

VICINITY MAP



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BUILDING DEPARTMENT INFORMATION

PROJECT DESCRIPTION

246 S.F. ADDITION, INCLUDING TO EXISTING SINGLE FAMILY RESIDENCE. INCLUDES SITTING RM, LAUNDRY RM & 3/4 BATH.

PARCEL NUMBER

3850 060 0300

PROJECT ADDRESS

2417 Columbia St SW
Olympia, WA 98501

ZONING

R-6-12

AREAS

Existing House	1,114 s.f.
Addition	246 s.f.
Total	1,360 s.f.

ENERGY CODE

Additions less than 500 s.f.: 0.5 credits
Credit selected: High Efficiency HVAC Equipment 3b; 1 credit

BUILDING CODE

2015 International Residential code as amended by the State of Washington

PROJECT TEAM

OWNER

GINGER SANDAHL
2417 COLUMBIA ST. SW
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sandahl's@comcast.net

ARCHITECT

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STRUCTURAL ENGINEER

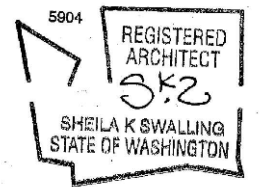
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An Addition to the
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DATE
05-07-20

PROJECT NO.
22003

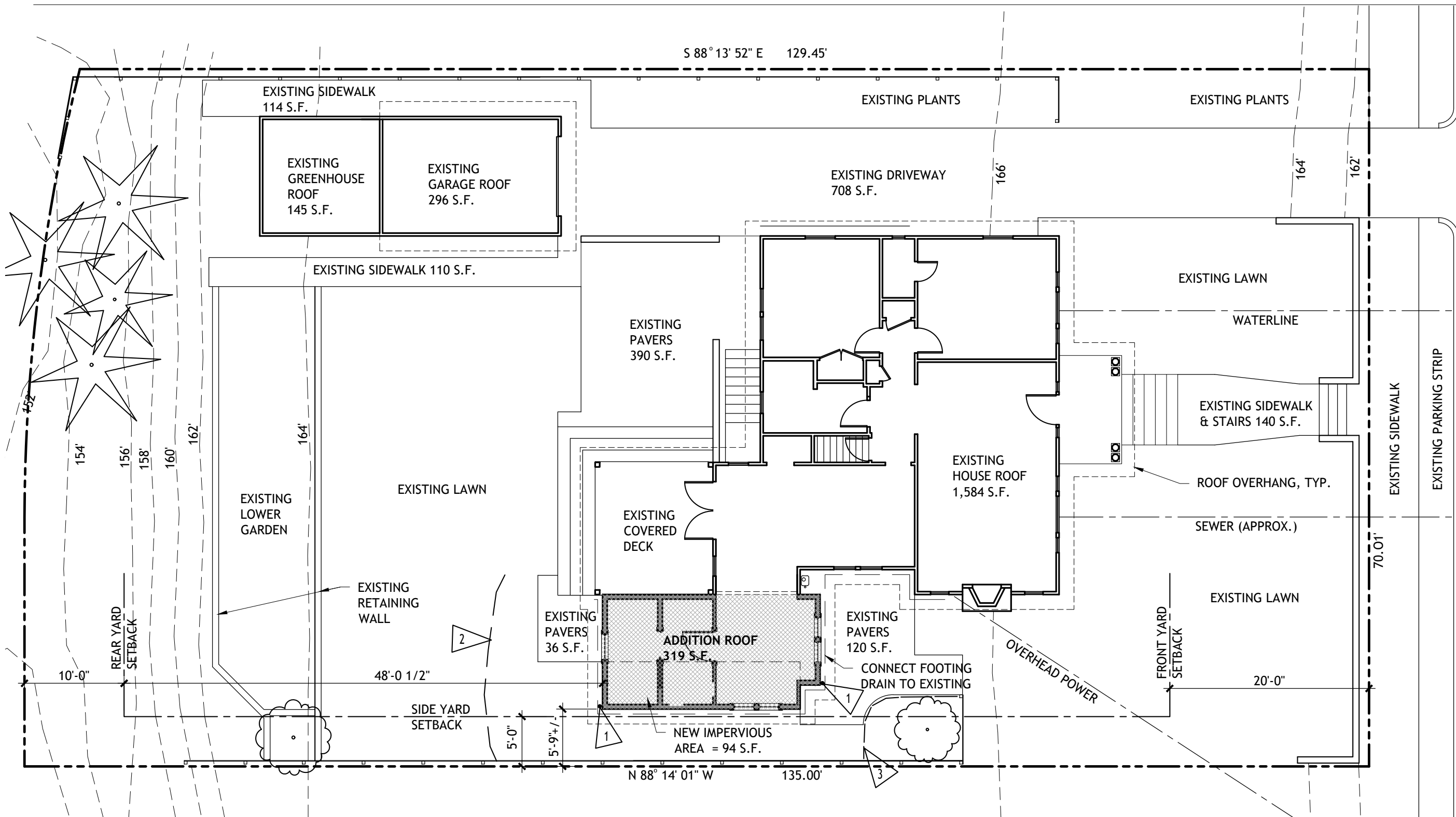
PERMIT SET

TITLE SHEET
VICINITY MAP

T1



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SITE PLAN



SITE PLAN

1" = 10'-0"

SITE PLAN FLAG NOTES

- 1 DOWNSPOUT & SPLASH BLOCK
- 2 EROSION CONTROL FENCE
- 3 TREE PROTECTION FENCE

PARCEL NO.: 3850 060 0300
SITE AREA: 0.215 ACRE OR 9,367 S.F.
NEW IMPERVIOUS SURFACE AREA: 94 S.F.
SOIL TYPE: INDIANOLA LOAMY SAND

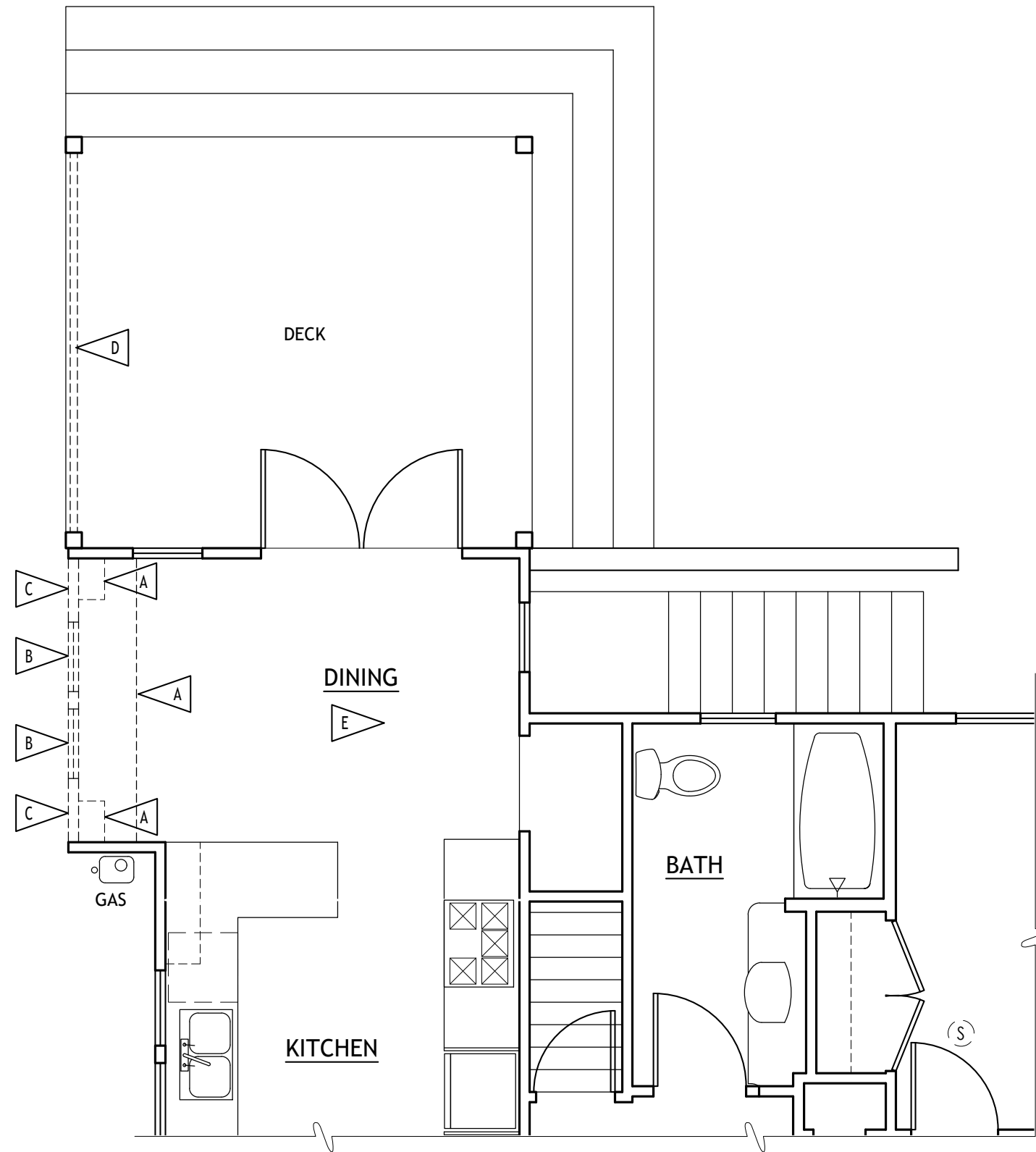
EXISTING ROOF @ HOUSE: 1,584
EXISTING ROOF @ GARAGE: 296
EXISTING ROOF @ GREENHOUSE: 145
ADDITION ROOF: 319
TOTAL ROOF AREA: 2,355 S.F.

DRIVEWAY: 708
SIDEWALKS, PATIOS & STAIRS: 910
TOTAL HARDSCAPE: 1,618 S.F.

IMPERVIOUS SURFACE ALLOWED: 55% (0.25 ACRES OR LESS)
IMPERVIOUS AREA W/ ADDITION: 2,355 + 1,618 = 3,973 S.F.
3,973 / 9,367 = 42% IMPERVIOUS; OK

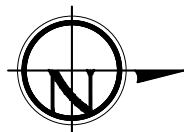
MAXIMUM BUILDING COVERAGE ALLOWED: 55%
BUILDING COVERAGE W/ ADDITION: 2,355 / 9,367 = 25%; OK

MAXIMUM HARD SURFACE ALLOWED: 65%
HARD SURFACE PROVIDED: 43%



DEMOLITION PLAN FLAG NOTES

- A** REMOVE CABINETRY AND COUNTERTOP AND RETAIN FOR REINSTALLATION
- B** REMOVE WINDOW & RETAIN FOR REINSTALLATION
- C** REMOVE WALL
- D** REMOVE RAILING
- E** REMOVE HARDWOOD FLOOR @ DINING



DEMOLITION FLOOR PLAN

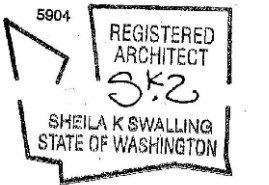
1/4"=1'-0"



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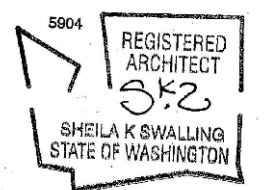
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DEMOLITION
PLAN

DI



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PARTIAL
MAIN FLOOR

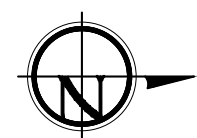
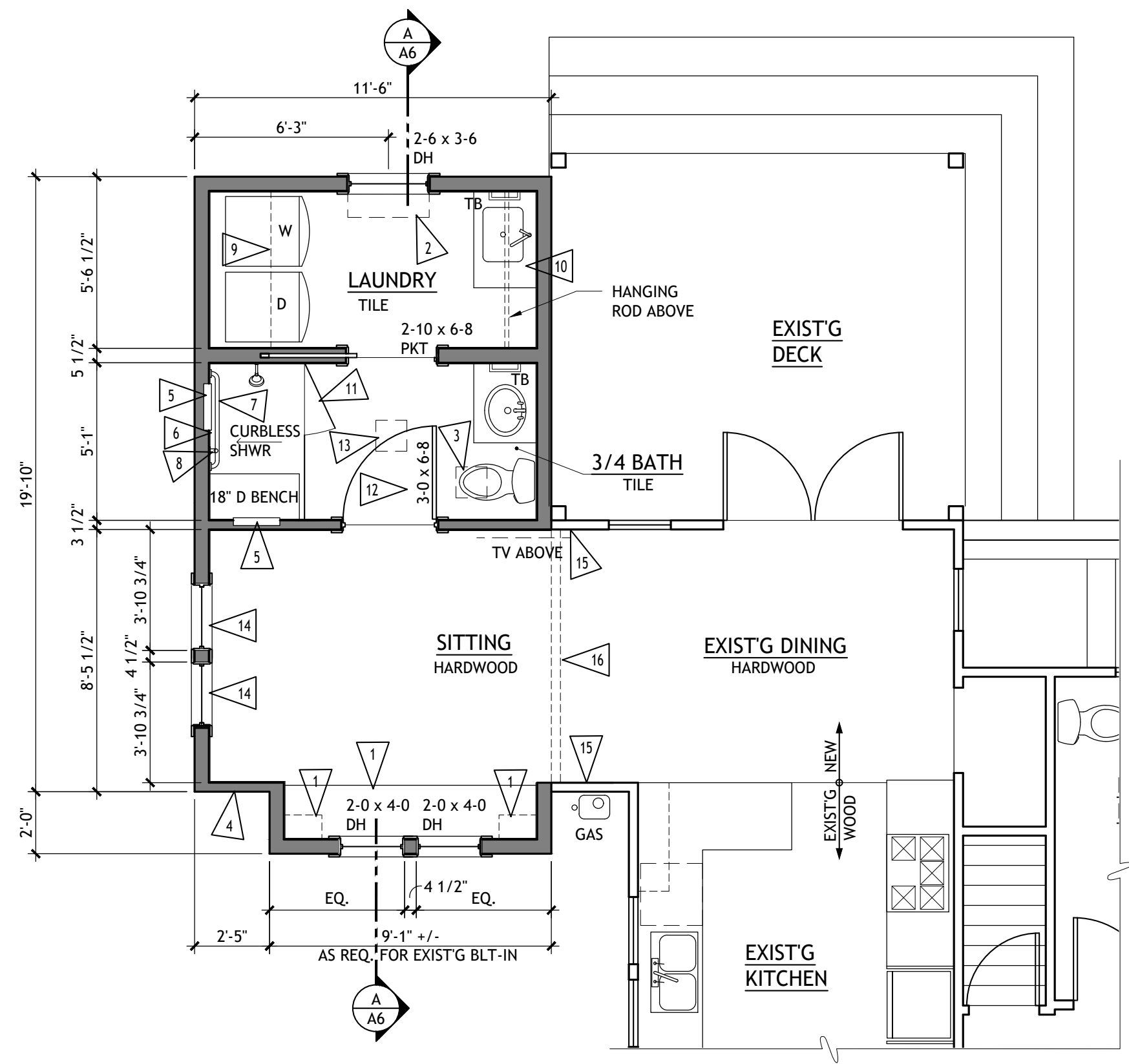


FLOOR PLAN FLAG NOTES

- 1 RELOCATED CASEWORK & COUNTERTOP
- 2 WALL MOUNTED DUCTLESS HVAC UNIT ABOVE WINDOW; MITSUBISHI MSZ-GL 12NA, MIN. HSPF OF 8.5 (AIR SOURCE HEAT PUMP ENERGY CREDIT 3b)
- 3 EXHAUST FAN ABOVE, 50 CFM MIN.
- 4 2 x 4 STUDS THIS EXTERIOR WALL ONLY, TO MATCH EXISTING. PROVIDE 3 1/2" RIGID INSUL (R-31)
- 5 RECESSED SHAMPOO SHELF. PROVIDE 3 1/2" RIGID INSUL BEHIND AT EXTERIOR WALL (R-21)
- 6 LINEAR FLOOR DRAIN BELOW. MODIFY FLOOR JOISTS PER FRAMING PLAN SHEET S1
- 7 GRAB BAR, 38" MIN. ABOVE FLOOR
- 8 HAND HELD SHOWER
- 9 24" D UPPER CABINETS
- 10 36" W BASE CABINET
- 11 28" W TEMPERED GLASS SHOWER DOOR
- 12 PROVIDE HEAT TAPE BENEATH TILE AT 3/4 BATH & SHOWER
- 13 SOLATUBE 160 ISn WITH SQUARE DIFFUSER
- 14 EXISTING WINDOW REINSTALLED
- 15 PATCH FINISHES TO MATCH EXISTING WHERE WALL & CABINET REMOVED
- 16 FORMER WALL LOCATION

FLOOR PLAN GENERAL NOTES

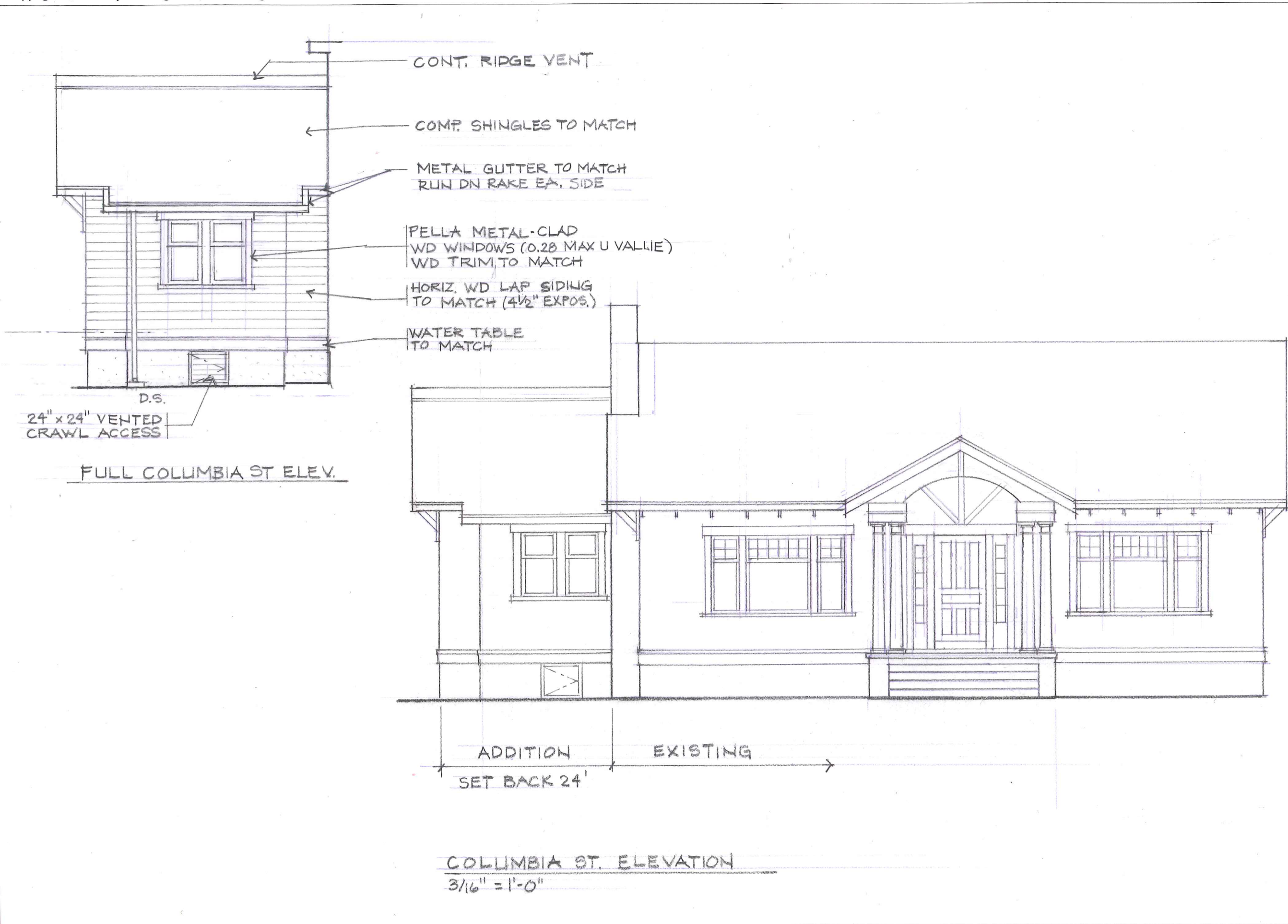
- 1. CRAWL SPACE VENTING: 1 S.F. FOR EA. 300 S.F. OF UNDER FLOOR AREA REQUIRED. AREA OF CRAWL = 246 S.F., 1 S.F. (144 S.I.) REQ.; 30 S.I. PROVIDED PER VENT, 144/30 = 4.8 VENTS REQ.; 5 VENTS PROVIDED



PARTIAL MAIN FLOOR PLAN

1/4"=1'-0"

246 SF ADDITION



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EXTERIOR
ELEVATIONS

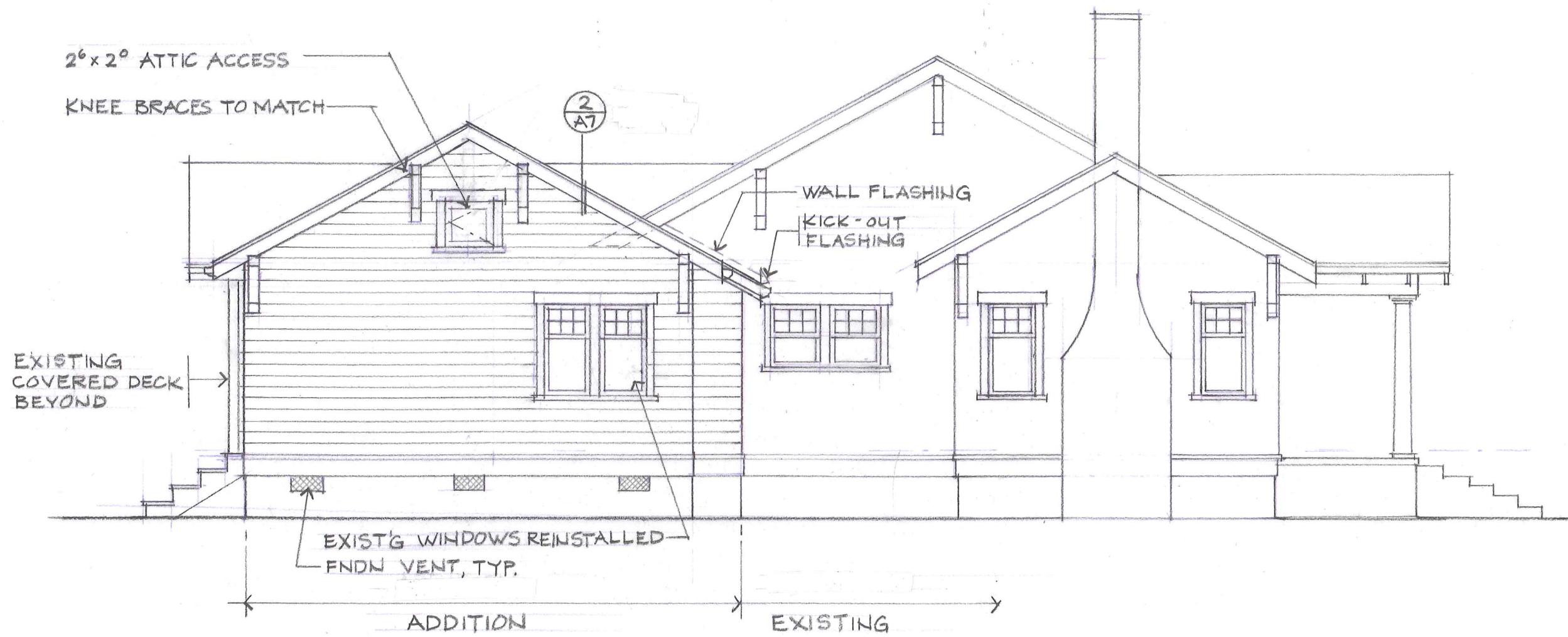
A3



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SOUTH ELEVATION
3/16" = 1'-0"

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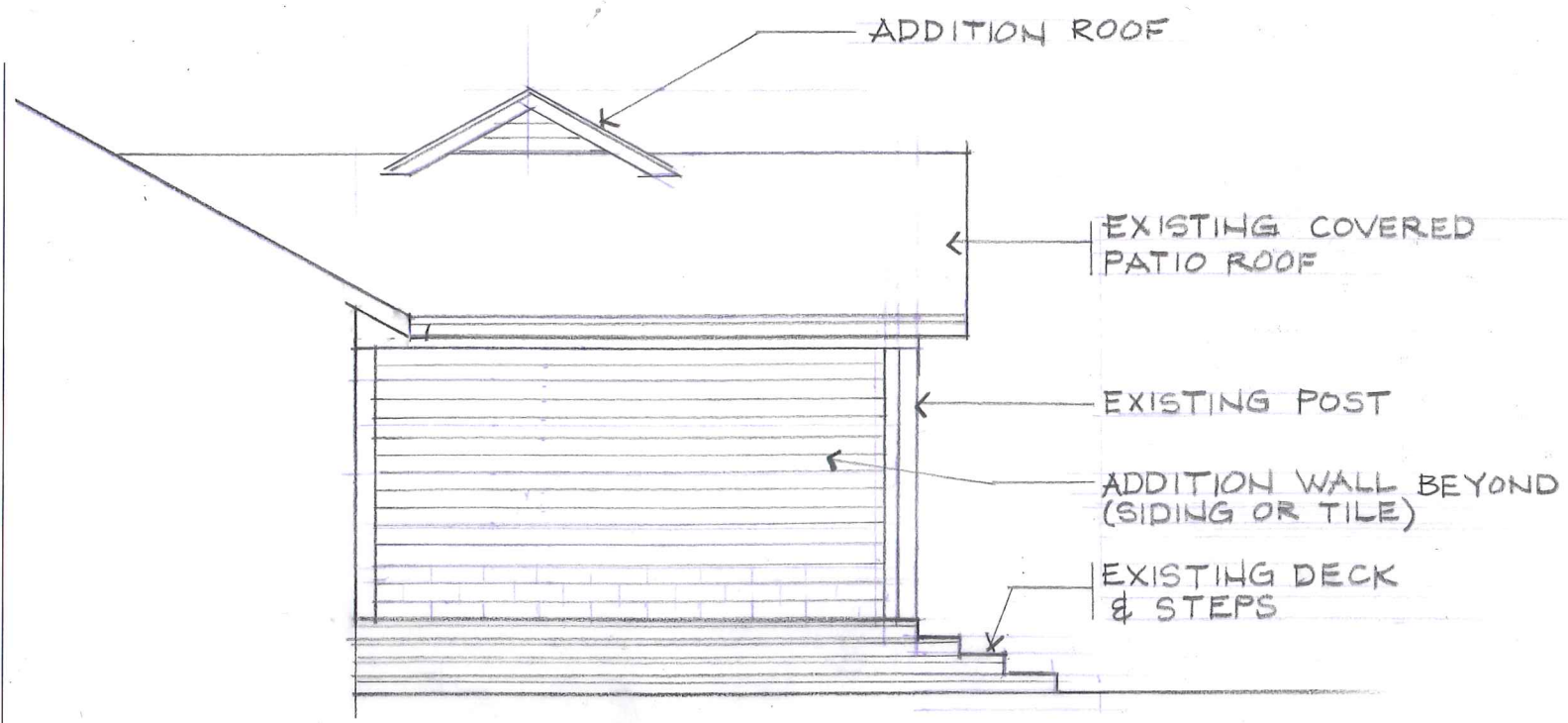
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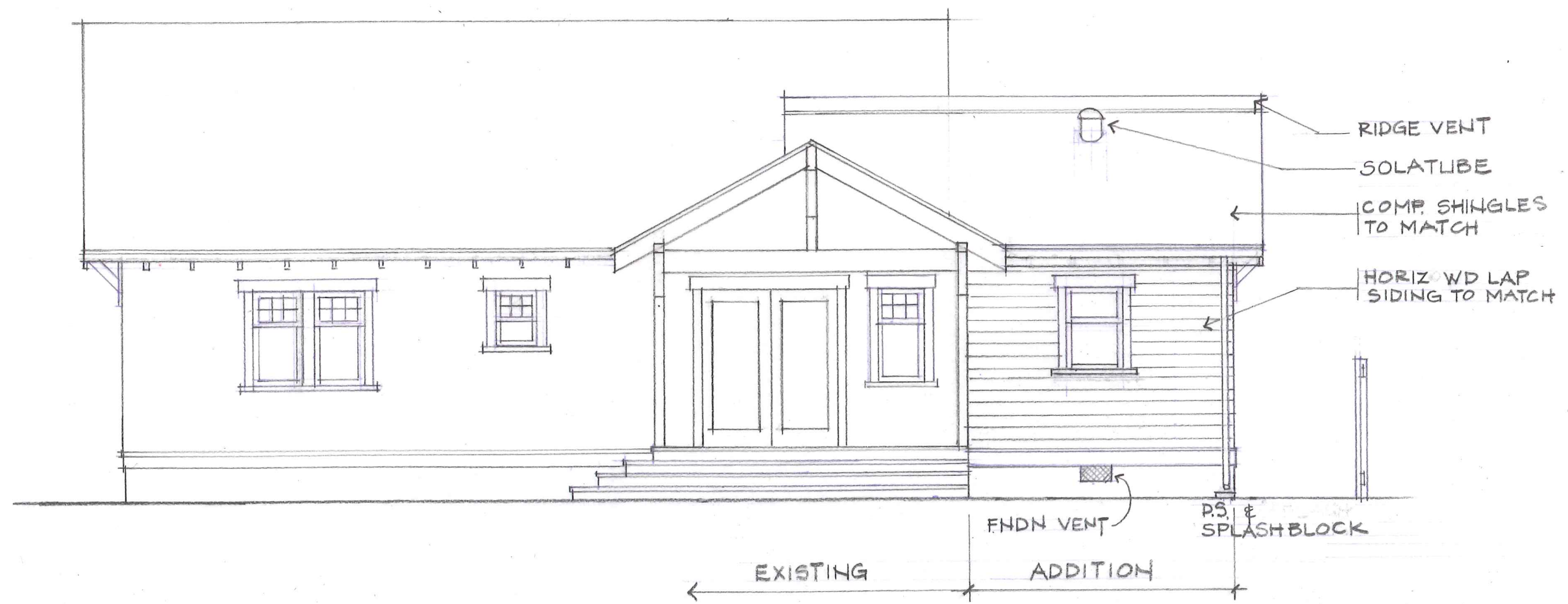
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EXTERIOR
ELEVATIONS

A4



NORTH ELEVATION
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"

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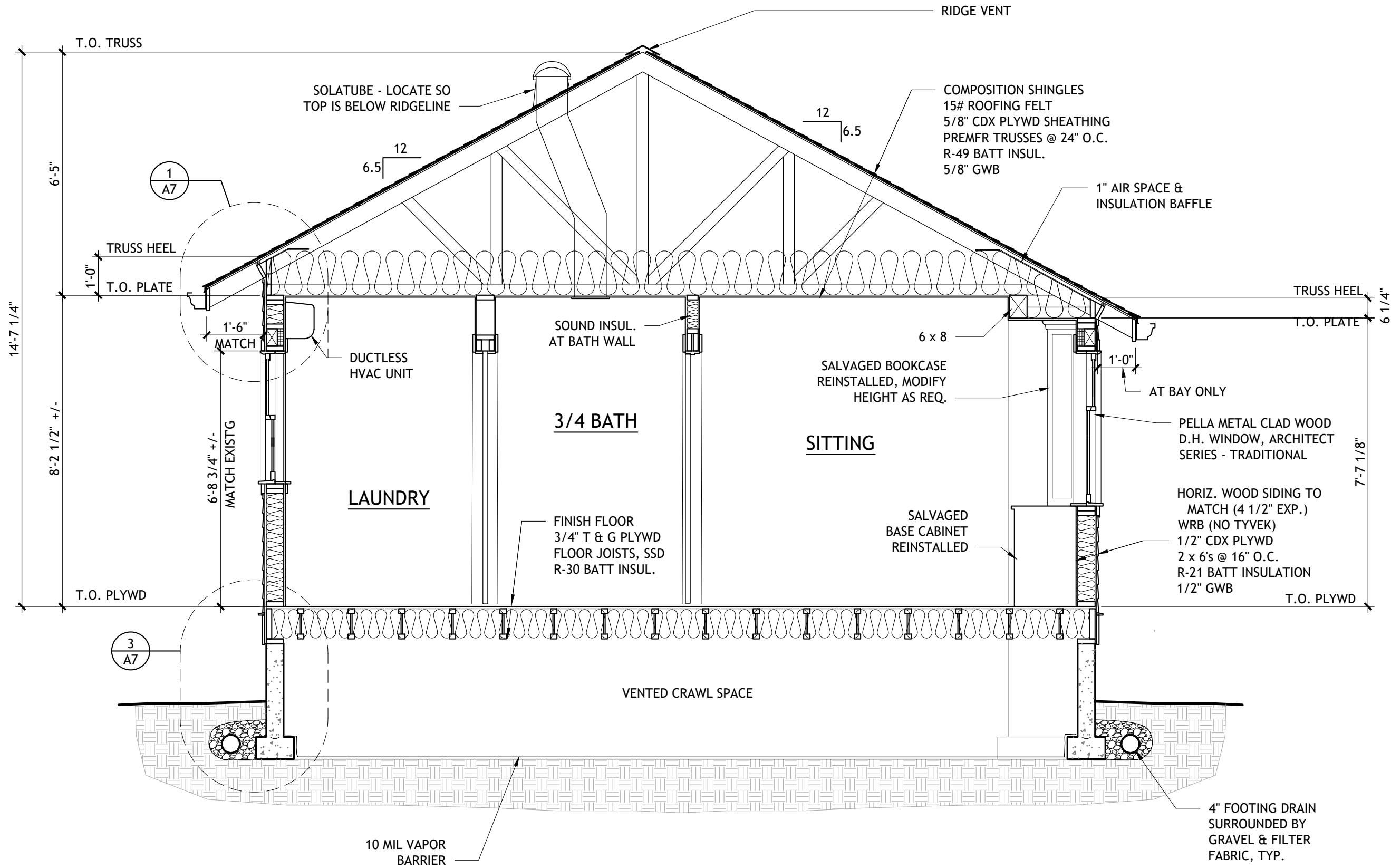
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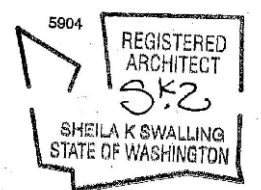
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EXTERIOR
ELEVATIONS

A5



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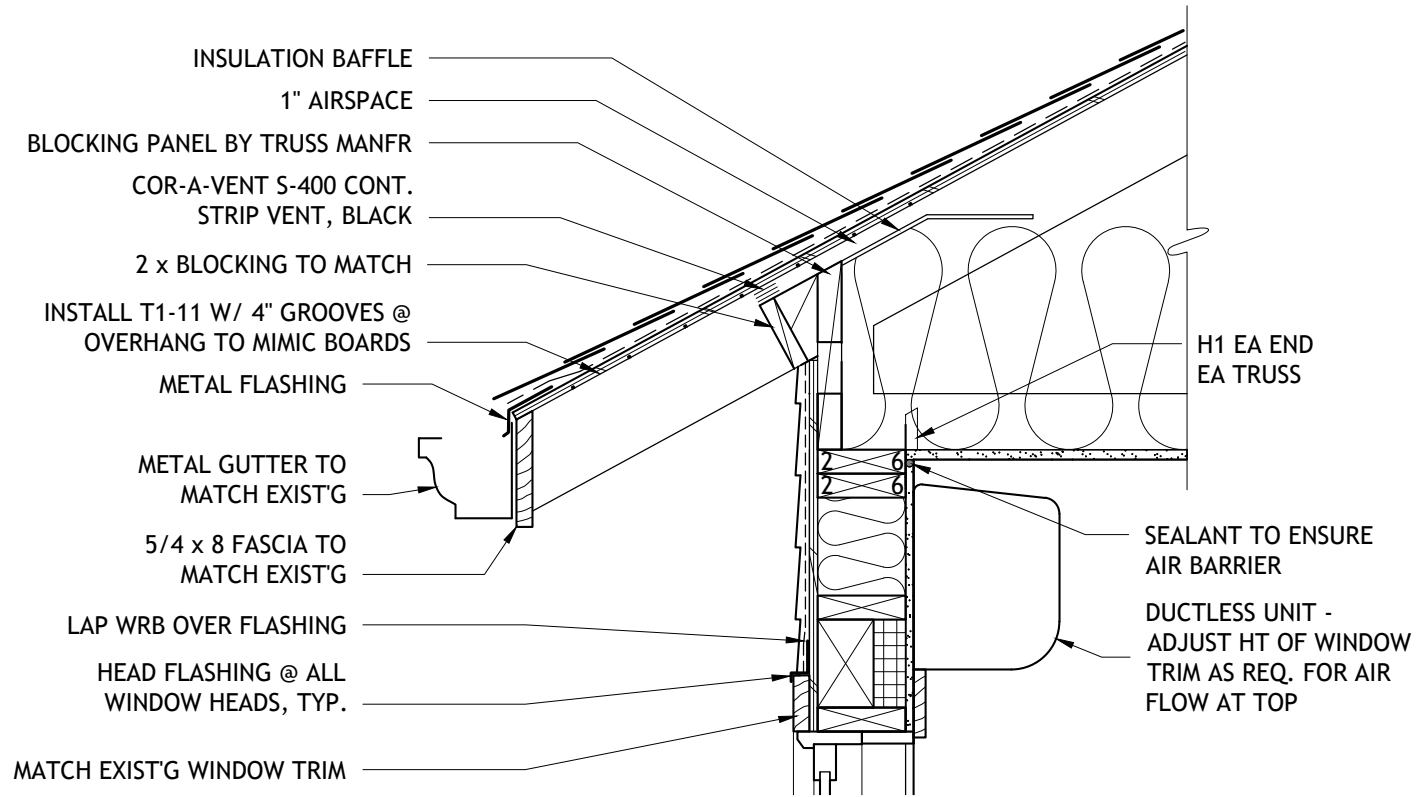
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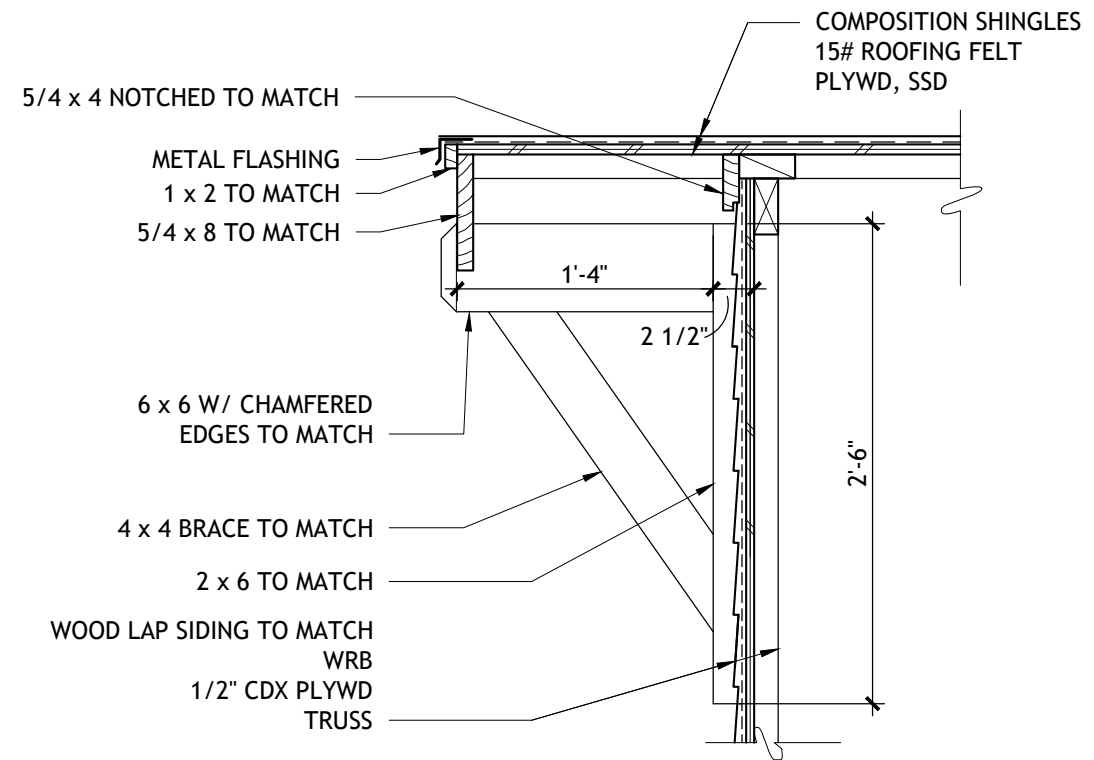
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SECTION

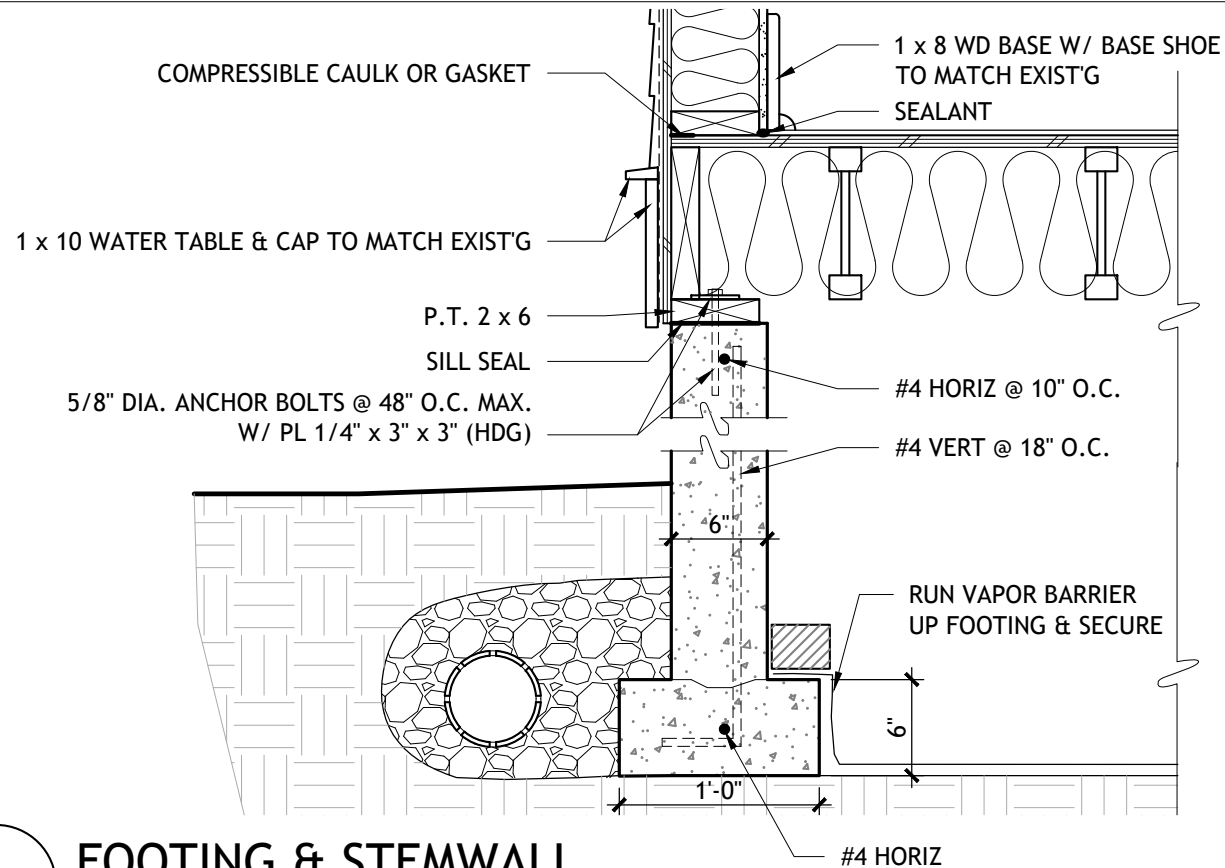
A6



1 TYP. EAVE
 1" = 1'-0"



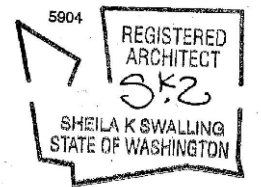
2 RAKE & BRACKET
 1" = 1'-0"



3 FOOTING & STEMWALL
 1" = 1'-0"



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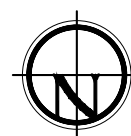
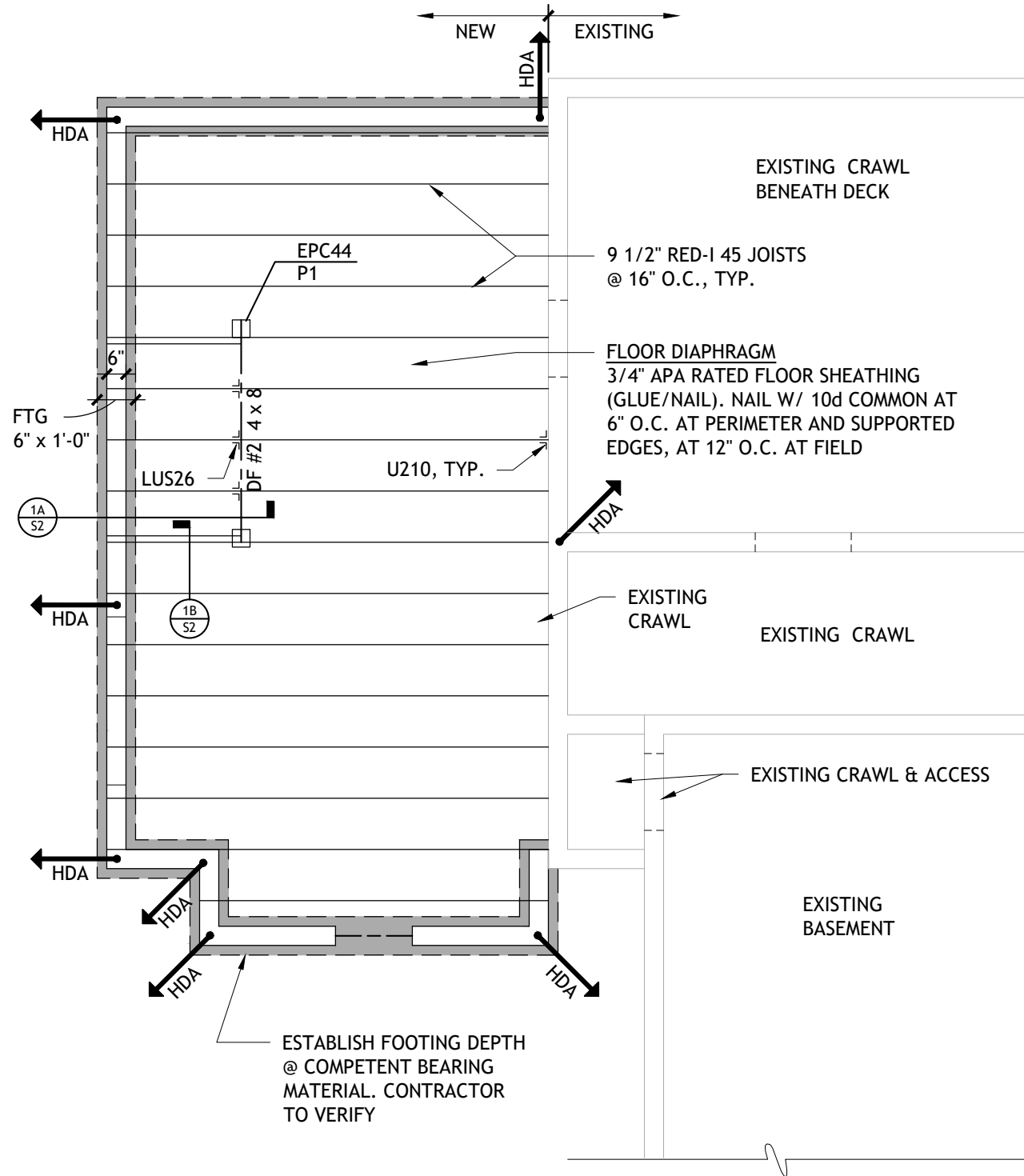
PERMIT SET

Details



FRAMING NOTES:

1. ALL PERIMETER WALLS SHALL BE SHEAR WALL NO. 1 PER STRUCTURAL NOTES IN THE 8 1/2 x 11 CALCULATION SUBMITTAL.
2. HDA: SIMPSON HDU2 ON DBL STUD W/ SSTB16 IN STEM WALL
3. P1 = DF2 4 x 4 POST W/ PRECAST 12 X 12 PIER PAD

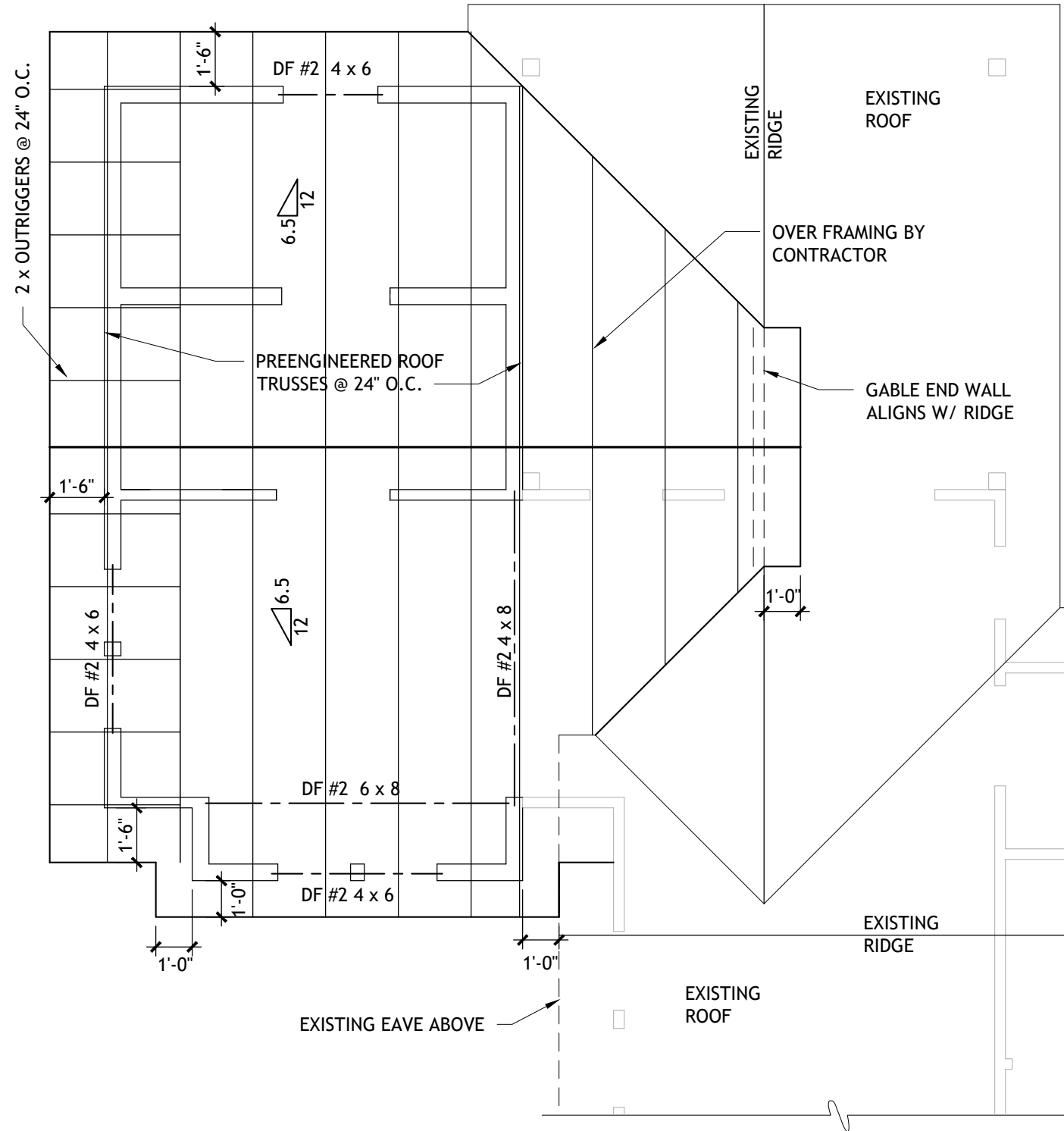


FOUNDATION/FLOOR FRAMING PLAN

1/4"=1'-0"

FRAMING NOTES:

1. PROVIDE H1 EACH END OF EACH TRUSS.
2. 5/8" CDX PLYWOOD ROOF SHEATHING (TO MATCH 5/8" T1-11 @ EXPOSED EAVES)

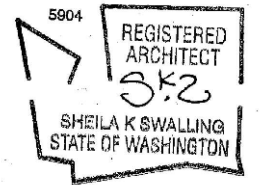


ROOF FRAMING PLAN

1/4"=1'-0"



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PERMIT SET
FOUNDATION,
FLOOR FRAMING,
ROOF FRAMING

SI

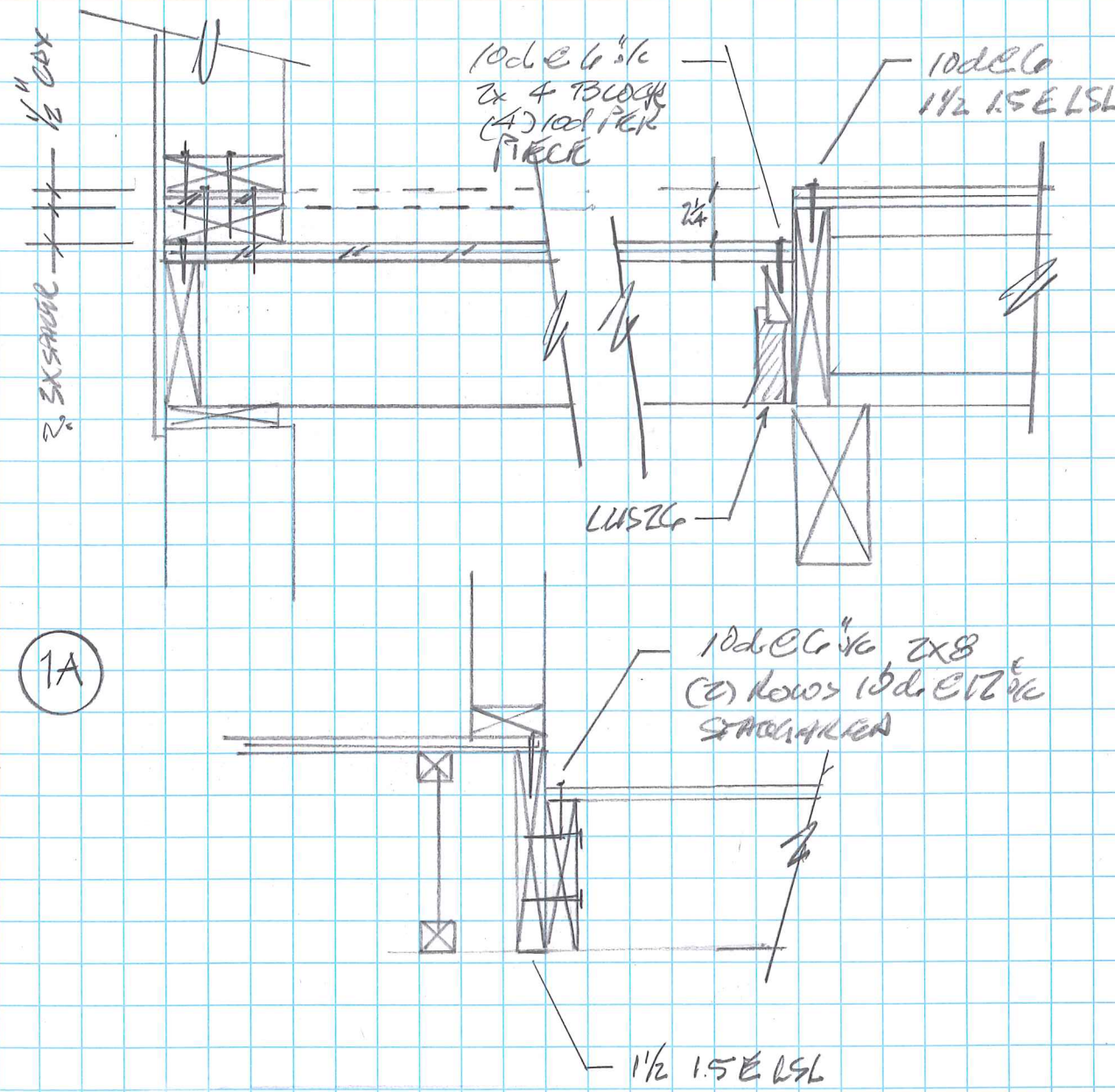
James W. Ashley-Cole, P.E.

CONSULTING ENGINEER

PROJECT NUMBER:

DATE:

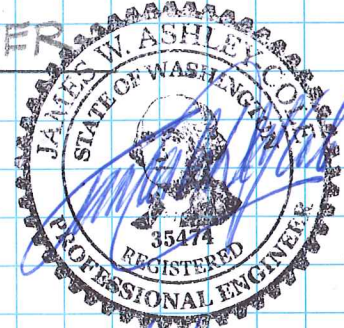
SHEET OF



1A

1B

FLOOR FRAMING @ SHOWER



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FLOOR FRAMING
DETAIL

S2