER ELEV.
SCALE: 1/4" = 1'-0"

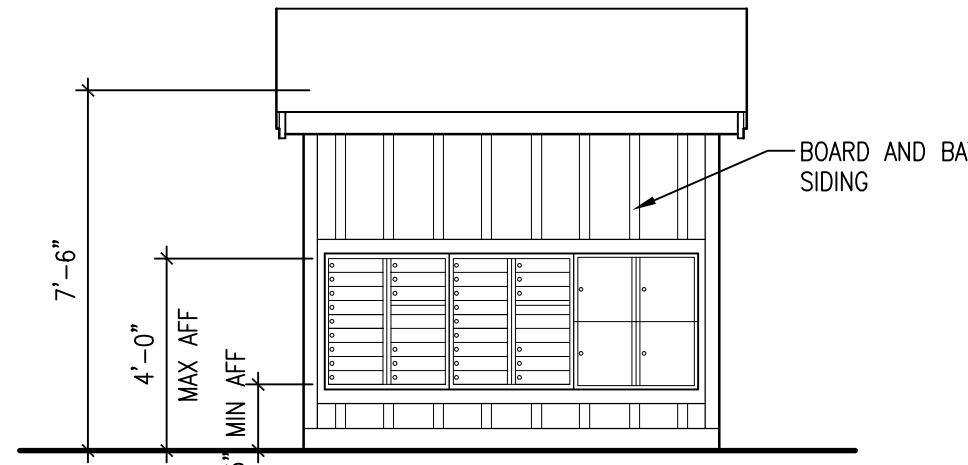


6 BIKE SHELTER ELEV.
SCALE: 1/4" = 1'-0"

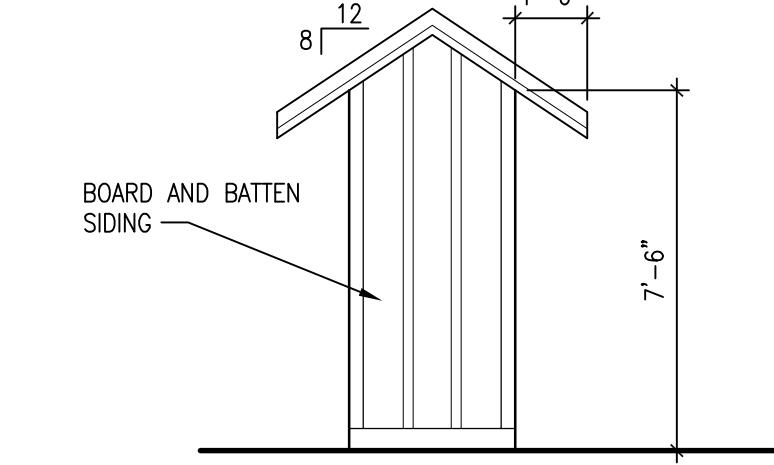


NOTE:
REFERENCE SITE PLAN FOR NUMBER OF
COVERED BIKE STRUCTURES

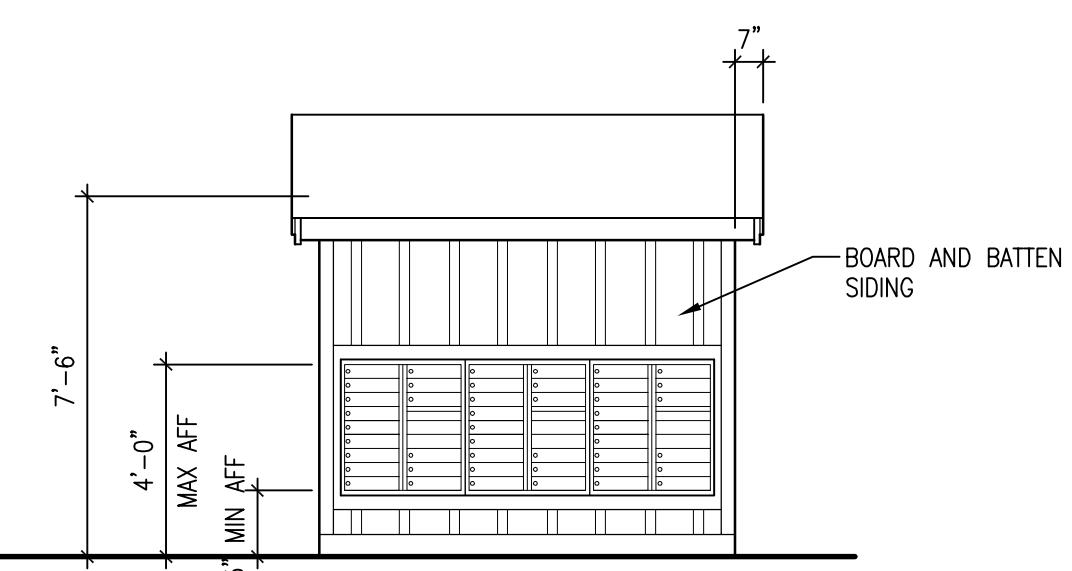
5 BIKE SHELTER
SCALE: 1/4" = 1'-0"



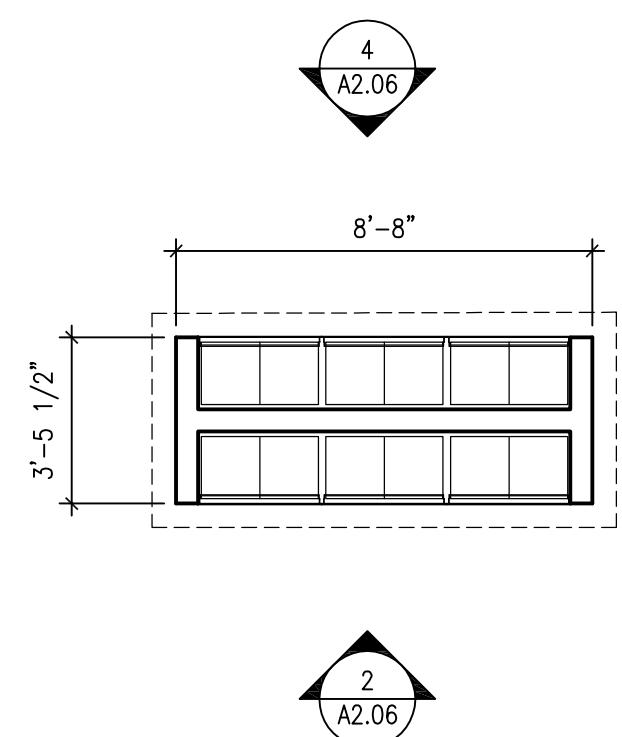
4 MAIL KIOSK ELEV.
SCALE: 1/4" = 1'-0"



3 MAIL KIOSK ELEV.
SCALE: 1/4" = 1'-0"



2 MAIL KIOSK ELEV.
SCALE: 1/4" = 1'-0"



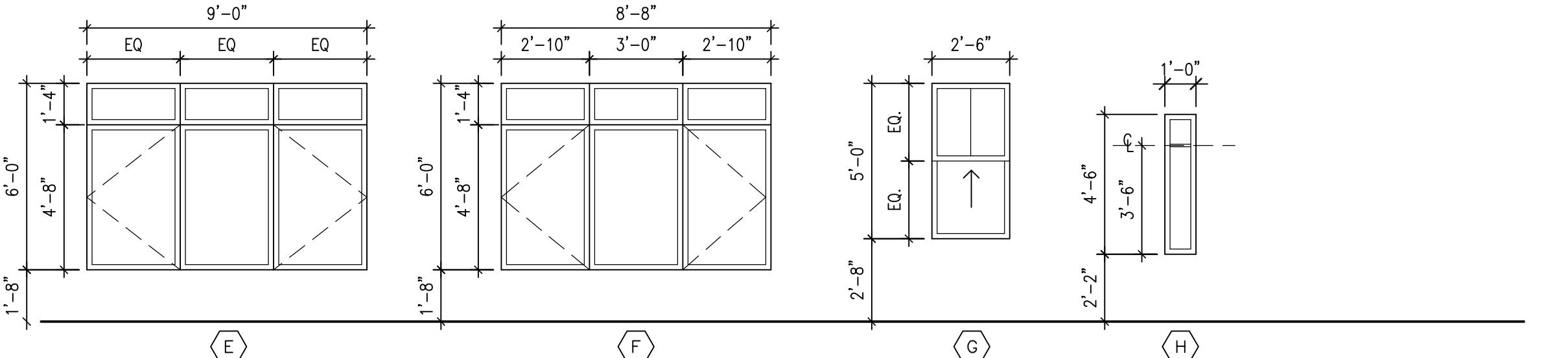
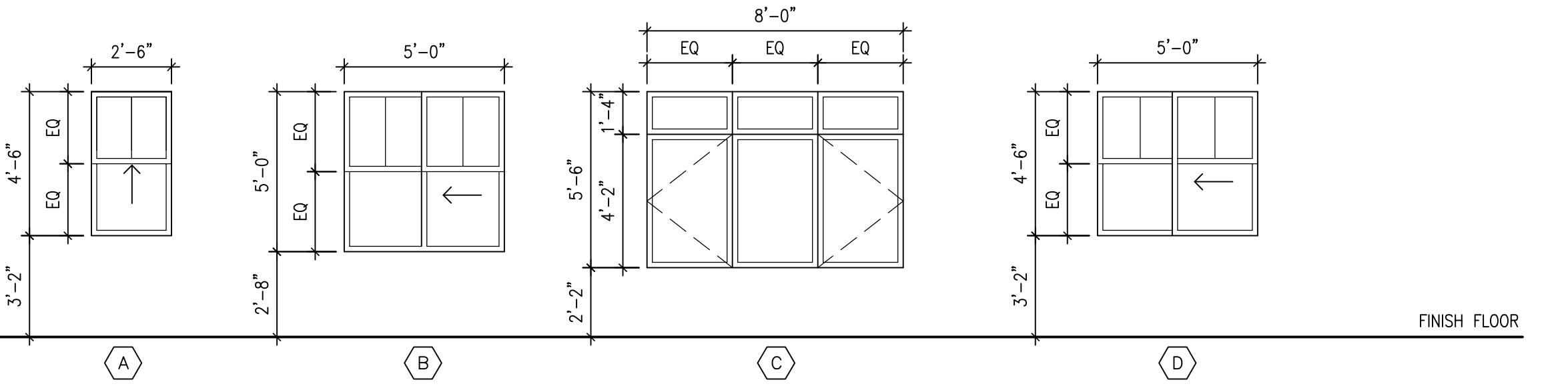
1 MAIL KIOSK PLAN
SCALE: 1/4" = 1'-0"

9463
REGISTERED
ARCHITECT
JOSEPH PATRICK RYDMAN
STATE OF WASHINGTON

WINDOW SCHEDULE										
NO.	WINDOW			DETAIL REFERENCE			REMARKS			
	SIZE (W x H)	TYPE	MAT'L	GLAZING	HEAD	JAMB	SILL			
A	2'-6" x 4'-6"	SHUNG	VINYL	GL-1	1/A11.02	2/A11.02	3/A11.02			
B	5'-0" x 5'-0"	SLIDER	VINYL	GL-1	1/A11.02	2/A11.02	3/A11.02	SEE ELEVATION FOR SLIDER DIRECTION		
C	8'-0" x 5'-6"	CASEMENT	VINYL	GL-1	1/A11.02	2/A11.02	3/A11.02			
D	5'-0" x 4'-6"	SLIDER	VINYL	GL-1	1/A11.02	2/A11.02	3/A11.02	SEE ELEVATION FOR SLIDER DIRECTION		
E	9'-0" x 6'-0"	CASEMENT	VINYL	GL-1	1/A11.02	2/A11.02	3/A11.02			
F	8'-8" x 6'-0"	CASEMENT	VINYL	GL-1	1/A11.02	2/A11.02	3/A11.02			
G	2'-6" x 5'-0"	SHUNG	VINYL	GL-1	1/A11.02	2/A11.02	3/A11.02			
H	1'-0" x 4'-6"	FIXED	VINYL	GL-2	1/A11.02	2/A11.02	3/A11.02	SAFETY GLAZING		

WINDOW SCHEDULE GENERAL NOTES

- SEE SHEET A9.34 FOR WINDOW WRAP SEQUENCING DETAILS.
- WINDOW U-VALUE REQUIRED: 0.30 MAX.
- SOLAR HEAT GAIN COEFFICIENT REQUIRED: 0.40 MAX.
- WINDOWS IN ACCESSIBLE UNITS SHALL HAVE LATCHES 15"-48" AFF SO. IN. NET FREE AREA.
- ALL WINDOWS IN UNITS WITH WHOLE HOUSE FAN TO HAVE TRICKLE VENTS WITH A MIN. OF 4 SQ. IN. NET FREE AREA.
- SEE ELEVATIONS FOR SLIDER OR HINGE OPERATION ON ALL OPERABLE WINDOWS.
- PROVIDE SAFETY GLAZING WHEN WINDOW IS NEXT TO DOOR.



WINDOW TYPES

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE																
DOOR NUMBER	SIZE (W x H x D)	DOOR			FRAME		FIRE RATING	DETAIL REFERENCE			SIGNAGE	H'WARE GROUP	REMARKS	DOOR NUMBER		
		TYPE	MAT'L	FINISH	GLASS	TYPE		MAT'L	FINISH	HEAD	JAMB	SILL				
001	3'-0" x 7'-0" x 1-3/4"	A	HM	PT	-	A	HM	PT	20 MIN.	1/A11.01	2/A11.01	3&4/A11.01	-	-	2, 3, 7	001
002	3'-0" x 7'-0" x 1-3/4"	B	FBG	PT	GL-2	A	FBG	PT	-	1/A11.01	2/A11.01	4&5/A11.01	-	-	2, 3	002
003	1'-6" x 6'-8" x 1-3/8"	A	WD	PT	-	A	WD	PT	-	4/A11.02	5/A11.02	-	-	-	1	003
004	3'-0" x 6'-8" x 1-3/8"	A	WD	PT	-	A	WD	PT	-	4/A11.02	5/A11.02	-	-	-	1, 4	004
005	PR 2'-4" x 6'-8" x 1-3/8"	A	WD	PT	-	A	WD	PT	-	4/A11.02	5/A11.02	-	-	-	1, 4	005
006	2'-6" x 7'-0" x 1-3/4"	A	HM	PT	-	A	HM	PT	20 MIN.	1/A11.01	2/A11.01	3&4/A11.01	-	-	2, 3	006
007	PR 3'-0" x 6'-8" x 1-3/8"	C	WD	PT	-	A	WD	PT	-	-	-	-	-	-	1, 5	007
008	3'-0" x 7'-0" x 1-3/4"	A	HM	PT	-	A	HM	PT	-	1/A11.01	2/A11.01	4/A11.01	-	-	2, 4	008
009	PR 2'-6" x 6'-8" x 1-3/8"	A	WD	PT	-	A	WD	PT	-	4/A11.02	5/A11.02	-	-	-	1, 4	009
010	2'-0" x 6'-8" x 1-3/8"	A	WD	PT	-	A	WD	PT	-	4/A11.02	5/A11.02	-	-	-	1, 4	010

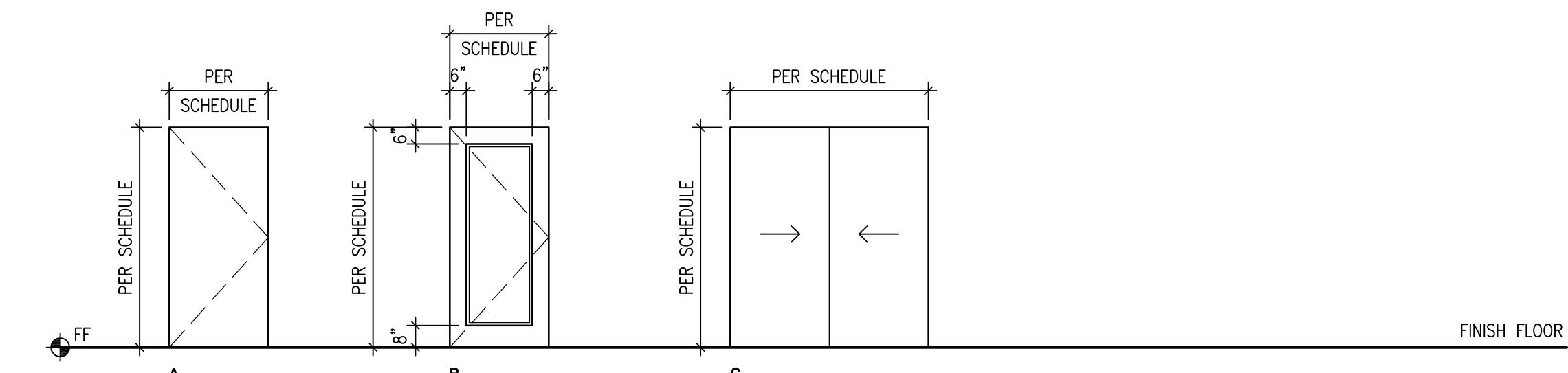
DOOR SCHEDULE GENERAL NOTES

- U-VALUE REQUIRED FOR OPAQUE DOOR = 0.37 OR BETTER.
- U-VALUE REQUIRED FOR PATIO DOOR = 0.30 OR BETTER.
- UNDERCUT DOORS 1/2" ABOVE FINISH FLOOR SURFACE.
- SOLAR HEAT GAIN COEFFICIENT REQUIRED: 0.40 MAX.
- ALL GLAZING IN DOORS TO BE SAFETY GLAZING, TYP.

DOOR SCHEDULE ABBREVIATIONS

FBG	FIBERGLASS
FF	FACTORY FINISH
GL-1	GLAZING TYPE 1: CLEAR FLOAT GLASS
GL-2	GLAZING TYPE 2: CLEAR TEMPERED GLASS
GL-3	GLAZING TYPE 3: CLEAR 60 MINUTE FIRE SAFETY GLASS
HM	HOLLOW METAL
MTL	METAL
PR	PAIR
PT-1	PAINT TYPE 1: REFER TO SPECIFICATIONS
PT-2	PAINT TYPE 2: REFER TO SPECIFICATIONS
ST	STEEL
SAV	STAIN AND VARNISH
WD	WOOD

- HOLLOW CORE
- SEE SHEET A9.35 FOR EXTERIOR DOOR INSTALLATION & SEQUENCING DETAILS.
- DOOR THRESHOLDS AT UNIT TYPES 'A' & 'B' (ACCESSIBLE UNITS) ARE TO BE 1/2" MAXIMUM IN HEIGHT PER ICC/ANSI A117.1-2003, SECTION 404.2.4.
- HARDWARE GROUP DEPENDS ON ROOM USAGE/DOOR CONFIGURATION. BI-PASS DOOR
- POCKET DOOR
- PROVIDE CLOSER



DOOR TYPES

SCALE: 1/4" = 1'-0"



DOOR FRAME TYPES

SCALE: 1/4" = 1'-0"

PROJECT
DETAILED DESIGN REVIEW PLANS
BRIGGS VILLAGE APARTMENTS - NORTH SITE
4255 MAPLE ST SE
OLYMPIA, WA
REVISIONS

DATE
03.22.17
BCRA NO.

CADD FILE
09347 A5.01.DWG
SHEET TITLE

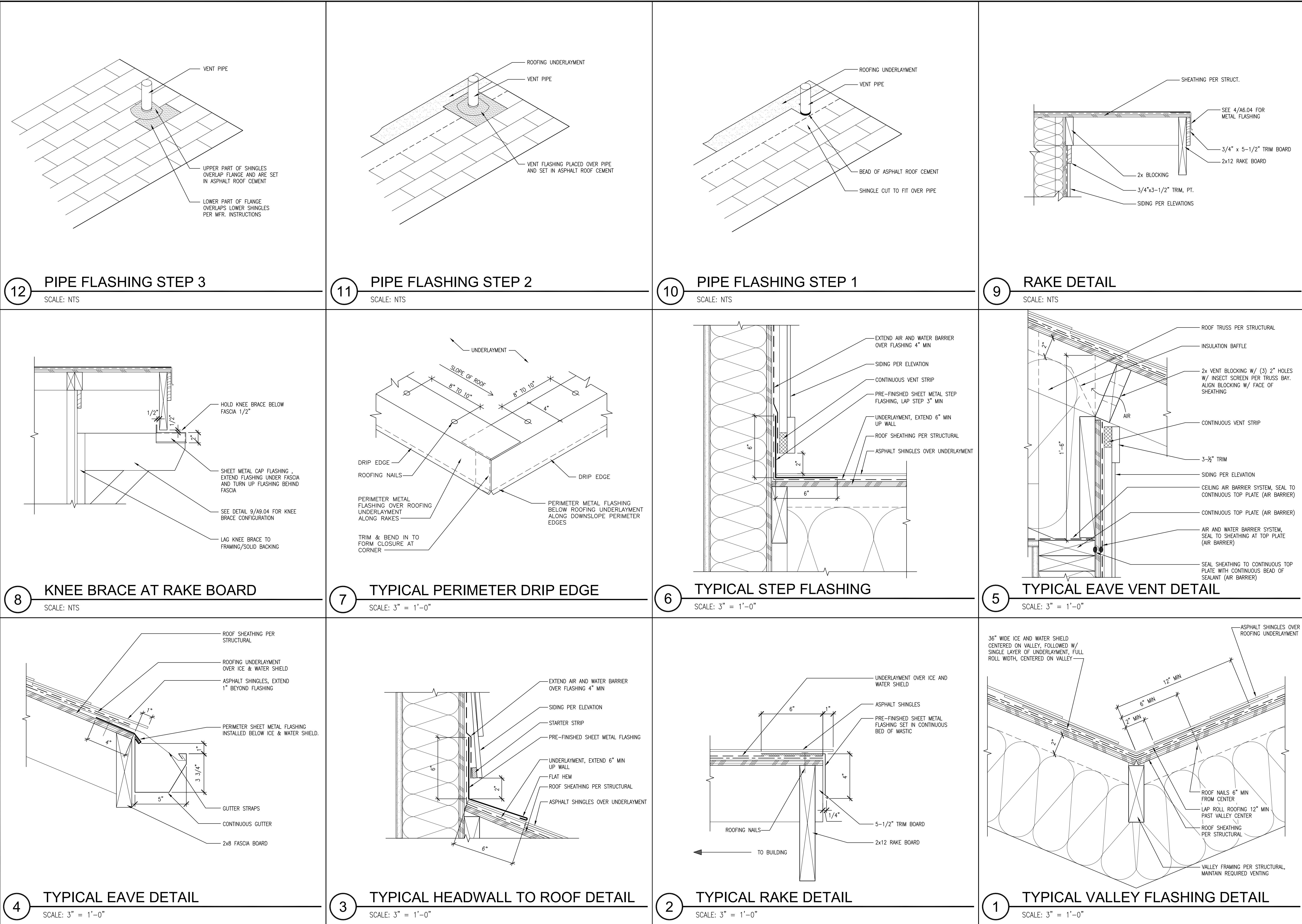
DOOR & WINDOW
SCHEDULES

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SHEET

A3.51

DTL DESIGN PLANS



COLOR SCHEDULE - BLDGS 'A' & 'C'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-2: "GRENADIER POND"
C	PT-3: "DARTMOUTH GREEN"
D	PT-7: "TROUT GRAY"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE

(PT = PAINT, PF = PRE-FINISHED)

(01-)	FC 4" LAP SIDING	PT
(02-)	FC 6" DUTCHLAP SIDING	PT
(03-)	FC BOARD & BATTEN SIDING	PT
(04-)	FC PANEL SIDING	PT
(05-)	FC WINDOW & DOOR TRIM	PT
(06-)	BELLY BANDS	PT
(07-)	FASCIA	PT
(08-)	FC TRIM UNDER SOFFIT	PT
(09-)	WOOD COLUMN WRAP	PT
(10-)	GUARDRAILS	PT
(11-)	HM DOOR & FRAME	PT
(12-)	GUTTER	PF
(13-)	ASPHALT SHINGLES	PF
(14-)	VINYL WINDOW	PF - WHITE
(15-)	DECK SURFACE	STAIN
(16-)	DECORATIVE BRACKET	PT
(17-)	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

FINISH SCHEDULE NOTES

1. SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
2. PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
3. PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
4. PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
5. PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

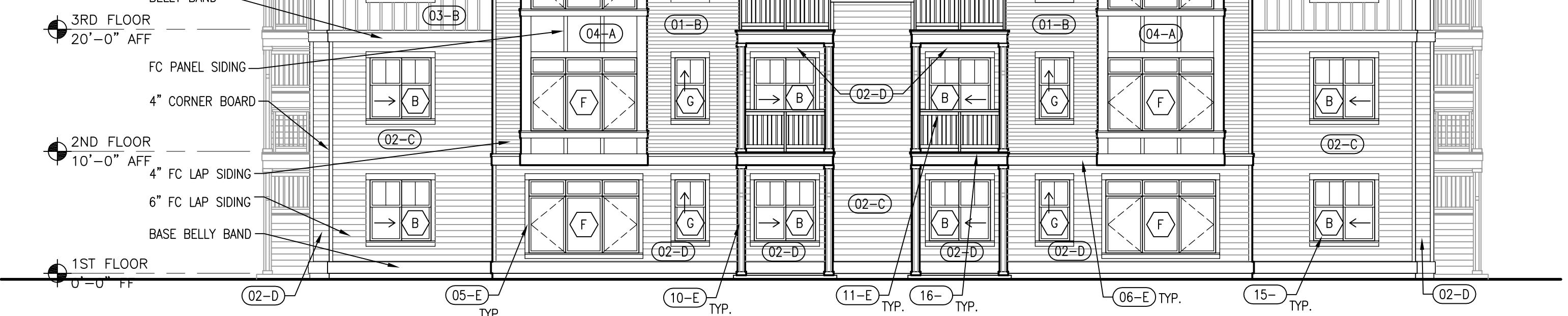
BUILDING ELEVATION NOTES:

1. SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
2. SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
3. SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
4. SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
5. SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
6. SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
7. SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
8. SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
9. SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
10. SEE SHEET A5.01 FOR WINDOW SCHEDULE.
11. SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
12. SEE DETAIL 1/A9.04 FOR TYPICAL FOAM AT EXTERIOR WALL.
13. SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
14. SEE DETAIL 12/A9.03 FOR VENT FLASHING.



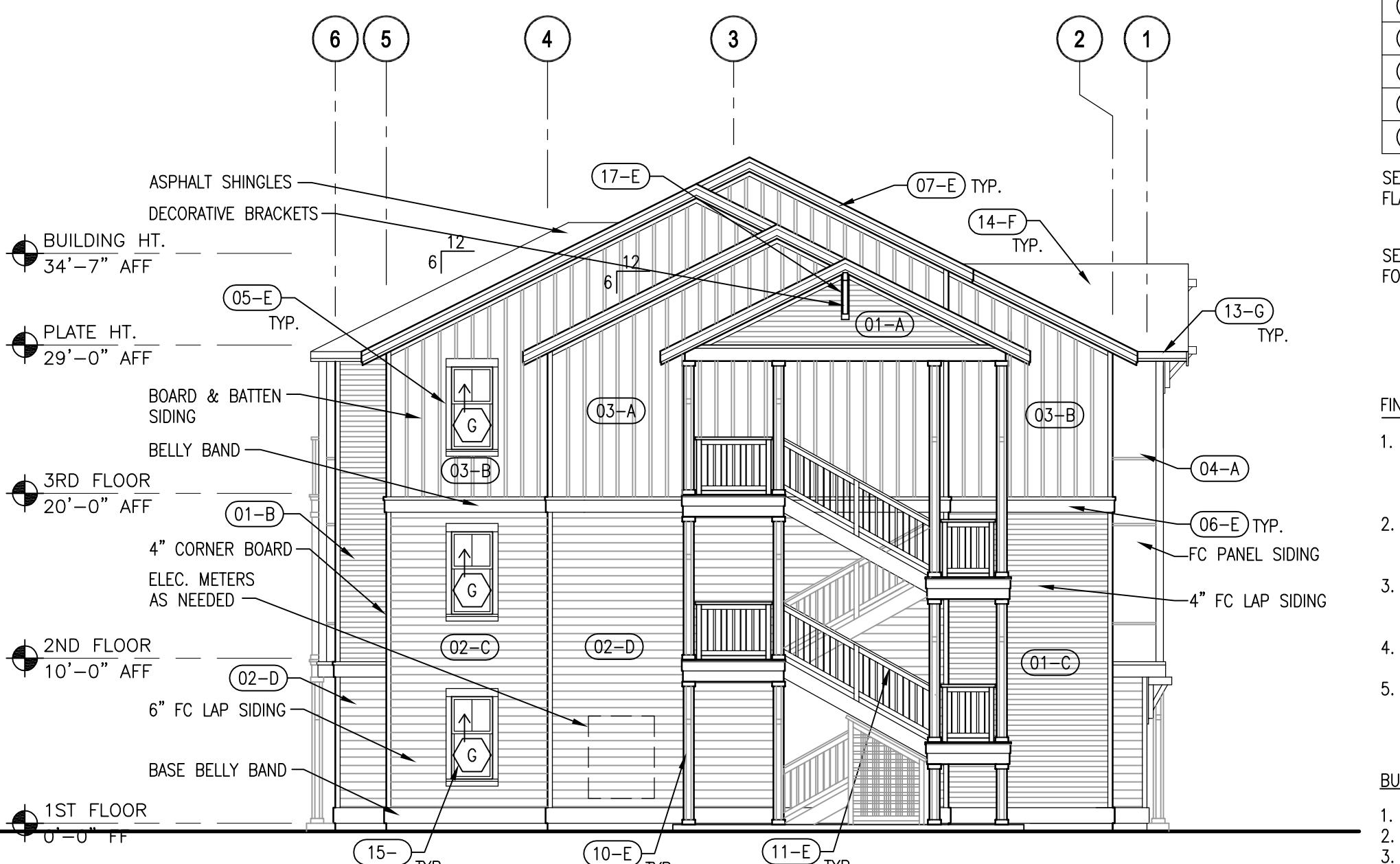
4 EXTERIOR ELEVATION - BUILDING TYPE 2

SCALE: 1/8" = 1'-0"



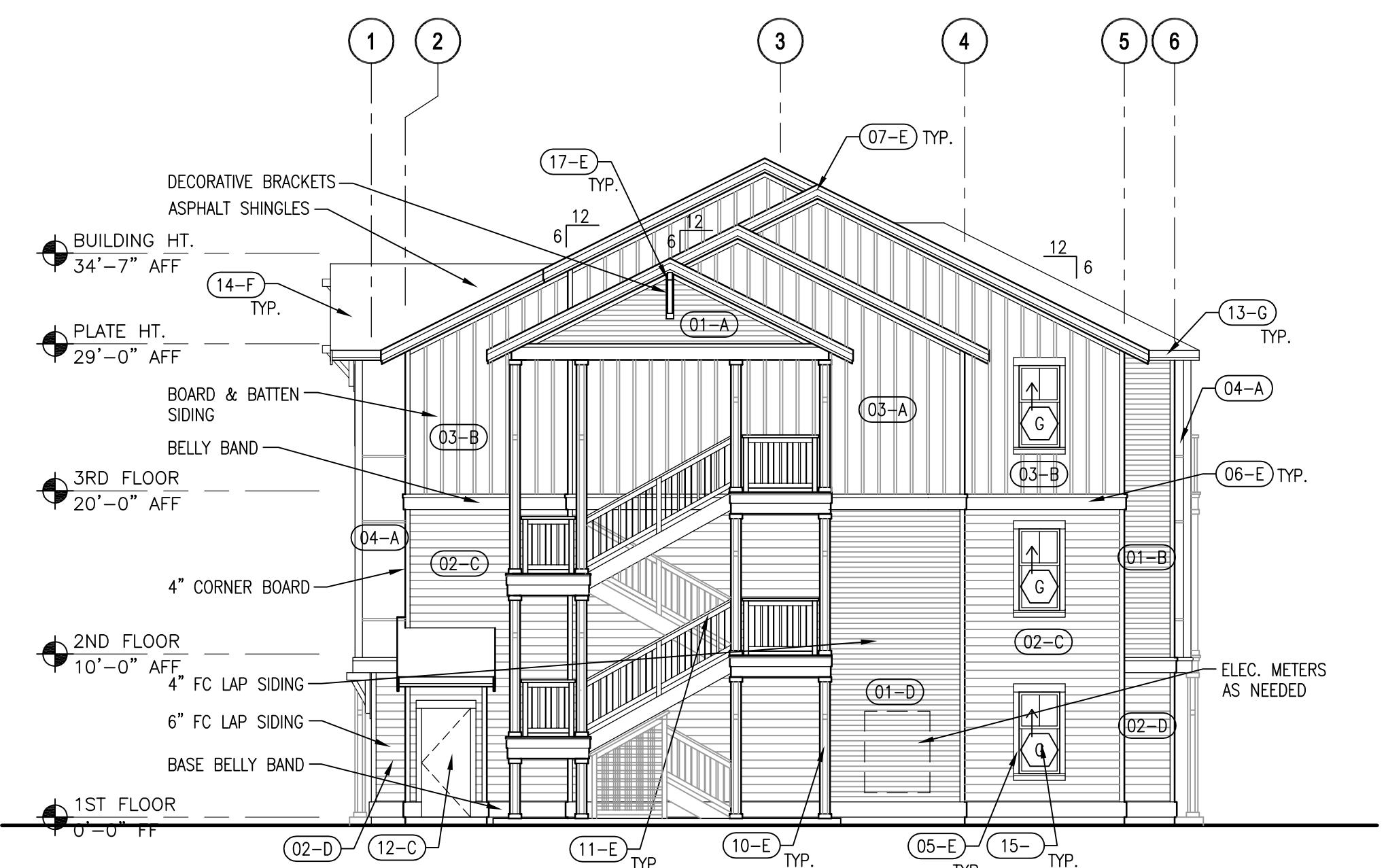
2 EXTERIOR ELEVATION - BUILDING TYPE 2

SCALE: 1/8" = 1'-0"



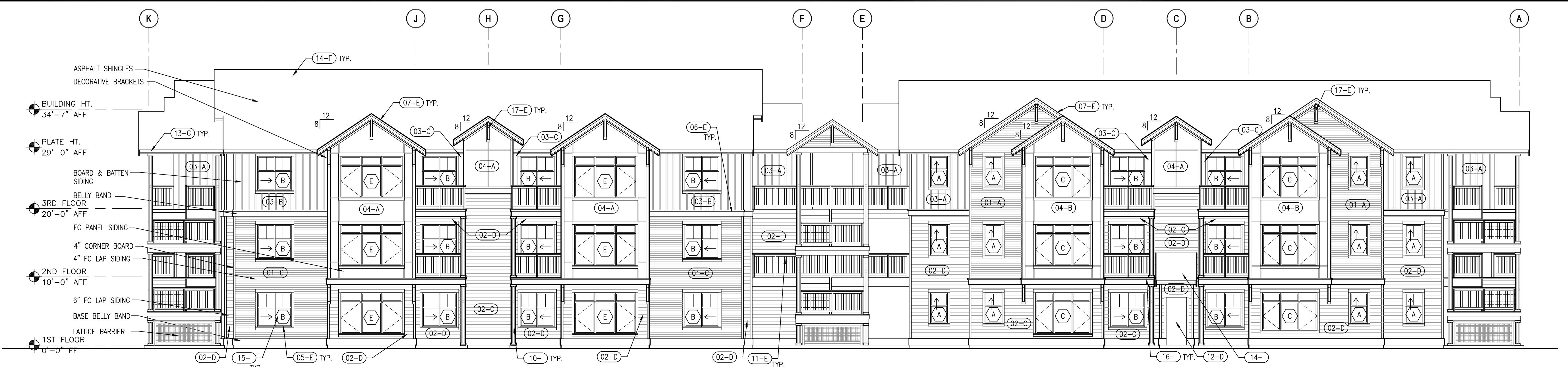
3 EXTERIOR ELEVATION - BUILDING TYPE 2

SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - BUILDING TYPE 2

SCALE: 1/8" = 1'-0"



COLOR SCHEDULE - BLDG 'E'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-4: "LABRADOR BLUE"
C	PT-5: "STILLWATER"
D	PT-7: "TROUT GRAY"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE

(PT = PAINT, PF = PRE-FINISHED)

(01-)	FC 4" LAP SIDING	PT
(02-)	FC 6" DUTCHLAP SIDING	PT
(03-)	FC BOARD & BATTEN SIDING	PT
(04-)	FC PANEL SIDING	PT
(05-)	FC WINDOW & DOOR TRIM	PT
(06-)	BELLY BANDS	PT
(07-)	FASCIA	PT
(08-)	SOFFIT	PT
(09-)	FC TRIM UNDER SOFFIT	PT
(10-)	WOOD COLUMN WRAP	PT
(11-)	GUARDRAILS	PT
(12-)	HM DOOR & FRAME	PT
(13-)	GUTTER	PF
(14-)	ASPHALT SHINGLES	PF
(15-)	VINYL WINDOW	PF - WHITE
(16-)	DECK SURFACE	STAIN
(17-)	DECORATIVE BRACKET	PT
(18-)	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

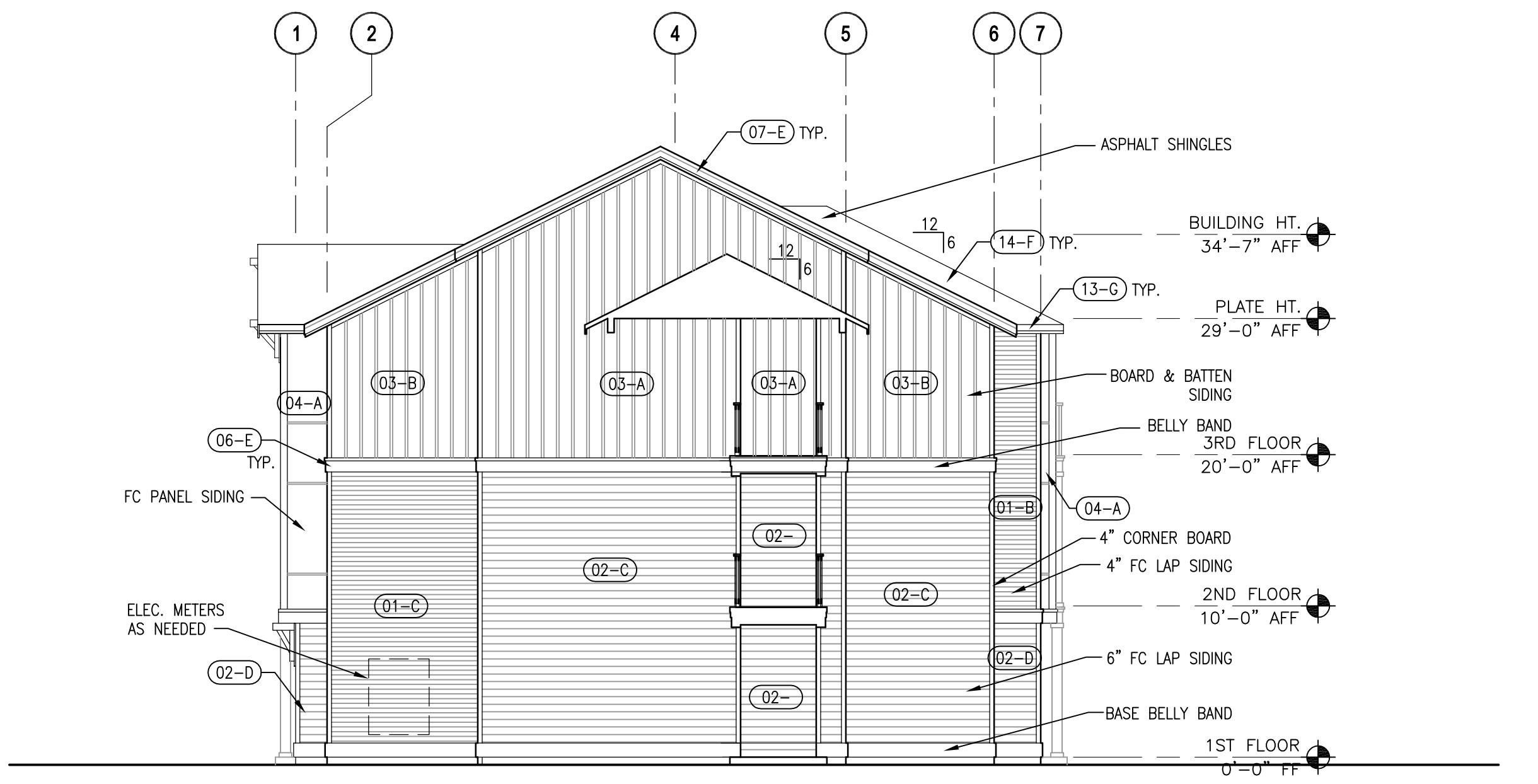
SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

FINISH SCHEDULE NOTES

1. SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
2. PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
3. PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR".
4. PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
5. PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

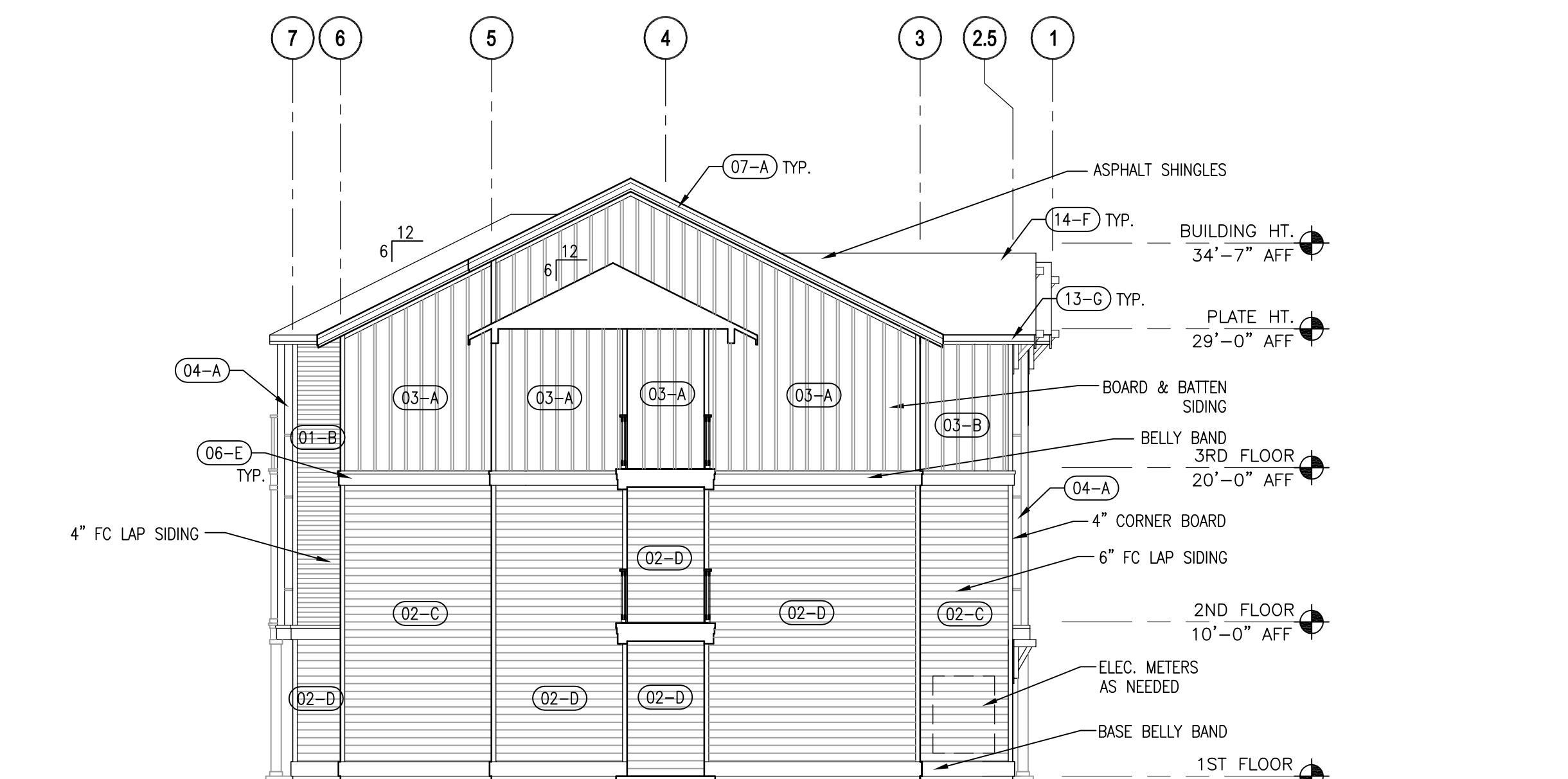
1. SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
2. SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
3. SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
4. SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
5. SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
6. SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
7. SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
8. SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
9. SEE DETAILS 2, 3 & 5/A9.03 FOR UNIT COLUMN WRAPS.
10. SEE SHEET A5.01 FOR WINDOW SCHEDULE.
11. SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
12. SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
13. SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
14. SEE DETAIL 12/A9.03 FOR VENT FLASHING.
15. SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.



4 EXTERIOR ELEVATION - BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

0 4' 8' 16'
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

0 4' 8' 16'
SCALE: 1/8" = 1'-0"

9463
REGISTERED
ARCHITECT
JOSEPH PATRICK RYDMAN
STATE OF WASHINGTON

PROJECT
DETAILED DESIGN REVIEW PLANS
BRIGGS VILLAGE APARTMENTS - NORTH SITE
4255 MAPLE ST SE
OLYMPIA, WA

REVISIONS
DATE
03.22.17
BCRA NO.
CADD FILE
15056A705.DWG
SHEET TITLE
BUILDING TYPE 4
EXTERIOR ELEVATIONS

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SHEET
A7.05
DTL DESIGN PLANS

COLOR SCHEDULE - BLDG 'D'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-2: "GRENADIER POND"
C	PT-3: "DARTMOUTH GREEN"
D	PT-6: "DAVENPORT TAN"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE

(PT = PAINT, PF = PRE-FINISHED)

01-	FC 4" LAP SIDING	PT
02-	FC 6" DUTCHLAP SIDING	PT
03-	FC BOARD & BATTEN SIDING	PT
04-	FC PANEL SIDING	PT
05-	FC WINDOW & DOOR TRIM	PT
06-	BELLY BANDS	PT
07-	FASCIA	PT
08-	SOFFIT	PT
09-	FC TRIM UNDER SOFFIT	PT
10-	WOOD COLUMN WRAP	PT
11-	GUARDRAILS	PT
12-	HM DOOR & FRAME	PT
13-	GUTTER	PF
14-	ASPHALT SHINGLES	PF
15-	VINYL WINDOW	PF - WHITE
16-	DECK SURFACE	STAIN
17-	DECORATIVE BRACKET	PT
18-	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT, FLASHING & CORNER TRIM COLOR.

SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01 FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

FINISH SCHEDULE NOTES

1. SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
2. PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
3. PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
4. PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
5. PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

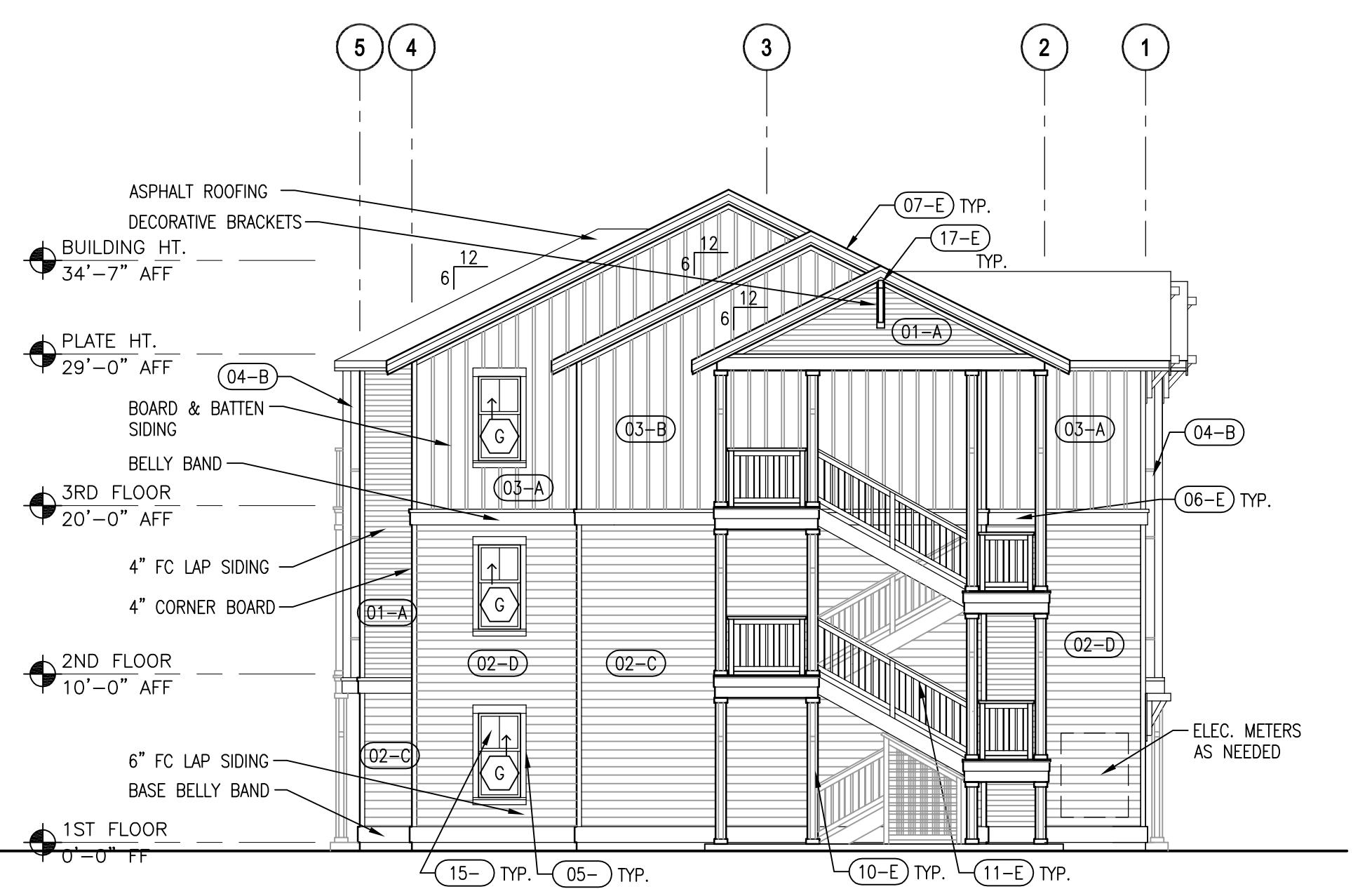
1. SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
2. SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
3. SEE DETAIL 8/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE BIBBS, LIGHTS, CONDUITS, ETC.)
4. SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
5. SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
6. SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
7. SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
8. SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
9. SEE DETAILS 2, 3 & 5/A9.03 FOR UNIT COLUMN WRAPS.
10. SEE SHEET A5.01 FOR WINDOW SCHEDULE.
11. SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
12. SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
13. SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
14. SEE DETAIL 12/A9.03 FOR VENT FLASHING.
15. SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.



4 EXTERIOR ELEVATION - BUILDING TYPE 4

SCALE: 1/8" = 1'-0"

Date: Mar. 20, 2017 - 7:10pm
File: 15056A705.dwg
By: JOE



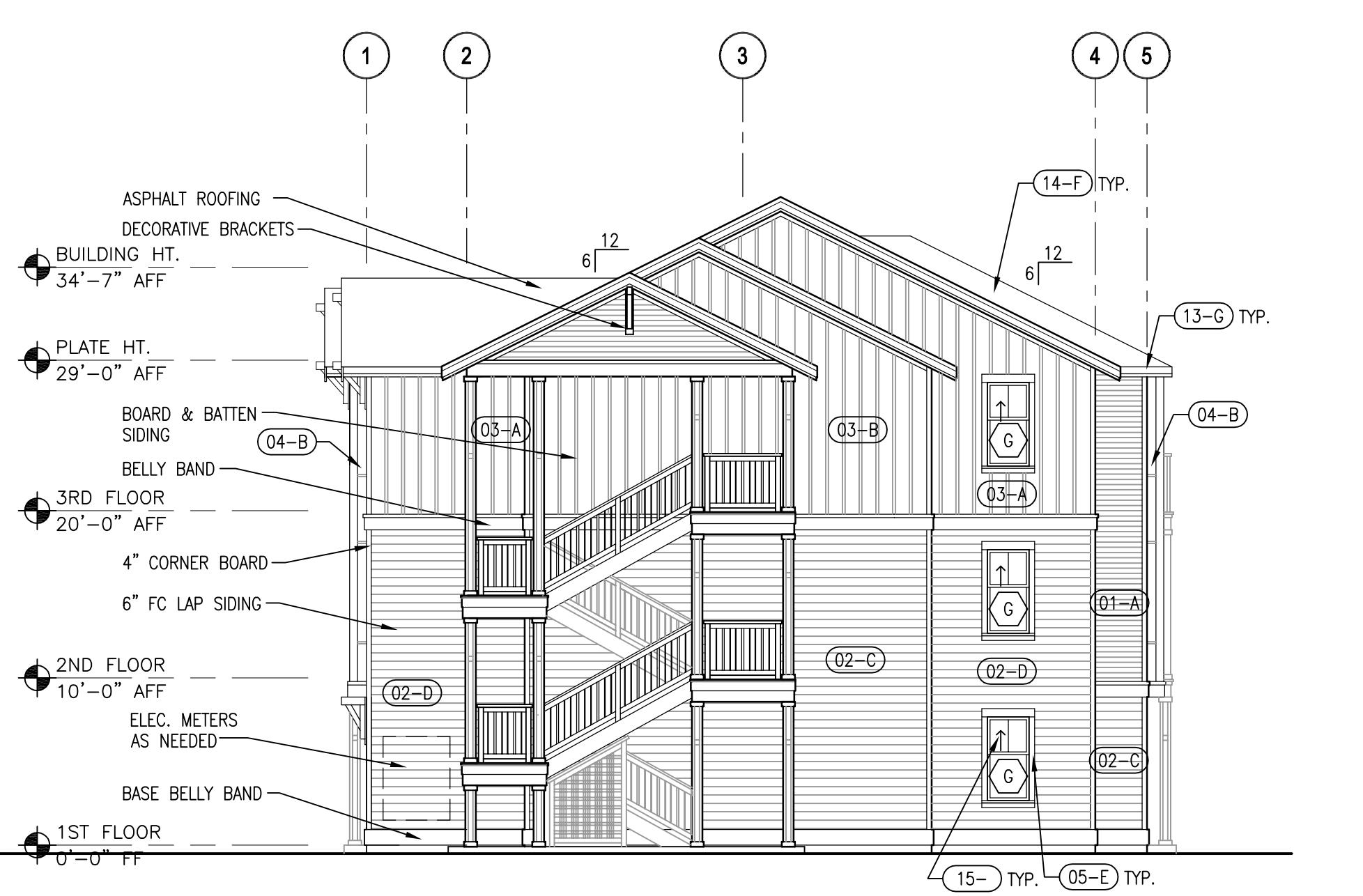
3 EXTERIOR ELEVATION - BUILDING TYPE 4

SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - BUILDING TYPE 4

SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - BUILDING TYPE 4

SCALE: 1/8" = 1'-0"

DTL DESIGN PLANS

EXTERIOR COLORS - BLDGS 'A' & 'C'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

(01-)	FC 4" LAP SIDING	PT
(02-)	FC 6" DUTCHLAP SIDING	PT
(03-)	FC BOARD & BATTEN SIDING	PT
(04-)	FC PANEL SIDING	PT
(05-)	FC WINDOW & DOOR TRIM	PT
(06-)	BELLY BANDS	PT
(07-)	FASCIA	PT
(08-)	SOFFIT	PT
(09-)	FC TRIM UNDER SOFFIT	PT
(10-)	WOOD COLUMN WRAP	PT
(11-)	GUARDRAILS	PT
(12-)	HM DOOR & FRAME	PT
(13-)	GUTTER	PF
(14-)	ASPHALT SHINGLES	PF
(15-)	VINY. WINDOW	PF - WHITE
(16-)	DECK SURFACE	STAIN
(17-)	DECORATIVE BRACKET	PT
(18-)	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT,
FLASHING & CORNER TRIM COLOR.SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01
FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

EXTERIOR COLORS - BLDG 'B'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

(01-)	FC 4" LAP SIDING	PT
(02-)	FC 6" DUTCHLAP SIDING	PT
(03-)	FC BOARD & BATTEN SIDING	PT
(04-)	FC PANEL SIDING	PT
(05-)	FC WINDOW & DOOR TRIM	PT
(06-)	BELLY BANDS	PT
(07-)	FASCIA	PT
(08-)	SOFFIT	PT
(09-)	FC TRIM UNDER SOFFIT	PT
(10-)	WOOD COLUMN WRAP	PT
(11-)	GUARDRAILS	PT
(12-)	HM DOOR & FRAME	PT
(13-)	GUTTER	PF
(14-)	ASPHALT SHINGLES	PF
(15-)	VINY. WINDOW	PF - WHITE
(16-)	DECK SURFACE	STAIN
(17-)	DECORATIVE BRACKET	PT
(18-)	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT,
FLASHING & CORNER TRIM COLOR.SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01
FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

EXTERIOR COLORS - BLDG 'D'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

(01-)	FC 4" LAP SIDING	PT
(02-)	FC 6" DUTCHLAP SIDING	PT
(03-)	FC BOARD & BATTEN SIDING	PT
(04-)	FC PANEL SIDING	PT
(05-)	FC WINDOW & DOOR TRIM	PT
(06-)	BELLY BANDS	PT
(07-)	FASCIA	PT
(08-)	SOFFIT	PT
(09-)	FC TRIM UNDER SOFFIT	PT
(10-)	WOOD COLUMN WRAP	PT
(11-)	GUARDRAILS	PT
(12-)	HM DOOR & FRAME	PT
(13-)	GUTTER	PF
(14-)	ASPHALT SHINGLES	PF
(15-)	VINY. WINDOW	PF - WHITE
(16-)	DECK SURFACE	STAIN
(17-)	DECORATIVE BRACKET	PT
(18-)	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT,
FLASHING & CORNER TRIM COLOR.SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01
FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

EXTERIOR COLORS - BLDG 'E'

FINISH SCHEDULE

(PT = PAINT; PF = PRE-FINISHED)

(01-)	FC 4" LAP SIDING	PT
(02-)	FC 6" DUTCHLAP SIDING	PT
(03-)	FC BOARD & BATTEN SIDING	PT
(04-)	FC PANEL SIDING	PT
(05-)	FC WINDOW & DOOR TRIM	PT
(06-)	BELLY BANDS	PT
(07-)	FASCIA	PT
(08-)	SOFFIT	PT
(09-)	FC TRIM UNDER SOFFIT	PT
(10-)	WOOD COLUMN WRAP	PT
(11-)	GUARDRAILS	PT
(12-)	HM DOOR & FRAME	PT
(13-)	GUTTER	PF
(14-)	ASPHALT SHINGLES	PF
(15-)	VINY. WINDOW	PF - WHITE
(16-)	DECK SURFACE	STAIN
(17-)	DECORATIVE BRACKET	PT
(18-)	LATTICE BARRIER	PT

SEE FINISH SCHEDULE NOTES FOR DOWNSPOUT,
FLASHING & CORNER TRIM COLOR.SEE SHEET A7.06 FOR COLOR PALETTES AND SEE SHEET A1.01
FOR BUILDING LOCATIONS THROUGHOUT THE PROPERTY.

COLOR SCHEDULE - BLDGS 'A' & 'C'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-2: "GRENADIER POND"
C	PT-3: "DARTMOUTH GREEN"
D	PT-7: "TROUT GRAY"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

COLOR SCHEDULE - BLDG 'B'

A	PT-1: "BRUNSWICK BEIGE"
B	PT-4: "LABRADOR BLUE"
C	PT-5: "STILLWATER"
D	PT-6: "DAVENPORT TAN"
E	PT-8: "MOHAIR"
F	ROOF-1: "STORM GREY"
G	PF-1: AEP SPAN "COOL PARCHMENT"

FINISH SCHEDULE NOTES

1. SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
2. PAINT METAL FLASHING SAME COLOR AS ADJACENT FIELD COLOR.
3. PRE-FINISHED SHEET METAL TO MATCH AEP SPAN "VERIFY COLOR"
4. PAINT DOWNSPOUTS SAME COLOR AS ADJACENT FIELD COLOR.
5. PAINT CORNER TRIM SAME COLOR AS ADJACENT FIELD COLOR.

BUILDING ELEVATION NOTES:

1. SEE DETAIL 1/A9.03 FOR TYPICAL OUTSIDE CORNER TRIM.
2. SEE DETAIL 2/A9.03 FOR TYPICAL INSIDE CORNER TRIM.
3. SEE DETAIL 3/A9.03 FOR TYPICAL FIXTURE MOUNTING BLOCK. (HOSE, BIBBS, LIGHTS, CONDUITS, ETC.)
4. SEE DETAILS 4/A9.03 FOR TYPICAL SIDING TRANSITION.
5. SEE DETAIL 7/A9.03 FOR FLASHING AT LAP SIDING.
6. SEE DETAIL 3/A9.03 FOR TYPICAL HORIZONTAL PANEL JOINT.
7. SEE DETAIL 6/A9.03 FOR LOWER KNEE BRACE CAP FLASHING.
8. SEE DETAIL 7/A4.04 FOR GUARDRAIL DETAIL.
9. SEE DETAILS 2, 3 & 5/A9.04 FOR UNIT COLUMN WRAPS.
10. SEE SHEET A5.01 FOR WINDOW SCHEDULE.
11. SEE DETAIL 9/A9.03 FOR TYPICAL DOWNSPOUT CONNECTION.
12. SEE DETAIL 1/A9.04 FOR TYPICAL FOOTING AT EXTERIOR WALL.
13. SEE DETAILS 10 & 11/A9.03 FOR PIPE FLASHING SEQUENCE.
14. SEE DETAIL 12/A9.03 FOR VENT FLASHING.
15. SEE DETAILS 10, 11 & 12/A9.04 FOR METER BOX HOOD.

FINISH SCHEDULE NOTES

1. SIDING AND TRIM SHOWN ON ELEVATIONS SHALL BE CONTINUED AROUND CORNERS ON TO WALLS NOT SHOWN AND BE INSTALLED TO WALL BEYOND.
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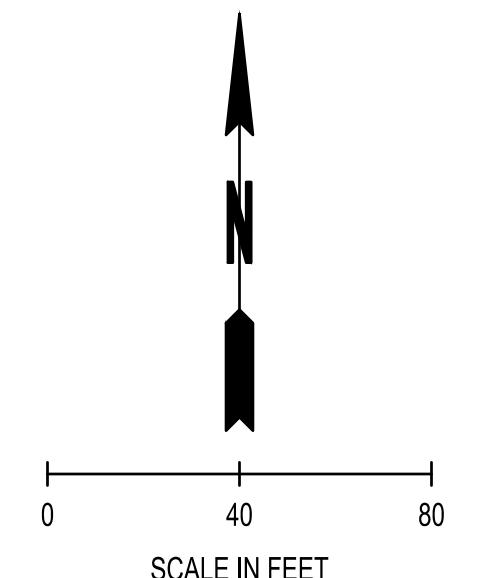
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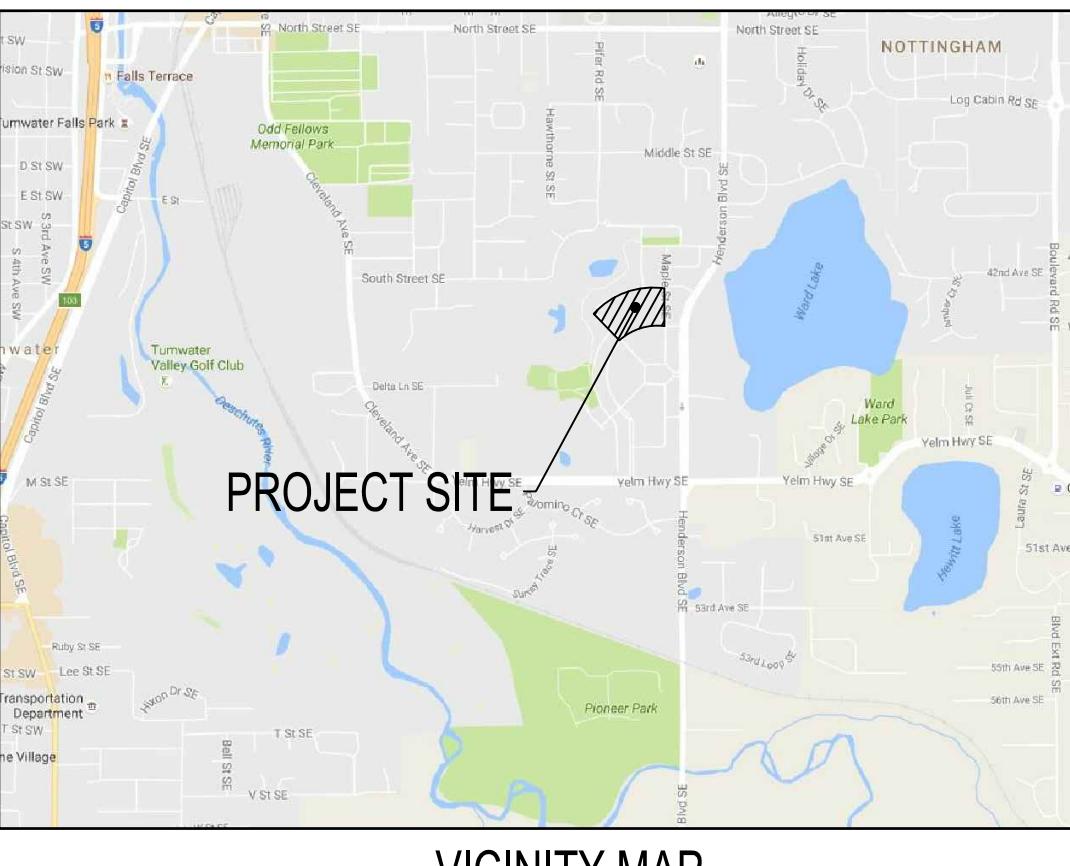
SEC. 36, T18N., R2W., W.M.

BRIGGS NORTH MULTI FAMILY SITE
LAND USE APPLICATION PACKAGE

OLYMPIA, WASHINGTON
MARCH 2017



SHEET INDEX	
SHEET TITLE	SHEET DESCRIPTION
CV-01	COVER SHEET
EC-01	EROSION CONTROL PLAN
CG-01	GRADING PLAN
CG-02	GRADING PLAN
SD-01	DRAINAGE PLAN
SD-02	DRAINAGE PLAN
WT-01	WATER PLAN
SS-01	SEWER PLAN
IL-01	ILLUMINATION PLAN



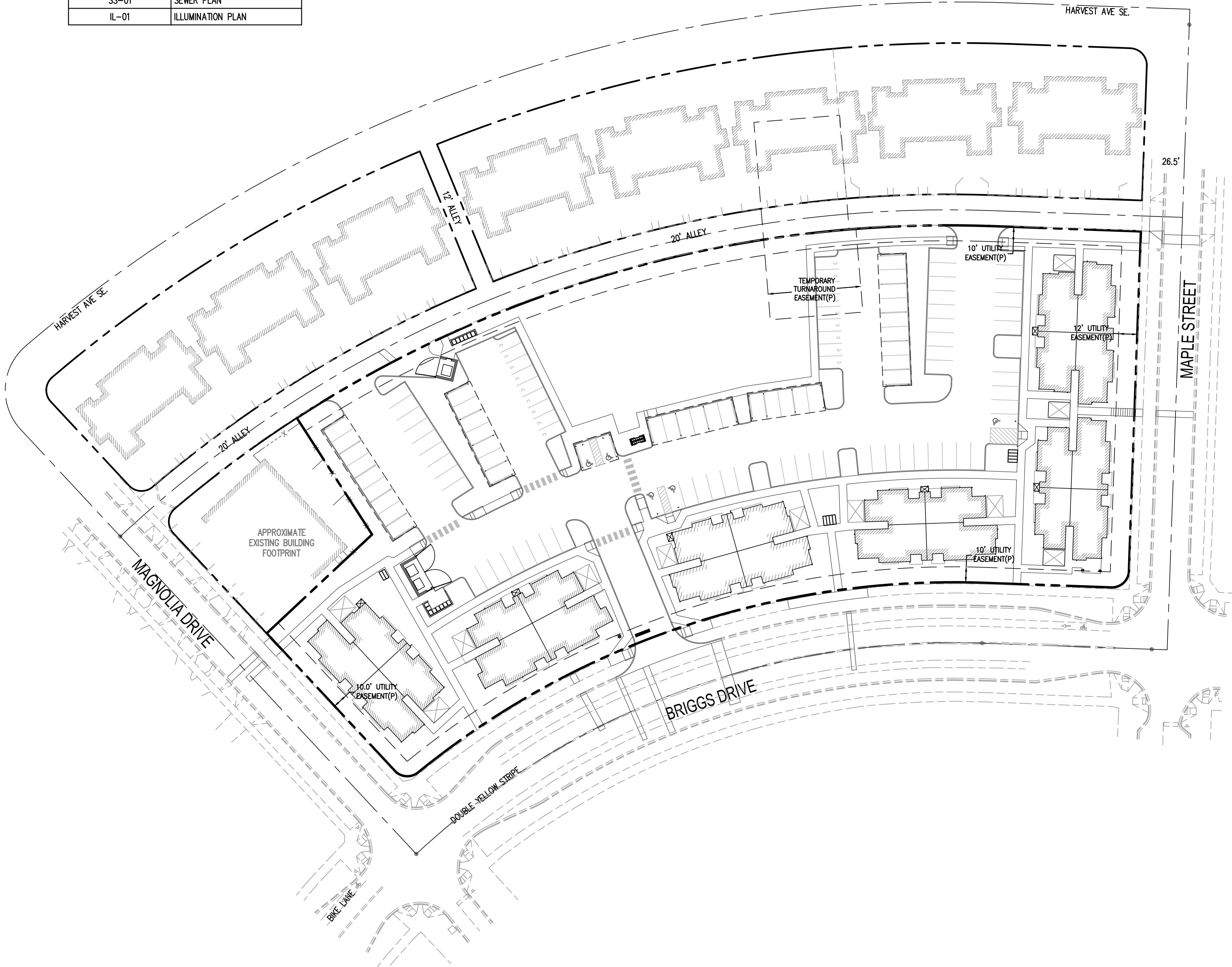
VICINITY MAP
NOT TO SCALE

SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516

P: 360-352-1465 F: 360-352-1509

SCJALLIANCE.COM



PROJECT DATA
OWNER/APPLICANT

PARCEL: 37030009200

APPLICANT:
BRIGGS VILLAGE APARTMENT HOMES, LLC.
2010 65TH AVE. W #100, I
FIRCREST, WA 98466

OWNER:
BRIGGS VILLAGE, LLC.
27200 AGOURA RD SUITE 201
CALABASAS, CA 91301-5124

SITE ADDRESS:
4255 MAPLE STREET SE
OLYMPIA, WA 98501

PROJECT REPRESENTATIVE

SCJ ALLIANCE
8730 TALLON LANE NE, SUITE 200
LACEY, WA 98516
PH: (360) 352-1465
CONTACT: TYRELL BRADLEY, PE

SITE DATA

UNIT TYPES

18 - 1 BED / 1 BATH
18 - 2 BED / 1 BATH
24 - 2 BED / 2 BATH
12 - 3 BED / 2 BATH
3 STORY BUILDINGS

SITE AREA: 126,241 S.F. W/ PARK
108,392 S.F. W/O PARK

BUILDING COVERAGE ALLOWED: 50%
BUILDING AREA SHOWN: 21,445 S.F.

PARK GREEN SPACE: 17,849 S.F.

IMPERVIOUS AREA ALLOWED: 70%
70% OF 126,241 S.F. = 88,369 S.F.

BUILDING AREA SHOWN: 21,445 S.F.
PAVING AREA SHOWN: 43,025 S.F.
SIDEWALK AREA SHOWN: 12,935 S.F.
TOTAL IMPERVIOUS: 77,405 S.F.

PARKING REQ'D: 1.5 STALLS PER UNIT
72 UNITS X 1.5 = 108 STALLS REQ'D
PARKING SHOWN: 114 STALLS TOTAL

5 ACCESSIBLE STALLS
91 STANDARD STALLS
18 COMPACT STALLS

30% COMPACT ALLOWED
15% COMPACT SHOWN

BUILDING HT. ALLOWED: 35'-0"

FRONT SETBACK: 10'-0"
REAR SETBACK: 15'-0"
SIDE SETBACK: 10'-0"

VERTICAL DATUM

NAD83(91) DATUM WAS ESTABLISHED USING CITY OF
OLYMPIA BENCHMARK NO. 1331, FOUND 2.5" BRASS DISC LOCATED
ON TOP OF CURB AT SOUTH END OF RETURN IN THE SOUTHEAST
QUADRANT OF THE INTERSECTION OF HENDERSON BOULEVARD AND
MIDDLE STREET.
ELEVATION= 193.24 FEET

BASIS OF BEARING:

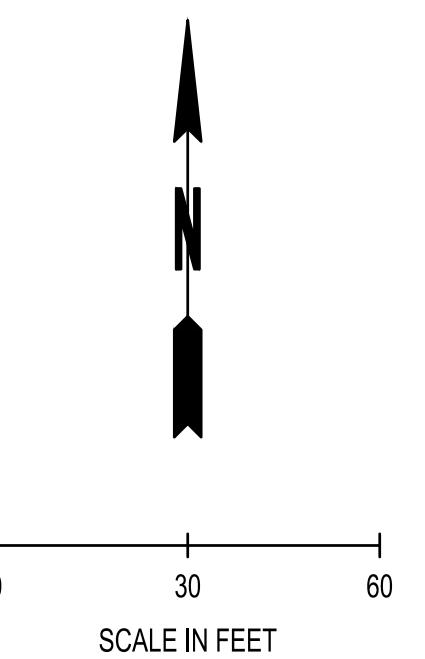
NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S
8755'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE
SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM
WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS
SHOWN HEREON.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION
AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL
VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING
THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF
48 HOURS PRIOR TO ANY EXCAVATION.

SEAL:	
DESIGNER:	M. DOBBS
DRAWN BY:	M. DOBBS
APPROVED BY:	T. BRADLEY
DATE:	MARCH, 2017
JOB NO:	2358.01
DRAWING FILE NO:	2358.01 CV-01
DRAWING NO:	CV-01
SHEET NO:	1 OF 9

SEC. 36, T18N., R2W., W.M.



SCALE IN FEET

LEGEND:

- REVISIONS
- DATE BY
- DATE BY
- EXISTING ASPHALT/CONCRETE/SIDEWALK/CURB AND BASE TO BE REMOVED
- STABILIZED CONSTRUCTION ENTRANCE
- STORM DRAIN INLET PROTECTION
- SEDIMENT TRAP
- SILT FENCE
- EXISTING TREES
- EXISTING TREE TO BE REMOVED
- SAWCUT

DEMOLITION NOTES:

1. REMOVE EXISTING TREE
2. EXISTING LIGHT POLE TO BE RELOCATED, SEE SHEET IL-01
3. SAWCUT (TYP.)
4. PROTECT EXISTING FENCE DURING CONSTRUCTION
5. PROTECT EXISTING HEAT PUMP
6. REMOVE QUARRY SPALLS AND FILTER FABRIC
7. REMOVE 10' OF EXISTING 8" SEWER LINE
8. REMOVE 21' OF EXISTING 8" WATER MAIN

EROSION CONTROL NOTES:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE PER CITY OF OLYMPIA STD. DETAIL ON SHEET EC-02
2. INSTALL STORM DRAIN INLET PROTECTION PER CITY OF OLYMPIA STD. DETAIL ON SHEET EC-02
3. INSTALL SILT FENCE PER CITY OF OLYMPIA STD. DETAIL ON SHEET EC-02
4. CONSTRUCT TEMPORARY SEDIMENT POND PER CITY OF OLYMPIA BMP C241

SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCJALLIANCE.COM

PROJECT NAME: EROSION CONTROL AND DEMOLITION PLAN

SHEET TITLE:

SEAL:



DESIGNER:

M. DOBBS

DRAWN BY:

M. DOBBS

APPROVED BY:

T. BRADLEY

DATE:

MARCH, 2017

JOB NO:

2358.01

DRAWING FILE NO:

2358.01 EC-01

DRAWING NO:

EC-01

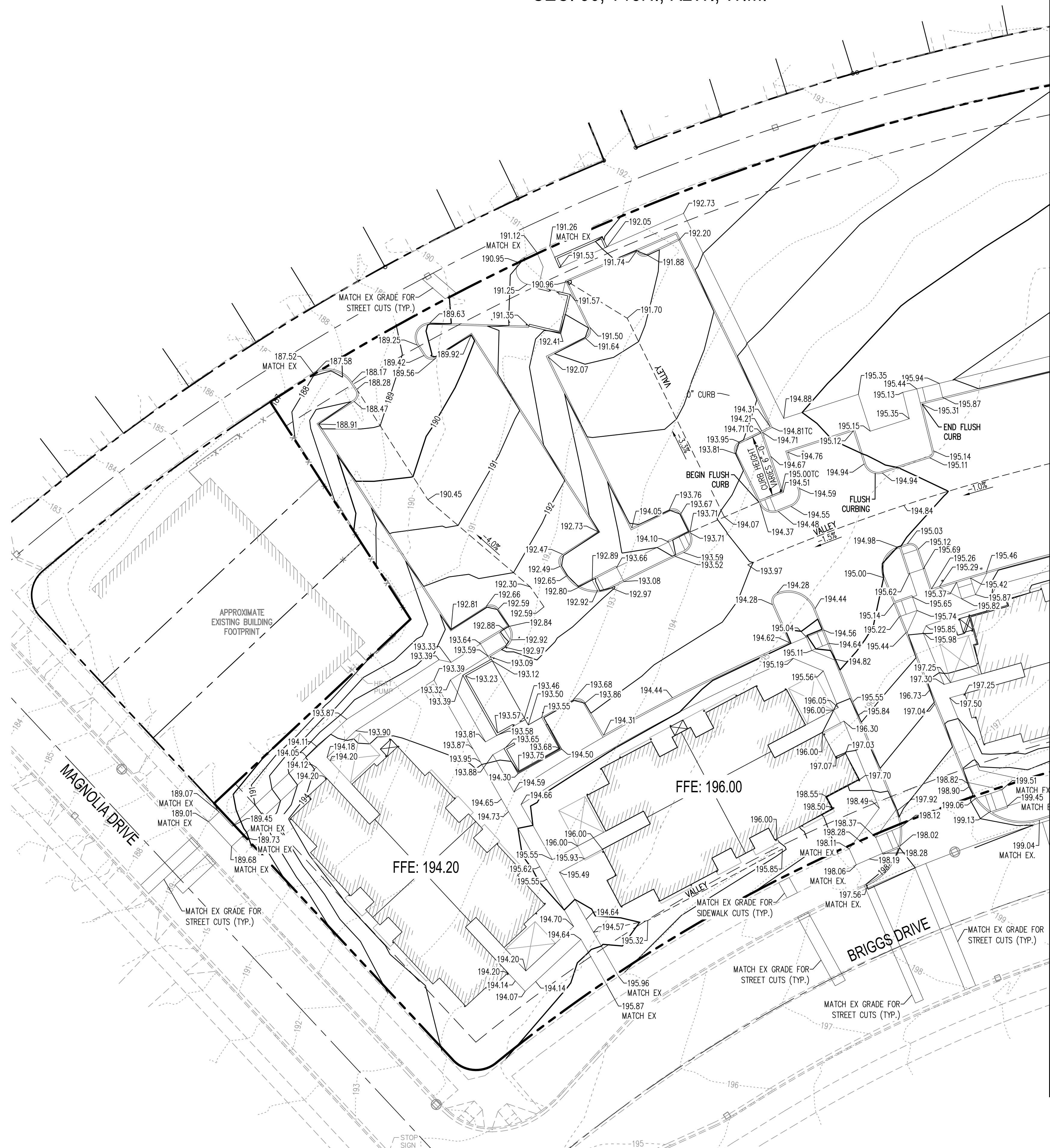
SHEET NO:

2 OF 9

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

SEC. 36, T18N., R2W., W.M.



SCJ ALLIANCE		CONSULTING SERVICES	
8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516 P: 360-352-1465 F: 360-352-1509 SCJALLIANCE.COM			
PROJECT NAME: BRIGGS NORTH MULTI FAMILY SITE CITY: OLYMPIA, WASHINGTON		SHEET TITLE: GRADING PLAN	
SEAL:		REVISIONS:	
DATE:		DATE BY:	
APPROVED BY:		DRAWN BY:	
DESIGNER: M. DOBBS		DRAWN BY: M. DOBBS	
APPROVED BY: T. BRADLEY		DRAWN BY: T. BRADLEY	
DATE: MARCH, 2017		DATE: MARCH, 2017	
JOB NO: 2358.01		JOB NO: 2358.01	
DRAWING FILE NO: 2358.01 CG-01		DRAWING FILE NO: 2358.01 CG-01	
DRAWING NO: CG-01		DRAWING NO: CG-01	
SHEET NO: 3 OF 9			

GENERAL NOTES:

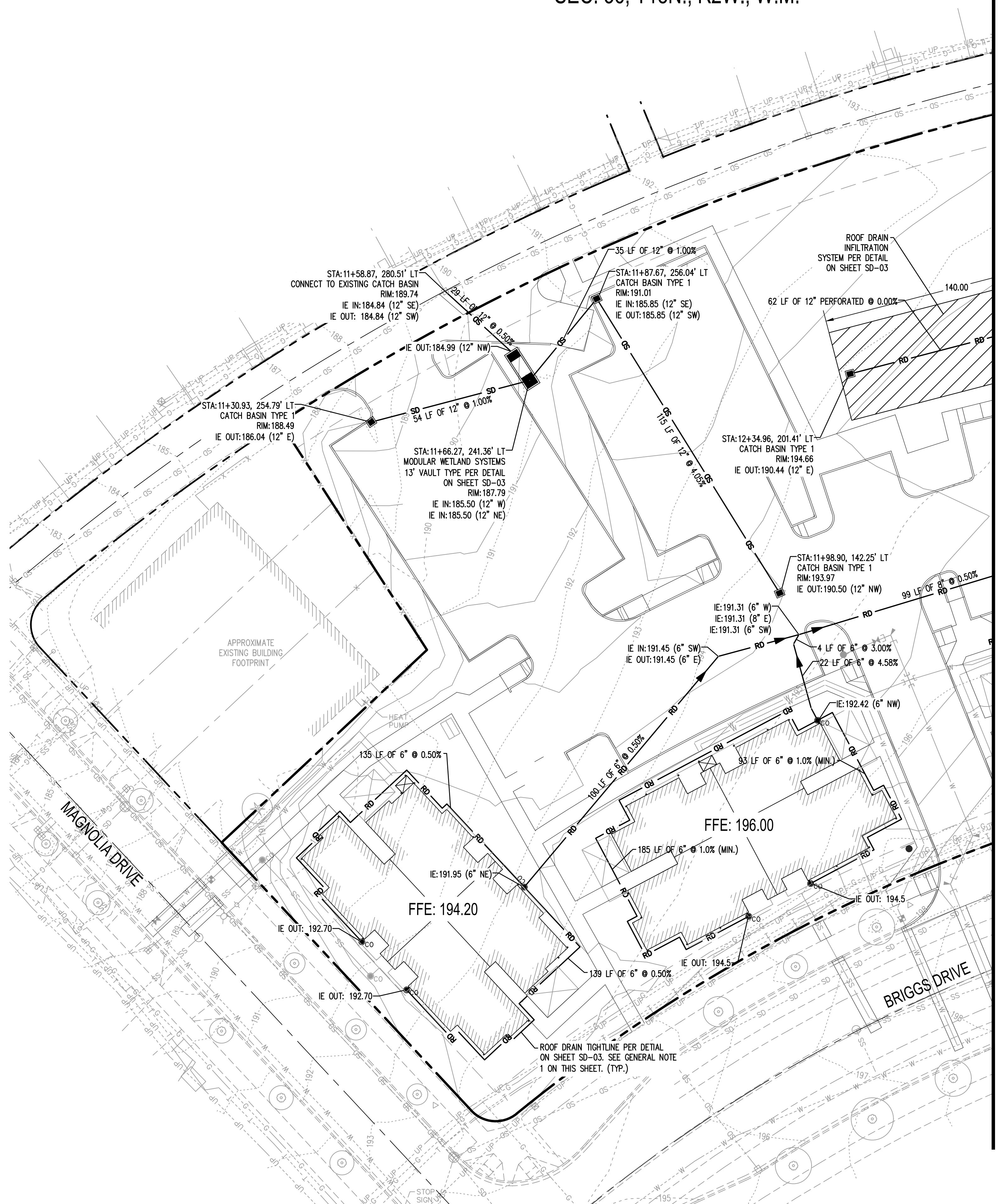
1. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDINGS AT ALL TIMES.
2. SPOT ELEVATIONS REPRESENT FINISHED GRADE AT FLOW LINE UNLESS OTHERWISE NOTED.
3. ALL LANDSCAPE AREAS SHALL BE STABALIZED.
4. THE CONTRACTOR SHALL CONTACT SCJ ALLIANCE TWO (2) DAYS IN ADVANCE OF POURING THE CONCRETE FOR THE ADA RAMPS IN ORDER TO INSPECT THE FORM WORK.
5. ALL CATCH SLOPES ARE 3:1 UNLESS NOTED OTHERWISE
6. ALL SIDEWALKS SHALL SLOPE TOWARDS PARKING LOT AND STREET AT 1.5% SLOPE UNLESS NOTED OTHERWISE

VERTICAL DATUM
NAD83(91) DATUM WAS ESTABLISHED USING CITY OF OLYMPIA BENCHMARK NO. 1331. FOUND 2.5" BRASS DISC LOCATED ON TOP OF CURB AT SOUTH END OF RETURN IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF HENDERSON BOULEVARD AND MIDDLE STREET.
ELEVATION= 193.24 FEET

BASIS OF BEARING:
NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°55'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

CALL BEFORE YOU DIG
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SEC. 36, T18N., R2W., W.M.



MATCH LINE - SEE SHEET PV-02

GEND:

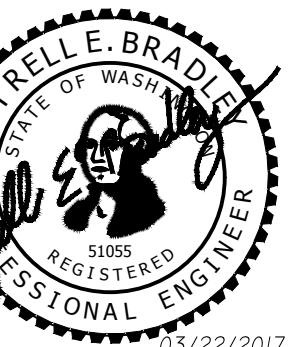
— — — — —	PROPERTY LINE
- - - - -	EXISTING MAJOR CONTOUR
- - - - -	EXISTING MINOR CONTOUR
- - - - -	PROPOSED MAJOR CONTOUR
- - - - -	PROPOSED MINOR CONTOUR
— — — SD — — —	STORM DRAIN PIPE (ADS N-12 UNLESS NOTED OTHERWISE)
— — — RD — — —	6" D3034 SDR 35 ROOF DRAIN PIPE, UNLESS OTHERWISE NOTED
<input type="checkbox"/>	CATCH BASIN TYPE 1 PER WSDOT STD. PLAN B-5.20.01 WITH VANCED GRATE UNLESS NOTED OTHERWISE
○ CO	STORM DRAIN CLEANOUT, SEE DETAIL ON SHEET SD-03

GENERAL NOTES:

- INSTALL ROOF DRAIN TIGHTLINE PER DETAIL ON SHEET SD-03. CONTRACTOR SHALL COORDINATE DOWNSPOUT LOCATIONS AND CONNECTIONS WITH BUILDING PLANS. MAINTAIN MIN SLOPE OF 1% ON ROOF DRAIN TIGHTLINE UNLESS OTHERWISE NOTED, INSTALL CLEANOUTS ON THE BUILDING CORNERS AS REQUIRED. MAINTAIN 1 FOOT MIN. COVER OVER ROOF DRAIN PIPE.
- TRENCH RESTORATION PER CITY OF OLYMPIA STD. DWG. NO. 4-8

RIGGS NORTH MULTI FAMILY SITE OLYMPIA, WASHINGTON

PROJECT NAME



05/22

. DOBBS

BY:

DOBBS

WED BY.
BRADLEY

DATA SHEET

ARCH, 2017

252-01

358.01

FILE NO.
358.01 SD-01

NG NO:

SD-01

NO: 5 of 9

5 OF 5

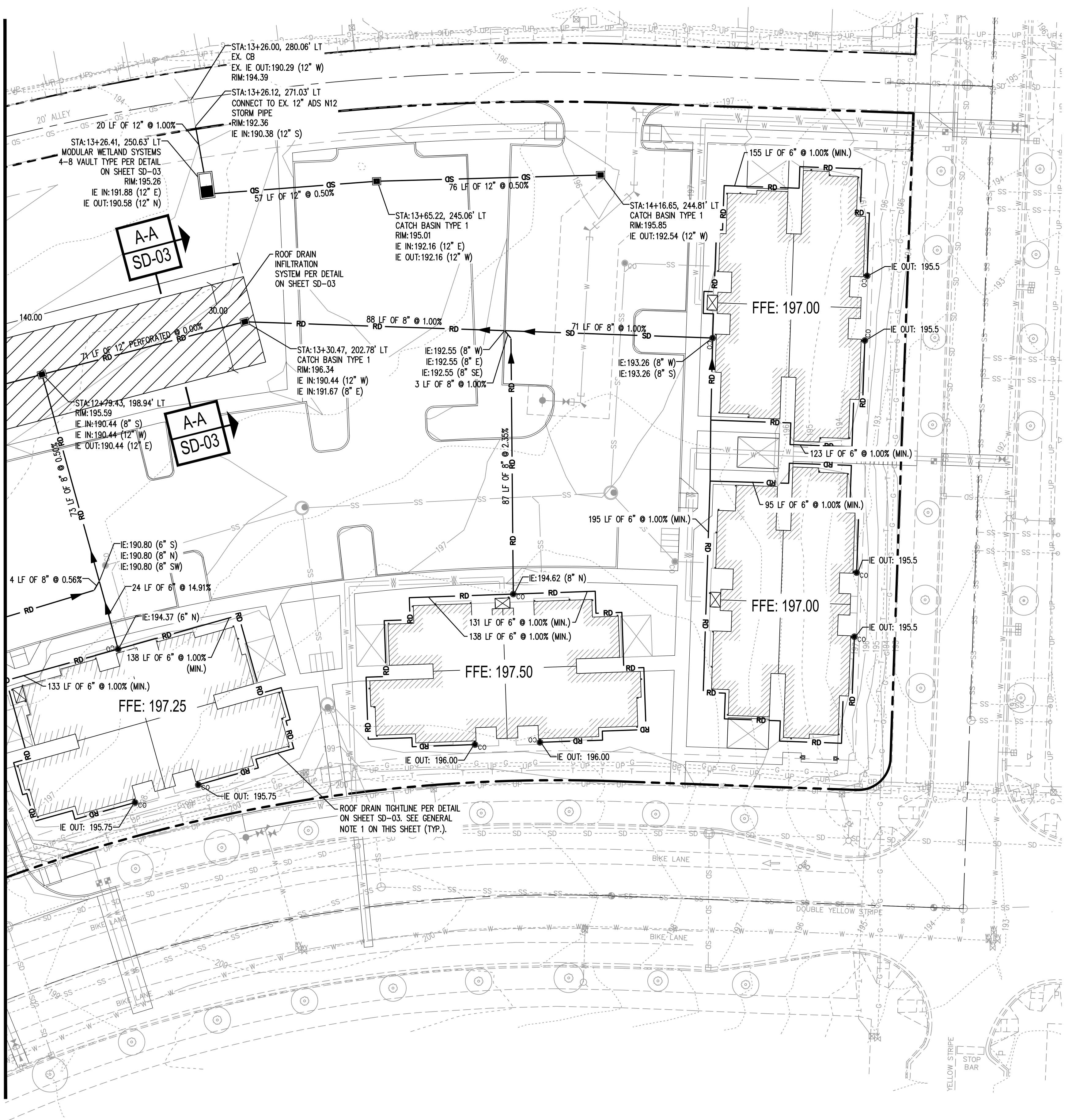
CALL BEFORE YOU DIG

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SEC. 36, T18N., R2W., W.M.

Mar 21, 2017 8:22:15am – User Tyrell.Bradley

MATCH LINE - SEE SHEET CG-01



SCALE IN FEET

ND:

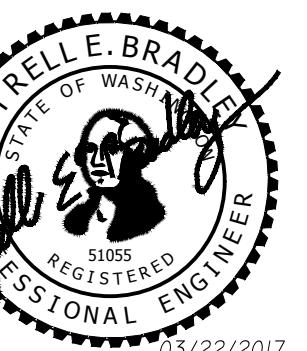
— — — — —	PROPERTY LINE
-- XX -----	EXISTING MAJOR CONTOUR
-- XX -----	EXISTING MINOR CONTOUR
-- XX -----	PROPOSED MAJOR CONTOUR
-- XX -----	PROPOSED MINOR CONTOUR
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— RD —————	6" D3034 SDR 35 ROOF DRAIN PIPE, UNLESS OTHERWISE NOTED
<input type="checkbox"/>	CATCH BASIN TYPE 1 PER WSDOT STD. PLAN B-5.20.01 WITH VANCED GRATE UNLESS NOTED OTHERWISE
○ CO	STORM DRAIN CLEANOUT, SEE DETAIL ON SHEET SD-03

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TRENCH RESTORATION PER CITY OF OLYMPIA STD.
DWG. NO. 4-8

RIGGS NORTH MULTI FAMILY SITE OLYMPIA WASHINGTON



ER:
DOBBS
BY:
DOBBS
VED BY:
BRADLEY

ARCH, 2017
:
358.01
NG FILE NO:
358.01 SD-02
NG NO:
SD-02
NO:
6 OF 9

CALL BEFORE YOU DIG

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF HOURS PRIOR TO ANY EXCAVATION.

SEC. 36, T18N., R2W., W.M.

0 30 60
SCALE IN FEET

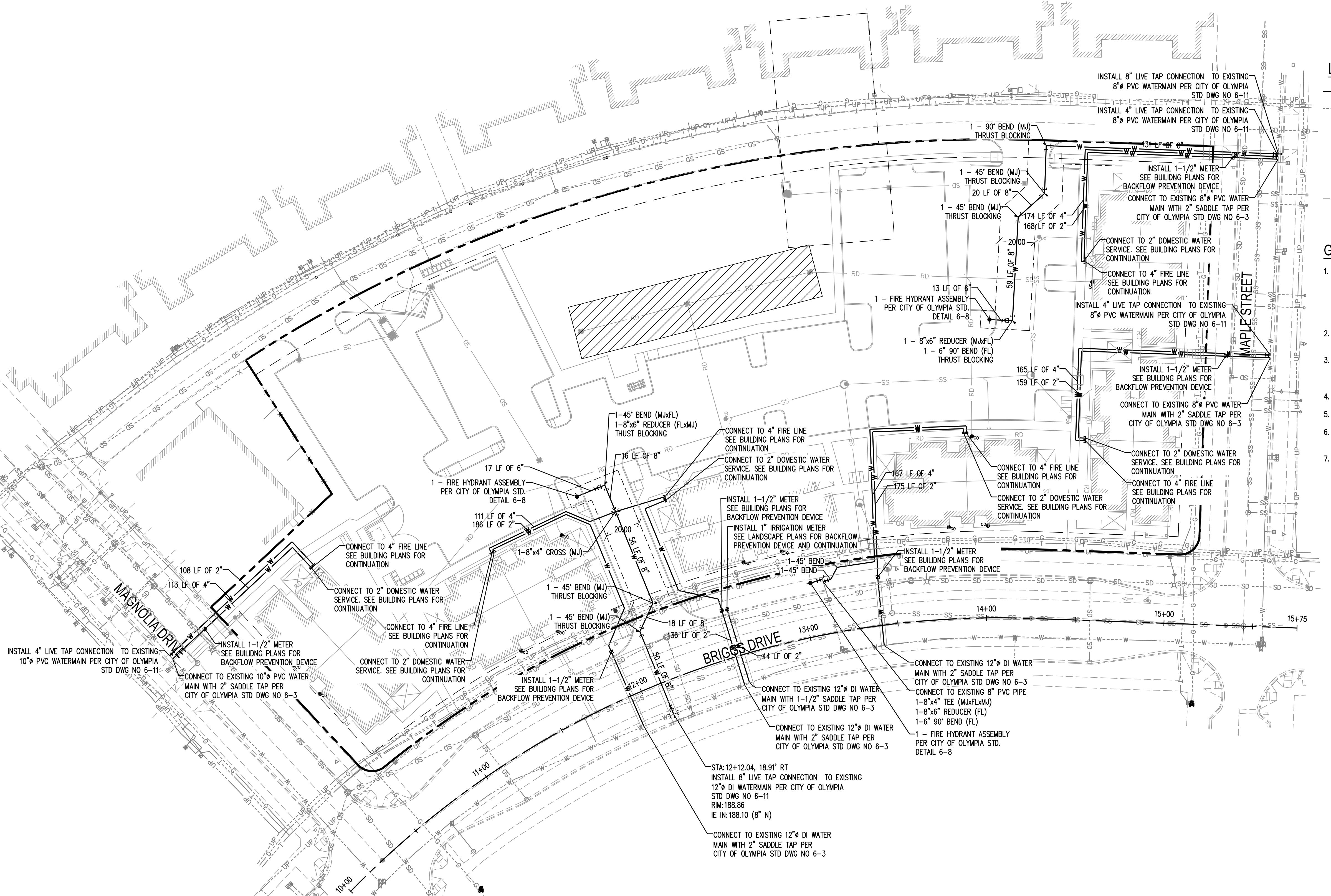
LEGEND:

WATER LINE (CLASS 50 DUCTILE IRON PIPE UNLESS NOTED OTHERWISE)
EXISTING WATER LINE
FITTING W/ THRUST BLOCKING
WATER METER
HYDRANT
GATE VALVE
EASEMENT

SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509

SCJALLIANCE.COM



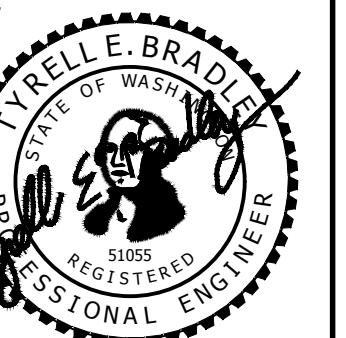
WATER PLAN

SHEET TITLE:

BRIGGS NORTH MULTI FAMILY SITE
OLYMPIA, WASHINGTON

PROJECT NAME:

SEAL:



DESIGNER:

M. DOBBS

DRAWN BY:

M. DOBBS

APPROVED BY:

T. BRADLEY

DATE:

MARCH, 2017

JOB NO:

2358.01

DRAWING FILE NO:

2358.01 WT-01

DRAWING NO:

WT-01

SHEET NO:

7 OF 9

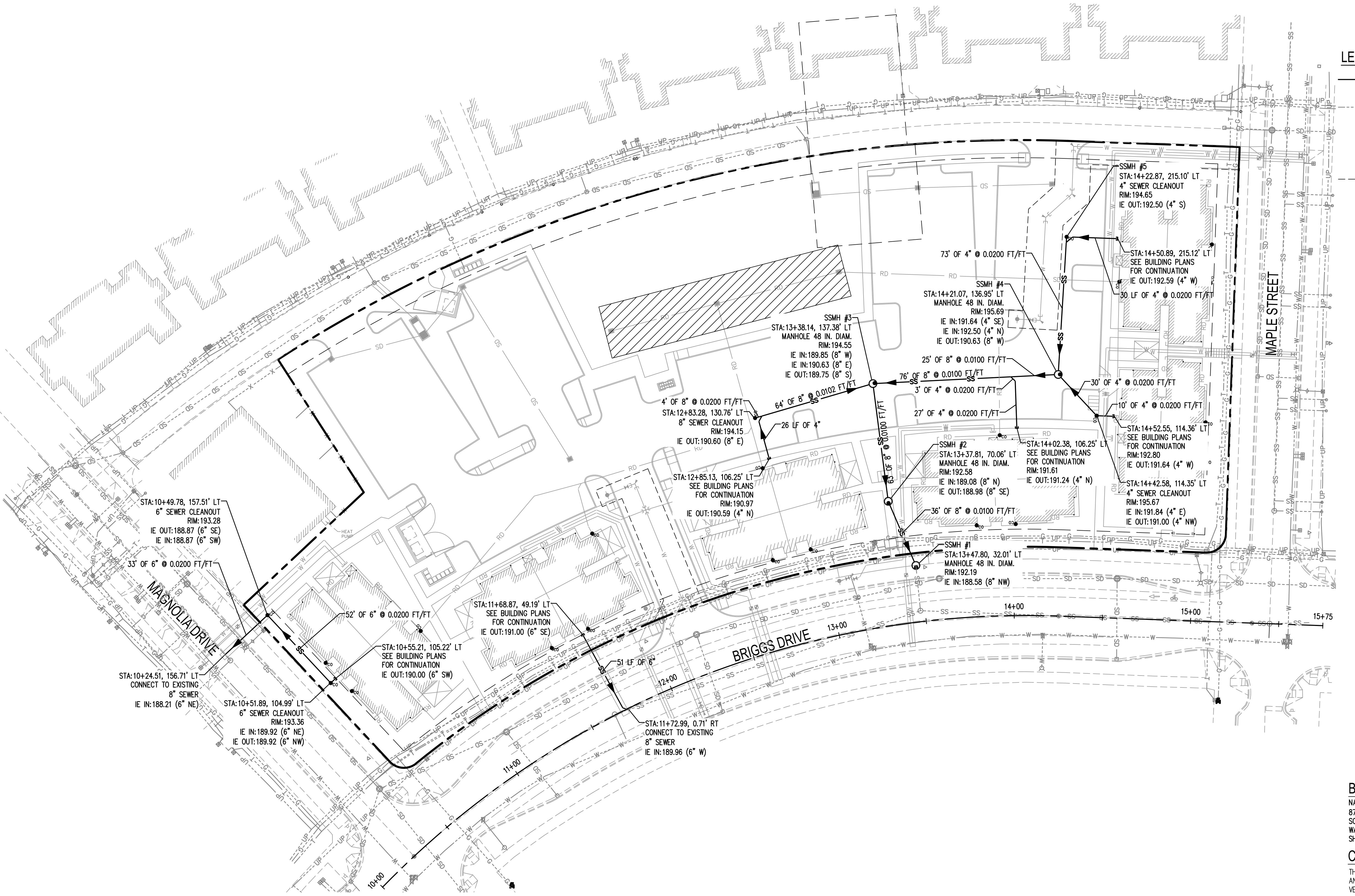
BASIS OF BEARING:

NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°55'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

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SEC. 36, T18N., R2W., W.M.



BASIS OF BEARING:

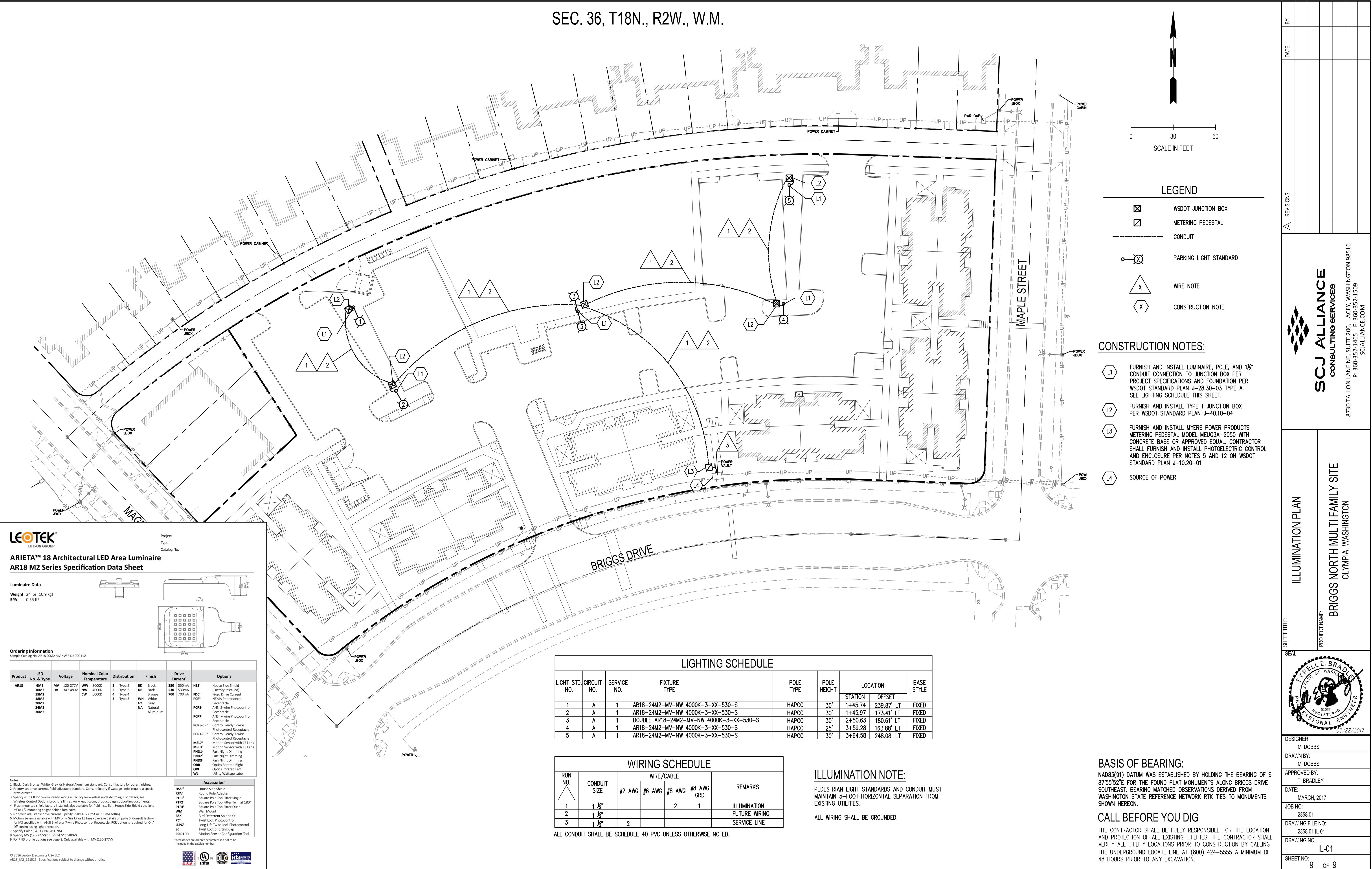
NAD83(91) DATUM WAS ESTABLISHED BY HOLDING THE BEARING OF S 87°55'52"E FOR THE FOUND PLAT MONUMENTS ALONG BRIGGS DRIVE SOUTHEAST. BEARING MATCHED OBSERVATIONS DERIVED FROM WASHINGTON STATE REFERENCE NETWORK RTK TIES TO MONUMENTS SHOWN HEREON.

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

DATE BY	
DATE	
REVISIONS	
△	
PROJECT NAME:	BRIGGS NORTH MULTI FAMILY SITE OLYMPIA, WASHINGTON
SEWER PLAN	
STREET TITLE:	
SEAL:	
DESIGNER:	M. DOBBS
DRAWN BY:	M. DOBBS
APPROVED BY:	T. BRADLEY
DATE:	MARCH, 2017
JOB NO:	2358.01
DRAWING FILE NO:	2358.01 SS-01
DRAWING NO:	SS-01
SHEET NO:	8 OF 9

SEC. 36, T18N., R2W., W.M.



TURNING MOVEMENTS EXHIBIT

