



Meeting Agenda

Heritage Commission

City Hall
601 4th Avenue E
Olympia, WA 98501

Heritage Commission
Contact: Brittany Gillia
(360) 753-8427

Monday, March 9, 2026

12:00 PM

404 17th Ave SE

Heritage Review Committee

1. CALL TO ORDER

1.A ROLL CALL

2. APPROVAL OF AGENDA

3. APPROVAL OF MINUTES

4. PUBLIC COMMENT

During this portion of the meeting, community members may address the Advisory Committee or Commission regarding items related to City business, including items on the Agenda. In order for the Committee or Commission to comply with Public Disclosure Law for political campaigns, speakers will not be permitted to make public comments before the Committee or Commission where the speaker promotes or opposes a candidate for public office or a ballot measure.

5. ANNOUNCEMENTS

6. BUSINESS ITEMS

[26-0194](#) Heritage Review Committee - Campbell House (OHR 09-02) Window Replacement 404 17th Ave SE

- Attachments:** [Historic Photo](#)
[Staff Report](#)
[Scope of Work](#)
[Current Window Proposed for Removal](#)
[Street View of Current Window](#)
[Proposed New Window Layout](#)

[26-0197](#) Heritage Review Committee- New Construction Baker-Laffoon House and ADU 2121 Adams St SE

- Attachments:** [Architectural Plans](#)
[Design Review Packet](#)

7. REPORTS

8. OTHER TOPICS**9. ADJOURNMENT****Upcoming****Accommodations**

The City of Olympia is committed to the non-discriminatory treatment of all persons in employment and the delivery of services and resources. If you require accommodation for your attendance at the City Advisory Committee meeting, please contact the Advisory Committee staff liaison (contact number in the upper right corner of the agenda) at least 48 hours in advance of the meeting. For hearing impaired, please contact us by dialing the Washington State Relay Service at 7-1-1 or 1.800.833.6384.



Heritage Commission

Heritage Review Committee - Campbell House (OHR 09-02) Window Replacement 404 17th Ave SE

Agenda Date: 3/9/2026
Agenda Item Number:
File Number:26-0194

Type: recommendation **Version:** 1 **Status:** In Committee

Title

Heritage Review Committee - Campbell House (OHR 09-02) Window Replacement 404 17th Ave SE

Recommended Action

Recommend design concurrence with amendments to the proposal.

Report

Issue:

Review and consultation regarding proposed window replacements at the Campbell House, 404 17th Ave SE, for building permit 26-0563

Staff Contact:

Brittany Gillia, Historic Preservation Officer, Community Planning and Economic Development Department, 360.753.8427

Presenter(s):

Andy Norby, Kell-Chuck Glass

Mark Rentfrow, Homeowner

Background and Analysis:

The subject property is individually listed on the Olympia Heritage Register as the Campbell House (OHR-09-02) and is noted as “contributing” to the South Capitol Historic District as recognized by the National Register of Historic Places. The applicant has applied for a building permit (26-0563) to replace an existing wood framed window on the second floor with a new vinyl window for egress compliance.

The staff reports the significant historic features as: Original doors, wood windows (plus replacement

wood window in front), lap siding, and chimney.

Climate Analysis:

Following the NPS guidelines encourages repair of historic material as much as possible, which reduces the introduction of more waste to landfills. If repair is not feasible, use of historic, often natural, locally sourced materials, is then encouraged, which reduces environmental impacts of the work. Replacing and renovating the windows provides an opportunity for the homes to be more energy efficient, while still maintaining the quality of design and the historic nature of the structures.

Equity Analysis:

The Olympia Heritage Commission is dedicated to improving the education and outreach opportunities to underrepresented communities. Every listing to the Olympia Heritage Register, Special Property Tax Valuation application, and design review project, is an opportunity for education and outreach.

Neighborhood/Community Interests (if known):

South Capitol Historic District

South Capitol Neighborhood Association

Options:

1. Recommend design concurrence to the Building Official.
2. Recommend design concurrence with amendments to the proposal.
3. Do not recommend design concurrence. Continue discussion and reconvene when a new concept or proposal is submitted.

Financial Impact:

N/A

Attachments:

Historic Photo

Staff Report

Scope of Work

Current Window Proposed for Removal

Street View of Current Window

Proposed New Window Layout



STAFF REPORT

Campbell House

Public Hearing: November 2009

The Smith Building
837 7th Ave SE
Olympia, WA 98502

Staff Report Prepared by: Jennifer Kenny

Application Number: OHR-09-02
Name of Property: Campbell House
Location of Property: 404 17th Ave SE
Olympia, WA 98501
Owner: Aimee Baldoz and Mark Rentfrow
404 17th Ave SE
Olympia, WA 98501
Date Built: Built ca. 1922

I. **STEPS TO DETERMINING QUALIFICATION FOR DESIGNATION TO THE OLYMPIA HERITAGE REGISTER**

A. Determine the Significance

Properties are significant within the context of prehistory or history. Historic context is information about historic trends and properties grouped by an important theme in the prehistory or history of a community, State, or the nation during a particular period of time.

Because historic contexts are organized by theme, place, and time, they link historic properties to important historic trends. In this way they provide a framework for determining the significance of a property and its eligibility for National Register listing. A knowledge of historic contexts allows applicants to understand a historic property as a product of its time and as an illustration of aspects of heritage that may be unique, representative, or pivotal.

Themes often relate to the historic development of a community, such as commercial or industrial activities. They may relate to the occupation of a prehistoric group, the rise of an architectural movement, the work of a master architect, specific events or activities, or a pattern of physical development that influenced the character of a place at a particular time in history. It is within the larger picture of a community's history that local significance become apparent.

Similarly State and national significance become clear only when the property is seen in relationship to trends and patterns of prehistory or history statewide or nationally.

Source: Washington State Archives and University of Washington Special Collections

PROPERTIES OF LOCAL SIGNIFICANCE

Identify the local events and activities relating to the property and discuss their importance to local history.

PROPERTIES OF STATE SIGNIFICANCE

Discuss how the property reflects the history of the State and the ways in which the property is one of the best of similarly associated properties in the State to represent the theme.

PROPERTIES OF NATIONAL SIGNIFICANCE

Discuss how the property reflects an important aspect of the history of the Nation as a whole or has contributed in an exceptional way to the diverse geographical and cultural character of the Nation. Also explain how the property relates to other properties nationwide having similar associations.

THE CAMPBELL HOUSE

Located in the South Capitol Historic District, the Campbell House was built for Roy T. Campbell, whose mother was among the pioneer families that came to the Oregon Territory by covered wagon in the 1850s. It has been continuously occupied by the Campbell family until 2007, when friends of the Campbells purchased it.

B. Determine the Age of the Property

Properties must be at least 50 years old. However an exception can be made for properties which have extraordinary significance.

THE CAMPBELL HOUSE

The house is 87 years old and so meets the 50 year age criterion.

C. Determine the Integrity of the Property

To qualify for the Olympia Heritage Register properties must possess at least two elements of integrity of the following list:

Location, design, setting, materials, workmanship, feeling, and association.

Historic integrity is the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's prehistoric or historic period.

Historic integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling, and association

Historic integrity enables a property to illustrate significant aspects of its past. For this reason, it is an important qualification for the Olympia Register listing. Not only must a property resemble its historic appearance, but it must also retain physical materials, design features, and aspects of construction dating from the period when it attained significance. The integrity of archeological resources is generally based on the degree to which remaining evidence can provide important information. All seven qualities do not need to be present for eligibility as long as the overall sense of past time and place is evident.

THE CAMPBELL HOUSE

There have been no structural remodels to the exterior or the interior. The current owners made several upgrades to the house, but most notably to the exterior. Several decades ago cedar shingle siding was placed over the original lap siding, and the front window had been replaced. The current owners removed the cedar siding and had the original siding meticulously rehabilitated. Additionally, they had a custom-built wood window made to match the original front window. The owners also kept 1950s era interior materials such as wall paper and kitchen cabinets that had taken on their own historic importance. The house is in its original location. The chimney remains intact.

D. Determine the Quality of Maintenance of the Property

This is a relatively undefined criterion. It was included to in effect make sure that the markers were not placed on undesirable looking properties even though they may be historically or architecturally significant.

THE CAMPBELL HOUSE

The house is well-maintained.

E. Determine if the Property Meets at Least One of the Criteria for Designation (Section 5.A. of Ordinance #4438)

Any building, structure, object, site or district may be designated for inclusion in the City Heritage Register if it has significant character, interest or value as part of the development, heritage or cultural characteristics of the city, state or nation and if it falls into at least one of the following categories:

- 1. Is associated with events that have made a significant contribution to the broad patterns of national, state or local history.*

2. *Embodies the distinctive architectural characteristics of a type, period, style or method of design or construction, or represents a significant and distinguishable entity whose components may lack individual distinction.*
3. *Is an outstanding work of a designer, builder or architect who has made a substantial contribution to the art.*
4. *Exemplifies or reflects special elements of the City's cultural, social, economic, political, aesthetic, engineering or architectural history.*
5. *Is associated with the lives of persons significant in national, state or local history.*
6. *Has yielded or may be likely to yield archaeological information important in pre-history or history.*
7. *Is a religious property deriving primary significance from architectural or artistic distinction or historical importance.*
8. *Is a building or structure removed from its original location but which is significant primarily for architectural value, or which is the surviving structure most importantly associated with a historic person or event.*
9. *Is a birthplace or grave of a historical figure of outstanding importance.*
10. *Is a cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events, or cultural patterns.*
11. *Is a reconstructed building that has been executed in a historically accurate manner, within a suitable environment and which is congruent with the City's history.*
12. *Is a creative and unique example of folk architecture and design created by persons not formally trained in the architectural or design professions, and which does not fit into formal architectural or historical categories.*

THE CAMPBELL HOUSE

The house is a good example of a Colonial Revival style home.

- F. *Determine in Findings Form How a Particular Property Relates to the Established Criteria*

Findings will be determined at the meeting.

II. **SIGNIFICANT HISTORICAL CHARACTERISTICS**

These are the features that contribute to the property's historical significance and which should be preserved and maintained as it is kept up over the years. Important lost features may also be listed, because owners are encouraged to consider restoring these features when rehabilitation work is planned. Replacement either by exact restoration of the original or a modern, compatible design is acceptable. Non-historic additions may also be listed. The Heritage Commission may make some recommendations regarding these additions.

- A. Significant Historic Features:
Original doors, wood windows (plus replacement wood window in front), lap siding, and chimney.

Non-historic additions:

None

III. STAFF RECOMMENDATION

The property appears to meet criteria 2:

2. Embodies the distinctive architectural characteristics of a type, period, style or method of design or construction, or represents a significant and distinguishable entity whose components may lack individual distinction.

Staff recommends placement of this property on the Olympia Heritage Register.

Enclosures

Photographs and supporting documents provided by the applicants.

Scope of Work

1/27/26

Baldoz

Replacing 1 window at 404 17th Ave SE

Removing existing wood Window,

Replacing with new Milgard white vinyl window

Energy star rated w/Lowe Glass, Argon Gas, and .30 U value or better

All sizes are Same for Same

Existing wood window is not egress compliant.

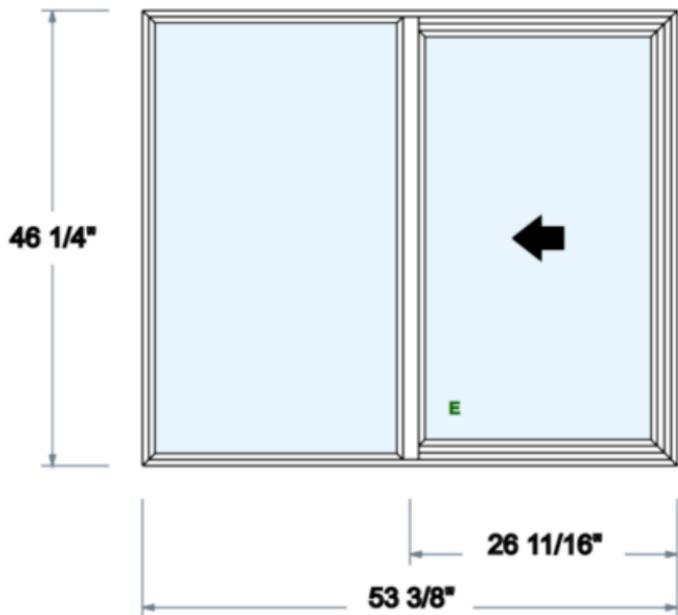
New window is Egress compliant





A pink line is drawn across the sky in the upper left corner of the image.

404



Viewed from Exterior (Net Frame) - Image scaled $\frac{3}{4}'' = 1' 0''$



Heritage Commission

Heritage Review Committee- New Construction Baker-Laffoon House and ADU 2121 Adams St SE

Agenda Date: 3/9/2026
Agenda Item Number:
File Number:26-0197

Type: discussion **Version:** 1 **Status:** In Committee

Title

Heritage Review Committee- New Construction Baker-Laffoon House and ADU 2121 Adams St SE

Recommended Action

Discuss design and recommendations for building permit review.

Report

Issue:

Review regarding proposed new home and attached ADU on vacant lot at 2121 Adams St SE.

Staff Contact:

Brittany Gillia, Historic Preservation Officer, Community Planning and Economic Development Department, 360.753.8427

Presenter(s):

Brittany Gillia, Historic Preservation Officer

Background and Analysis:

The subject property is a vacant lot located in the South Capitol Historic District which is listed on the National Register of Historic Places. The applicant has applied for building permits (26-0757 and 26-0991) to develop a new two-story home with an attached ADU and carport.

As per OMC 18.105.030 Structures Within a Historic District, design criteria contained in the chapter apply to new structures within a historic district. New structures within a historic district must preserve the historic context and merit of the district.

Climate Analysis:

Following the NPS guidelines encourages repair of historic material as much as possible, which

reduces the introduction of more waste to landfills. If repair is not feasible, use of historic, often natural, locally sourced materials, is then encouraged, which reduces environmental impacts of the work.

Equity Analysis:

The Olympia Heritage Commission is dedicated to improving the education and outreach opportunities to underrepresented communities. Every listing to the Olympia Heritage Register, Special Property Tax Valuation application, and design review project, is an opportunity for education and outreach.

Neighborhood/Community Interests (if known):

South Capitol Historic District

South Capitol Neighborhood Association

Options:

1. Discuss project design and recommendations for building permit review.
2. Do not discuss design or recommendations for building permit review.

Financial Impact:

N/A

Attachments:

Architectural Plans

Design Review Packet

STRUCTURAL NOTES

General Notes:

These structural notes supplement the drawings. Any discrepancy found among the drawings, these notes, and the site conditions shall be reported to the Engineer, who shall correct such discrepancy in writing. Any work done by the Contractor after discovery of such discrepancy shall be done at the Contractor's risk. **The Contractor shall verify and coordinate the dimensions among all drawings prior to proceeding with any work or fabrication.** The Contractor is responsible for all bracing and shoring during construction.

All construction shall conform to the applicable portions of the latest edition of the International Building Code except where noted.

Design Criteria:

1. Live Load	=	25 PSF (Snow)
	=	40 PSF (Floor)
	=	60 PSF (Deck)
2. Dead Load	=	20 PSF (Roof, Includes 5 PSF Solar)
	=	15 PSF (Floor)
	=	12 PSF (Wall)
3. Wind	=	150 PCF (Concrete)
	=	2021 IBC Exposure B @ 100 mph (LRFD), 80 MPH (ASD), 3 second gust
4. Earthquake	=	2021 IBC, Site Class D
	=	Se = 1.403
	=	SL = 0.521
	=	IE = 1.0
	=	Seismic Design Category D
	=	SDS = 1.122
	=	Light Frame Wood Shearwalls
	=	R = 6.5
	=	r = 1.3 Non-Redundant Structure
	=	Cs = SDS I/R
	=	V = r Cs W
	=	V = 0.224W for Load Factor Design
	=	Cs = SDS I (1.4R)
	=	V = r Cs W
	=	V = 0.157W for Allowable Stress Design
5. Soil	=	1500 PSF, Assumed Bearing Capacity
	=	45 PCF, Active Pressure
	=	250 PCF, Passive Pressure
	=	0.35 Coefficient of Friction

Concrete & Reinforcing Steel:

- All concrete work shall be per the 2021 IBC Chapter 19 and ACI 318-19. Concrete quality, mixing and placement shall be per ACI 318-19. Mixing and placement shall be per ACI 318-19 and inspections shall be per 2021 IBC, Chapter 19, sections 03 and 04.
- All reinforcing shall be ASTM A615 Grade 60 except as shown on the plans.
- Concrete shall be in accordance with ASTM 150.
F_c = 2500 PSI @ 28 day
slump = 4" maximum, 6% Air entrained, except @ slabs.

Carpentry:

- Structural framing shall be #2 Douglas Fir.
- 6X columns shall be #1 Douglas Fir unless noted otherwise.
- 2X joists/r rafters shall be kiln dried and stored in a dry area prior to installation.
- Truss manufacturers are responsible for all bracing of the trusses including end wall bracing and all other bracing between the building and the trusses unless specifically shown otherwise on the drawings.
- Glue laminated beams shall be 24F-V4 unless noted otherwise.
(F_b = 2,400 PSI)
(F_v = 265 PSI)
(E = 1,800,000 PSI)
(F_{cL} = 650 PSI)
- Laminated Veneer Lumber Beams (LVL) shall have the following properties:
(F_b = 2600 PSI)
(F_v = 285 PSI)
(E = 1,900,000 PSI)
(F_{cL} = 750 PSI)
- Laminated Strand Lumber Beams (LSL) shall have the following properties:
(F_b = 2325 PSI)
(F_v = 310 PSI)
(E = 1,550,000 PSI)
(F_{cL} = 800 PSI)
- Plywood shall be nailed 6" o.c. edges and 12" field with 8d's unless otherwise noted on the drawings.

Hardware:

All connection hardware shall be Simpson "Strong Tie", unless noted otherwise.

Connection hardware exposed to weather or in contact with the ground or pressure treated wood shall be galvanized per ASTM A-123 with 1.25 oz. of zinc spelter per square foot of contact area.

CAUTION
PLACE TRUSSES PER MANUFACTURER'S RECOMMENDATIONS. BRACE PER RECOMMENDATIONS.

CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND ALL ELEVATIONS.



01/29/26

STRUCTURAL ONLY

TYPICAL SHEAR WALL NOTES

Use 1/2" dia. by 10" Anchor Bolts (AB's) with single plates or 1/2" dia. by 12" AB's with 3X or double plates spaced as shown on the drawings. AB's shall have 7" of embedment into footing, shall be centered in the stud wall, and shall project through the bottom plate of the wall. All anchor bolts shall be placed within 12" from corners, and 12" from the ends of both plates at splices. All anchor bolts shall have a 3" square, 1/4" thick plate washers between the top of the sill plate and the nut. (If using Simpson Titan HD as substitutes for anchor bolts, embed a minimum of 3-1/2" into concrete.)

All wall sheathing shall be 1/2" CDX plywood, 5/8" T1-11 siding, or 7/16" OSB with exterior exposure glue and span rated "SR 24/16" or better. All free sheathing edges shall be blocked with 2x4 or 2x6 flat blocking except where noted on the drawings or below.

All nails shall be 8d or 10d common (8d common nails must be 0.131 inch diameter, Senco KC27 Nails are equivalent. If 10d common nails are called for the diameter must be 0.148 inches, Senco MD23 Nails are equivalent when used with 1/2" plywood). Nail size and spacing at all sheathing edges shall be as required below or as in the drawings. Nail spacings shall be 12" o.c. for all field nailing except as noted.

Hold downs are Simpson "Strong Tie" and shall be installed per the manufacturer's recommendation. Equivalent holdowns by United Steel Products Company "Kant-Sag" that have ICC approval can be substituted in place of Simpson holdowns.

The nailing of the sole plate to the floor shall be 16d common nails to match the spacing of the shear wall edge nailing.

Wall framing shall be #2 Doug-Fir or better. 3X, 4X, or 6X studs can be made from multiple 2X studs glued and nailed together with (2) rows of 10d's at 8" on center each row.

3x sill plates can be a combination of (1) pressure treated 2X sill directly in contact with concrete and another non-treated 2X sill plate nailed to the lower plate with (2) rows of 10d common nails at 6" on center each row.

All fasteners in pressure treated wood shall be hot dipped galvanized or stainless steel. Anchor bolts are required to be galvanized.

ROOF DIAPHRAGM

1/2" plywood or 7/16" OSB, span rated 24/16 or better, nail with 8d common nails at 6" on center edges and 12" on center field. Sheathing shall lay perpendicular to framing.

3/4" plywood or OSB sheathing span rated 48/24 or better, nail with 10d common nails at 6" on center edges and 12" on center field. Sheathing shall lay perpendicular to framing.

FLOOR DIAPHRAGM

3/4" tongue and groove plywood or OSB sheathing span rated 48/24 or better. Glue and nail with 10d commons at 6" on center edges, and 12" on center field. Sheathing shall lay perpendicular to framing.

SHEAR WALL SCHEDULE

- sheathing nailed with 8d's at 6" on center all edges. (Capacity= 260 pfl)
- sheathing nailed with 8d's at 4" on center all edges with 3X or 4X studs at adjoining panel edges. (Capacity= 380 pfl)
- sheathing nailed with 8d's at 3" on center all edges with 3X or 4X studs at adjoining panel edges. (Capacity= 490 pfl)
- sheathing nailed with 8d's at 2" on center all edges with 3X or 4X studs at adjoining panel edges. (Capacity= 640 pfl)
- sheathing nailed with (2) rows 10d's at 2" on center all edges with 4X studs at adjoining panel edges. (Capacity= 1479 pfl)

HHQ11 HHQ11 attaches to foundation with 1" diameter anchor bolt with 24" minimum embedment into 8" concrete stem wall for cast in place construction. HHQ11 attaches to 6X stud minimum with (24) Simpson SDS1/4X3 screws. (Cap = 11810)

HDU2 HDU2 attaches to foundation with a 5/8" diameter anchor bolt with 14" minimum embedment for cast in place construction. Use 5/8" diameter threaded rod in cleaned 3/4" diameter hole 7" deep and epoxy with Simpson SET-3G if installed after concrete has been cast. HDU2 attaches to double studs with (6) Simpson SDS1/4X3 screws. (Cap = 3075)

HDU4 HDU4 attaches to foundation with a 5/8" diameter anchor bolt with 14" minimum embedment for cast in place construction. Use 5/8" diameter threaded rod in cleaned 3/4" diameter hole 9" deep and epoxy with Simpson SET-3G if installed after concrete has been cast. HDU4 attaches to double studs with (10) Simpson SDS1/4X3 screws. (Cap = 4565)

HDQ8 HDQ8 attaches to foundation with 7/8" diameter anchor bolt with 18" minimum embedment into 8" concrete stem wall for cast in place construction. SSTB 28 can be used as an alternative to anchor bolt. HDQ8 attaches to 4X studs minimum with (20) Simpson SDS1/4X3 screws. (Cap = 7630)

PROJECT NOTES

Project Description

This project is a new home and attached ADU project in the South Capitol neighborhood in Olympia, WA. The primary dwelling and ADU both have two bedrooms, two bathrooms, and two floors. A front and back covered patio, a rooftop deck, and a small carport are also proposed.

General Notes

- Code Approval Path: Prescriptive (2021 IRC), engineered structural
- This project shall be constructed in accordance with the following codes as modified by Washington State Building Code:
A. 2021 International Building Code (IBC)
B. 2021 International Residential Code (IRC)
C. 2021 International Mechanical Code (IMC)
D. 2021 International Plumbing Code (IPC)
E. 2021 International Fire Code
F. 2021 Washington State Energy Code (WSEC)
This project shall additionally be constructed in accordance with all applicable federal, state, and local ordinances.
- Contractor shall verify all existing conditions, site elevations, and dimensions prior to beginning work.
- Contractor shall verify window and door sizes prior to ordering.
- Automatic Fire Sprinklers: Design & submittal by other
- Mechanical Documents: Deferred
- Plumbing Documents: Deferred
- Electrical Documents: Deferred

General Building Data

Zoning: R 6-12
Codes: 2021 IRC
Construction Type: VB
Fire Alarm: No
Fire Sprinkler: NFPA 13D
Occupancy: R3
Occupancy Load: N/A
Gross Building Area: 4035sf

Sheet Index

Sheet No.	Sheet Title
G100	Cover Page
C101	Site Plan
A101	Floor Plan - 1st Floor
A102	Floor Plan - 2nd Floor
A103	Foundation Plan
A104	Roof Plan
A105	Wall Plan - 1st Floor
A106	Wall Plan - 2nd Floor
A107	Interior Plan - House
A108	Interior Plan - ADU
A201	Exterior Elevations
A301	Building Sections
A501	Building Details
A502	Building Details
A503	Building Details
A504	Building Details

Energy Code

2021 Washington State Energy Code

Proposed Efficiency Specifications:	Energy Credits:	8.0 Credits Req.
Roof = R-49 attic, R30 vault	Fuel Normalization System #4 = 3.0	
Wall = R-21 cavity	3.7 (Heat Source) = 2.0	
Floor = R-38	3.11 (Thermostat) = 0.5	
Fenestration = U-.25	5.6 (Water Heating) = 2.0	
Ventilation = Whole house exhaust fans	7.1 (Appliances) = 0.5	
Water Heater = HP (NEAA Tier III)		
Heat Source = Ductless Splits (HSPF 10+)	Total Credits = 8.0	

Notes:

- Smart thermostat is required for mini-split operation.
- Appliances shall be Energy Star rated: dishwasher, clothes washer, clothes dryer, refrigerator

Air Barrier Notes

Per 2021 WSEC Section R402.4 This building shall have a continuous air barrier along the entire envelope. A variety of air sealing products and techniques are available to create the air barrier. Some examples include: air barrier membrane, airtight drywall, caulking & sealing framing, "Zip" brand sheathing, AeroBarrier technology, etc. The specific products & techniques used to achieve the required rate of air leakage are the contractors decision. See WSEC R402.4.1.1 for additional details.

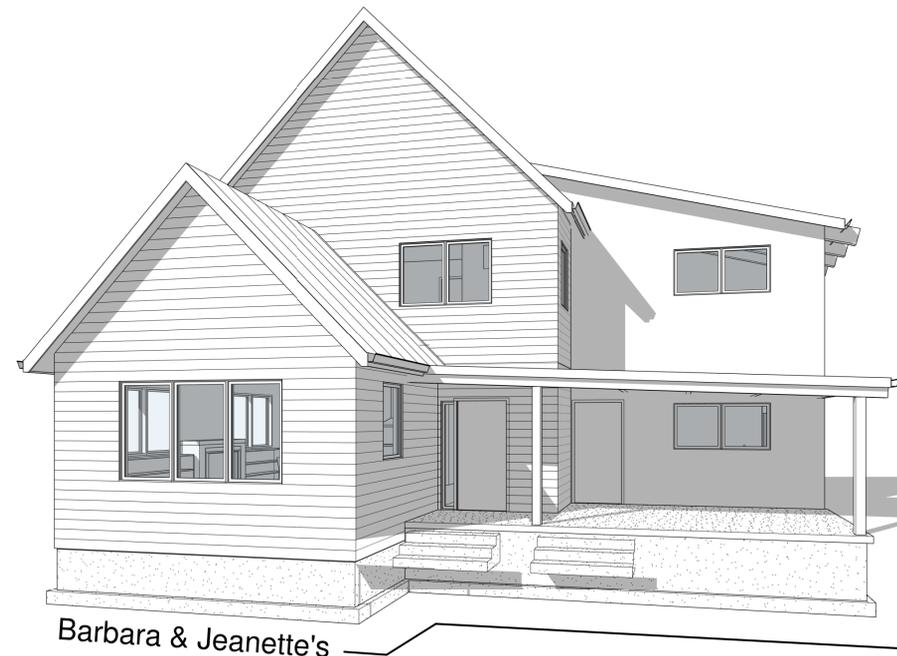
Requirements:

- Building shall have a maximum air leakage rate of 4.0 ACH/50.
- Air leakage test IS required for this project.
- Air barrier shall NOT be a vapor barrier unless specifically noted in these plans.

Air Sealing Strategy: _____

Proposed Areas

Main House:	=	1731 sf
- 1st floor & Laundry:	=	995
- 2nd Floor:	=	736
ADU:	=	995 sf
- 1st Floor:	=	564
- 2nd Floor:	=	431
Total:	=	2726 sf
Covered Patios:	=	541 sf
Rooftop Deck:	=	336 sf
Carport:	=	432 sf
Footprint Area (excl. patios)	=	1559 sf
Gross Floor Area	=	2726 sf
Conditioned Floor Area	=	2726 sf
Envelope Area (excl. fenestration)	=	2875 sf
Fenestration Area	=	507 sf
Conditioned Volume	=	22716 cf



Design For People

www.forpeople.design
1866 State Ave NE Olympia, WA 98506
360.791.7635

1/29/2026 9:45:50 AM

Name: Barbara Baker & Jeanette Lafnoon

Project: Home

Parcel: 43300100602

Project Address: 2121 Adams St SE
Olympia, WA 98501

Cover Page

Project number: 25-014

Date: 1/29/2026 9:45:50 AM

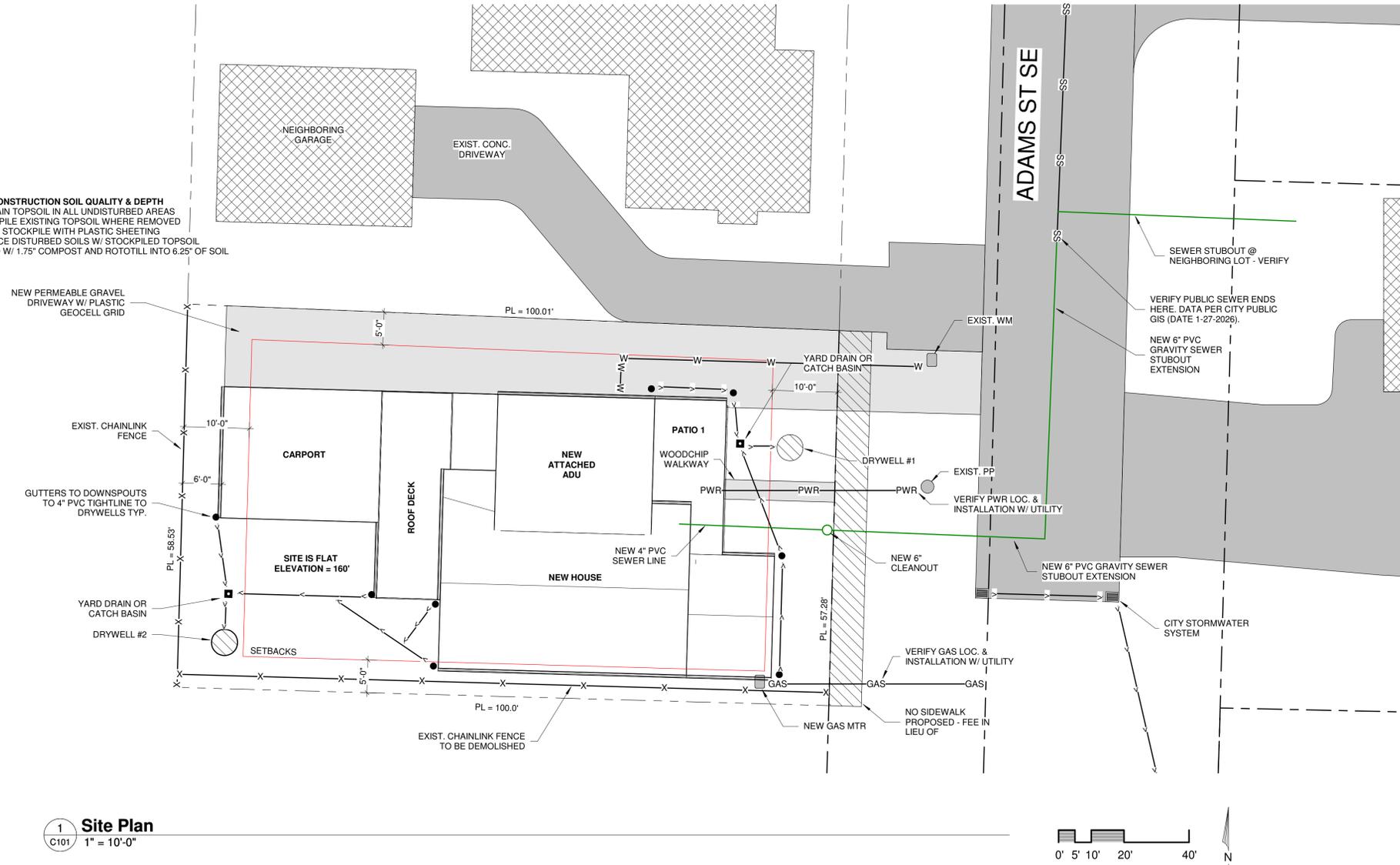
Design by: CK

Drawn by: CK

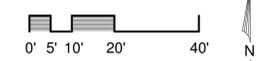
G100

Scale 1/4" = 1'-0"

POST-CONSTRUCTION SOIL QUALITY & DEPTH
 - MAINTAIN TOPSOIL IN ALL UNDISTURBED AREAS
 - STOCKPILE EXISTING TOPSOIL WHERE REMOVED
 - COVER STOCKPILE WITH PLASTIC SHEETING
 - REPLACE DISTURBED SOILS W/ STOCKPILED TOPSOIL
 - AMEND W/ 1.75" COMPOST AND ROTOTILL INTO 6.25" OF SOIL



1 Site Plan
 C101 1" = 10'-0"

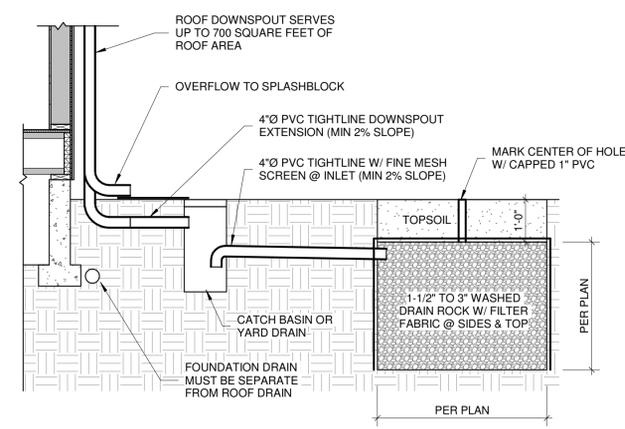


Site Areas

Existing Areas:	
Hard Surface Coverage	= 0 sf
Impervious Surface Coverage	= 0 sf
New Areas:	
Hard Surface Coverage	= 3923 sf
Driveway (permeable)	= 1126
Walkway (permeable)	= 51
Impervious Surface Coverage:	= 2746
Main House + ADU:	= 1732
Roof Deck:	= 318
Covered Patio 1:	= 213
Carport:	= 483
Ratios:	
Hard Surface Coverage:	= 67.7%
Impervious Coverage:	= 47.4%

Drainage

Primary Soil Series:	= Indianola loamy sand, 0 to 3% slopes
Soil Hydrologic Group:	= A
Soil Infiltration Factor:	= .125
Total Roof Area:	= 2746 sf
Total Driveway Area:	= 1126 sf
(BMP T5.10A) Infiltration Drywell	
Drywell #1:	= 4'-0"Ø x 3'-3" deep
Roof Area:	= 1228 sf
Required volume:	= 154 cf
Proposed volume:	= 163 cf
CONSTRUCTION PER FIGURE 3.1.4 OF CITY OF OLYMPIA DDECM VOLUME III	
(BMP T5.10A) Infiltration Drywell	
Drywell #2:	= 4'-0"Ø x 4'-0" deep
Roof Area:	= 1519 sf
Required volume:	= 190 cf
Proposed volume:	= 201 cf
CONSTRUCTION PER FIGURE 3.1.4 OF CITY OF OLYMPIA DDECM VOLUME III	
(BMP T5.15) Permeable Paving	
Driveway Area:	= 1126
Material:	= Plastic grid filled w/ 5/8" clean gravel over filter fabric



Site Data

Parcel: 43300100602
 Address: 2121 Adams St SE Olympia, WA 98501
 Zoning: R 6-12
 Lot Size: .13 Acres (5790sf)
 Legal: CROSBYS C DONATION CLAIM
 BLA032054OL TR B Document 3591808
 Maximum Impervious Coverage: 55%
 Maximum Development Coverage: 75%

3 Drainage - Downspout w/ Extension to Drywell
 C101 1/2" = 1'-0"

Note: Information shown here has been gathered from a combination of public sources, site observations, and 3rd parties. This is not a survey. All information shown here is subject to verification. Design For People assumes no responsibility for surveying the location, orientation, and/or size of features shown here. Property lines, features, and structures shall be established by owner prior to construction.

Site Plan		Project number:	25-014
		Date:	2/5/2026 12:57:00 PM
		Design by:	CK
		Drawn by:	CK
		C101	
		Scale As Indicated	

No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

2/5/2026 12:57:00 PM

CONTRACTOR RESPONSIBLE FOR UTILITY LOCATES. CALL BEFORE YOU DIG: DIAL 811

Window Schedule								
Type Mark	Type	Comments	Width	Height	Unit Width	Unit Height	Count	Level
1	3030 CS		3' - 0"	3' - 0"			2	F.L. Main
4	1068 SDLT		1' - 0"	6' - 9"			1	F.L. Main
5	1826 CUSTOM	Stained Glass	1' - 8"	2' - 6"			1	F.L. Main
6	3040 SH		3' - 0"	4' - 0"			8	F.L. Main
7	3050 SH		3' - 0"	5' - 0"			2	F.L. Main
8	3050 FX		3' - 0"	5' - 0"			1	F.L. Main
10	3040 FX		3' - 0"	4' - 0"			4	F.L. Main
11	1826 FX		1' - 8"	2' - 6"			1	F.L. Main

- Note:
- Windows to be U-25 or better.
 - Sizes shown are R.O.
 - See structural notes for minimum header sizes.

Door Schedule								
Type Mark	Type	Width	Height	Comments	Count	Level		
1	3068 PASS	3' - 2"	6' - 9"	Exterior	2	F.L. Main		
2	2868 PASS	2' - 10"	6' - 9"		6	F.L. Main		
2	2868 PASS	2' - 10"	6' - 9"	Exterior	1	F.L. Main		
4	2068 PASS	2' - 2"	6' - 9"	Closet	3	F.L. Main		
5	4068 SLD	4' - 2"	6' - 9"	Closet	1	F.L. Main		
6	6068 SLD	6' - 2"	6' - 9"	Shed	2	F.L. Main		
7	8068 SLD	8' - 2"	6' - 9"	Closet	1	F.L. Main		
8	3068 OPEN	0' - 0"	0' - 0"		1	F.L. Main		
9	36710 OPEN	0' - 0"	0' - 0"		3	F.L. Main		
10	46710 OPEN	0' - 0"	0' - 0"		1	F.L. Main		
12	2868 CUSTOM	2' - 10"	6' - 9"	Angled Top, Cab	4	F.L. Main		

- Note:
- Exterior doors to be U-30 or better
 - Door width & height shown above are for Rough Opening (Nominal size width +2" & height +1"). Verify R.O. size w/ manufacturer.
 - Standard door returns are 3" U.N.O.
 - See structural notes for minimum header sizes.

Floor Plan Notes

- Fans to operate at 30cfm continuously. Vent to exterior. Recommended: Panasonic WhisperComfort ERV
- Kitchen exhaust hood to be 250cfm intermittent. Vent to exterior.
- Mini-split head unit. Verify location with HVAC technician.
- 30"x60" Fiberglass shower pan w/ tile walls & glass door. Verify w/ client
- 30"x60" Fiberglass tub + surround. Verify w/ client
- Install client provided stained glass window. Requires modification. Verify size, operation, & waterproofing.
- Heat pump water heater w/ vent to exterior. Recommended Rheem Hybrid 80 gallon. Verify.
- Direct vent gas fireplace w/ tile hearth & surround, wood mantle. Verify size, clearances, and installation with mfr & client
- Electrical Panel. Verify loc. w/ electrician & client

Ventilation

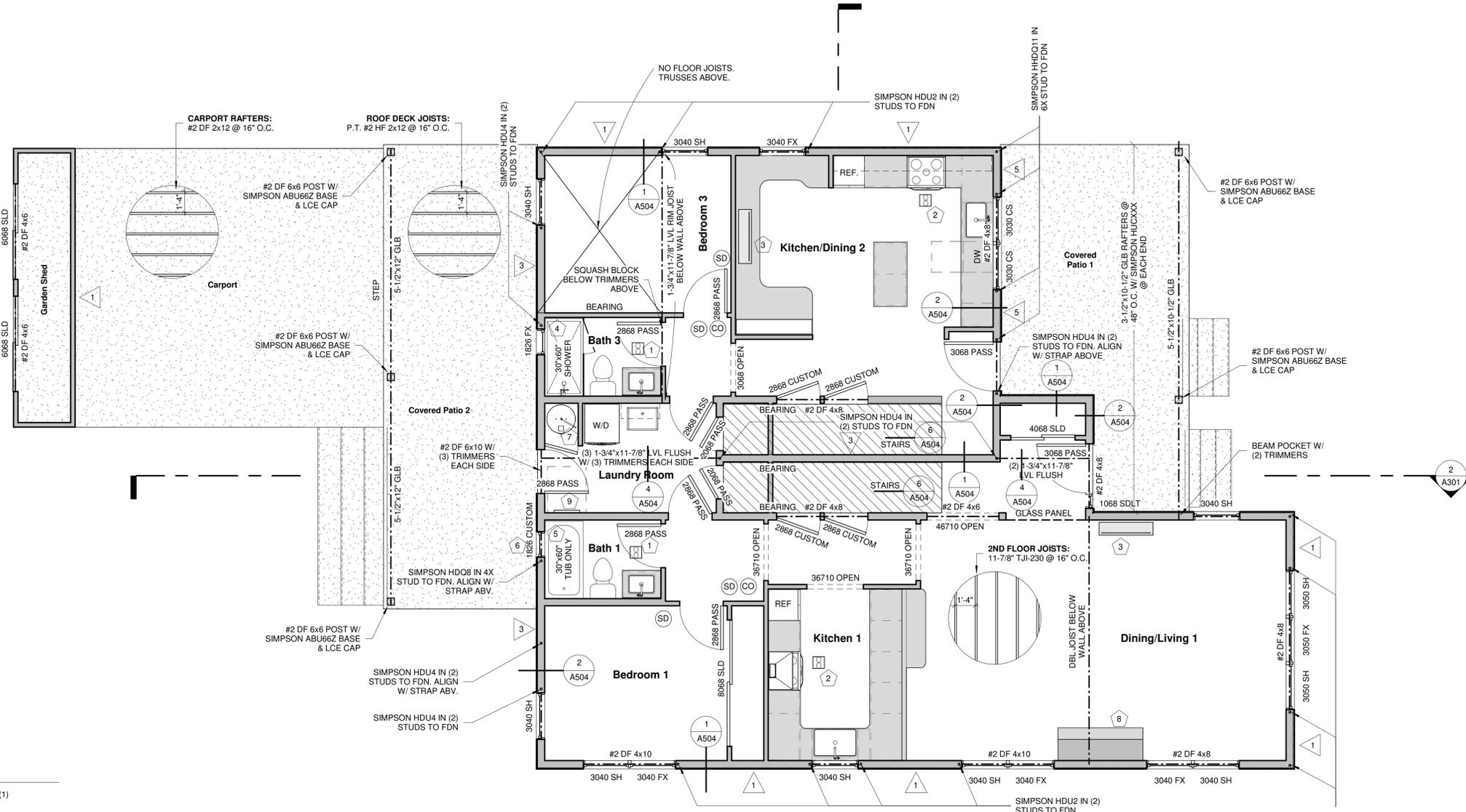
Required whole house ventilation rate: 90 CFM Continuous
 Proposed whole house ventilation rate: 120CFM = (4) 30cfm continuous local exhaust fans in bathrooms.

Recommended: Panasonic WhisperComfort ERV.

Wall Legend

- 2x6 Stud Wall
- 2x4 Stud Wall
- Sheathing & Siding

Note: GWB not shown. All dimensions to face of framing U.N.O.



Structural Notes

- ALL HEADERS TO BE (2) #2 DF 2x6 W/ (1) TRIMMER & (1) KING STUDS U.N.O.
- ALL EXTERIOR BEARING WALLS TO BE #2 D.F. 2x6's @ 16" O.C. U.N.O.
- ALL HOLDDOWNS IN (2) STUDS TO FOUNDATION UNLESS NOTED OTHERWISE.
- SEE HOLD-DOWN SCHEDULE FOR EPOXY OPTIONS & REQUIREMENTS

TYPICAL SHEAR WALL CALLOUT SEE SHEARWALL ELEVATION (5/A504) SEE SHEARWALL SCHEDULE FOR NAILING

HOLD DOWN WITH SIMPSON REFERENCE NUMBER INTO 2 STUDS TO FOUNDATION U.N.O.

1st Floor Plan
 1/4" = 1'-0"



01/29/26
 STRUCTURAL ONLY

Floor Plan - 1st Floor

Project number: 25-014
 Date: 1/29/2026 9:48:51 AM
 Design by: CK
 Drawn by: CK

A101

Scale 1/4" = 1'-0"

No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

1/29/2026 9:48:51 AM

Window Schedule								
Type Mark	Type	Comments	Width	Height	Unit Width	Unit Height	Count	Level
1	3030 CS		3' - 0"	3' - 0"			2	F.L. 2nd
2	2920 AWN		2' - 9"	2' - 0"			3	F.L. 2nd
3	3020 SLD		3' - 0"	2' - 0"			1	F.L. 2nd
6	3040 SH		3' - 0"	4' - 0"			6	F.L. 2nd
9	3030 FX		3' - 0"	3' - 0"			3	F.L. 2nd
10	3040 FX		3' - 0"	4' - 0"			3	F.L. 2nd

Note:
 1. Windows to be U=.25 or better.
 2. Sizes shown are R.O.
 3. See structural notes for minimum header sizes.

Door Schedule						
Type Mark	Type	Width	Height	Comments	Count	Level
2	2868 PASS	2' - 10"	6' - 9"		2	F.L. 2nd
3	2668 PASS	2' - 8"	6' - 9"		2	F.L. 2nd
3	2668 PASS	2' - 8"	6' - 9"	Closet	1	F.L. 2nd
11	5068 DBL	5' - 2"	6' - 9"	Exterior	2	F.L. 2nd
13	2866 CUSTOM	2' - 10"	6' - 6"	Client Provided	1	F.L. 2nd

Note:
 1. Exterior doors to be U=.30 or better
 2. Door width & height shown above are for Rough Opening (Nominal size width +2" & height +1"). Verify R.O. size w/ manufacturer.
 3. Standard door returns are 3" U.N.O.
 4. See structural notes for minimum header sizes.

Floor Plan Notes

- 1 Fans to operate at 30cfm continuously. **Recommended: Panasonic WhisperComfort ERV**
- 2 Attic access to be 22-1/2"x54" w/ pull down ladder. Verify size w/ ladder mfr.
- 3 Mini-split head unit. Verify location with HVAC technician.
- 4 30"x60" Freestanding bathtub. Verify size in field
- 5 48"x36" tile-ready shower pan w/ tile walls & glass door. Verify w/ client
- 6 36"x60" Fiberglass shower pan w/ tile walls & glass door. Verify w/ client

Ventilation

Required whole house ventilation rate: 90 CFM Continuous
 Proposed whole house ventilation rate: 120CFM = (4) 30cfm continuous local exhaust fans in bathrooms.

Recommended: Panasonic WhisperComfort ERV.

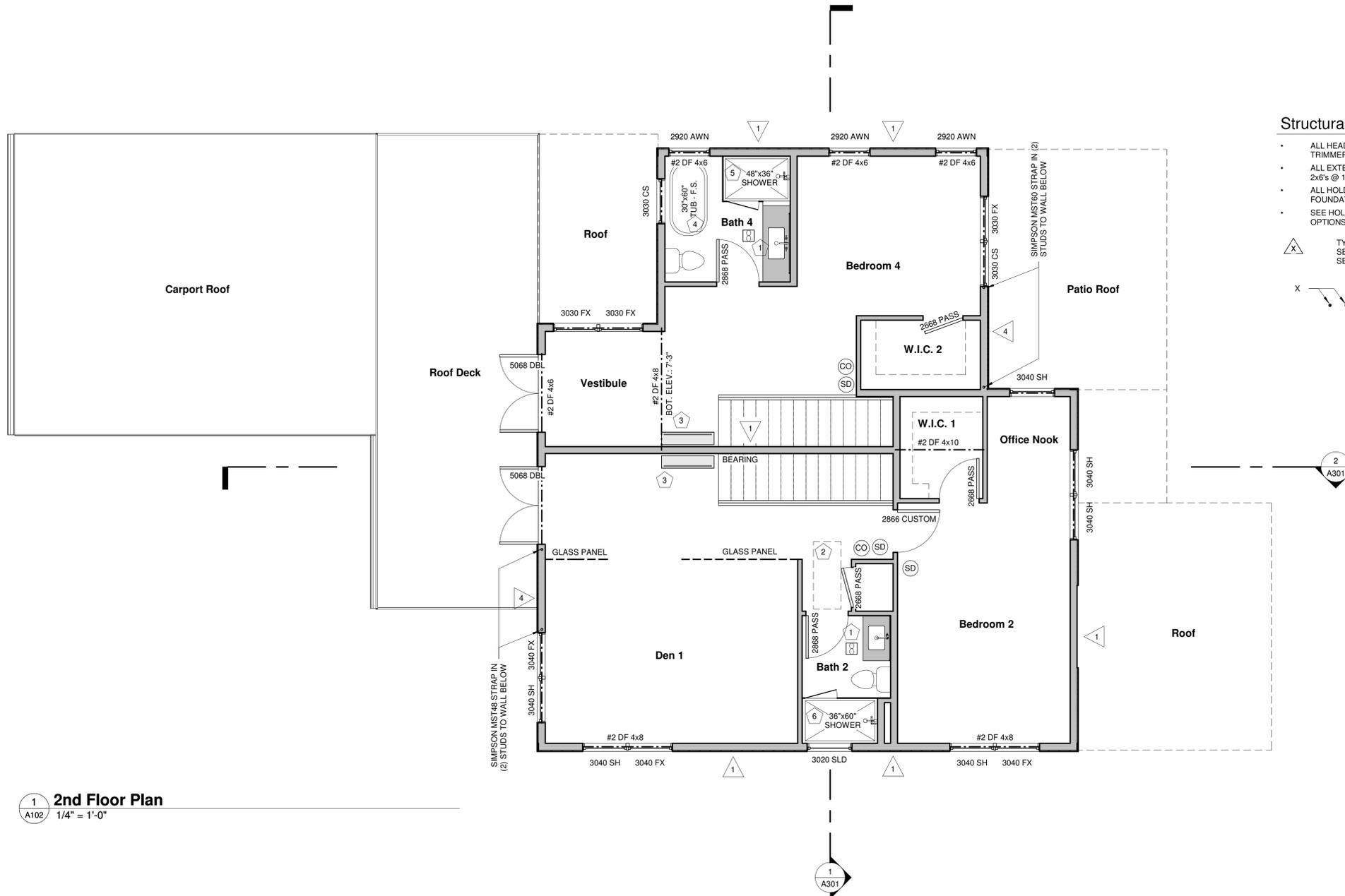
Wall Legend

- 2x6 Stud Wall - [Symbol]
- 2x4 Stud Wall - [Symbol]
- Sheathing & Siding - [Symbol]

Note: GWB not shown. All dimensions to face of framing U.N.O.

Structural Notes

- ALL HEADERS TO BE (2) #2 DF 2x6 W/ (1) TRIMMER & (1) KING STUDS U.N.O.
- ALL EXTERIOR BEARING WALLS TO BE #2 D.F. 2x6's @ 16" O.C. U.N.O.
- ALL HOLDDOWNS IN (2) STUDS TO FOUNDATION UNLESS NOTED OTHERWISE.
- SEE HOLDDOWN SCHEDULE FOR EPOXY OPTIONS & REQUIREMENTS
- △ TYPICAL SHEAR WALL CALLOUT SEE SHEARWALL ELEVATION (5/A504) SEE SHEARWALL SCHEDULE FOR NAILING
- X HOLD DOWN WITH SIMPSON REFERENCE NUMBER INTO 2 STUDS TO FOUNDATION U.N.O.



1 2nd Floor Plan
 A102 1/4" = 1'-0"

Floor Plan - 2nd Floor		Project number	25-014
		Date	1/29/2026 9:48:51 AM
		Design by	CK
		Drawn by	CK

No.	Description	Date

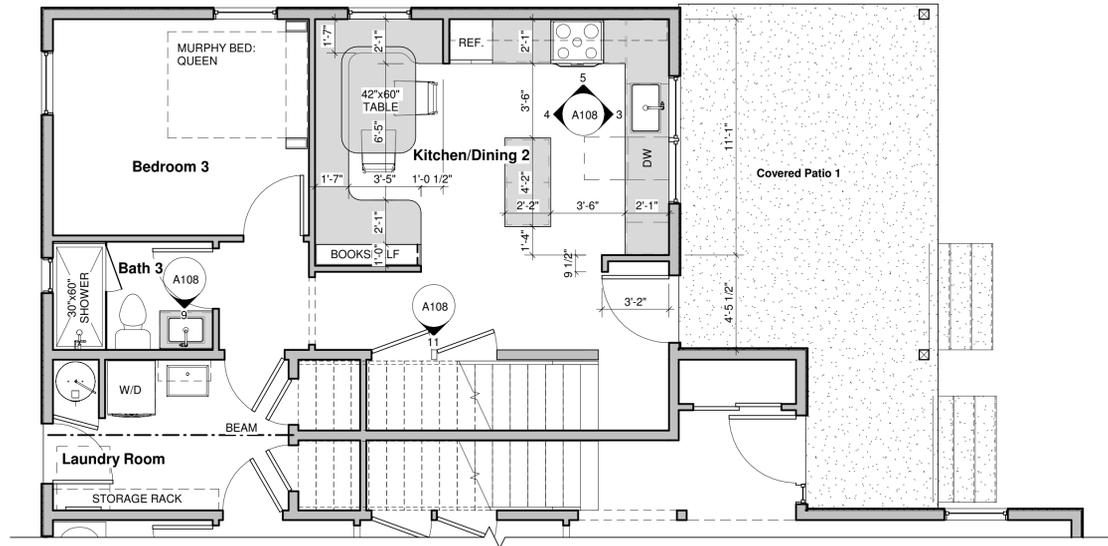
Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

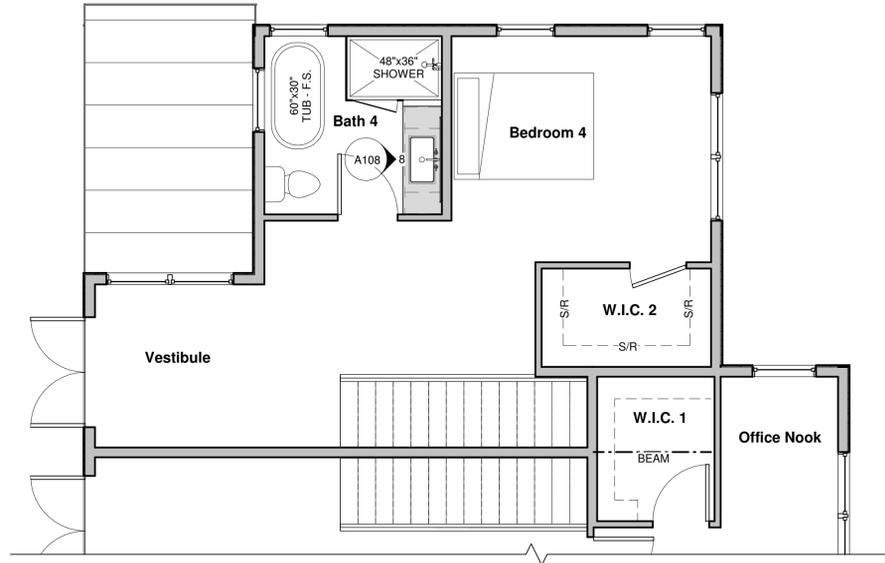


01/29/26
 STRUCTURAL ONLY

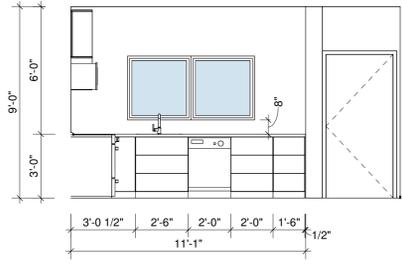
1/29/2026 9:48:51 AM



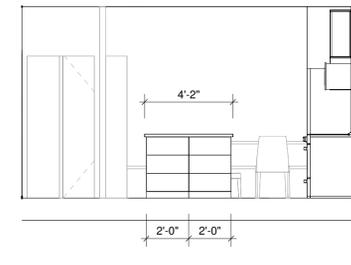
1 Key Plan - ADU - 1st Floor
A108 1/4" = 1'-0"



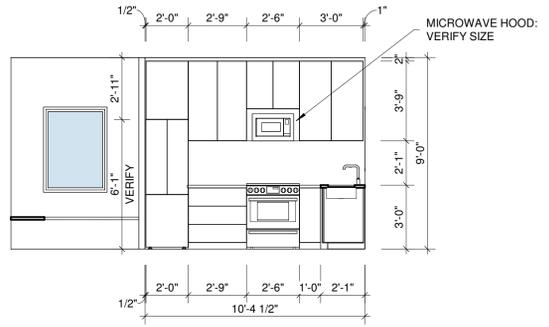
2 Key Plan - ADU - 2nd Floor
A108 1/4" = 1'-0"



3 ADU - Kitchen 1
A108 1/4" = 1'-0"



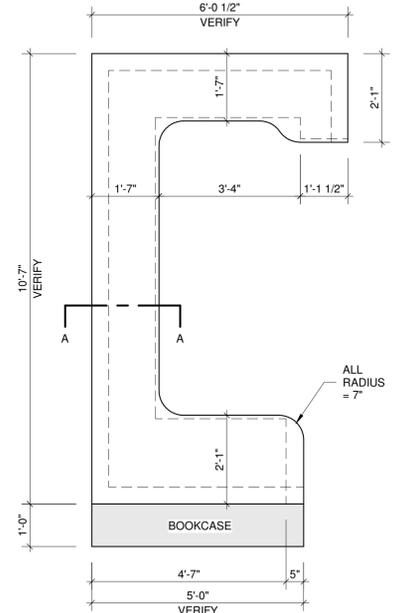
4 ADU - Kitchen 2
A108 1/4" = 1'-0"



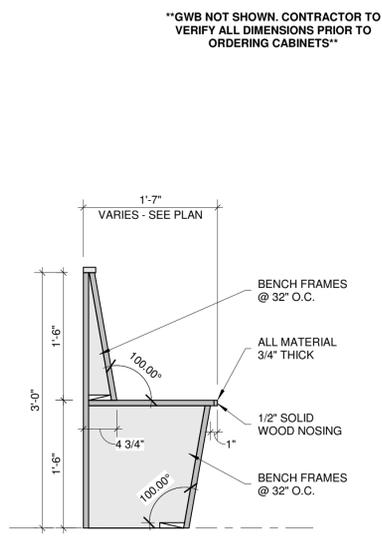
5 ADU - Kitchen 3
A108 1/4" = 1'-0"

Interior Notes - House

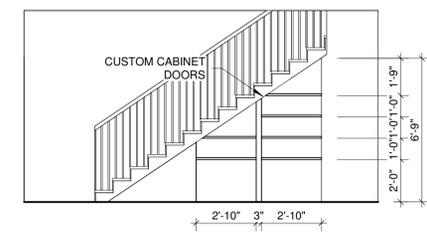
- Flooring: LVP
- Wall Finish: GWB, light orange peel
- Tile: Verify material, style & location w/ client
- Cabinets: Layout shown for planning purposes. Verify drawer, door, material, style, etc. w/ client
- Countertops: Quartz, verify w/ client
- Plumbing Fixtures: Verify w/ client
- Lighting: Verify w/ client
- Millwork: Paint Grade, 3 side GWB windows w/ wood sill
- Appliances: Verify w/ client. See energy code notes for additional requirements
- Electrical: Low voltage & wiring for Smart Home accessories. Verify w/ client.



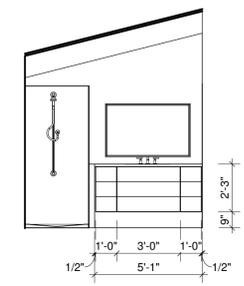
6 Built in Bench
A108 1/2" = 1'-0"



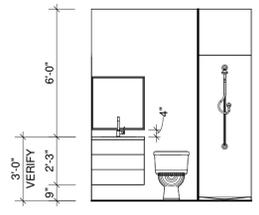
7 Bench - Section AA
A108 1" = 1'-0"



11 ADU - Pantry
A108 1/4" = 1'-0"



8 ADU - Bath 2
A108 1/4" = 1'-0"



9 ADU - Bathroom 1
A108 1/4" = 1'-0"

Room Schedule - 1st Floor ADU		
Name	Area	Notes
Kitchen/Dining 2	193 SF	
Bedroom 3	123 SF	
Bath 3	26 SF	
Hall	99 SF	

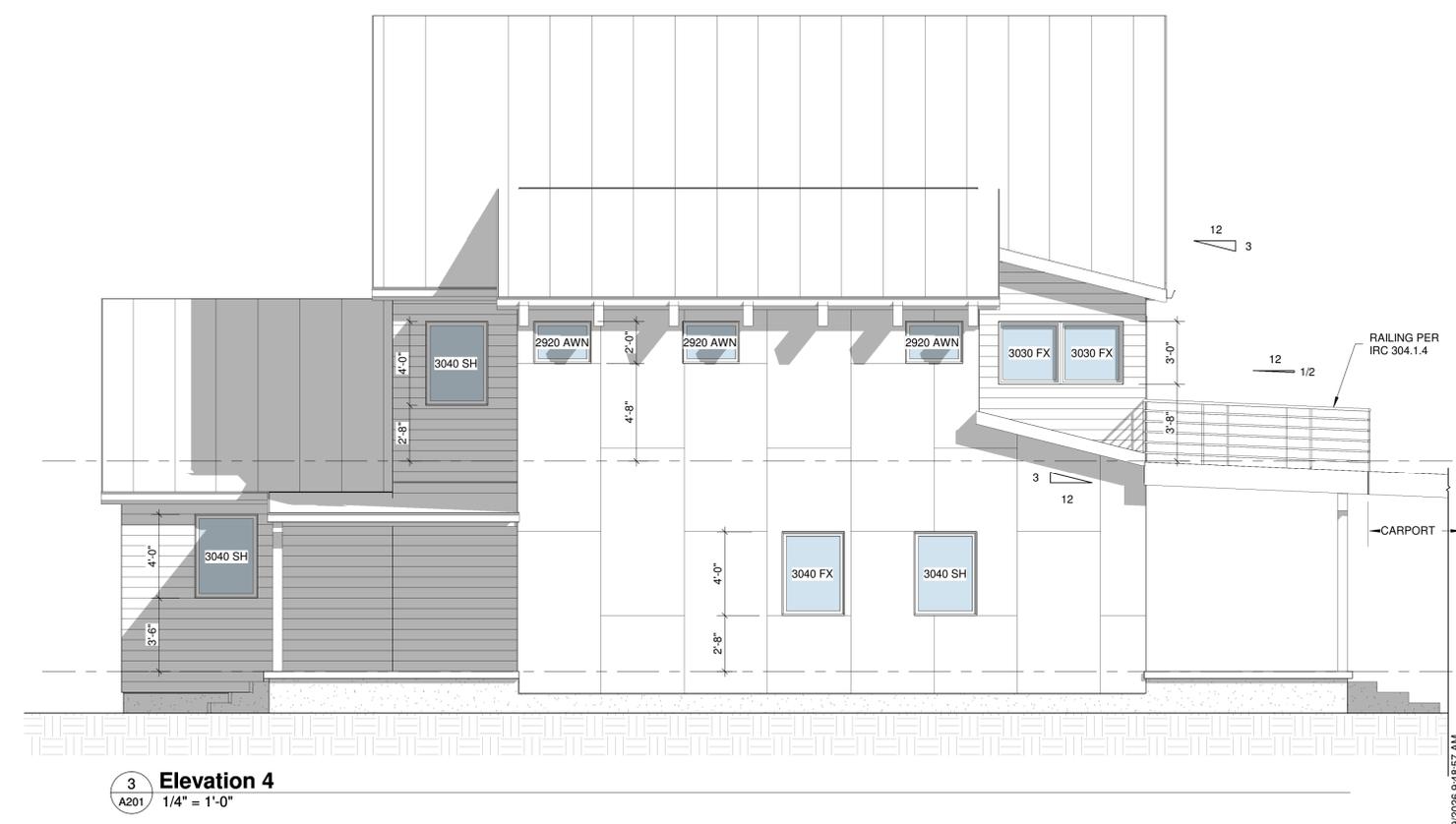
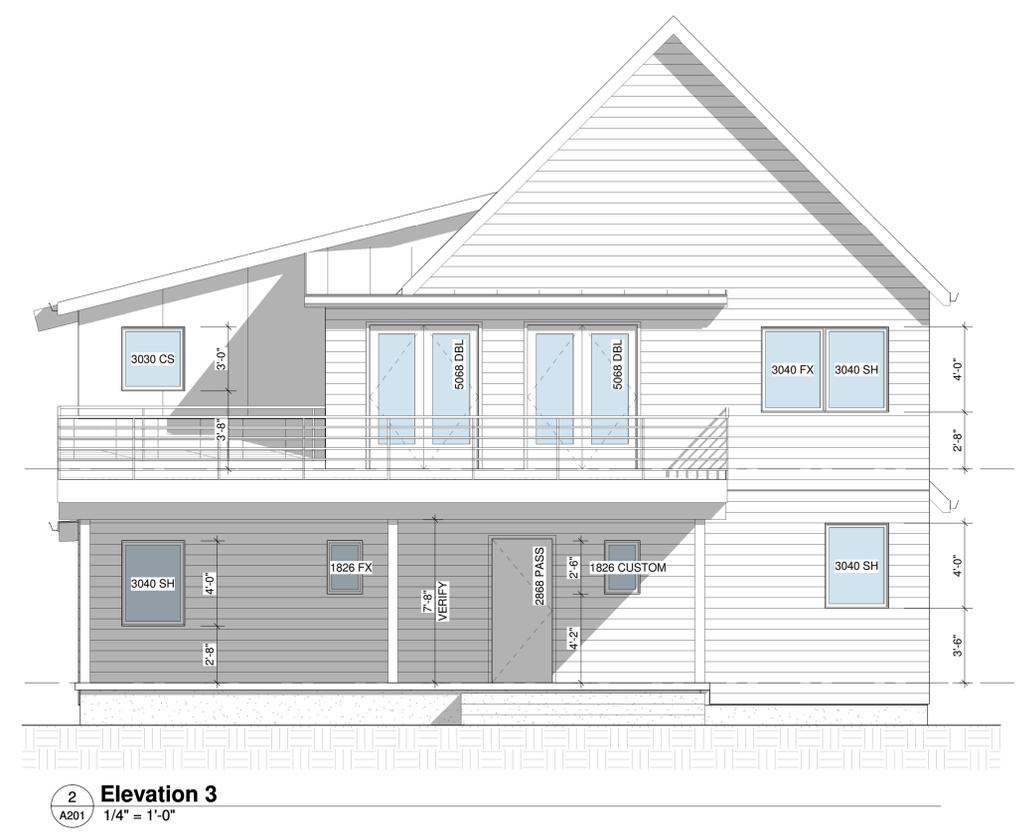
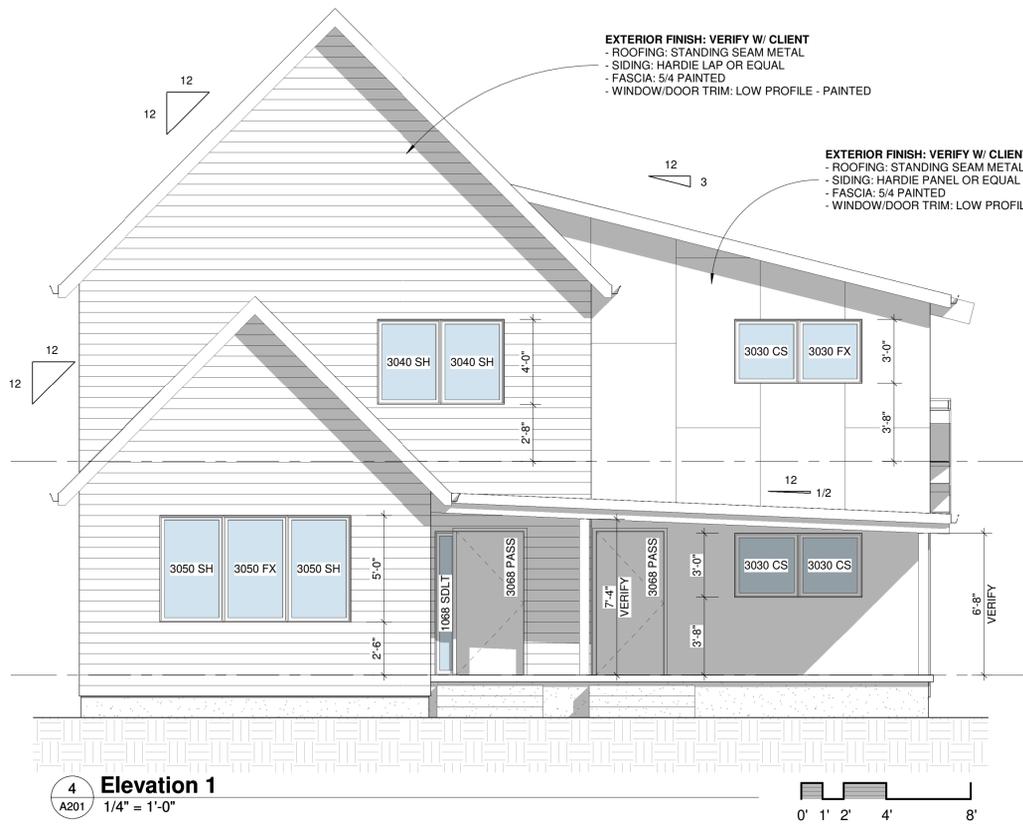
Room Schedule - 2nd Floor ADU		
Name	Area	Notes
Bedroom 4	229 SF	
W.I.C. 2	37 SF	
Bath 4	70 SF	
Vestibule	61 SF	

Interior Plan - ADU		A108	Scale As indicated
Project number	25-014		
Date	2/2/2026 10:09:49 AM	Design by	CK
		Drawn by	CK

No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635



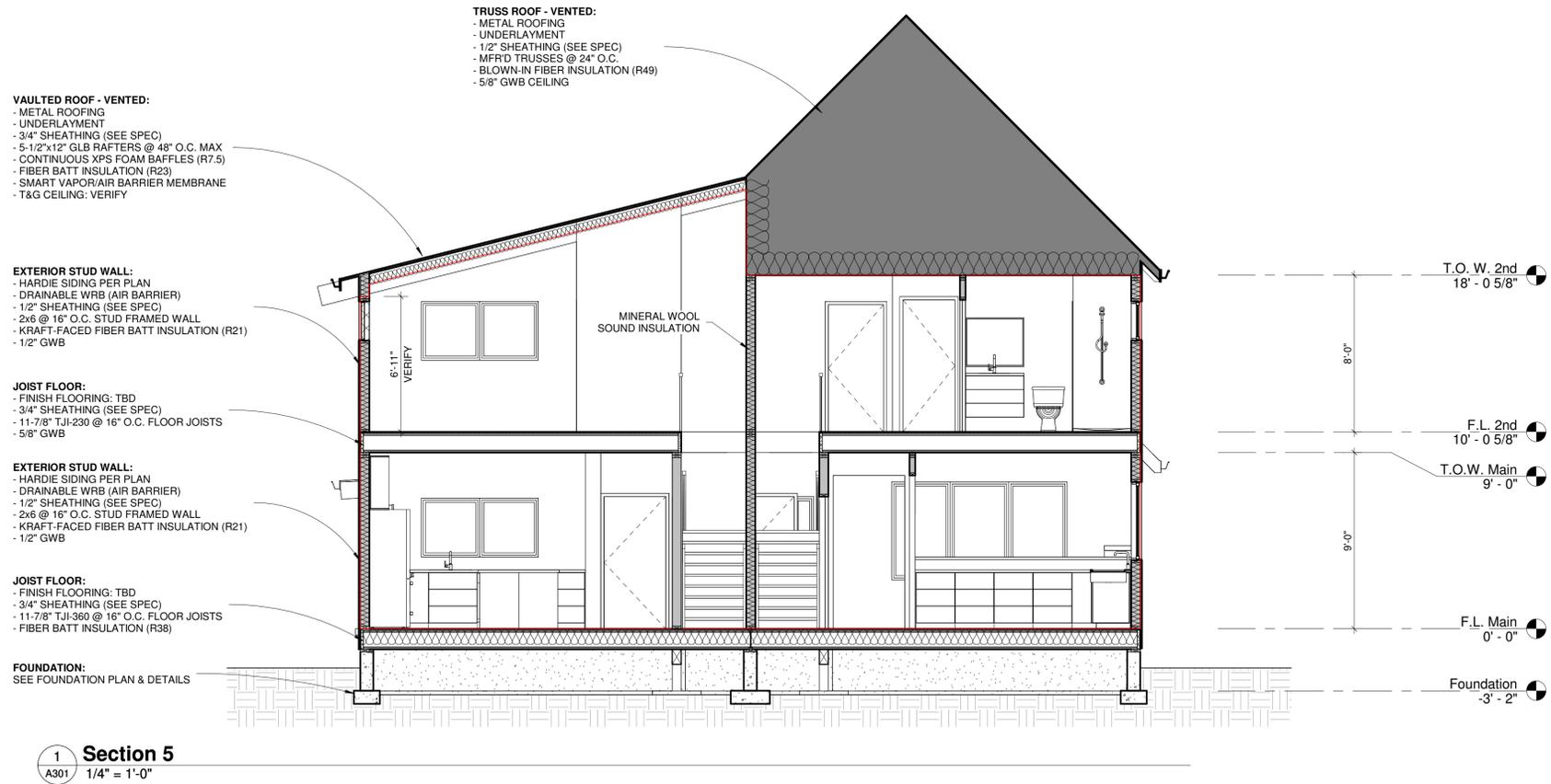
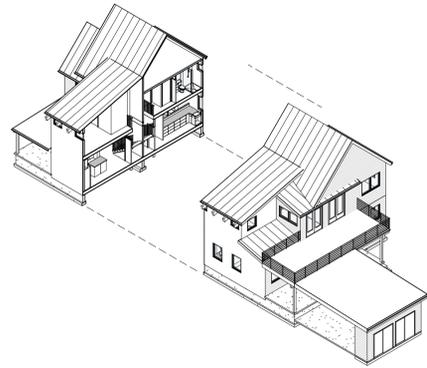
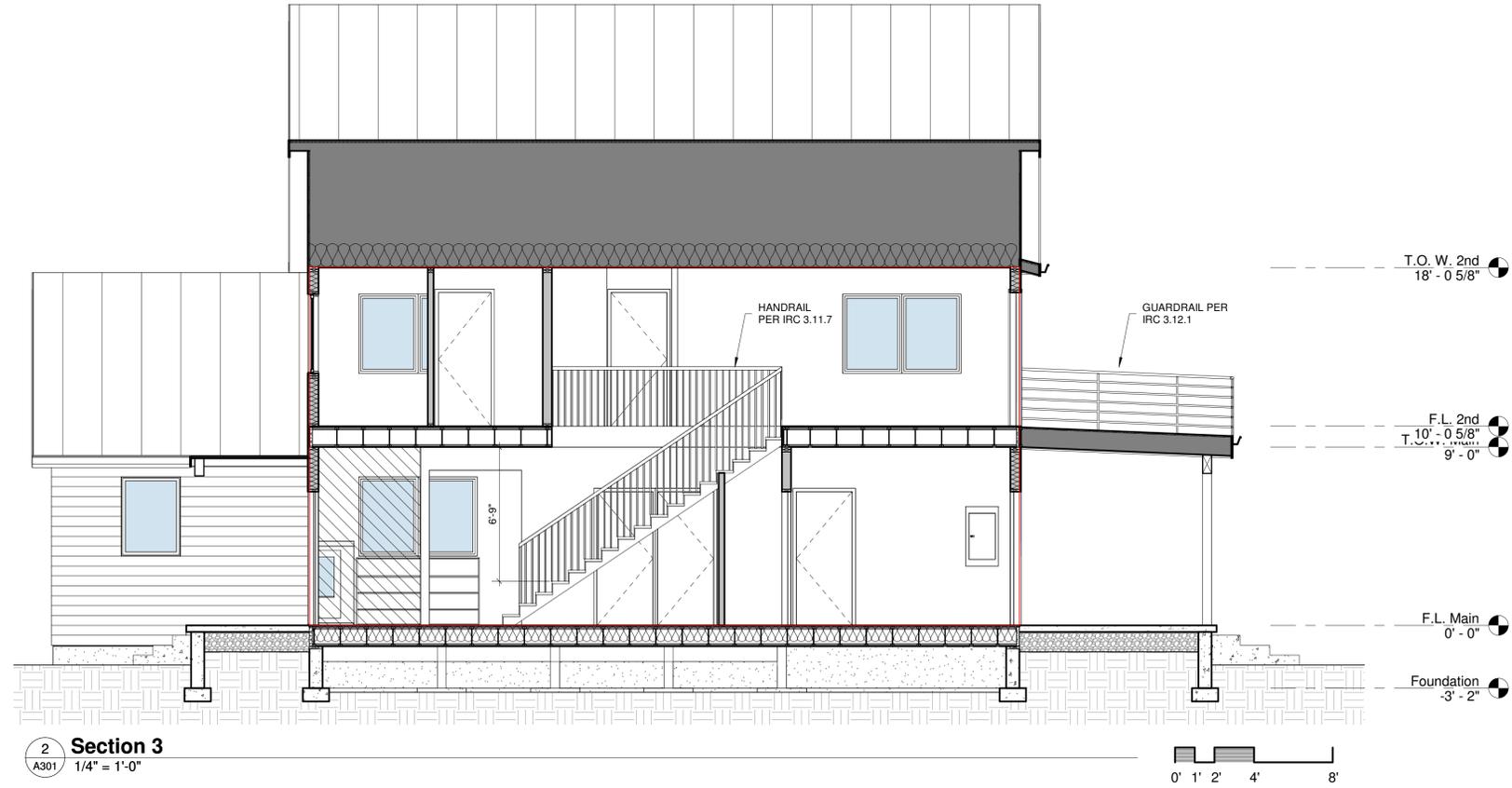
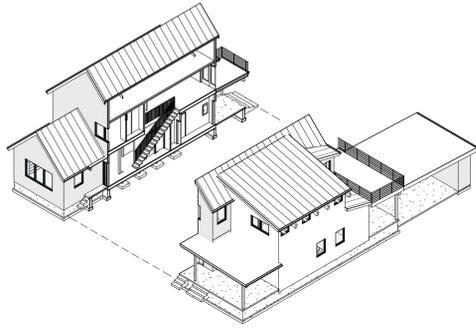
Exterior Elevations		A201		Scale 1/4" = 1'-0"	
Project number	25-014	Date	1/29/2026 9:48:57 AM	Design by	CK
				Drawn by	CK

No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

1/29/2026 9:48:57 AM



Building Sections

Project number	25-014	A301	Scale 1/4" = 1'-0"
Date	1/29/2026 9:48:59 AM		
Design by	CK		
Drawn by	CK		

No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

1/29/2026 9:48:59 AM

Design For People, LLC

1866 State Ave NE Olympia, WA 98506

ph: 360.791.7635

email: carl@forpeople.design

February 2, 2026

Community Planning and Development
601 4th Ave E – PO Box 1967
Olympia, WA 98501

RE: Design Review 2121 Adams St SE Olympia, WA 98501: Baker-Laffoon House + ADU Project

This project is an endeavor to create a new house and new attached ADU that strikes a balance between people and place. Barbara Baker and Jeanette Laffoon, long time friends and residents of Olympia, approached me to design a home in which they could retire and live comfortable amongst family, friends, and community. Both have strong, yet distinct tastes. One is drawn to Arts and Crafts style architecture, the other has more Modern inclinations. I realized this natural contradiction could be an opportunity to create a structure that was respectful of its place not only in space, but also in time.

Barbara and Jeanette purchased one of the last viable lots in the South Capitol neighborhood and wanted something modest and efficient. The location immediately demanded attention to the historical context. In reference to the surrounding homes' age, form, and exterior features, the house has two stories, traditional massing, clearly defined entries facing the street, no visible garage, and a strictly human scale. Slight differences are proposed to designate the main house from the attached ADU. Where the main house is more in keeping with early 1900's design with a steep pitched roof, lap siding, and vertically oriented windows, the ADU would establish the home's relationship to the year 2026 with a lower sloped shed roof, panel siding, and uniquely detailed, exposed wood beams.

Many of the neighboring homes have had various additions over their lifespan, and this design echoes the evolving nature of older homes. It will be 100 years younger than its neighbors, yet still fit the visual pattern: its twin masses representing where the neighborhood began and where it is now; one owner's traditional tastes and the other owner's modern leanings.

This house attempts to pay respect to its people and its place.

Sincerely,



Carl Kagy, Designer

1

Baker-Laffoon House + ADU



SITE INFO:

PARCEL AREA = 5790 SQFT
 LANDSCAPE AREA = 1867 SQFT
 BUILDING AREA = 2746 SQFT
 IMPERVIOUS AREA = 2746 SQFT

OWNER:

BARBARA BAKER & JEANETTE LAFFOON
 2121 ADAMS ST SE
 OLYMPIA, WA 98501

APPLICANT:

BARBARA BAKER & JEANETTE LAFFOON
 2121 ADAMS ST SE
 OLYMPIA, WA 98501

Design Review - Cover Sheet

Project number	25-014	A1	Scale
Date	2/2/2026 4:46:24 PM		
Design by	CK		
Drawn by	CK		

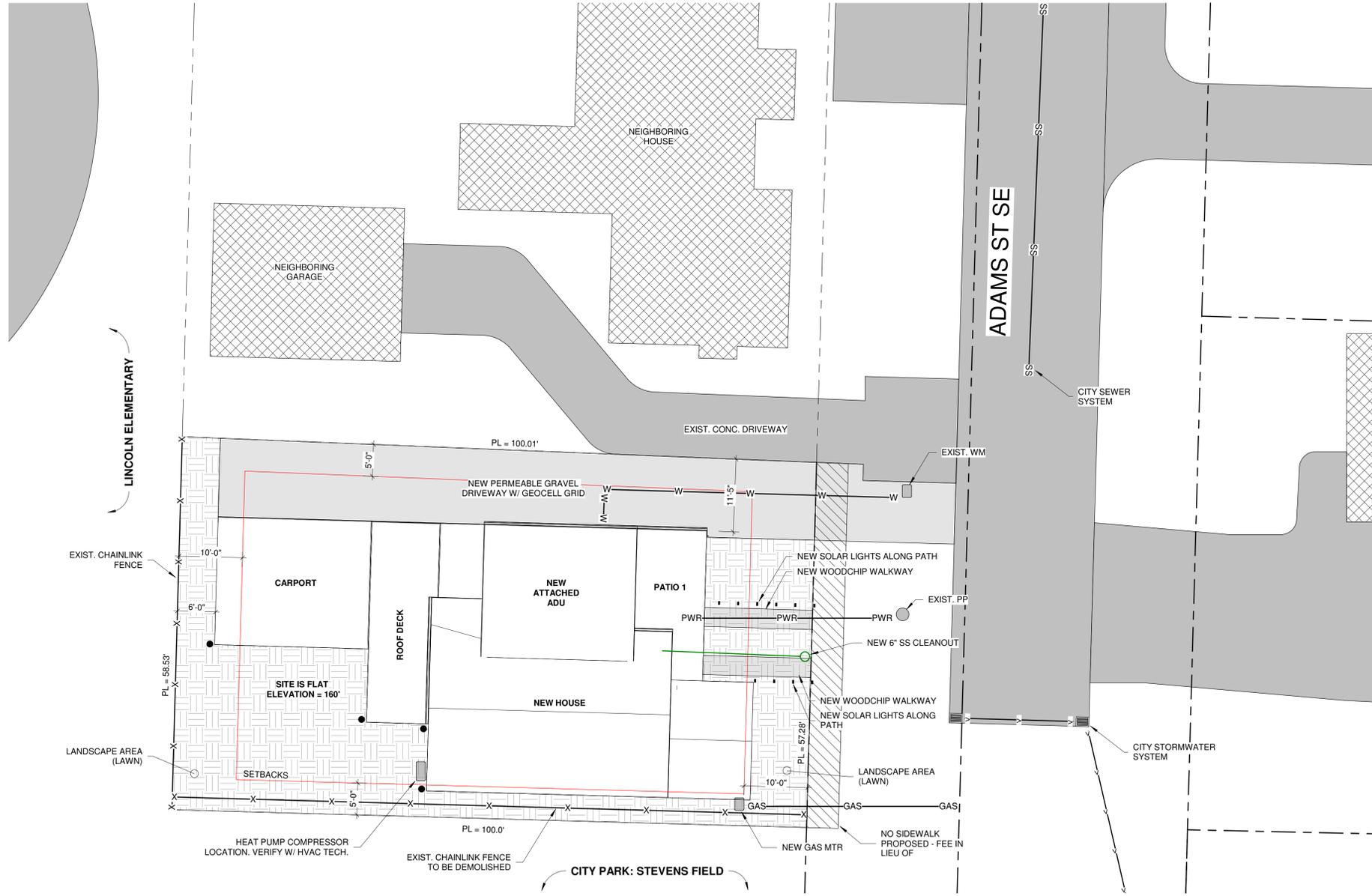
No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

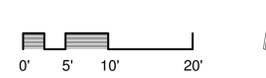
Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

Note: Rendering is visual in nature and may not accurately depict the presence, location, nor extent of all structural, building, all site features. See plans.

2/2/2026 4:46:24 PM



1 Site & Landscape Plan
A2 1" = 10'-0"



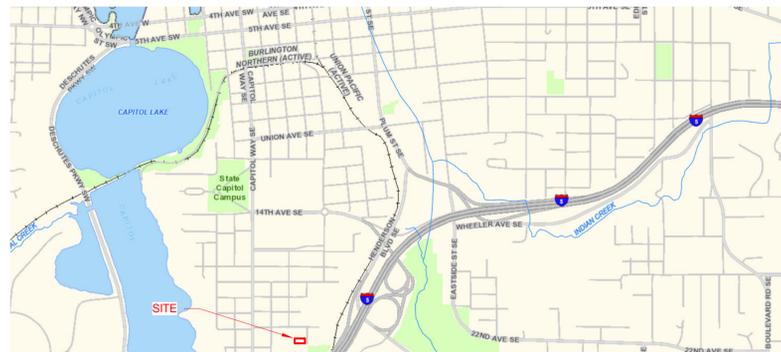
Site Data

Parcel: 43300100602
 Address: 2121 Adams St SE Olympia, WA 98501
 Zoning: R 6-12
 Lot Size: 13 Acre (5790sf)
 Legal: CROSBYS C DONATION CLAIM
 BLA0320540L TR B Document 3591808
 Maximum Impervious Coverage: 55%
 Maximum Development Coverage: 75%

Site & Landscape Notes

1. Lot at present is flat.
2. Lot at present is 100% lawn with minor encroachment of Himalayan Blackberry from the South.
3. Lot at present has no trees.
4. No additional landscaping is proposed.

Vicinity Map



Design Review - Site & Landscape Plan

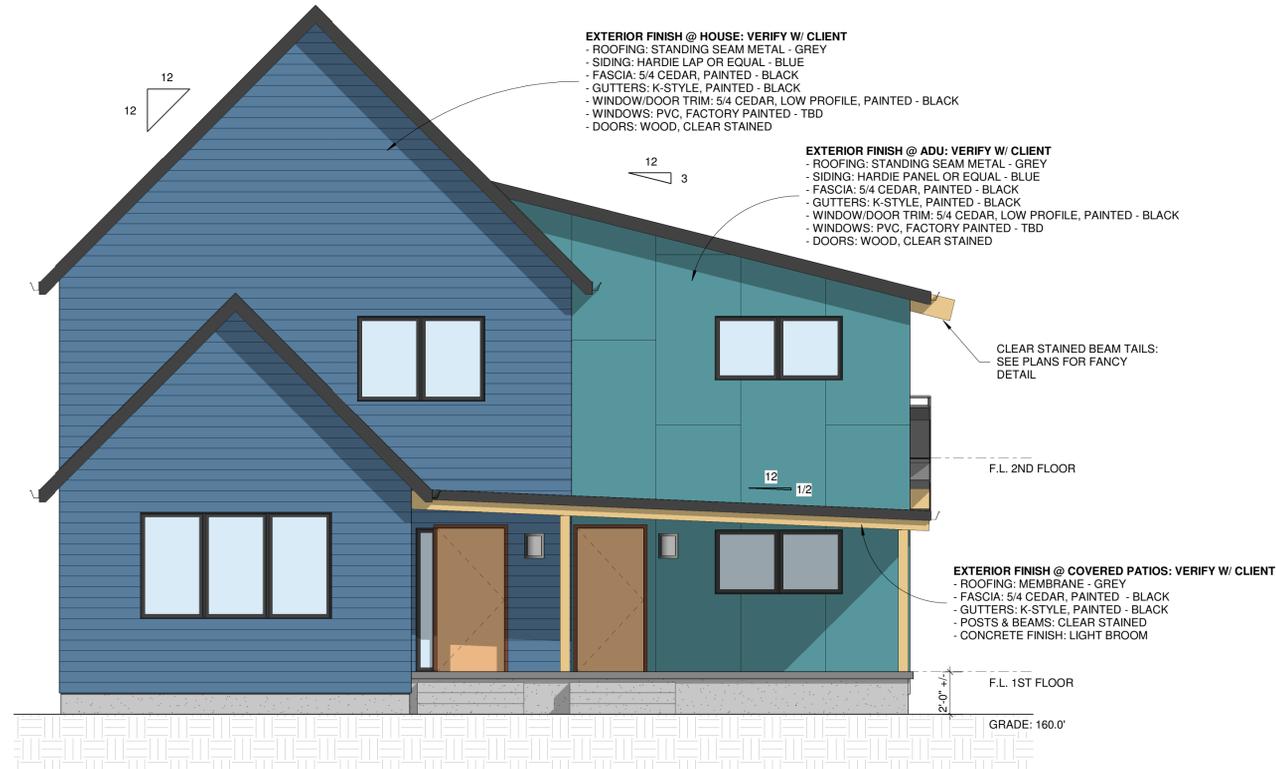
Project number	25-014	A2
Date	2/2/2026 4:46:24 PM	
Design by	CK	
Drawn by	CK	Scale As indicated

No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

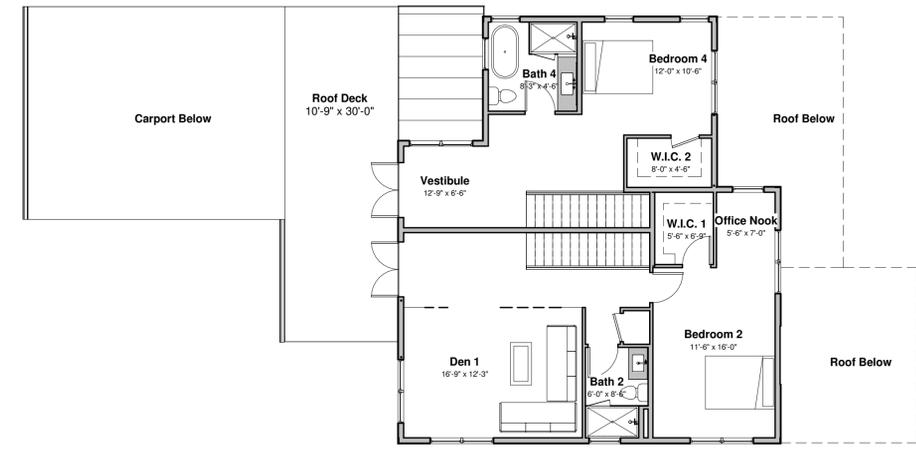
3



1 Design Review Elevation - East
 A3 1/4" = 1'-0"



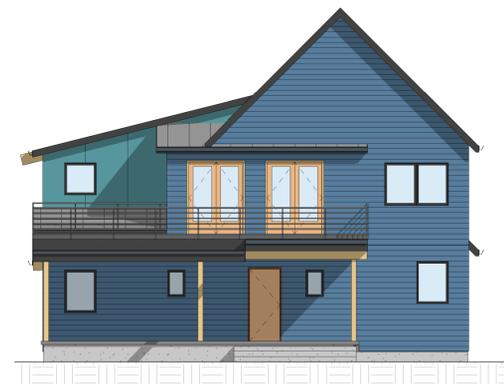
5 Design Review - 1st Floor
 A3 1/8" = 1'-0"



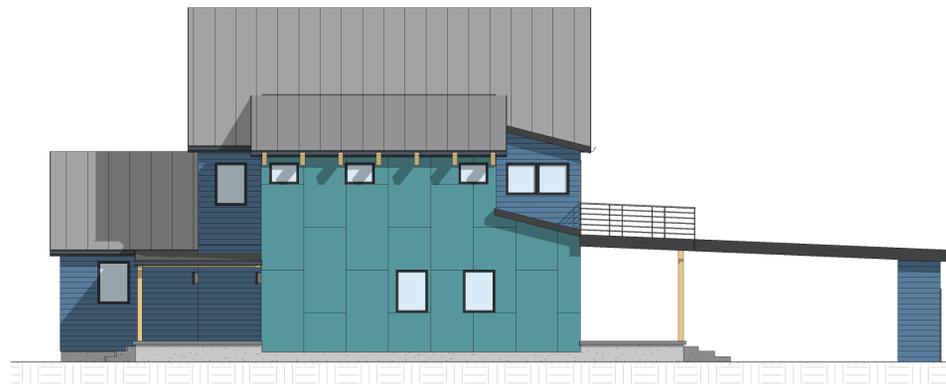
6 Design Review - 2nd Floor
 A3 1/8" = 1'-0"



2 Design Review Elevation - South
 A3 1/8" = 1'-0"



3 Design Review Elevation - West
 A3 1/8" = 1'-0"



4 Design Review Elevation - North
 A3 1/8" = 1'-0"

Design Review - Elevations

Project number	25-014	A3	Scale As indicated
Date	2/2/2026 4:57:10 PM		
Design by	CK		
Drawn by	CK		

No.	Description	Date

Name: Barbara Baker & Jeanette Laffoon
 Project: Home
 Parcel: 43300100602
 Project Address: 2121 Adams St SE
 Olympia, WA 98501

Design For People
 www.forpeople.design
 1866 State Ave NE Olympia, WA 98506
 360.791.7635

2/2/2026 4:57:10 PM