

Capital Mall Triangle Subarea Plan List of Draft Changes

Amendments based on direction from the May 9, 2024, Land Use and Environment Committee meeting:

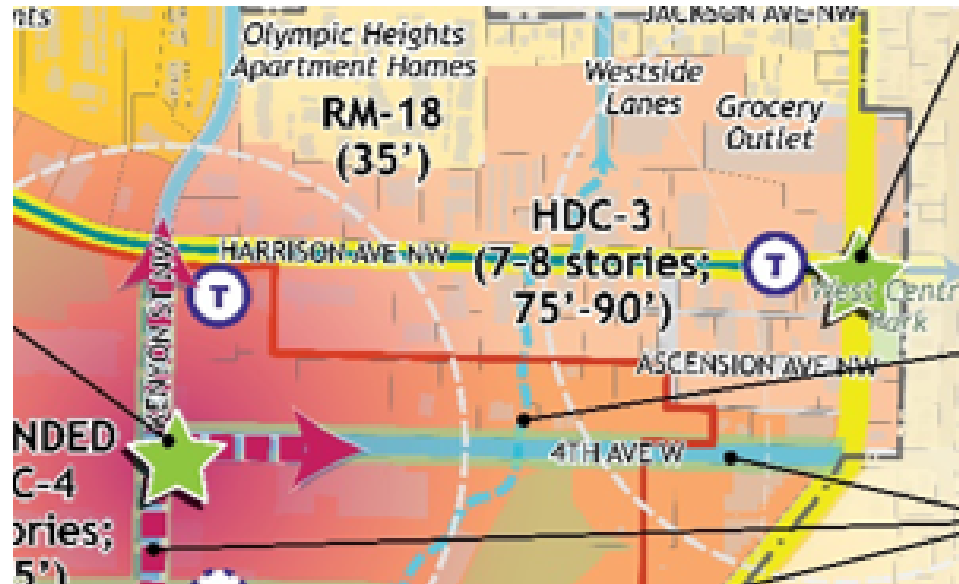
1. Residential parking: Clarified the areas where minimum parking requirements for residential were eliminated in 2023. City code specifies that it is the area between Cooper Point Rd, Black Lake Blvd, and Harrison Avenue. P.31 and p.38.
2. Commercial parking:
 - a. Changed commercial parking minimums to zero for restaurants, retail, shopping centers, and offices within the triangle on P.31-32 in Table 3-1. Added clarifications that at least one ADA parking space is required even if zero standard parking spaces are provided. Also clarified that the changes only apply within the subarea (city-wide parking changes would be addressed in a separate process).
3. Kenyon Center location:
 - a. Adjusted language to provide more flexibility on the location of Kenyon Center.
 - i. Table 3-1 on p.34.
 - ii. Figure 4-5 on p.42.
 - iii. LU-13 on p.42.
 - iv. DC-1 on p.59.
 - b. LU-12 on p.41 was adjusted to include a recommendation to conduct analyses or a pro forma prior to investing public funds.
4. Expanded library
 - a. Added a new goal of working with the library to expand on p.63. It was inserted as DC-9 so existing goals DC-9 through DC-17 have been renumbered.
 - b. Note: DC-17 was referenced in the plan in places where it originally should have referenced DC-16. No edits are needed where DC-17 already appeared in the plan.
5. Rezone from HDC3 to HDC4 on north side of 4th Avenue: Direction was to remove the north side of 4th Avenue from the recommended area to be rezoned from HDC3 to HDC4.
 - a. Existing zoning shows entire northside of 4th Avenue as HDC3.



- b. Map 2-3 Assets, Challenges, and Opportunities will need to be edited. The darker pink area along the north side of 4th Avenue will need to be shown as lighter pink.



- c. Map 3-1 Capital Mall Triangle Subarea Framework Map will need to be edited. The red line boundary and the orange colored area on the north side of 4th Avenue will need to be moved down to the center line of 4th Avenue. The “orange” is the area recommended to be rezoned from HDC3 to HDC4. The red line is the height incentive overlay for affordable housing.



6. Housing:

- a. LU-17 on p.45 had additional language added to clarify that the city should continue to maintain existing partnerships and foster new partnerships with affordable housing providers.
- b. LU-18 on p.46 regarding displacement has been adjusted to include the housing displacement study that is currently being undertaken by the city and surrounding jurisdictions.
- c. Three new sections have been added showing for strategies from the Housing Action Plan on pages 46-47.
 - i. LU-19 Height incentives for affordable housing (Housing Action Plan Strategy 3.o)
 - ii. LU-20 Donate/lease to affordable housing developers (Housing Action Plan Strategy 1.a.)
 1. Also added direction to encourage family-sized housing be included in affordable housing developments.
 - iii. LU-21 Expand housing supply by streamlining development process (Housing Action Plan Strategy 3).

7. Public art

- a. Added reference to public art in LU-13 on p.42.
- b. Added public art to Neighborhood Hubs description at beginning of Chapter 6 on p.58.
- c. Added public art to DC-5 Small Parks/Plazas description on p.62.
- d. Added public art to DC-6 Public Space Design on p.62.
- e. DC-19 on p.67 was created specifically to recommend more public art be included in the subarea.

8. Priority levels for Multi Family Tax Exemption (MFTE) monitoring, the Black Lake Boulevard corridor study, and the Harrison Avenue Corridor study.

- a. Changed priority level for the MFTE from medium to high in Table 9-1.
- b. Both corridor studies already have high priority listed in Table 9-1.

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9. Preamble added to the Acknowledgements page mentioning grant funding source and purpose.
10. DC-18 on p.67 was added to ensure on-going coordination with emergency services and re-evaluation of the needs of the businesses and future residents as the area develops.

Minor clerical staff edits:

3/7/2024: Update of cost estimates in Table 9-2 regarding public investment.

3/25/2024: Updated Land Acknowledgement section with city approved language for the Squaxin Island Tribe.

4/25/2024: Updated list of city staff on the project team in "Acknowledgements" at beginning of plan.