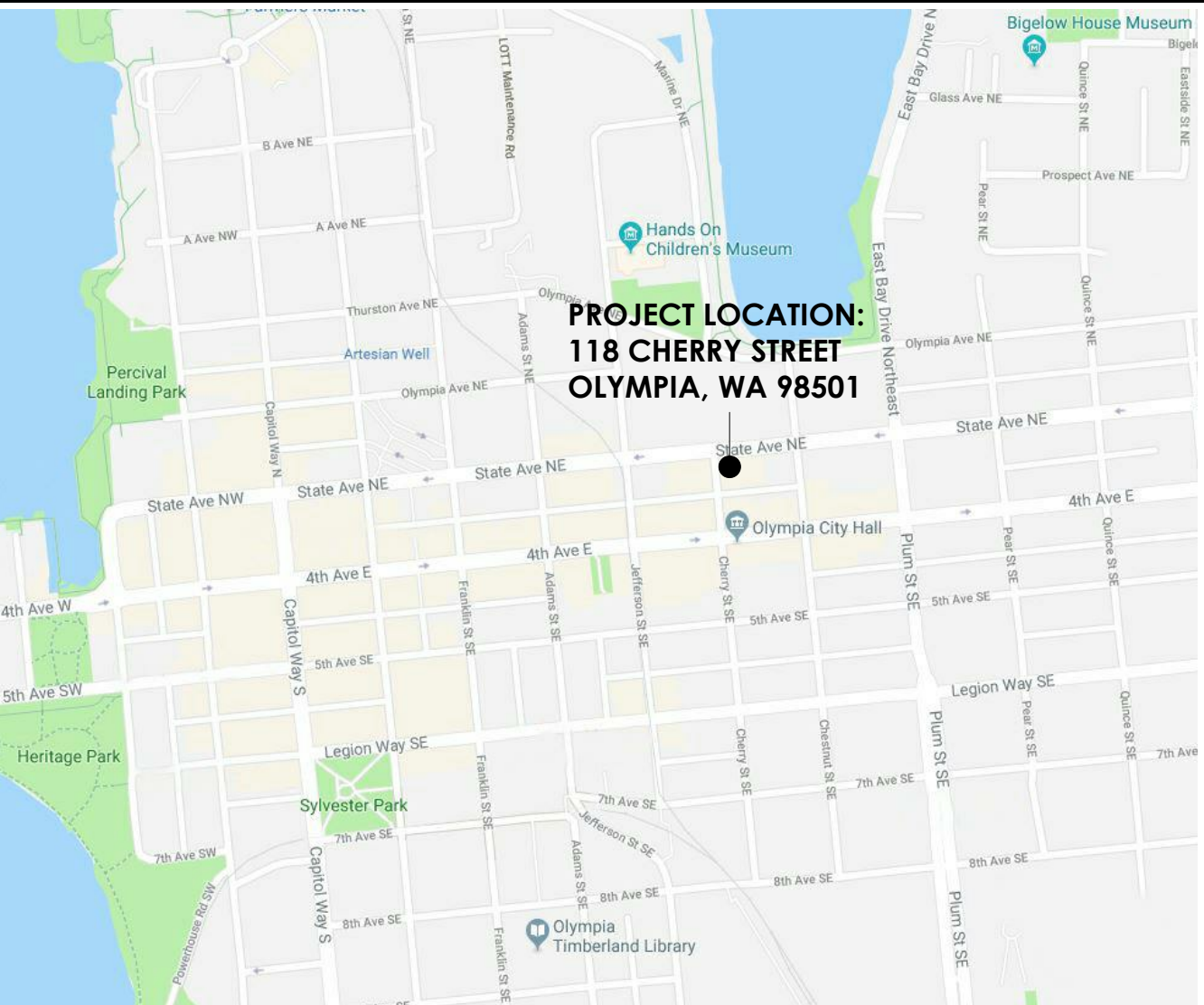




SPOON AUTOMOTIVE BUILDING

SHELL IMPROVEMENTS

LOCATION MAP



DEFERRED SUBMITTALS

(REQUIRED FOR BUILDING OCCUPANCY)

1. FIRE SPRINKLER SYSTEM - NFPA 13 SYSTEM, TO BE SUBMITTED WITH TENNANT IMPROVEMENT
2. FIRE ALARM SYSTEM - TO BE SUBMITTED WITH TENNANT IMPROVEMENT
3. TENANT IMPROVEMENT PLANS - TO BE SUBMITTED UNDER SEPARATE PERMIT

WASHINGTON STATE ENERGY CODE

PER WSEC C503.1 ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

GENERAL CODE INFORMATION

MODEL CODE: 2018 IEBC, INTERNATIONAL EXISTING BUILDING CODE

BUILDING OCCUPANCY: B - BUSINESS, ADDITIONAL REQUIREMENTS TO BE DETERMINED
CONSTRUCTION TYPE: VB WITH NFPA 13 FIRE SPRINKLERS
NUMBER OF STORIES: 1 STORY
BUILDING HEIGHT: 16 FEET TO TOP OF PARAPET

BUILDING INFORMATION

WORK OF THIS CONTRACT IS FOR EXTERIOR IMPROVEMENTS AND STRUCTURAL UPGRADES TO EXISTING BUILDING SHELL INCLUDING, BUT NOT LIMITED TO THE REFINISH OF EXTERIOR WALLS, NEW CANOPIES, REPLACEMENT OF EXISTING WINDOWS AND DOORS WITH NEW ENERGY EFFICIENT GLAZING SYSTEMS, NEW INSULATION AND ROOFING AT EXISTING ROOF, REPAIR OF EXISTING ROOF TRUSSES, AND IMPROVED STRUCTURAL CONNECTIONS. WORK ALSO INCLUDES NEW SIDEWALKS, UPDATED UTILITIES, NEW HVAC EQUIPMENT, INTERIOR TENANT IMPROVEMENTS WILL BE SUBMITTED AS SEPERATE PERMIT.

BUILDING AREA: 6,758 SQ. FEET
SITE: 6,758 SQ. FEET

SITE ADDRESS: 118 CHERRY ST. OLYMPIA, WA 98501
PARCEL #: 78200400100
JURISDICTION: CITY OF OLYMPIA
ZONING: DB - DOWNTOWN BUSINESS

ABBREVIATED LEGAL DESCRIPTION: S14 T18 R 2W Quarter NW SE PLAT SWANS ADDITION TO OLYMPIA BLK 4 LT 1+2

**SEE SITE PLAN FOR ADDITIONAL INFORMATION

DESIGN TEAM

PROPERTY OWNER:
118 CHERRY LLC
2514 SOUTH BAY ROAD
OLYMPIA, WA 98501

CONTACT: BRANDY WILLIE
PHONE: 360-705-4319
EMAIL: BMWILLIE@COMCAST.NET

ARCHITECT:
THOMAS ARCHITECTURE STUDIO, INC.
525 COLUMBIA STREET SW
OLYMPIA, WA 98501
PHONE: 360-915-8775

CONTACT: TOM RIEGER
EMAIL: TOM@TASOLYMPIA.COM

CIVIL ENGINEER:
SCJ ALLIANCE
8730 TALLON LANE NE, STE 200
LACEY, WA 98516
PHONE: 360-352-1465

CONTACT: ROSS JARVIS
EMAIL: ROSSJ@SCJALLIANCE.COM

STRUCTURAL ENGINEER
PCS STRUCTURAL SOLUTIONS
1250 PACIFIC AVENUE, SUITE 701
TACOMA, WA 98402

CONTACT: JEFF KLEIN
PHONE: 253-383-2797
EMAIL: JKLEIN@PCS-STRUCTURAL.COM

SHEET LIST

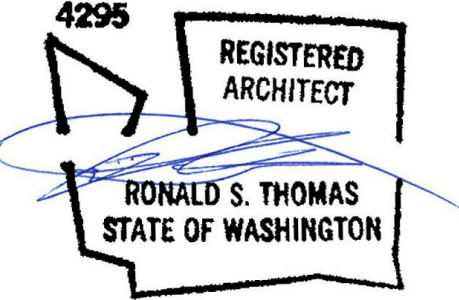
SHEET NUMBER	SHEET NAME
A-001	COVER SHEET
A-002	CODE REVIEW
A-003	DEMOLITION PLANS
A-101	SITE PLAN
A-201	PLAN - FLOOR 1
A-202	PLAN - ROOF
A-203	REFLECTED CEILING PLAN - FLOOR 1
A-301	ELEVATIONS
A-401	SECTIONS
A-501	WALL SECTIONS
A-601	DETAILS - ASSEMBLY
A-602	DETAILS - DOOR
A-603	DETAILS - CANOPY
A-801	SCHEDULES

STRUCTURAL

S-101	GENERAL NOTES
S-102	GENERAL NOTES
S-103	GENERAL NOTES
S-104	GENERAL NOTES
S-201	FOUNDATION PLAN
S-202	ROOF FRAMING PLAN
S-301	FOUNDATION DETAILS
S-401	FRAMING DETAILS
S-402	FRAMING DETAILS
S-403	CANOPY DETAILS

CIVIL

CV-01	COVER SHEET
GN-01	GENERAL NOTES
EC-01	DEMOLITION AND TESC PLAN
EC-02	EROSION CONTO DETAILS
SP-01	SITE IMPROVEMENT PLAN
SP-02	SITE IMPROVEMENT DETAILS
UT-01	WATER, SEWER, AND STORM PLAN
UT-02	WATER AND SEWER NOTES AND DETAILS



SPOON AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS

118 CHERRY ST | OLYMPIA, WA

Project No: 1715
PERMIT SET
JUNE 16, 2021

COVER SHEET

A-001

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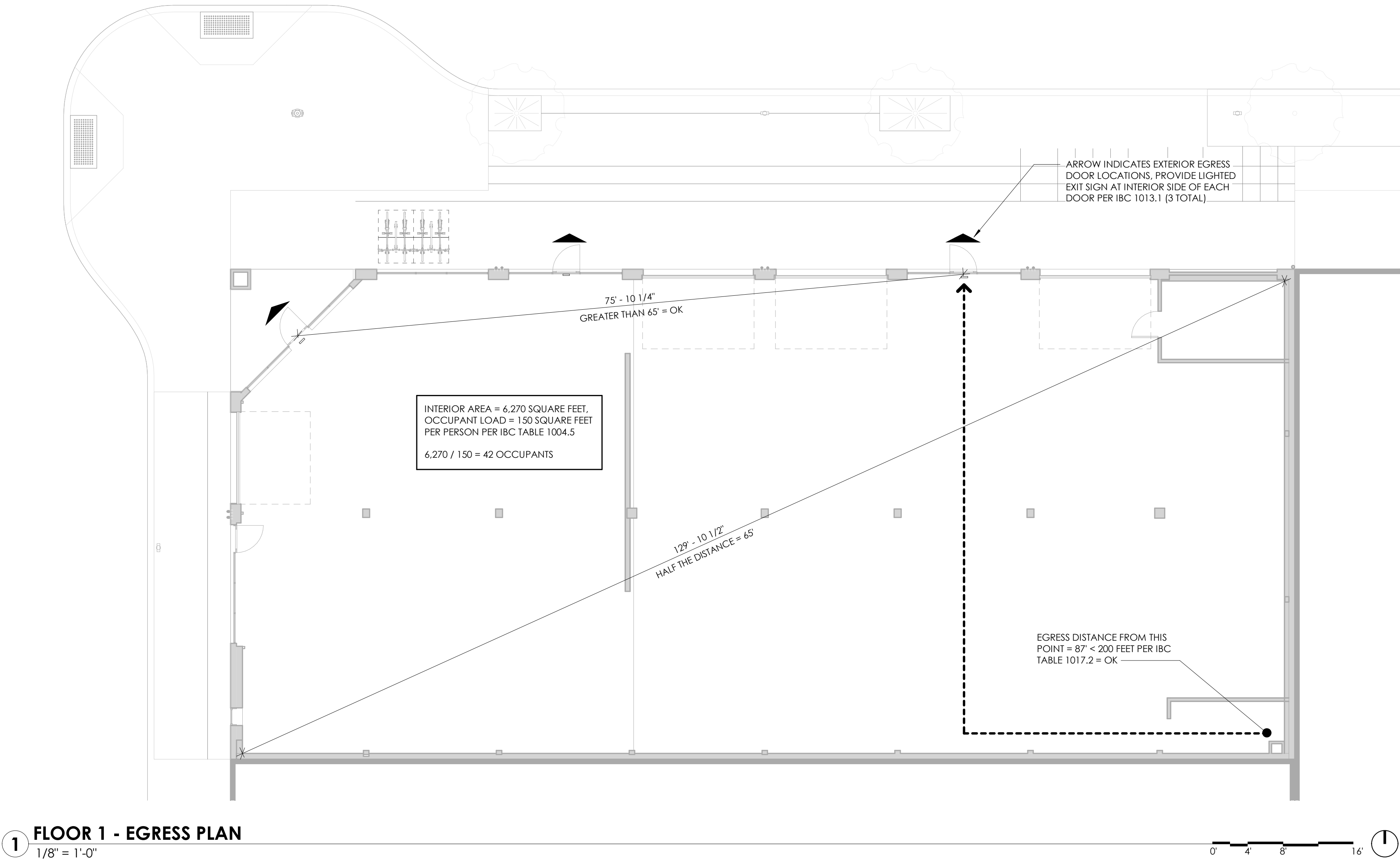
CODE INFORMATION

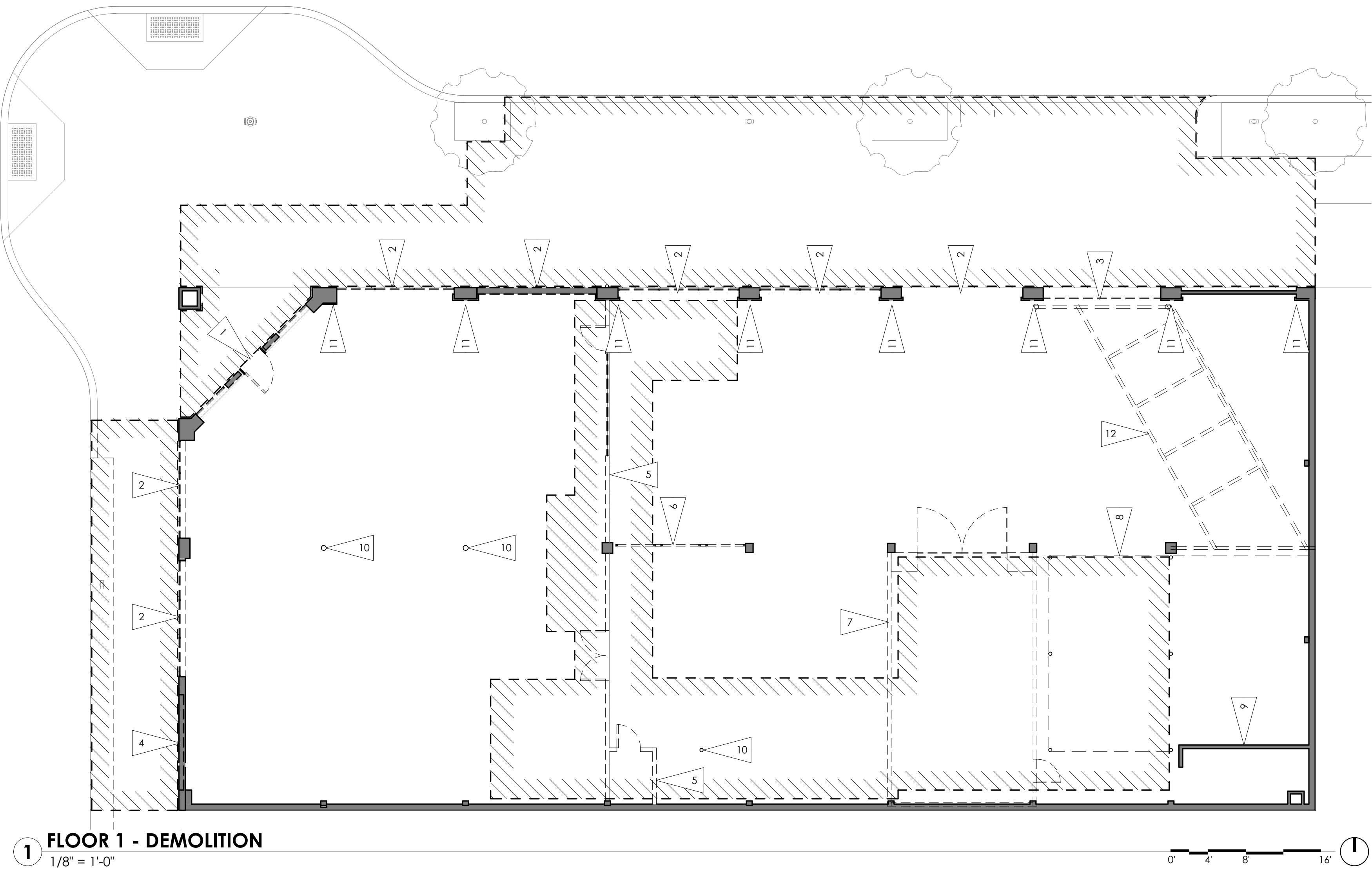
APPLICABLE CODES: 2018 IBC, INTERNATIONAL EXISTING BUILDING CODE
2018 IBC, INTERNATIONAL BUILDING CODE
2018 WSEC, WASHINGTON STATE ENERGY CODE
2018 IFC, INTERNATIONAL FIRE CODE
2018 IMC, INTERNATIONAL MECHANICAL CODE
2018 UPC, UNIVERSAL PLUMBING CODE
2020 NEC, NATIONAL ELECTRICAL CODE

ACCESSIBILITY CODES: ICC/ANSI A117.1-2009

BUILDING OCCUPANCY: B - BUSINESS, ADDITIONAL REQUIREMENTS TO BE DETERMINED
CONSTRUCTION TYPE: VB WITH NFPA 13 FIRE SPRINKLERS

FIRE SPRINKLERS & ALARMS: TO BE INSTALLED WITH TENNANT IMPROVEMENT.





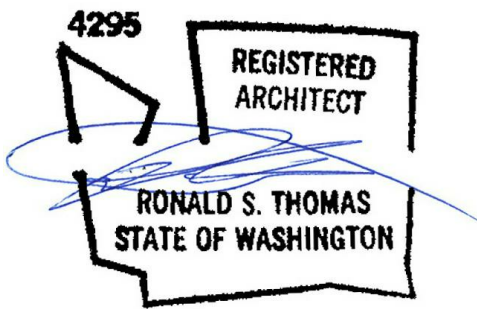
GENERAL DEMOLITION NOTES

1. ARCHITECTURAL DRAWINGS TAKE PRIORITY OVER ALL OTHER DRAWINGS FROM DESIGN TEAM. IF DISCREPANCY IS FOUND BETWEEN DRAWING SETS, CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY.
2. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES AND PIPING BEFORE BEGINNING WORK. PROTECT OR MOVE UTILITIES AS REQUIRED.
3. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION AND INFORM ARCHITECT OF ANY DISCREPANCIES, ISSUES OR CONFLICTS.
4. REMOVE ALL EXISTING MECHANICAL AND ELECTRICAL WORK NOT TO BE REUSED IN ITS PRESENT LOCATIONS. CAP ALL ABANDONED UTILITIES AS REQUIRED. ALL CONDUITS TO BE REMOVED BACK TO THE ELECTRICAL PANEL. DO NOT ABANDON CONDUITS IN PLACE.
5. CONTRACTOR IS TO USE PRECAUTION IN DEMOLITION AS TO NOT DAMAGE THE EXISTING CONCRETE WALLS. ALL DAMAGE TO THE EXISTING CONCRETE WALLS ARE TO BE PATCHED & REPAIRED TO MATCH ADJACENT EXISTING.
6. PATCH AND REPAIR ALL AREAS INVOLVING DEMOLITION WORK TO MATCH ADJACENT EXISTING CONDITIONS OR TO ACCEPT NEW CONSTRUCTION AS INDICATED ON THE DRAWINGS.
7. DASH LINES INDICATE EXISTING CONDITIONS TO BE REMOVED UNLESS NOTED OTHERWISE.
8. PROVIDE A STRAIGHT EDGE TO RECEIVE NEW WORK.
9. PROVIDE TEMPORARY WOOD SHORING AS REQUIRED TO PLACE NEW STRUCTURE, IF REQUIRED.
10. PROTECT ADJACENT AREAS IN BUILDING FROM DAMAGE. REPAIR ALL DAMAGE.
11. DURING DEMOLITION OF THE INTERIOR, CONTRACTOR IS TO SET ASIDE MATERIAL THAT CAN BE REUSED IN AREAS WHERE PATCHING EXISTING WALLS IS REQUIRED.
12. COORDINATE ALL WORK WITH THE OWNER TO DETERMINE OWNER REQUESTED ITEMS TO RETAIN FOR FUTURE IMPROVEMENT WORK.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SAFE AREA IN THE EXISTING SPACE TO PROTECT ALL RETAINED ITEMS.
14. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH OWNER'S REQUIREMENTS AND PROCEDURES.
15. CONTRACTOR IS TO COORDINATE WITH THE DEPARTMENT OF ECOLOGY FOR ANY DEMOLITION WORK IF APPLICABLE OR / AS REQUIRED BY THE CITY OF OLYMPIA.
16. CONTRACTOR IS TO COORDINATE WITH THE OLYMPIC REGION CLEAN AIR AGENCY (ORCAA) PRIOR TO ANY DEMOLITION WORK TO DETERMINE APPLICATION REQUIREMENTS. CONTACT: 1-800-422-5623 / WWW.ORCAA.ORG.
17. MEDIA BLAST ALL EXISTING CONCRETE WALL SURFACES.
18. PROTECT EXISTING STREET TREES AND STREET ACCESSORIES TO REMAIN.

DEMOLITION LEGEND

- 1 REMOVE & DISPOSE OF EXISTING ANGLED WALL, DOOR, WINDOWS, AND HVAC UNIT IN THEIR ENTIRETY AS REQUIRED FOR NEW WORK.
- 2 REMOVE & DISPOSE OF EXISTING GLAZING AND CONCRETE STEM WALL FLUSH TO FACE OF EXISTING CONCRETE COLUMNS. PREPARE OPENINGS AS REQUIRED FOR NEW WORK.
- 3 REMOVE & DISPOSE OF EXISTING ROLL UP DOOR, TRACK AND ACCESSORIES IN THEIR ENTIRETY. PREPARE SURFACES FOR NEW WORK.
- 4 REMOVE & DISPOSE OF EXISTING GLASS BLOCK INFILL IN ITS ENTIRETY. PREPARE AREA FOR NEW WALL INFILL PER STRUCTURAL.
- 5 REMOVE & DISPOSE OF EXISTING INTERIOR WALLS, DOORS, AND CEILINGS IN THEIR ENTIRETY. PREPARE EXISTING SURFACES TO REMAIN FOR NEW CONSTRUCTION.
- 6 REMOVE AND DISPOSE OF EXISTING WINDOWS, WALL, AND COUNTER. PREPARE EXISTING SURFACES TO REMAIN FOR NEW CONSTRUCTION.
- 7 REMOVE & DISPOSE OF EXISTING PAINT BOOTH IN ITS ENTIRETY.
- 8 REMOVE EXISTING MEZZANINE, FRAMING, AND COLUMNS.
- 9 REMOVE EXISTING BRICK WALLS, DOOR, AND CHIMNEY.
- 10 PROVIDE TEMPORARY SUPPORT AND BRACING AS REQUIRED TO REMOVE EXISTING STEEL COLUMN TO BE REPLACED WITH WOOD COLUMN TO MATCH EXISTING ELSEWHERE IN BUILDING. REFER TO STRUCTURAL FOR SIZING.
- 11 REMOVE EXISTING COLUMN FURRING, EXPOSE CONCRETE COLUMN.
- 12 REMOVE EXISTING ROOF MOUNTED BILLBOARD AND ALL ASSOCIATED STRUCTURAL FRAMING. PATCH AS REQUIRED FOR NEW WORK AND TO MATCH EXISTING ADJACENT SURFACES.

- INDICATES PERIMETER OUTLINE OF EXISTING CONCRETE SIDEWALK TO BE REMOVED AND REPLACED. SAWCUT AS REQUIRED. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. NEW CONCRETE PATTERN TO ALIGN WITH EXISTING ADJACENT CONCRETE PATTERNS. OVERALL NEW PATTERN SHALL BE 24"x24" GRID.
- INDICATES APPROXIMATE PERIMETER OF EXISTING INTERIOR SLAB TO BE REMOVED AND REPLACED. SEE STRUCTURAL FOR DETAILS. SAW CUT AS REQUIRED FOR NEW WORK.



SPOON AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS

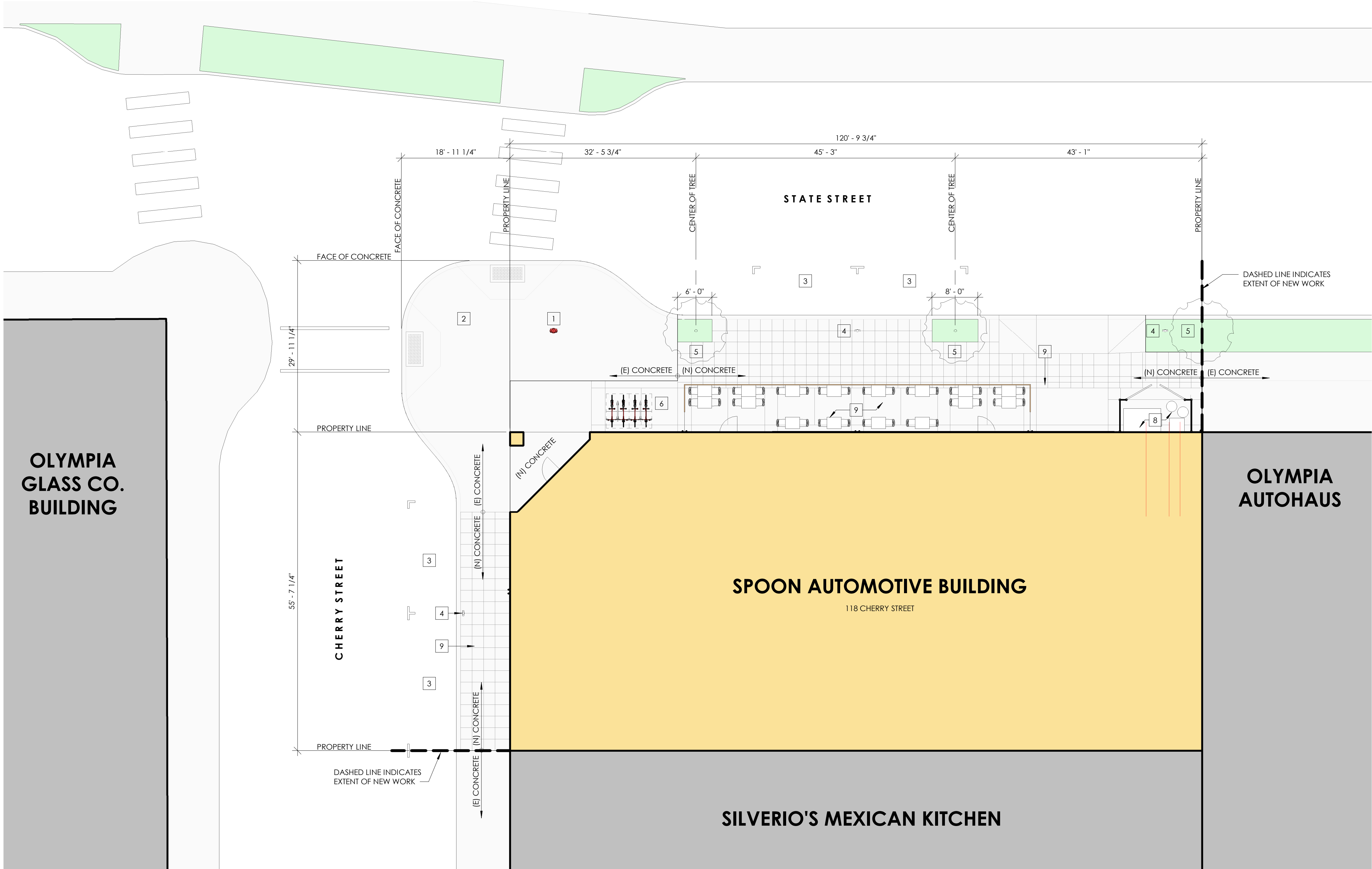
118 CHERRY ST | OLYMPIA, WA

Project No: 1715
PERMIT SET
JUNE 16, 2021

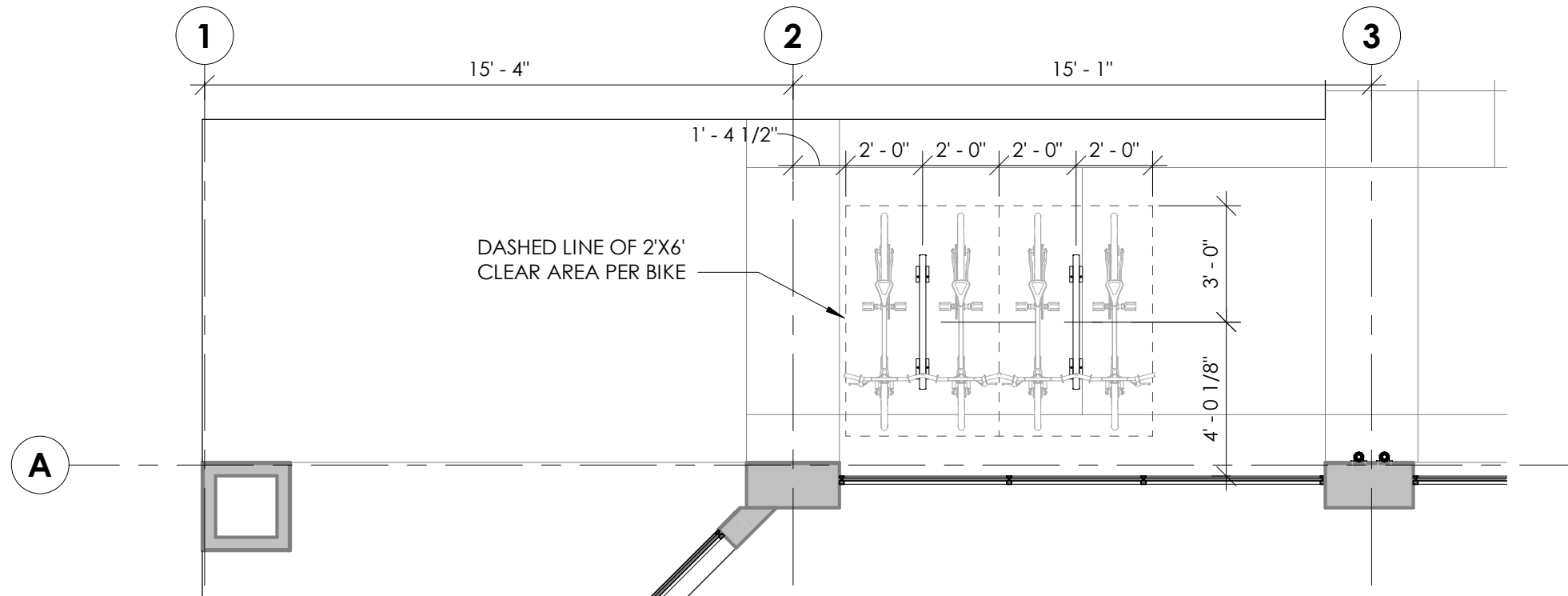
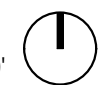
DEMOLITION
PLANS

A-003

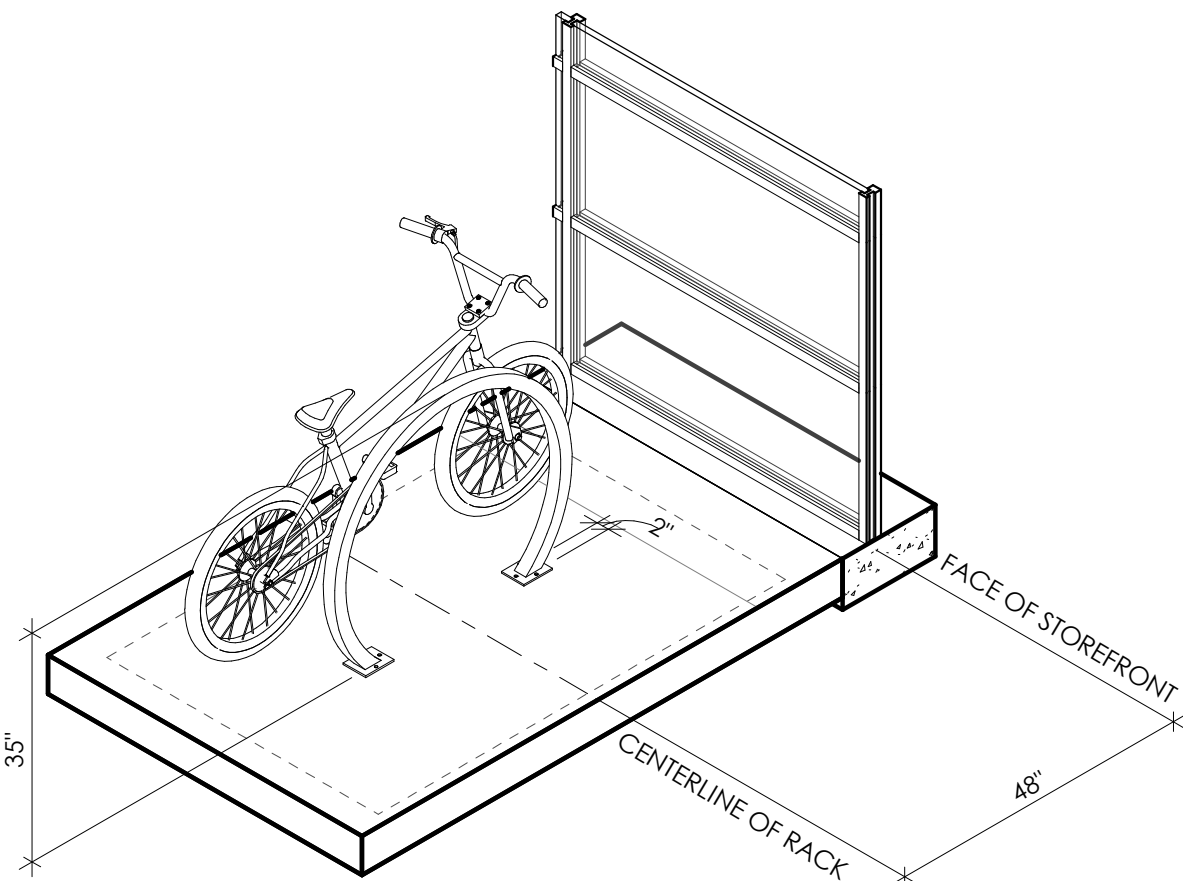
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1 SITE PLAN - EXTERIOR IMPROVEMENTS
1" = 10'-0"



2 BIKE PARKING - SHORT TERM
1/4" = 1'-0"



3 BIKE PARKING - SHORT TERM - ARC RACK

GENERAL SITE INFORMATION

AREAS

SITE AREA	6,758 SF	
LANDSCAPE AREA (PERVIOUS)	0 SF	
BUILDING AREA (IMPERVIOUS)	6,558 SF	
PAVED AREA (IMPERVIOUS)	200 SF	
EXISTING IMPERVIOUS COVERAGE	100%	

PARKING SUMMARY

VEHICLE PARKING REQUIREMENTS PER OMC 18.38.160

VEHICLE PARKING

SPACES REQUIRED (OMC 18.38, TABLE 38.01)	=	0 SPACES
SPACES PROVIDED - NEW	=	0 SPACES
SPACES PROVIDED - EXISTING (STREET PARKING)	=	4 SPACES

BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)

LONG TERM - TO BE DETERMINED WITH TENANT IMPROVEMENT

SHORT TERM -

6,558 SF @ 1/3,000	=	2.18 SPACES
TOTAL REQUIRED (ROUNDED)	=	3.00 SPACES
PROVIDED	=	4.00 SPACES > 3 = OK

GENERAL NOTES

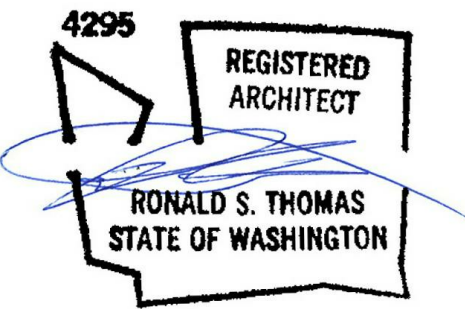
- THESE DRAWINGS FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPERATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
- INTERIOR TENANT IMPROVEMENTS TO BE SUBMITTED UNDER SEPERATE PERMIT.

SITE LEGEND

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING BULB OUT
- 3 EXISTING STREET PARKING TO REMAIN
- 4 EXISTING PARKING METER (TO REMAIN), PROTECT AS REQUIRED.
- 5 EXISTING STREET TREE (TO REMAIN), PROTECT AS REQUIRED.
- 6 SHORT TERM BIKE PARKING, SEE DETAILS THIS SHEET.
- 7 NEW OUTDOOR SEATING AREA, PROVIDE RAILING AT PERIMETER.
- 8 NEW ENCLOSED WASTE AREA
- 9 DASHED LINE OF CANOPY OVERHEAD



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360.915.8775 | tasolympia.com



SPoon AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS

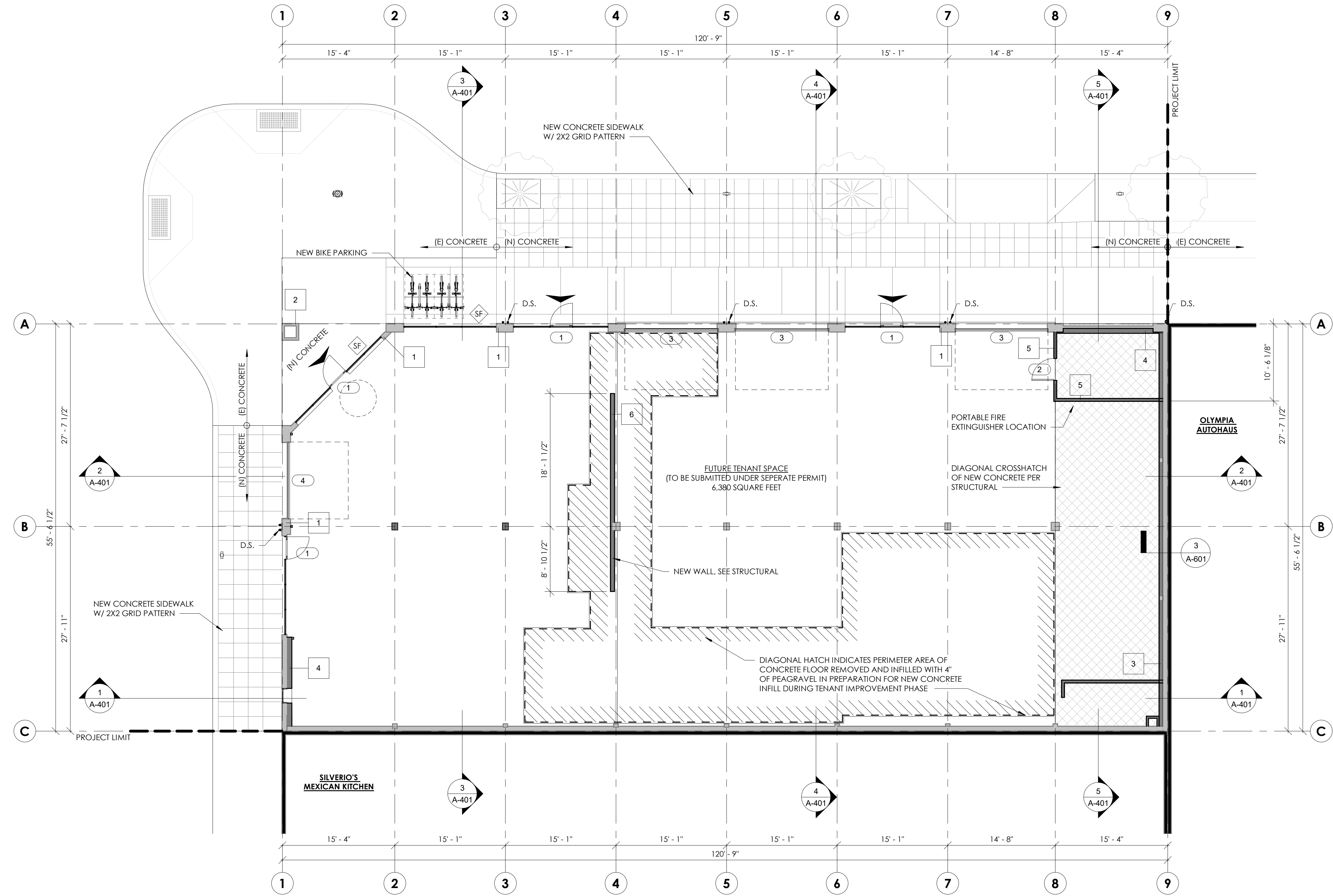
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Project No: 1715
PERMIT SET
JUNE 16, 2021

SITE PLAN

A-101

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1 FLOOR 1 - EXTERIOR IMPROVEMENTS
1/8" = 1'-0"

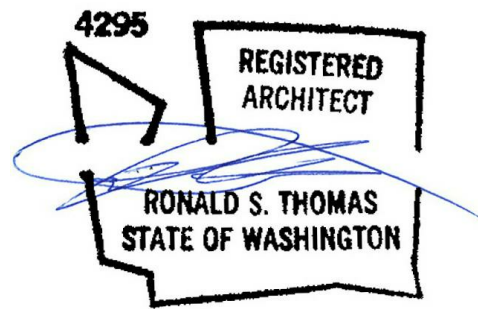


GENERAL NOTES

1. THESE DRAWINGS FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPERATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
2. INTERIOR TENANT IMPROVEMENTS TO BE SUBMITTED UNDER SEPERATE PERMIT.

PLAN LEGEND

- ARROW INDICATES PRIMARY BUILDING ENTRANCE
- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
- LINE INDICATES PROJECT LIMITS. NO NEW WORK PLANNED OUTSIDE OF THIS LINE. ALL NEW WORK TO MEET FLUSH WITH EXISTING CONDITIONS.
- WALL TAG, NUMBER INDICATES ASSEMBLY DETAIL ON SHEET A-601
- DOOR TAG, SEE SHEET A-801 FOR DETAILS
- GLAZING TAG, SEE SHEET A-801 FOR DETAILS
- D.S. INDICATES DOWN SPOUT LOCATION. COORDINATE COLLECTION OF DOWN SPOUTS BELOW NEW SIDEWALK AND TIE INTO STORM SEWER SYSTEM. SEE CIVIL.



**SPOON AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS**

118 CHERRY ST | OLYMPIA, WA

Project No: 1715
PERMIT SET
JUNE 16, 2021

PLAN - FLOOR 1

A-201

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ROOF PLAN LEGEND

- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.

GENERAL ROOF NOTES

1. REMOVE EXISTING ROOFING AND INSULATION TO CLEAN STRUCTURAL DECK AND REPLACE WITH NEW POLYISO ROOF INSULATION AND TPO ROOFING MEMBRANE INSTALLED PER MANUFACTURER'S STANDARD DETAILS.
2. PROVIDE NEW ROOF INSULATION AS REQUIRED WITH AVERAGE THICKNESS TO MEET CODE MINIMUM "U" VALUE OF 0.027, R VALUE = R-38.
3. TAPER ROOF INSULATION TO DRAINS AS NOTED ON PLANS.
4. REMOVE ALL EXISTING EQUIPMENT NOT REQUIRED FOR NEW WORK.
5. PROVIDE NEW CURBING AS REQUIRED AND AS DETAILED.
6. ALL NEW FLASHING TO BE INSTALLED PER CURRENT SMACNA DESIGN STANDARDS.
7. COORDINATE FINAL LOCATIONS OF MECHANICAL EQUIPMENT WITH ROOFING INSTALLER TO ENSURE PROPER ROOF DRAINAGE IS ACHIEVED.

ROOF DRAIN CALCULATIONS

PER 2012 IPC, TABLE 1106.2, AT AN INTENSITY LEVEL OF 3" PER HOUR, ALLOWED ROOF AREA PER DOWNSPOUT IS AS FOLLOWS:

- 2" DIAMETER D.S. WILL HANDLE AN AREA OF: 960 SQ. FT.
4" DIAMETER D.S. WILL HANDLE AN AREA OF: 6,130 SQ. FT.
6" DIAMETER D.S. WILL HANDLE AN AREA OF: 17,995 SQ. FT.

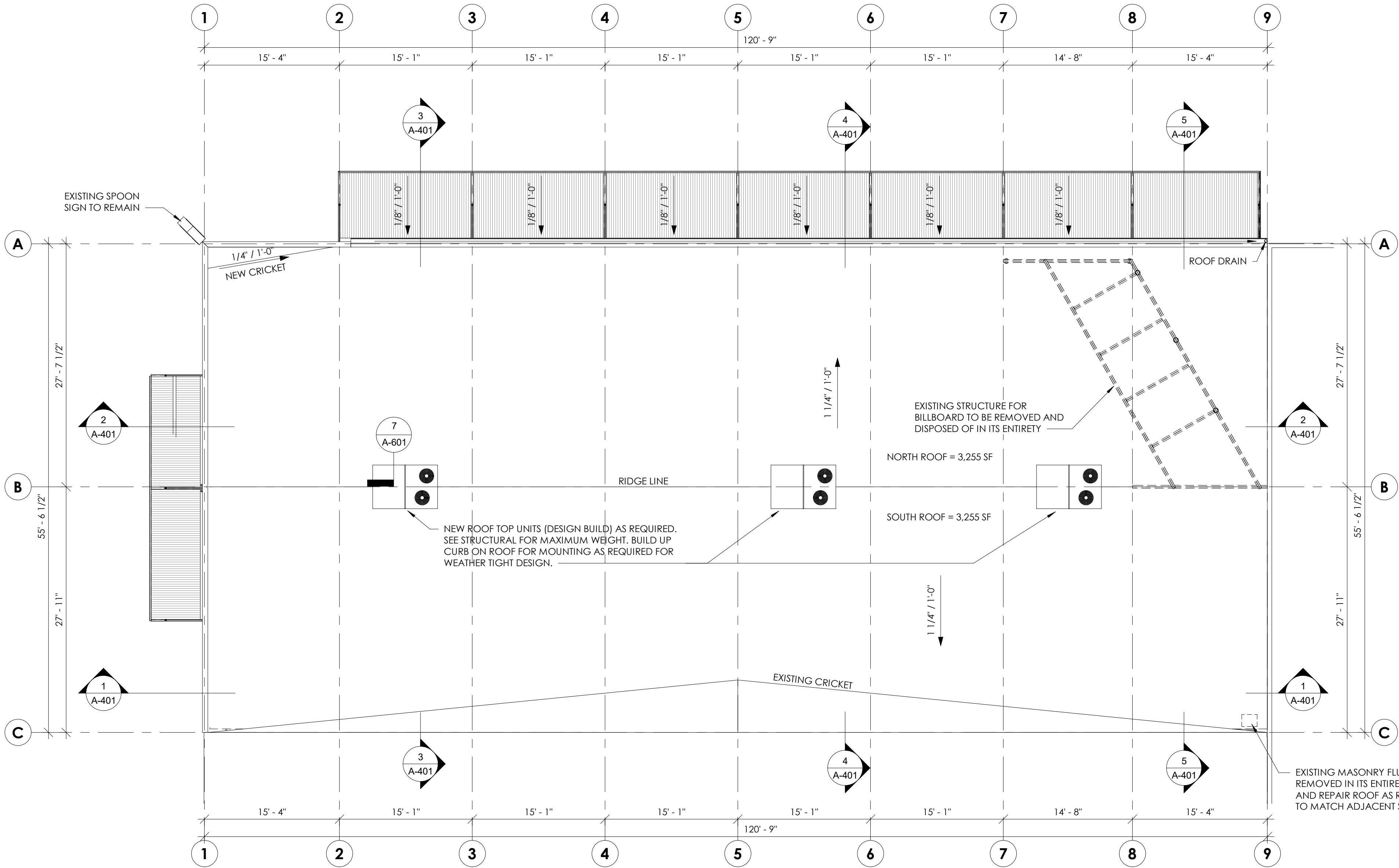
TOTAL ROOF AREA
NORTH ROOF = 3,255 SQ. FEET
SOUTH ROOF = 3,255 SQ. FEET
TOTAL ROOF AREA = 6,510 SQ. FEET

DOWNSPOUTS PLACED TO SPLIT ROOF EQUALLY BETWEEN THE NORTH AND THE SOUTH.
6,510 SQ. FEET/2 = 3,255 SQ. FEET PER DOWNSPOUT

NORTH ROOF PROVIDED WITH (4) 2" DOWNSPOUT
3,255 SQ. FEET ACTUAL < 3,840 SQ. FEET ALLOWED = OK
(DOWNSPOUT PROVIDED IS 15% LARGER THAN REQUIRED)

SOUTH ROOF PROVIDED WITH (0) 4" DOWNSPOUT
3,255 SQ. FEET ACTUAL < 0 SQ. FEET ALLOWED = NOT OK
(EXISTING ROOF SLOPES ONTO ADJACENT PROPERTY AND DRAINS FROM THERE)

NOTE: AT EACH PRIMARY DRAIN LOCATION, PROVIDE SECONDARY OVERFLOW DRAIN OF EQUAL SIZE.



1 ROOF - EXTERIOR IMPROVEMENTS
1/8" = 1'-0"



SPOON AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS

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JUNE 16, 2021

PLAN - ROOF

A-202

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SPOON AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS
118 CHERRY ST | OLYMPIA, WA

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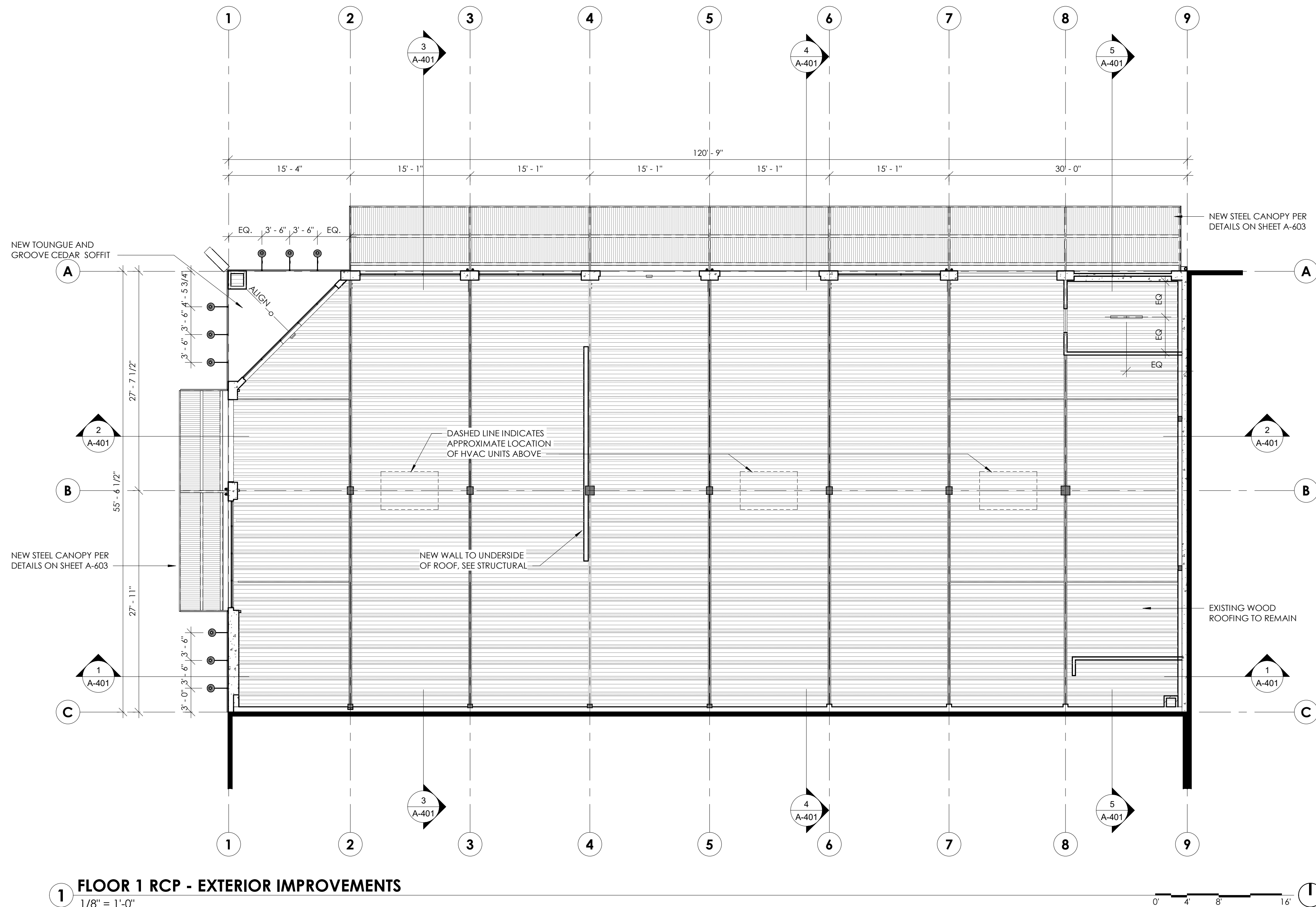
REFLECTED
CEILING PLAN -
FLOOR 1

A-203

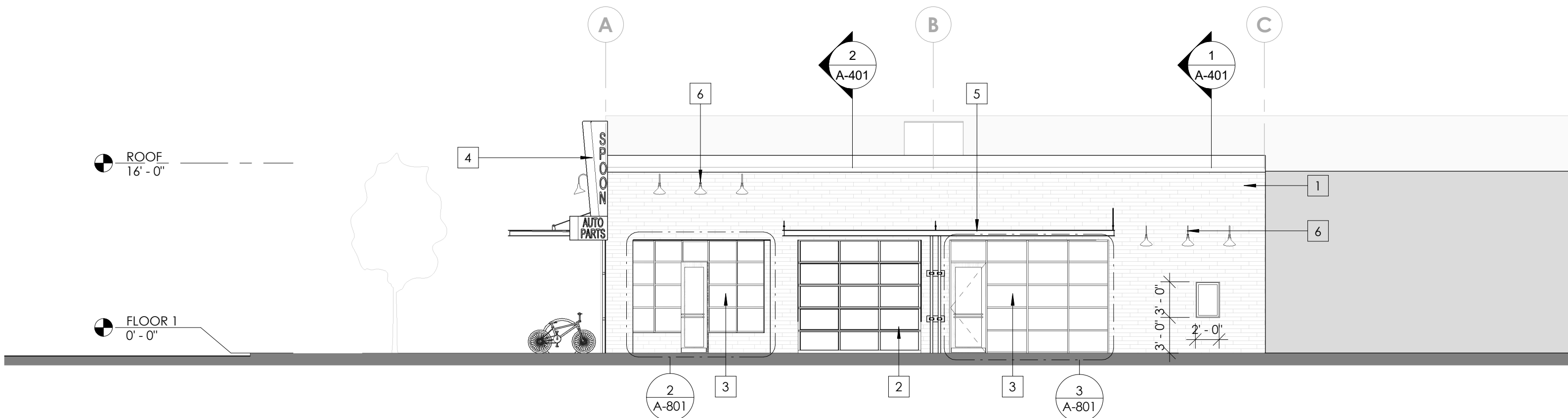
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REFLECTED CEILING PLAN LEGEND

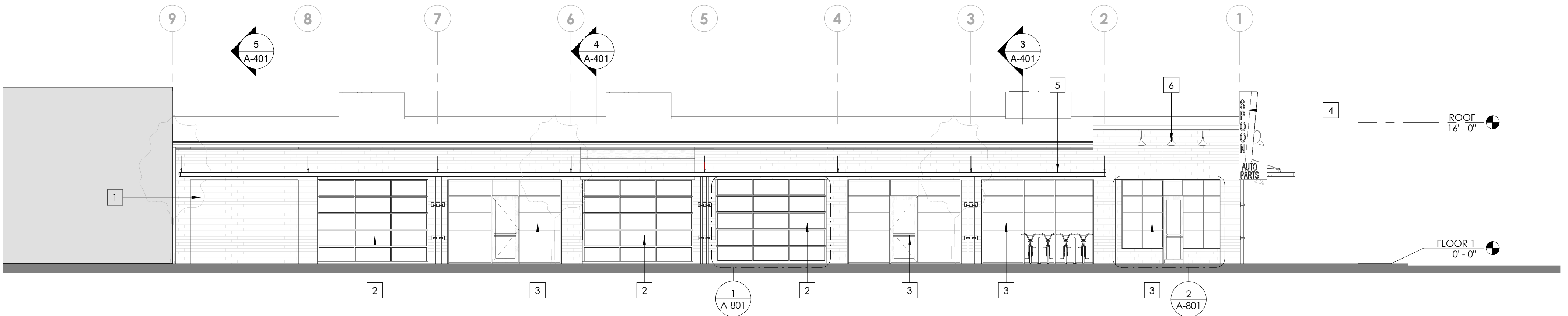
- 6" RECESSED CAN
- ANP LIGHTING - GOOSENECK
- 4' STRIP LIGHT
- EXIT LIGHT (ABOVE EXIT DOORS)



1 FLOOR 1 RCP - EXTERIOR IMPROVEMENTS
1/8" = 1'-0"



2 WEST - EXTERIOR IMPROVEMENTS
1/8" = 1'-0"



1 NORTH - EXTERIOR IMPROVEMENTS
1/8" = 1'-0"

ELEVATION LEGEND

- 1 EXPOSED BOARDFORM CONCRETE - REMOVE EXISTING MARBLECRETE WALL FINISH TO EXPOSE EXISTING BOARD FORMED CONCRETE, PAINT (SW7654 LATICE OR APPROVED EQUAL)

ALTERNATE: PROVIDE NEW SMOOTH PLASTER FINISH OVER ALL EXTERIOR WALLS.
- 2 GLASS OVERHEAD DOOR - INSTALL NEW GLASS OVERHEAD DOOR IN EXISTING OPENING, CLEAR LOW-E GLASS WITH BLACK ANODIZED ALUMINUM FINISH. EXAMPLE: CLOPAY AVANTEE OR APPROVED EQUAL.
- 3 STOREFRONT - SEE SCHEDULE. FINISH: BLACK. NOTE: STOREFRONT MULLIONS TO ALIGN WITH OVERHEAD GARAGE DOOR MULLIONS, TYPICAL. PROVIDE SHOP DRAWINGS FOR REVIEW.
- 4 EXISTING SPOON AUTOMOTIVE SIGN TO REMAIN
- 5 METAL CANOPY - FINISH: BLACK (SW7020 BLACK FOX OR APPROVED EQUAL)
- 6 GOOSENECK LIGHT FIXTURES - FINISH: BLACK, SEE REFLECTED CEILING PLAN.

SPoon AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS

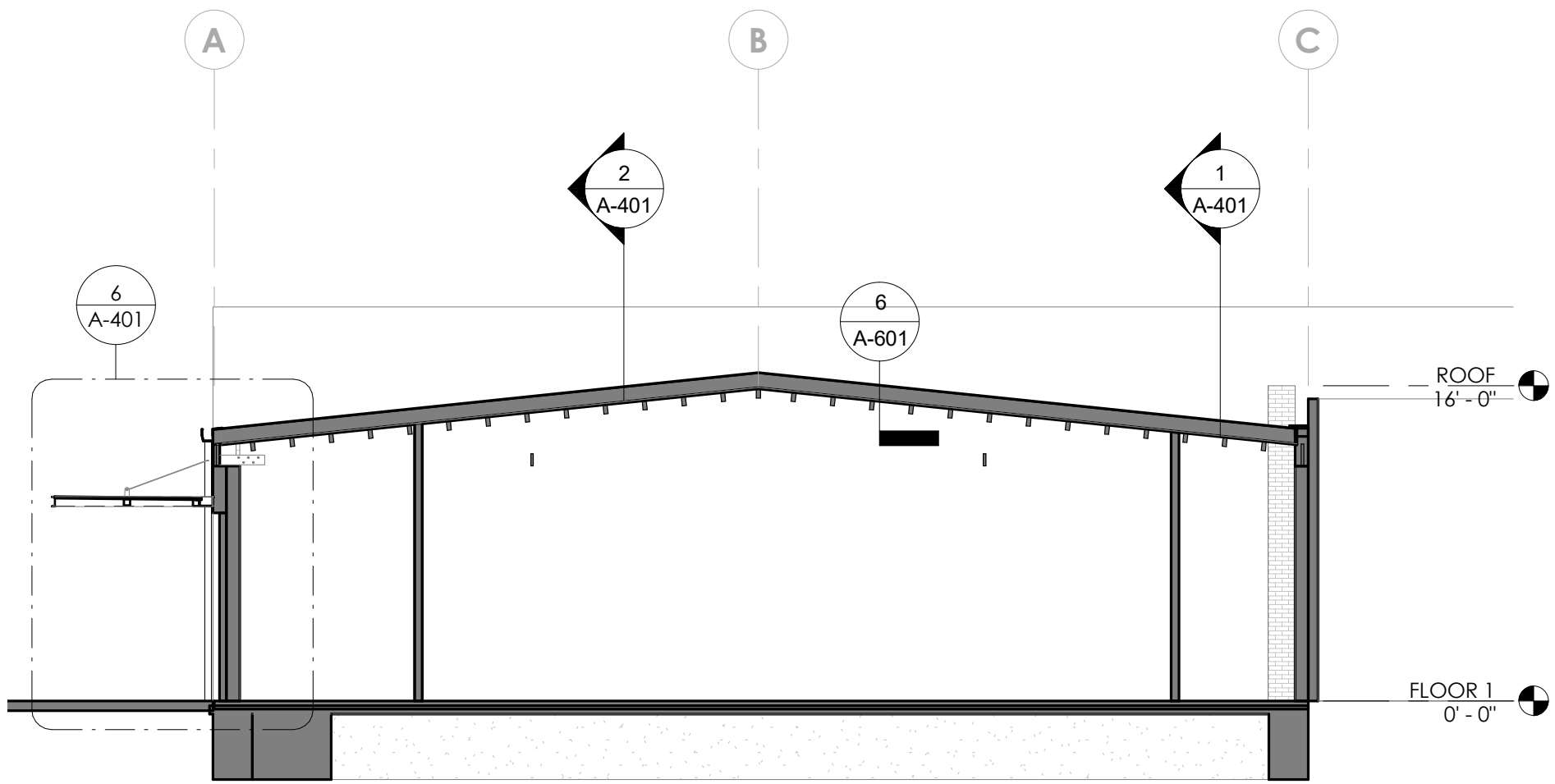
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Project No: 1715
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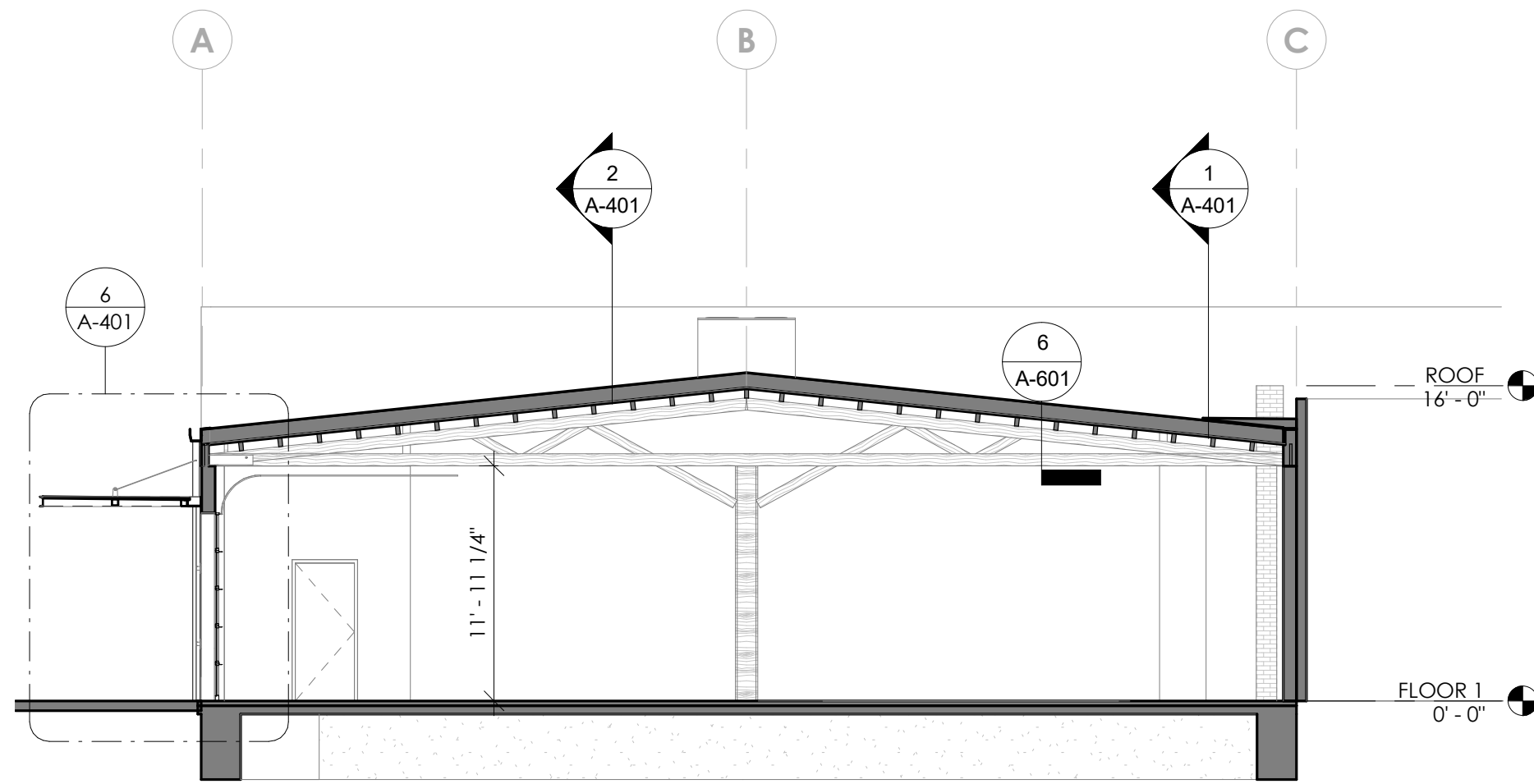
SECTIONS

A-401

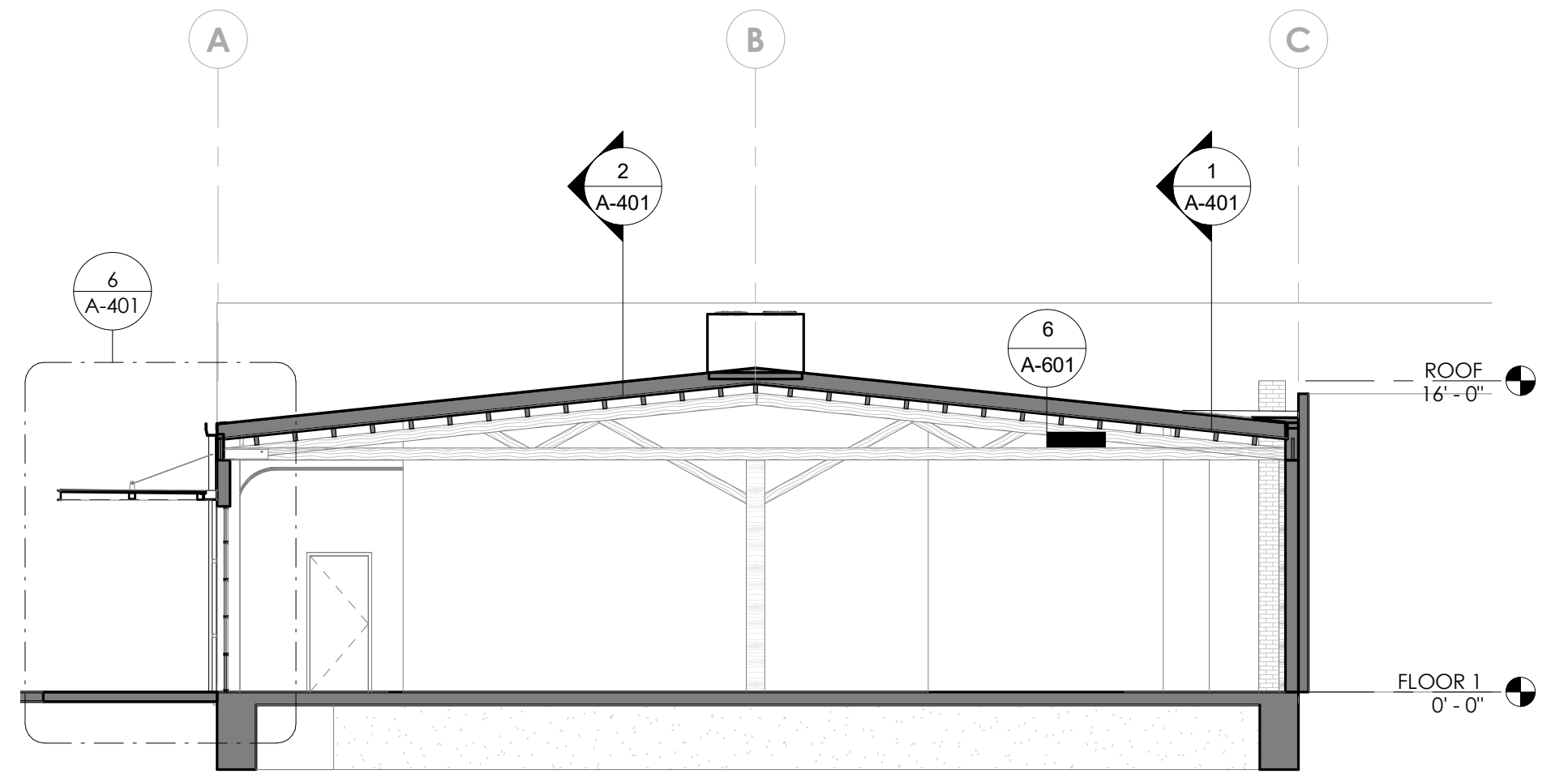
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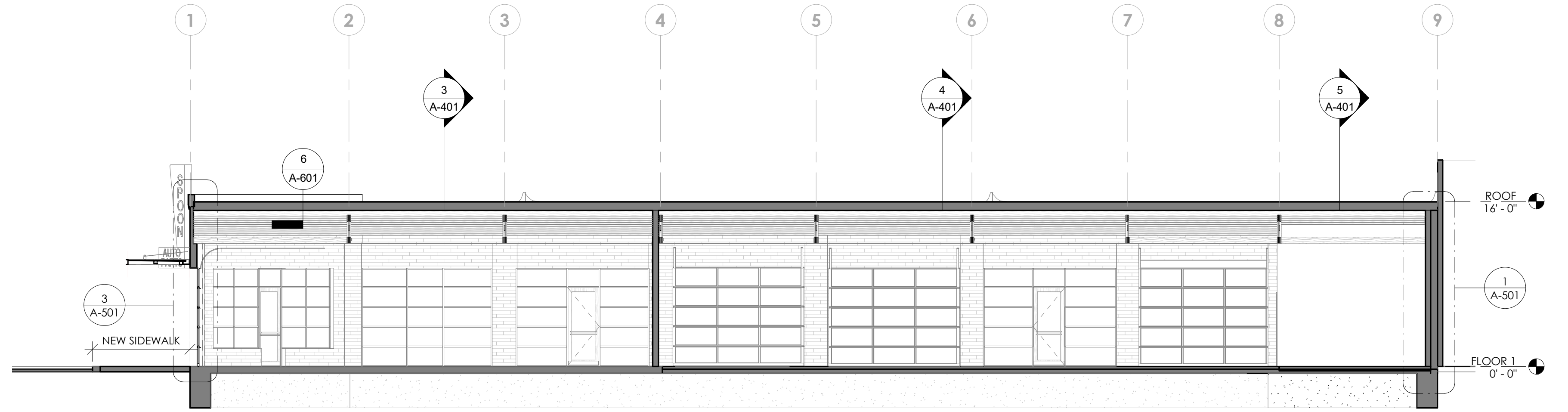
5 SECTION 5
1/8" = 1'-0"



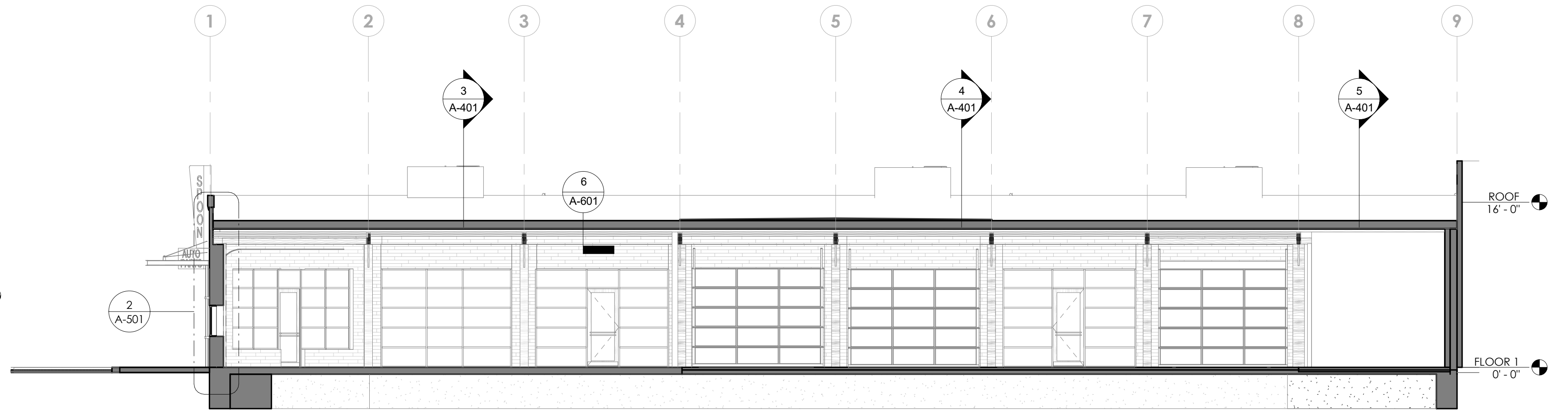
4 SECTION 4
1/8" = 1'-0"



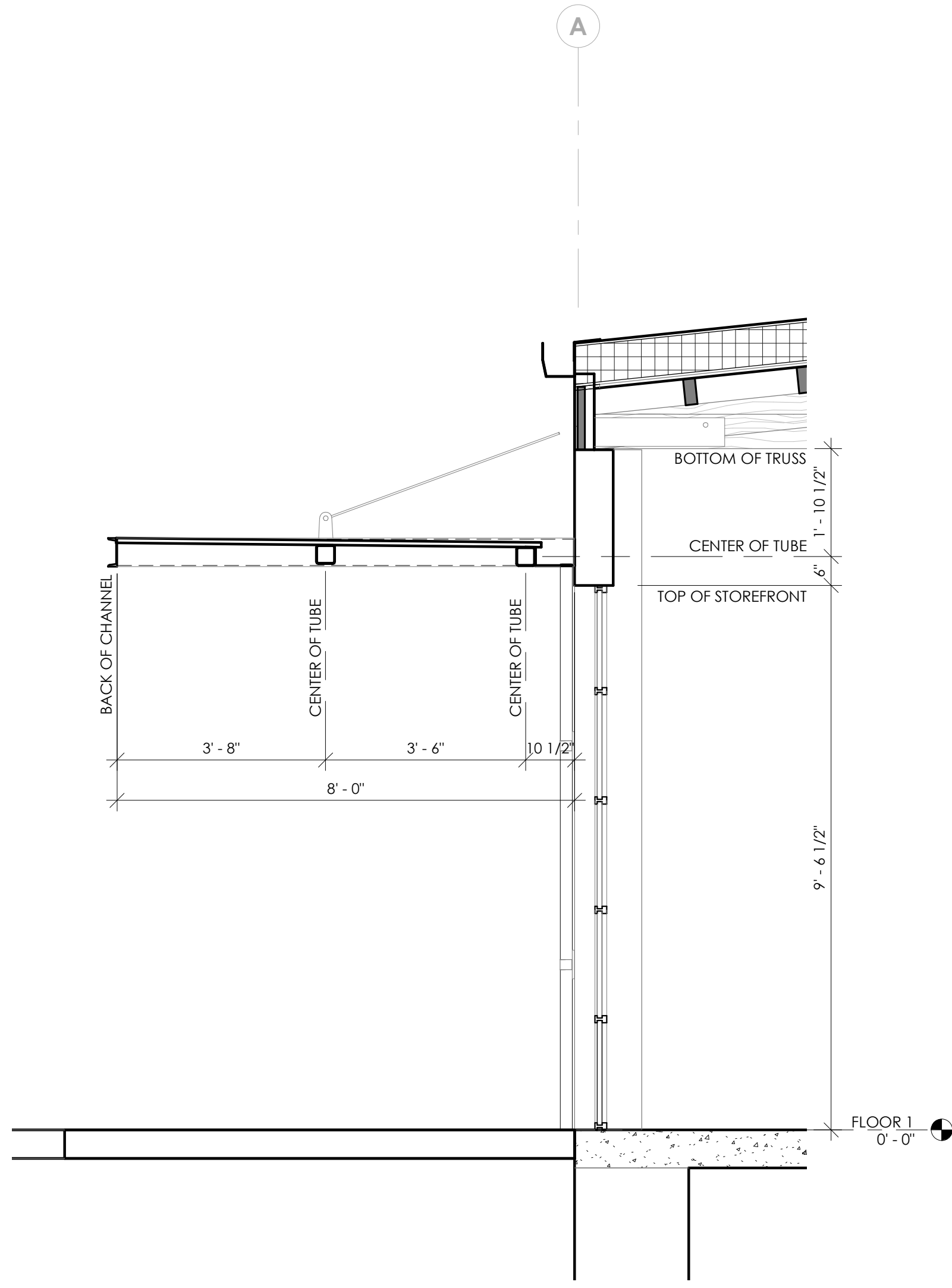
3 SECTION 3
1/8" = 1'-0"



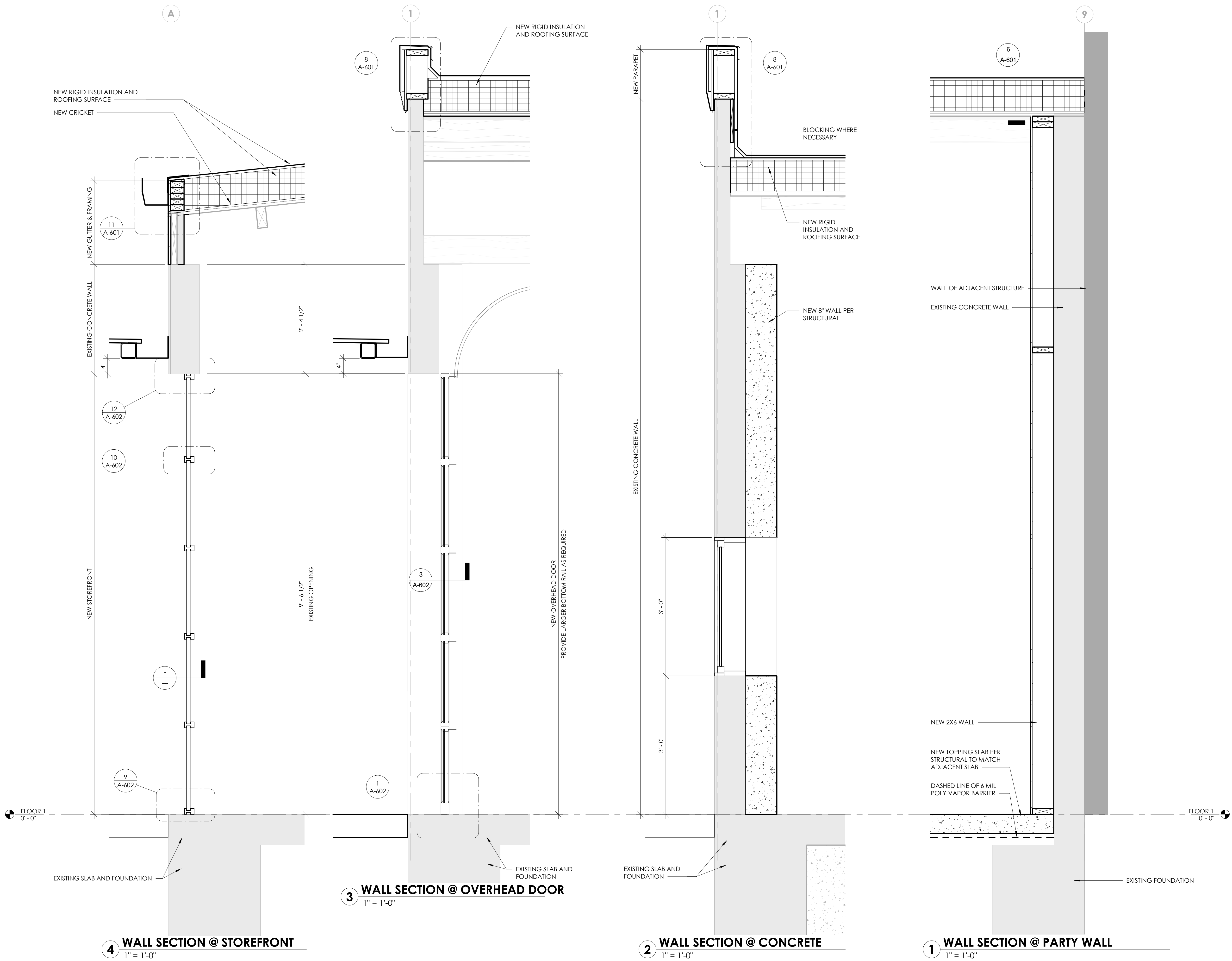
2 SECTION 2
1/8" = 1'-0"



1 SECTION 1
1/8" = 1'-0"



6 WALL SECTION @ CANOPY, TYPICAL
1/2" = 1'-0"



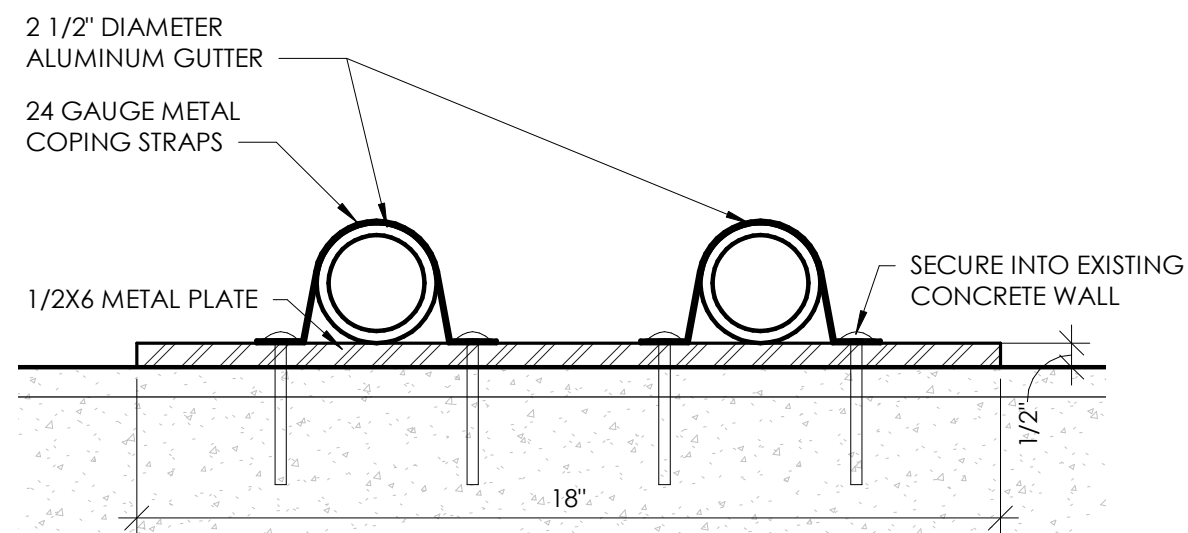
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PERMIT SET
JUNE 16, 2021

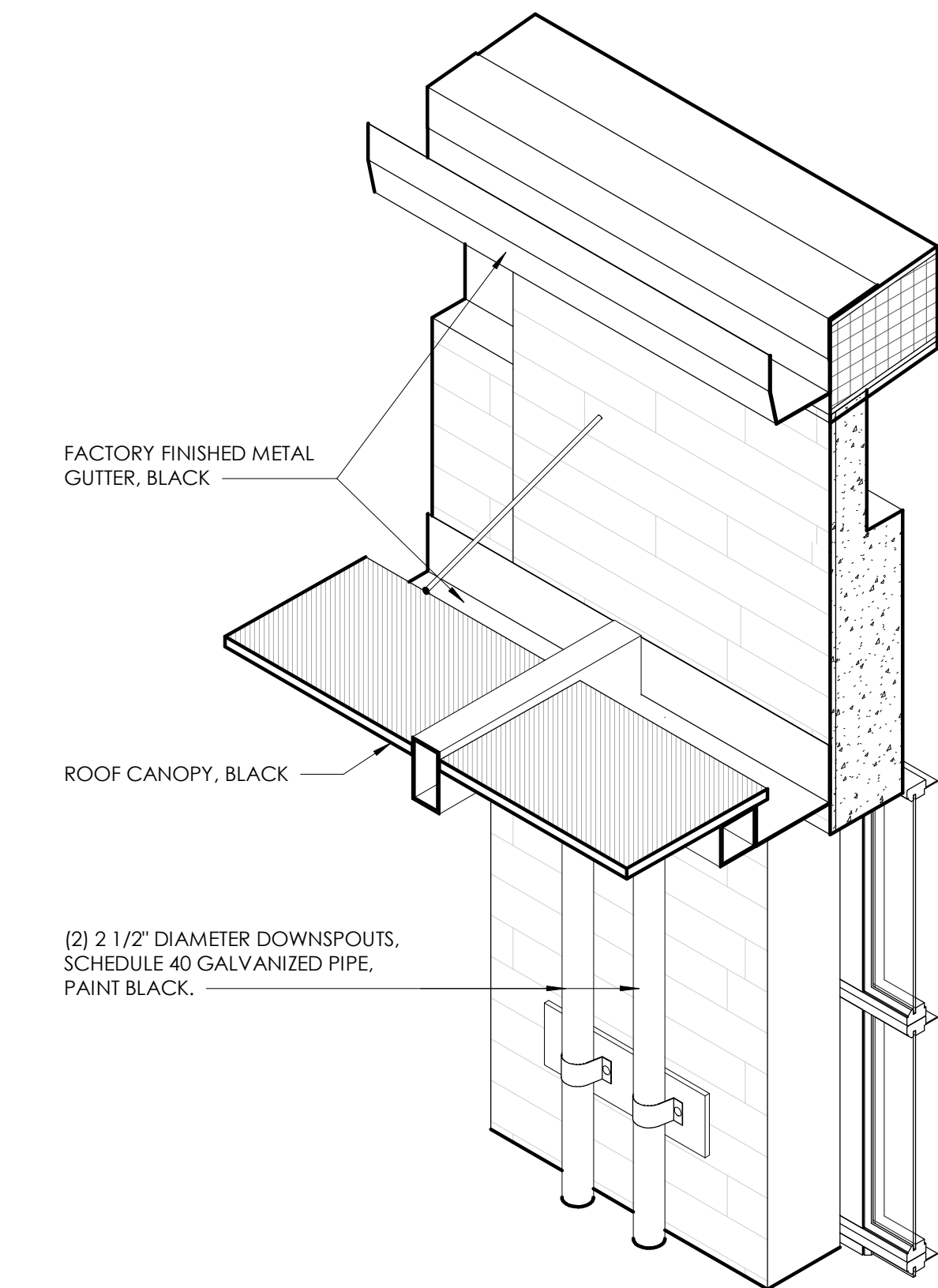
WALL SECTIONS

A-501

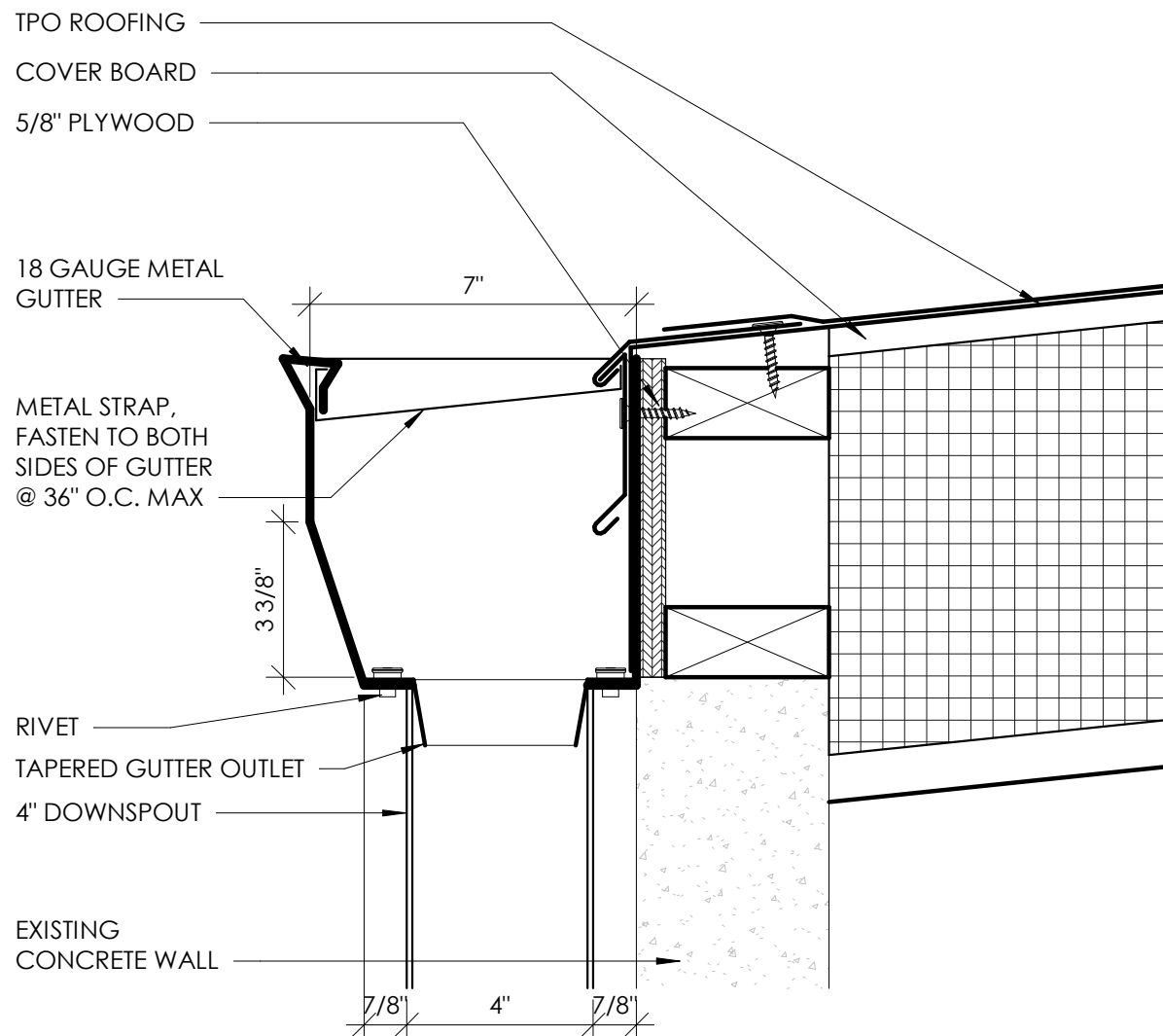
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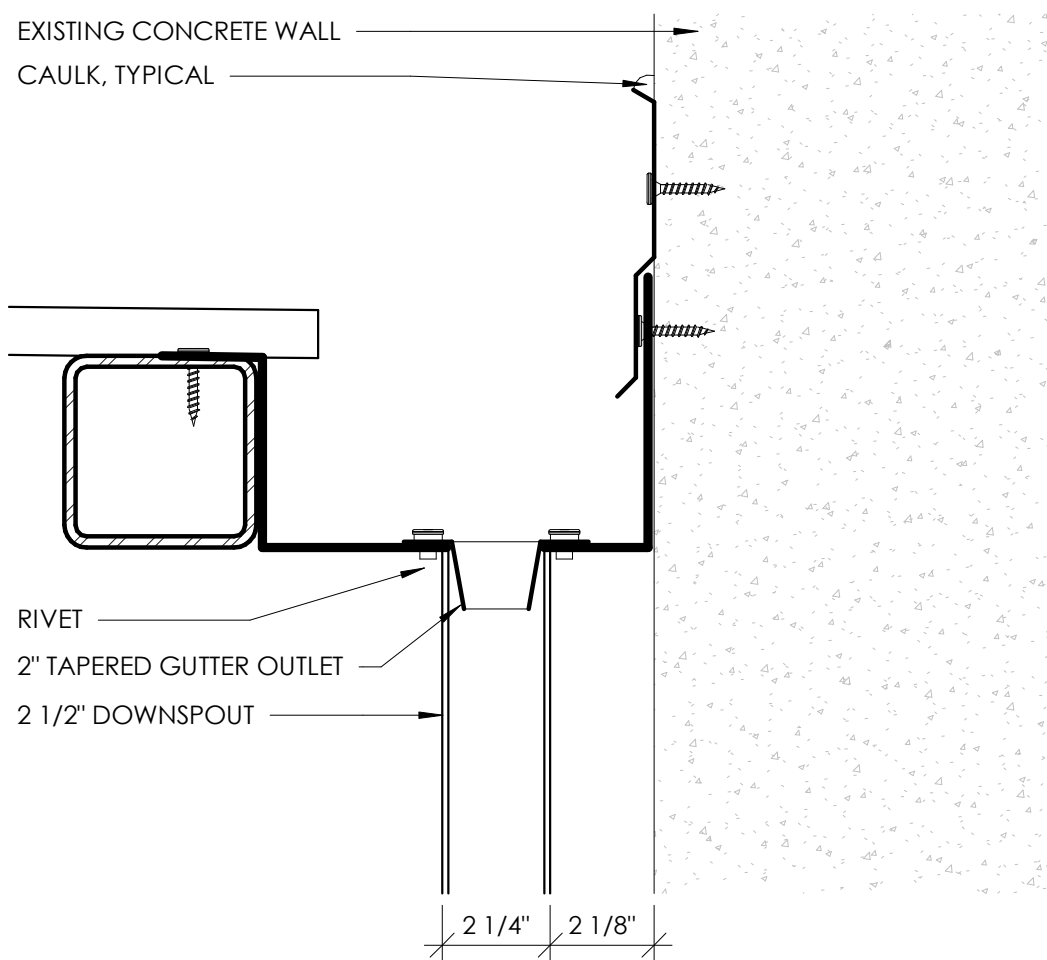
13 GUTTER ATTACHMENT
3" = 1'-0"



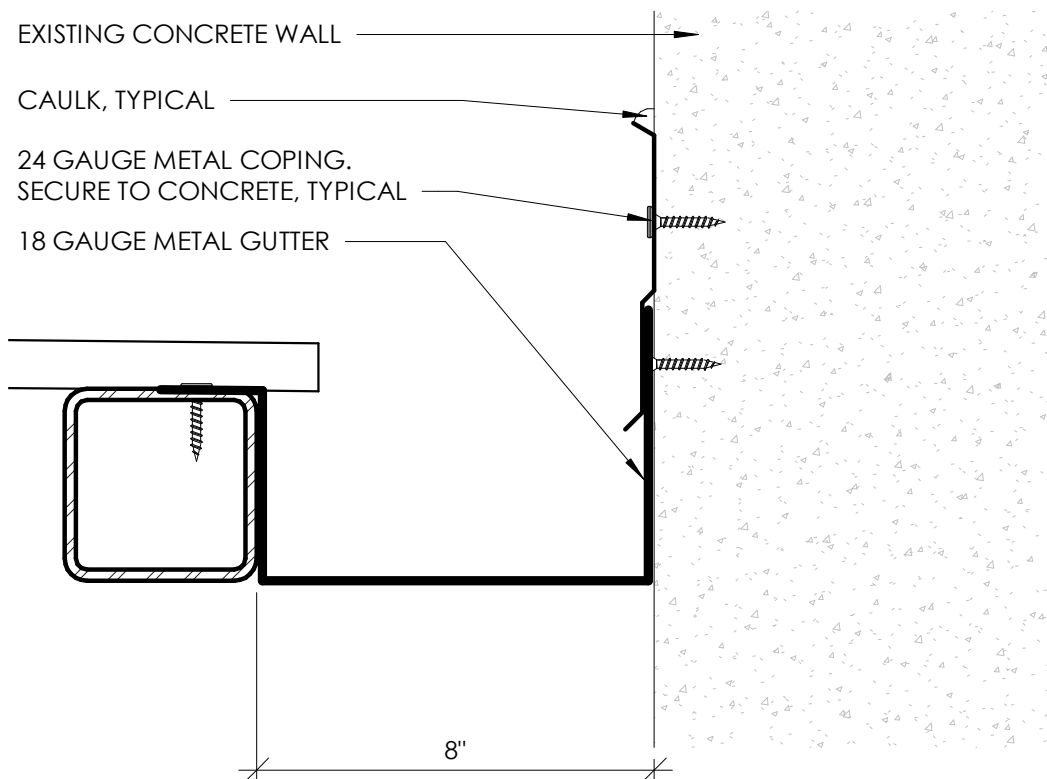
12 DOWNSPOUT ASSEMBLY



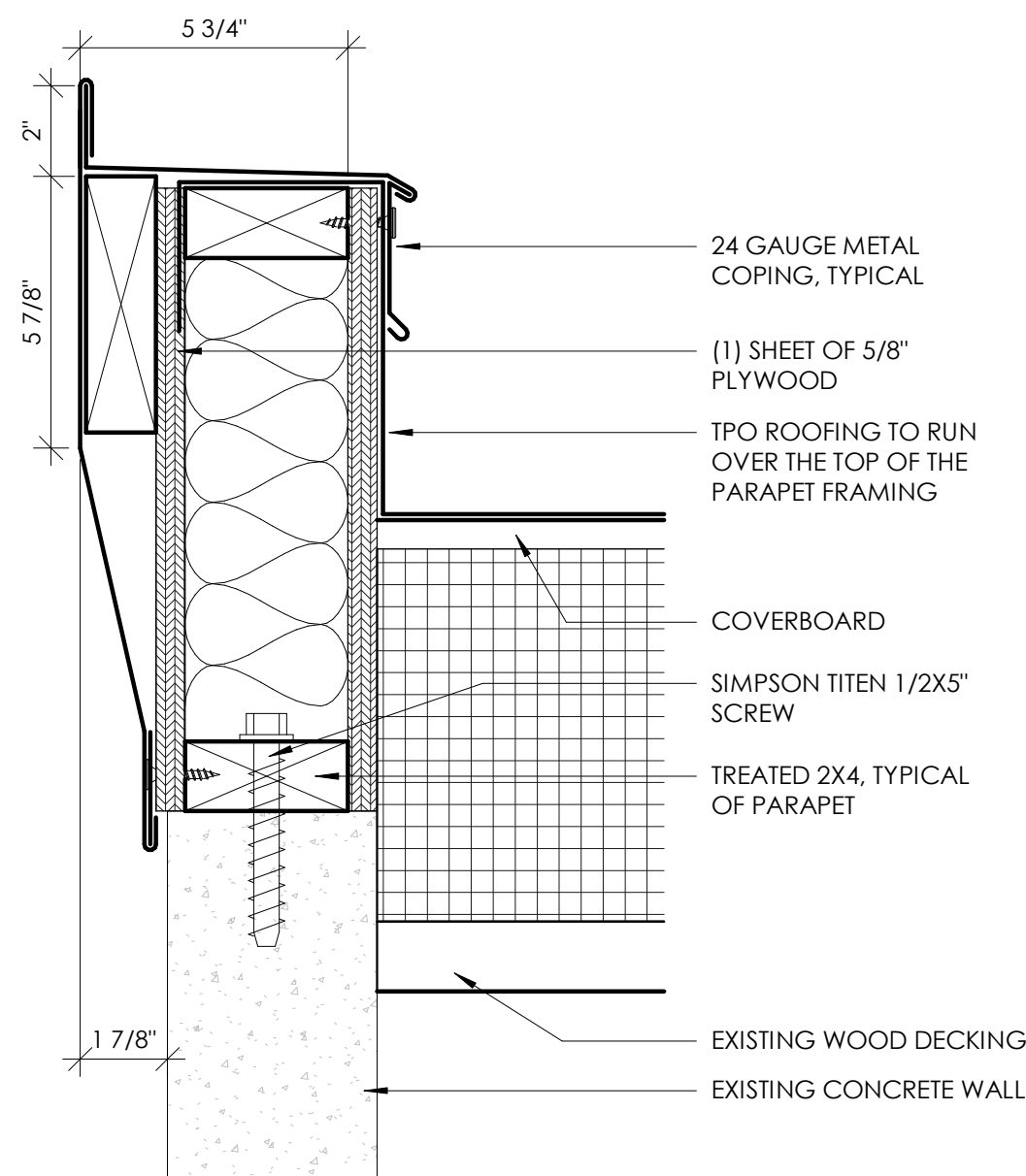
11 ROOF DRAIN
3" = 1'-0"



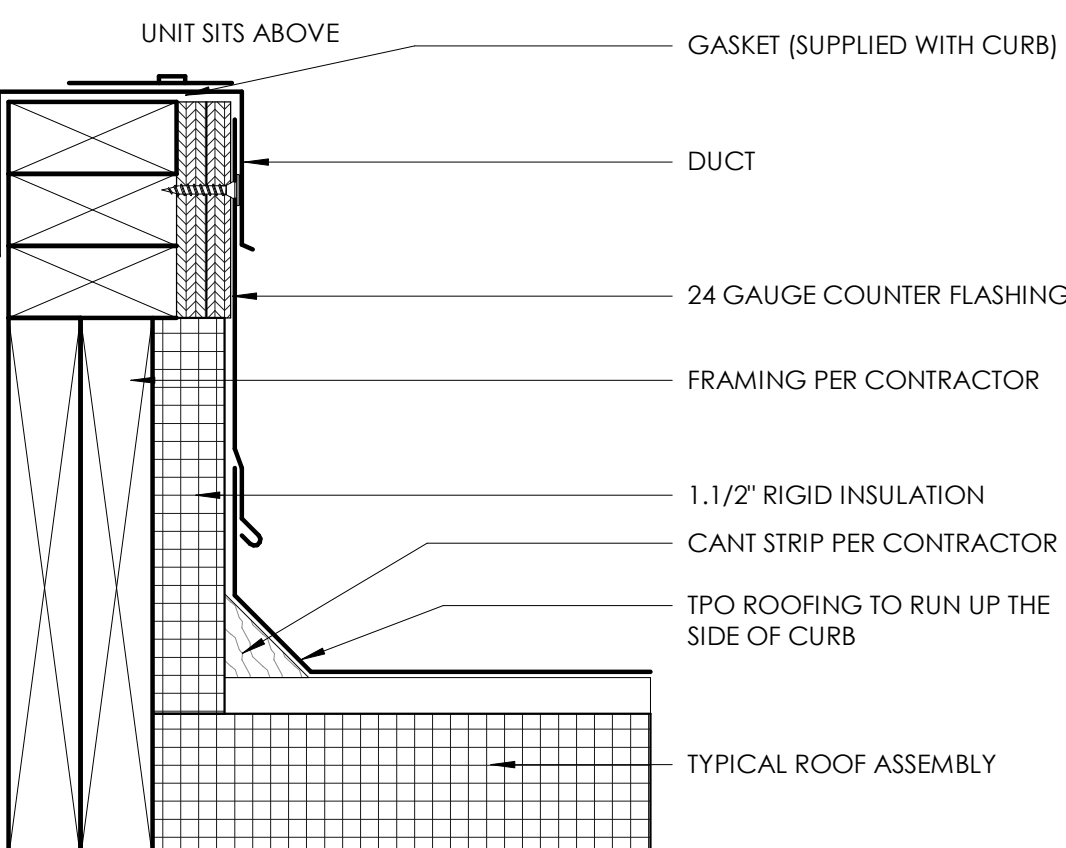
10 CANOPY GUTTER @ DOWNSPOUT
3" = 1'-0"



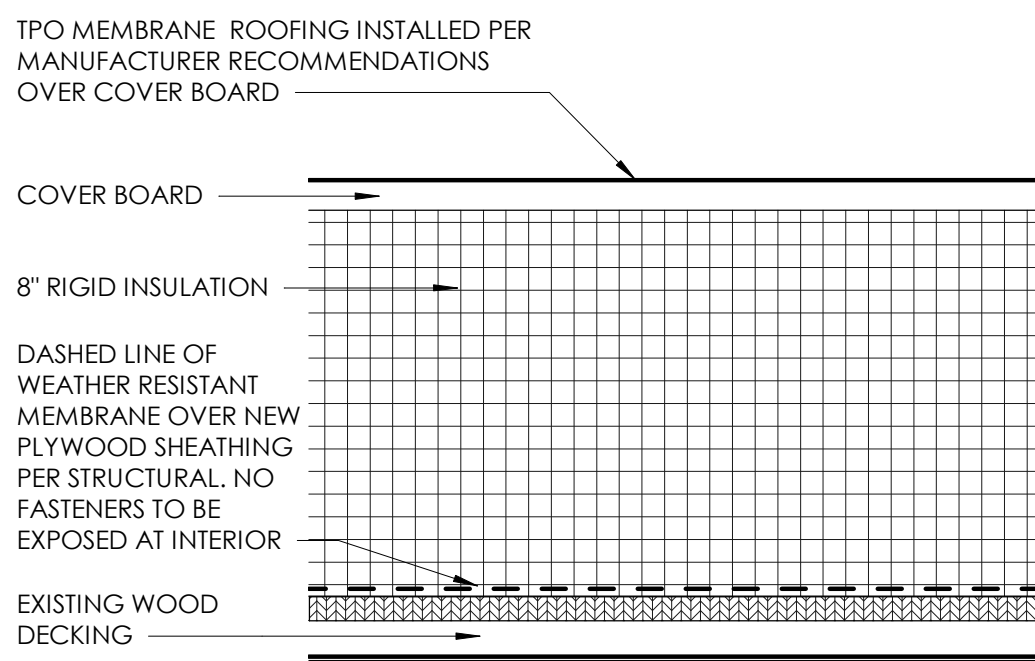
9 CANOPY GUTTER - TYPICAL
3" = 1'-0"



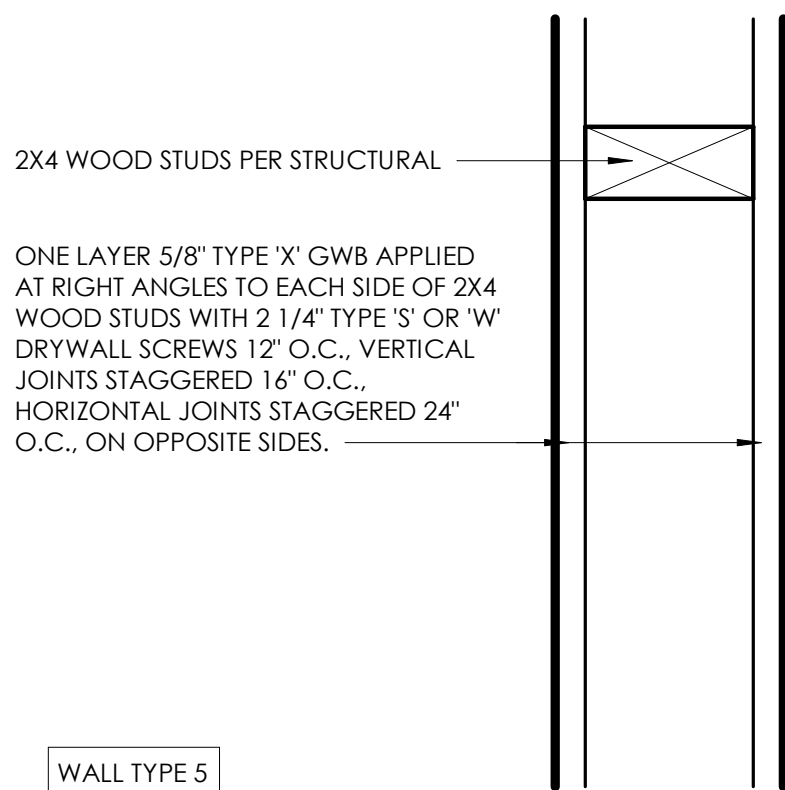
8 PARAPET DETAIL - TYPICAL
3" = 1'-0"



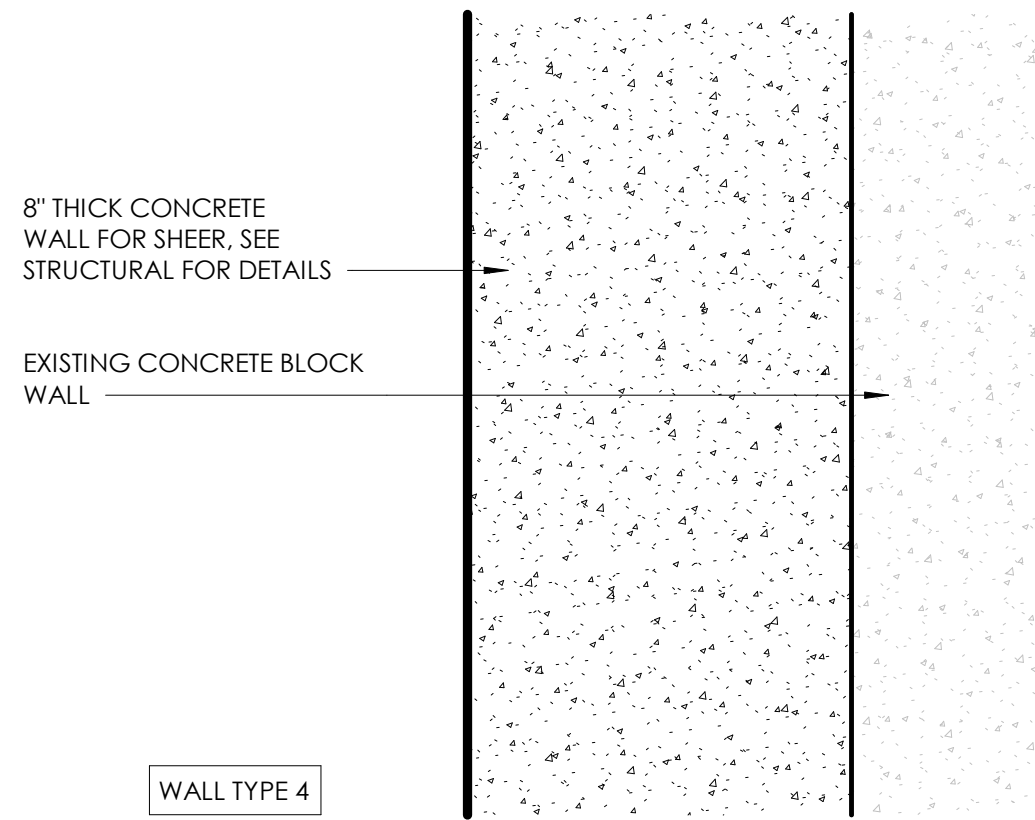
7 ROOF CURB @ HVAC
3" = 1'-0"



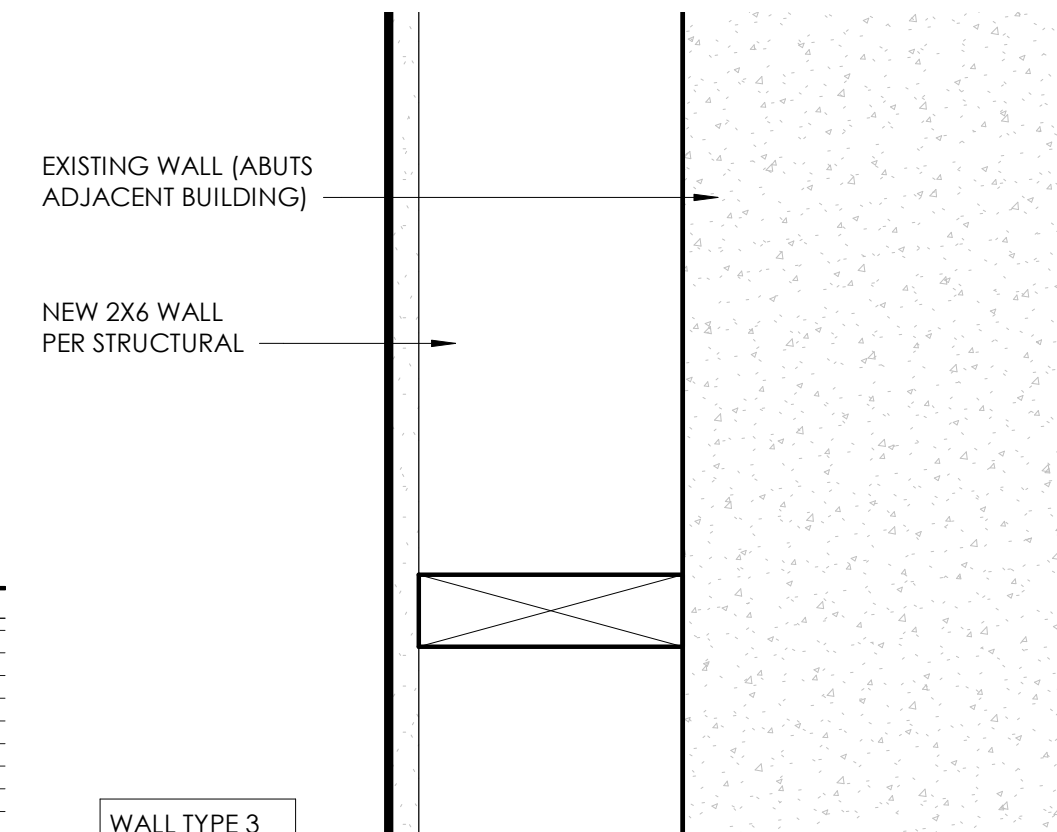
6 ROOF CEILING ASSEMBLY
3" = 1'-0"



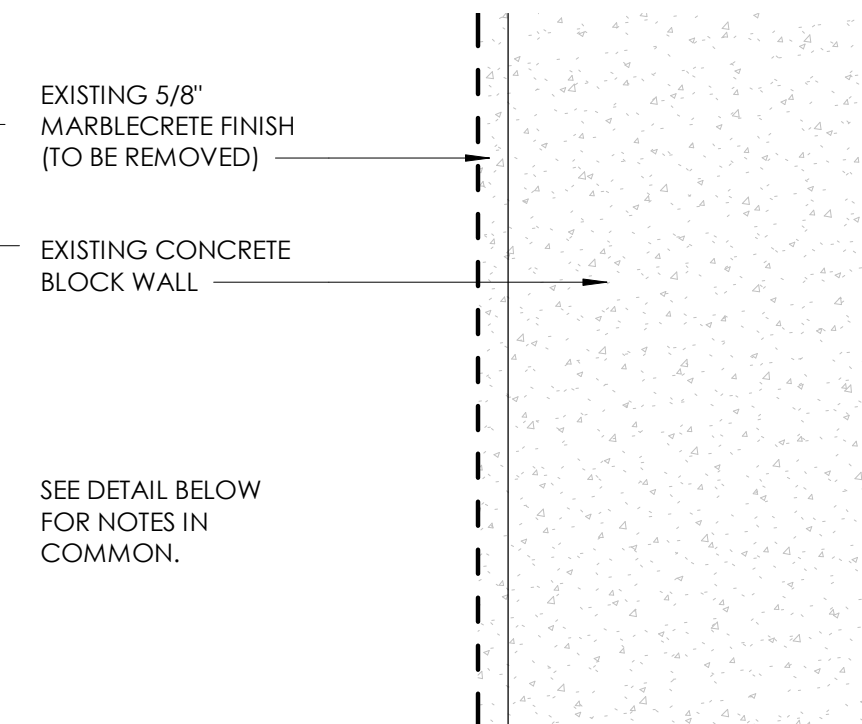
5 2X4 WALL
3" = 1'-0"



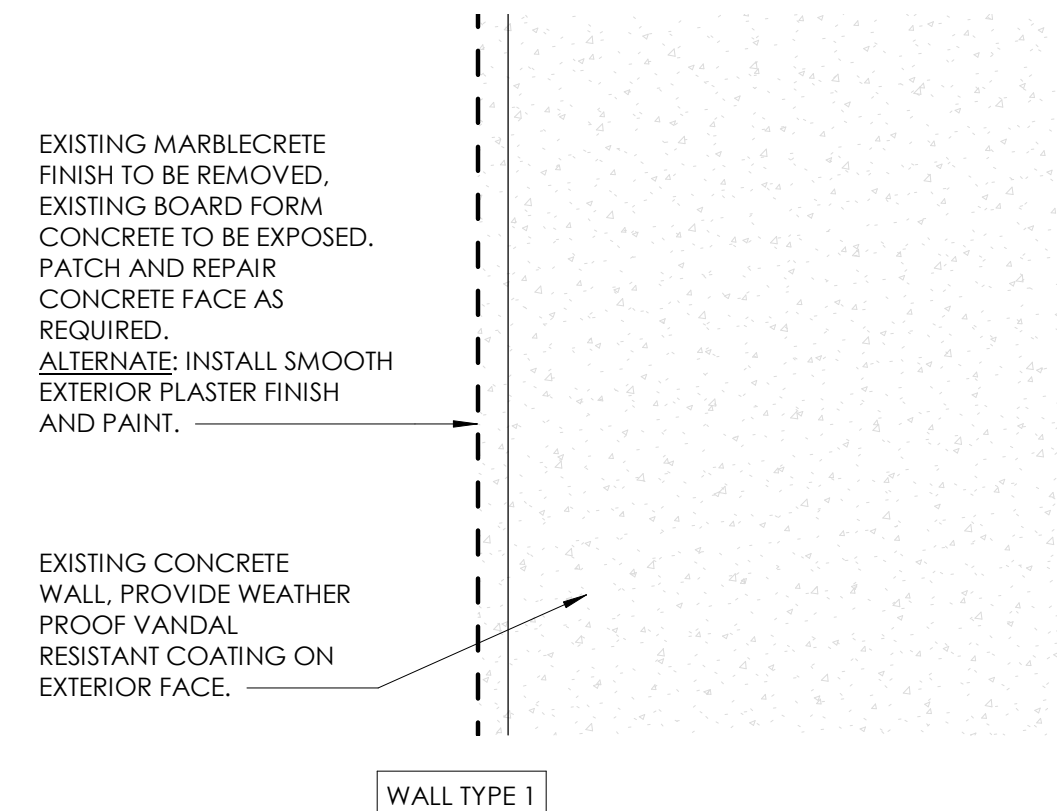
4 8" CONCRETE WALL
3" = 1'-0"



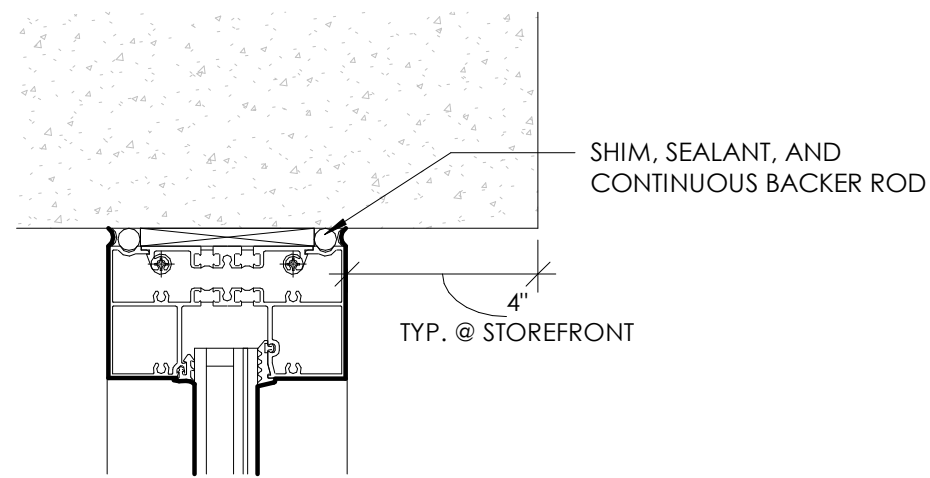
3 PARTY WALL - EAST
3" = 1'-0"



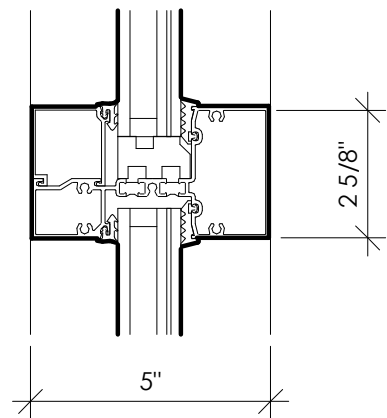
2 EXISTING CONCRETE WALL @ HEAD
3" = 1'-0"



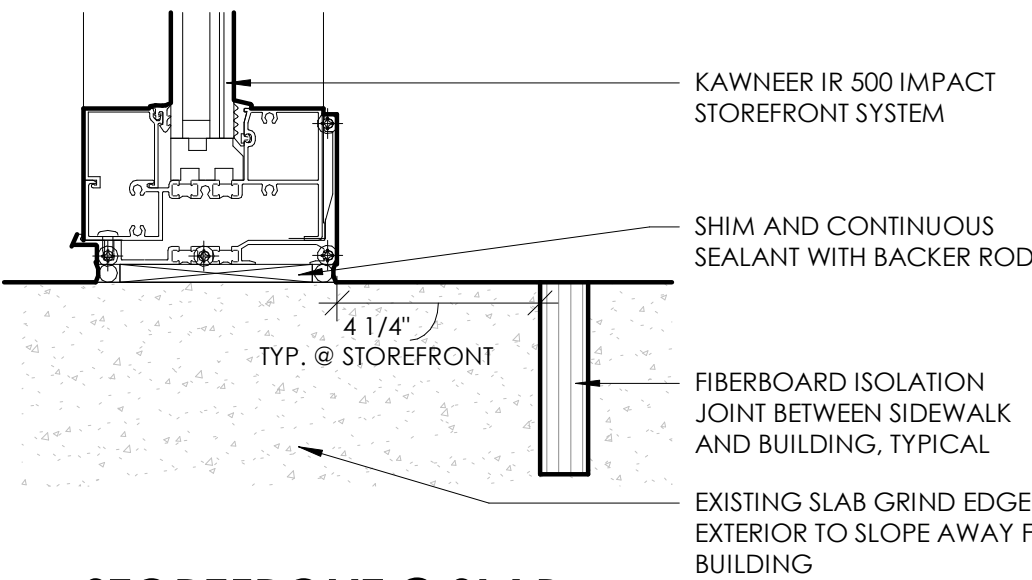
1 EXISTING CONCRETE WALL @ BASE
3" = 1'-0"



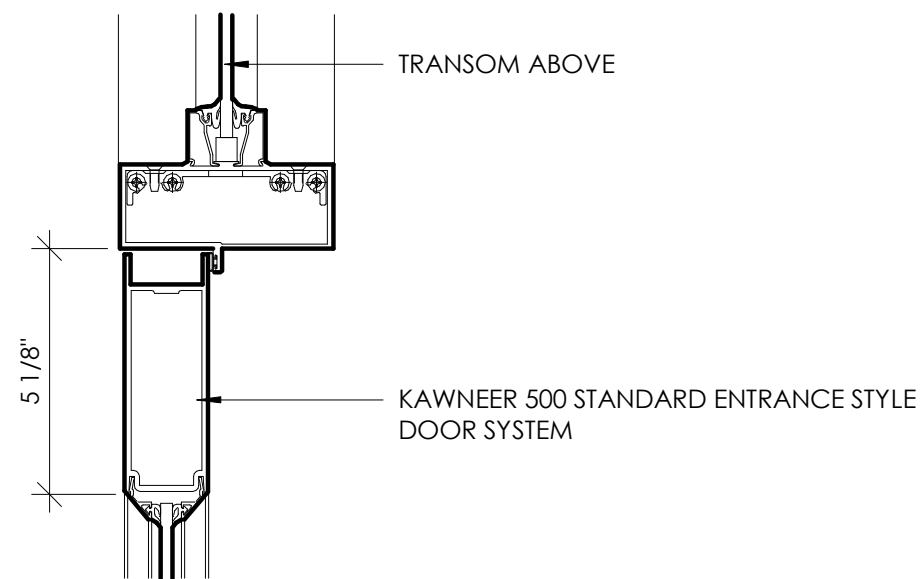
12 STOREFRONT @ HEAD & JAMB
3" = 1'-0"



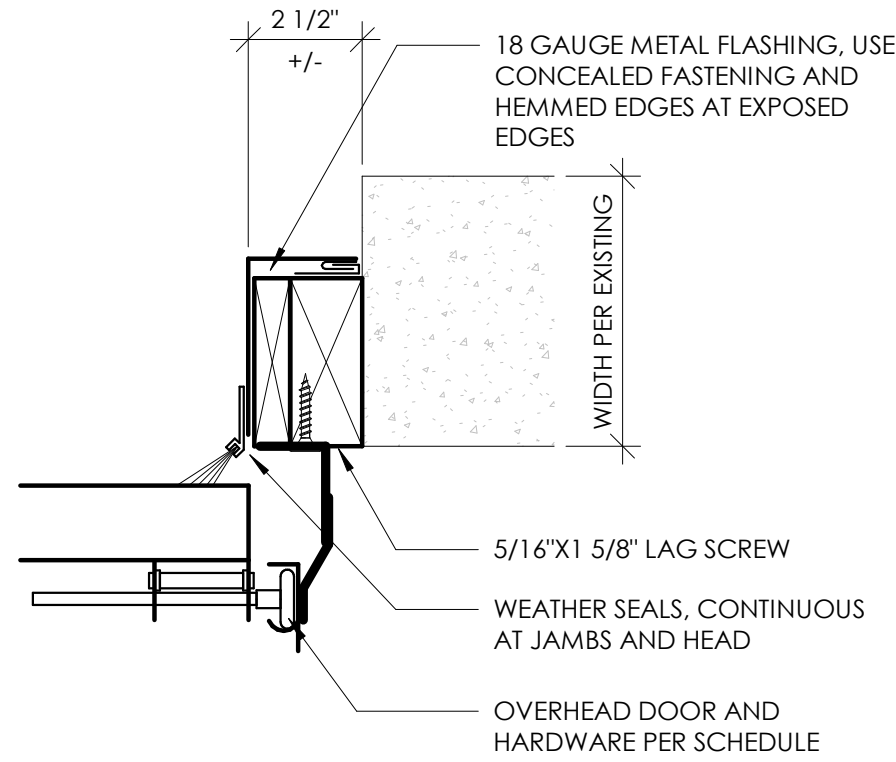
10 STOREFRONT @ MULLION, TYPICAL
3" = 1'-0"



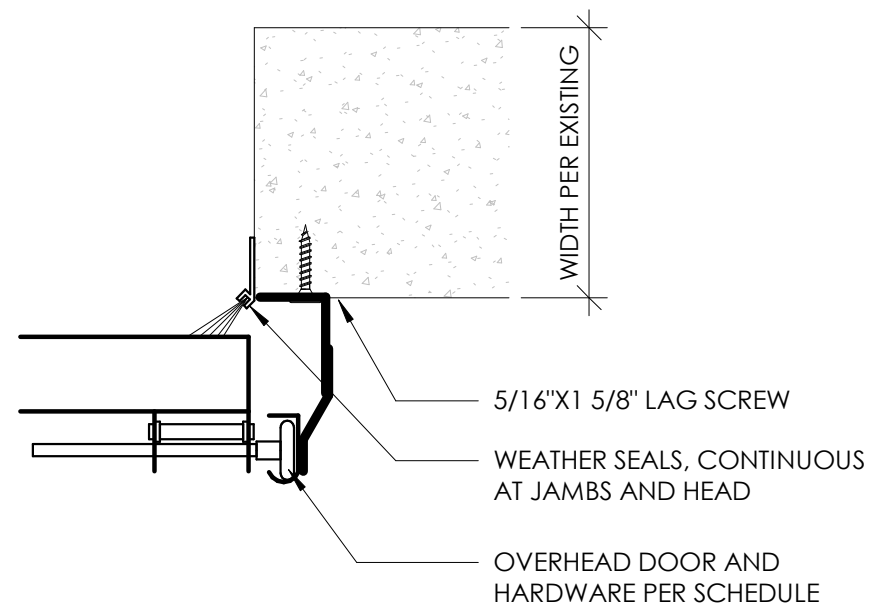
9 STOREFRONT @ SLAB
3" = 1'-0"



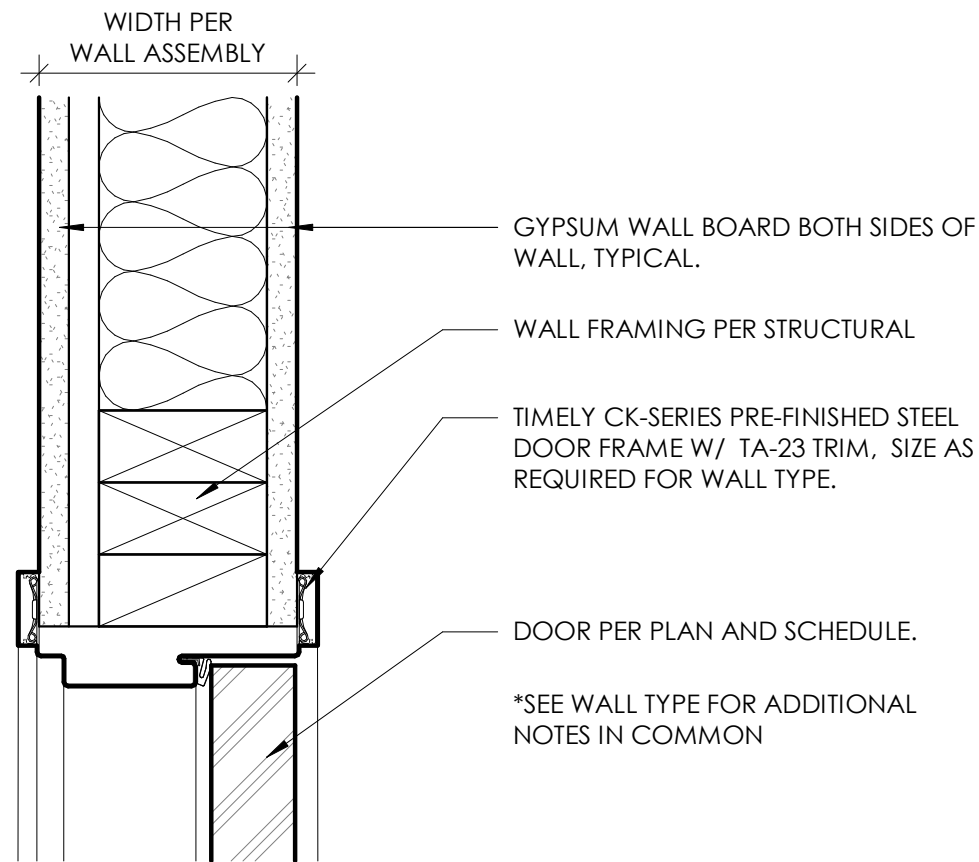
6 DOOR HEAD @ STOREFRONT
3" = 1'-0"



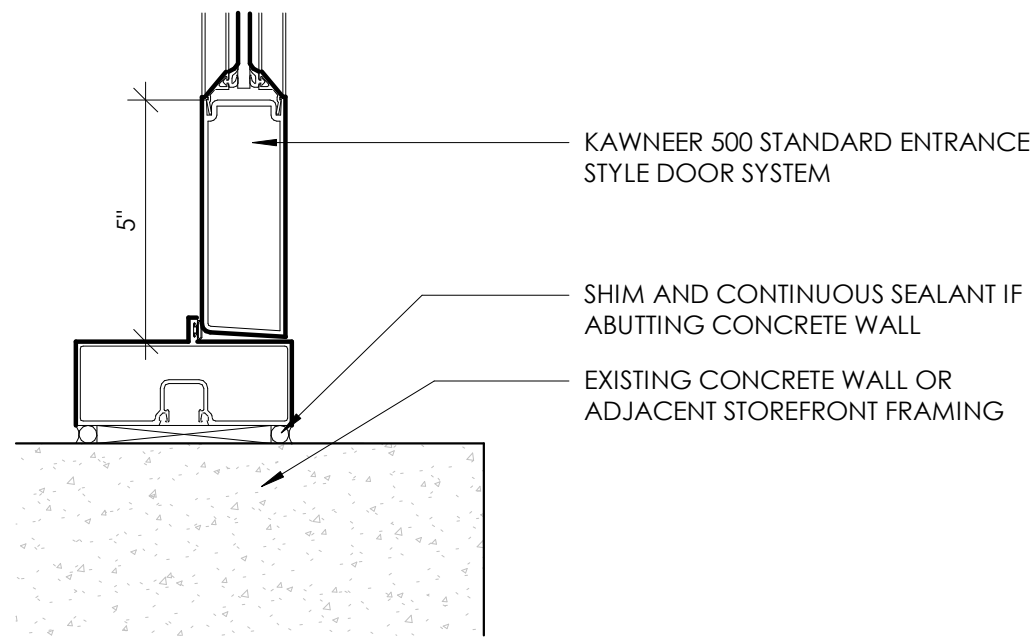
3 OVERHEAD JAMB @ CONCRETE, TYP.
3" = 1'-0"



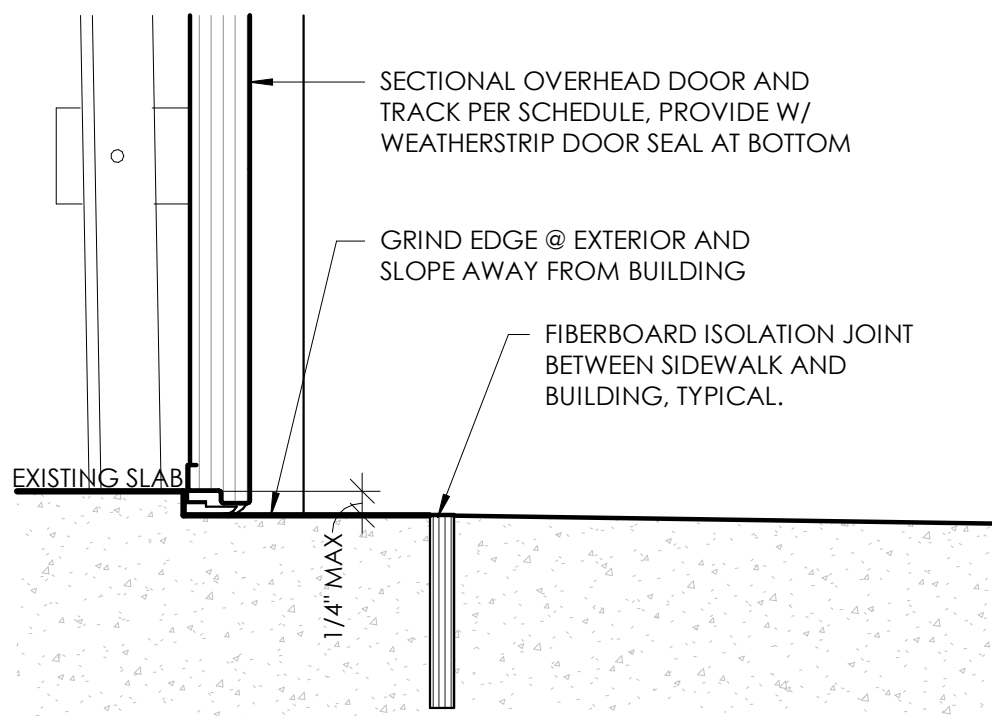
2 OVERHEAD JAMB @ CONCRETE, GRID 6&7
3" = 1'-0"



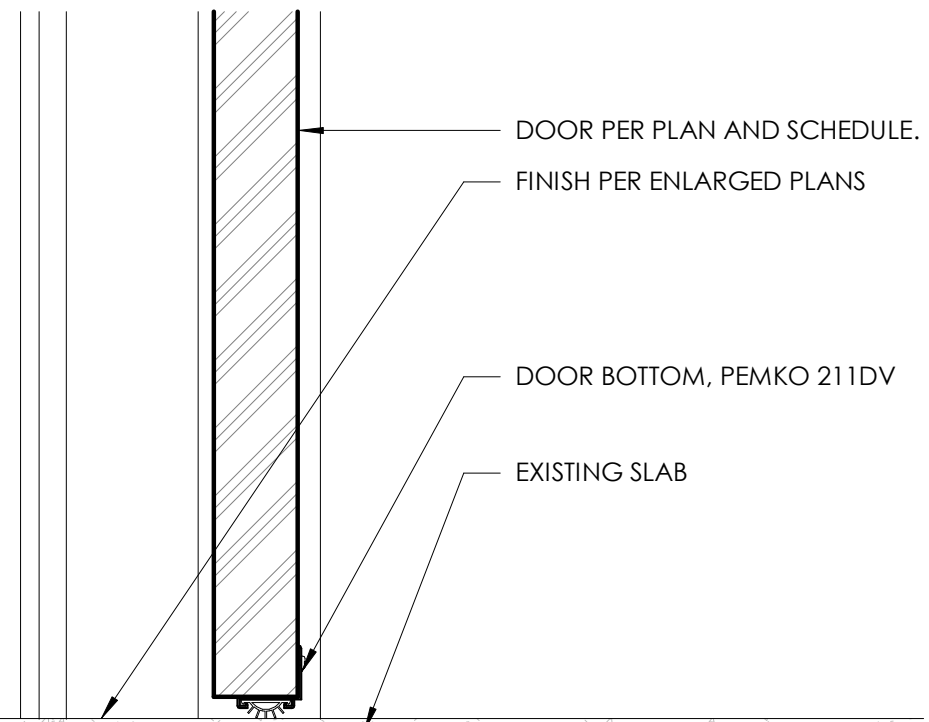
8 DOOR JAMB & HEAD @ INTERIOR
3" = 1'-0"



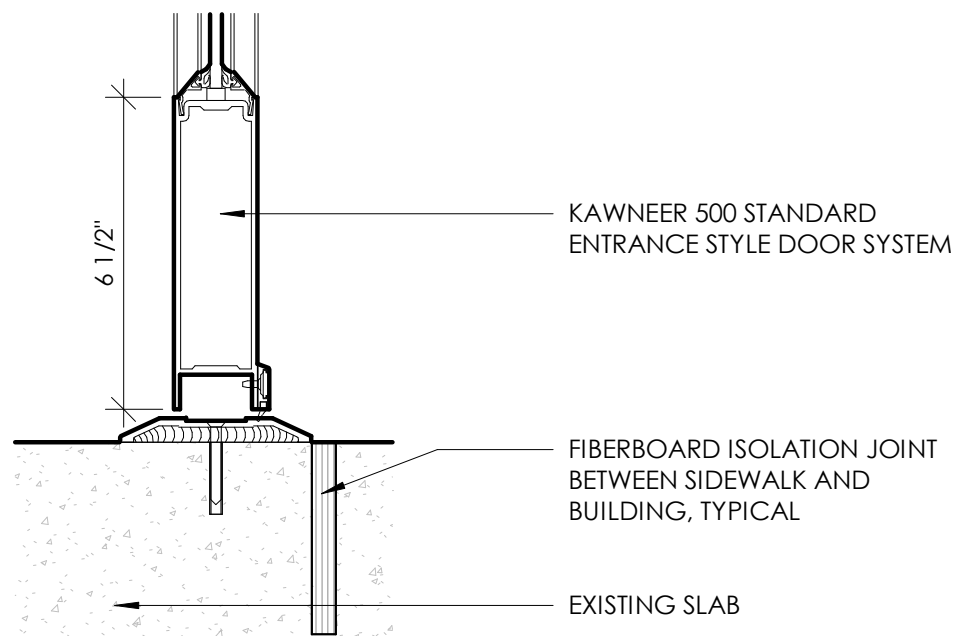
5 DOOR JAMB @ STOREFRONT, TYPICAL
3" = 1'-0"



1 OVERHEAD THRESHOLD @ SLAB
3" = 1'-0"



7 DOOR THRESHOLD @ INTERIOR
3" = 1'-0"



4 DOOR THRESHOLD @ STOREFRONT
3" = 1'-0"

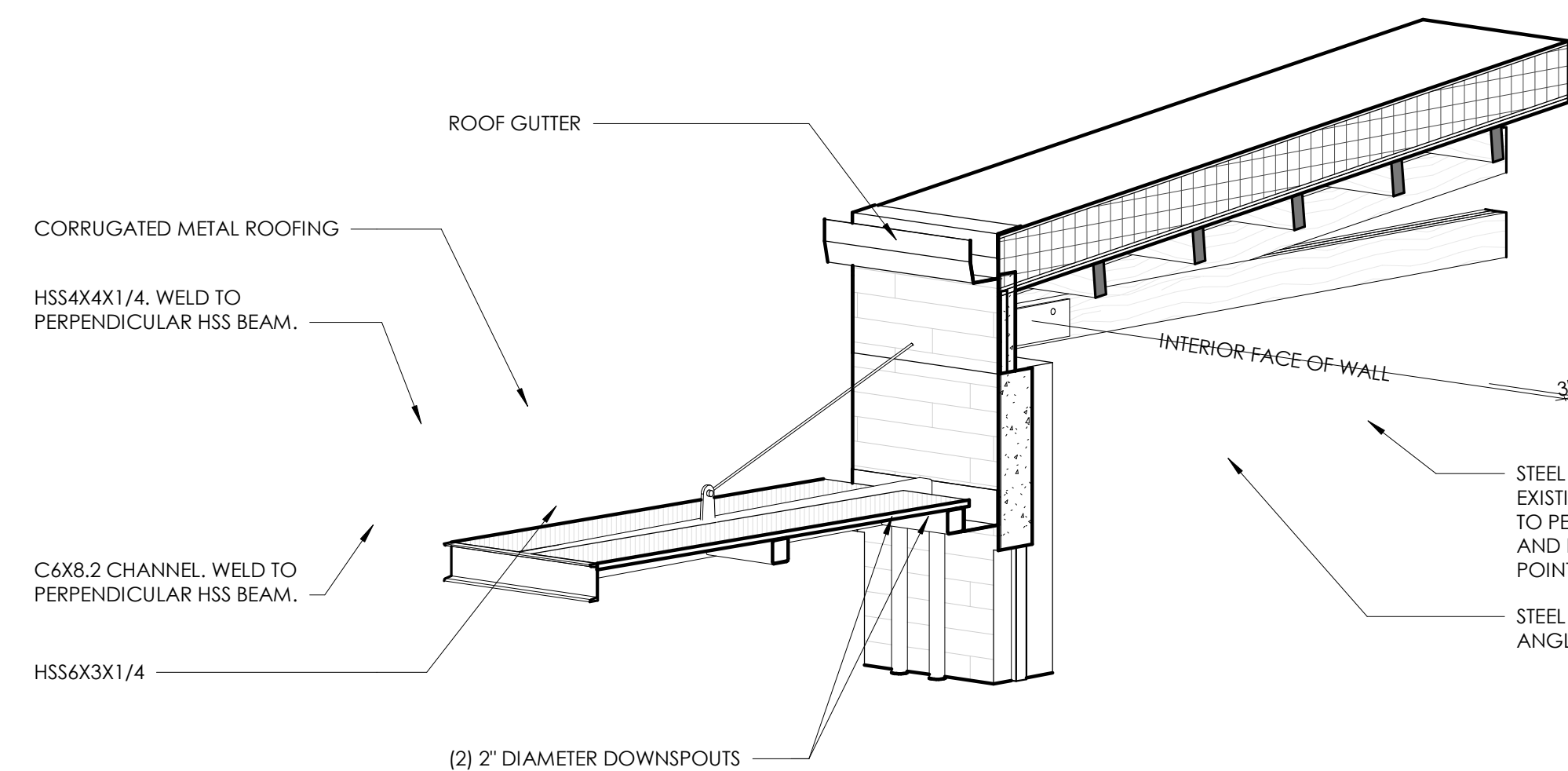
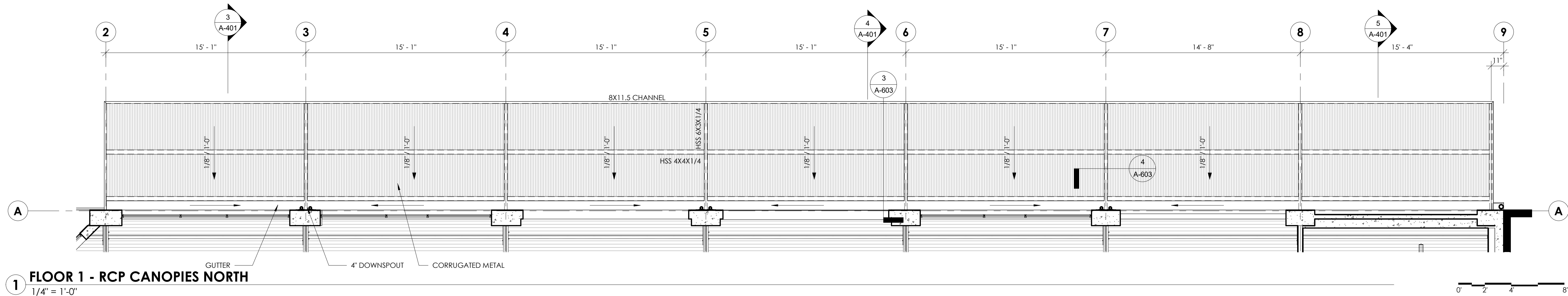
SPoon AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS
118 CHERRY ST | OLYMPIA, WA

Project No: 1715
PERMIT SET
JUNE 16, 2021

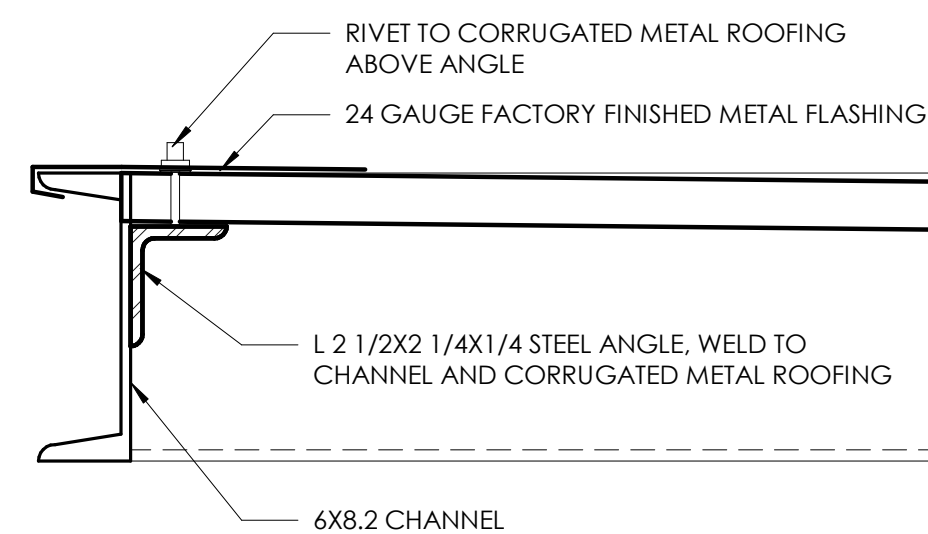
DETAILS -
CANOPY

A-603

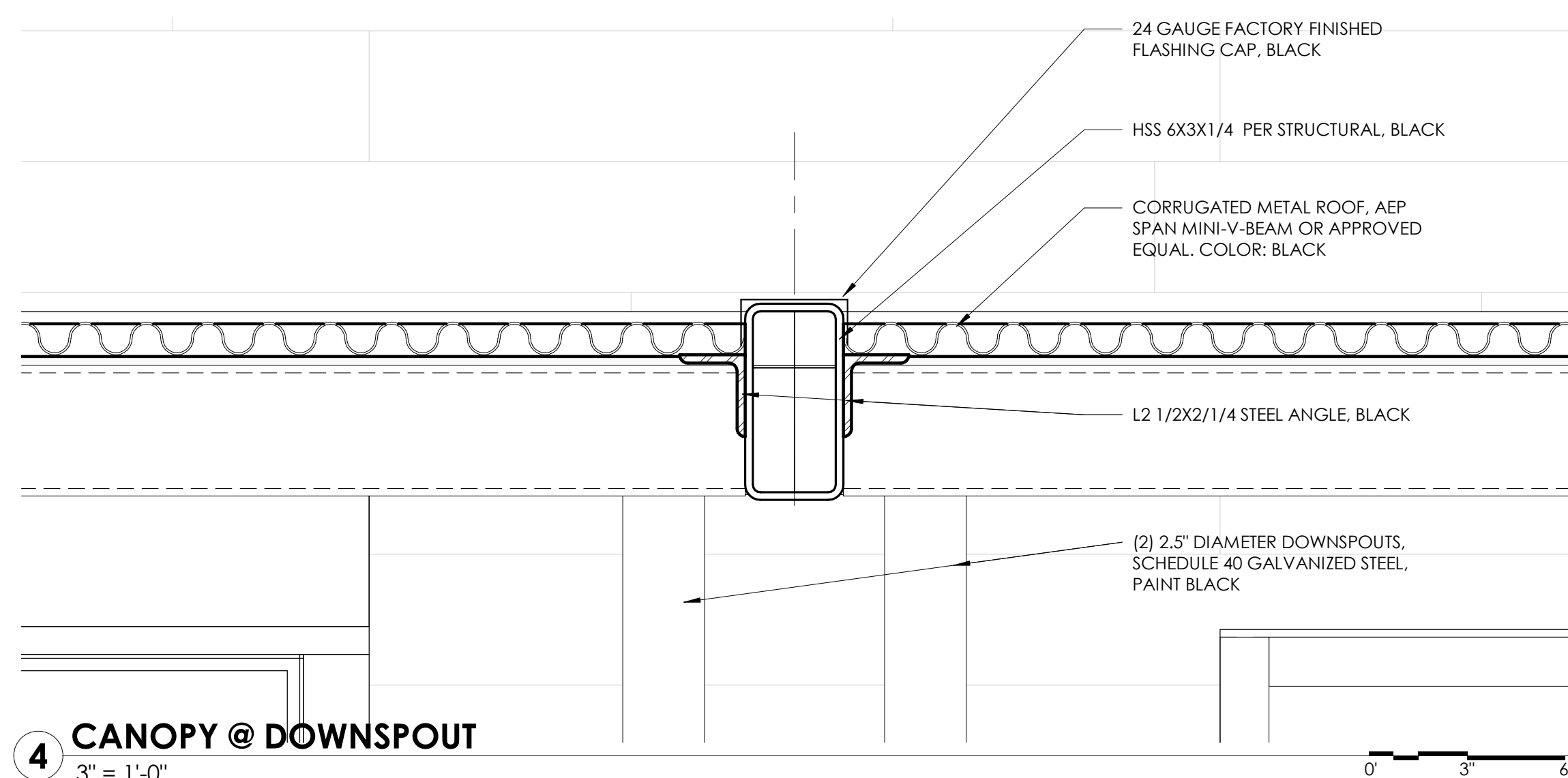
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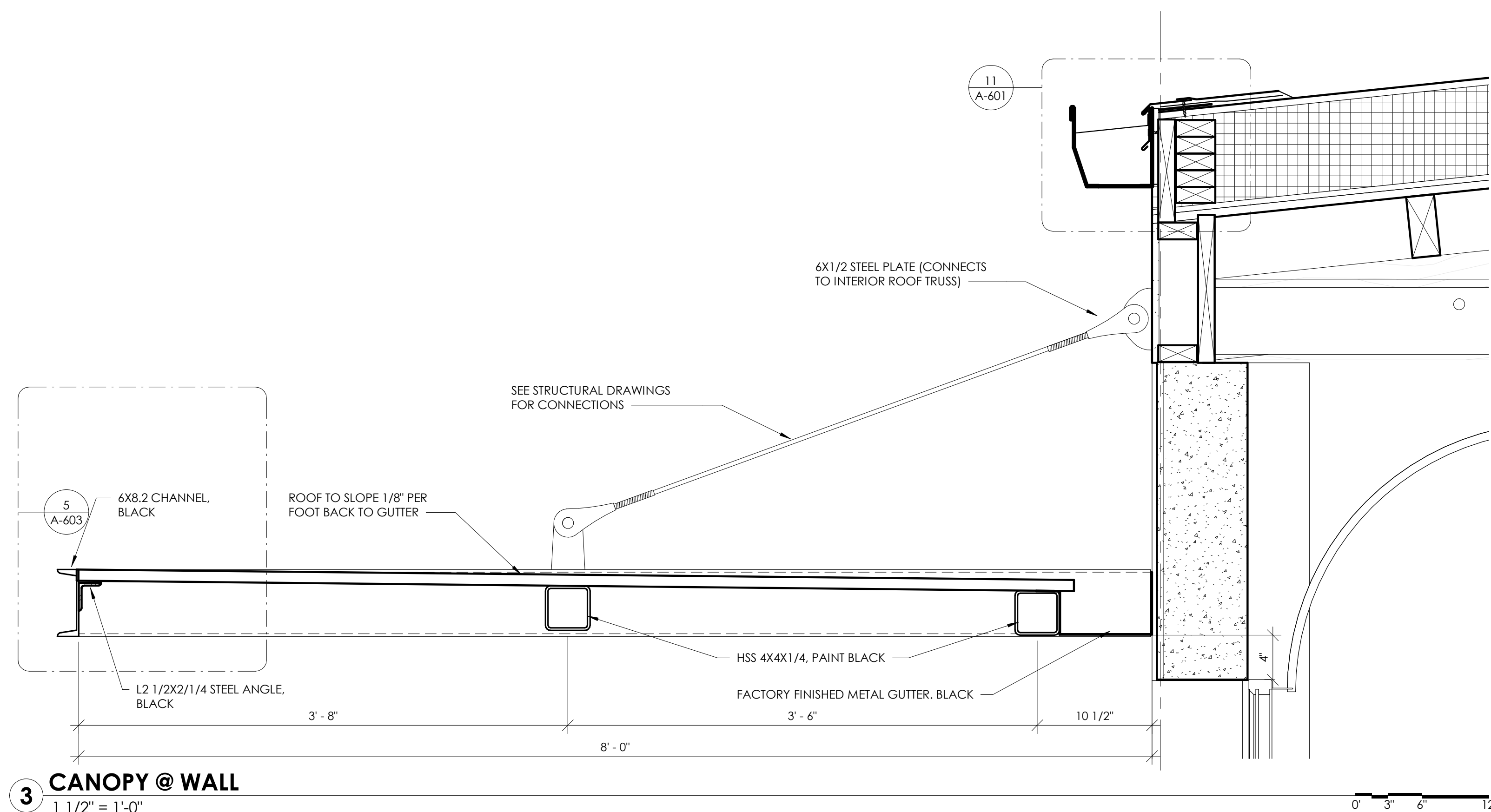
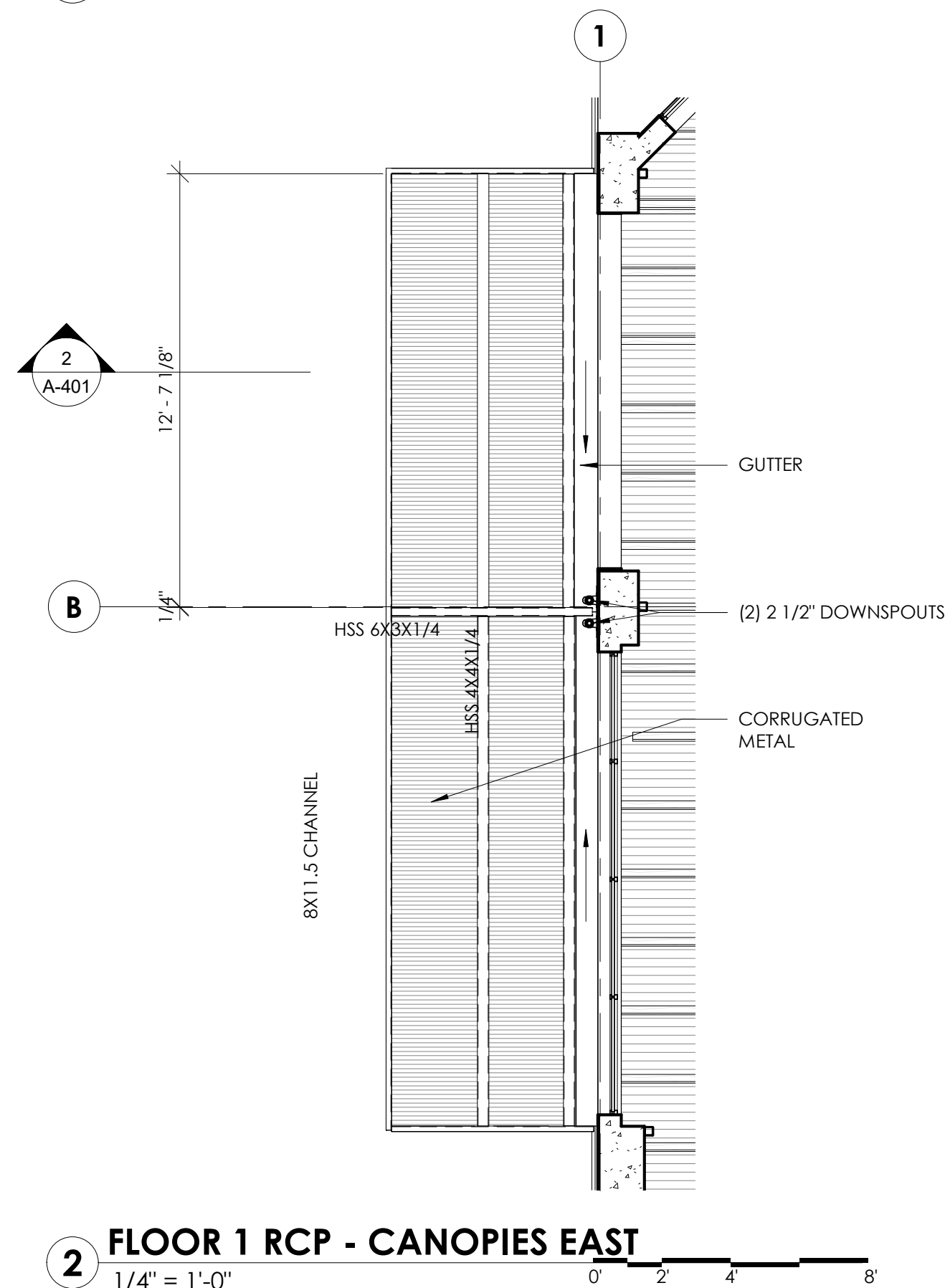
6 CANOPY ASSEMBLY



5 CANOPY @ CHANNEL
3" = 1'-0"

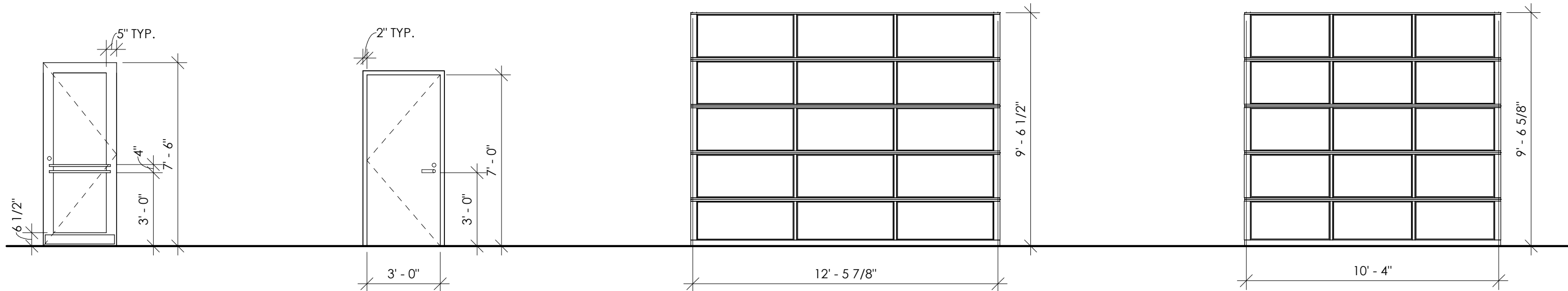


4 CANOPY @ DOWNSPOUT
3" = 1'-0"



DOOR SCHEDULE				
TYPE	STYLE	HEIGHT	WIDTH	QUANTITY
1	Storefront Door - Kawneer 500 7' 6" x 3'		3' - 1"	4
2	Hollow Metal Door - 36" x 84"	7' - 0"	3' - 0"	1
3	Overhead Glass Door - Clopay 9' 6 1/2" x 12' 6"	9' - 6 1/2"	12' - 6"	3
4	Overhead Glass Door - Clopay 9' 6 1/2" x 10' 4"	9' - 6 1/2"	10' - 4"	1

NOTE:
CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECTS REVIEW OF ALL OPENINGS PRIOR TO ORDERING.



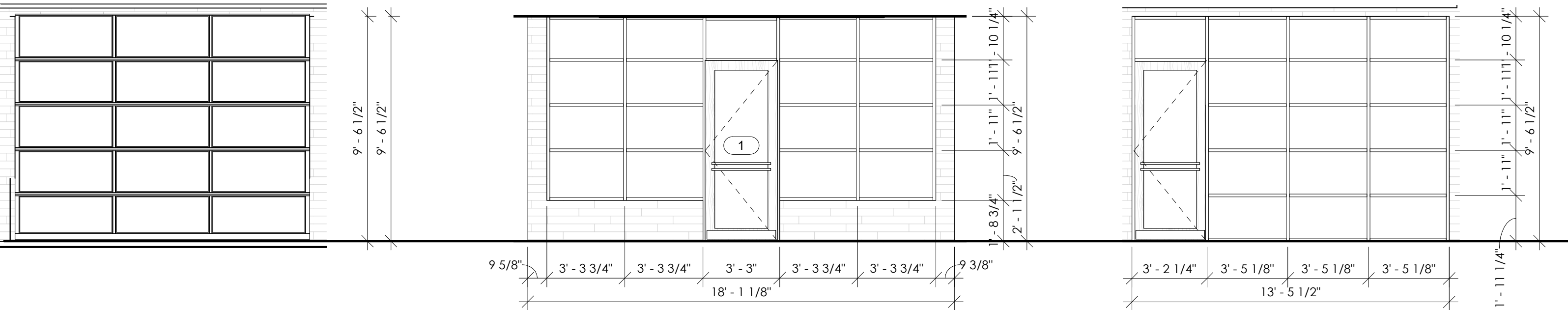
- DOOR TYPE 1**
STOREFRONT DOOR - KAWNEER 500

FULL LITE WITH DOUBLE PUSH/PULL BAR (CP-II STYLE) AND KICKPLATE (18 GAUGE METAL)
DEADBOLT CLOSER
- DOOR TYPE 2**
HOLLOW METAL DOOR & FRAME - CURRIES OR EQUAL

LEVERSET CLOSER

- DOOR TYPE 3**
OVERHEAD GLASS DOOR - CLOPAY OR EQUAL
- DOOR TYPE 4**
OVERHEAD GLASS DOOR - CLOPAY OR EQUAL

STOREFRONT SCHEDULE	
TYPE	STYLE
SF	Storefront Glazing

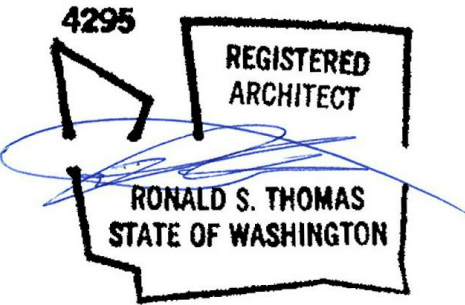


- STOREFRONT @ NORTH ELEVATION**

QUANTITY: 1
- STOREFRONT @ ENTRY**

QUANTITY: 1
- STOREFRONT @ WEST ELEVATION**

QUANTITY: 1



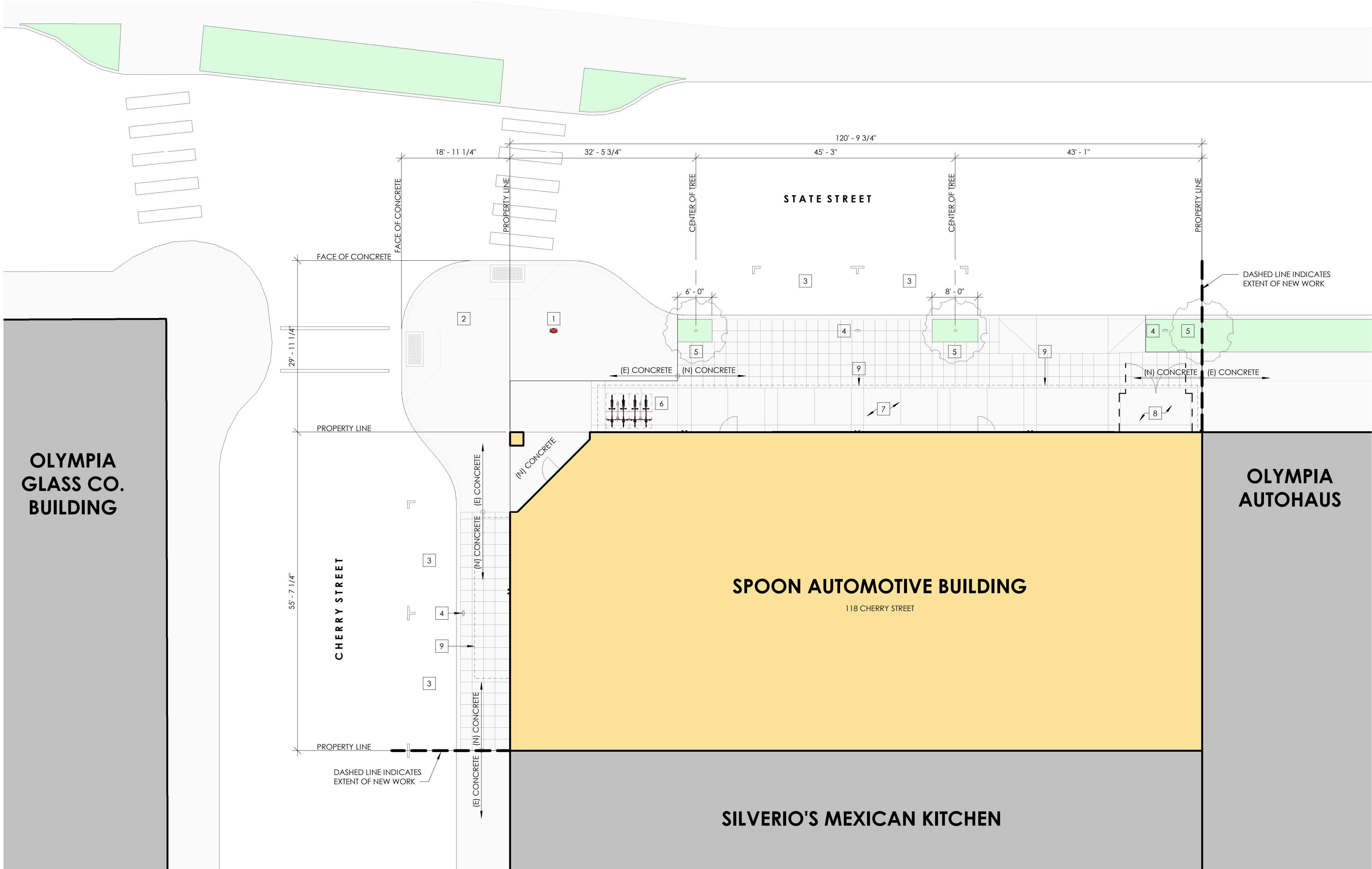
SPoon Automotive Building
Shell Improvements

118 Cherry St | Olympia, WA

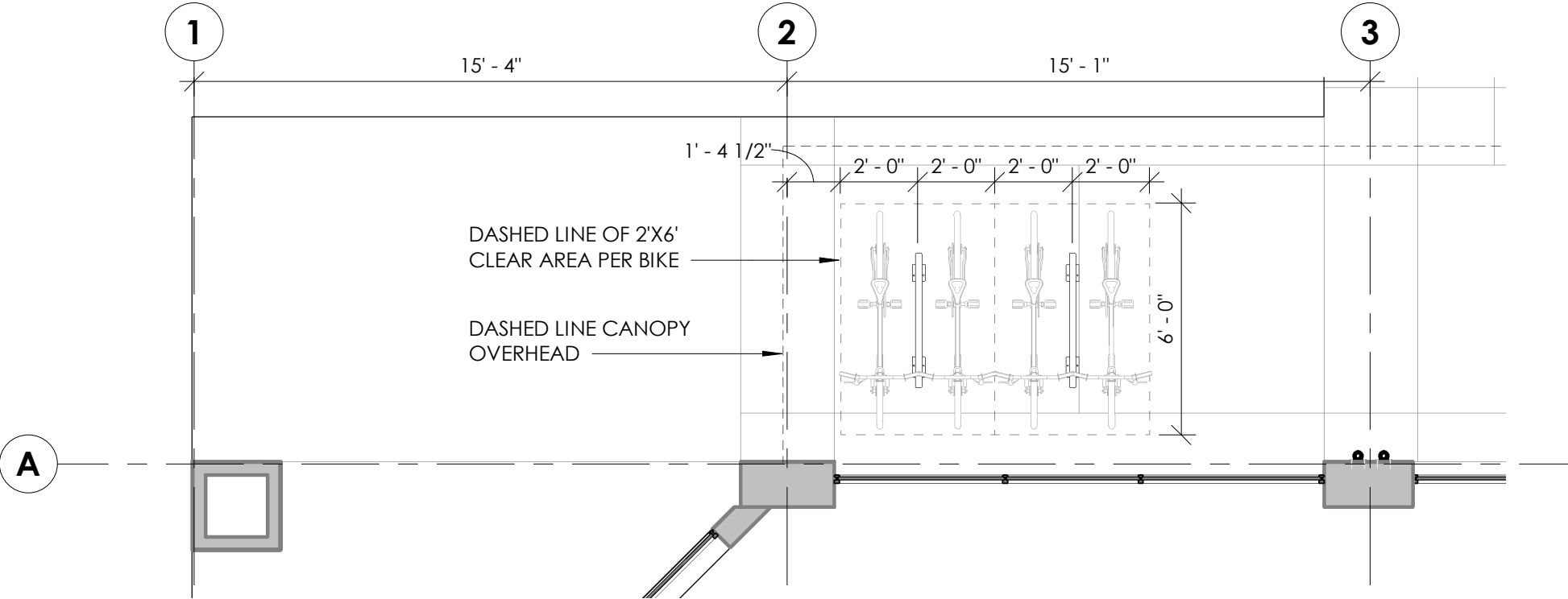
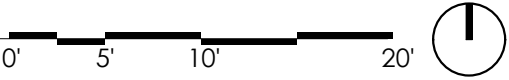
Project No: 1715
PERMIT SET
JUNE 16, 2021

SCHEDULES

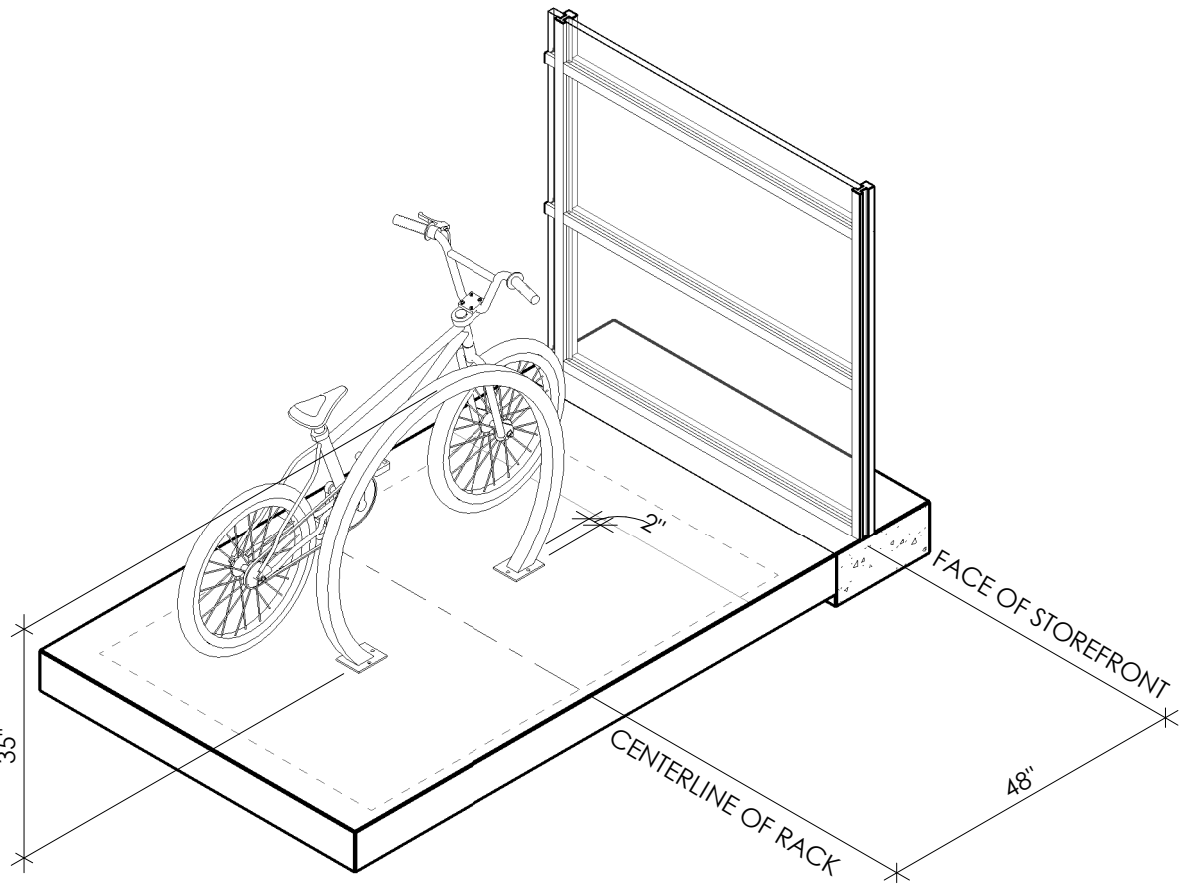
A-801



1 SITE PLAN - EXTERIOR IMPROVEMENTS
1" = 10'-0"



2 BIKE PARKING - SHORT TERM
1/4" = 1'-0"



3 BIKE PARKING - SHORT TERM - ARC RACK

GENERAL SITE INFORMATION

AREAS

SITE AREA	6,758 SF	
LANDSCAPE AREA (PERVIOUS)	0 SF	
BUILDING AREA (IMPERVIOUS)	6,558 SF	
PAVED AREA (IMPERVIOUS)	200 SF	
EXISTING IMPERVIOUS COVERAGE	100%	

PARKING SUMMARY

VEHICLE PARKING REQUIREMENTS PER OMC 18.38.160

VEHICLE PARKING

SPACES REQUIRED (OMC 18.38, TABLE 38.01)	=	0 SPACES
SPACES PROVIDED - NEW	=	0 SPACES
SPACES PROVIDED - EXISTING (STREET PARKING)	=	4 SPACES

BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)

LONG TERM - TO BE DETERMINED WITH TENANT IMPROVEMENT

SHORT TERM -

6,558 SF @ 1/3,000	=	2.18 SPACES
TOTAL REQUIRED (ROUNDED)	=	3.00 SPACES
PROVIDED	=	4.00 SPACES > 3 = OK

GENERAL NOTES

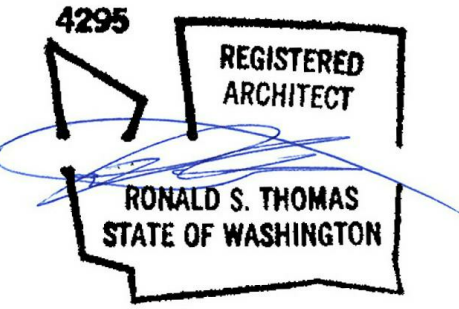
- THESE DRAWINGS FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPERATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
- INTERIOR TENANT IMPROVEMENTS TO BE SUBMITTED UNDER SEPERATE PERMIT.

SITE LEGEND

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING BULB OUT
- 3 EXISTING STREET PARKING TO REMAIN
- 4 EXISTING PARKING METER (TO REMAIN). PROTECT AS REQUIRED.
- 5 EXISTING STREET TREE (TO REMAIN). PROTECT AS REQUIRED.
- 6 SHORT TERM BIKE PARKING, SEE DETAILS THIS SHEET.
- 7 FUTURE OUTDOOR SEATING AREA
- 8 FUTURE ENCLOSED WASTE AREA PER TENANT REQUIREMENTS
- 9 DASHED LINE OF CANOPY OVERHEAD



525 COLUMBIA ST. | OLYMPIA, WA 98501
360.915.8775 | tasolympia.com



SPoon AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS

118 CHERRY ST | OLYMPIA, WA

Project No: 1715
PERMIT SET
JUNE 16, 2021

SITE PLAN

A-101

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SPOON AUTOMOTIVE BUILDING
SHELL IMPROVEMENTS
118 CHERRY ST | OLYMPIA, WA

Project No: 1715
PERMIT SET
JUNE 16, 2021

DDR

A-901

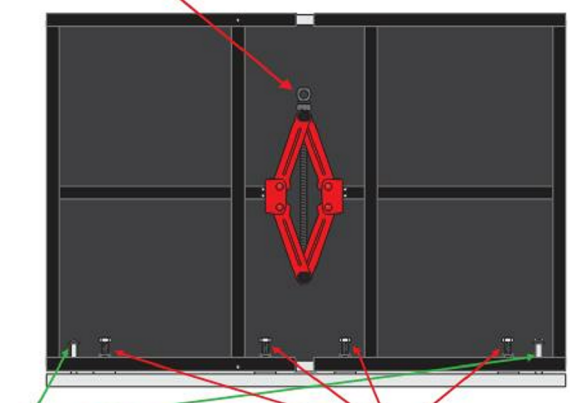
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Product Information
How they work:

Flood Gates have been designed, engineered, and tested to minimize water intrusion, of depths up to 23 inches, through doors or other openings. Flood Gates are not designed to withstand impacts from debris and/or waves. Effectiveness of Flood Gates is dependent upon pressure between sides and bottom of opening. The structure in which it is installed must be in good shape and able to withstand this pressure. Also, the structure surface must have a smooth surface capable of maintaining a seal.

(A) FLOOD GATE STANDARD - ADJUSTED FROM REAR OF PRODUCT (Shown without neoprene cover)

MAIN JACKING POINT (HORIZONTAL MOVEMENT OF BARRIER)

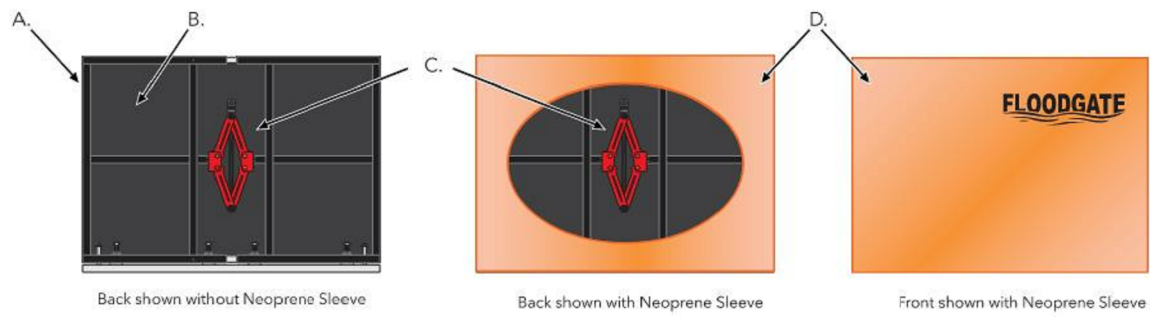


SECURITY PIN
(NO ADJUSTMENT)

4 X ADJUSTING BOLTS
(TO CREATE DOWNWARD PRESSURE/SEAL)

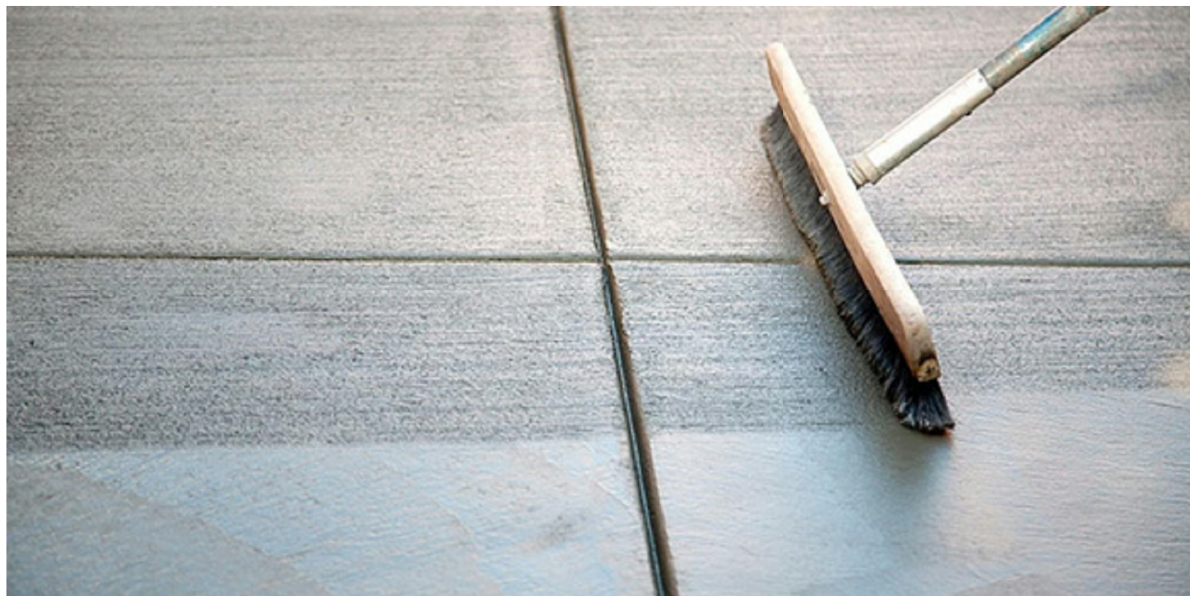
What they are made of:

- A. 1" Steel Tube Frame- provides the support structure
- B. 1/8" Front Steel Flat Sheets- block & take the weight of the water
- C. 2 ton Scissor Jack - expands & creates a secure fit within door frame
- D. Neoprene Sleeve- surrounds entire system & provides a watertight seal around its perimeter



1

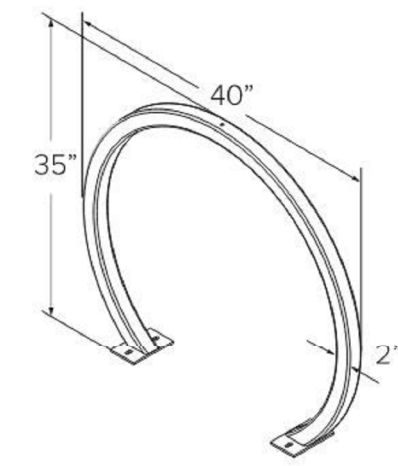
MANUFACTURER: FLOODGATE
FLOOD PROTECTION



CONCRETE

DERO
Arc Rack

Submittal Sheet



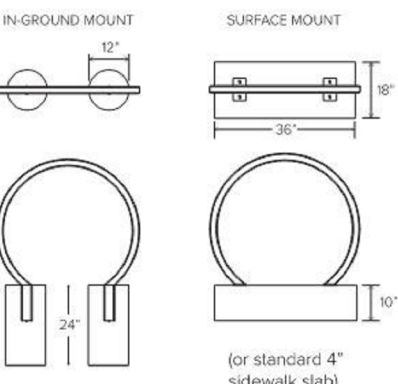
CAPACITY 2 Bikes

MATERIALS 2" x 2" x 11g square tube

FINISHES
☐ Galvanized
An after fabrication hot dipped galvanized finish is our standard option.
☒ Powder Coat
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
☐ Stainless
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

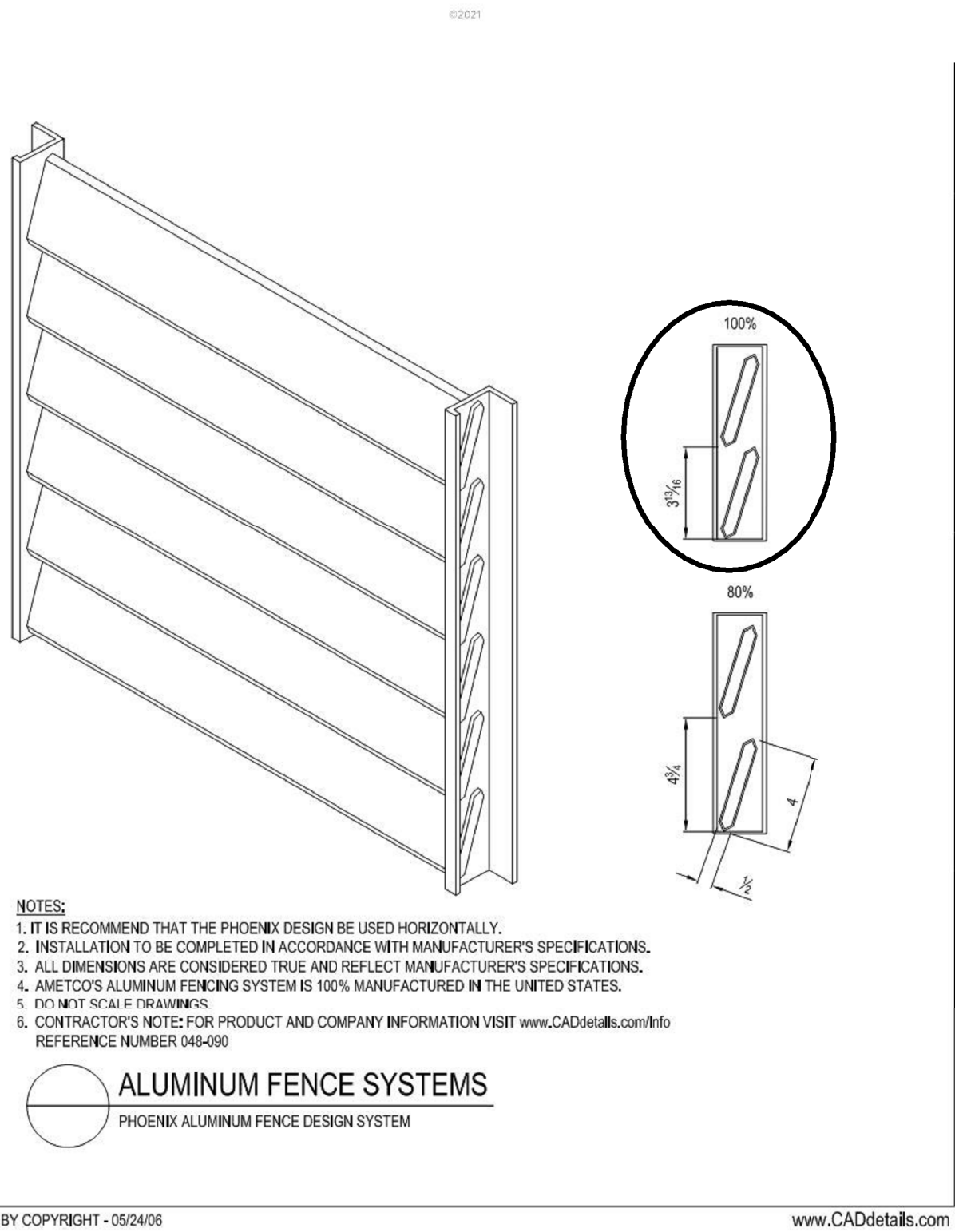
MOUNT OPTIONS
☒ Surface
Foot Mount has two 2.5" x 0.5" x 2.5" feet with two anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.
☐ In-Ground
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.

OPTIONAL LEAN BAR
☐ Add Lean Bar



COLOR: BLACK

SHORT TERM BIKE STORAGE

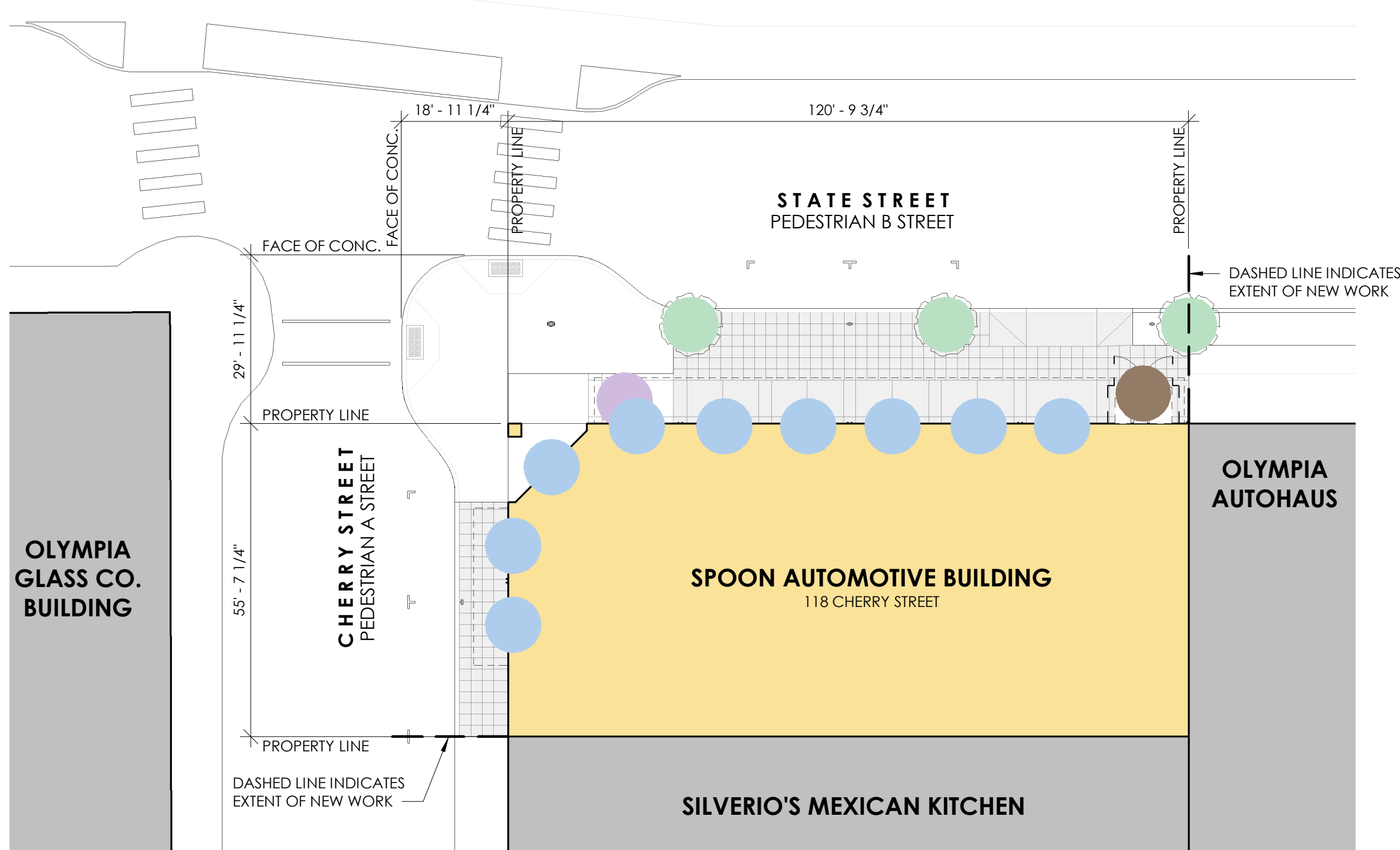


COLOR: BLACK

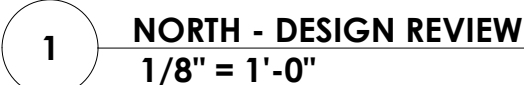
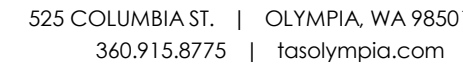
FUTURE WASTE ENCLOSURE

SITE FEATURES

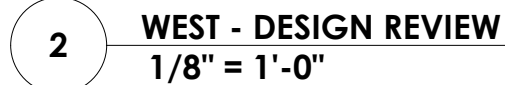
- FUTURE WASTE ENCLOSURE IF REQUIRED BY TENANT
- SHORT TERM BIKE PARKING
- NEW CONCRETE SIDEWALK WITH 2'X2' PATTERN, BROOM FINISH
- FLOOD BARRIER, INSTALL AT EACH STOREFRONT AND OVERHEAD DOOR BAY.
- EXISTING STREET TREES TO REMAIN. 32' APPROXIMATE HEIGHT WITH 30' DIAMETER CANOPY.



1 SITE PLAN - FEATURES
1" = 20'-0"



1	EXPOSED BOARDFORM CONCRETE - REMOVE EXISTING MARBLECOTE WALL FINISH TO EXPOSE EXISTING BOARD FORMED CONCRETE, PAINT (SW7654 LATICE OR APPROVED EQUAL)
ALTERNATE: PROVIDE NEW SMOOTH PLASTER FINISH OVER ALL EXTERIOR WALLS.	
2	GLASS OVERHEAD DOOR - INSTALL NEW GLASS OVERHEAD DOOR IN EXISTING OPENING, CLEAR LOW-E GLASS WITH BLACK ANODIZED ALUMINUM FINISH, EXAMPLE: CLOPAY AVANTEE OR APPROVED EQUAL.
3	STOREFRONT - SEE SCHEDULE. FINISH: BLACK. NOTE: STOREFRONT MULLIONS TO ALIGN WITH OVERHEAD GARAGE DOOR MULLIONS, TYPICAL. PROVIDE SHOP DRAWINGS FOR REVIEW.
4	EXISTING SPOON AUTOMOTIVE SIGN TO REMAIN
5	METAL CANOPY - FINISH: BLACK (SW7020 BLACK FOX OR APPROVED EQUAL)
6	GOOSENECK LIGHT FIXTURES - FINISH: BLACK, SEE REFLECTED CEILING PLAN. CANARM SIGN LIGHT OR SIMILAR.
7	METAL FLASHING AND TRIM - FINISH: BLACK (SW7020 BLACK FOX OR APPROVED EQUAL)
8	TPO ROOFING - COLOR: WHITE
9	ROOFTOP MECHANICAL UNIT, NO SCREENING



SPOON AUTOMOTIVE BUILDING SHELL IMPROVEMENTS

118 CHERRY ST | OLYMPIA, WA

Project No: 1715

PERMIT SET

JUNE 16, 2021

DDR

A-902

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