



Annie's Artist Flats
LAND USE AND DESIGN REVIEW:

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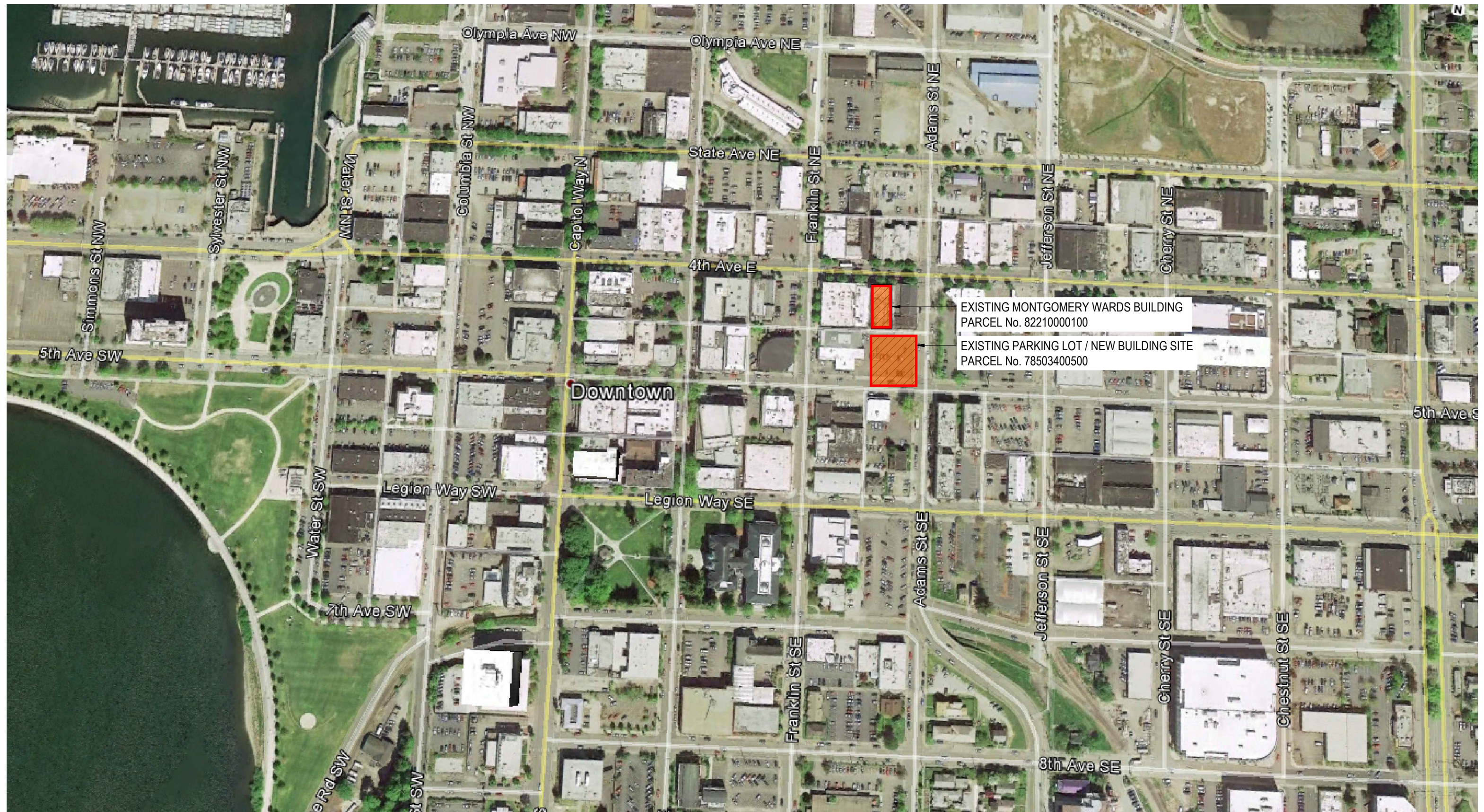
SECTION 1: Vicinity Map

Architectural context plan Sheet A0.1DR illustrates:

Context plan with 100 foot perimeter boundary.

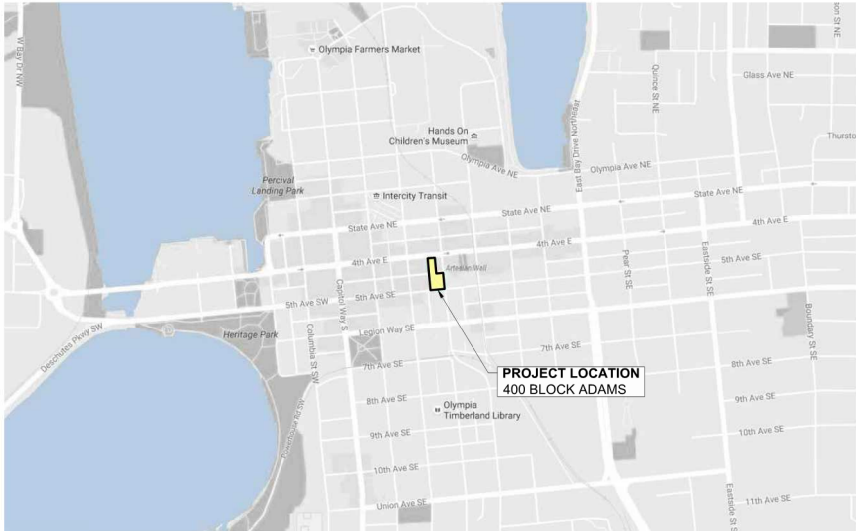
Architectural context elevations Sheet A0.2DR illustrates:

Context elevations with 100 foot perimeter boundary.



ARTIST LOFTS - VICINITY MAP

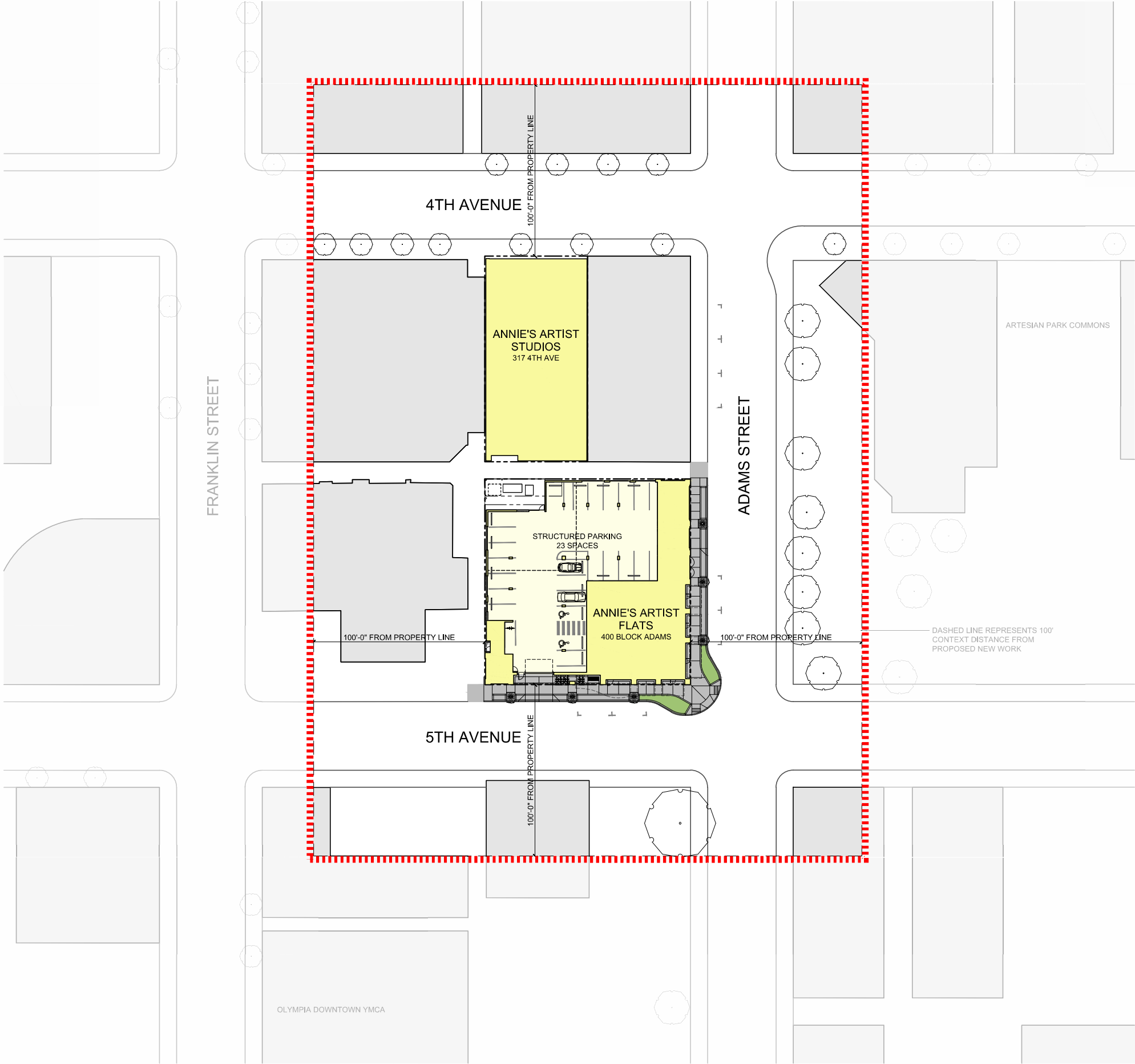
ARTIST LOFT HOUSING - OLYMPIA, WASHINGTON - SEPTEMBER 26, 2016



CITY CONTEXT

SITE LEGEND

- FOOTPRINT OF ENCLOSED AREAS OF PROJECT STRUCTURES. EXISTING AND NEW BUILDINGS SHALL BE SUBMITTED UNDER SEPARATE PERMITS.
- NEW COVERED STRUCTURED PARKING



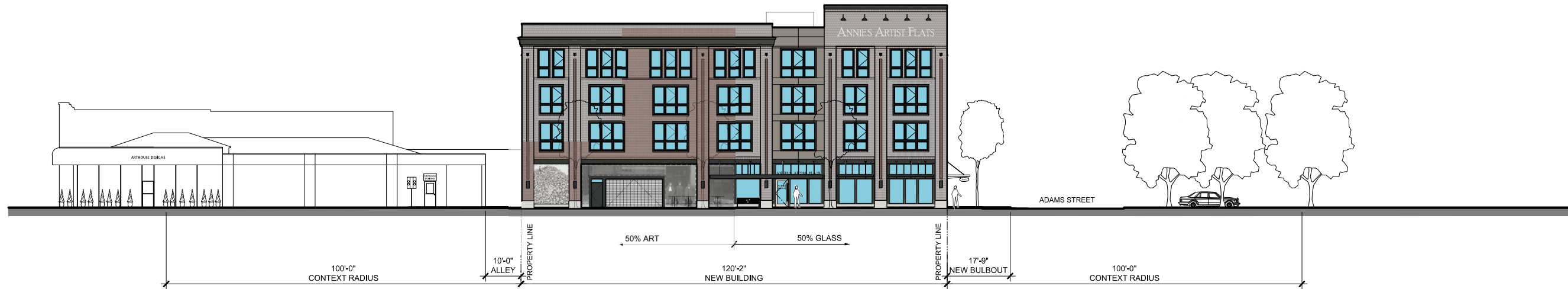
CONTEXT SITE PLAN - PROPERTIES WITHIN 100'

Urban Olympia 4
ANNIE'S ARTIST FLATS
OLYMPIA, WASHINGTON

PROJECT NUMBER: 1515
DESIGN REVIEW
FEBRUARY 10, 2016

**CONTEXT SITE
PLAN**

A0.1DR



1 CONTEXT ELEVATION SOUTH - VIEW ALONG 5TH AVENUE



2 CONTEXT ELEVATION EAST - VIEW ALONG ADAMS STREET



3 CONTEXT ELEVATION NORTH - VIEW ALONG 4TH AVENUE

Urban Olympia 4
ANNIE'S ARTIST FLATS
OLYMPIA, WASHINGTON

PROJECT NUMBER: 1515
50% CD
MARCH 14, 2016

CONTEXT
ELEVATIONS

A0.2DR

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VIEW NORTH FROM SOUTH EAST CORNER



VIEW OF NORTH EAST PROPERTY CORNER



VIEW EAST DOWN NORTH ALLEY



VIEW NORTH EAST FROM SOUTH WEST PROPERTY CORNER

CONTEXT - IMAGES OF EXISTING

ANNIE'S ARTIST FLATS | OLYMPIA, WASHINGTON | DESIGN REVIEW | FEBRUARY 2017

SECTION 2: Detailed Site Plans

Architectural plan Sheet A1.1 illustrates:

Property lines with distances.
Adjacent public rights-of-way.
Existing and proposed site features.
Existing or proposed retaining walls or fences with spot elevations at top and bottom.
Existing and proposed grades at 2-foot contour intervals.

Existing to remain.

Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
Clearly delineated and labeled landscape and hardscape areas.
Location of above-ground mechanical/utility equipment and how it will be screened.

All exterior mechanical/utility equipment will be located on the roof behind parapet walls.

Solid waste collection location and enclosure/screening.

Location as indicated on plan. See Section 6 for details.

Plan notes indicating types of hardscape material.

Light post locations.

Location of all other site features including: pedestrian amenities, bicycle racks, and lockers, bus stop, monument or free-standing signs, mail kiosks, etc.

Long term bicycle parking provided indoors per plan. Racks shall be "Ultra Space Saver - Single" by Dero (see cut sheet in Section 6 and Sheet A2.1 this section for location).

Short term bicycle parking provided at perimeter of building near entrances using Arc Rack by Dero, or similar (see cut sheet in Section 6 and Sheet A2.1 this section for location).

No monument or free standing sign shall be provided. All signage will be mounted to the building.

SITE INFORMATION		
ADDRESS 4TH - EXISTING MONTGOMERY WARD BUILDING		
EXISTING SITE CONDITIONS:		
SITE AREA =	7,214 SF	
LANDSCAPE AREA (PERVIOUS) =	0 SF	
PAVED AREA (IMPERVIOUS) =	0 SF	
BUILDING AREA (IMPERVIOUS) =	7,214 SF	
EXISTING IMPERVIOUS COVERAGE =	100%	
ADDRESS 5TH - NEW BUILDING		
EXISTING SITE CONDITIONS:		
SITE AREA =	14,430 SF	
PAVED AREA (IMPERVIOUS) =	14,430 SF	
BUILDING AREA (IMPERVIOUS) =	0 SF	
LANDSCAPE AREA (PERVIOUS) =	0 SF	
EXISTING IMPERVIOUS COVERAGE =	100%	
NEW SITE CONDITIONS:		
NEW BUILDING FOOTPRINT (IMPERVIOUS) =	12,234 SF	
PAVED AREA NOT COVERED (IMPERVIOUS) =	753 SF	
LANDSCAPE (PERVIOUS) =	1,443 SF	
PERCENTAGE OF IMPERVIOUS COVERAGE =	85%	

PARKING SUMMARY
REQUIRED VEHICLE PARKING REQUIREMENTS (OMC 18.38.040)
DOWNTOWN IS EXEMPT FROM ALL PARKING REQUIREMENTS.

VEHICLE PARKING REQUIREMENTS - NONE REQUIRED	
ADDRESS 4TH (NOT REQUIRED (NR) PER OMC 18.38.160.C.1) =	0 SPACES
ADDRESS 5TH - SPACES PROVIDED =	25 SPACES
30% OF ALL SPACES CAN BE COMPACT=30% x 25 = 8 SPACES 7 COMPACT SPACES PROVIDED (NOTED W/ 'C' AFTER NUMBER)	
ACCESSIBLE PARKING PROVIDED = (SEE SECTION 1106 ON SHEET A0.3)	2 SPACES

LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)	
ADDRESS 4TH (18 STUDIO UNITS @ 0/UNIT) =	0 SPACES
ADDRESS 4TH (WORK STUDIOS 3,752 SF @ 1/10,000 SF, 2 MIN.) =	.38 SPACES
ADDRESS 4TH (GALLERY 3,481 SF @ 1/16,000 SF, 2 MIN.) =	.22 SPACES
ADDRESS 4TH (RESTAURANT 1,203 SF @ 1/2,000 SF, 1 MIN.) =	.60 SPACES
ADDRESS 4TH TOTAL =	1.2 SPACES
SPACES PROVIDED (0 REQ'D PER OMC 18.38.160.C.4) =	0 SPACES
ADDRESS 5TH (36 STUDIO UNITS @ 0/UNIT) =	0 SPACES
ADDRESS 5TH (12 1-BDRM UNITS @ 1/UNIT) =	12 SPACES
ADDRESS 5TH (RETAIL 2,000 SF @ NR<3,000 SF) =	0 SPACES
ADDRESS 5TH TOTAL (1 MINIMUM PER ABOVE) =	12 SPACES
SPACES PROVIDED (1 MINIMUM PER ABOVE) =	12 SPACES

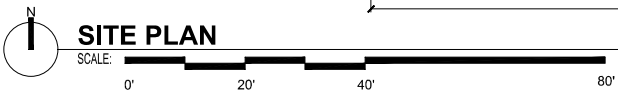
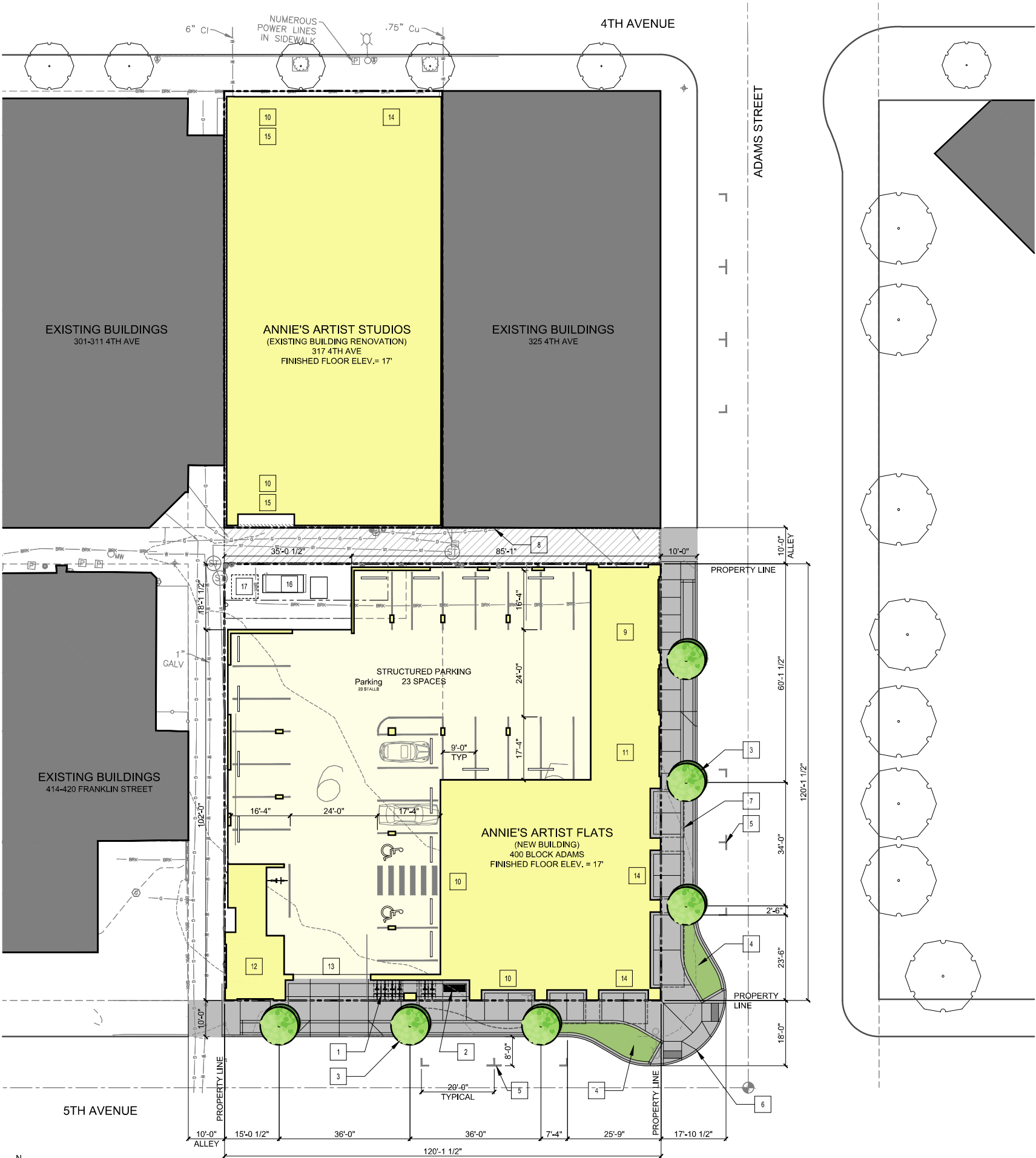
SHORT TERM BICYCLE STORAGE REQUIREMENTS	
ADDRESS 4TH (18 STUDIO UNITS @ 1/10 UNITS) =	1.8 SPACES
ADDRESS 4TH (WORK STUDIOS 3,752 SF @ 1/10,000 SF, 2 MIN.) =	.37 SPACES
ADDRESS 4TH (GALLERY 3,481 SF @ 1/8,000 SF, 2 MIN.) =	.44 SPACES
ADDRESS 4TH (RESTAURANT 1,203 SF @ 1/1,000 SF, 2 MIN.) =	1.2 SPACES
ADDRESS 4TH TOTAL (2 MINIMUM PER ABOVE) =	3.81 SPACES
SPACES PROVIDED (0 REQ'D PER OMC 18.38.160.C.4)	2 SPACES
ADDRESS 5TH (36 STUDIO UNITS @ 1/10 UNITS) =	3.6 SPACES
ADDRESS 5TH (12 1-BDRM UNITS @ 1/10 UNITS) =	1.2 SPACES
ADDRESS 5TH (RETAIL 2,000 SF @ NR<3,000 SF) =	0 SPACES
ADDRESS 5TH TOTAL =	4.8 SPACES
SPACES PROVIDED =	5 SPACES

WASTE RESOURCES SUMMARY
GOAL: COLLECT AND STORE WASTE FOR EAST HALF OF BLOCK.
COLLECTION CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH
ALLOCATE 50% TO RECYCLING, AND 50% TO GARBAGE

ADDRESS 4TH (MONTGOMERY WARD)		PER WEEK
(18) RESIDENTIAL UNITS @ 1 CY PER HOUSEHOLD / 4.33 =	4.16 CY	
(11) WORK STUDIOS AND GALLERY SPACE @ 1/2 CY =	5.59 CY	
(1) RESTAURANT =	2.00 CY	
TOTAL =		6.76 CY
ADDRESS 5TH (ANNIE'S ARTIST FLATS)		PER WEEK
(48) RESIDENTIAL UNITS @ 1 CY PER HOUSEHOLD / 4.33 =	11.08 CY	
RETAIL COMMERCIAL SPACE @ 2 CY =	2.00 CY	
TOTAL =		13.08 CY
EXISTING COLLECTION - INCLUDES MONTGOMERY WARD BLDG (EXISTING WASTE LOCATED IN ALLEY BETWEEN LOTS)		PER WEEK
(4) 3 YARD DUMPSTERS	12.00 CY	
(8) 95 GALLON CARTS (1 CY = 173 GALLONS DRY)	4.39 CY	
TOTAL =		16.39 CY
TOTAL WASTE COLLECTED = 36.23 CY		

37 CY x 50% = 18.5 CY TO GARBAGE, 18.5 CY TO RECYCLE
CONTAINERS REQUIRED FOR GARBAGE - 3 YARD CONTAINERS USED FOR ALLEY COLLECTION
18.5 CY / 3 CY = 6.17 ROUND UP = 7
PROVIDE (7) 3 YARD CONTAINERS

CONTAINERS REQUIRED FOR RECYCLING - SPLIT ROUGHLY EQUAL BETWEEN CARDBOARD AND OTHER RECYCLING. CARDBOARD CONTAINERS ARE 4 YARD, OTHER RECYCLING USES 95 GALLON CARTS.
18.5 CY / 2 = 9.25
PROVIDE (3) 4 YARD CARDBOARD CONTAINERS
18.5 CY - 12 CY = 6.5 CY x 173 GALLONS/CY = 1,124.5 GALLONS / 95 GALLONS = 11.83 CARTS
PROVIDE (12) 95 GALLON CARTS



GENERAL SITE NOTES
1. THESE DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPARATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
2. FOR LANDSCAPING, SEE SEPARATE LANDSCAPE ARCHITECTURAL DRAWINGS FOR SPECIFICS.
3. NEW AND EXISTING BUILDING WILL BE SUBMITTED FOR SEPARATE BUILDING PERMITS.
4. SEE FIRST FLOOR PLAN FOR ADDITIONAL SITE INFORMATION.

- SITE LEGEND**
- FOOT PRINT OF EXISTING BUILDINGS.
 - FOOTPRINT OF PROJECT STRUCTURES, EXISTING AND NEW BUILDINGS SHALL BE SUBMITTED UNDER SEPARATE PERMITS.
 - NEW BUILDING COVERED STRUCTURED PARKING
 - NEW CONCRETE SIDEWALK PER ARCHITECTURAL AND CIVIL.
 - SECTION OF ALLEY TO BE RE-GRADED AS REQUIRED AND REPAVED. SEE CIVIL.
- SHORT TERM BICYCLE PARKING, PROVIDE DERO, ARC RACK OR EQUAL. SEE SHEET A1.3.
 - PEDESTRIAN BENCH SEATING, PROVIDE DUMOR SIGNATURES BENCH 160 WITH CENTER ARMREST, COLOR: BLACK. SEE SHEET A1.4.
 - NEW STREET TREES PER LANDSCAPE ARCHITECT. PROVIDE WITH MINIMUM 5' SQUARE TREE GRATE, EXAMPLE: URBAN ACCESSORIES OT-24
 - NEW LANDSCAPING PER LANDSCAPE ARCHITECT.
 - NEW CURBSIDE PARKING WITH 4" WIDE STRIPING AS SHOWN.
 - NEW BULB OUT. SEE FIRST FLOOR PLAN AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - DASHED LINE OF CANOPY ABOVE, TYPICAL.
 - EXISTING WINDOW BARS TO BE REMOUNTED CLOSER TO BUILDING TO ALLOW FOR CITY TRUCK ACCESS. COORDINATE WITH CITY.
 - LOCATION OF WASTE COLLECTION. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - LOCATION OF RESIDENTIAL BUILDING ENTRY. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - LOCATION OF ELECTRICAL / SPRINKLER ROOM. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - LOCATION OF LONG TERM BIKE STORAGE. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
 - LOCATION OF STRUCTURED PARKING ENTRY. SEE FIRST FLOOR PLAN.
 - APPROXIMATE LOCATION OF COMMERCIAL/RETAIL SPACE ENTRY. SEE FIRST FLOOR PLAN.
 - LOCATION OF ART GALLERY AND STUDIO ENTRY, SEE FLOOR PLANS.
 - LOCATION OF EXISTING PSE IN-GROUND VAULTS, SEE CIVIL FOR ADDITIONAL INFORMATION.
 - PROPOSED LOCATION FOR NEW ABOVE GROUND PSE VAULT, SEE CIVIL FOR ADDITIONAL INFORMATION.

Urban Olympia 4
ANNIE'S ARTIST FLATS
OLYMPIA, WASHINGTON

PROJECT NUMBER: 1515
DESIGN REVIEW
FEBRUARY 10, 2016

SITE PLAN

A1.1

Urban Olympia 4
ANNIE'S ARTIST FLATS
OLYMPIA, WASHINGTON

PROJECT NUMBER: 1515
50% CD
MARCH 14, 2016

**FLOOR PLANS
LEVEL 1**

A2.1

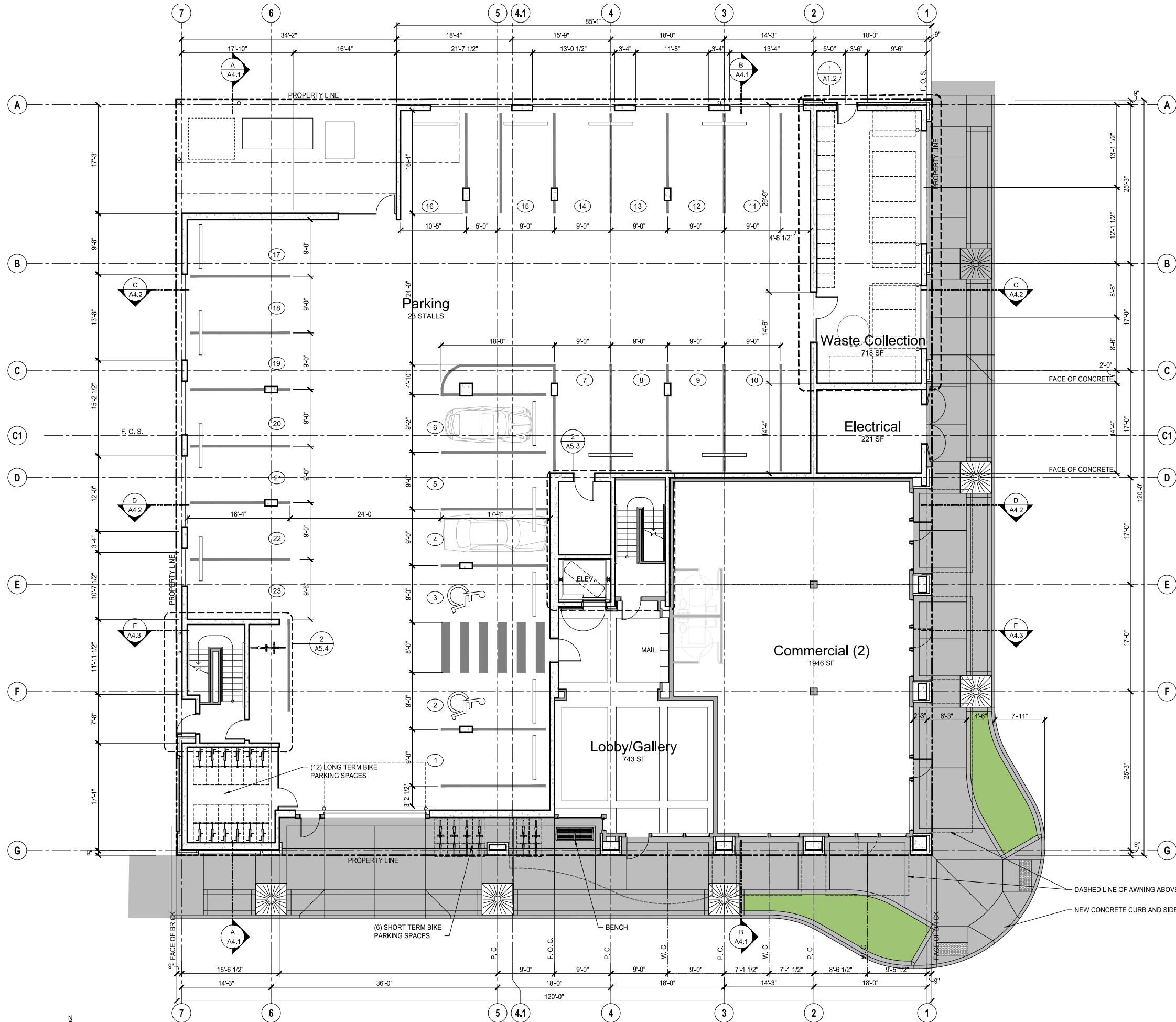
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GENERAL NOTES

- DIMENSIONS TO FACE OF STUDS UNLESS NOTED OTHERWISE
-

PLAN LEGEND

- WOOD WALLS. SEE STRUCTURAL DRAWINGS AND ENLARGED PLANS FOR CONSTRUCTION ASSEMBLY CALL OUTS.
- SECTION MARKER. NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- DETAIL MARKER. NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
- MATCHLINE. SEE PARTIAL ENLARGED PLANS
- PROPOSED LOCATION FOR MECHANICAL UNITS. SEE ELEVATIONS AND MECHANICAL DRAWINGS.
- INDICATES TYPE 'A' ACCESSIBLE LIVING UNIT OR ACCESSIBLE PARKING SPACE.
- F. O. S. FACE OF STUD WALL
- F. O. C. FACE OF CONCRETE
- P. C. PILASTER CENTERLINE
- W. C. WINDOW CENTERLINE
- TREE GRATE



PLAN - FLOOR 1

FLOOR 1 AREA: 3,144 SF



GENERAL NOTES

- DIMENSIONS TO FACE OF STUDS UNLESS NOTED OTHERWISE
- SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION
- UNITS 211 AND 216 ARE TYPE 'A' UNITS. ALL OTHER UNITS ARE TYPE 'B'.

FLOOR 2, 3, 4 - UNIT AREAS

STUDIO (33 TOTAL)	UNIT AREA/FLOOR	TOTAL (BLDG)
UNIT 203, 303, 403 =	510 SQ. FT.	1,530 SQ. FT.
UNIT 204, 304, 404 =	514 SQ. FT.	1,542 SQ. FT.
UNIT 205, 305, 405 =	462 SQ. FT.	2,772 SQ. FT.
UNIT 206, 306, 406 =	467 SQ. FT.	2,802 SQ. FT.
UNIT 207, 307, 407 =	462 SQ. FT.	2,772 SQ. FT.
UNIT 209, 309, 409 =	456 SQ. FT.	1,368 SQ. FT.
UNIT 213, 313, 413 =	467 SQ. FT.	1,401 SQ. FT.
UNIT 215, 315, 415 =	509 SQ. FT.	1,527 SQ. FT.
UNIT 216, 316, 416 =	556 SQ. FT.	1,668 SQ. FT.
UNIT 217, 317, 417 =	518 SQ. FT.	1,554 SQ. FT.
UNIT 218, 318, 418 =	488 SQ. FT.	1,464 SQ. FT.
	5,409 SQ. FT.	20,400 SQ. FT.

1 BED / 1 BATH (15 TOTAL)	UNIT AREA/FLOOR	TOTAL (BLDG)
UNIT 201, 301, 401 =	686 SQ. FT.	4,116 SQ. FT.
UNIT 202, 302, 402 =	686 SQ. FT.	4,116 SQ. FT.
UNIT 211, 311, 411 =	749 SQ. FT.	2,247 SQ. FT.
UNIT 219, 319, 419 =	673 SQ. FT.	2,019 SQ. FT.
UNIT 220, 320, 420 =	632 SQ. FT.	1,896 SQ. FT.
	3,426 SQ. FT.	14,394 SQ. FT.

TOTAL NET UNIT AREA (48 UNITS)	8,835 SQ. FT.	34,794 SQ. FT.
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PLAN LEGEND

WOOD WALLS. SEE STRUCTURAL DRAWINGS AND ENLARGED PLANS FOR CONSTRUCTION ASSEMBLY CALL OUTS.

SECTION MARKER. NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.

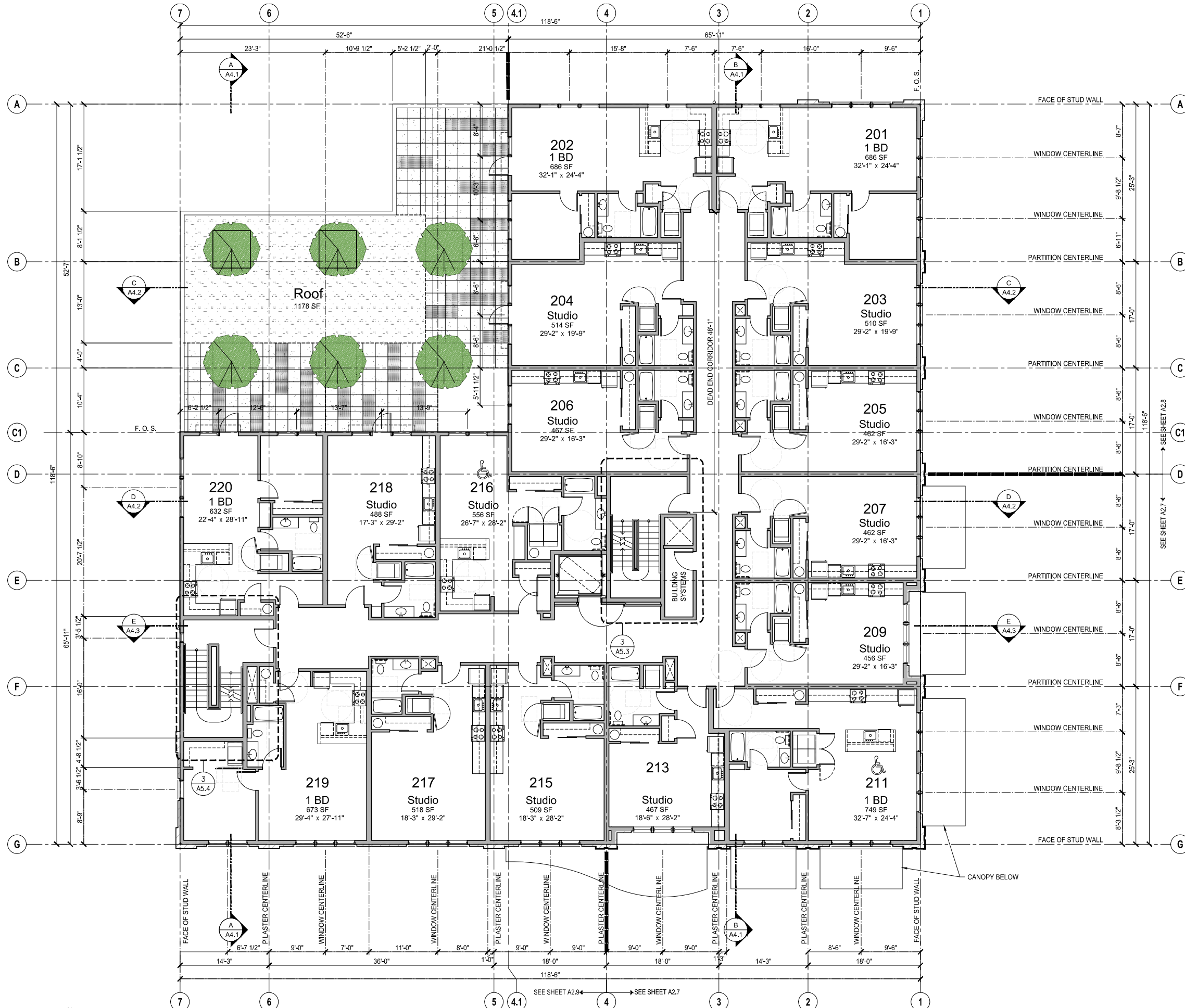
DETAIL MARKER. NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.

MATCHLINE. SEE PARTIAL ENLARGED PLANS

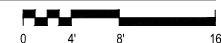
INDICATES TYPE 'A' ACCESSIBLE LIVING UNIT.

F. O. S. FACE OF STUD WALL

ROOF DECK AREA TO RECEIVE ROCK/GRAVEL SURFACE



PLAN - FLOOR 2
FLOOR 2 AREA: 11,286 SF



Urban Olympia 4 ANNIE'S ARTIST FLATS OLYMPIA, WASHINGTON

PROJECT NUMBER: 1515
50% CD
MARCH 14, 2016

FLOOR PLANS
LEVEL 2

A2.2

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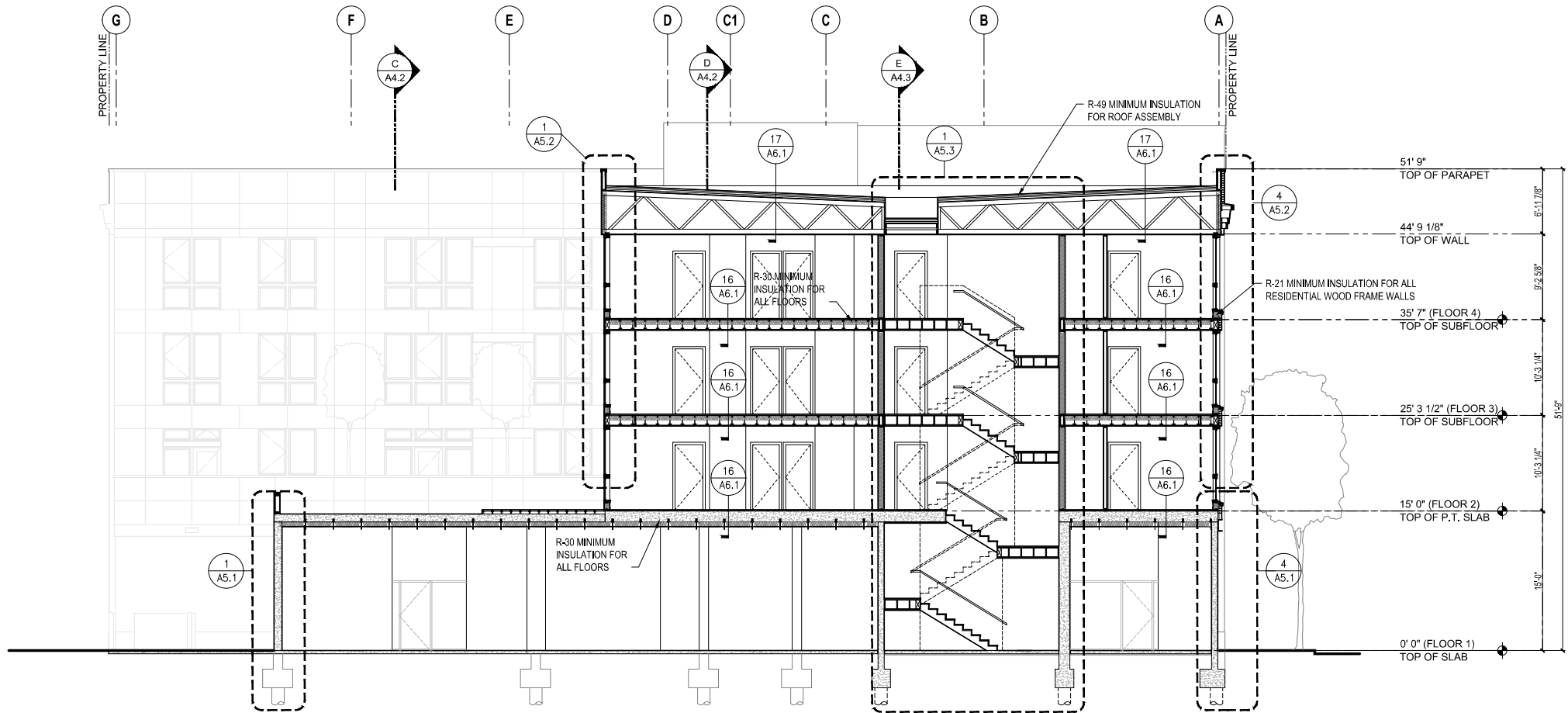
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ANNIE'S ARTIST FLATS
OLYMPIA, WASHINGTON

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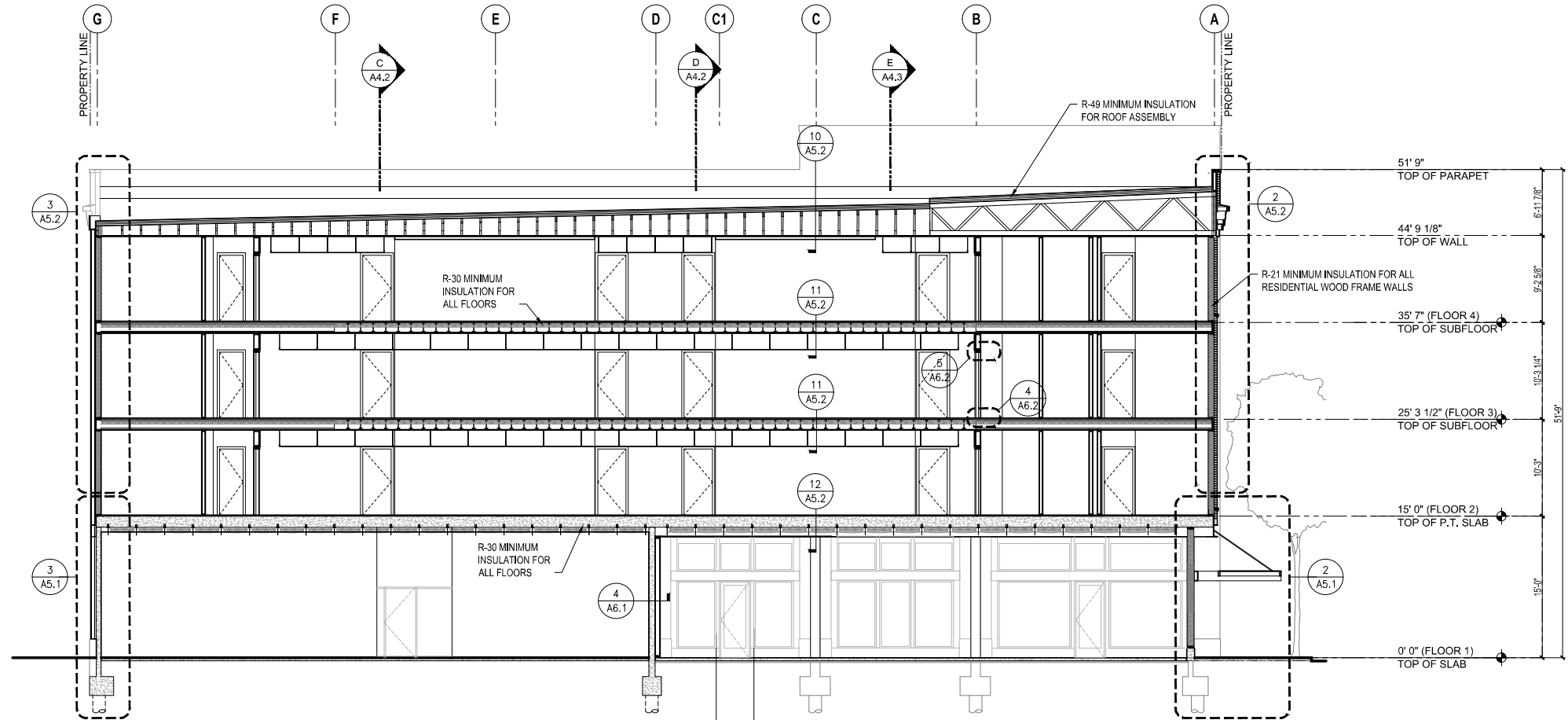
SECTIONS NEW

A4.1

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A SECTION - A



B SECTION - B

SECTION 3: Detailed Landscape Plans

Landscape Sheets L1.01, L2.01 illustrate:

- Location of existing (to remain) and proposed plants.

 - All new plants.

- Type of proposed plants (i.e., groundcover, shrub, tree).

- Graphic depiction of the size of proposed tree canopies at maturity on plan.

- Clearly delineated and labeled landscape, hardscape, and building areas.

- Location and spacing of proposed plantings.

- Common and botanical names of each species.

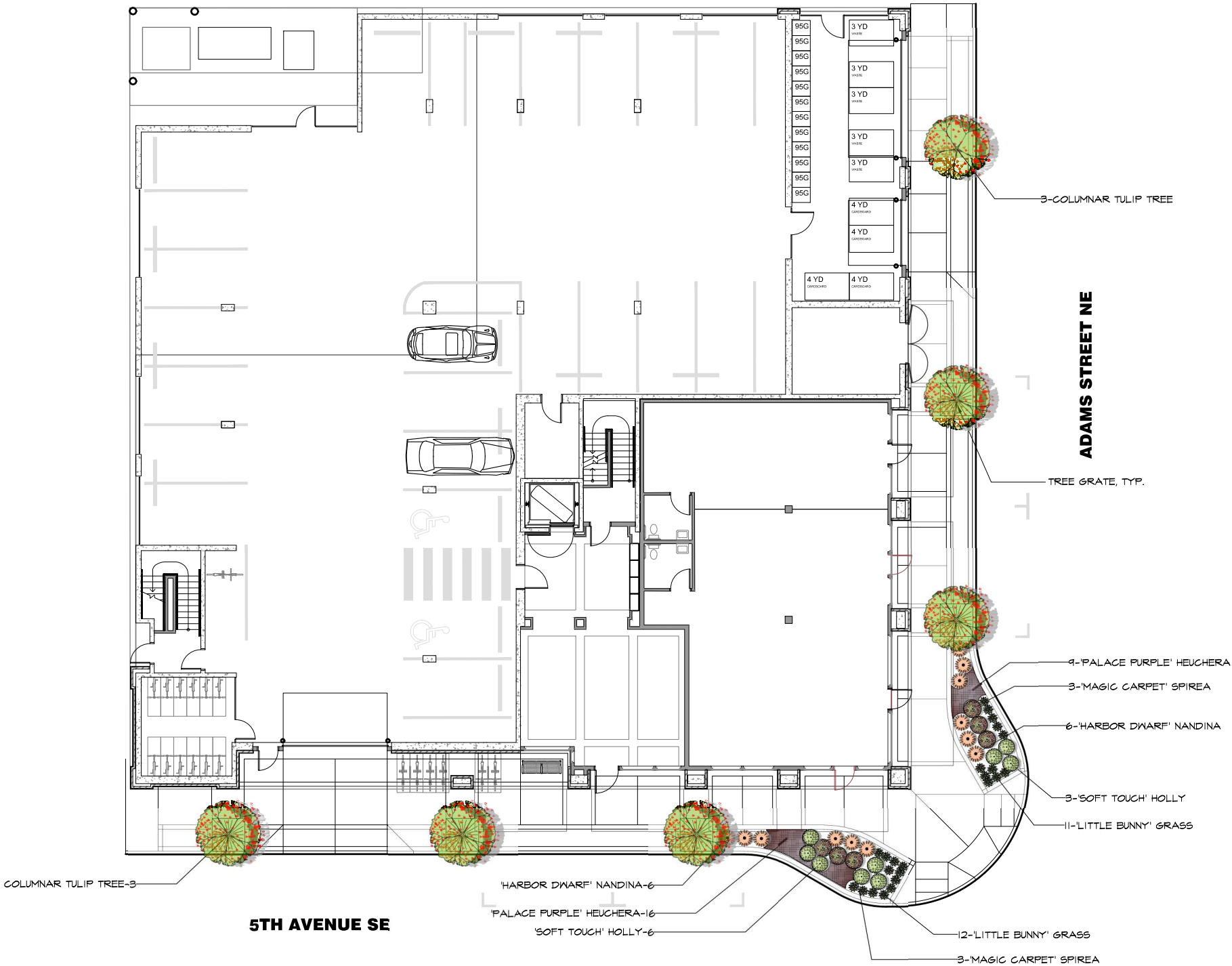
- Container or caliper size of plants at installation.

- Quantities of plant material by species and size at installation.

PLANT SCHEDULE			
TREES	BOTANICAL NAME	CAL	SIZE
5	LIRIODENDRON TULIPIFERA 'FASTIGIATA' COLUMNAR TULIP TREE	B#B/CONT.	2" CAL., 12'-14' HT.
SHRUBS	BOTANICAL NAME	SIZE	SPACING
9	ILEX GRENATA 'SOFT TOUCH' 'SOFT TOUCH' HOLLY	2 GAL	2-1/2' O.C.
12	NANDINA DOMESTICA 'HARBOR DWARF' 'HARBOR DWARF' NANDINA	2 GAL	2-1/2' O.C.
23	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' 'LITTLE BUNNY' GRASS	1 GAL	18" O.C.
6	SPIRAEA JAPONICA 'MAGIC CARPET' 'MAGIC CARPET' SPIREA	2 GAL	2-1/2' O.C.
GROUND COVERS	BOTANICAL NAME	CONT	SPACING
25	HEUCHERA MICRANTHA 'HEUCHERA' 'PALACE PURPLE' HEUCHERA	1 GAL	18" O.C.

SHEET NOTES

1. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
3. ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
4. PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
5. ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



COLUMNAR TULIP TREE



'HARBOR DWARF' NANDINA



'PURPLE PALACE' HEUCHERA



'MAGIC CARPET' SPIREA



'LITTLE BUNNY' GRASS



'SOFT TOUCH' HOLLY

BY

DATE

REVISIONS

△

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LANDSCAPE PLAN

PROJECT NAME

ANIE'S ARTIST FLATS
5TH ST SW AND ADAMS AVE SW
OLYMPIA, WA

SEAL

STATE OF WASHINGTON
TRENT L. GRANTHAM
NO. 843 EXP. 07-22-2018
LICENSED LANDSCAPE ARCHITECT

DESIGNER:

TLG

DRAWN BY:

T. GRANTHAM

APPROVED BY:

JBG

DATE:

FEBRUARY 28, 2017

JOB NO:

2395.01

DRAWING FILE NO:

2395.01 X-LS

DRAWING NO:

L1.01

SHEET NO:

1 OF 2

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	3-5" PANCAKE FLAT RIVER ROCK MULCH
2	1" DIA. RAINBOW PEBBLE ROCK MULCH
3	MEXICAN BEACH PEBBLES
4	24" SQ. CONCRETE PAVER, COLOR DARK
5	24" SQ. CONCRETE PAVER, COLOR: LIGHT
6	RAISED FIBERGLASS PLANTER
7	RAILING PER ARCH.

REFERENCE NOTES LEGEND

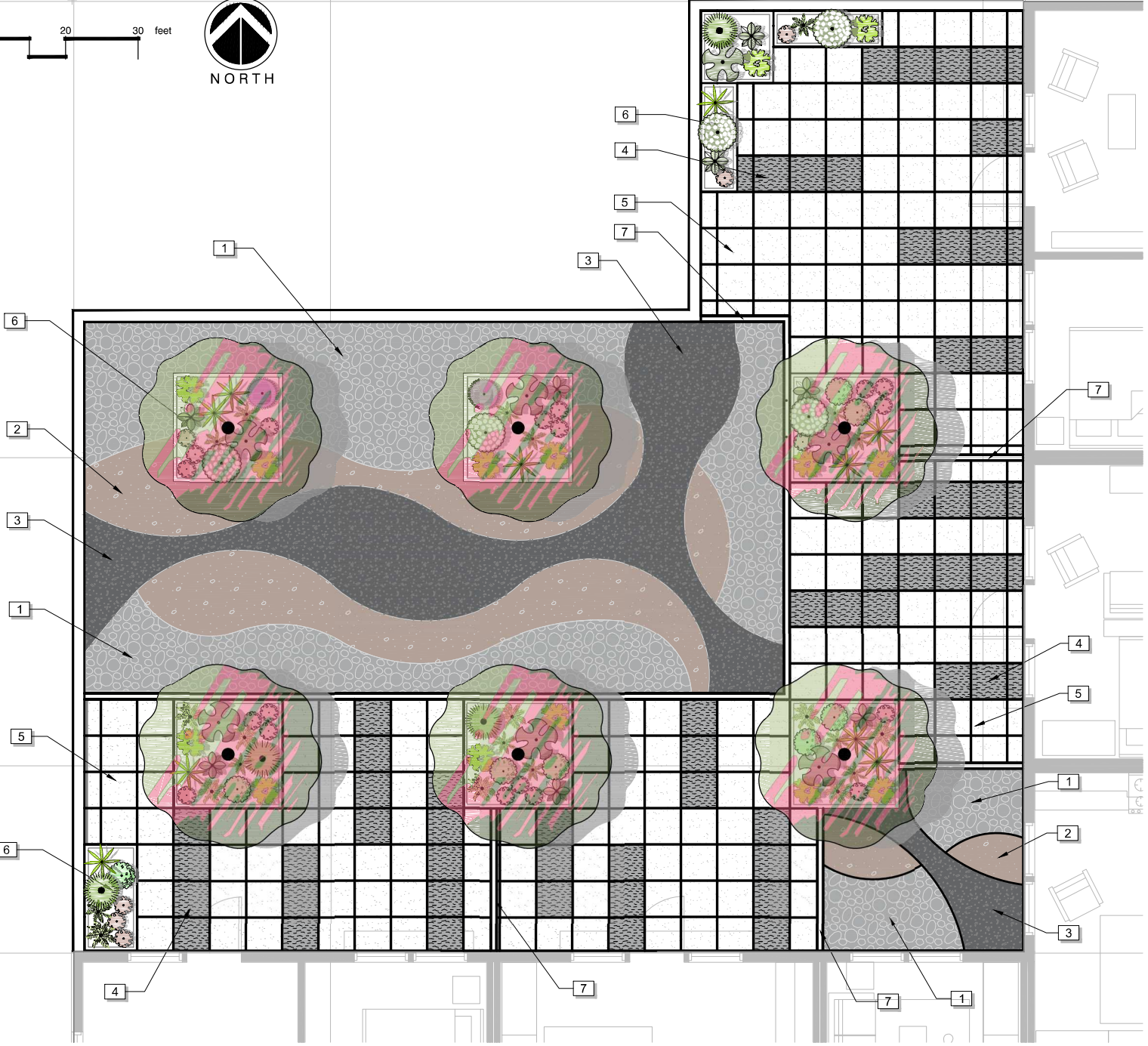
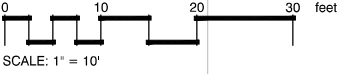
SYMBOL	DESCRIPTION
6	RAISED FIBERGLASS PLANTER
7	RAILING PER ARCH.
SYMBOL	DESCRIPTION
	3-5" PANCAKE FLAT RIVER ROCK MULCH
	1" DIA. RAINBOW PEBBLE ROCK MULCH
	MEXICAN BEACH PEBBLES
	24" SQ. CONCRETE PAVER, COLOR DARK
	24" SQ. CONCRETE PAVER, COLOR: LIGHT

SHEET NOTES

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- ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	CAL	SIZE
6	6	CORNUS KOUSA 'SATOMI' Pink Satomi Dogwood	B&B/CONT.	2" CAL., 10' HT. MIN.
SHRUBS	QTY	BOTANICAL NAME	SIZE	SPACING
9	9	ADIANTUM PEDATUM Maidenhair Fern	1 GAL	1-1/2' O.C.
25	25	AJUGA REPTANS 'BRONZE BEAUTY' Bronze Beauty Bugleweed	1 GAL	@1' O.C.
8	8	BERGENIA CORDIFOLIA 'RED BEAUTY' Heartleaf Bergenia	1 GAL	1-1/2' O.C.
13	13	BLECHNUM SPICANT Deer Fern	1 GAL	1-1/2' O.C.
10	10	HAKONECHLOA MACRA 'AUREOLA' Golden Variegated Hakonechloa	1 GAL	2' O.C.
7	7	HELLEBORUS ORIENTALIS 'WHITE LADY' White Lenten Rose	2 GAL	2' O.C.
5	5	HEUCHERA SANGUINEA 'WHITE CLOUD' 'White Cloud' Coral Bells	1 GAL	2' O.C.
2	2	HEUCHERA X 'CATHEDRAL WINDOWS' 'Cathedral Windows' Coral Bells	1 GAL	2' O.C.
4	4	LIRIOPE MUSCARI 'BIG BLUE' Big Blue Lilyturf	1 GAL	2' O.C.
14	14	LYSIMACHIA NUMMULARIA 'GOLDOCKS' Creeping Jenny	1 GAL	1-1/2' O.C.
8	8	SAGINA SUBULATA 'AUREA' Scotch Moss	1 GAL	1-1/2' O.C.



FIBERGLASS PLANTERS



HYDRA-PRESSED CONCRETE SLABS



FIBERGLASS PLANTERS



PANCAKE ROCK MULCH



RAINBOW PEBBLES



MEXICAN BEACH PEBBLES

BY

DATE

REVISIONS

SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCJALLIANCE.COM

ROOF GARDEN PLAN

ANNIE'S ARTIST FLATS
5TH ST SW AND ADAMS AVE SW
OLYMPIA, WA

SHEET TITLE:

PROJECT NAME:

SEAL:

STATE OF WASHINGTON
TERRY L. GRANTHAM
NO. 843 EXP. 07-22-2018
LICENSED LANDSCAPE ARCHITECT

DESIGNER:
TLG

DRAWN BY:
A. VOS

APPROVED BY:
JBG

DATE:
FEBRUARY 28, 2017

JOB NO:
2395.01

DRAWING FILE NO:
2395.01 ROOF GARDEN PLAN

DRAWING NO:
L2.01

SHEET NO:
2 OF 2

SECTION 4: Detailed Building Elevations

Architectural Sheets A3.1, A3.2, A3.3 illustrate:

Building elevations of all sides of the building(s) labeled as north, south, east or west elevation.
Location of building doors and windows.
Proposed building and roof materials.
Indicate finished floor elevations and location of exterior steps and stairways.
Area(s) on building where signs will be installed.
Exterior building details, including all materials and colors.
Window details, including materials and colors of framing and glazing materials.
Door details, including materials and colors.
Roof details, including materials and colors.
Finished floor elevation(s).
Location of exterior light fixture(s).
Location and type of major sign(s).
Color rendering of any building elevation visible from a public right-of-way.

See color rendering enclosed.

Urban Olympia 4
ANNIE'S ARTIST FLATS
OLYMPIA, WASHINGTON

PROJECT NUMBER: 1515
50% CD
MARCH 14, 2016

ELEVATIONS
OPTION 1

A3.1A

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ELEVATION KEY NOTES

- 1 BRICK - STANDARD RUNNING BOND
MUTUAL MATERIALS
COLOR: CLASSIC USED
- 2 BRICK - SOLDIER COURSE
MUTUAL MATERIALS
COLOR: CLASSIC USED
- 3 BRICK - SILL
MUTUAL MATERIALS
COLOR: CLASSIC USED
- 4 BRICK - ACCENT STRIP, 8" WIDE, 2" DEEP
MUTUAL MATERIALS
COLOR: CLINKER/EBBONY
- 5 METAL - CORNICE BAND
24 GAUGE FACTORY FINISHED
COLOR: SHERWIN WILLIAMS 7069 IRON ORE
- 6 METAL - FLASHING
PER DETAILS
COLOR: SHERWIN WILLIAMS 7069 IRON ORE
- 7 STEEL CHANNEL
PER DETAILS
COLOR: SHERWIN WILLIAMS 6994 GREENBLACK
- 8 STEEL CANOPY
PER DETAILS
COLOR: SHERWIN WILLIAMS 6994 GREENBLACK
- 9 DARK BRICK ACCENT
MUTUAL MATERIALS
COLOR: CLINKER
- 10 WINDOWS
ANDERSON 100 SERIES COMPOSITE WINDOWS, COLOR: BLACK
- 11 STOREFRONT FRAMING
THERMAL ALUMINUM FRAMING SYSTEM
KAWNEER TRI-FAB VG 451T OR APPROVED EQUAL
SYSTEM SHALL HAVE A MINIMUM U-VALUE OF 0.40 AND SHGC OF 0.40, COLOR: BLACK
- 12 TRIM - 6" AT HEAD, 4" AT JAMB AND MULLION.
BORAL TRUE EXTERIOR OR EQUAL, COLOR: SHERWIN WILLIAMS 6994 GREENBLACK
- 13 CONCRETE
SMOOTH FINISH TYPICAL, PREP FOR MURAL/ARTWORK WHERE SHOWN
- 14 DECORATIVE METAL FENCE
PER DETAILS
COLOR: SHERWIN WILLIAMS 6994 GREENBLACK
- 15 LIGHT FIXTURES
PER ELECTRICAL PLANS
COLOR: BLACK
- 16 OVERHEAD FLAT PANEL DOOR
PAINT MURAL/ARTWORK FINISH
- 17 FIBER CEMENT SIDING WITH REGLETS
PER DETAILS
COLOR: SHERWIN WILLIAMS 7018 DOVETAIL
- 18 COILING GRILLE DOOR
CHI 9300 OR APPROVED EQUAL, BRICK PATTERN GRILLE
- 19 DASHED LINE INDICATES AREA FOR PROPOSED ARTWORK YET TO BE DETERMINED



Urban Olympia 4
ANNIE'S ARTIST FLATS
OLYMPIA, WASHINGTON

PROJECT NUMBER: 1515
50% CD
MARCH 14, 2016

ELEVATIONS
OPTION 1

A3.2A

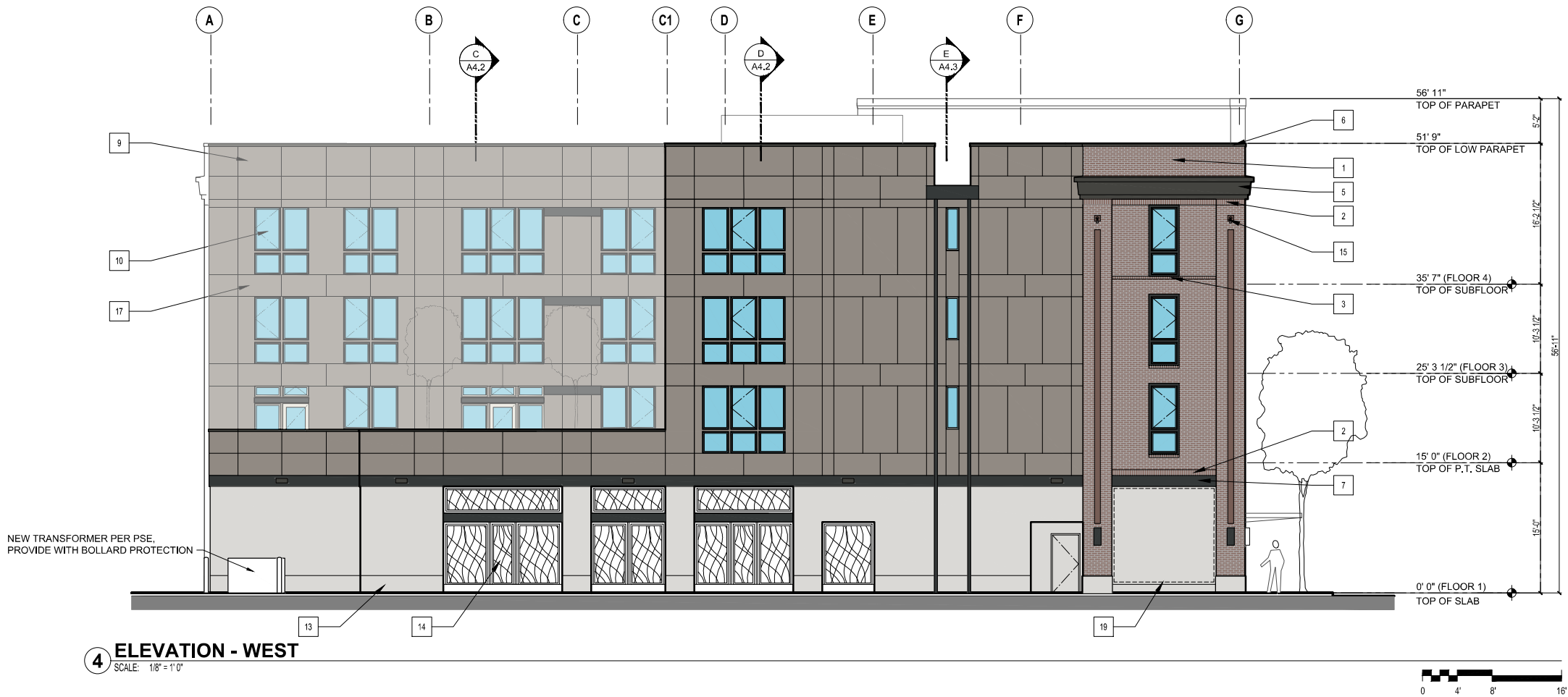
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ELEVATION KEY NOTES

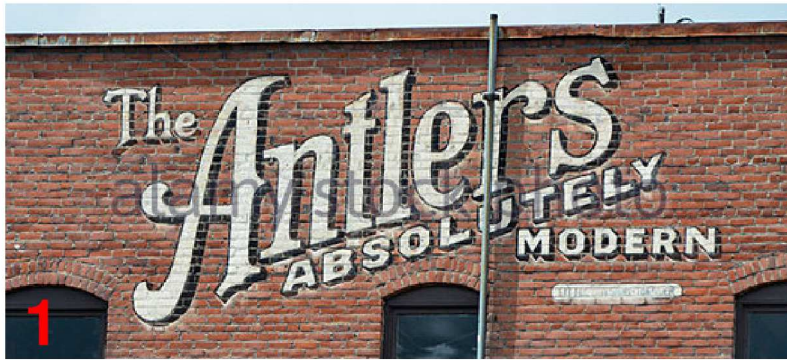
- 1 BRICK - STANDARD RUNNING BOND
MUTUAL MATERIALS
COLOR: CLASSIC USED
- 2 BRICK - SOLDIER COURSE
MUTUAL MATERIALS
COLOR: CLASSIC USED
- 3 BRICK - SILL
MUTUAL MATERIALS
COLOR: CLASSIC USED
- 4 BRICK - ACCENT STRIP, 8" WIDE, 2" DEEP
MUTUAL MATERIALS
COLOR: CLINKER/EBBONY
- 5 METAL - CORNICE BAND
24 GAUGE FACTORY FINISHED
COLOR: SHERWIN WILLIAMS 7069 IRON ORE
- 6 METAL - FLASHING
PER DETAILS
COLOR: SHERWIN WILLIAMS 7069 IRON ORE
- 7 STEEL CHANNEL
PER DETAILS
COLOR: SHERWIN WILLIAMS 6994 GREENBLACK
- 8 STEEL CANOPY
PER DETAILS
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WILLIAMS 6994 GREENBLACK
- 13 CONCRETE
SMOOTH FINISH TYPICAL, PREP FOR MURAL/ARTWORK
WHERE SHOWN
- 14 DECORATIVE METAL FENCE
PER DETAILS
COLOR: SHERWIN WILLIAMS 6994 GREENBLACK
- 15 LIGHT FIXTURES
PER ELECTRICAL PLANS
COLOR: BLACK
- 16 OVERHEAD FLAT PANEL DOOR
PAINT MURAL/ARTWORK FINISH
- 17 FIBER CEMENT SIDING WITH REGLETS
PER DETAILS
COLOR: SHERWIN WILLIAMS 7018 DOVETAIL
- 18 COILING GRILLE DOOR
CHI 9300 OR APPROVED EQUAL, BRICK PATTERN GRILLE
- 19 DASHED LINE INDICATES AREA FOR PROPOSED ARTWORK YET TO
BE DETERMINED



3 ELEVATION - NORTH
SCALE: 1/8" = 1' 0"



4 ELEVATION - WEST
SCALE: 1/8" = 1' 0"



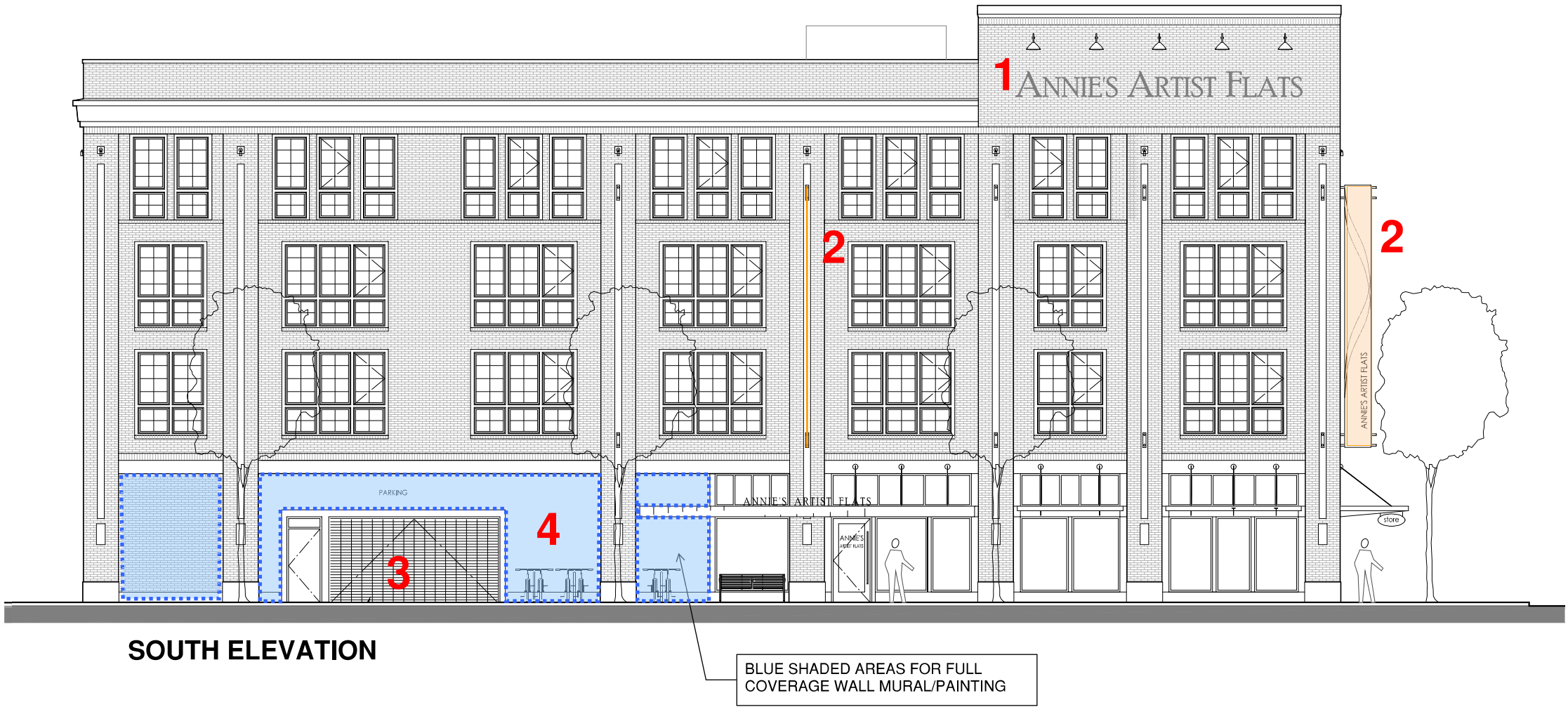
PAINTED SIGNS



FLAG BANNERS



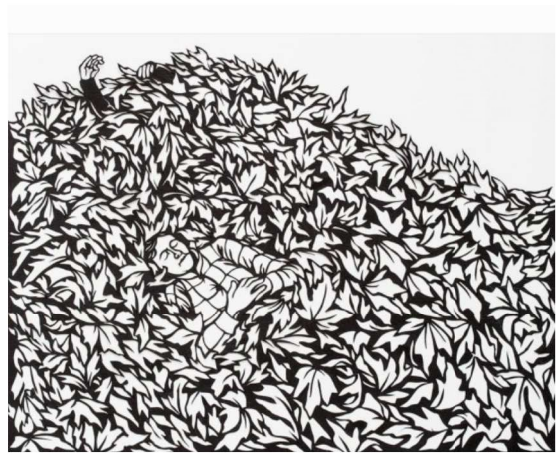
GARAGE DOORS



SOUTH ELEVATION



ART EXAMPLES 4



DETAILS - EXTERIOR ART WORK EXAMPLES - SOUTH

SECTION 5: Detail/Cut Sheets

Enclosed details and cut sheets illustrate:

Detail of hardscape material (i.e. size, type, and color of pavers, etc.)

All hardscape path/sidewalk materials shall be concrete with a light broom finish to match existing adjacent sidewalks. See attached.

Exterior light fixtures proposed as listed on elevations in previous section and per attached cut sheet.

Solid waste collection enclosure/screen detail.

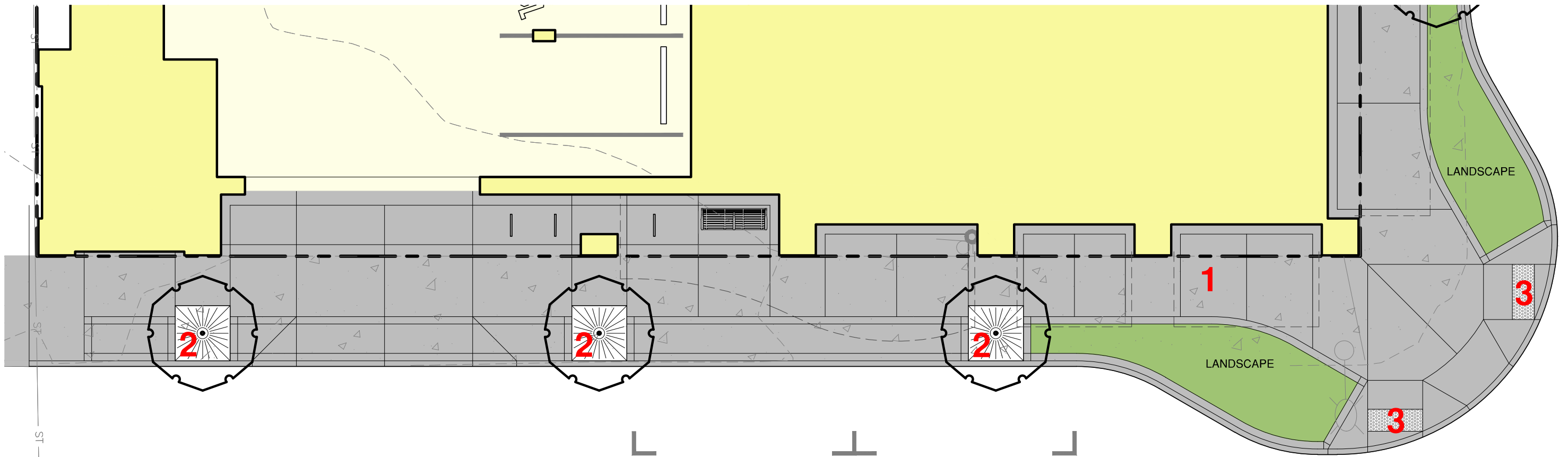
Solid waste will be concealed behind flush panel overhead doors to be painted by artist to be determined. See plan sheet A2.1 in previous section for general location, and Sheet A1.3 enclosed this section for details.

Each type of pedestrian amenity.

Bench located per plan shall be Dumor Signatures Bench 160-60 or equal, black finish. Provided with Center Armrest. See enclosed cut sheet.

Bicycle parking, long term, shall be located in a secure room. See Sheet A2.1 for general location and enclosed detail sheet A1.3.

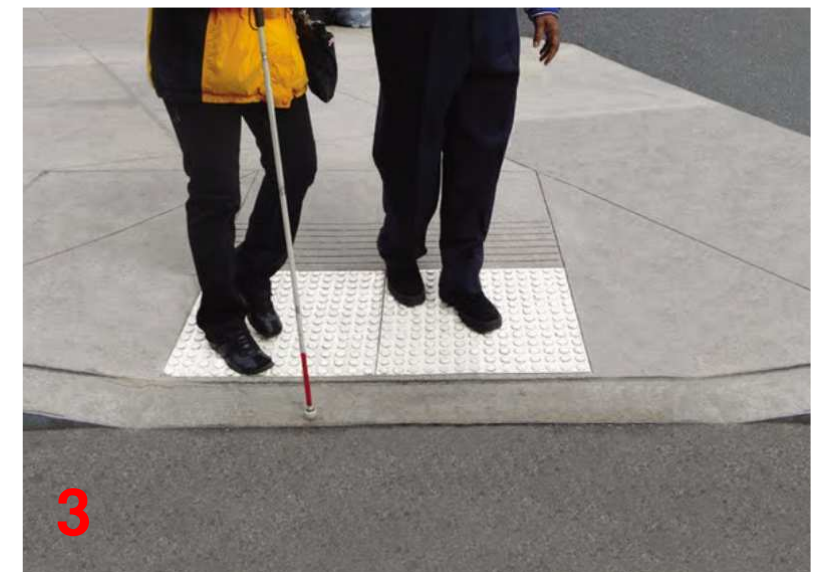
Bicycle parking, short term, shall be located on the sidewalk near the residential building entrance as is typical downtown, and shall be Dero Arc rack or similar.



BROOM FINISH CONCRETE
SMOOTH HAND TROWEL FINISH AT EDGES
COLOR: NATURAL



TREE GRATE
URBAN ACCESSORIES, OT-24
5 FOOT SQUARE



ADA TILE
SAFE-STEP, CAST IN PLACE ADA TILE
COLOR: GRAY

DETAILS - HARDSCAPE MATERIALS

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LED WALL SCENCE UP/DOWN
LED CROMPTON ECHO
COLOR: BLACK



GOOSE NECK WALL WASH
ANP LIGHTING
COLOR: BLACK



LED FLOOD LIGHT ACCENT
RAB LIGHTING
COLOR: BLACK

DETAILS - EXTERIOR LIGHTING

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ANP Lighting A81 Angle RLM Shade Wall

By ANP Lighting

ATGSTORES.COM

HOME FURNISHINGS CO.

**SKU #**
6979313S**Price**
\$207.00**Finish**
Black (41)**Size**
Small**Light Bulb**
(1)200w A21 Med F Incand**Dimensions**
Height: 20in
Projection: 32in
Width: 12in**Description**

RLM spun aluminum Angle shade with gooseneck extension arm mounting. Perfect for sign lighting applications.

- Painted finishes are powder coated for a durable, scratch-resistant finish
- White paint is standard inside all painted fixtures
- Screw hardware may not match finish, but is made of stainless steel
- All fixtures come standard with 96" of lead wire
- This RLM shade manufactured from 1100 aluminum alloy typically 0.08-0.125 thickness



Home (/) > LED Stair & Wall Light (/collections/led-stair-wall-light) > 6W LED Crompton "Echo" Exterior Wall Light - Up/Down - Black



6W LED CROMPTON "ECHO" EXTERIOR WALL LIGHT - UP/DOWN - BLACK

Frosted glass, Aluminium, 230V, Outdoor

6W LED Crompton "Echo" Exterior Wall Light - Up/Down - Black has a rating of 5.0 stars based on 1 reviews.

★★★★★ 1 Review

\$92.99

Live Support

LFLED8YB



Same small package. Bigger output. Replaces 50W MR16 Floodlight.

Color: Black

Weight: 1.5 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type:	Constant Current
120V:	0.14
208V:	0.09
240V:	0.08
277V:	N/A
Input Watts:	7W
Efficiency:	N/A

LED Info

Watts:	8W
Color Temp:	3000K
Color Accuracy:	83 CRI
L70 Lifespan:	N/A
Lumens:	511
Efficacy:	71 LPW

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for ground mounting.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

LED Characteristics

LED:

High-output, long-life LED

Color Consistency:

4-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2015.

Electrical

Driver:

Constant Current, Class 2, 50/60 Hz, 100-240VAC: 0.20Amps

Optical

Spot Lens:

Optional spot lens enables a tool-less conversion to a NEMA Type 3H x 3V. Great for accent lighting or grazing buildings for an artistic touch.

Narrow Spot Lens:

Optional narrow spot lens enables a tool-less conversion to a NEMA Type 3H x 3V. Great for accent lighting or grazing buildings for an artistic touch.

Construction

Cold Weather Starting:

Minimum starting temperature is -40°F/-40°C.

Ambient Temperature:

Suitable for 40°C (104°F) ambient temperatures

Thermal Management:

Optimized using computational fluid dynamics software to ensure long LED and driver lifespan

Housing:

Precision die-cast aluminum, lens frame and mounting arm

Lens:

Microprismatic diffuser produces a smooth distribution and low glare.

Gaskets:

High temperature silicone

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals

Green Technology:

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

California Title 24:

LFLED8 complies with 2013 California Title 24 building and electrical codes as a commercial outdoor non-pole-mounted fixture < 30 Watts when used with a photosensor control. Select catalog number PCS900(120V) or PCS900/277 to order a photosensor.

Patents:

The design of the LFLED is protected by Taiwan Patent 01510966 and pending patents in US, Canada, China, and Mexico.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's IBEW Local 3 workers.

Buy American Act Compliant:

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant:

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods— Buy American Act— Construction Materials (October 2010).

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

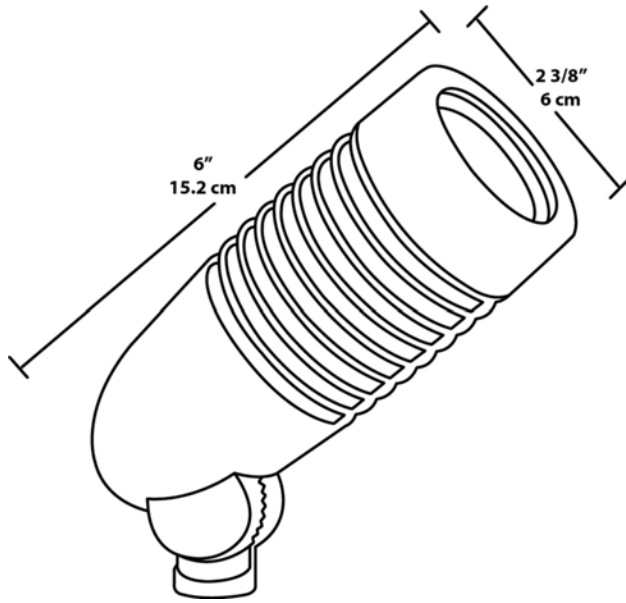
Equivalency:

Equivalent to 50W MR16.

LFLED8YB



Dimensions

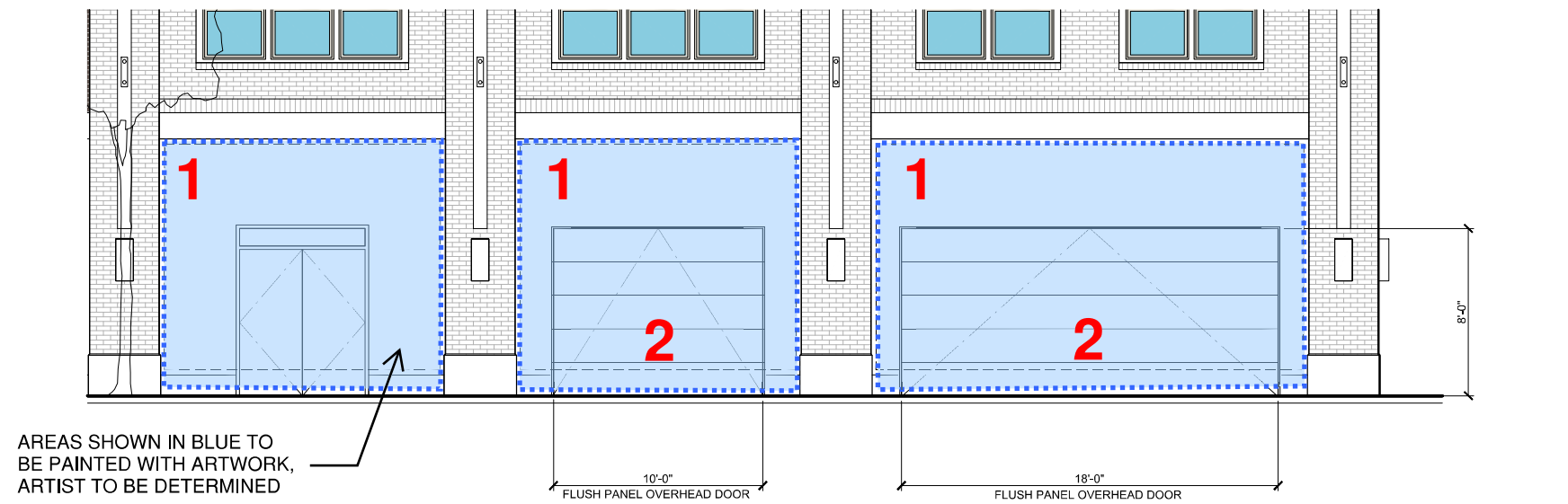


Features

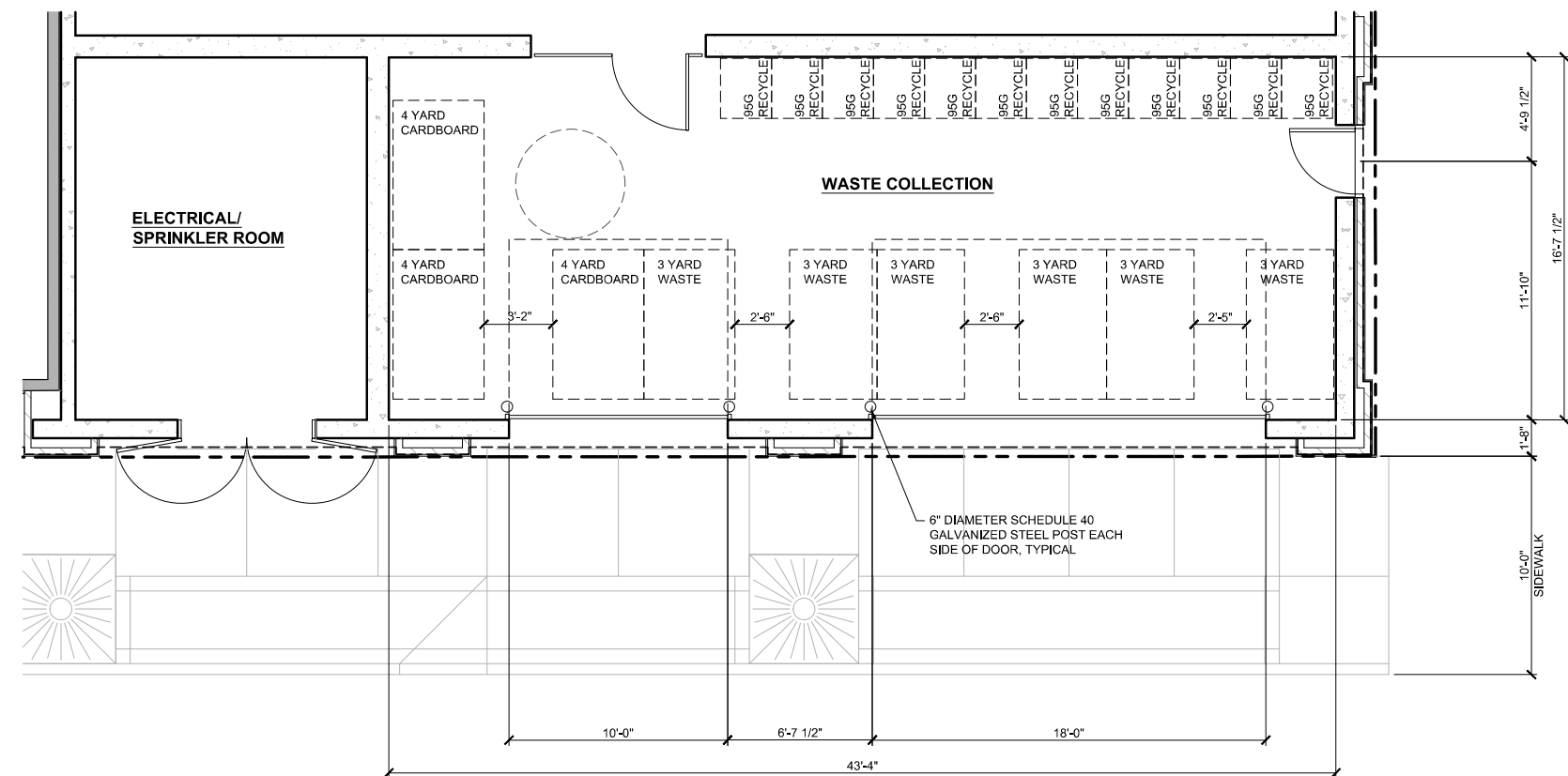
- Microprismatic diffuser produces a smooth distribution and low glare
- 4H x 4V NEMA beam spread
- Optional spot and narrow spot hood reflectors available
- Runs cool; prevents burning foliage or fingers
- 5-year warranty

Ordering Matrix

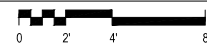
Family	Watts	Color Temp	Finish
LFLED	8 = 8W	Blank = 5000K (Cool) Y = 3000K (Warm) N = 4000K (Neutral)	A = Bronze W = White B = Black VG = Verde Green



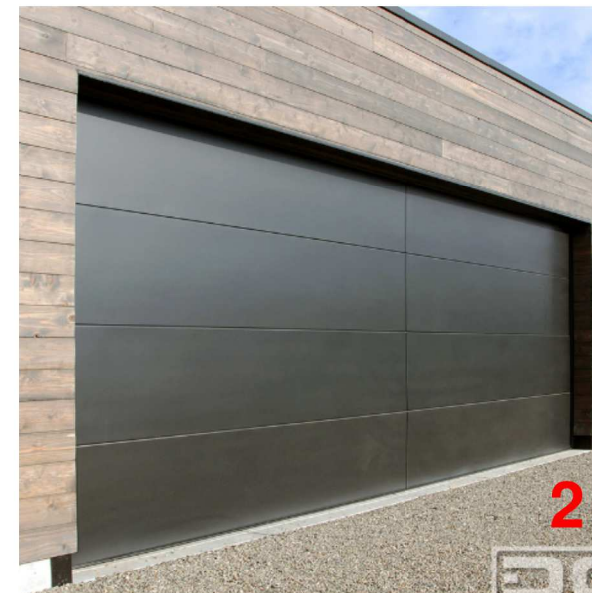
2 TRASH ENCLOSURE ELEVATION (PARTIAL EAST ELEVATION)
SCALE: 1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



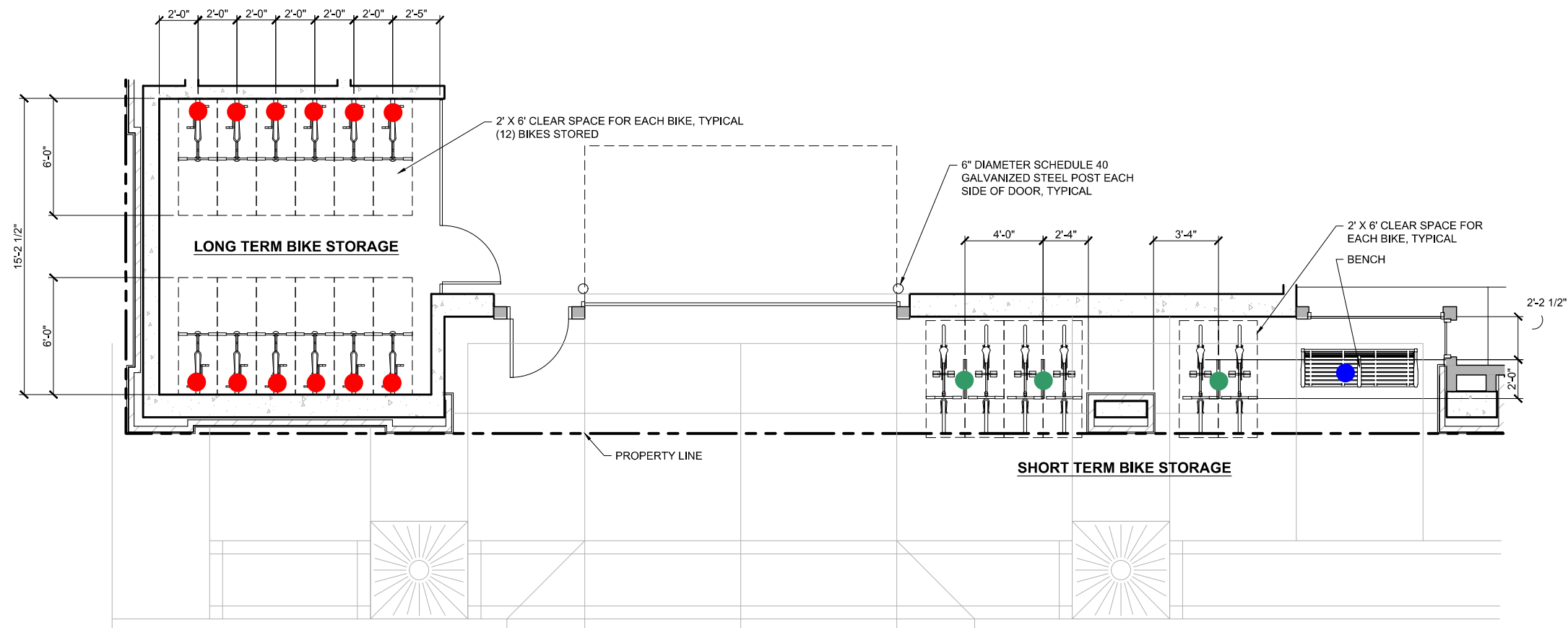
EXAMPLE ARTWORK 1



SMOOTH FACE GARAGE DOOR

DETAILS - SOLID WASTE COLLECTION

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1 **BIKE STORAGE PLAN (5TH AVENUE)**
SCALE: 1/4" = 1'-0"



LONG TERM BIKE STORAGE
DERO ULTRA SPACE SAVER
COLOR: BLACK



SHORT TERM BIKE STORAGE
DERO ARC RACK
COLOR: BLACK



BENCH
DUMOR SIGNATURES 160-60 OR EQUAL WITH CENTER ARMREST
COLOR: BLACK

DETAILS - PEDESTRIAN AMENITIES

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ULTRA SPACE SAVER SINGLE



Go Vertical

When you can't park your bike horizontally, on the floor or on the ceiling. The Ultra Space Saver Single is your parking solution. A smaller version of our Space Saver Modular System, the Single parks your bike vertically and mounts onto nearly any wall type (except metal studs). U-lock capabilities make this rack great for property managers as well for home storage use. Quick installation only requires 4 anchors drilled into the wall. Save room today with the Ultra Space Saver Single, or check out the whole modular system if you need to park many bikes.



DERO
A PLAYCORE Company

ULTRA SPACE SAVER SINGLE



- U-lock compatible
- Convert dead space and awkward corners to bike parking
- Rubber coated hook prevents scratching bikes
- Easy installation

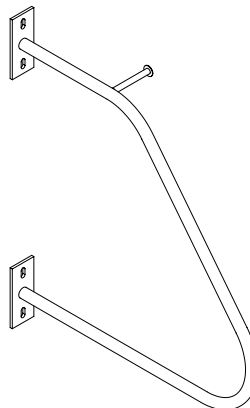
FINISH OPTIONS

Powder Coat

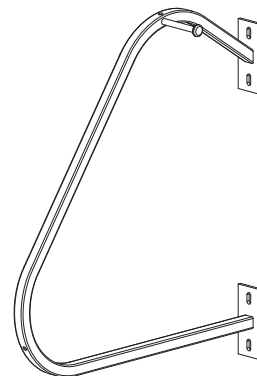


TUBE OPTIONS

Round

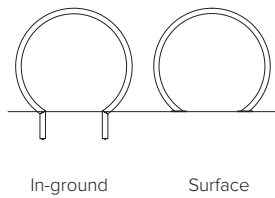
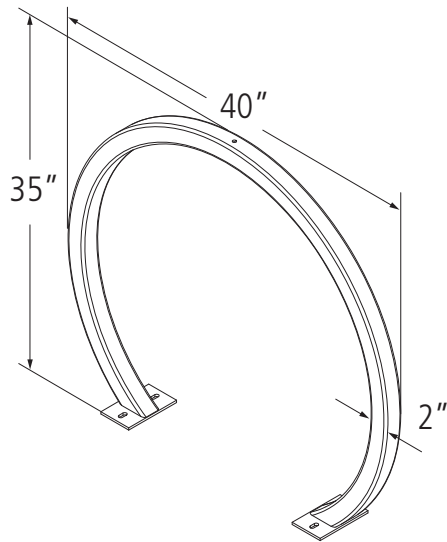


Square



ARC RACK

Submittal Sheet



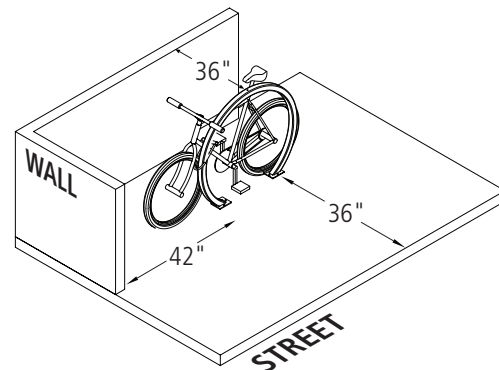
CAPACITY 2 Bikes

MATERIALS 2" x 2" x 11g square tube

- FINISHES**
- ☐ **Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - ☐ **Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - ☐ **Thermoplastic**
In addition to an increased thickness (8-10mils), the thermoplastic finish covers a galvanized layer and offers superior impact resistance over powder coating.
 - ☐ **Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

- MOUNT OPTIONS**
- ☐ **In-ground**
In ground mount is embedded into concrete base. Specify in ground mount for this option.
 - ☐ **Surface**
Foot Mount has two 2.5"x6"x.25" feet with two anchors per foot. Specify foot mount for this option.

SETBACKS



DERO
A PLAYCORE Company

SECTION 6: Colors & Materials

Enclosed cut sheets illustrate:

Building and roof materials and colors.

- | | |
|------------------|---|
| Roof – | TPO roofing. Color: White. |
| Siding – | Brick by Mutual materials, Main body color: classic used. Accent color: Clinker/Ebony.

Fiber Cement Reveal Panel Siding by Hardie Panel or approved equal
Color: Sherwin Williams SW6074, Spalding Gray
Reglet Trims: painted to match |
| Exterior trim – | Metal trim and flashings to match siding or as called out on elevations. |
| Concrete – | Smooth finish, Color: Sherwin Williams SW7045, Intellectual Gray
Or as determined by artist where wall called to receive artwork. |
| Entrance Doors - | Kawneer Thermal Entrance Doors Insulclad 560 or approved equal.
Color: Black

Utility Entrance Doors – Curries 707 Series, Color to match adjacent wall,
or as determined by artist where called to receive artwork. |
| Overhead Doors – | Clopay industrial series, Flush panel door. |
| Coiling Grille - | CHI 9300 Lift Ready Rolling Grille, Brick Grille Pattern, Finish: Aluminum. |

Window materials.

- | | |
|--------------|---|
| Windows – | Energy efficient low-E composite windows by Anderson Windows or equal, 100 Series, Color: Black |
| Storefront – | Tri-Fab 451T Thermal Framing System by Kawneer, Color: Black |

Colors of major signs.

Painted sign as indicated on elevations. Final design to be established by Artist.

Recreation areas including any proposed equipment or swimming pools. N/A

Mail kiosks (if any)

Mail kiosks located in main Lobby shall be Salsbury 4C Horizontal Mailbox, 15 Door High
Unit Color: Aluminum Finish.



Firestone UltraPly TPO

Exceptional building performance starts at the top.

Significant reduction in roof's surface temperature. Greater energy efficiency. More indoor comfort and lower electricity bills. It's no surprise that thermoplastic polyolefin (TPO) roofs are the fastest growing, sustainable commercial roofing products available. And with nearly two decades of TPO experience, Firestone proudly stands behind our family of UltraPly TPO products.

Introduced in 1998, our TPO formulation is designed to provide excellent ozone and chemical resistance, ensuring long-term roof performance. Plus, TPO is environmentally friendly, offers superior puncture resistance (especially against hail) and costs less than competitive roofing materials. So you can stay at the top of your game – sustainably.

ULTRAPLY TPO SYSTEM OPTIONS

- Mechanically attached, fully adhered, self-adhered and ballasted systems
- Installed in 8', 10' and 12'4" widths
- Available in white, tan or gray
- Designed for low-slope application

TOP FIVE BENEFITS OF ULTRAPLY TPO

See what a partnership with Firestone can bring to your building.



ENHANCED ENERGY EFFICIENCY

- White reflective surface exceeds the EPA's ENERGY STAR® requirements
- White, tan and gray are listed with the Cool Roof Rating Council (CRRC)
- White and tan are compliant with California's Title 24 Energy Efficiency Building Standards and can be used to gain credits with Leadership in Energy and Environmental Design (LEED®) certification

LONG-LASTING PERFORMANCE

- Resists degradation from ultraviolet (UV) radiation and ozone
- Guards against erosion from harmful chemicals and microbial growth
- Performs at more than three times the ASTM International standard for weathering resistance

SUPERIOR DURABILITY AND STRENGTH

- Average thickness over scrim exceeds ASTM D6878 standard on 45-mil, 60-mil and 80-mil
- Provides enhanced puncture, tear and abrasion resistance

LESS ENVIRONMENTAL IMPACT

- Firestone's manufacturing plants are ISO-9001-certified and located to provide nationwide coverage
- Can add LEED® points to the design, construction, operation and maintenance of a commercial building
- Proximity of product availability reduces greenhouse gas emission and contributes to energy conservation
- Does not contain chlorinated or halogenated components

EXCELLENT WIND UPLIFT RESISTANCE

- Firestone Wide-Weld™ TPO seaming technology creates a full-width seam extending on both sides of the seam attachment
- Process allows uplift forces to be distributed uniformly along all edges of the fastening system for improved wind resistance



LEGENDARY WARRANTIES



COLORS & MATERIALS - ROOFING

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BRICK - MAIN BODY
MUTUAL MATERIALS
COLOR: CLASSIC USED



BRICK - ACCENT
MUTUAL MATERIALS
COLOR: CLINKER

COLORS & MATERIALS - SIDING

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FIBER CEMENT PANELS

USED ON ALLEY SIDE OF
ANNIE'S ARTIST FLATS

Hardie® Reveal® Panel System

Embody a modern aesthetic

Get the look you are after with the solution that offers design flexibility. The Hardie® Reveal® Panel system can be utilized to create an effective modern, durable, panelized look.

A system of components specifically developed for multi-family and light commercial construction. If your project calls for a panelized look — the Hardie Reveal Panel system offers the design flexibility you need.

Beginning with a commercial grade panel developed for multi-family and light commercial applications, the Hardie Reveal Panel system is a complete solution for creating a panelized look. Eliminate the guesswork in creating this look with the Hardie Reveal Panel system, with all parts including panels and trims supplied by James Hardie. Check for availability and call us to request a James Hardie Preferred Installer when specifying the Hardie Reveal Panel system.

For details about technical
information and specs, visit
JamesHardieCommercial.com



COLORS & MATERIALS - SIDING

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707 Series - Composite



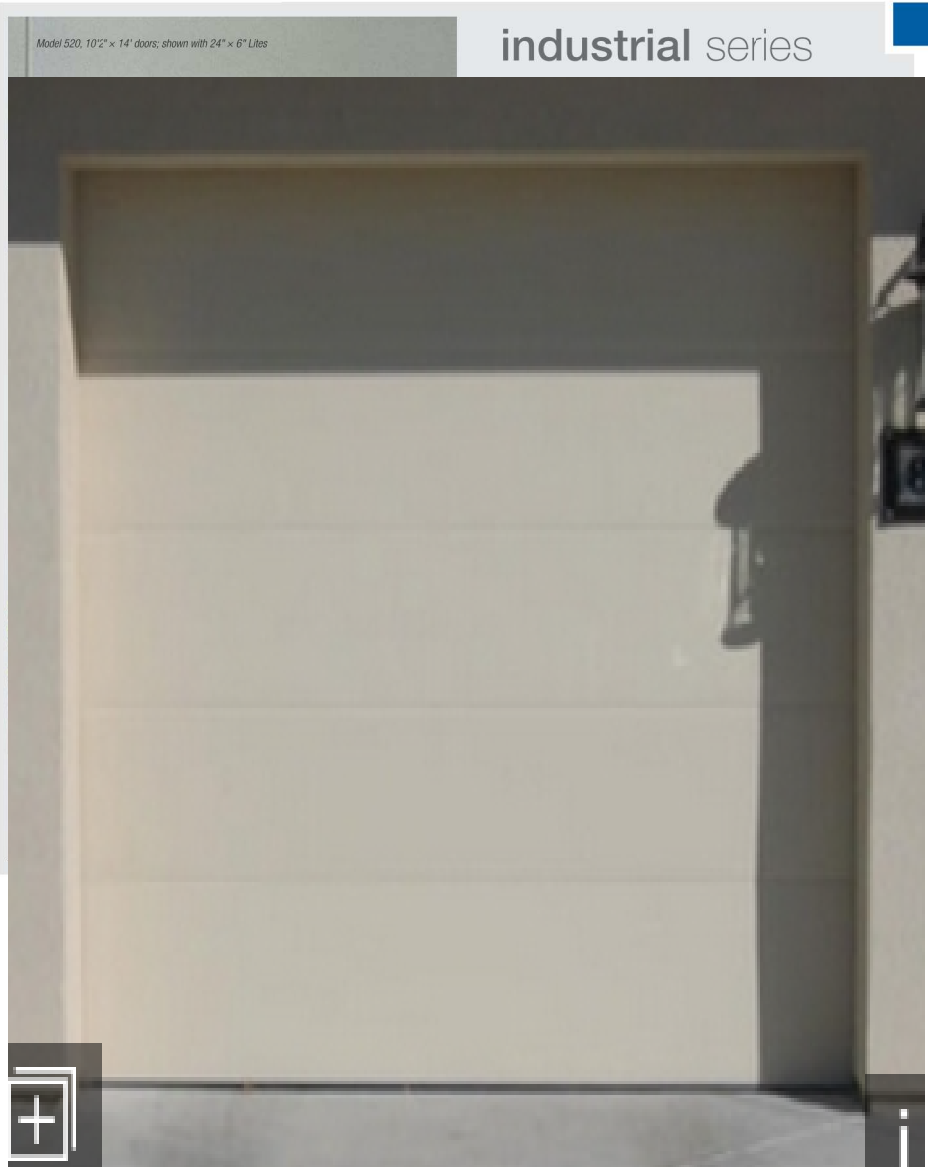
Standard Features

- Available with Embossed Panels
- Insulated Polystyrene Core (optional Polyurethane Core)
- 1-3/8 or 1-3/4 Inches Thick
- Polystyrene R-Factor - 5.1
- Polyurethane R-Factor - 10.04
- 16 Gauge Top & Bottom Channels
- 20, 18, 16 or 14 Gauge Face Skins
- Fire Rated up to 3 Hours
- Rugged Perimeter Channel Construction
- Sizes from 2068 to 50100
- Versatile and Dependable.

For more detailed information, please see the link below.

[Find technical information here >>](#)

SOLID CORE METAL DOORS
CURIES, 707 SERIES
COLOR: PER ARTWORK



OVERHEAD DOORS
CLOPAY INDUSTRIAL SERIES, FLUSH FINISH
COLOR: PER ARTWORK

9300 LIFT READY SERIES

9300 LIFT READY
ROLLING GRILLES

Redesigned in every possible way to streamline the installation, saving time and money.

The Door to Quality.

chiold.com

SECURITY GRILLE
CHI ROLLING STEEL DOORS, BRICK PATTERN
COLOR: ALUMINUM

DETAILS - EXTERIOR MATERIALS

Trifab® VG (VersaGlaze®)



Trifab® VG (VersaGlaze®) is built on the proven and successful Trifab platform – with all the versatility its name implies. Trifab set the standard and Trifab® VG improves upon it. There are enough fabrication, design and performance choices to please the most discerning building owner, architect and installer. Plus the confidence a tried and true framing system instills. Select from four glazing applications, four fabrication methods and multiple infill choices. Consider thermal options and performance, SSG and Weatherseal alternatives and your project takes an almost custom shape whether your architecture is traditional or modern and the building is new or retrofitted.

Aesthetics

Trifab® 450 has 1-3/4" sight lines and both Trifab® 451 and Trifab® 451T have 2" sight lines, while all three have a 4-1/2" frame depth. Designers can not only choose front, center or back glass planes, they can now add the versatility of multi-plane glass applications, thus allowing a greater range of design possibilities for specific project requirements and architectural styles. Structural Silicone Glazing (SSG) and Weatherseal options further expand the designer's choices.



STOREFRONT FRAMING
KAWNEER TRIFAB 451T
COLOR: BLACK

260, 360, 560 Insulclad® Thermal Entrances

Engineered Entrances with
Climate Control Efficiency



PCL Centennial Learning Centre, Edmonton, Alberta, Canada
Architect: Cohos Evans Integratedesign™, Edmonton, Alberta, Canada
Glazing Contractor: Beacon Glass Products Ltd., St. Albert, Alberta, Canada

Kawneer's Insulclad® Entrances provide thermal efficiency for the entire building façade and are available in 260 Narrow Stile for moderate-traffic applications, and 360 Medium Stile and 560 Wide Stile for heavy-traffic applications. All doors are thermally enhanced with interior cladding, which has the added advantage of enabling dual-color design.

Insulclad® Entrances are available as a single-source package of door, fully integrated door frame (with or without transoms) and integrated hardware. Center plane Trifab® VG 451T (Thermal) frames are standard, and Insulclad® Entrances are also compatible with 1600 Wall System®1, as well as other Kawneer framing systems. The total package and options allow easy adaptation to custom entrance requirements.



STOREFRONT ENTRANCE
KAWNEER INSULCLAD 560
COLOR: BLACK

DETAILS - EXTERIOR MATERIALS

ANNIE'S ARTIST FLATS | OLYMPIA, WASHINGTON | DESIGN REVIEW | FEBRUARY 2017





CASEMENT WINDOWS

Offering full top-to-bottom ventilation, Andersen® 100 Series casement windows are made with our revolutionary Fibrex® composite material to give you a window that is durable, environmentally smart and energy efficient. 100 Series products are available in deep, rich colors that complement virtually any architectural style. For added style, we offer a wide range of grille patterns and patterned glass options.

DURABLE

- Virtually maintenance-free
- Rigorously tested to deliver years' of smooth, reliable operation
- Fibrex material construction provides long-lasting* performance
- Durable, low-maintenance finish won't fade, flake, blister or peel
- Fibrex material is twice as strong as vinyl

ENERGY EFFICIENT

- Weather-resistant construction for greater comfort and energy efficiency
- Weatherstripping is designed to seal out drafts, wind and water
- Variety of Low-E glass options are available to help control heating and cooling costs in any climate
- Many 100 Series casement windows have options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.



BEAUTIFUL

- Clean, attractive corner seams
- Six exterior color options
- Attractive matte finish interiors available in four colors
- Add style with grilles or patterned glass

EXTERIOR COLORS



CASEMENT WINDOWS

ANDERSON 100 SERIES

COLOR: WHITE INTERIOR AND BLACK EXTERIOR



PICTURE WINDOWS

Andersen® 100 Series picture windows offer an unobstructed view that maximizes the amount of natural light allowed into your home. Made with our revolutionary Fibrex® composite material to give you a window that is durable, environmentally smart and energy efficient. 100 Series products are available in deep, rich colors that complement virtually any architectural style. For added style, we offer a wide range of grille patterns and patterned glass options.

DURABLE

- Virtually maintenance-free
- Fibrex material construction provides long-lasting* performance
- Durable, low-maintenance finish won't fade, flake, blister or peel
- Fibrex material is twice as strong as vinyl

ENERGY EFFICIENT

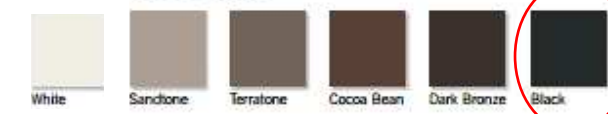
- Weather-resistant construction for greater comfort and energy efficiency
- Variety of Low-E glass options are available to help control heating and cooling costs in any climate
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EXTERIOR COLORS

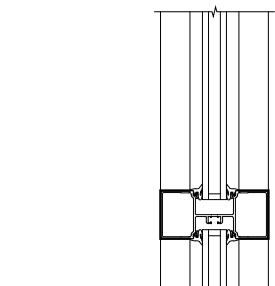


PICTURE WINDOWS

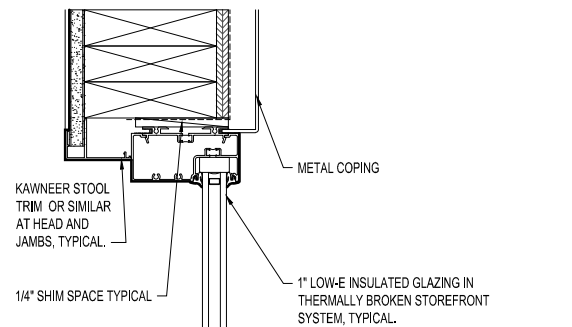
ANDERSON 100 SERIES

COLOR: WHITE INTERIOR AND BLACK EXTERIOR

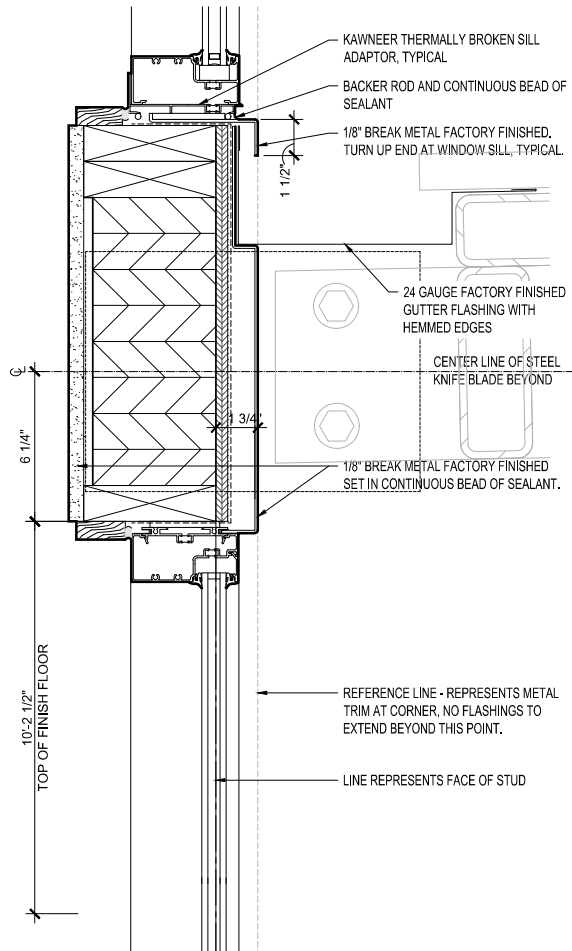
DETAILS - EXTERIOR MATERIALS



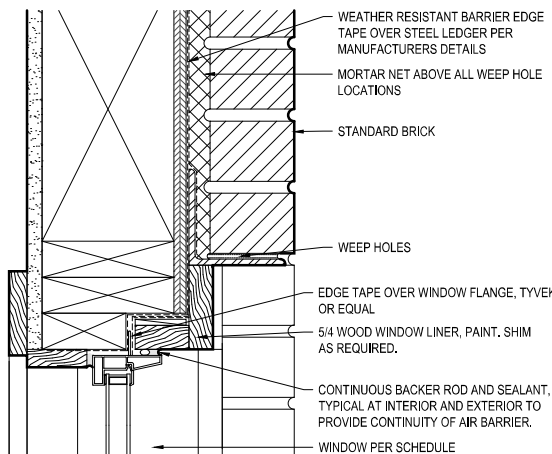
11 STOREFRONT MULLION
SCALE: 3" = 1'-0"



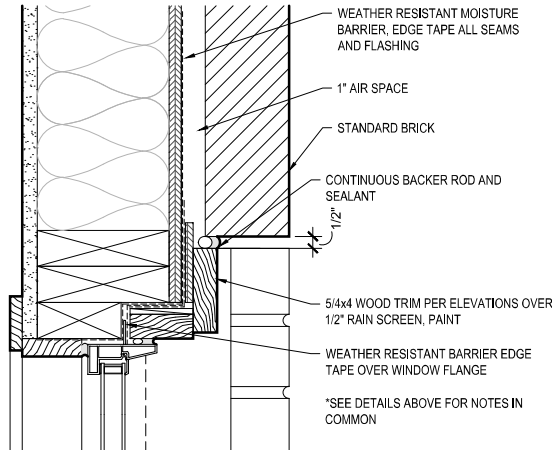
10 STOREFRONT JAMB
SCALE: 3" = 1'-0"



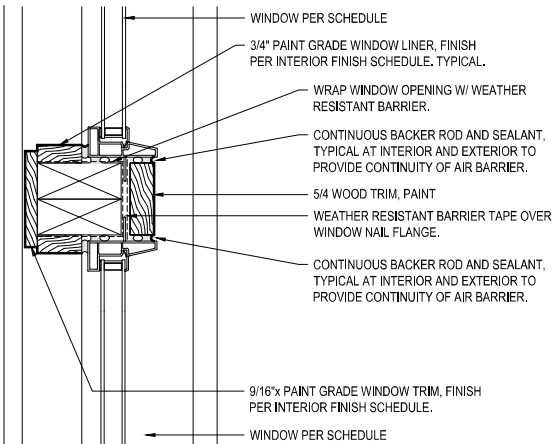
9 STOREFRONT HEAD & SILL
SCALE: 3" = 1'-0"



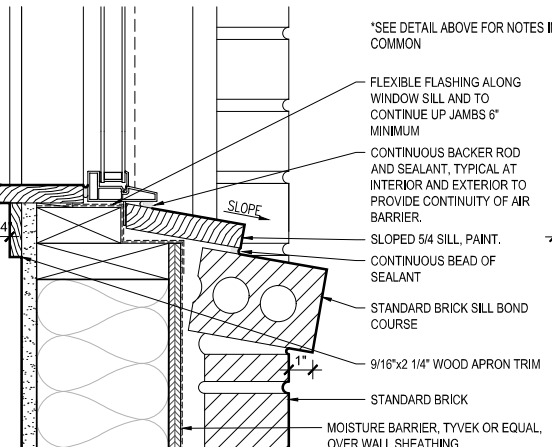
8 WINDOW HEAD @ BRICK
SCALE: 3"=1'-0"



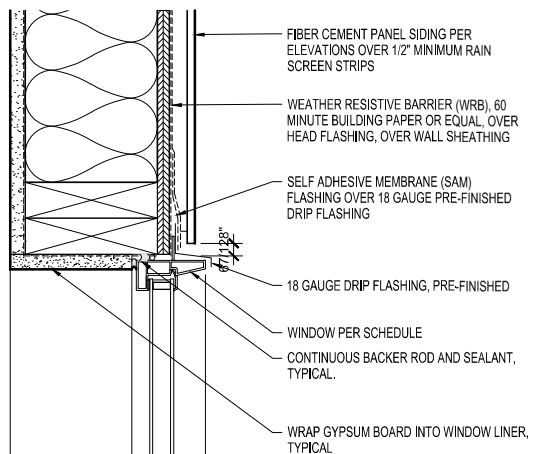
7 WINDOW JAMB @ BRICK
SCALE: 3"=1'-0"



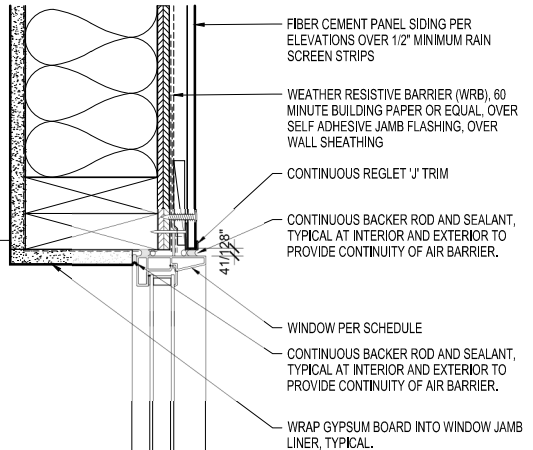
6 WINDOW MULLION @ BRICK
SCALE: 3"=1'-0"



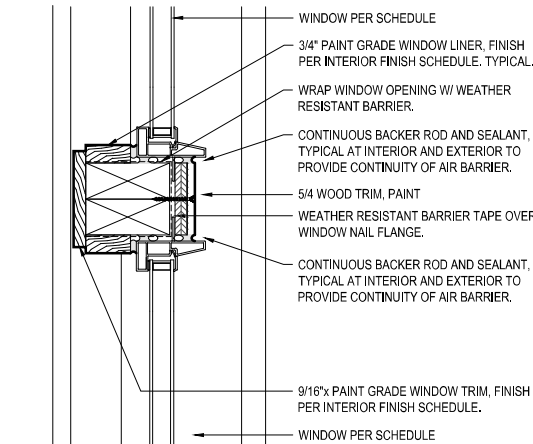
5 WINDOW SILL @ BRICK
SCALE: 3"=1'-0"



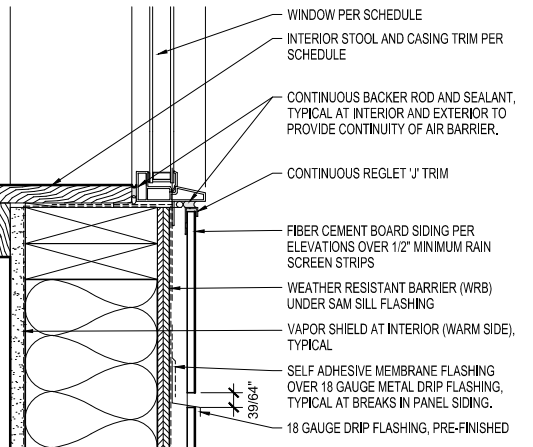
4 WINDOW HEAD @ SIDING
SCALE: 3"=1'-0"



3 WINDOW JAMB @ SIDING
SCALE: 3"=1'-0"



2 WINDOW MULLION @ SIDING
SCALE: 3"=1'-0"



1 WINDOW SILL @ SIDING
SCALE: 3"=1'-0"

EXTERIOR COLORS

Color Numbers per Sherwin Williams

Brick - Body:
(Artist Flats)

Mutual Materials
Classic Used



Brick – Accent:
(Artist Flats)

Mutual Materials
Ebony



Brick – Accent:
(Artist Flats)

Mutual Materials
Clinker



Trim:
(Both Buildings)

SW7069
Iron Ore



Fiber Cement Panel:
(Artist Flats)

SW6074
Spalding Gray



Metal Awnings:
(Artist Flats)

SW6994
Greenblack

