



EXHIBIT E

# Briggs Village

## Design Guidelines

Volume 2 | Amended February 2013  
August 29, 2013 DRB Revisions  
October 22, 2013 Revisions

## Briggs Village Revised Design Guidelines

On January 28, 2014, the City Council approved revisions to the Briggs Village Design Guidelines. In order to provide an easily referenced document, the revised portions of the guidelines were combined with the original guidelines. The following list identifies the revised pages and original pages for the reader's reference. The revisions create two sets of pages 27-32. The revised pages 27-32 address the mixed use building design guidelines, while the original pages 27-32 cover multi-family building design guidelines. **The designs on the following pages are for illustrative purposes only. In the event that these illustrations conflict with the Master Plan Amendment, the amendment text governs.**

### Revised Pages:

Cover page

Table of contents

Pages 1-7 (Design Guidelines)

Pages 8-32 (Mixed Use Building Design Guidelines)

Pages 39, 42, 59, 77, 79, 80, 92, 93, 102, 106

### November 2003 Guidelines (not revised):

Pages 27-40 (multi-family building design guidelines)

Page 39 revised

Pages 41-44 (duplex building design guidelines)

Page 42 revised

Page 45 –54 (townhome building design guidelines)

Page 55 – 64 (single family building design guidelines)

Page 59 revised

Page 65-107 (landscape design guidelines)

Pages 77, 79, 80, 92, 93, 102, and 106 revised

## TABLE OF CONTENTS

### **Design Intent**

Briggs Village Illustrative Plan  
Briggs Village Design Character  
Design Challenge  
Use of the Guidelines

**Page 1**

### **NBBJ**

111 South Jackson Street  
Seattle, WA 98104  
(206) 223-5100

### **Urban Design, Planning & Architecture**

Randy Benedict  
Bill Johnson  
Bill Sanford  
Kim Selby

### **Building Design Guidelines**

Mixed Use District Guidelines  
Multi-Family Apartments  
Multi-Family Duplexes  
Single Family Townhomes  
Single Family Detached Homes

**Page 3**

### **Anita Lehman**

1625 11<sup>th</sup> Avenue West  
Seattle, WA 98119  
(206) 286-8896

### **Graphic Illustration**

### **Landscape Design Guidelines**

Overall Design Intent  
Master Landscape Concept  
Landscape Design Tools  
Grading Design  
Streetscapes  
Lighting Design Intent  
Planting Design  
Irrigation Design  
Trail Network  
Community Furniture  
Arboretum  
Mixed Use District Landscape Design  
The 'Shelf' & Wetland Enhancement Areas  
Residential Neighborhoods

**Page 65**

### **The Berger Partnership**

1721 Eighth Avenue North  
Seattle, WA 98109  
(206) 325-6877

### **Landscape Architecture**

Tom Berger  
Elizabetha Stacishin-Moura

### **L.C. Lee & Associates**

3534 Bagley Avenue North  
Seattle, WA 98103  
(206) 283-0673

### **Wetlands Mitigation & Planning**

Lyndon Lee  
Scott Stewart

### **The Shea Group**

8830 Tallon Lane, Suite B  
Lacey, WA 98509  
(360) 459-3609

### **Civil Engineering & Transportation Planning**

Perry Shea  
Cathie Carlson  
Marcy Gustafson  
Amy Head

## 2012 MASTER PLAN AMENDMENT TEAM

### **Briggs Village, LLC**

27200 Agoura Road, Suite 201  
Calabasas, CA 91301  
1-818-871-2920

### **Owner**

Joe Amoroso

### **Vision Statement**

**Page 106**

### **Thomas Architecture Studio**

109 Capitol Way N  
Olympia, WA 98501  
1-360-915-8775

### **Architect**

Ron Thomas, AIA

## 2003 DESIGN TEAM

### **Briggs Development Company**

4407 Henderson Boulevard  
Olympia, WA 98501  
1-800-999-9972

### **Owner**

Gary Briggs  
Kathy Brunson

### **Perkins Coie, LLP**

111 Market Street Northeast, Suite 200  
Olympia, WA 98501  
(360) 956-3300

### **Legal Representative**

Sandy Mackie

### **Shea Carr Jewell**

2102 Carriage Dr SW, Bldg H  
Olympia, WA 98502  
(360) 459-3609

### **Civil Engineering**

Jean Carr  
Amy Head



*Briggs Village Illustrative Plan*





## **BRIGGS VILLAGE DESIGN INTENT**

### ***Design Character***

The Briggs Village Design Guidelines illustrate a range of design possibilities that is based on, neo-traditional craftsman and colonial revival styles. These guidelines are meant to convey a sense of tradition and permanence within the village. These guidelines are purposefully intended to coincide with the City of Olympia's goals for pedestrian friendly streets with the emphasis on strong entry features and pedestrian-scale porches. The elements of these neo-traditional craftsman and colonial revival styles that will be reflected in the different building types throughout the village include:

- A clear distinction and precise proportioning of the three building parts (the base, middle and top).
- Encourage the use of medium pitch gable forms and pediments to create prominent entryways, porches and balconies.
- Emphasize symmetry in the placement of doors and windows that correspond to implied columns and bays of historically smaller spans and scale.
- Vertical emphasis to window and door proportions.

Several variations on the guidelines are anticipated to be expressed in the new architecture. The resultant community character will become unique to Olympia as it relates to new housing communities, but reminiscent of older parts of the City, such as the South Capitol neighborhood.

The adaptation of these guidelines to the different building types in the village will likely vary, with the most variety and interpretation found in the retail buildings, occurring in the densest parts of the village; in Town Square. The guidelines are flexible in order to:

- Adapt to smaller sites and challenging topography.
- Appeal to a broader range of owner preferences.
- Allow for diversity within the well-ordered land-use plan and blend with nearby building context.

### ***The Design Challenge***

- Respond to the Briggs Family design sensibilities, values and personality.
- Be unique in Olympia without being too foreign; be recognizable without being too “thematic.”
- Adapt to a wide range of building types and lot sizes, as well as the undulating site.
- Create a sense of order and compatibility between a variety of building types and streetscapes, but also offer opportunities for delight, surprise and a sense of unique place.
- Appeal to a wide range of prospective home, retail and office owners and tenants.
- Translate to guidelines that are clear and understandable as well as flexible; leaving room for future design inventiveness.
- Be buildable and viable within the Olympia marketplace.
- Meet City of Olympia design requirements for pedestrian friendly streets.

### ***Use of the Guidelines***

These guidelines supplement the City of Olympia's Design Guidelines for villages and centers. The Briggs Village guidelines illustrate how the City's guidelines are adapted to the building styles, open spaces and streetscapes of the village. The Design Guidelines for the Briggs Urban Village are to be used in concert with the regulatory requirements of Olympia City Code, Chapter 18.05A.

The City's design code speaks in terms of requirements and guidelines. The requirements must be met by any applicant; the guidelines identify alternatives which show how a particular requirement can be achieved. The guidelines for the Briggs Village are written in suggestive language – “should”, “could”, or “may”, to indicate that the guidelines are suggestive choices rather than prescriptive of a specific design.

The Design Guidelines also include examples to illustrate that the architectural intent may be achieved through a variety of final designs. The purpose of the Design Guidelines is to encourage creativity and variety within the desired design objective here described. The suggested language, however, does not imply that the requirement is to be avoided when the terms “should”, “could”, “may” or similar terms are used. The guidelines are intended to require the architectural design to meet the requirement either as shown in the illustrations or through a substantive equivalent.

The guidelines were developed from a design process that:

- Began by creating prototypical unit plans and layouts for each of the building types.
- Tested the adequacy of building lot size and dimensions for the unit plans.
- Extruded unit plans to form building elevations.
- Illustrated a variety of buildings, massing, heights, roof forms and facade delineation that suggested design intent for each building type, given the placement within the village.
- Presented possible streetscapes from the building elevations.

The resultant guidelines show the depth of planning and design through the perspective streetscape sketches, example building elevations and site plans.

The following designs are for illustrative purposes only. In the event that these illustrations conflict with the Master Plan Amendment, the amendment text governs.

*Town Square: Entrance from Henderson*





## BUILDING DESIGN GUIDELINES: MIXED USE DISTRICT

### Overall Intent of the Guidelines

The Mixed Use District comprises the center of the Briggs Village, with Town Square at its core. Town Square marks the intersection of several vehicular, pedestrian and visual axes. It is the focal point of the village and the center from which the energy and character of the village radiates.

The Mixed Use District and Town Square is intended to be an active, community hub that serves as a year-round, day and evening-long gathering place for village residents, shoppers and visitors. This gathering place is achieved through the careful balance between building form and exterior spaces, both open and covered.

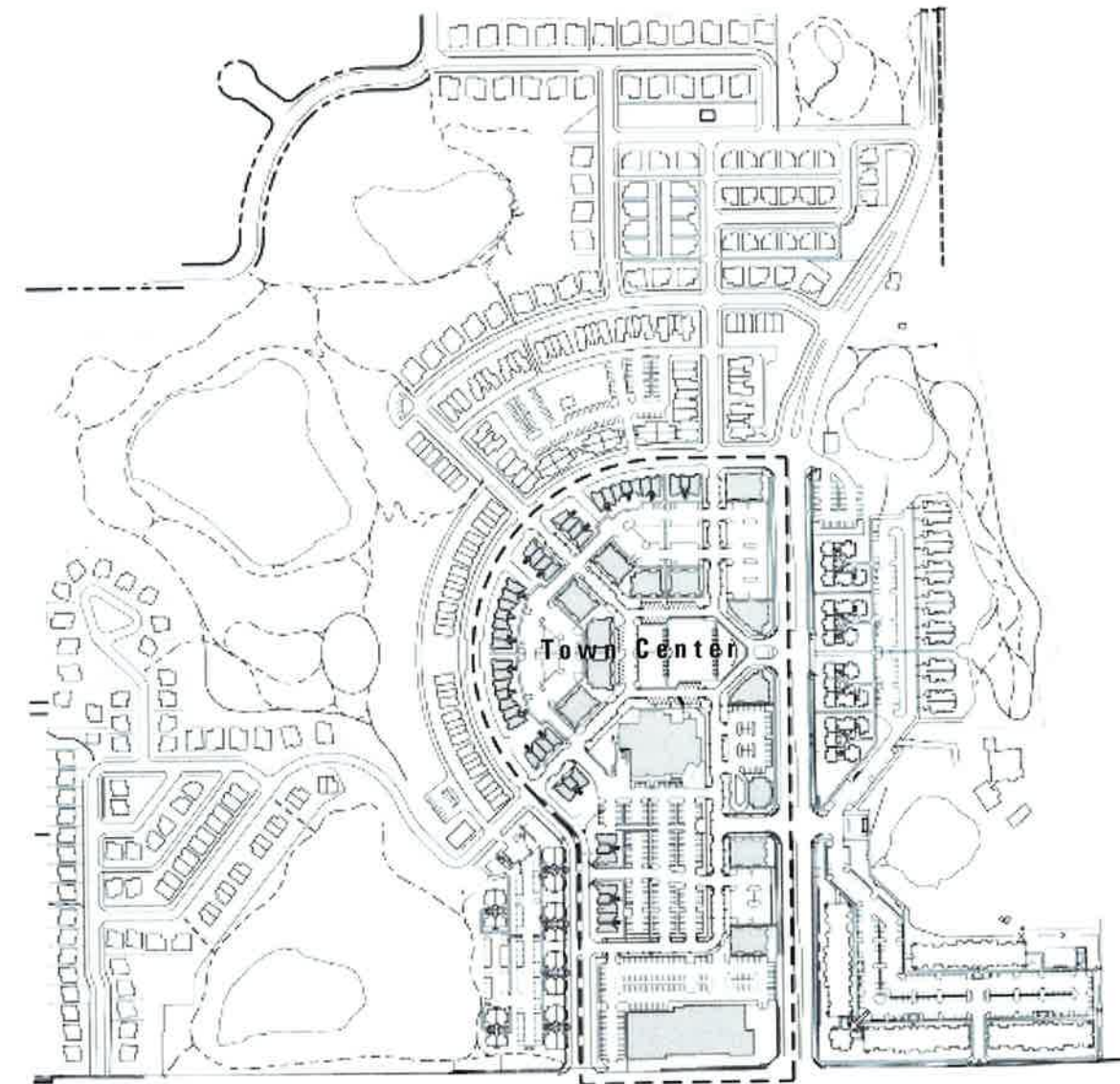
The design vision is to create a village center of pedestrian scale buildings that both frames the Town Square and accommodates a variety of commercial tenants including retail, professional offices and services, and multifamily housing. A Clock Tower and a Pavilion, each with associated arbors, anchors the Town Square while setting themselves apart from the surrounding commercial and residential buildings of the Mixed Use District.

The architectural character of the Mixed Use District shall be pre-modern, neo-traditional craftsman and is intended to:

- Express traditional or classic vernacular through building massing with emphasis of a base, middle and top.
- Allow and reflect a mix of uses within any one building, by developing a separate character for each through a modulated and varied horizontal tenant bay expression.
- Encourage a lively and varied retail experience by allowing for tenant individuality in elevation delineation and treatment as well as signage.
- Ensure a sense of continuity and permanence throughout Town Square through the use of durable building materials of higher quality and reduced maintenance.

A local example of the type of retail, streetscape environment is University Village and older, neighborhood villages such as Fremont or Ballard in Seattle. What it is not intended to be is: as quiet as Sylvester Park, as mall-like as Redmond Town Square, or as overtly "thematic" as Leavenworth or Poulsbo.

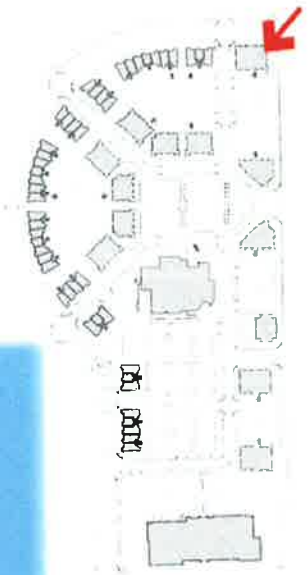
The open space, Town Square, is envisioned to be a centerpiece of the village open space and incorporating a number of special features, such as a plaza, performance pavilion and clock tower. Town Square is zoned to accommodate both a quiet, park-like atmosphere and more active spaces that complement the commercial spaces that surround Town Square. The Mixed Use District and Town Square, specifically, will be a comfortable, family-oriented environment where one can enjoy a cup of coffee, visit with friends, or play checkers in the Square.



Mixed Use District



*Town Square: Aerial from Henderson*





## **Mixed Use District: Town Square Features**

### **Intent of Guidelines: Massing, Height and Modulation**

Identify a number of special building features that must be used to set the Town Square apart from the other buildings in the district.

There are two unique structures within Town Square: a Clock Tower at the eastern edge and a Pavilion at the western edge. The Clock Tower allows the visitor to identify the Town Square from numerous view points throughout The Village. The Pavilion provides shelter for performers, art displays, community activities or a resting spot for visitors. The Town Square provides a place for outdoor gatherings with the Pavilion providing shelter in inclement weather. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

- Create a prominent, open structure and a clock tower that serves as a way finding marker for the village.
- Illustrate the visual or spatial relationships between the active, hardscape area of Town Square and structures to the quiet, landscape area, the Town Square streets and buildings, as well as the larger village.
- Ensure that the feature serves to activate Town Square by attracting shoppers, visitors and residents into and across Town Square from the YMCA, the grocer and adjacent housing areas, by way of placement, and design.
- Describe an overall level of building material and workmanship that sets this feature apart from the other buildings in order to create an activity place or node.

### **Massing, Height and Roof Forms**

The Clock Tower feature will be located and massed to be a focal point from the Henderson Boulevard side of Town Square. The Pavilion feature will be located in the western side of the Town Square and should be subordinate to the surrounding commercial buildings.

Visibility across the Town Square open space and surrounding buildings should be provided, by using a design that is predominantly transparent.

Heights and roof forms should set these structures apart, yet complement those of the surrounding buildings.

### **Town Square Attributes**

The Town Square feature should include special attributes, including:

- Towers or spires that are visible from the neighborhoods, up to 60 feet tall and integrated as part of a larger design; tower elements may include clocks, signage, weather vanes and lighting.
- Create a visual bridge or linkage of views across the square while allowing views into Town Square.
- Pavilions, Arbors, and awnings or coverings that provide pedestrian cover; particularly along the north-south axis across Town Square.

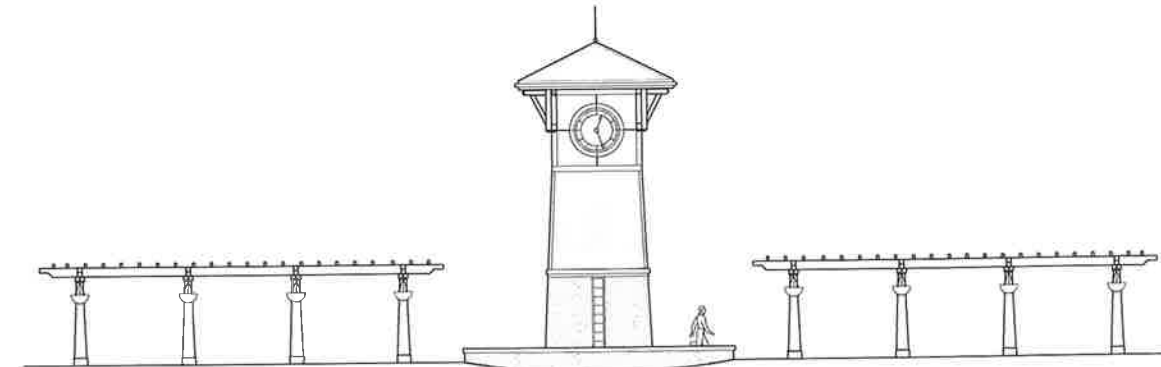
### **Building Materials**

High quality durable materials are important throughout the Town Square in such a way that it features design which is evocative of enduring quality. Finishes shall remain consistent or cohesive on all sides of the buildings to create a sense of place and introduce a lasting village design vocabulary.

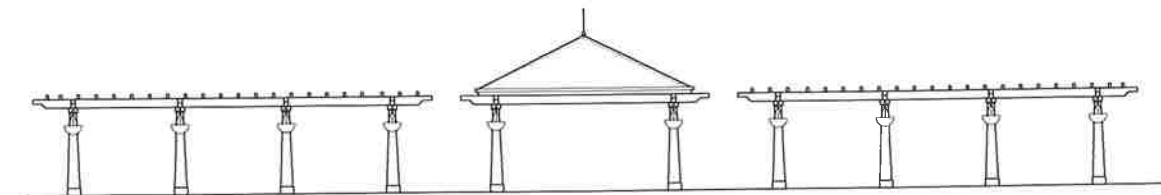
### **Site Planning**

The Town Square features will serve as a focal point to the north-south street that extends from the YMCA, past the grocer, through Town Square and to the North Residential Phase neighborhood. The Clock Tower should be placed on axis with this street. The Pavilion should be placed on axis with the diagonal streets that align with the south and central kettles.

The outdoor spaces are carefully planned to integrate into Town Square and provide areas for outdoor activities. Landscaping should be urban in character, with high quality hardscape, materials, and simplicity to the plantings. The concept of extending Town Square through the features provides an open space that can be active and thrive year-round. These features are vital to the success of the Town Square.



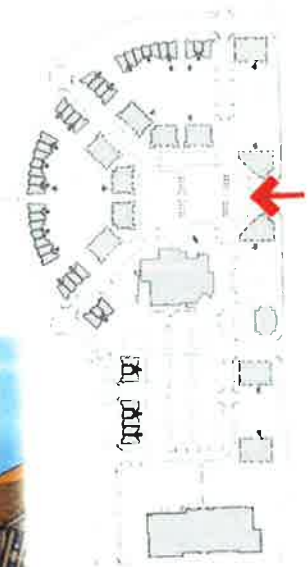
**Clock Tower**



**Pavilion**

### **Feature Options**

*Town Square, "View from Henderson Boulevard"*





*View North across Town Square*



## Mixed Use District: Commercial Buildings

### Intent of Guidelines: Massing, Height and Modulation

The purpose of the Guidelines is to achieve massing, height, modulation and articulation goals. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

- Ensure that buildings are appropriately scaled and proportioned for the enclosure of Town Square.
- Enable simple massing and articulation of the buildings, in order to both allow for future changes of tenants or uses and be feasible in the Olympia marketplace.
- Encourage creativity and liveliness to the streets at special areas, such as corners and passageways.
- Special corner elements, architectural details and landscaping will aid “wayfinding” for shoppers and residents through the village center.

### Massing and Height

The design guidelines for commercial buildings envision a combination of one and multi-story buildings lining Town Square. The integration of some multi-story buildings along the perimeter of the square are envisioned to be phased in over time to help enclose/frame the square and add additional “eyes on the square”. If buildings are proposed that exceed 1 ½ stories (one story with mezzanine), each proposer will need to show how parking requirements are being met.



One story commercial buildings are allowed, but require a minimum facade height of 24'. Height shall be measured from the fronting street.



Through the use of clerestory windows, one story commercial buildings shall imply at least one and a half (1 1/2) stories in order to frame and enclose Town Square.

Heights of buildings along radial streets, as well as those facing Henderson Boulevard, are also encouraged to imply at least one and a half (1 1/2) stories, with a minimum facade height of 24'; height shall be measured from the fronting street.

All commercial buildings are required to have a minimum internal floor to ceiling height of 18'.

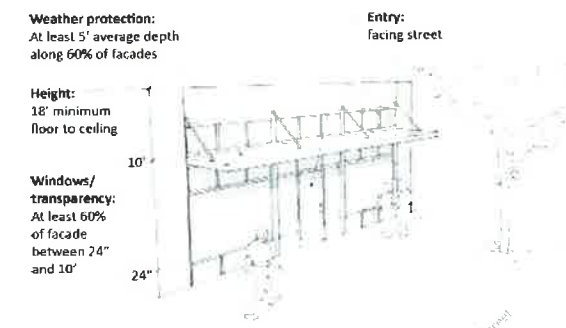
### Building Frontages

There is a hierarchy of building frontages to the commercial buildings throughout the Mixed Use District. There is a need to identify guidelines for each type of building frontage to meet design goals while accommodating the necessary function of commercial buildings. Provisions herein address:

- Building/Business Entrances
- The level of facade transparency
- The amount of weather protection

### Building Frontages Storefronts

This section includes all facades facing Town Square, Radial Streets, and other facades where a business' primary entry is located:



- Building/Business' primary entry must be located along this facade;
- Transparent windows or doors covering at least 60% of the facade between 24" and 10' above the sidewalk are required; and
- Weather protection averaging at least 5' deep (4' minimum) along at least 60% of the facade is required (see Commercial Facade Treatment - Weather Protection for awning types allowed). Weather protection elements shall provide at least 8' vertical clearance over the sidewalk but no higher than 14' to maintain the weather protection function and to maintain a pedestrian sense of scale.

### Building Frontages: Henderson Boulevard and Secondary Street Frontages

This section includes all facades facing Henderson Boulevard and all other street facing facades that do not contain a business' primary entrance.

- Entrances along these facades are encouraged, particularly at building corners. For buildings adjacent to Henderson Boulevard, at least one public or business building entrance shall be visible from the street.
- Transparent windows or doors covering at least 40% of the facade between 24" and 10' above the sidewalk are required. Departures will be considered provided design treatments are included to enhance the pedestrian environment and design character of the facade: and



**Mixed Use District: Commercial Buildings | Continued**

- Weather protection elements along these frontages are encouraged and required for the following:
  - Where a business' primary entry faces this frontage, weather protection elements shall meet storefront standards noted above.
  - Office or other (non-service only) building entrances (4' deep minimum).

**Building Frontages: Parking Lot and Internal Pedestrian Walkway Frontages**

This section includes all parking facades facing parking lots and facades facing internal pedestrian walkways.

- Entrances along these facades are encouraged.
- Transparent windows or doors covering at least 20% of the facade between 3' and 8' above the sidewalk. Departures will be considered provided design treatments are included to enhance the pedestrian environment and design character of the facade: and
- Weather protection elements along these frontages are encouraged and required for the following:
  - Where a business' primary entry faces this frontage, weather protection elements shall meet storefront standards noted above.
  - For secondary business and other building tenant entrances, weather protection over the entry at least 4' deep is required.



Pedestrian corridor



Example of Pedestrian corridor



**Roof Types**

Variation in roof form is encouraged as it relates to and helps define building modulation around Town Square and other village streetscapes.

Roofline modulation is encouraged as an effective type of facade articulation. The maximum length of unmodulated roofline is 25'. Every 25' the parapet articulation must change and the height must change by a minimum of 24" OR the roof type must change (flat, mansard, gable, hip, etc.).

Continuous, unarticulated roof heights and/or roof types are not acceptable.

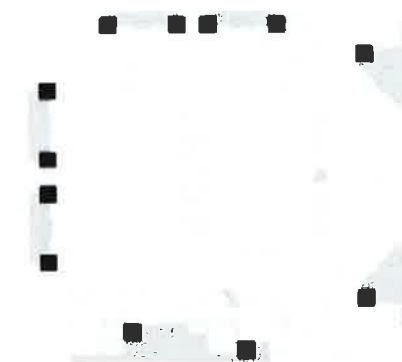


**Special Corner Elements**

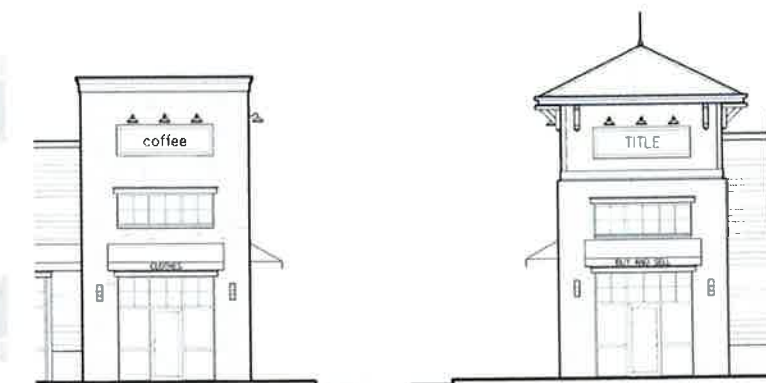
Attention should be given to differentiation of special corner elements, especially those on axis with and providing visual termination, create gateways and focal anchors to the streets surrounding Town Square.

Special corner elements may include hip roofs or compound gable roofs or flat roofs embellished with extraordinary cornice details, glazing or materials.

Each "block" facing Town Square shall encourage a corner building tower feature as highlighted in the "Location of Special Corner Elements" plan adjacent. Signage shall be used to complement and reinforce these special corner elements.



Location of Special Corner Elements



Options for Special Corner Elements



**Mixed Use District: Commercial Buildings | Continued**

**Facade Articulation**

Building façades shall integrate architectural elements that create a complementary pattern of rhythm, dividing large buildings into smaller identifiable pieces. Building Frontages (Storefronts, Henderson Boulevard, and Secondary Street Frontages) shall integrate at least 3 of the following features at intervals no greater than 25' (twenty-five feet) to create a pattern of small traditional storefronts. Building Frontages (Parking Lot Frontages and Internal Pedestrian Walkway Frontages) shall integrate at least 3 of the following features at intervals no greater than 40' (forty feet) to create a pattern of small traditional storefronts.

- i. Use of window and/or entries that reinforce the pattern of small storefront spaces;
- ii. Use of weather protection features that reinforce small storefronts. For example, one 75' wide façade articulated into three 25' wide storefronts could include a steel canopy for the middle storefront and awnings for the outside storefronts to help articulate the façade;
- iii. Providing vertical building modulation of a least 2' in depth and 4' in width if combined with a change in siding materials and/or roofline modulation;
- iv. Change of roofline or parapet;
- v. Use of vertical piers/columns that reinforce the storefront pattern;
- vi. Changing materials and/or color with a change in building plane;
- vii. Vertical elements such as a trellis with plants, green wall, or art element that meets the purpose of the guidelines; and/or
- viii. Other methods that meet the purpose of the guidelines.



**Storefronts**



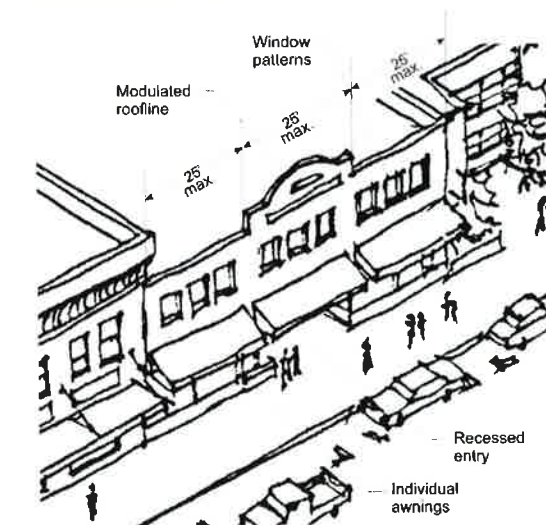
**Articulation & Modulation**



**Modulation & Facade Articulation Examples**



**Good example of Articulation**



**Good example of roof modulation**



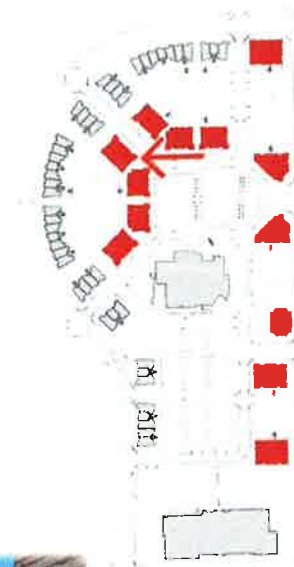
## Mixed Use District: Commercial Buildings

### Building Form and Materials

Variety in building form may include the use of flat, gabled or hip roof forms. Roof forms are encouraged to be true architectural or structural forms. Variation in roof forms (including gabled, hipped or flat) and the use of accessories such as dormers, when using sloped roofs, and embellished cornices, when using flat roofs, are encouraged.

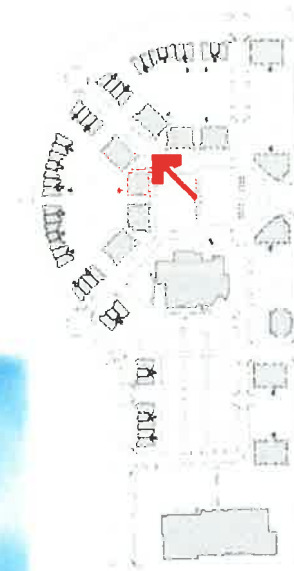
Variety in building materials is encouraged, so long as the framework of building base, middle and top is evident and wall finishes remain consistent on all sides of buildings that can be seen by the public. Material changes should occur where there is a change in the vertical plane, the horizontal plane, or an articulation element is used (example: trim board) to separate dissimilar materials. Width of articulation shall be a minimum of 25'-40' depending on Building Frontage (see previous section) to imply historically smaller structural components. Use material changes horizontally and vertically to give identity to internal uses and implied or actual smaller individual shop owners.

The buildings throughout the Mixed Use District are truly "buildings in the round" where each building frontage is in full view of the surrounding neighborhood. As a result, there must be consistency in the design of all frontages for each individual building, including materials and detailing.





*View from Town Square to Northwest*





## **Mixed Use District: Commercial Façade Treatment**

### **Intent of Guidelines: Façade Treatment**

Provide continuity throughout the Town Square buildings by establishing the basic framework for the buildings including the rhythm of bay spacing, windows and entryways.

Create a lively streetscape and allow significant freedom and encourage creativity in the tenant occupied/improved portions of the structure, with minimal direction as regards façade, color.

Provide generous internal floor to ceiling heights (18' minimum required) for ground floor commercial uses to create attractive spaces iwth substantial natural light and the capability of accomodating the full range of permitted active commercial uses.

### **Facade Treatment including Tenant Improvements**

**Requirements** for the ground floor facades, including those areas to be improved by the tenants (distinguished from the building framework) are shown in the following:

**A Storefront:** Window systems can be pre-finished aluminum, anodized aluminum or wood.

Doors can be configured in one of four ways:

- Centralized pair
- Centralized single
- Right hand single
- Left hand single

**B Transom Windows:** Either occurs above steel & glass canopy or may reside above or within fabric awning. The use of muntin bars within clearstory windows is encouraged to aid in reinforcing neo-traditional architectural styles.

**C Canopy or Awning:** Pedestrian cover at sidewalk can be provided:

- Steel and glass canopies supported by building facade with a design derived from the architectural bay spacing of the building.
- Fabric awnings fixed or operable; sized to “plug in” to the architectural bay spacing of the building.

**D Clearstory Windows:** Encouraged at all corners and within each bay to convey a multi-story scale to each commercial building. The use of muntin bars within clearstory windows is encouraged to aid in reinforcing neo-traditional architectural styles.

**E Pilaster Base:** 3' - 4' high base can be finished in stone, veneer simulated stone, masonry (veneer brick, or decorative CMU), tile or panelized wood.

**F Corner Pilasters:** 3'-0" (minimum) wide pilaster and adjacent wall can be finished in stone, veneer simulated stone, masonry (veneer brick, or decorative CMU), fiber cement siding (shingles) or panelized wood.

**G Sconce Lighting:** Location for tenant sconce lighting at center of pilaster if so desired.

**H Signage:** Locations for tenant signage panel include:

- Wall mounted above entry
- Blade sign mounted at underside of canopy or bracketed off header over doorway
- Wall mounted at face of pilaster

**J Solid Display Wall:** Display walls cannot be constructed within three (3) feet of window walls. Window displays require tenant maintenance to assure vitality of storefront.

**K Walls:** Walls can be finished in stone, veneer simulated stone, masonry (veneer brick or decorative CMU), or fiber cement siding (shingles, bevel, channel, board & batten).

**L Cornices:** Shall be sized appropriately for the building style and scale. Larger cornices should be incorporated at building corner elements and primary tenant entries.

**M Roof Caps:** Sloped roof forms are encouraged at corner elements along primary axis (auto, pedestrian or view corridors). The use of overhangs and knee braces are encouraged to reinforce neo-traditional architectural styles.

**N Trim:** Shall be painted wood or fiber cement, 6" (nominal) width minimum. All trim at openings (windows, doors, vents) should be sized to reinforce neo-traditional architectural styles.

**O Window Base:** Shall be 24" minimum in height and constructed of panelized wood or any other compatible material listed in item 'E' Pilaster Base above. A minimum of 50% of storefront windows must meet this window base requirement.

See signage section page 32 for more details on signage requirements that are unique to the Briggs Village Mixed Use District.





**Mixed Use District: Commercial Façade Treatment continued**

**Facade Elements and Details**

Purpose: To encourage the incorporation of design details and small-scale elements into building facades that are attractive at a pedestrian scale.

Requirements:

(a) Façade details toolbox: All non-residential and mixed-use buildings shall be enhanced with appropriate details. All new buildings must employ at least two detail elements from each of the three categories below for each façade facing a street or public space. For example, a building with 75 feet of street frontage with a façade articulated at 25 foot intervals will need to meet the guidelines for each of the three façade segments below.

(i) Window and/or entry treatment:

- (A) Display windows divided into a grid of multiple panes;
- (B) Transom windows;
- (C) Roll-up windows/doors;
- (D) Other distinctive window treatment that meets the purpose of the standards;
- (E) Recessed entry;
- (F) Decorative door;
- (G) Landscaped trellises or other decorative element that incorporates landscaping near the building entry; or
- (H) Other decorative or specially designed entry treatment that meets the purpose of the guidelines.



**Window Divides**



**Transom Windows**



**Decorative Door**

- (ii) Building elements and façade details:
  - (A) Custom-designed weather protection element such as a steel canopy, cloth awning, or retractable awning;
  - (B) Decorative, custom hanging sign(s);
  - (C) Decorative building-mounted light fixtures;
  - (D) Bay windows, trellises, towers, and similar elements; or
  - (E) Other details or elements that meet the purpose of these guidelines.



**Steel Awning**



**Retractable Awning**



**Custom Signage**



**Trellis planter**



**Bracket**

- (iii) Building materials and other facade elements:
  - (A) Use of decorative building materials/use of building materials. Examples include decorative use of brick, tile, or stonework;
  - (B) Artwork on building (such as a mural) or bas-relief sculpture;
  - (C) Decorative kick-plate, pier, belt course, or other similar feature;
  - (D) Hand-crafted material, such as special wrought iron or carved wood; or
  - (E) Other details that meet the purpose of the guidelines.



**Decorative mosaic tiles**



**Tilework & Patterns**



**Sculptural Mural**



**Stonework**

“Custom,” “decorative,” or “hand-crafted” elements referenced above must be distinctive elements or unusual designs that are complementary and/or consistent with the featured architectural style.

Departures to the guidelines above will be considered provided the number, quality, and mix of details meet the purpose of the standards.

**Mixed Use District: Commercial Façade Treatment continued**

**Window Design**

**Window design:** Buildings shall employ techniques to recess or project individual windows above the ground floor at least two inches from the facade or incorporate window trim at least four inches in width that features color that contrasts with the base building color.

**Departures** will be considered where buildings employ other distinctive window or facade treatment that adds a sense of depth to the facade and/or visual interest to the building.



Acceptable and unacceptable (far right image) window design on upper floors. Note the windows in the brick building on the left are recessed from the facade. The windows in the middle images include trim. The image on the right includes no trim or recess/projection, and thus would not be permitted.

**Facade Materials**

Purpose:

- To encourage high-quality building materials that enhances the character and identity of Briggs Village;
- To discourage poor materials with high life-cycle costs; and
- To encourage the use of materials that reduce the visual bulk of large buildings.

Requirements:

- Walls can be finished in stone, veneer simulated stone, masonry (veneer brick or decorative CMU), panelized wood, tile, or fiber cement siding (shingles, bevel, channel, board & batten).
- Concrete block guidelines: Concrete block may be used if it is incorporated with other permitted materials and it complies with the following:
  - When used for the primary façade, buildings must incorporate a combination of textures and/or colors to add visual interest. For example, combining split or rock-façade units with smooth ground faced blocks can create distinctive patterns; and
  - Plain Concrete block may comprise no more than 30% of a facade facing a public right-of-way or open space. **Departures** to this standard will be considered provided design treatments are included to enhance the visual character of the building at all observable scales.



Acceptable and unacceptable concrete block examples. The left example uses a mixture of split-faced colored concrete block and smooth-faced concrete block, together comprising just under 30% of the whole facade. The large expanse of smooth-faced concrete block, above, is not acceptable for Briggs Village facades.

(c) Prohibited materials:

- Mirrored glass;
- T1-11-type plywood siding and similar processed sheet products;
- Chain-link fencing (except for temporary fencing and for parks);
- Fiberglass products and similar sheet products; and
- Back-lit vinyl awnings used as signs.
- Stucco, EIFS, and similar materials.
- Metal siding.

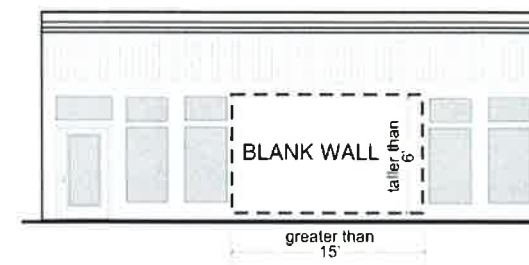
**Blank Walls**

Purpose:

- To avoid untreated blank walls.
- To enhance the character of Briggs Village

Requirements:

- Blank wall definition: A ground floor wall or portion of a ground floor wall over six feet in height, has a horizontal length greater than 15 feet and does not include a transparent window or door.



**Blank wall definition illustration**

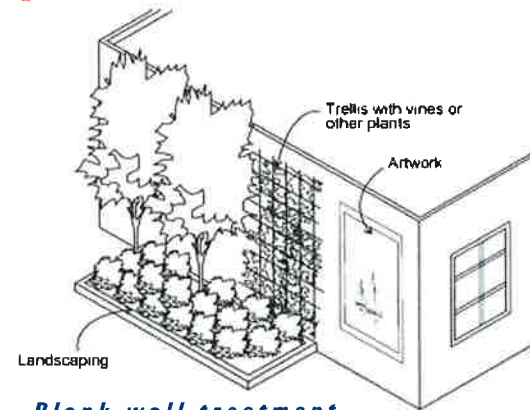


**Mixed Use District: Commercial Façade Treatment continued**

(b) Blank wall treatment: Untreated blank walls visible from a public street, customer parking lot or pedestrian pathway are prohibited unless the following methods are used. Methods to treat blank walls can include:

- (i) Display windows at least 16 inches of depth to allow for changeable displays. Tack on display cases shall not qualify as a blank wall treatment;
- (ii) Landscape planting bed, raised planter bed, or potted plants in front of the wall with planting materials that are sufficient to obscure or screen at least 60% of the wall's surface within 3 years;
- (iii) Installing a vertical trellis in front of the wall with climbing vines or plant materials;
- (iv) Installing a mural or other art work as approved by the reviewing authority; and/or
- (v) Special building detailing that adds visual interest at a pedestrian scale. Such detailing must use a variety of surfaces; monotonous designs will not meet the purpose of the guidelines.

For large visible blank walls, a variety of treatments may be required to meet the purpose of these guidelines.



**Blank wall treatment solutions**



**Raised Planters & Building texture for pedestrian scale**



**Building detailing & raised planter**



**Plantings & Building detailing**



**Artwork or mural**

**Service Element Location and Design**

Purpose:

- To minimize the potential negative impacts of service elements; and
- To encourage thoughtful siting of service elements that balance functional needs with the desire to screen negative impacts.

Requirements:

- (a) All developments shall provide a designated spot for service elements (refuse and disposal). Such elements shall meet the following requirements:
  - (i) Service elements shall be located to minimize the negative visual, noise, odor, and physical impacts to the street environment, adjacent (on and off-site) residents or other uses, and pedestrian areas;
  - (ii) The designated spot for service elements shall be paved with concrete;



*Appropriate service area location and enclosure examples*

- (iii) Appropriate enclosure of the common trash and recycling elements shall be required. Requirements and considerations:
  - (A) Service areas visible from the street, pathway, pedestrian-oriented space or public parking area shall be enclosed and screened around their perimeter by a durable wall or fence sufficient in height to screen equipment within (6' high minimum). Developments shall use materials and detailing consistent with primary structures on-site. Acceptable wall materials include brick, decorative concrete block or stone;
  - (B) The sides and rear of the enclosure must be screened with landscaping in locations visible from the street, dwelling units, customer parking areas, or pathways to soften the views of the screening element and add visual interest;
  - (C) Collection points shall be located and configured so that the enclosure gate swing does not obstruct pedestrian or vehicle traffic, or does not require that a hauling truck project into any public right-of-way; and
  - (D) Proximity to adjacent residential units will be a key factor in determining appropriate service element treatment. Enclosures must screen views from adjacent buildings, especially from residential structures.

**Mixed Use District: Commercial Façade Treatment continued**

(b) Utility meters, electrical conduit, and other service utility apparatus: These elements shall be located and/or designed to minimize their visibility to the public. Project designers are strongly encouraged to coordinate with applicable service providers early in the design process to determine the best approach in meeting these guidelines. If such elements are mounted in a location visible from the street, pedestrian pathway, common open space, or shared auto courtyards, they shall be screened with vegetation or by architectural features.

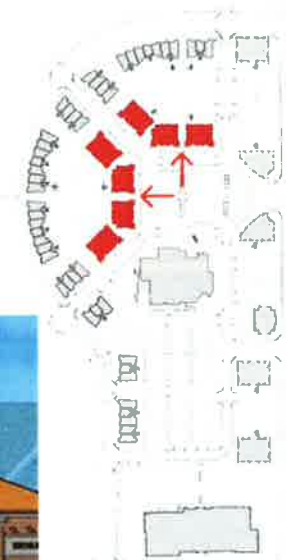


*Good and bad utility meter configurations. The example on the left is consolidated and somewhat screened by landscaping elements, whereas the right example is exposed and degrades the character of this project.*

(c) Rooftop mechanical equipment: All rooftop mechanical equipment shall be organized, proportioned, detailed, screened, and/or colored to be an integral element of the building and minimize visual impacts from the ground level of adjacent streets and properties and from adjacent multi-family housing. For example, screening features should utilize similar building materials and forms to blend with the architectural character of the building.



*Commercial Buildings at Town Square*



*View looking West from Town Square*



*View looking North from Town Square*



**Mixed Use District: Commercial Grocer**

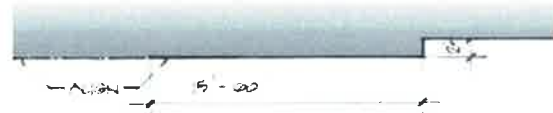
**Intent of Guidelines: Variety in Building Form Plan and Elevation**

Break plan and elevation of large buildings (greater than 180 foot facades on a side or face) to a more pedestrian scale, by expressing the designated use, through modulation, entries, glazing, canopies and other unique tenant features. Creating a varied streetscape along the northern, eastern and southern facades of the grocer is needed in order to fit this atypical building within the village. Multiple and prominent entryways along these facades are encouraged in order to break up these long facades.

**Building Form and Materials**

Variety in building form may include the use of flat, gabled or hip roof forms. Roof forms are encouraged to be true architectural or structural forms. Variation in roof forms, including gabled, hipped or flat, and accessories such as dormers, when using sloped roofs, and embellished cornices, when using flat roofs, are encouraged.

Variety in building materials is encouraged, so long as the framework of building base, middle and top is evident and wall finishes remain consistent on all sides of buildings that can be seen by the public. Material changes should occur in a flush configuration or in minimal offsets of two feet maximum. Width of modulation should be a minimum of fifteen feet and a maximum of sixty feet to imply historically smaller structural components. Use material changes horizontally and vertically to give identity to internal uses and implied or actual smaller



**Diagram of Material Changes & Modulation**

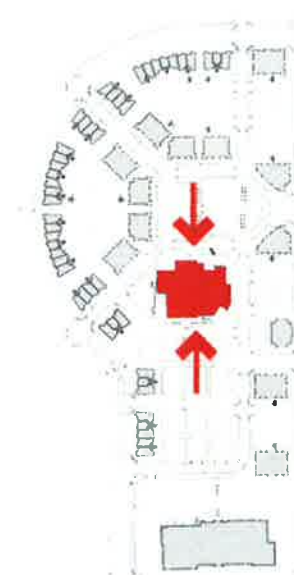


**South Elevation**



**North Elevation**

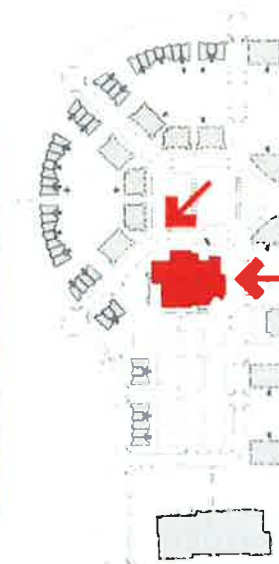
**Grocer Elevations**







*East Elevation*



*View from Town Square to Southwest*



## Mixed Use District: Residential Buildings

### Intent of Guidelines: Massing, Height, Articulation & Modulation

The purpose of the Guidelines is to achieve massing, height, and **articulation** goals. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

- Ensure that buildings are appropriately scaled and proportioned for the Mixed Use District.
- Enable simple massing and modulation of the buildings, in order to be feasible in the Olympia marketplace.
- Encourage massing & façade variation of street level at special areas, such as corners and passageways.
- Special corner elements, architectural details and landscaping will aid “wayfinding” for visitors and residents through the village center.

### Massing and Height

Mixed Use District Residential Buildings shall be at least three (3) stories in height in order to frame the edges of the Mixed Use District and to maximize views of the surrounding district and natural features. Building heights up to 45 feet are **allowed**; height shall be measured from the fronting street.

Heights of residential buildings along radial streets, as well as those facing the Briggs Drive, will be at least three (3) stories; height shall be measured from the fronting street.

### Roof Types

Variation in roof form is encouraged as it relates to and helps define building **articulation** throughout the Mixed Use District. (See pages 9, 10 & 11 for further narrative and illustration.)

### Special Corner Elements

Attention should be given to differentiation of special corner elements, especially those on axis with and providing visual termination, create gateways and focal anchors to radial streets emanating from Town Square, pedestrian pathways and other prominent corners. .

Special corner elements may include hip roofs or compound gable roofs or flat roofs embellished with extraordinary cornice details, glazing or materials.

### Articulation & Modulation

Building **articulation** should follow and be expressive of the underlying housing units and structural bays.

Building **articulation** (as well as special roof forms, landscaping and facade treatments) should also accent the public passageways between Briggs Drive and Town Square and access to off-street parking areas from radial streets.

Multifamily buildings shall include articulation features at intervals that relate to the location/size of individual units within the buildings (or no more than every 30') to break up the massing of the building and add visual interest and compatibility to the surrounding context. At least three of the following features shall be employed

at intervals no greater than the unit interval of 30 feet (whichever is less).

- a. Use of windows and/or entries;
- b. Change in roofline;
- c. Change in building material, siding style, and/or window fenestration pattern;
- d. Providing vertical building modulation of at least 12” in depth if tied to a change in roofline modulation or a change in building material, siding style, or color. Balconies may be used to qualify for this option if they are recessed or projected from the façade by at least 18”. Juliet balconies or other balconies that appear to be tacked on to the façade will not qualify for this option unless they employ high quality materials and effectively meet the intent of the standards;



Modulation intervals no greater than 30 feet or width of unit



Continuous roofline and monotonous color provide little facade articulation



Street View Elevation

Balconies, bay windows, and change in siding color and materials effectively articulate these facades.



**Mixed Use District: Residential Buildings continued**

- e. Vertical elements such as a trellis with plants, green wall, art element;
- f. Other design techniques that effectively break up the massing at no more than 30' intervals.

Departures will be considered provided they meet the intent of the standards and the design criteria set forth in these Design Guidelines.

**Intent of Guidelines: Residential Facade Treatment**

Residential uses should reflect the appropriate amount, type and placement of glazing, balconies and facade materials, colors and trim details.

**Windows**

Windows shall be predominantly vertically proportioned to reinforce the desired neo-traditional craftsman architectural style and shall be appropriate for the intended uses and follow the modulation of the building.

**Building Form and Materials**

Variety in building form may include the use of gabled or hip roof forms (flat roofs on a limited basis). Roof forms are encouraged to be true architectural or structural forms. Variation in roof forms and the use of accessories such as dormers, when using sloped roofs, and embellished cornices, when using flat roofs, are encouraged.

Variety in building materials is encouraged, so long as the framework of building base, middle and top is evident and wall finishes remain consistent on all sides of buildings that can be seen by the public. Width of modulation should be reflective of the housing units with a maximum of (30') thirty feet to imply historically smaller structural components. Use material changes horizontally and vertically to give identity to internal uses and implied or actual residential units.



**Aerial View Residential**



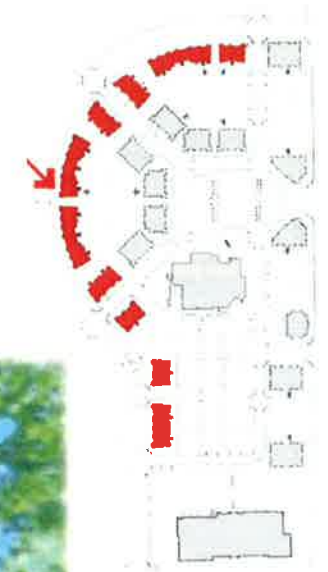
**Building Side Elevation**

**Residential Buildings: 12 Unit Building**



**Unit Entry Elevation**





*Residential Buildings & Community Center along Briggs Drive*



## **Mixed Use District: Residential Buildings - Façade Treatment**

### **Intent of Guidelines: Façade Treatment**

The architectural character of the multi-family residential buildings within the Mixed Use District shall be neo-traditional craftsman.

The façades shall reflect the rhythm of residential units and the variety of spaces within each unit primarily through the amount and type of glazing, façade materials, color, and trim details.

Provide continuity throughout the Mixed Use District residential buildings by establishing the basic framework for the buildings including the rhythm of bay spacing, windows and entryways.

### **Residential Building Heights**

The Mixed Use District residential buildings are encouraged to have a minimum of 10-foot floor – floor heights..

### **Façade Treatment**

Guidelines for the Mixed Use District residential building façades are shown in the following:

**A** *Corner Elements:* Corner elements are encouraged to project a minimum of (24") twenty four inches from the adjacent façades and incorporate varied roof forms and wall materials than those utilized on the adjacent façades.

**B** *Projecting Bays:* Projecting bays are required to project a minimum of (18") eighteen inches from the adjacent façades and incorporate varied roof forms and wall materials than those utilized on the adjacent façades. Projecting bays should aid in reinforcing the desired building massing that is consistent with the desired neo-traditional architectural styles. Projecting bays should convey a sense of rhythm that's reflective of interior residential spaces (e.g. – living rooms, dining rooms.)

**C** *Varied Roof Forms:* Variation in roof forms is required as it relates to and helps define residential building modulation throughout the Mixed Use District. Examples of opportunities to incorporate varied roof forms include: corner elements, projecting bays, and unit or building entries. Roof forms that utilize steeper roof pitches (8/12, 12/12) are encouraged. Also encouraged is the use of contrasting roofing materials at these locations.

**D** *Balconies:* Balconies are encouraged at upper levels along public streets to help activate these façades. Balconies should have a high percentage of transparency. Varied materials, from those on adjacent façades are encouraged. There is no minimum depth from the façade required for balconies. "Balconettes" or "French Balconies," balconies that do not extend significantly past the building façade and are typically defined by iron railings, are encouraged on the upper floors of residential units.

**E** *Trim & Details:* Trim shall be painted wood or fiber cement, (6") six inches (nominal) width minimum. All trim at openings (windows, doors, vents) should be sized to reinforce neo-traditional architectural styles. Trim is also encouraged at each floor level, building corners, projecting bays and corner elements.

**F** *Windows:* Windows shall be predominantly vertically proportioned to reinforce the desired neo-traditional craftsman architectural style and shall be appropriate for the intended uses (larger for living rooms, smaller for bedrooms). Windows can be grouped together, but the individual unit types should remain predominantly vertically proportioned. The use of muntin bars is required. A variety of window opening styles (fixed, single hung, casement, and slider) is acceptable as long as the predominant number of windows for each building remains vertical in proportion. Window materials can vary (vinyl, prefinished aluminum, fiberglass, prefinished wood).

**G** *Transom Windows:* The use of transom windows in living room areas is required to help differentiate these spaces from adjacent apartment spaces (sleeping, kitchen, dining). The use of muntin bars within transom windows is encouraged to aid in reinforcing neo-traditional architectural styles.

**H** *Base, Middle & Top:* Variety in building materials is required, so long as the framework of the building base, middle and top is evident and wall finishes remain consistent on all sides of the buildings that can be seen by the public. Reinforcing a strong base, middle and top through significant material changes (e.g. – masonry to fiber cement siding) at corner elements and projecting bays is encouraged. A greater emphasis on high quality durable materials (masonry, stone, simulated stone) at the base of the buildings is required. A minimum of 50% of the first floor façade must include high quality durable materials.

**I** *Pilasters:* (24") Twenty four inch (minimum) wide pilasters at corner elements and projecting bays are required. The ground floor level of pilasters, are encouraged to be finished in stone, veneer simulated stone, or masonry (veneer brick).

**J** *Walls:* Walls can be finished in stone, veneer simulated stone, veneer brick, or fiber cement siding (shingles, bevel, channel, board & batten).

**K** *Doors to Balconies:* Doors to balconies shall be glazed units and sized appropriately for the building style and scale. Doors can be swing doors or sliding.

**L** *Unit Entries:* The unit or building entries to Mixed Use District Residential buildings should stand apart from adjacent façades through the use of building massing, projecting bays, contrasting roof forms and/or contrasting wall materials and detailing. The entries to these residential buildings should add to the activation of the ground floor plane throughout the Mixed Use District.



**Residential Buildings - Showing Building Entries**

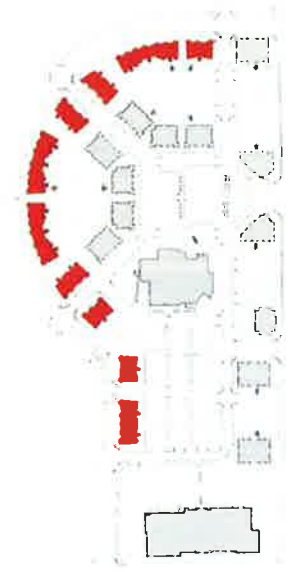
*Mixed Use District: Residential - Facade Treatment*



*Residential Buildings - Front Elevation*



*Residential Buildings - Side Elevation*





**Mixed Use District: Parking Areas**

**Intent of Guidelines: Parking**

Parking should be easy to find, yet unobtrusive to the pedestrian streetscape.

Guidelines will identify a range of appropriate screening devices for the surface parking areas, as well as interior planting options for surface parking lots. The guidelines are illustrative of the requirements that shall be met using the tools described below.

Please see signage guidelines for parking signage, on page 32.

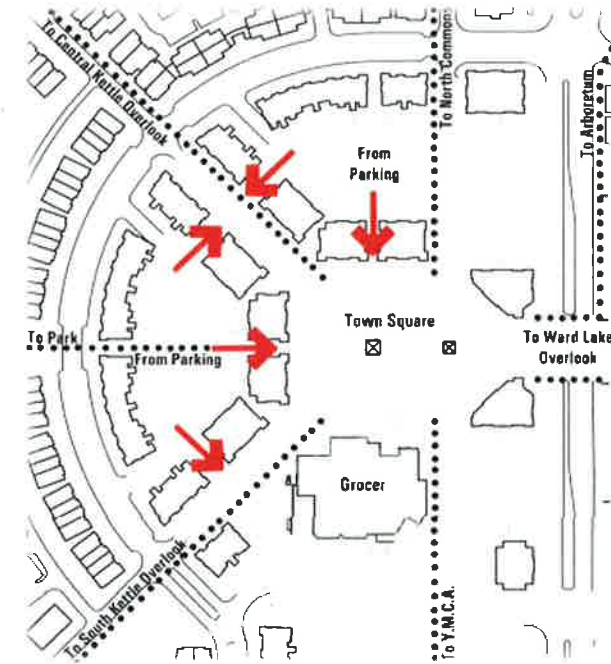
**Off-street Parking -- Surface Lots**

**Screening:** Screen parking from street edge with dense landscaping, low walls or fencing in character with buildings; maintain vehicular and pedestrian security sight lines. The ground plane should be planted with shrubs and groundcovers.

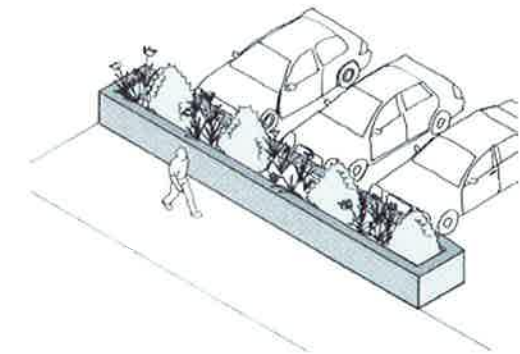
**Landscaping:** Provide canopy trees to provide shade to break up the visual impact of parking area. Explore opportunities to group landscaped areas to create memorable islands, with associated shrub and groundcover understory. Parking areas adjacent to Henderson Boulevard will use berms, shrubs, groundcover plantings or low walls to minimize appearances from the arterial.

**Pedestrian Links**

Pedestrian links are the mid-block pedestrian connections. These are generally organized on an overall radial framework. These generally connect the Town Square to Briggs Boulevard and outward to residential neighborhoods and open space via surface parking lots. Guidelines recommend hardscape, planting, furniture, and lighting along these pedestrian links.



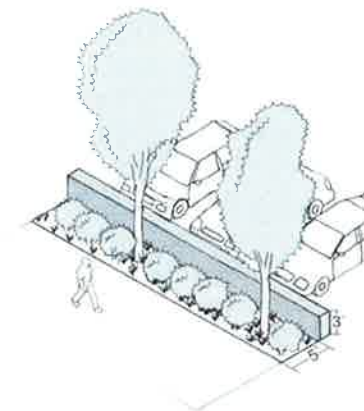
**Pedestrian Links:  
Access to/from Parking Areas**



**Elevated planter made with permanent materials**



**Parking Lots**



**Landscape Strip with Low Wall**  
MIXED USE BUILDING DESIGN GUIDELINES | 28



*View into Town Square*





## Mixed Use District: Site Design & Details

### Intent of Guidelines: Site Design & Details

The purpose of the guidelines are to achieve site design/detail goals. The guidelines are illustrative of the requirements that shall be met using the tools described below.

Provide direction outside of street rights-of-way.

Create a palette of landscaping materials for use in the Mixed Use District.

### Site Planning

TownSquare marks the intersection of several vehicular, pedestrian and visual axes. The site is thus the focal point of the village; it is also the center from which the energy and character of the village radiates outward. The axial relationships, the site orientation, and the land use patterns provide an organizing framework for development of the site. The southern, western and northern edges of Town Square are intended for a high level of commercial activity. The Pavilion has been located at the axial nexus of this area and is intended to be the heart of a more active area of the Town Square. The eastern edge of the Town Square, with the Clock Tower at its axial nexus is intended to be a gathering place for more passive activities.

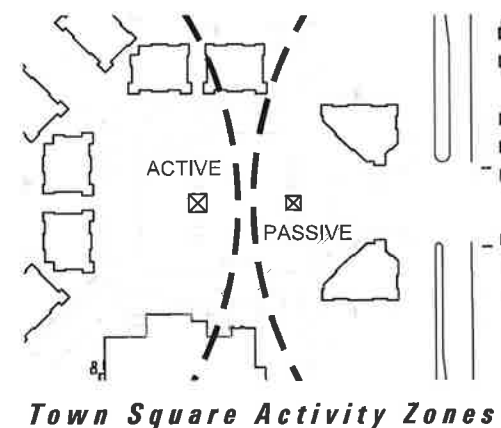
Town Square is officially one acre in size; however the limits of this central gathering and activity space extend beyond these measured boundaries to include the roadway around the Square and the opposite sidewalk. The internal roadway circling the Square is raised to the level of the sidewalk and delineated by paving materials, bollards, and trees. Town Square has been designed to sponsor day-to-day retail activity as well as seasonal community events where the Square in the center of Briggs Village can be closed to vehicles for street fair activities. Annual events such as cider presses, flower shows, plant sales, and garden fairs could become Briggs Village traditions that evoke the history of the site and enhance the community's future.

Surrounding the Square are 24' high (minimum) commercial buildings with even higher corner features that help define the open space and house both retail and office space. Town Square is intended to be an active, community hub for Briggs Village residents and their neighbors. The Village Center and Town Square, specifically, will be a comfortable, family-oriented environment where one can enjoy a cup of coffee, visit with friends, or play checkers in the Square.

Please see the Landscape Design Guidelines for additional discussion on the Mixed Use District.

### Plantings

Create cohesive, simple mass shrub plantings, allow views between shrubs and tree canopy and allow turf in gathering areas. The landscape within the Village Center is urban in character, with hanging baskets, container plantings, and trees planted in tree wells in the sidewalk with ornamental grates. Isolated plantings in the commercial area will be dense, luxurious, and attractive to make an impact in this setting. The landscape design will involve careful use of paving materials, ornamental plants, and street furniture for impromptu meetings with friends or places to sit and enjoy the sun and a good book. Retail uses will be encouraged to make use of the sidewalk for displaying merchandise or provide outdoor dining.



### Hardscape

Town Square will have an elegant quality and an uncomplicated palette of materials: simple yet detailed paving designs and straightforward plant materials that speak to the geologic history on the Briggs Village site, celebrating the six kettles and Ward Lake. Paving materials should be appropriate to building materials in Town Square and suitable for year-around use, including use in the rain.

### Lighting

Lighting within the Village Center will highlight the architecture and delineate pedestrian and vehicular space.

- Pedestrian-scaled light standards of 12' to 15' shall be used throughout all pedestrian areas of the Mixed Use District. All pedestrian-scaled light fixtures shall match the Briggs Village Town Center Standard (see example below).
- Auto/Pedestrian-scaled light standards on major collector streets in Briggs Village (Example: Briggs Drive) shall match the Briggs Village Town Center Standard (see example below).
- Pedestrian-scaled light bollards are encouraged at pedestrian connections through parking lots and other pedestrian connections between commercial buildings throughout the Mixed Use District. The design of these bollards should be consistent with the adjacent pedestrian-scaled light standards.
- All of the above light fixtures shall minimize lighting trespass to adjacent uses/parcels.



Pedestrian-scaled light standard



Auto/Pedestrian-scaled light standard

### Furniture

Provide ample and diverse seating opportunities: incorporate seat walls as appropriate at pavement/planting edge.

Select or design a bench type as a signature piece.

## Mixed Use District: Signage

### Intent of Guidelines

Create a graphic identity for Briggs Village, which visually conveys the desired look and feel for this project. Components of this identity include typeface, materials, colors, symbols and art. Incorporate this identity into a set of graphic guidelines for current and future signage. The guidelines are illustrative of the requirements that shall be met using the tools described below.

Provide general wayfinding and programming showing the type and locations of signs. Detailed sign specifications and message schedules will be included in signage plans in each phase of development.

### Village & Building Identity Signage

Briggs Village identity signage will consist of monument type signs, village directories, kiosks, building mounted signage and freestanding signs.

- Monument type signs would be located at key access points from Henderson Boulevard.
- Village directories would be located at key pedestrian entryways or focal points within the village.
- Building mounted signage would be located in prominent positions, including the tower element and should be consistent with the style of architecture.
- Freestanding signs would be utilized throughout for vehicular and pedestrian directional, identification and regulatory purposes.
- Establish address identification.



### Parking & Directional Signage

Directional and parking signage will be critical since the majority of the parking is located off-street and not visible to drivers.

Parking signage may include freestanding, building mounted, entrance identification, directional, instructional and regulatory signs.

These signs may have prominent locations within the village and along streetscapes in order to assure driving safety, visibility and ease of wayfinding.

### Tenant Signage

#### Purpose:

Establishing tenant signage guidelines is a key element in creating a lively, unique shopping environment at the street level.

- Signage requirements outlined below are intended to supplement the requirements of OMC 18.42 Signs. Where conflict may occur the requirements stated herein shall govern.
- Tenant signage may consist of building signage, banners, blade signage, marquee signs, and awning signage, and may be visible to both vehicle passengers and pedestrians.
- Signage on or below weather protection elements, visible by pedestrians, is strongly encouraged.



#### Requirements:

- a. All building mounted signage must be externally lit.
- b. Building signage must be proportional to the storefront. Signage can be no wider than 2/3's the width of wall segment it is mounted on (25' maximum storefront wall length x 2/3 = 16.67' maximum sign width).
- c. Building signage letters: maximum of 24" high.
- d. Building signage Area: maximum signage area is 1.5 square foot per lineal foot of storefront that sign is mounted on. Logos, symbols, are included in the maximum signage area allowed.
- e. Building signage is allowed on each façade that contains an entry and/or windows associated with the business.
- f. At least one sign is required below weather protection elements, visible by pedestrians, at each business entry.
- g. Window signs: a sign permanently mounted on a window (ex. – neon sign) or permanently painted on the window is allowed and can be considered in addition to building signage allowed. Window signs are limited to 25% of the size of the window.

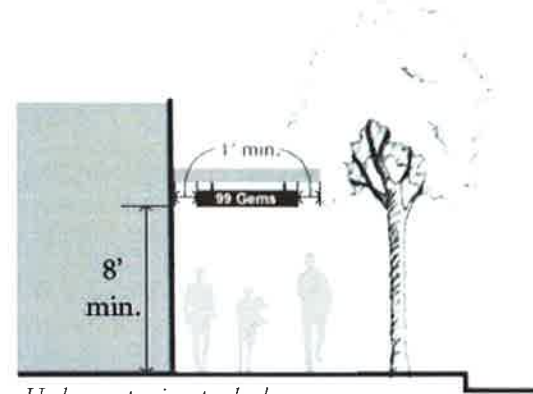


**Mixed Use District: Signage continued**

- h. Projecting signs: 10' minimum clearance from grade except when mounted under a marquee or weather protection element, minimum clearance is 8'. Sign cannot project from the face of the building more than 3'. Blade signage under a weather protection element must be kept 1' from face of building and 1' back from edge of weather protection element.
- i. Awning signage: maximum letter height is 12"
- j. Signage lighting: minimize light spillage on adjacent businesses, residences or properties.
- k. Neon signage below the line of weather protection is allowed.
- l. Sandwich board signage: one per business; see OMC 18.42.180.
- m. Signage Maintenance: all signage must be kept fully lit (where applicable), clean and in "like new" condition at all times.



Blade signage

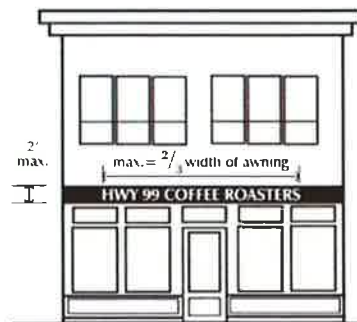


Under canopy sign standards

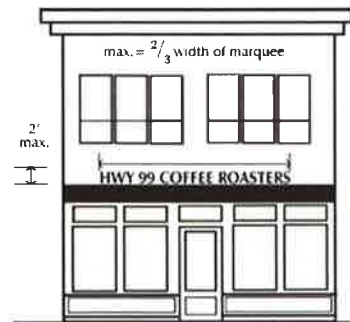


Window signs are limited to 25% of window

Window sign standards



Sign placed on front of marquee



Sign placed on top of marquee



Sign placed on awning

**Prohibited Signage:**

- i. Internally lit signs.
- ii. No freestanding signs.
- iii. No back lit awning signage.
- iv. Animated signs not allowed.
- v. No roof mounted signs.

*Multi-Family "Clustered" Apartments: View from Briggs Boulevard*





## BUILDING DESIGN GUIDELINES: MULTI-FAMILY HOUSING

### Overall Design Intent

The multi-family housing buildings will be significantly involved in “setting the theme” or character of the village given its prominent location on Yelm Highway, Henderson Boulevard, and Briggs Boulevard. Serving roughly half of the village’s residents, the buildings must function as well on the inside as they appear on the outside. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below. The following goals apply to this important housing type:

- Create a continuous or rhythmic street wall in an effort to enclose and visually narrow the street.
- “People the street” by providing outdoor living spaces such as porches and balconies along the street facade. Reflect the scale and identity of individual living units in the facade of the building through the use of projecting bays, columned pediments or covered entrance porches.
- Incorporate key elements of the neo-classical and colonial revival design styles chosen as the defining character of the village. (See definitions of design styles on page 56.)
- Create desirable living units through:
  - Minimal common internal walls
  - Maximum exterior wall area for lighting, air and privacy
  - Few common entries and little “pass-by” traffic along building walkways.

### Types of Units

Four multi-family housing types are planned for Briggs Village that will both meet key goals for creating the desired streetscape and building design character.

*“Clustered” apartments* are multi-family units having an interior surface parking court, surrounded by three-story, 12-unit apartment buildings. This is probably the most like apartments currently found in Thurston County.

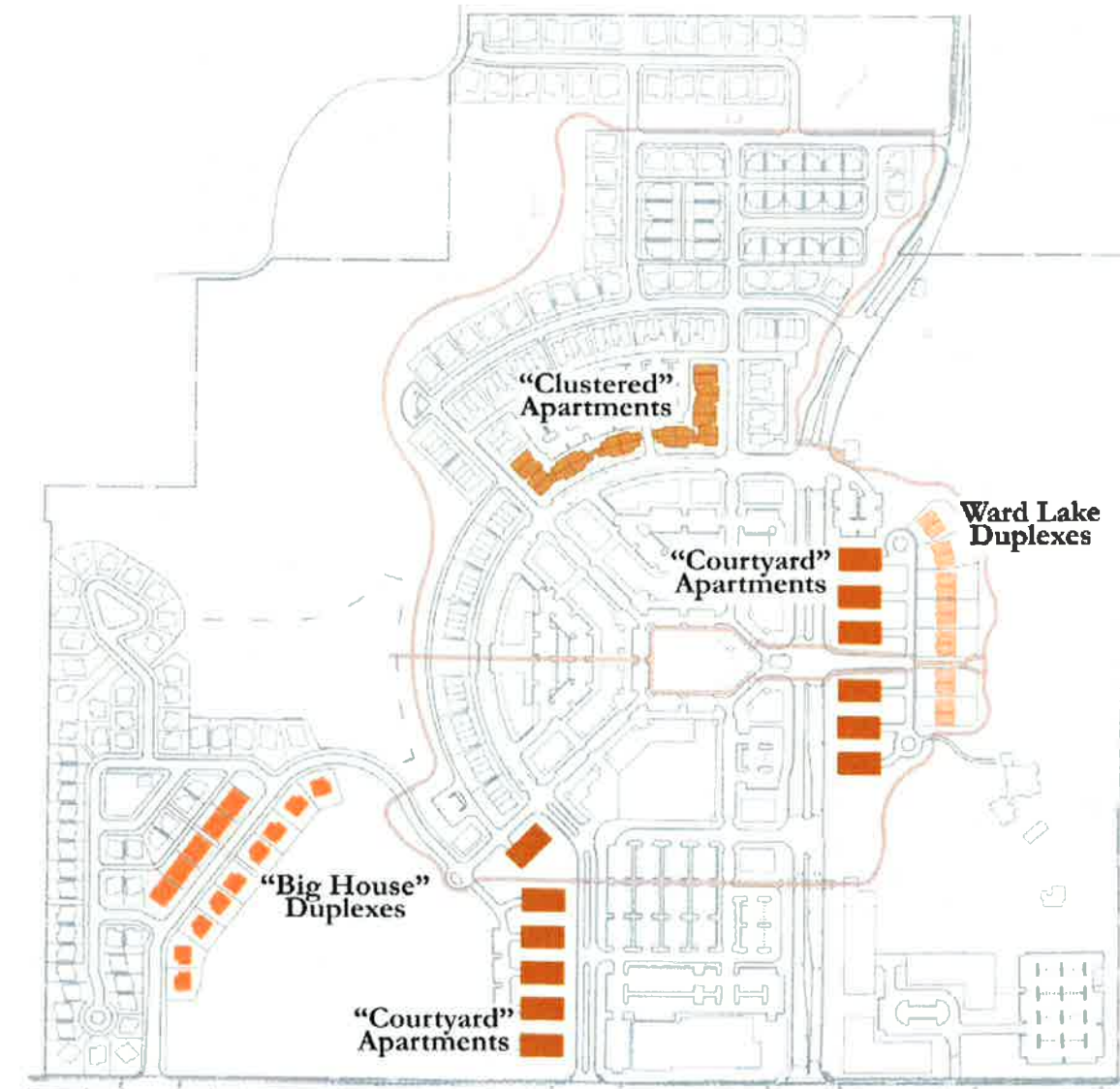
*“Courtyard” apartments* are multi-family units having a significant amount of parking beneath the buildings, and suggest a relatively high level of amenity. These projects are prominently located within the village and may enjoy views of open space and Ward Lake.

*“Big House” duplexes* are located in the West Residential neighborhood and intended to look more like a large, single family home than the traditional, two-unit duplex.

*“Ward Lake” duplexes* are planned for the lots near Ward Lake and the Arboretum. These two-unit homes are planned to include a larger setback with a landscaped buffer along the neighborhood lane.

Remark re: multi-family/single-family in Town Square? Senior Living?

ADD DUPLEXES TO MAP



**Location of Multi-Family Housing Types**

*"Clustered" Apartments: Boulevard/Street Elevation*





## **Multi-Family Housing: “Clustered” Apartments**

### **Intent of Guidelines: Building Massing Modulation & Roofs**

Create a continuous or rhythmic street facade in an effort to enclose and visually narrow the street. Incorporate key elements of neo-classical and colonial revival styles (e.g., pediments, pilasters and columns and symmetrical massing).

### **Building Height**

Clustered apartment buildings shall be three (3) stories in height, counting from the fronting street.

### **Building Articulation & Modulation**

The buildings will be comprised of a base, middle and top.

Modulation will reflect individual living units, and be expressed through a rhythm of gable roof forms, pediments and classical pilasters and columns, which create porches, balconies and entries. The modulation shall be in residentially appropriate 16 to 32 foot intervals and should be reinforced by the careful, symmetrical placement of windows and doors. A minimum 4 foot depth is suggested for building modulation. All building elements, including color, should reinforce the rhythm of bays along the building facade.

### **Roof Forms & Pitch**

Gable and hip roof forms, typical to the classical style, are encouraged, with no minimum or maximum roof pitch (8:12 typical). Boxed or enclosed soffits are required.

### **Chimneys**

Chimneys are intended to emphasize roof profile. Chimney size, height and placement should reinforce the rhythm of bays and balconies. Integrate chimney materials with building materials. No exposed pre-fab metal flues or flue caps allowed.

### **Intent of Guidelines: Facade Treatment**

Provide or suggest outdoor living spaces (e.g., porches and balconies) along the street facade reflect individual living units in the facade of the building through the use of bays, pediments or entries to form the porches, balconies and bays.

### **Entryways, Doors & Windows**

Placement of doors and windows will reinforce the rhythm of the bays and balconies, and likely be strongly symmetrical.

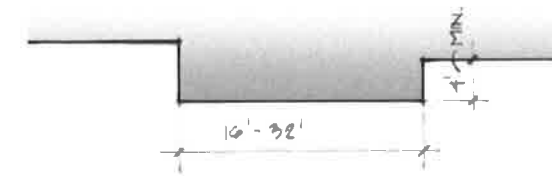
Doors and windows should be of a type and proportion consistent with the building style; vertically proportioned window openings shall be designed to provide shade and shadow detail, paneled doors with relites are typical of the neo-classical and colonial revival styles.

### **Porches, Balconies & Arcades**

Open balustrades, railings only; no enclosed porches or half walls. Use newel posts to break-up long expanses of railings.

### **Exterior Stairs**

Stairs are intended to provide safe, private access to upper story units. Stairs will be integrated into the building, that is, no “fire-escape-like” stairwells. Stairs are shown located between buildings and have defined, landscaped landings.



**Diagram of Building Modulation for Apartments**

*"Clustered" Apartments: Radial Street Elevation*





## ***Multi-Family Housing: "Clustered" Apartments***

### ***Intent of Guidelines: Building Materials & Details***

Provide a consistent standard/level of material quality and workmanship throughout the multi-family projects, while allowing project identity and variety.

### ***Materials***

***Siding:*** Wood, cementitious composition, masonry or simulated masonry (e.g., stucco or synthetic). Rusticated ground floor treatments include: masonry or simulated masonry. Wall finishes shall remain consistent on all sides of buildings that can be seen by the public.

***Trim:*** Consistent with building style.

***Doors:*** Paneled doors with fanlights, divided lights and sidelights typical to style.

***Garage Doors:*** Paneled to coordinate with entrance doors and provide a level of detail consistent with style.

***Roof:*** Metal, composition, treated wood and tile.

***Balustrades & Railings:*** Open balustrades and railings of metal or wood.

### ***Color***

Color should be used to emphasize building modulation, individual units and architectural details. Values should generally comply with the following scheme: roof and base of building as darkest value, body of building as medium value and trim as lightest value.

*"Clustered" Apartments: Site Planning*





## ***Multi-Family Housing: "Clustered" Apartments***

### ***Intent of Guidelines: Community Facilities***

Community facilities (e.g., sales or managers' offices, recreation & fitness, laundry) may be located either within living unit structures or in a separate structure. If separate, ensure building design is consistent with main building elements.

Create facilities that are safe and accessible to multi-family residents.

### ***Site Planning***

Locate central to residents, or at entry to project. Consider solar access when orienting building on site, especially for lighting of communal area (e.g., fitness, pool, lounge).

### ***Massing, Modulation & Roof Forms***

Design consistent with main living unit buildings; minimize building footprint in order to maximize outdoor open spaces.

### ***Storage Facilities, Carports***

Use same building materials as main living unit buildings or screen heavily.

### ***Intent of Guidelines: Site Details***

Ensure safety, security and privacy for residents in the multi-family projects.

Design site to minimize need for fences and walls that isolate residents from neighbors and streets.

Provide buffering of parking and nuisances (e.g., lighting and trash) for neighboring properties.

Provide location and material type criteria for site planning. Design of mailboxes and signage will be provided at land division and building permit approval phases.

### ***Parking***

Locate parking in interior surface lots or underneath the building, away from the streets and with access from alleys or lanes.

Provide 5-6 foot, lighted walkways (paved or crushed rock) from parking areas to buildings, including community facilities.

### ***Landscaping***

***Parking Areas:*** Landscape parking areas consistent with Mixed Use District parking landscaping standards. Provide screening with hedges; no low walls required.

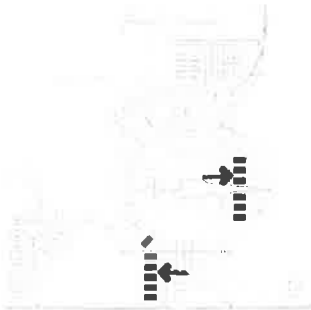
***Front & Side Yards:*** Front and side yards that abut a street should be visually open to the street. Walls or fencing is not recommended.

***Screening:*** Screen trash areas with fencing consistent with City codes. Plant materials to be evergreen, consistent with site-wide materials.

***Walls, Fencing:*** Minimize site walls or fencing. Walls or fencing may be provided where safety, security warrants. Walls or fencing recommended for screening only in tight areas, where landscape/plant materials alone are inadequate to provide sufficient screening. Walls or fencing to be in character with buildings. Use walls in conjunction with plantings: vines on vertical surfaces, ground plane to be planted with shrubs and groundcovers.

***Mailboxes, Trash:*** Locate mailboxes convenient to the residents and postmen. If grouping multiple mailboxes, provide covered, lighted access. Structure design to be consistent with materials, color, style of main buildings.

*Multi-Family "Courtyard" Apartments: Side Elevation*





## ***Multi-Family Housing: "Courtyard" Apartments***

### ***Overall Intent of Guidelines:***

The orientation of the three-story buildings at right angles to the street creates semi-public, landscaped courtyards between buildings. These courtyards are intended to enhance a sense of community among residents who share them as entryways to their homes, while softening the transition between buildings and providing a view corridor for the adjacent streetscapes.

The building guidelines for the "courtyard" apartments are largely the same guidelines for the "clustered" apartments. They are repeated here to reduce potential confusion regarding apartment type and to create a complete set of guidelines for each type.

### ***Intent of Guidelines: Building Massing, Modulation & Roofs***

Create a street facade with a repetitive rhythm reflecting the theme-setting architectural expression of the village while setting an appropriate scale along the entrance streets to the village in an effort to enclose and visually narrow the street.

Incorporate key elements of neo-classical and colonial revival styles (e.g., pediments, columns and symmetry).

### ***Building Height***

"Courtyard" apartments shall be three (3) stories in height, counting from the fronting street. The buildings may be stepped back to allow upper story views. For example, along Henderson Boulevard, the building height may step down toward the lake.

### ***Building Articulation & Modulation***

The buildings will be comprised of a base, middle and top.

Modulation will reflect individual living units and be expressed through a rhythm of gable roof forms, pediments and classical columns, which create porches, balconies and entries. The modulation shall be in residentially appropriate 16 to 32 foot intervals and should be reinforced by the careful, symmetrical placement of windows and doors. A minimum 4 foot depth is suggested for building modulation. (See page 30 for a diagram of the modulation.) All building elements, including color, should reinforce the rhythm of bays along the building facade.

### ***Roof Forms & Pitch***

Gable and hip roof forms, typical to the classical style, are encouraged, with no minimum or maximum roof pitch (8:12 typical). Boxed or enclosed soffits are required.

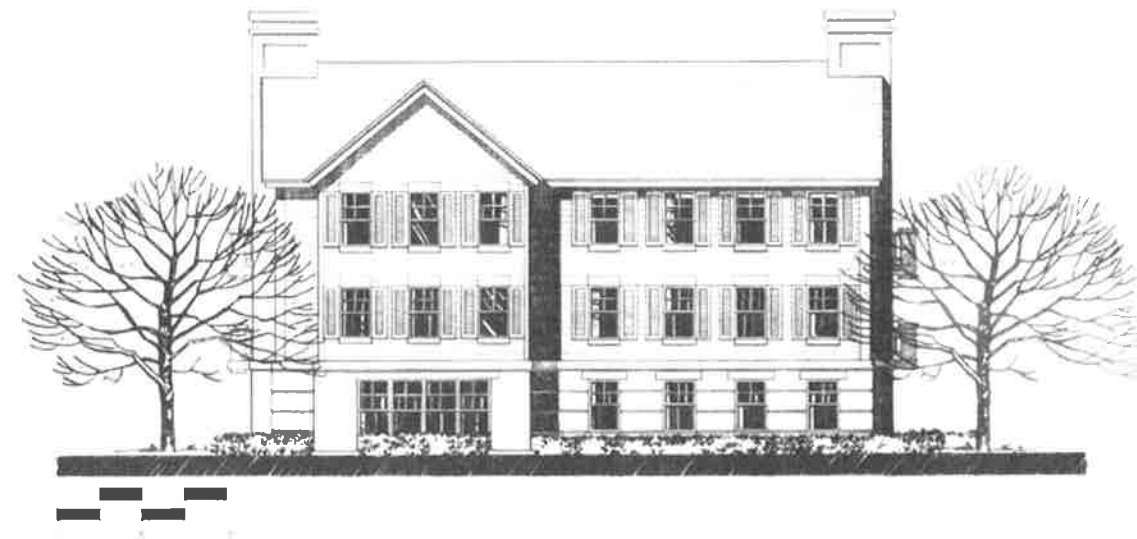
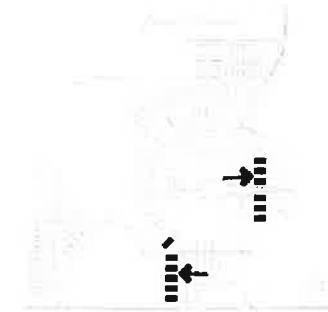
### ***Chimneys***

Chimneys are intended to emphasize roof profile. Chimney size, height and placement should reinforce the rhythm of bays and balconies. Integrate chimney materials with building materials. No exposed pre-fab metal flues.



***"Courtyard" Apartments: View Between Buildings***

*Multi-Family "Courtyard" Apartments: Street Facade Variation*





## ***Multi-Family Housing: “Courtyard” Apartments***

### ***Intent of Guidelines: Facade Treatment***

Provide or suggest outdoor living spaces (e.g., porches and balconies) along the street facade to reflect individual living units in the facade of the building through the use of bays, pediments or entries to form the porches, balconies and bays.

### ***Entryways, Doors & Windows***

Placement of doors and windows will reinforce the rhythm of bays and balconies, and likely be strongly symmetrical.

Doors and windows should be of a type and proportion consistent with the building style; vertically proportioned window openings shall be designed to provide shade and shadow detail, paneled doors with relites are typical of the neo-classical and colonial revival styles.

### ***Porches, Balconies & Arcades***

Open balustrades, railings only; no enclosed porches or half walls. Use newel posts to break-up long expanses of railings.

### ***Exterior Stairs***

Stairs are intended to provide safe, private access to upper story units. Stairs will be integrated into the building, that is, no “fire-escape-like” stairwells. Stairs are shown located between buildings and have defined, landscaped landings.

### ***Intent of Guidelines: Building Materials & Details***

Provide a consistent standard/level of material quality and workmanship throughout the multi-family projects, while allowing project identity and variety.

### ***Materials***

***Siding:*** Wood, cementitious composition, masonry or simulated masonry (e.g., stucco or synthetic). Rusticated ground floor treatments include: masonry or simulated masonry. Wall finishes shall remain consistent on all sides of buildings that can be seen by the public.

***Trim:*** Consistent with building style.

***Doors:*** Paneled doors with fanlights, divided lights and sidelights typical to style.

***Garage Doors:*** Paneled to coordinate with entrance doors and provide a level of detail consistent with style.

***Roof:*** Metal, composition, treated wood and tile.

***Balustrades & Railings:*** Open balustrades and railings of metal or wood.

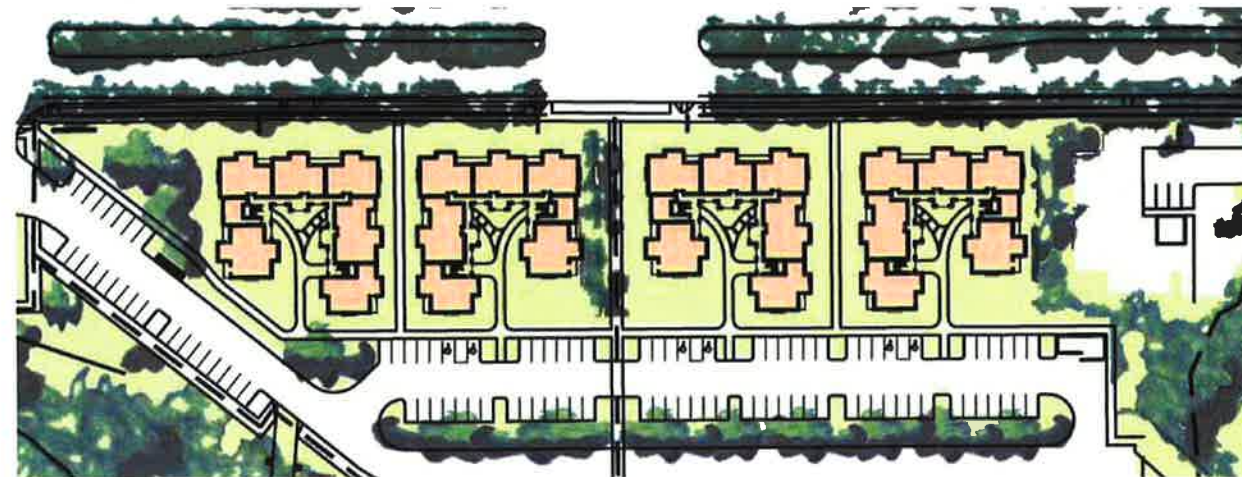
### ***Color***

Color should be used to emphasize building modulation, individual units and architectural details. Values should generally comply with the following scheme: roof and base of building as darkest value, body of building as medium value and trim as lightest value.

*"Courtyard" Apartments: Site Planning*



DRAWING NOT TO SCALE



DRAWING NOT TO SCALE



## ***Multi-Family Housing: “Courtyard” Apartments***

### ***Intent of Guidelines: Community Facilities***

Community facilities (e.g., sales or managers’ offices, recreation & fitness, laundry) may be located either within living unit structures or in a separate structure. If separate, ensure building design is consistent with main building elements.

Create facilities that are safe and accessible to multi-family residents.

### ***Site Planning***

Locate central to residents, or at entry to project. Consider solar access when orienting building on site, especially for lighting of communal area (e.g., fitness, pool, lounge).

### ***Massing, Modulation & Roof Forms***

Design consistent with main living unit buildings; minimize building footprint in order to maximize outdoor open spaces.

### ***Storage Facilities, Carports***

Use same building materials as main living unit buildings or screen heavily.

### ***Intent of Guidelines: Site Details***

Ensure safety, security and privacy for residents in the multi-family projects.

Design site to minimize need for fences and walls that isolate residents from neighbors and streets.

Provide buffering of parking and nuisances (e.g, lighting and trash) for neighboring properties.

Provide location and material type criteria for site planning. Design of mailboxes and signage will be provided at land division and building permit approval phases.

### ***Parking***

Locate parking in interior surface lots or underneath the building, away from the streets and with access from alleys or lanes.

Provide 5-6 foot, lighted walkways (paved or crushed rock) from parking areas to buildings, including community facilities.

### ***Landscaping***

***Parking Areas:*** Landscape parking areas consistent with Mixed Use District parking landscaping standards. Provide screening with hedges; no low walls required.

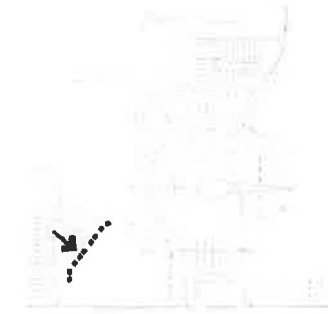
***Front & Side Yards:*** Front and side yards that abut a street should be visually open to the street. Walls or fencing is not recommended.

***Screening:*** Screen trash areas with fencing consistent with City codes. Plant materials to be evergreen, consistent with site-wide materials.

***Walls, Fencing:*** Minimize site walls or fencing. Walls or fencing may be provided where safety, security warrants. Walls or fencing recommended for screening only in tight areas, where landscape/plant materials alone are inadequate to provide sufficient screening. Walls or fencing to be in character with buildings. Use walls in conjunction with plantings: vines on vertical surfaces, ground plane to be planted with shrubs and groundcovers.

***Mailboxes, Trash:*** Locate mailboxes convenient to the residents and postmen. If grouping multiple mailboxes, provide covered, lighted access. Structure design to be consistent with materials, color, style of main buildings.

*"Big House" Duplex Elevation*





## **Multi-Family Housing: Duplexes**

### **Overall Design Intent**

Duplexes are multi-family units in city zoning, but townhome-like in character. Duplex Homes include two types: “Big House” duplexes and “Ward Lake” duplexes. Both duplex types are envisioned to blend into the single-family residential aesthetic; most “Big House” duplexes will have alley access, which should help in creating the street appearance of large, single homes while “Ward Lake” duplexes are set back from a smaller, more wooded lane.

### **“Big House” Duplexes**

#### **Overall Design Intent**

“Big House” duplexes lining the west entry road into the village are intended to closely resemble “big houses,” in order to fit into a single-family detached housing neighborhood.

Ways to achieve this “big house” look include asymmetrical massing, placing the second entry in the side yard. These units necessarily require wider lots. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

#### **Intent of Guidelines: Building Massing & Roof Forms**

“Big House” duplexes will fit into the single-family neighborhoods by adopting typical single-family roof configurations, utilizing asymmetrical massing and entrance placement and generally disguising the fact that these are two-unit buildings. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

#### **Building Height & Modulation**

“Big House” duplexes will be a maximum of two (2) stories in height; stories shall be counted from the highest point of the lot.

Significant building modulation is needed for the “Big House” duplexes in order to diminish the apparent size and scale of the two-unit building. Modulation may be used to downplay the second entryway to the unit. Garages will also be downplayed by locating them at the side or underneath the units. Shared driveways are encouraged to reduce the amount of paving and curb cuts needed to serve the units, and reinforce the idea of single unit buildings.

#### **Facade Treatment & Building Details**

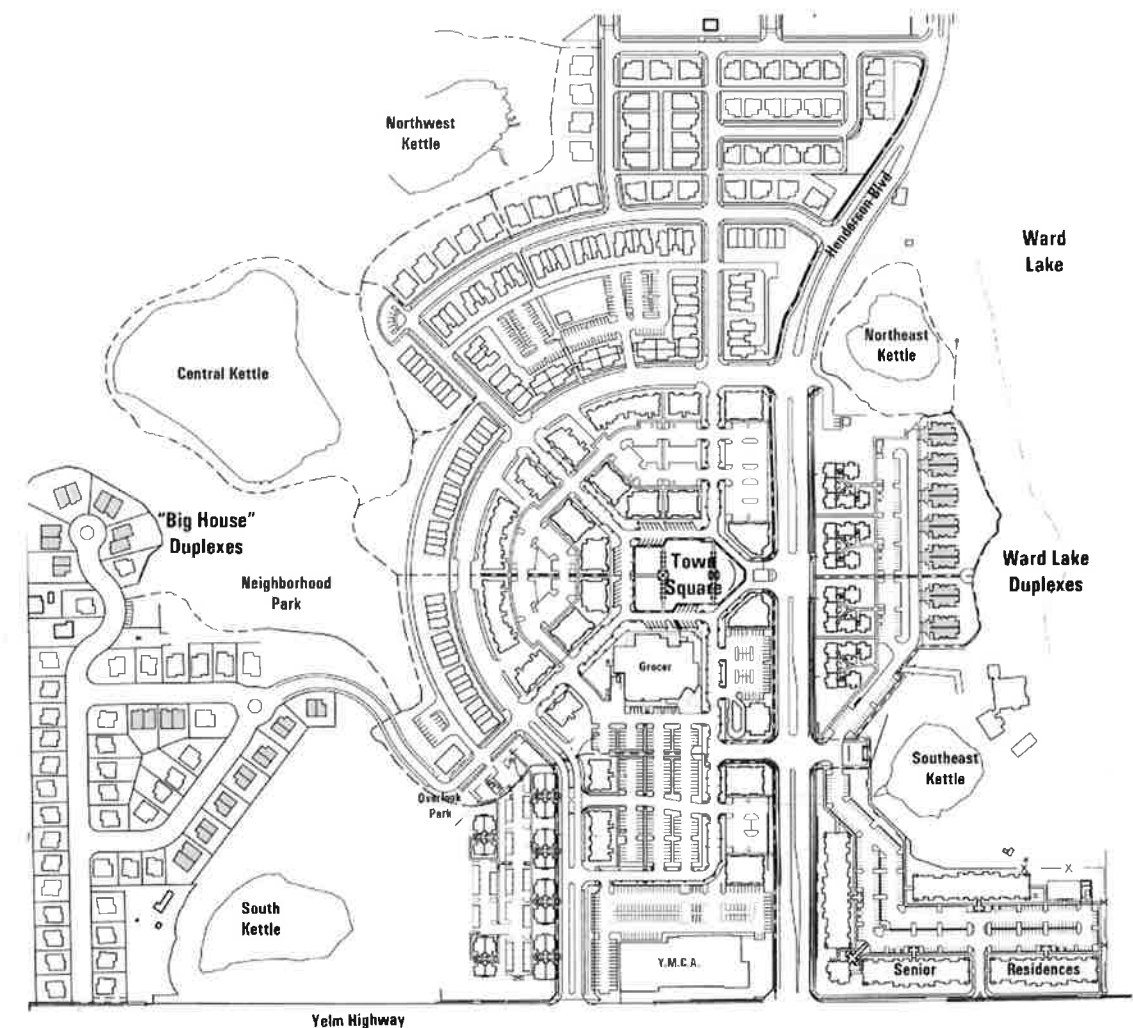
Provide a consistent standard/level of material quality and workmanship throughout the duplexes, while allowing living unit identity and variety.

### **Entryways, Doors & Windows**

Doors and windows to be of a type and proportion consistent with the building style; vertically proportioned divided light windows, paneled doors with side lights and transoms.

### **Porches, Balconies & Arcades**

Open balustrades, railings only; no enclosed porches or half walls. Railings of metal or wood.



**Location of Duplex Homes**

*"Big House" Duplex Variation*





## **Multi-Family Housing: “Big House” Duplexes**

### **Building Materials & Color**

**Siding:** Wood, composition, masonry or simulated masonry (e.g., stucco or synthetic). Wall finishes shall remain consistent on all sides of buildings that can be seen by the public.

**Trim:** Consistent with building style.

**Roof:** Standing seam metal, composition, shingle and treated wood.

**Chimneys:** Chimney materials should utilize masonry, simulated masonry (stucco) or wood/composition siding to differentiate chimney from the rest of the building. No exposed pre-fab metal flues.

**Colors:** Color should be used to reinforce the illusion that these are single-family dwellings.

### **Site Details**

Ensure safety, security and privacy for residents in the multi-family projects.

Provide location and material type criteria for site planning.

Allow for design of mailboxes, signage at land division and building permit approval phases of development.

### **Parking**

Locate parking behind, beside or beneath the units, using alley access where possible.

### **Landscaping**

**Parking Areas:** Screen parking areas from communal open spaces. See plant list for materials.

**Front & Side Yards:** Consider site as one house in development of front and side yards. Compose walk or walks and plantings with idea to providing unified identity to building facade. Landscape treatment should be in keeping with single-family detached homes.

**Screening, Fencing:** Fencing permitted along side yards and back yards where alley is provided only. No front yard fencing.

**Mailboxes, Trash:** Locate mailboxes within units or in groups of two boxes minimum. Trash shall be located on alley, where provided, or within units and brought to curb for pickup.

## **Ward Lake Duplexes**

### **Overall Design Intent**

The duplex neighborhood overlooking Ward Lake is planned to allow a wide diversity of housing style, like the single-family neighborhoods, and to also allow an orientation away from the street and towards the lake.

The streetscape of the single-family neighborhood is replaced with a smaller, more wooded lane. An open space easement or tract is planned to run along the edge of the lane to provide a landscaped buffer to the garages that serve these units. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

### **Range of Housing Styles**

The range of housing styles is the same as for single-family detached housing. (See page 66 for definition of styles.)

### **Building Heights & Roof Forms**

“Ward Lake” duplexes are limited to a maximum height of two (2) stories; stories shall be counted from the highest point of the lot. If designed for senior home buyers, buildings are likely to locate most of the living area on the ground floor, with guest units on a second story.

Like the single-family housing, a variety of roof forms may be used, although the range of roof pitches may be widened, to allow lower pitched roofs along the lake edge.

### **Building Modulation**

Recessing the garages is not critical to the streetscape for these units, due to the landscape buffer along the lane.

### **Entryways, Doors & Windows**

Open gates, columns or trellises are required for each driveway from the lane, to suggest the sense of entry to each lot/building. There are no prescribed locations for building entries.

Doors and windows to be of a type and proportion consistent with the building style.

### **Porches, Balconies & Arcades, Siding, Trim, Roof, Chimneys and Color**

Please see single-family housing guidelines.

### **Site Details: Landscaping**

Landscaping of the buffer along the lane should follow the style of the Arboretum. View corridors and tree thinning along Ward Lake will follow the guidelines of the tree plan. Fencing is allowed only for side and rear yards.

*"Boulevard" Townhomes: View from Briggs Boulevard*





## BUILDING DESIGN GUIDELINES: SINGLE FAMILY TOWNHOMES

### *Overall Design Intent*

The single family townhomes are important in providing a transition in density, from multi-family to single family neighborhoods.

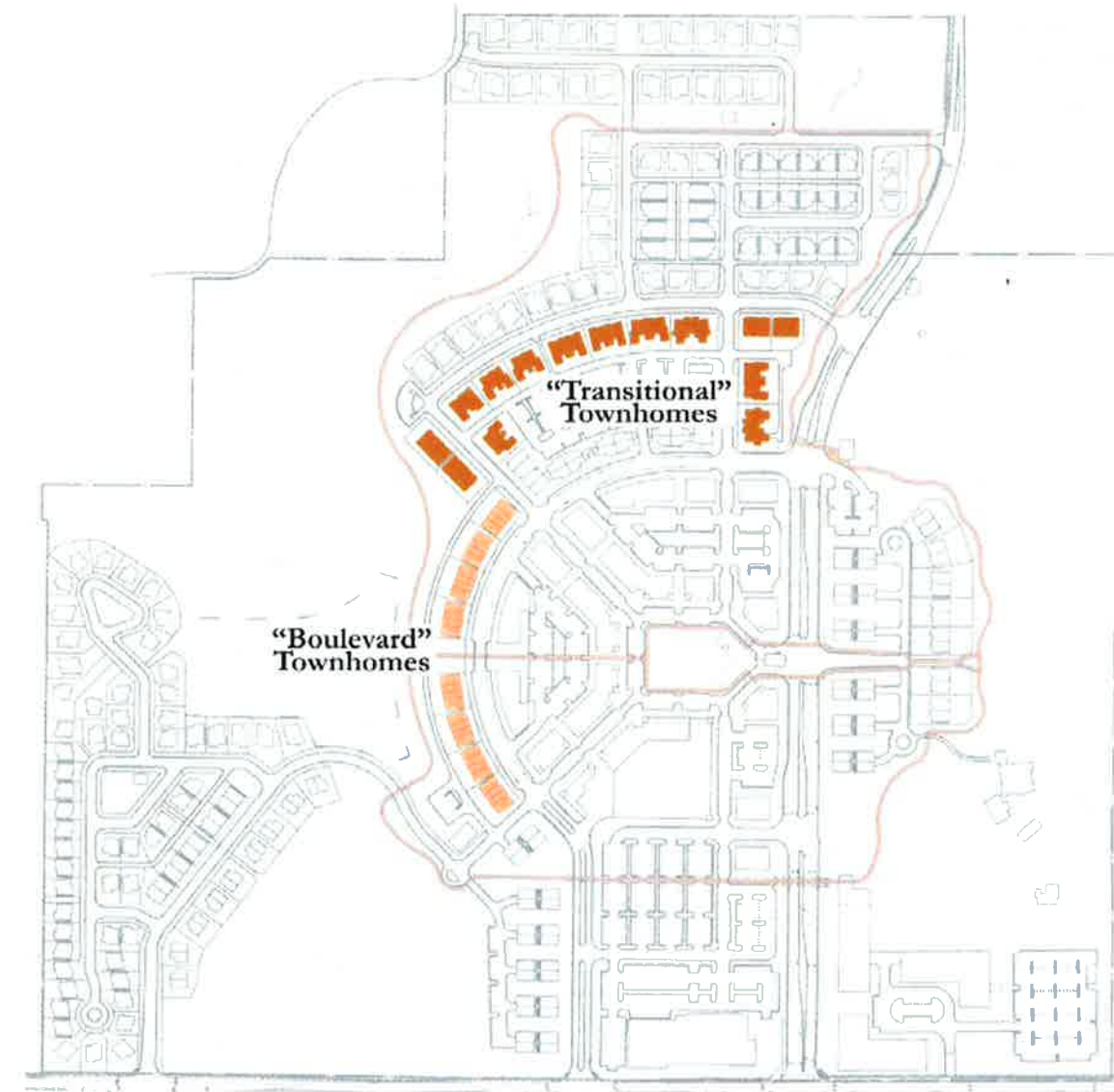
Two types of townhomes are planned for Briggs Village that will meet key goals for creating the desired streetscape and building design character, depending on their location. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

### *“Boulevard” Townhomes*

The four-unit townhomes that line the internal Briggs Boulevard are intended to provide a strong street wall, emphasizing the building’s height with 3<sup>rd</sup> floor dormers and minimizing facade modulation along the street edge. Townhome units may reflect a fairly uniform choice of porch roofs and color within any one building.

### *“Transitional” Townhomes*

The three- and four-unit townhomes that face single-family detached homes are intended to complement their neighbors, by lowering rooflines, softening roof forms, and modulating the front facade with the use of porches. A more varied color scheme than used for the “Boulevard” townhomes may be appropriate for townhomes fitting in with the single-family neighbors.



**Townhome Locations**

*"Boulevard" Townhome Variations: View from Briggs Boulevard*





## ***Single Family: “Boulevard” Townhomes***

### ***Intent of Guidelines: Building Massing, Modulation & Roof Forms***

Adapt townhomes to the local neighborhood and streetscape conditions (i.e., the multi-family neighbors vs. single family detached homes and boulevard street vs. the local arterial).

Incorporate key elements and colonial revival of neo-classical design styles chosen as the defining character of the village.

### ***Building Heights & Roof Forms***

“Boulevard” townhomes will be a minimum of two (2) stories and a maximum of three (3) stories in height. Stories shall be counted from the highest point of the lot. Three-story units shall emphasize their building height with 3<sup>rd</sup> story dormers. The first floor is slightly raised above street level. Parking underneath the buildings on sloping sites may enable 2-3 story building heights along the street front. Gabled roofs may be aligned with ridges perpendicular to the street, to emphasize the roof line. Chimneys should be ganged and used to emphasize the roof form, rhythm of individual units.

### ***Building Modulation***

The amount and types of building modulation will vary by type of townhome. All building modulation should be reinforced by the careful, symmetrical placement of windows and doors. There is no minimum depth suggested for the modulation.

“Boulevard” townhomes are intended to create a strong street facade; a minimal amount of modulation may be necessary, potentially involving only the front porches and entries to each unit.

### ***Intent of Guidelines: Facade Treatment & Building Details***

Provide a consistent standard/level of material quality and workmanship throughout the townhomes, while allowing living unit identity and variety.

### ***Entryways, Doors & Windows***

Doors and windows to be of a type and proportion consistent with the building style; vertically proportioned windows, paneled doors with side lights or transoms are typical.

### ***Porches, Balconies & Arcades***

Porches and balconies should have open railings of painted wood or metal consistent with the architectural style.

### ***Building Materials***

***Siding:*** Wood, composition, masonry or simulated masonry (e.g., stucco or synthetic). Wall finishes shall remain consistent on all sides of buildings that can be seen by the public.

***Trim:*** Consistent with building style; no butt end joints.

***Roof:*** Standing metal seam, composition, shingle and treated wood.

***Chimneys:*** Integrate chimney materials with building materials. No exposed pre-fab metal flues.

### ***Color***

Color should be used to emphasize building modulation, individual units and architectural details. Values should comply with the following scheme: roof and base of building as darkest value, body of building as medium value, trim as lightest value. Metal elements to be painted dark.

*"Boulevard" Townhome Elevation*





## ***Single Family: "Boulevard" Townhomes***

### ***Intent of Guidelines: Site Details***

Ensure safety, security and privacy for residents in the townhome projects.

Provide location and material type criteria for site planning,

Allow for design of mailboxes, signage at land division and building permit approval phases of development.

### ***Parking***

Locate parking behind, beside or beneath the units, using alley access where possible.

### ***Landscaping***

***Parking Areas:*** Screen parking areas from communal open spaces. See plant list for materials.

***Front & Side Yards:*** Consider site as one house in development of front and side yards. Compose walk or walks and plantings with idea to providing unified identity to building facade. To add feeling of depth to front yard and to provide better transition from public to private, develop landscape in "layers" - low hedge at street edge, then groundcovers, then foundation plantings at building, with specimen trees as an intermediate layer.

***Screening, Fencing:*** Fencing permitted along side yards and back yards where alley is provided only. No front yard fencing.

***Mailboxes, Trash:*** Locate mailboxes within units or in groups of two boxes minimum. Trash shall be located on alley, where provided, or within units and brought to curb for pickup.



## ***"Boulevard" Townhome Variation***

*"Transitional" Townhomes facing Single Family Detached Housing*





## **Single Family: "Transitional" Townhomes**

### **Intent of Guidelines: Building Massing, Modulation & Roof Forms**

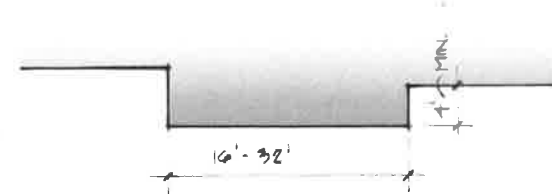
Adapt the scale and modulation of the townhomes to the local neighborhood and streetscape conditions (i.e., single family detached homes and local arterial).

Incorporate key elements of colonial revival and neo-classical design styles chosen as the defining character of the village.

### **Building Height, Roof Forms & Modulation**

"Transitional" townhomes feature a single family influenced massing, including a lowered roofline and building heights of two (2) stories. Stories shall be counted from the highest point of the lot. Dormers shall be dropped to the second story level; variation in building form and detail should emphasize the scale of the individual dwelling unit.

Building modulation should be reinforced by the careful, symmetrical placement of windows and doors. A minimum depth of 4'-0" is suggested for the modulation, although decisions regarding such dimensions will be made on a case-by-case basis.



**Diagram of Building Modulation**



**"Transitional" Townhome Elevation**



*BLANK*



## **Single Family: "Transitional" Townhomes**

### **Intent of Guidelines: Facade Treatment & Building Details**

Provide a consistent standard/level of material quality and workmanship throughout the townhomes, while reinforcing living unit identity and variety.

#### **Entryways, Doors & Windows**

Doors and windows to be of a type and proportion consistent with the building style; vertically proportioned windows and paneled doors with side lights and transoms.

#### **Porches, Balconies & Arcades**

Porches and balconies should have open railings of painted wood or metal consistent with the chosen architectural style.

#### **Building Materials**

**Siding:** Wood, composition, masonry or simulated masonry (e.g., stucco or synthetic). Wall finishes shall remain consistent on all sides of buildings that can be seen by the public.

**Trim:** Consistent with building style; no butt end joints.

**Roof:** Standing metal seam, composition, shingle and treated wood.

**Chimneys:** Integrate chimney materials with building materials. No exposed pre-fab metal flues.

#### **Color**

Color should be used to emphasize building modulation, individual units and architectural details. Values should comply with the following scheme: roof and base of building as darkest value, body of building as medium value, trim as lightest value. Metal elements to be painted dark.

### **Intent of Guidelines: Site Details**

Ensure safety, security and privacy for residents in the townhome projects.

Provide location and material type criteria for site planning.

Allow for design of mailboxes, signage at land division and building permit approval phases of development.

#### **Parking**

Locate parking behind, beside or beneath the units, using alley access where possible.

#### **Landscaping**

**Parking Areas:** Screen parking areas from communal open spaces. See plant list for materials.

**Front & Side Yards:** To add feeling of depth to front yard and to provide better transition from public to private, develop landscape in "layers" - low hedge at street edge, then groundcovers, then foundation plantings at building, with specimen trees as an intermediate layer.

**Screening, Fencing:** Fencing permitted along side yards and back yards where alley is provided only. No front yard fencing.

**Mailboxes, Trash:** Locate mailboxes within units or in groups of two boxes minimum. Trash shall be located on alley, where provided, or within units and brought to curb for pickup.





## **BUILDING DESIGN GUIDELINES: SINGLE FAMILY DETACHED HOMES**

### ***Overall Intent of Guidelines***

The single family neighborhoods are envisioned to be a pleasing combination of a well-ordered streetscape, with a strong street facade and rhythm of trees and lighting and a variety of housing styles that extends beyond the neo-classical and colonial revival styles. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

### ***Streetscape***

On-street parking, vertical curbs, 8-foot wide planting strips with regularly placed street trees and streetlight standards and sidewalks are combined to create an intimate and layered streetscape.

The 50-70 foot wide lots will ensure a consistent massing of buildings; most homes will maximize their lot frontage. A consistent 12-20 foot front yard setback will ensure that the housing will form a strong street facade and enclose the 53-foot street right-of-way.

See Streetscape Design Guidelines for street sections and descriptions.

### ***Range of Housing Styles***

The range of acceptable architectural styles is broadened for the single family homes in order to:

- Adapt to smaller sites and steep topography
- Appeal to a broader market of home buyers
- Allow for diversity within a well-ordered plan and blend with nearby housing.

The classical, colonial and Georgian architectural styles of the townhomes and multi-family housing will be expanded to include classically influenced craftsman and Tudor styles. These pre-modern styles may be adapted to fit into the village, using roof forms, porch details and massing similar to the classical and colonial styles. Local examples of this variety of housing styles are found in older neighborhoods throughout Puget Sound, including Wallingford, Queen Anne and Montlake communities in Seattle and the South Capitol neighborhood in Olympia.

### ***Housing Styles***

The chosen housing styles for Briggs Village are intended only to set a direction for design. “Pure” versions of the housing styles are not expected and styles will need to be adapted to site conditions, lot sizes and conventional building materials.

#### ***Neo-Classical***

Neo-classical styles of the 1920s are primarily hip-roofed models, with full-height porches supported by classical columns. Doors and windows are typically placed symmetrically on the front facade, although housing layouts for smaller lots in the Briggs Village may lead to asymmetrical placements of entryways. Windows are typically vertically proportioned.

#### ***Colonial Revival***

Colonial Revival refers to the renewed interest in Early English and Dutch houses of the Atlantic seaboard, such as Georgian and Adams models. The predominant building forms are one and two story, hip-roofed and side gabled houses. The windows are typically symmetrically placed on the front facade and often consist of double-hung, paired windows with divided light upper sashes. Doors are highlighted with a decorative crown, side lights, or an extended porch with slender columns.

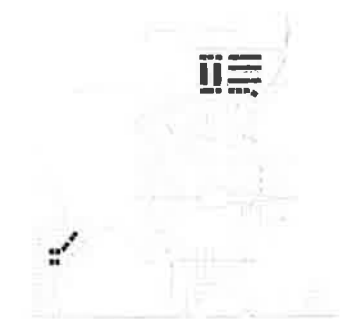
#### ***Craftsman***

One of the early indigenous American architectural styles, craftsman style homes are typically one to one and one-half stories, with low pitched front, side or cross gabled roofs and wide eaves. Porches often extend the full width of the facade, with splayed columns and massive piers. Roof rafters are often exposed at overhangs, with supporting brackets added as structurally expressive detail.

#### ***Tudor***

A popular housing styles during the 1920s and 1930s that typically involves a steeply pitched roof, usually side gabled and a prominent cross gable on the front facade. Windows are typically tall and narrow, grouped and with multi-paned glazing. Ornamental false half timbering is also common.

*Single Family Streetscape: 50-foot wide Lots with Alley Access*





## ***Single Family Detached Homes***

### ***Intent of Guidelines: Building Massing, Modulation & Roof Forms***

To create a cohesive streetscape, with consistent building setbacks, massing and roof pitches while providing a variety of housing styles.

To both encourage pedestrian friendliness and protect residents' privacy through careful placement of porches, doors, windows and garages.

To encourage outdoor living spaces (e.g., porches and balconies) along the street.

### ***Building Heights & Roof Forms***

Single family detached homes shall be a maximum of two (2) stories in height; stories shall be counted from the highest point of the lot.

Buildings shall be raised from the street elevation where possible and consistent with neighboring homes. On sites level with the sidewalk, first floor elevations should be at least 12 inches above grade.

A variety of roof forms may be used, with roof pitches ranging from moderate to steeply pitched (i.e., minimum 8:12 pitch). Roof forms of porches, dormers and garages should be consistent with chosen architectural style and primary structure.

Roof overhangs should be sized to provide a shadowline on the facade, protect sidewalls, in accordance with chosen architectural style.

### ***Building Modulation***

The most critical building modulation is the setback of the garage from the front wall of the house on those lots with street (and not alley) access. A minimum 4-foot modulation is required for those lots.

Front facades greater than 32 feet in width will include some form of modulation, including porches, to reflect a building massing that is consistent with homes on the smaller lots and to provide sheltered outdoor, street-oriented living spaces.

### ***Dormers***

The use of dormers is encouraged to provide light and ventilation in 1-1/2 and 2 story homes; dormers should reflect the chosen architectural style.

### ***Porches***

Porches should be a minimum 6 feet in depth, to provide usable, covered outdoor area.

*Single Family Streetscape: 60-foot plus wide Lots with Recessed Garages*





## ***Single Family Detached Homes***

### ***Intent of Guidelines: Facade Treatment & Building Materials***

To provide a consistent standard/level of material quality and workmanship throughout the single family neighborhood, while accommodating a variety of styles.

### ***Entryways, Doors & Windows***

Devote a significant amount of the front facade to windows and the entryway.

Doors are required from all primary, street-facing porches.

Doors and windows to be of a type and proportion consistent with the building style; vertically proportioned windows, paneled doors with side lights and transoms.

### ***Siding***

Materials include: wood, cementitious composition, masonry or simulated masonry (e.g., stucco or synthetic). Wall finishes shall remain consistent on all sides of buildings that can be seen by the public.

### ***Trim***

Required on all windows and doors, consistent with building style.

Mitered corners on trim boards on all corners.

### ***Roof***

Fascia and rake boards and shingle molding; extend rake boards to capture ends of gutters.

Materials include standing seam metal, composition, shingles or treated wood.

### ***Chimneys***

Chimney materials should utilize masonry, simulated masonry (stucco) or wood/composition siding to differentiate chimney from the rest of the building. No exposed pre-fab metal flues.

### ***Color***

Color should be used to emphasize building modulation and architectural details, left to building or customer to allow variety throughout neighborhood.

Minimum three colors per home. Metal elements to be painted dark.

*Single Family Streetscape: 70-foot wide Lots with Basement Parking Option*





*Single Family Streetscape: 70-foot wide Lots with Garages at Rear of Lot*



*Single Family Streetscape: 70-foot wide Lots with Recessed Garages*





## ***Single Family Detached Homes***

### ***Intent of Guidelines: Site Details***

To promote safety, security and privacy for residents.

To address issues that potentially compromise streetscapes, such as street-facing garages, curbcuts, setbacks and fencing.

To protect views from common open space areas, as well as from homes, by identifying appropriate backyard fencing and screening materials.

### ***Parking***

Locate parking behind, beside or beneath the units, using alley access where possible. For those streets without alleys, the locations of garages will be consistent for the entire street, to ensure a regular street tree and lighting pattern. (Please see streetscape diagrams for various garage options and their impact on tree spacing.)

Garage location will likely be dependent upon topography, sloping sites may preclude garages in back of lot or basement garages.

Lots with street access only: do not “pair” driveways. Maintain a regular rhythm of street trees and driveways. Sharing of driveways in order to reduce size of curbcut is permitted, if desired.

### ***Landscaping***

***Front & Side Yards:*** Front and side yards that abut a street should be visually open to the street. Walls or fencing is not recommended. Plantings should be low and varied. A variety of trees are recommended to add depth and diversity to the neighborhood.

***Backyards:*** Backyards may be designed to suit residents’ tastes.

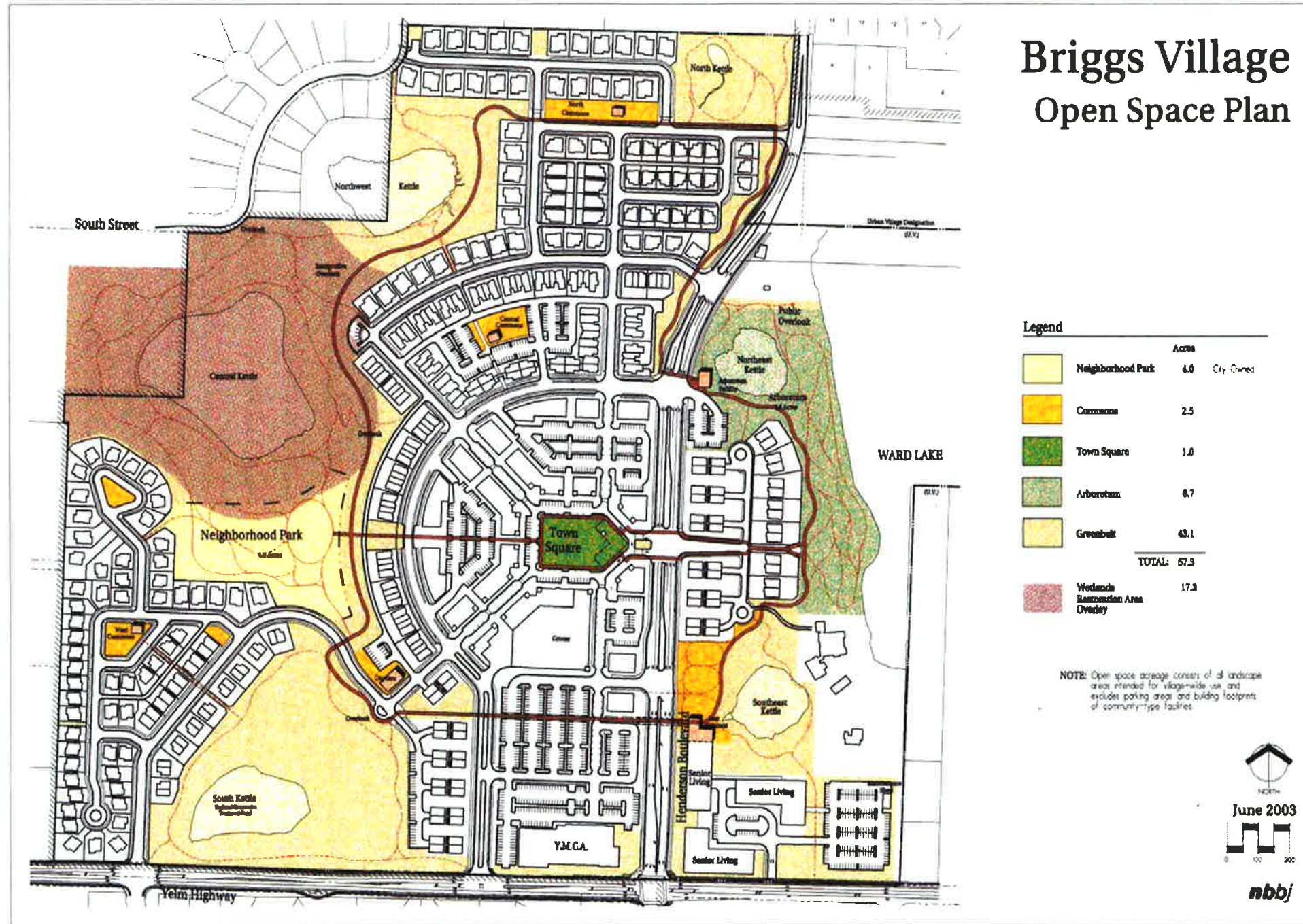
### ***Fencing***

***Front Yard:*** No fencing.

***Side Yard:*** Solid privacy fencing (6’ height), in keeping with building permitted between adjacent property buildings and 10 feet to rear of house.

***Rear Yard:*** Solid privacy fencing (6’ height), in keeping with building along property lines on alley sites. Fencing type shall be consistent within block.

Transparent fencing (4’ height) of open ornamental metalwork, or black vinyl chain link, permitted along side yards, back of house, to rear property line where solid privacy fencing is not warranted (where rear yard directly abuts open space).



## BRIGGS VILLAGE LANDSCAPE DESIGN GUIDELINES

### *Overall Design Intent*

The Landscape Design Guidelines are intended to meet several goals for the project's community spaces: the village landscape, the special natural features on-site and the circulation system:

- Create a distinctive landscape throughout the village.
- Reflect the Briggs Family history and site heritage as a nursery through the types and variety of plant materials.
- Build on Olympia's "Olmstead" tradition in the design and planting of the greenbelt area.
- Restore and enhance natural features of the site, including the Central Kettle's function as a forested wetland.
- Create an "urban forest" -- keep, protect and maintain existing trees wherever possible and plant a new forest on new streets and within open space areas.
- Allow the identities of the neighborhoods and Town Square to emerge through street trees, lighting fixtures and paving.
- Highlight the village trail system through coordinated plantings, lighting and furniture, thereby providing continuity and connection throughout the village.

### *Use of Guidelines*

These guidelines are meant to direct the development of communal open spaces and rights-of-way within the village. Detailed guidelines for privately held lots, such as within the multi-family projects, are included in the Building Design Guidelines.

### *Landscape Design Vision*

Briggs Village will be a community where people will live together, work together, and play together. The master planning efforts, the architecture and the landscape design are intended to yield a welcoming environment. Great design and attention to detail throughout the site will produce an enduring, comfortable community setting. The Briggs Village landscape will be a key component to achieving this vision.

*The Briggs Village landscape will support the vision of family and health.*

The landscape design throughout the Village will offer opportunities for recreation, community gatherings of all sizes, exploration, botanical and horticultural education and enjoyment of a beautiful setting. Over fifty acres of open space will be dedicated to the residents, neighbors and visitors of Briggs Village. Miles of trails will be used for exercise and connection to the community. The Neighborhood Park and the four commons provide settings for informal sports and competition.

*The Briggs Village landscape will articulate the Nursery history.*

The Briggs Nursery heritage of the family and of the site will be remembered through the greenhouse architecture of the Town Square Covered Area as well as grid and grove plantings recalling the lines of cans and greenhouses once found throughout the property. Rhododendrons developed by Bruce Briggs will be featured in the Briggs Village landscape and celebrated as part of the site's past.

*The Briggs Village landscape will perform as an arboretum.*

While the official Arboretum is limited to the western shore of Ward Lake, the entire Village will function as an arboretum setting, using plant materials and interpretive signage. A variety of lush plants will be used to create a beautiful environment while educating the pedestrian on botanical history and horticultural practices.

Briggs Village is envisioned as a neo-traditional neighborhood with a sense of permanence and place. This community and the landscape that enhances it will only grow stronger and more beautiful as it matures.



*View North into South Kettle & South Kettle Shelf*



## MASTER LANDSCAPE CONCEPT

### Landscape Design Character

Briggs Village is envisioned and designed to be a community that will reflect the Briggs family commitment to family and health:

- Residential neighborhoods are designed around ‘commons’ areas that will support community gatherings and activities;
- The central location of the Village Center – including a grocer, retail stores, and offices – provides conveniences within easy walking distance (less than ¼ mile for most residents);
- Almost 40% of the site has been designated as open space, including Town Square, the six kettles, and a City park;
- The Central Kettle will be involved in a significant wetland restoration effort, covering 17.6 acres; and
- In addition to the YMCA, fitness opportunities include more than three miles of trails that are planned throughout the Village to promote jogging, walking, and exploration.

The master landscape concept for Briggs Village is intended to support this vision of family and health as well as reflect on the history of the Briggs family and the site, both having been involved in the nursery trade since 1912. The project includes the development of an Arboretum along the shores of Ward Lake; while the formal Arboretum is limited to 6.6 acres, all 137 acres should articulate the nursery history and perform as an informal arboretum by incorporating a variety of lush plantings and providing an opportunity to learn about flora in the Pacific Northwest.

In addition to the arboretum treatment, the Briggs Village landscape concept is further defined by three key components linking together the neighborhoods within the Village. These landscape linkages involve:

- the “shelf,” or relative plateau connecting the kettles;
- east-west pedestrian connections that tie together the Village neighborhoods; and
- streetscape hierarchy, providing circulation through the site.

Together, these landscape linkages - via topography, trails, sidewalks, vehicles and bicycles, define one’s experience of Briggs Village. The following pages describe these three key linkages and the landscape design tools that help achieve the design intent for the whole site and the application of these tools to specific areas within the village. These guidelines are illustrative of the requirements that shall be met using the tools described below.

### Landscape Linkages: “The Shelf”

“The shelf” is the relatively flat area embracing and linking the six kettles on-site. The shelf acts as the interface between nature and culture, between the kettles and the people places. This topographic feature is unique to Briggs Village; the shelf tells the story of both the geological history of the site and the operational history of the nursery. Grading and planting design will celebrate the shelf formation and its role as the common green-belt, allowing all residents and visitors to experience this transition area. The shelf hosts the trail network, several outlooks into the kettles, the Arboretum and the 4-acre Neighborhood Park.



**“The Shelf” Diagram**

*South Kettle Linkage, Looking West*



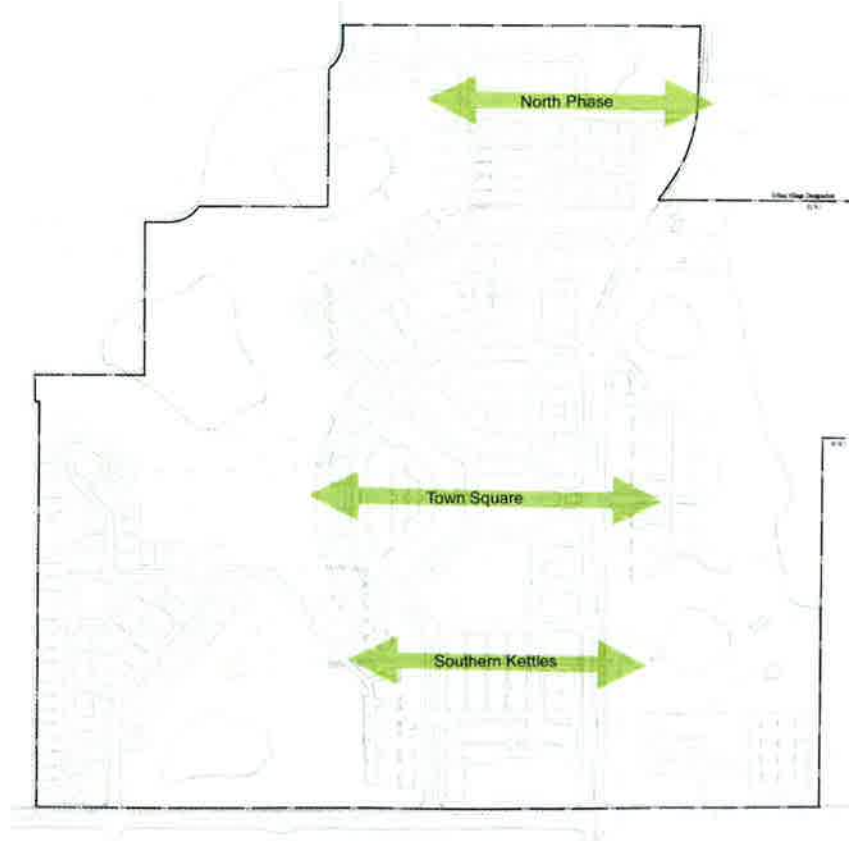


## Master Landscape Concept

### Landscape Linkages: East-West Connections

The three east-west connections are crucial linkages in unifying Briggs Village east and west of Henderson Boulevard. While the development of the village will likely occur in phases, the success of the community will depend partially on the cohesion of all the pieces. Henderson Boulevard interrupts the otherwise contiguous village community, separating the East Residential Phase from the other Briggs Village neighborhoods. These east-west linkages will help overcome this division and unite the development phases.

- North Phase Link - The northernmost link is part of the main loop trail in the North Residential Phase and incorporates the North Commons.
- Southern Kettles Link - The southernmost link is also part of the main loop trail, connecting the South Kettle overlook to the East Commons and Senior Housing development.
- Town Square Link - The central, primary east-west connection links the Neighborhood Park, across Briggs Boulevard into the Mixed Use District, to Town Square and across Henderson Boulevard to the Arboretum overlook in the East Residential Phase.



East-West Connections Diagram

### Landscape Linkages: Streetscape Hierarchy

Streets within Briggs Village are organized as a hierarchy of street types based on traffic demand, road width and purpose. The resulting streetscapes are therefore designed to serve different functions and roles within the Village. The street hierarchy is based on three basic street types:

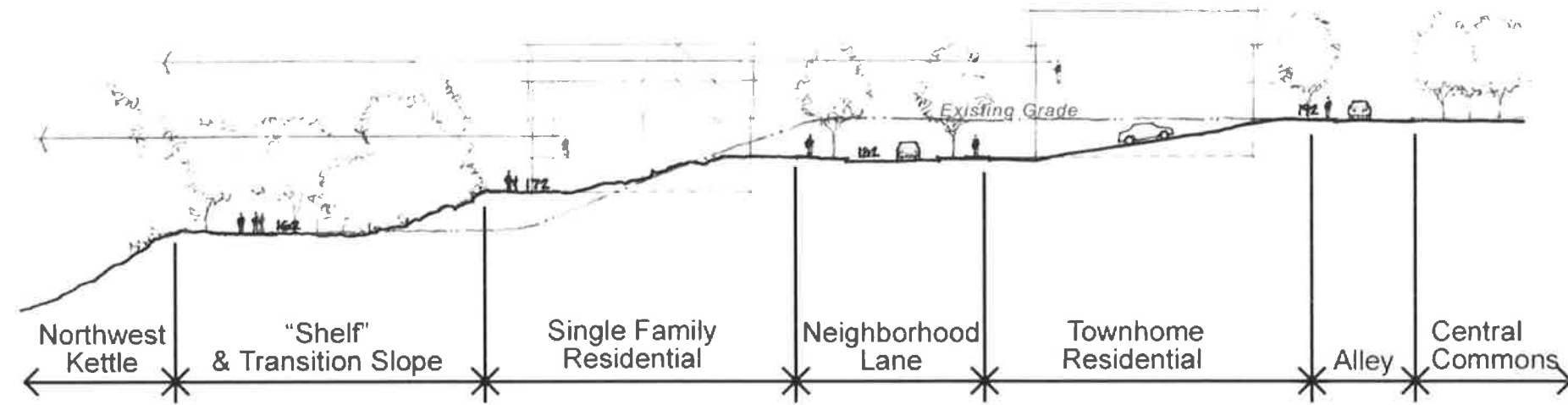
- Grand Avenues - the largest in scale, moving the bulk of the traffic either through or adjacent to Briggs Village. Grand avenues include Henderson Boulevard and Yelm Highway, and to some extent, Briggs Boulevard.
- Great Streets - the axial roadways that connect the residential neighborhoods with Town Square.
- Neighborhood Lanes - the remaining streets that are smaller in scale, serving the local circulation needs of each Village neighborhood.

For further details on each streetscape type, see page 74.

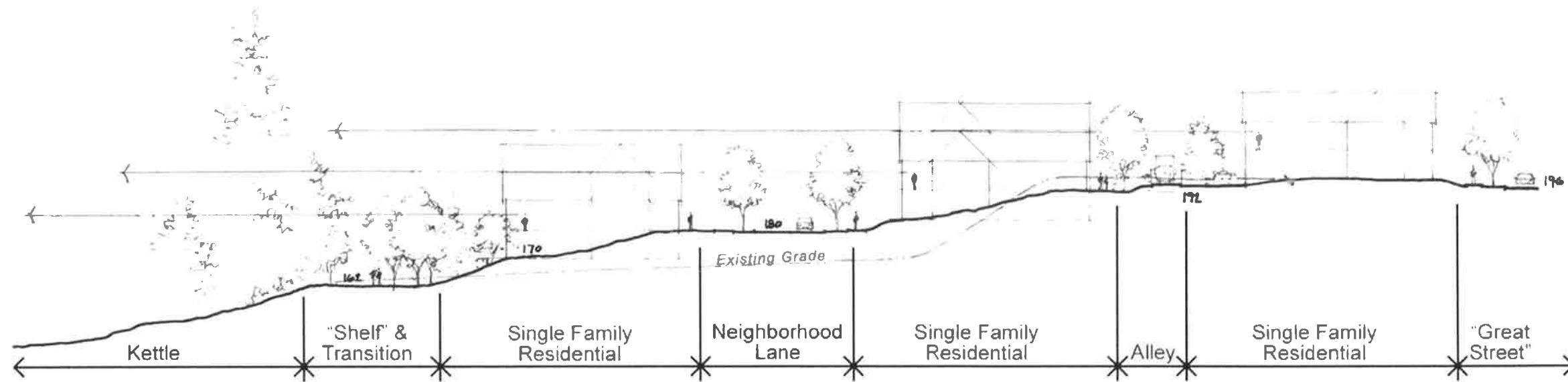


Streetscapes Diagram

**Grading Design: Typical Sections through the North Residential Phase**



**SECTION A**



**SECTION B**

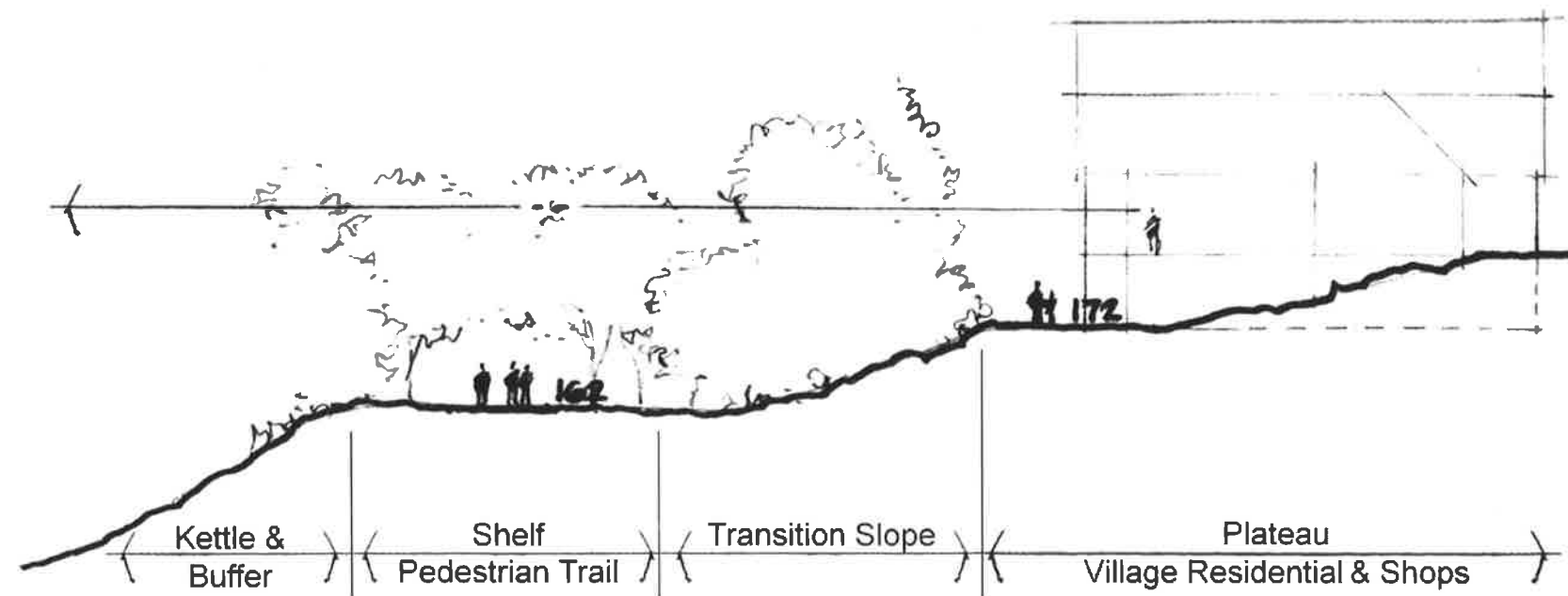
## LANDSCAPE DESIGN TOOLS

### Grading Design

Development of the site will entail grading in order to meet the engineering and construction needs but also in order to design the experience as one moves through the neighborhoods and the Village Center. For example, the relationship between the kettles, the trail network and the residential lots must be carefully detailed so that the 'shelf' is gracefully expressed and tells the story of the site's history. Grading design will help enhance the community character of the Village and "grounding" the architecture into the site, rooting the structures into the land.

The 'shelf' serves as the common greenbelt, hosting the main loop trail as well as the Neighborhood Park and the Arboretum, is a significant component of the Village grading design. As each phase of development is designed and constructed, particular attention will be paid to this topographic area and the role it will serve in articulating the history of the site and providing a transition from the kettles to the built, people places. Conceptually, the section below illustrates the intent of the 'shelf' as a midway point, or interface, between nature and culture.

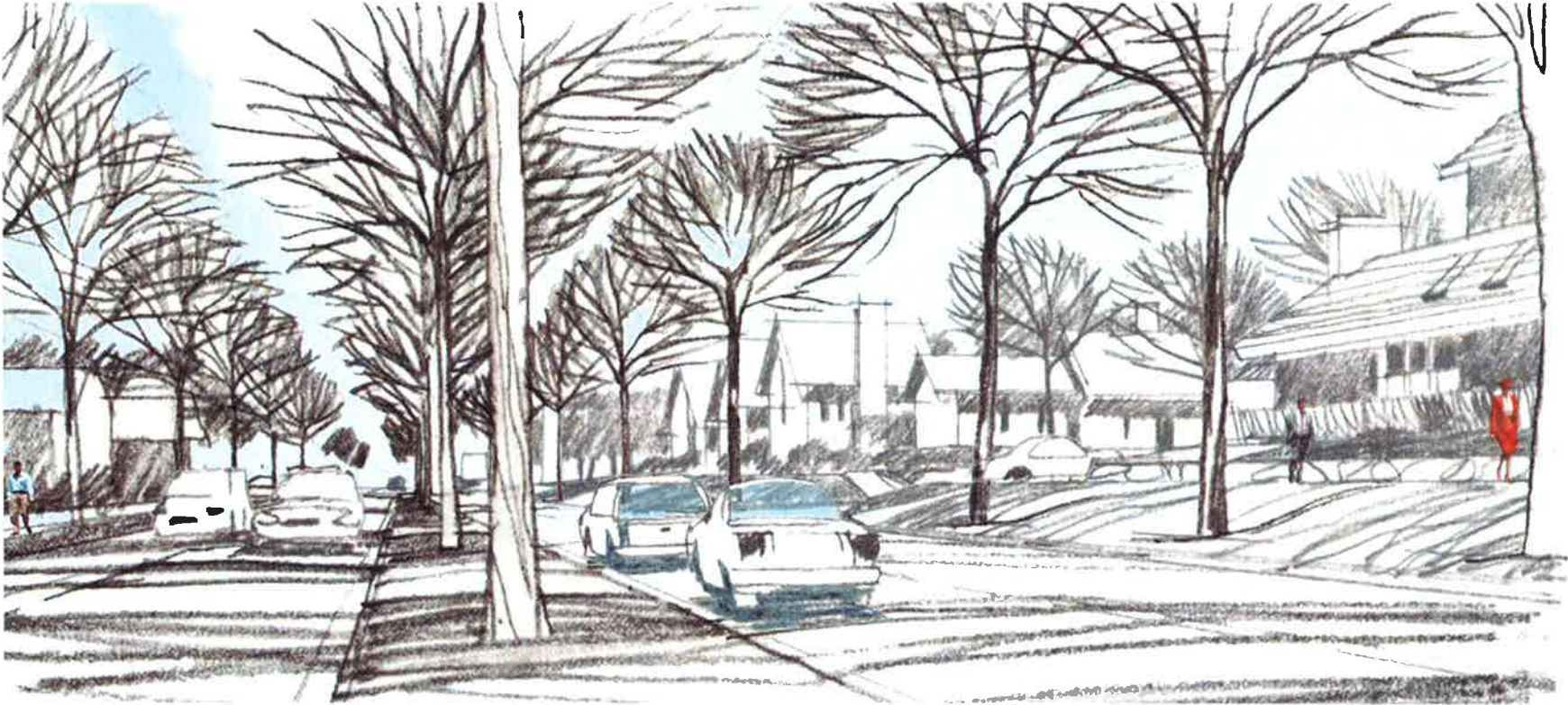
Detailed grading design plans will be developed for each phase of Briggs Village. The conceptual sections illustrated on these pages demonstrate the grading design intent for the 'Shelf' and the North Residential Phase.



**Typical 'Shelf' Grading Section**



*Henderson Boulevard, Looking South*



## Landscape Design Tools

### Streetscapes

Street design significantly determines the scale and speed of traffic as well as the visual and aesthetic impacts of the neighborhood environment. Reducing the width of streets can help control vehicular speeds, minimize impervious surfaces, and create a more intimate and welcoming landscape environment. By doing so, Briggs Village further meets the City of Olympia's goals for pedestrian-friendly streets. The design of the following streetscapes is intended to minimize impervious surfaces, reduce light pollution and conserve energy.

Each of the three basic street types: grand avenues, great streets, and neighborhood lanes serves different roles in directing people through the Village, by car, bicycle, or by foot. The design of each streetscape is described in terms of use, width, designated parking and bicycle lanes and preferred lighting schemes. (For further discussion of lighting within the Village, please see the Lighting Section on page 82.) A list of potential street trees for each street type is included on the Street Tree plan on page 83.

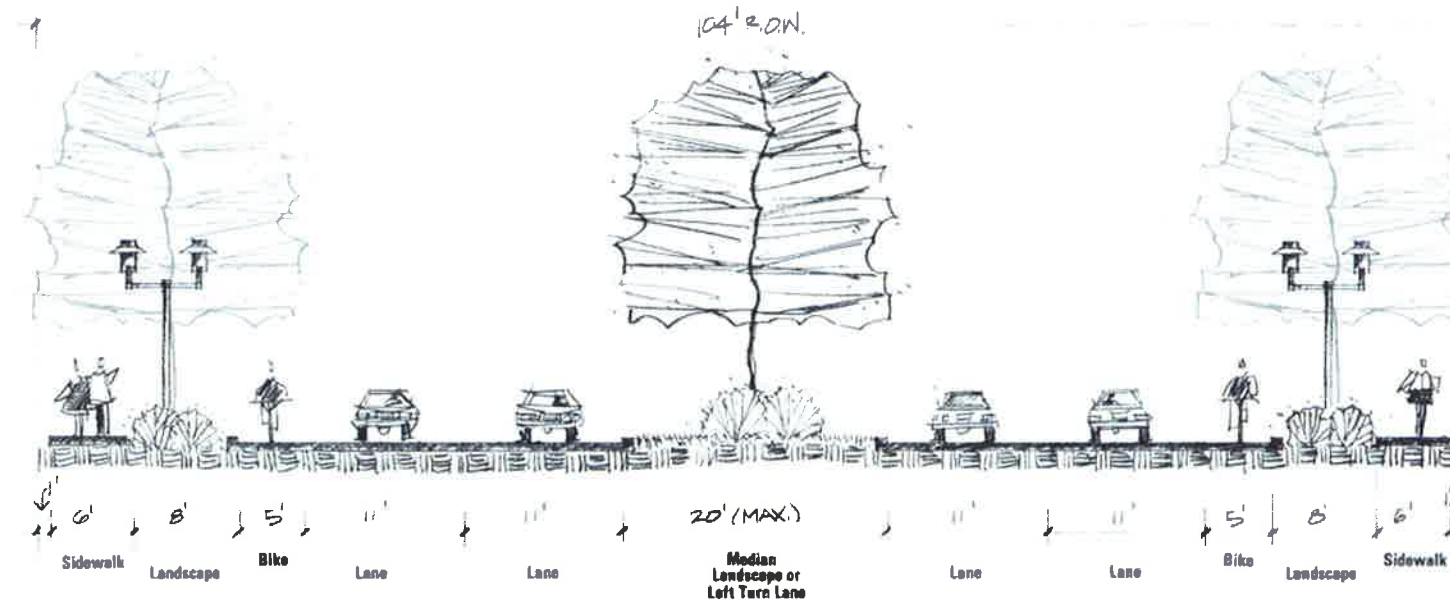
### Streetscapes: Grand Avenues

Grand avenues are the streets in Briggs Village that are largest in scale, with multiple lanes and significant tree canopy, including planted medians where possible. This street type will introduce vehicles to the site and into the Village. Henderson Boulevard will be the most significant grand avenue in the village, moving traffic both into and through the property. Henderson will be widened to a 3 to 5 lane boulevard with a center median and significant tree and groundcover plantings. Grand avenues include 11' wide vehicular travel lanes and 5' wide bicycle lanes.

#### Henderson Boulevard

The designated right-of-way for Henderson Boulevard is a maximum of 104' in width.

The preferred lighting design utilizes pedestrian scaled light standards along both sides of the street at a more frequent interval to meet City of Olympia standards. Traditional lighting will occur, as necessary, at the proposed signal locations.



### Henderson Boulevard Section

*BLANK*



## Landscape Design Tools

### Streetscapes: Grand Avenues

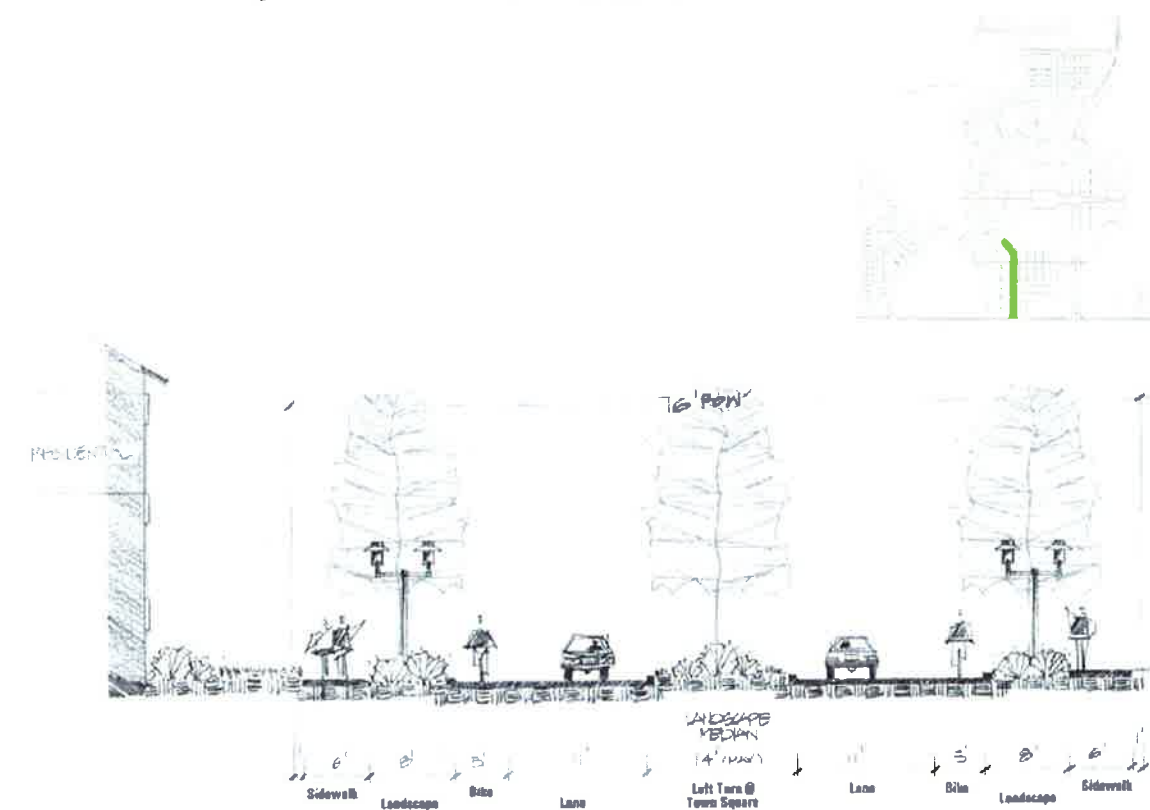
#### Briggs Boulevard

Briggs Boulevard, to some extent, could also be considered a 'grand avenue'. This roadway will serve to move traffic through Briggs Village and along the Mixed Use District as well as provide a secondary route between Henderson Boulevard and Yelm Highway.

The southernmost portion of Briggs Boulevard will include a landscaped median, from Yelm to the first 'great street' providing entry to Town Square or the West Residential Phase. The designated right-of-way of Briggs Boulevard is a maximum of 76' in width.

From this point northward, the median ends and Briggs Boulevard transitions to more of a neighborhood roadway, providing access to the residential neighborhoods. On-street parking is available on both sides of the street.

The preferred lighting design for Briggs Boulevard utilizes pedestrian scaled light standards along both sides of the street at a more frequent interval to meet City of Olympia standards.



**Briggs Boulevard Section, at Yelm Highway**

#### Yelm Highway

Yelm Highway is a significant east-west arterial moving people along the southern boundary of the Village. This grand avenue lies outside the property yet provides a significant view into the site. Currently, there are no street trees in the recently widened streetscape and the highway appears as a broad strip of hardscape. Briggs Village would propose that both sides of Yelm Highway should include street trees and pedestrian-scaled lighting to improve the pedestrian environment.



**Briggs Boulevard Section (north)**

*'Great Street' View into Town Square*



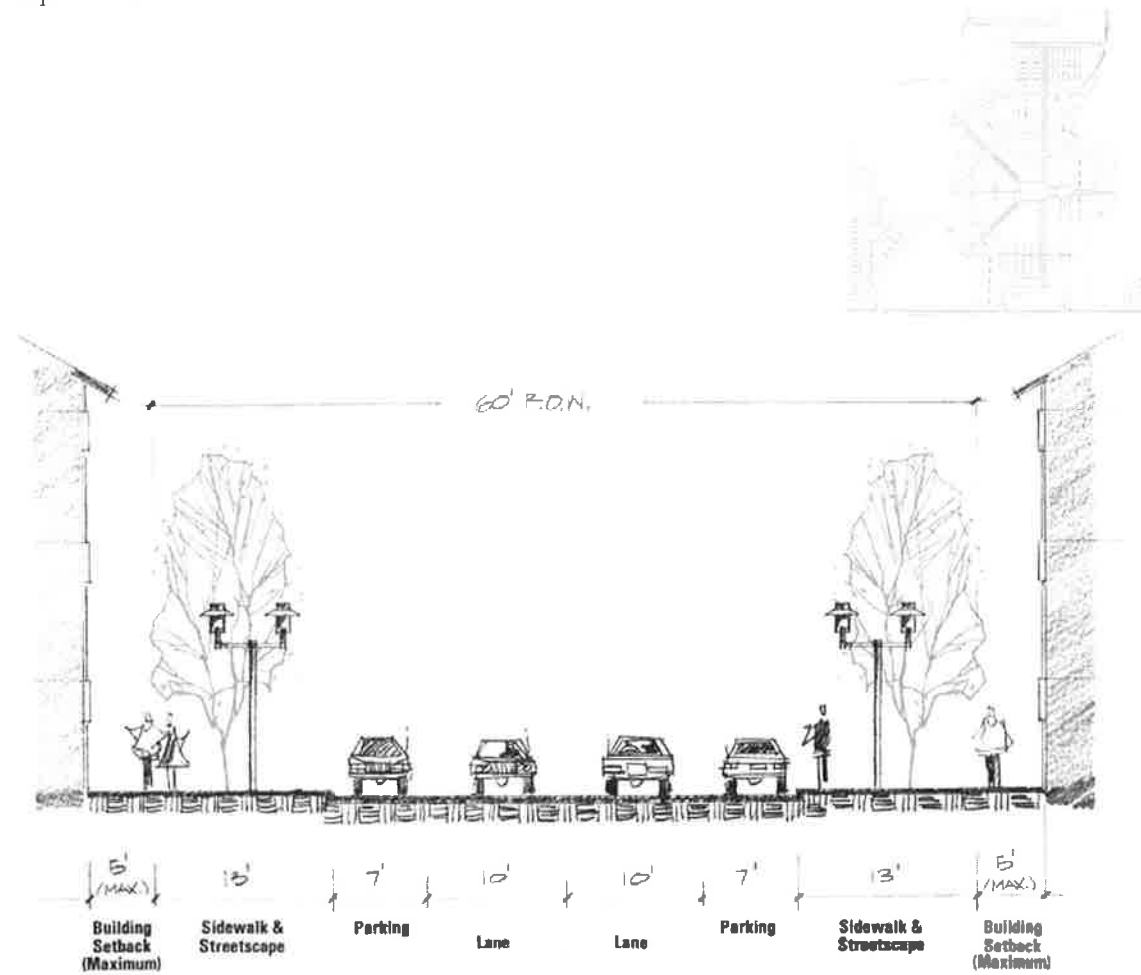
## Landscape Design Tools

### Streetscapes: Great Streets

The 'great streets' in Briggs Village are the axial roadways that connect the community with the Mixed Use District in the Village Center and the Town Square. Each 'great street' terminates at a special community gathering place: overlooks viewing the Central and South Kettles, the Arboretum, the North Commons and the YMCA. These connector streets are smaller in scale, compared to the 'grand avenues' and begin the transition from the residential neighborhoods to the more urban Village Center. These streets will include directory markers and design details that will orient the pedestrian and provide wayfinding directions.

The designated right-of-way for these roadways is a maximum of 60' in width.

Pedestrian-scaled lighting fixtures will be installed on both sides of the street and will comply with City requirements.



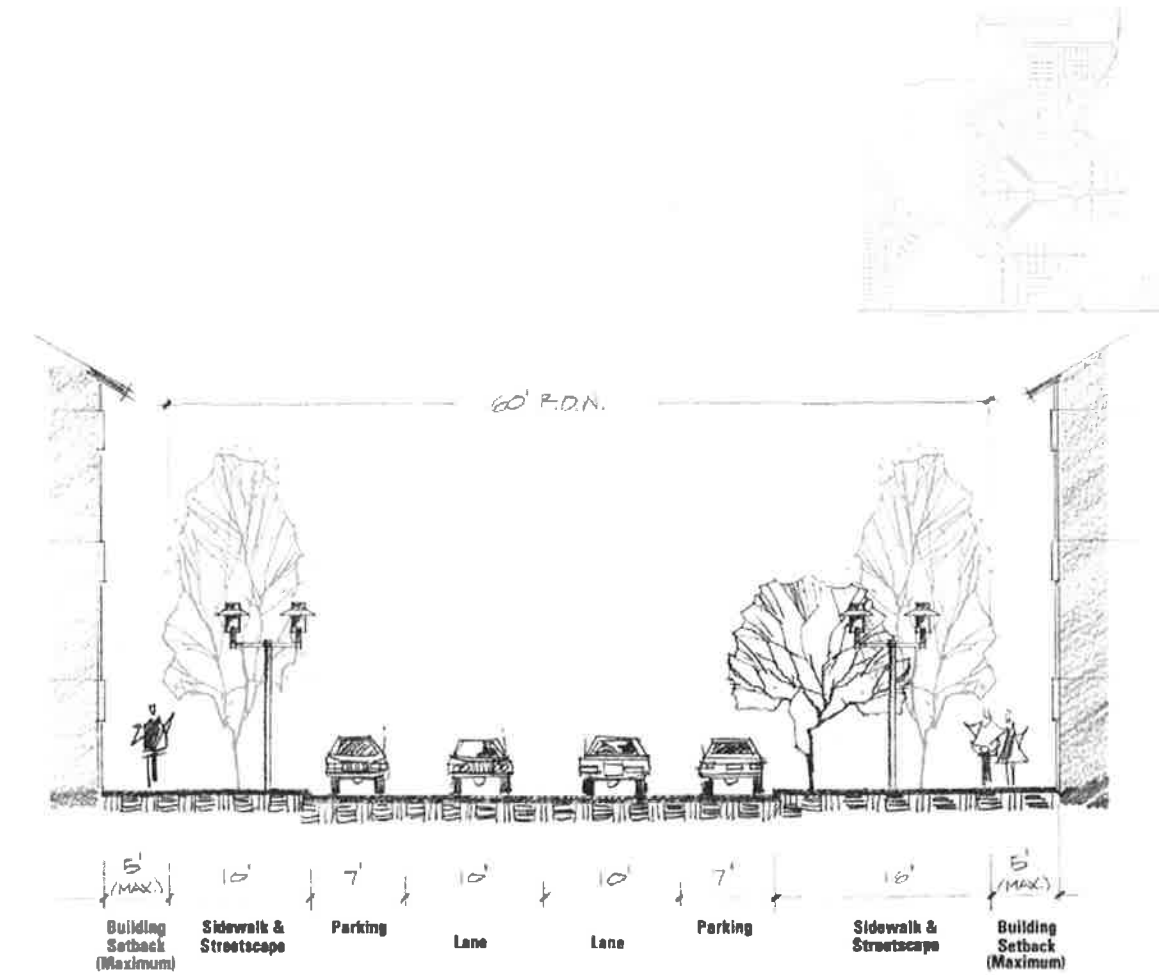
'Great Streets': Axial Roadways Section

### Axial Roadways

'Great streets' west and/or north of Briggs Boulevard are symmetrical in section, providing equal street tree plantings and on-street parking on both sides of the street. Sidewalks and landscaping is designed within a maximum width of 18'.

### Axial Roadways - Special Condition within the Mixed Use District

Two unique conditions apply to the blocks internal to the Mixed Use District, i.e., east and south of Briggs Boulevard. The sidewalk and landscaping on one side of the street is widened to a maximum of 21' to encourage retail use and allow a double row of trees to be planted, celebrating the approach to Town Square.



'Great Streets': Special Condition Section



*View into Town Square, Looking East*





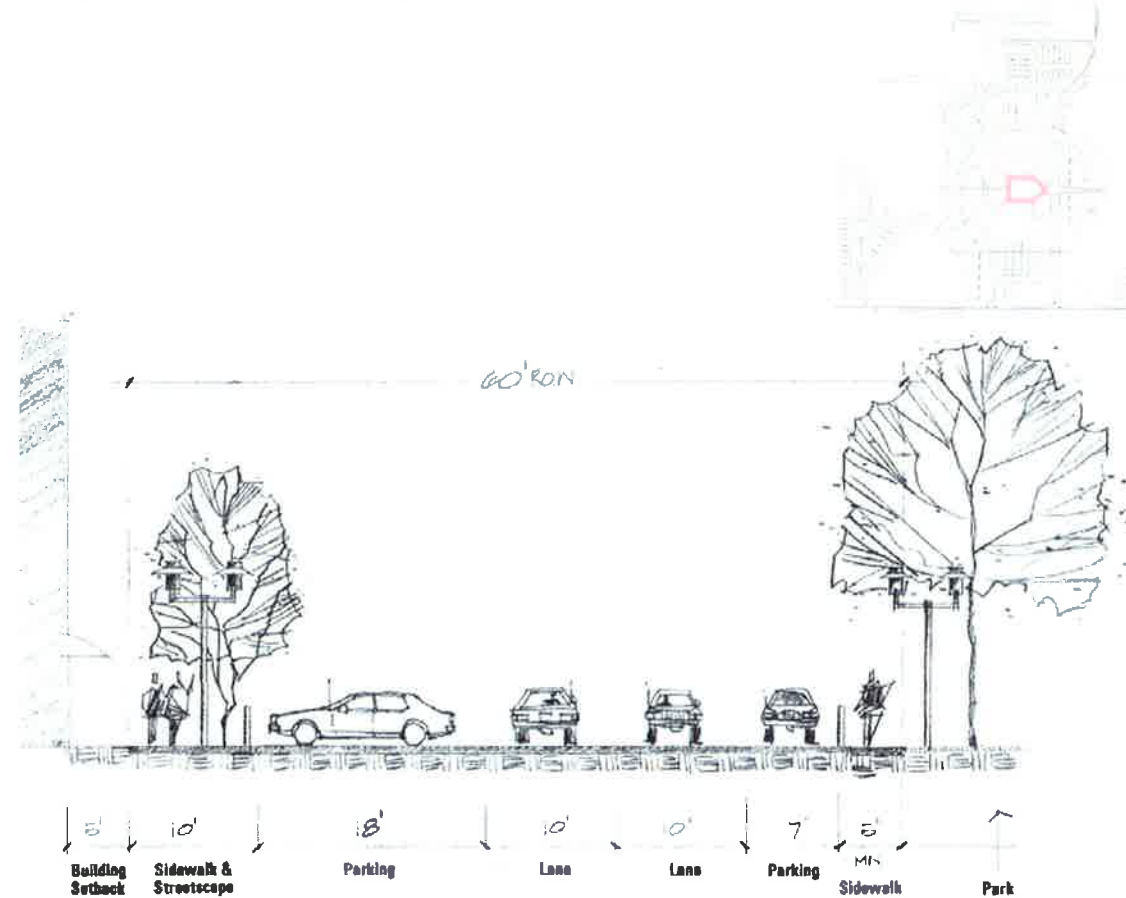
## Landscape Design Tools

### Streetscapes: Great Streets

#### Town Square

As one approaches Town Square, the paving materials will change to a more detailed pattern and the road will gradually ramp up to the level of the sidewalk (i.e., no curbs). Bollards, special paving and color will mark the delineation between the roadway and the sidewalk. Town Square is predominantly a pedestrian environment, which is not limited to the central hardscape/landscape area. The experience of Town Square includes the roads and the sidewalks adjacent to the retail storefronts.

The designated right-of-way still measures 60' in width, however travel lanes are reduced to 10' around Town Square in order to encourage slower speeds of travel. On-street parking is provided on both sides of the street, concentrating the majority of parking (perpendicular) on the retail side and minimizing the number of parking (parallel) stalls provided on the Town Square side.



'Great Streets': Town Square



Conceptual Plan: Paving Patterns

*Pedestrian View down 'Great Street' to YMCA*



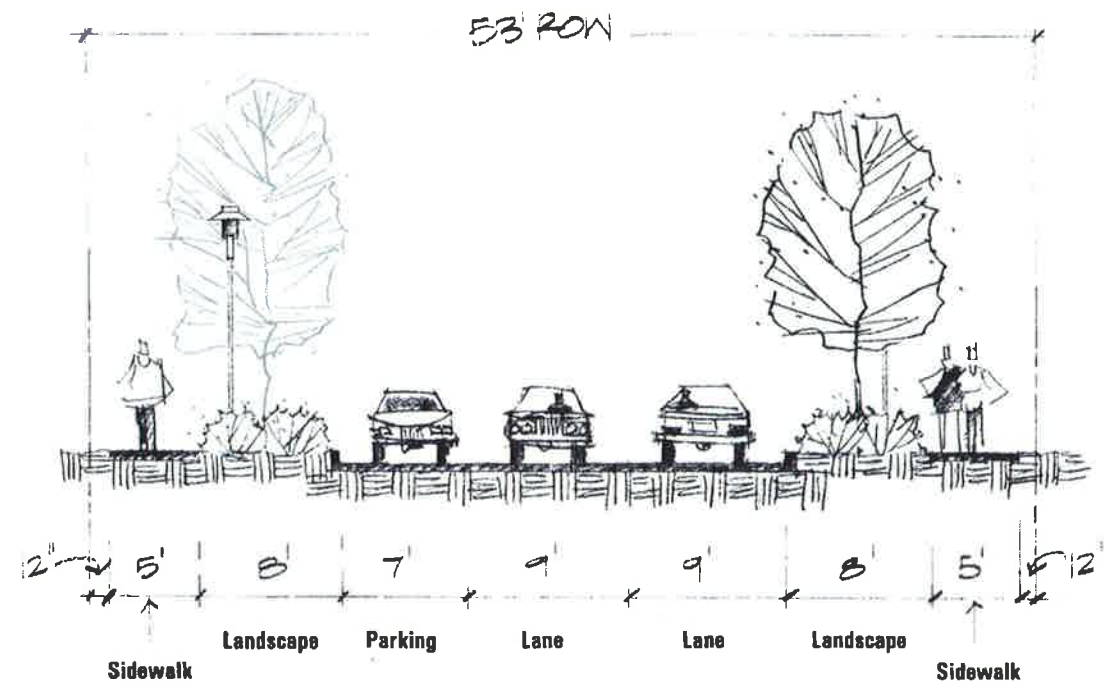


## Landscape Design Tools

### Streetscapes: Neighborhood Lanes

The neighborhood lanes are the roadways strictly within the residential areas of Briggs Village. These infill streets are smaller scale, much more intimate settings displaying a variety of smaller, more informal street trees. The designated right-of-way is 53' in width. On-street parking is provided on one side of the neighborhood lane only.

Pedestrian-scale lighting is provided at staggered intervals, on alternate sides of the street at a spacing to meet City foot-candle requirements.



Neighborhood Lane Section

### Lighting Design Intent

Briggs Village lighting design will create a safe, comfortable environment, help in wayfinding, and highlight significant architectural elements and appropriate community spaces. The lighting design will also take into consideration the most current energy conservation and sustainable practices as well as meet the City of Olympia foot-candle requirements. Lighting within Briggs Village will:

- Promote safety and facilitate policing;
- Facilitate pedestrian traffic;
- Minimize light pollution; and
- Reinforce the Briggs Village identity.

Safety concerns are of the utmost importance in designing the Briggs Village community. Sufficient, responsible lighting will be provided throughout the Village to ensure a safe, and secure environment. Lighting will not be provided in areas that may not be feasible to police, as a means of discouraging nocturnal activity in that location. The trail network, for example, may be an attractive place to exercise in the evenings, however, use of the trails will be discouraged after dusk, as it may prove difficult to ensure individual safety.

Street lighting in Briggs Village is primarily designed for the pedestrian, rather than the vehicles, which are equipped with their own headlights. Thus, lighting will focus at the edges of the streets, primarily on the pedestrian way. Up-lighting or down-lighting on building facades, will help define the street and create a discernible and safe path.

The lighting plan throughout the Village will be designed to minimize light pollution, reducing unnecessary ambient light for Briggs Village residents and the surrounding neighbors. Light standards greater than 15' in height or fixtures that tend to floodlight a broad area are strongly discouraged. The goal is to direct the lights downward to the ground level and building entrances. Poles of 12' to 15' high are better suited to accomplish this objective.

Lighting will also be used to reinforce the Briggs Village identity by: differentiating between streetscapes as a tool in wayfinding, emphasizing the urban design character in the Village Center, and highlighting architectural details. Light will help define the 'grand avenues' and 'great streets' as main traffic corridors, and the neighborhood lanes at a smaller scale. Lighting should facilitate the intended use of a space and enhance its design by casting light on building facades to outline the edges of the corridor, as the most effective way of describing a path and providing spatial coherence. In the residential areas, pedestrian-scaled lighting standards will illuminate sidewalks for safety, walking, and secure access to parked vehicles.



## ***Landscape Design Tools***

### ***Planting Design***

Planting design will significantly contribute to the vision that the whole Briggs Village landscape will perform as an arboretum. The planting will highlight the great horticultural potential of the Puget Sound basin, with a selection of trees, shrubs, and groundcovers that have seasonal color, fragrance, attractive flowers, and interesting or unusual shapes and textures. The variety of plants in the Village will promote basic botanical understanding through the use of interpretive signage and displays. A plant's botanical name and common name, place of origin, appropriate horticultural uses, and other attributes can easily be communicated to passers-by, adding interest and promoting a spirit of inquiry about botany. Native varieties will be included; Village tree species may include maples, oaks, ash; flowering trees such as magnolias and cherries, and richly textured species such as birch, paper bark maples, and coral bark maples.

### ***Street Trees***

The street tree planting design will strengthen the visual identity of places in the Village, by associating places and streets with a particular tree species. This variation will include changes in overall shape of the trees, and size and shape of the leaves, flowers, and fruits.

Desired street tree characteristics for each of the three street types have narrowed down the list of potential tree species suitable for the design intentions. The 'grand avenues' will each display a different tree species, large in form and with broad, distinct canopies at maturity. Large trees such as northern red oak or 'Accolade' elm, will be used at Henderson Boulevard and Yelm Highway. Limiting planting to a single species will emphasize the formality of these major corridors and create a unique threshold.

Briggs Village 'great streets' require the use of tree species that are easily identifiable to all visitors in order to reinforce the wayfinding nature of these roadways. Columnar trees such as Armstrong maple and European hornbeam will punctuate the way to Town Square from the residential neighborhoods. In addition, the interior blocks of the two axial 'great streets' will feature a second species of tree on the wider sidewalk to celebrate the arrival at the Village Center. Candidate species for this role are showy ornamental species such as Yoshino cherry or flowering crabapples.

Neighborhood lanes will be planted with a variety of small to medium tree species. The resulting variety of color and shape is more informal and well suited for residential areas.

### ***Irrigation Design***

Careful management of water resources and the assigned land use of an area will guide the planting design throughout Briggs Village. Portions of the site, such as the Village Center around Town Square, will call for an urban landscape treatment, while other areas, such as the kettles will be assigned looser, more natural plantings. The anticipated, relative water demand for each area is in part, based on the proportion of climate responsive plants recommended for each zone. The planting density and the necessary irrigation requirements are greatest at the Village Center, mixed-use district. As one moves out from the center, into the residential areas and open space, increasing the relative number of climate responsive plants reduces the irrigation demand.

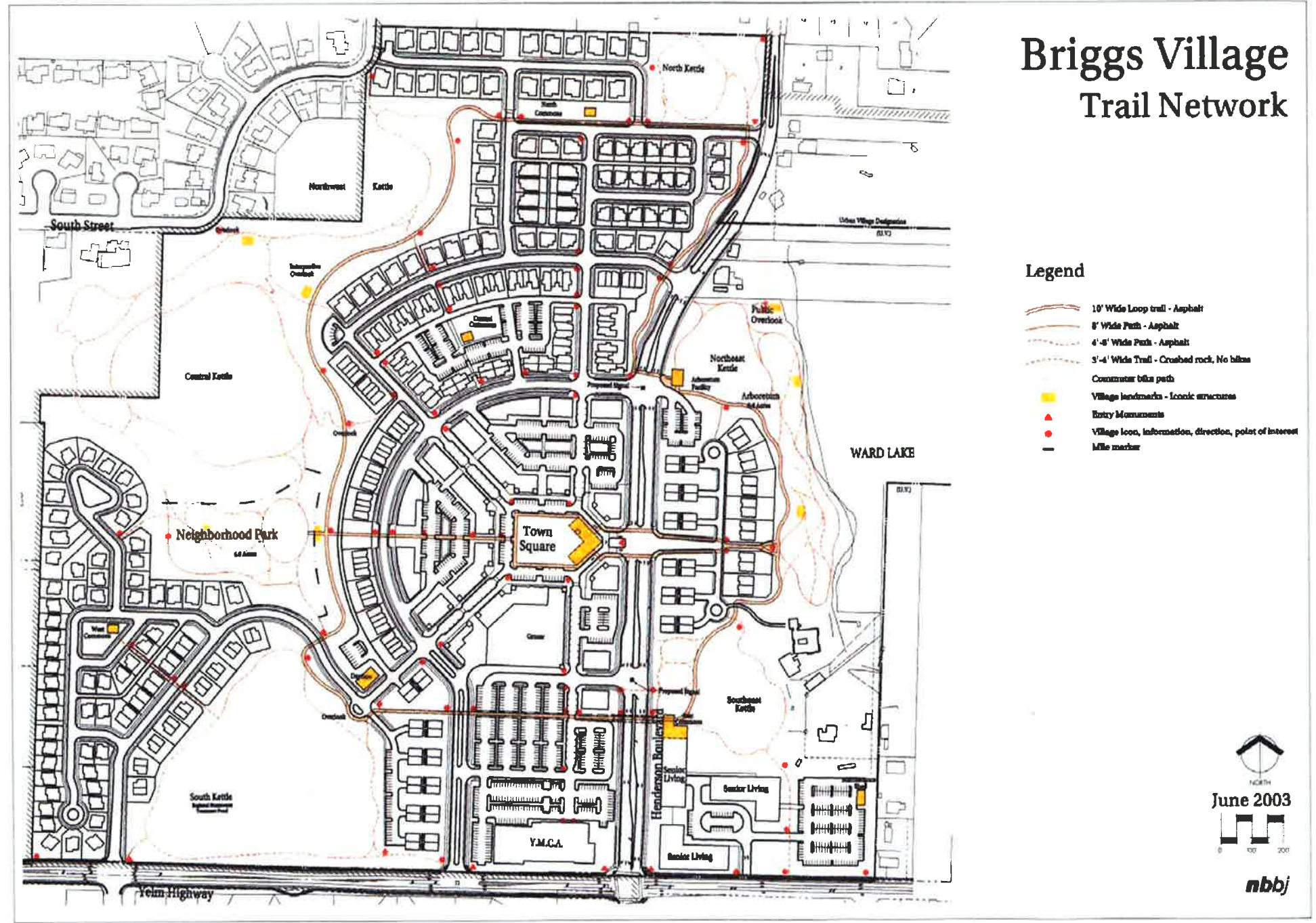
The concentration of buildings and paved surfaces in the Village Center offers relatively little landscape coverage. Plantings need to be dense, luxurious and attractive to make an impact in this setting; accordingly, the district will be assigned generous irrigation resources and the smallest proportion of climate responsive plants. The plant species used here will generally require regular irrigation regimes – as a result, the water demand per square foot of landscaped area is high. However, because the total landscaped area is small, overall water demand from this zone is still relatively low.

The residential neighborhoods will have extensive landscape coverage, which could result in very high levels of water consumption. To reduce water consumption, multi-family areas and individual lot owners will be encouraged to use climate responsive plants on at least 40% of the landscaped area of their lot.

The highest proportion of climate responsive plants will occur in the public open space areas, such as the Commons; their use will also be encouraged as part of the Neighborhood Park design, to be completed by the City of Olympia. Irrigation in these locations will be concentrated mainly in areas that must sustain a high level of pedestrian use, such as lawns.

Two areas that are unique to Briggs Village will be exempt from irrigation limitations. The first could be considered "critical urban areas" - those places that are important to Briggs Village's image and identity, such as the great streets and Town Square. The second is the Arboretum, which by definition will need the autonomy to irrigate as needed to support its function.





## ***Landscape Design Tools***

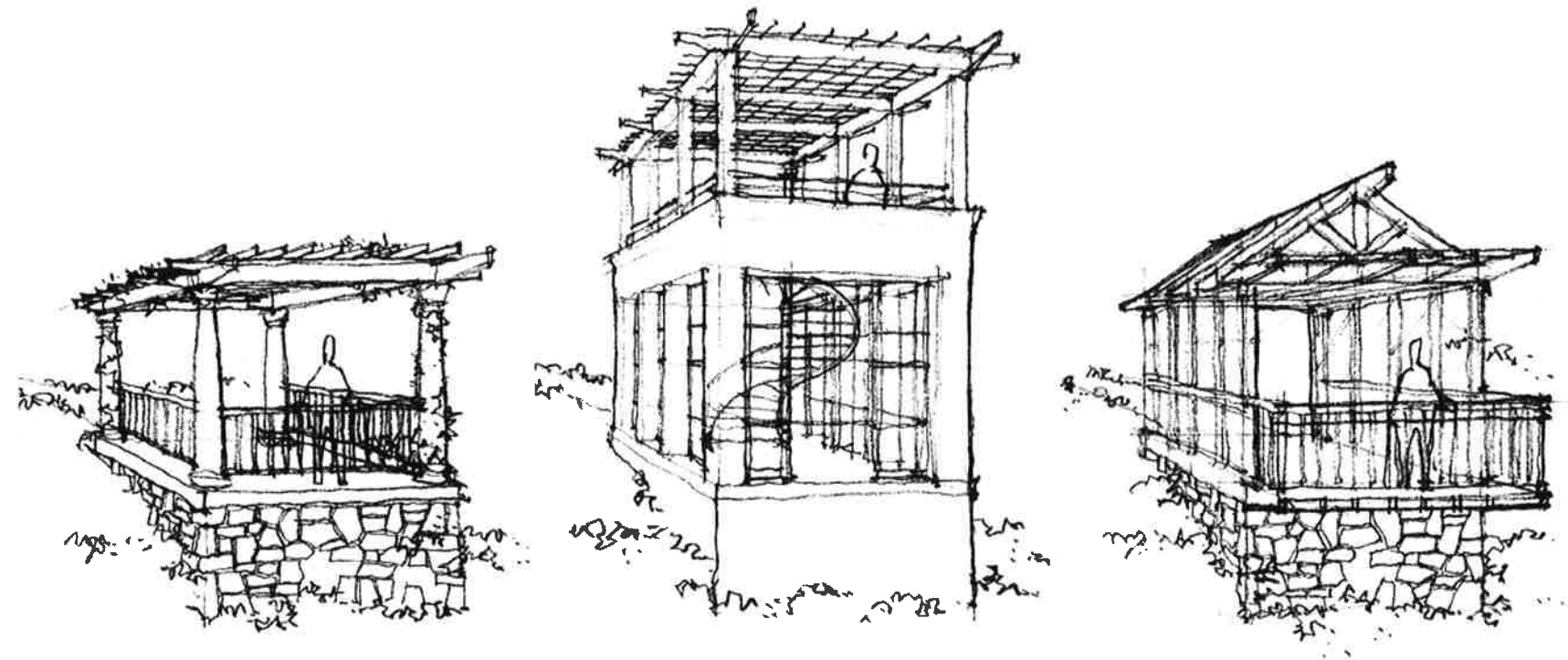
### ***Trail Network***

The trail network coursing through Briggs Village is an integral part of the open space and fitness program. The trail network is intended to achieve the following goals:

- Ensure safe, lighted and accessible trails throughout the village, which connect the Town Square, the neighborhoods and open spaces.
- Use signage and lighting to highlight the trail connections, complement the village design style.
- Provide comfortable places to rest, gather, park a bike.
- Minimize conflict between walkers, joggers and bikers.
- Allow year-round use of trails and open space through location, siting and trail surfacing.
- Provide a complete off-road loop through all areas of the Village for joggers and pedestrians.
- Bicycle use should be incorporated wherever possible.

A hierarchy of four trail types is envisioned for the Village. Many of these trails follow the general definitions and guidelines for trail development included in the Olympia, Lacey and Tumwater Urban Trails Plan prepared by the Thurston Regional Planning Council (1993). Reference to their definitions is included in parentheses for the Briggs Village trails, described below.

- The main loop trail is paved (asphalt, concrete, or a combination) and measures 10' wide with 2-foot dirt shoulder and 12% maximum slope. The Loop Trail will accommodate vehicular access for maintenance and emergencies. (Class I Trail Urban Multi-Use)
- An 8' wide asphalt path with 2-foot shoulders and 12% maximum slope is designed to serve moderate volumes of pedestrian traffic; this secondary trail will be widely used in the Arboretum and throughout the Neighborhood Park. (Class II Trail Urban Bike and Walkway)
- A third, asphalt paved path measuring 4'–6' in width is designed for interpretive purposes along the kettle edges and connecting smaller scale components of the neighborhoods. This path type is intended for exploration and learning, rather than wheeled recreation.
- Crushed rock will delineate a true nature trail, measuring 4' in width with an 18% maximum slope. This path type allows for closer exploration of the natural environment, through dense vegetation and across some of the steeper slopes. (Class III Trail Natural Pedestrian)



***Potential Trail Overlooks at Ward Lake & Central Kettle***



*Typical Trail View*





## Landscape Design Tools

### Trail Network, cont'd.

Together the network measures more than three miles in length, connecting the neighborhoods to public open spaces and landmarks. (See the Trail Network Plan.) The trails complement the public sidewalks and bike lanes, though they are intended to bring the open space into pedestrian experiences and add another dimension to outdoor activities. Additionally, the trail network provides alternative access to and from different parts of Briggs Village. This is particularly practical for children who will be able to bicycle or walk to parks, grocery store, and home in a safe environment.

Situated on 'the shelf', the loop trail is the principal route in the system as it connects all the neighborhoods with the Village Center, the kettles, and the Arboretum, as well as the North and East Commons. The loop trail will be paved for recreation purposes and to allow maintenance and emergency access to the open space areas.

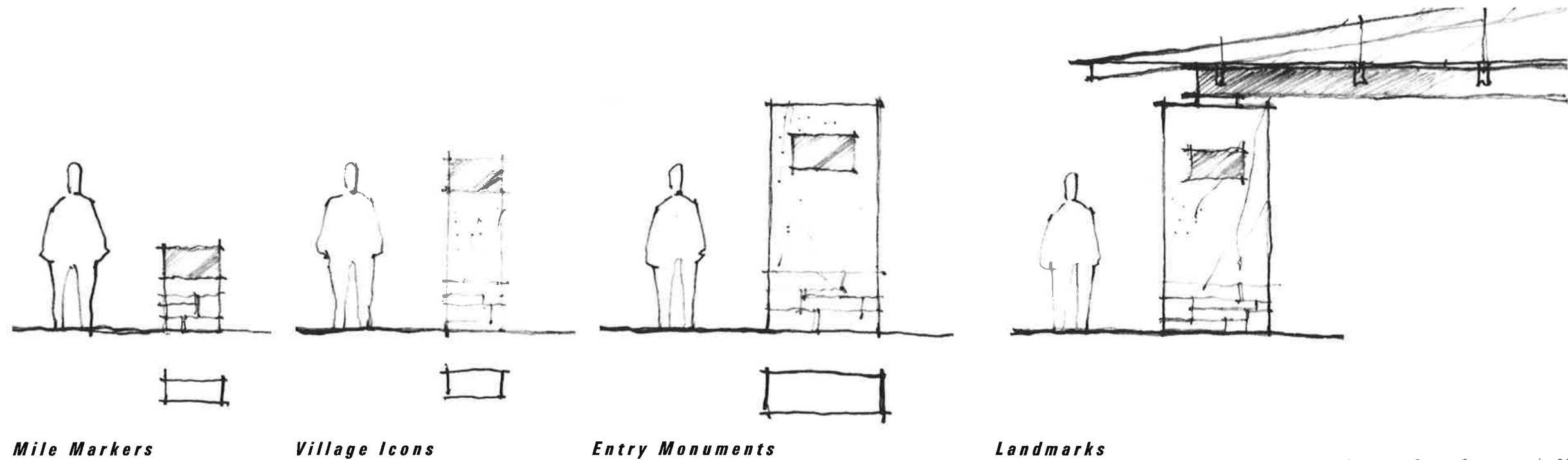
The three significant east-west linkages are included in the loop trail, along the North Commons, from the Neighborhood Park through Town Square to the Arboretum and from the South Kettle through the Henderson Boulevard pedestrian tunnel to the East Commons. This southernmost linkage has been designed as a raised, protected sidewalk through the grocer parking area with significant landscape plantings. The majority of the trails will not be lighted in order to discourage night use of the trail network since a very minimal level of security will be available in those areas. Exceptions include where the loop trail intersects the Village Center and at the neighborhood Commons.

### Trail Network: Markers

A system of iconic markers will be installed along key points along the trail network and throughout Briggs Village. The markers will assist in wayfinding, identifying the Village boundaries and entry points, and supplying information. The markers are intended to facilitate the user interface with all the public facilities and open spaces Briggs Village offers. They will include a hierarchy of landmarks and signs; the more significant the place or event, the greater the size and importance of an iconic element. The marker system will be of a distinct design character and may incorporate stone or pre-cast concrete units that will integrate with the building materials.

Four types, or scales, of markers are currently envisioned. Examples of the iconic 'family' of markers are illustrated here in elevation and in plan views.

- **Mile Markers** on the loop trail measure distance.
- **Village Icons** can be used as trailheads or simple, repetitive elements that enhance village identity. They are points of interest that are important to the experience and movement along the trail system and may have an interpretive value that relates to its specific location.
- **Entry Monuments** announce passage into the Briggs Village community or identify neighborhood amenities.
- **Landmarks** are icons at the grandest scale. These markers become integrated into the architecture of community buildings, serving as unique, Briggs Village landmarks.



*Community Furniture*



## ***Landscape Design Tools***

### ***Community Furniture***

Street furniture should be limited to those essential items necessary for civic life, so as to avoid cluttering up the pedestrian way. Furniture selections should be an expression of the overall village architecture, rather than reflecting a single building style, since furniture, while concentrated in the Mixed Use District, is a signature of the entire community. The furniture will set Briggs Village apart from surrounding neighborhoods and mark new form of development, as well as add to the comfort and pedestrian friendliness of the streets and community spaces.

### ***Benches***

A “signature” bench will be selected or designed for Briggs Village. Selection of a bench should take into account village requirements for attractiveness, durability and ease of care. Materials should be durable, likely using a combination of wood and metal. Location of the benches will be identified during plat design for each phase of the village.

### ***Bike Racks***

Bike racks should be unobtrusive and will be selected in a style and material consistent with other community furniture, such as the benches.

### ***Trash Containers***

Trash containers should be unobtrusive and will be selected in a style and material consistent with other community furniture, such as the benches.

### ***Play Structures***

Play structures shall meet or exceed safety guidelines set forth by national standards. Surfaces shall meet or exceed requirements set forth by national lead impacts safety standards. Play structures will likely be located in the “commons” areas for each phase of the village.

### ***Tree Wells***

Trees not located in the landscape strip (Town Square) should have a consistent treatment.

Trees shall be planted at least 3 feet from the curb.

Tree well size shall provide a minimum of 25 square feet of planting area (or per City of Olympia standards). A 4' x 6' tree well is preferred, since it provides maximum walking space.

### ***Definition of Key Open Space Areas***

Together, the landscape design tools will achieve the master landscape concept - the articulation of the nursery history and the performance of the Village landscape as an arboretum. The guidelines for these tools apply to the entire site, however a few areas demand additional discussion due to their role and importance in the Briggs Village landscape:

- The Arboretum
- Mixed Use District
- The ‘Shelf’ & Wetland Enhancement Areas
- Residential Neighborhoods

In addition, the 4-acre Neighborhood Park is a key open space within the Briggs Village that will be developed, maintained and operated by the City of Olympia. Design guidelines for this passive recreation area are not included in this document as the City will follow its public involvement processes as part of their design effort.

The following pages describe the design intent for these four key landscape components and the application of the design tools for each designation.



*View through Arboretum, Looking West*



## ARBORETUM DESIGN GUIDELINES

### *Role & Relationship to Briggs Village*

The entire Briggs Village landscape is envisioned to perform as an arboretum through the use of a variety of lush plantings and interpretive signage. In addition, 6.6 acres along the shores of Ward Lake have been designated as an Arboretum to honor Bruce and Doris Briggs and their passion for enhancing the quality of life through plants, which greatly contributed to the success of Briggs Nursery. The Arboretum design will reflect Bruce's work with the boundless variety of colors, forms and texture found in plant materials and the introduction of non-native species to this region. The challenging topography of the site is a dramatic setting for an array of plant material of every scale, from groundcover to small and large shrubs, from small trees to large canopy trees.

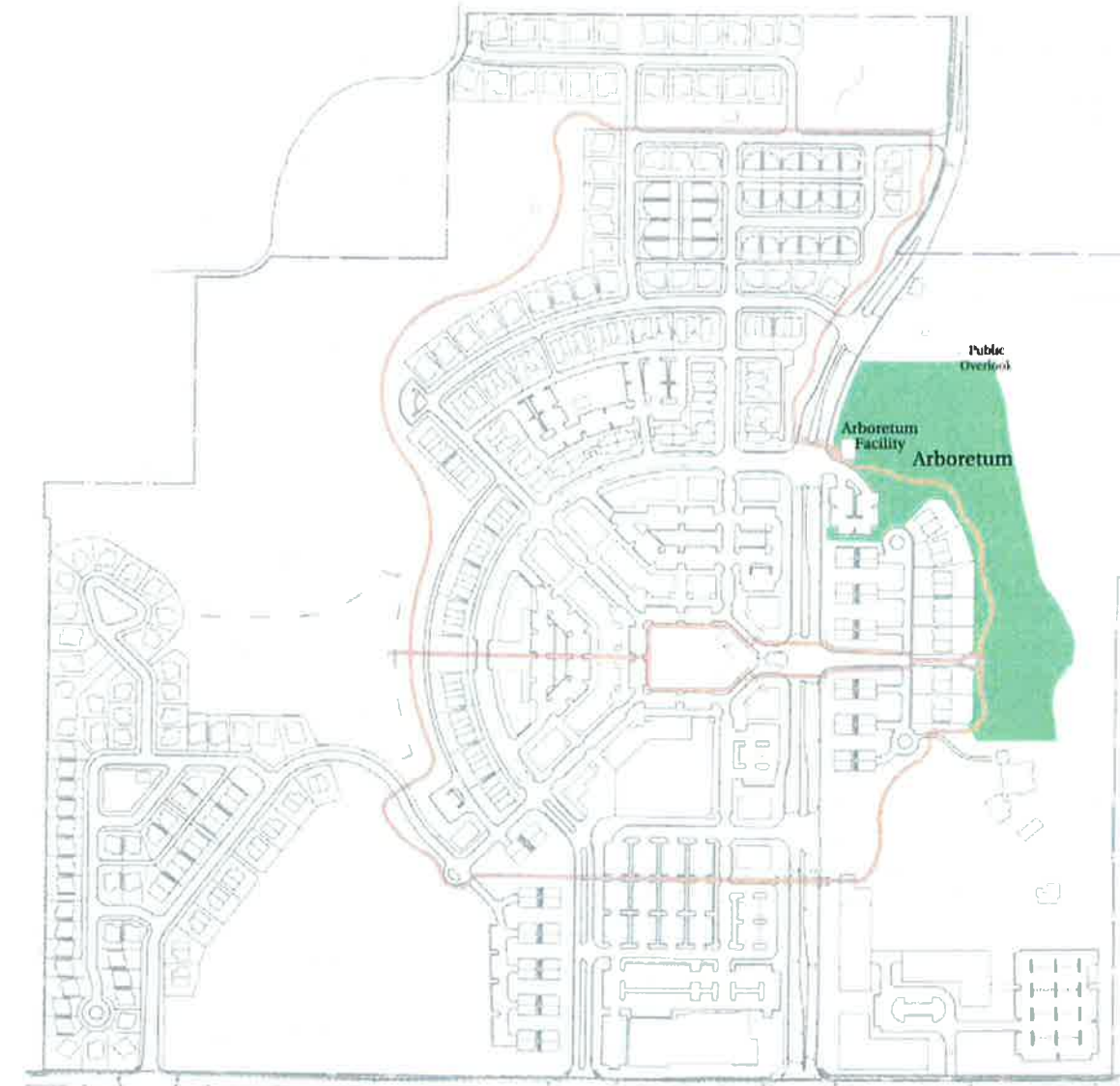
### *Potential Design Concept*

One conceptual design for the Arboretum showcases plant species from around the world that are capable of flourishing in the verdant Puget Sound basin. Plants would be organized into distinct ecosystems: arid, riparian, evergreen forest and prairie. Several paths would cross every "ecosystem", each revealing plants that are native to a particular continent. This network of paths, meandering gently through these ecological microcosms, would permit the visitor to experience the plant material in its simulated native habitat.

Strolling through the Arboretum, one might traverse the Australian evergreen forest ecosystem, then pass into South American floodplains, and in doing so, learn about the origins of the trees and plants in the forests of the Pacific Northwest. This region, with its abundance of mixed and woodland forests, shares many climatic and ecological traits with regions in Japan, Europe and around the world. The Arboretum will explain to its visitors where many of our common plants and trees originated, how they came to the Northwest and define their appropriate uses.

The plant collection would include both deciduous and evergreen plant materials. Evergreens provide a natural screen between the Arboretum and the adjacent homes, while deciduous trees would be used in areas that benefit from the summer canopies and maximize winter sunlight.

The upper area of the Arboretum - surrounding the Northeastern Kettle - would be dedicated to plants native to the Pacific Northwest. The proposed Arboretum Center would feature interpretive displays and more detailed information about the plant materials and provide a place to rest and relax.



**Location of the Arboretum**



*Mixed Use District Streetscape & View into Town Square*





## MIXED USE DISTRICT LANDSCAPE DESIGN

### Commercial Landscape Concept

Town Square is officially one acre in size, however the limits of this central gathering and activity space extend beyond these measured boundaries to include the roadway around the Square and the opposite sidewalk. The internal roadway circling the Square is raised to the level of the sidewalk and delineated by paving materials, bollards, and trees. Town Square has been designed to sponsor day-to-day retail activity as well as seasonal community events where the Square in the center of Briggs Village can be closed to vehicles for street fair activities. Annual events such as cider presses, flower shows, plant sales, and garden fairs could become Briggs Village traditions that evoke the history of the site and enhance the community's future.

The landscape design will involve careful use of paving materials, ornamental plants, and street furniture for impromptu meetings with friends or places to sit and enjoy the sun and a good book. Retail uses will be encouraged to make use of the sidewalk for displaying merchandise or provide outdoor dining. The guidelines are illustrative of the requirements that shall be met using the tools described below.

### Plantings

Create cohesive, simple mass shrub plantings, allow views between shrubs and tree canopy and allow turf in gathering areas. The landscape within the Village Center is urban in character, with hanging baskets, container plantings, and trees planted in tree wells in the sidewalk with ornamental grates. Isolated plantings in the commercial area will be dense, luxurious, and attractive to make an impact in this setting.

### Hardscape

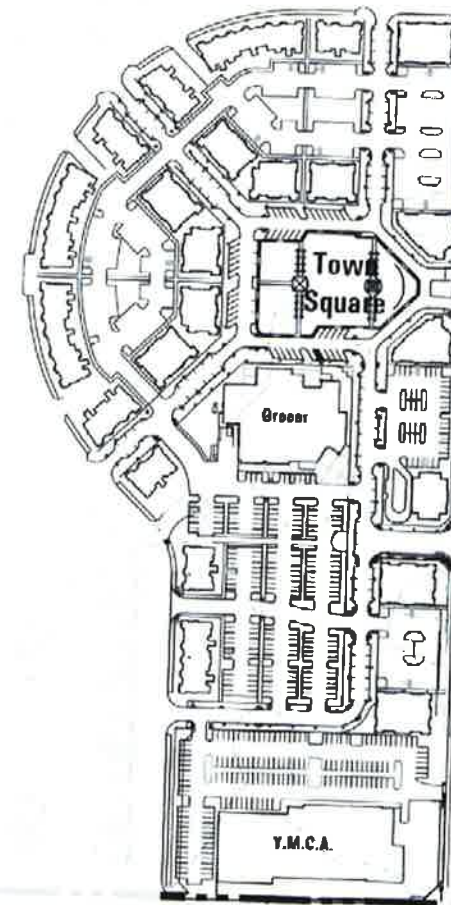
Town Square will have an elegant quality and an uncomplicated palette of materials: simple yet detailed paving designs, uncomplicated plant materials, and urban water features. Including water in the Square will bring soothing sounds and speak to the geologic history on the Briggs Village site, celebrating the six kettles and Ward Lake. Paving materials should be appropriate to building materials in Town Square and suitable for year-around use.

### Lighting

Lighting within the Village Center will highlight the architecture and delineate pedestrian and vehicular space. Light standards of 12' to 15' in height may be used in combination with lighted bollards around the Town Square.

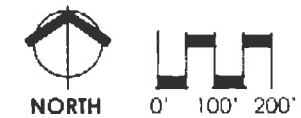
### Furniture

Provide ample and diverse seating opportunities: incorporate seatwalls as appropriate at pavement/planting edge. Select or design a bench type as a signature piece.



### Legend

- Trail (existing)
- Trail (proposed)



### Village Center Phase

*View across 'the Shelf' toward Town Square*





## THE 'SHELF' & WETLAND ENHANCEMENT AREAS

### *Intent of Guidelines*

In addition to the role of the 'shelf' as a critical landscape linkage, the 'shelf' and the wetland enhancement areas will serve many functions:

- Offer numerous points of access to the village-wide trail network and places to walk, jog, bike, rest and meditate, picnic, recreate and take field trips
- Showcase Briggs Nursery plants and history.
- Provide relief to the density of the built environment
- Utilize the natural features of the site, including slopes, kettles and views

The intent of the 'shelf' is to showcase plant materials at areas adjacent to roadways and at buffers between building development and natural open space areas as defined by alleys, trails and other boundaries.

### *Wetland Enhancement Areas: Site Planning & Planting*

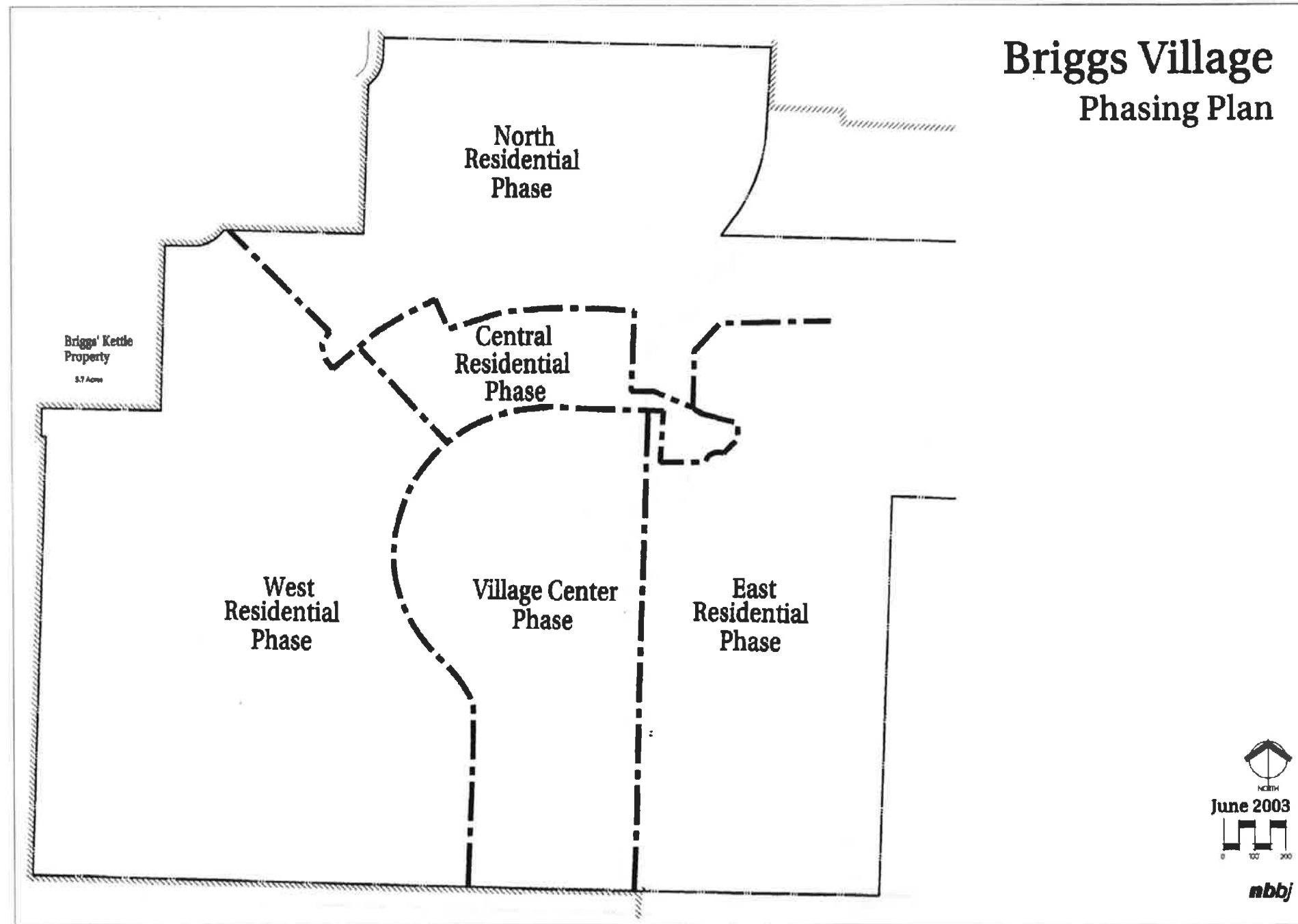
The design of the Wetland Enhancement Areas, and the Central Kettle, in particular, will follow the guidelines set forth in the Corps approved mitigation plan. The extensive work at the Central Kettle will enhance the conditions - both natural and aesthetic, of the wetland and significantly contribute to the beauty of the Village open space. A simplified plan of the restoration work is included here, for convenience.



**Central Kettle Restoration Plan: Planting Areas**



*Phasing Plan*



## RESIDENTIAL NEIGHBORHOODS

### Residential Landscape Concept

Beyond the attractions of the Mixed Use District and Town Square, the Arboretum, the Neighborhood Park and the YMCA, Briggs Village is a place to live. The residential neighborhoods within the Village are intended to host traditional, well-designed family homes, in a variety of settings - townhomes, duplexes, quality apartment homes, Town Square and senior living units, as well as single family houses. The ownership, implementation and maintenance of the residential landscapes will vary, however the goal is to encourage residents to enjoy their gardens and streetscapes as part of the overall Briggs Village arboretum setting.

Street trees, neighborhood commons' plantings and entry treatments to each residential phase will consist of a variety of planting materials as part of the residential neighborhood setting. In keeping with the Briggs Nursery heritage, educational programs may be offered to residents regarding the use of native plants and climate responsive species, as well as sound horticultural practices.

The residential landscape concept is here introduced in terms of the vision and potential issues for each phase of residential development. For an understanding of the geographical definition of the development phases, please see the Phasing Plan on the preceding page.

### North Residential Phase

The first implementation of this landscape design approach to the residential neighborhoods will occur in the North Residential Phase. Landscape design issues for this initial phase of Briggs Village include:

- **Central Kettle Restoration:** work begins on the restoration of the Central Kettle (mostly grading and clearing at this stage)
- **North Commons**
- **Main Loop Trail:** first sections of the loop trail constructed and associated 'shelf' landscape planted
- **Entry Landscape on Henderson Boulevard:** boulevard and arboretum 'shelf' treatment along Henderson
- **Streetscapes**



### North Residential Phase

*North Entry Landmark on Henderson Boulevard*





## **Residential Neighborhoods**

### **North Residential Phase, cont'd.**

The most prominent landscape element of the North Residential Phase will be the entry treatment on Henderson Boulevard and the beginning of the boulevard tree planting. The entry landscape starts at the North Kettle and continues down the west side of the 'grand avenue' to the public overlook viewing Ward Lake and the future Arboretum facility. This North Residential Phase landscape design will announce the presence of Briggs Village, introduce the Village as an arboretum concept and incorporate the future Arboretum Foundation facility as a hallmark of what is to come.

The landscape design east of the North Kettle will incorporate an entry structure that marks the arrival of the passer-by into Briggs Village and provides shelter for informal community celebrations. Tree plantings appear organized in grid patterns, evoking images of the nursery history and framing views into the landscape. This entry landscape provides visual impact for those driving by and offers a comfortable setting for a variety of community activities and exploration of the North Kettle.

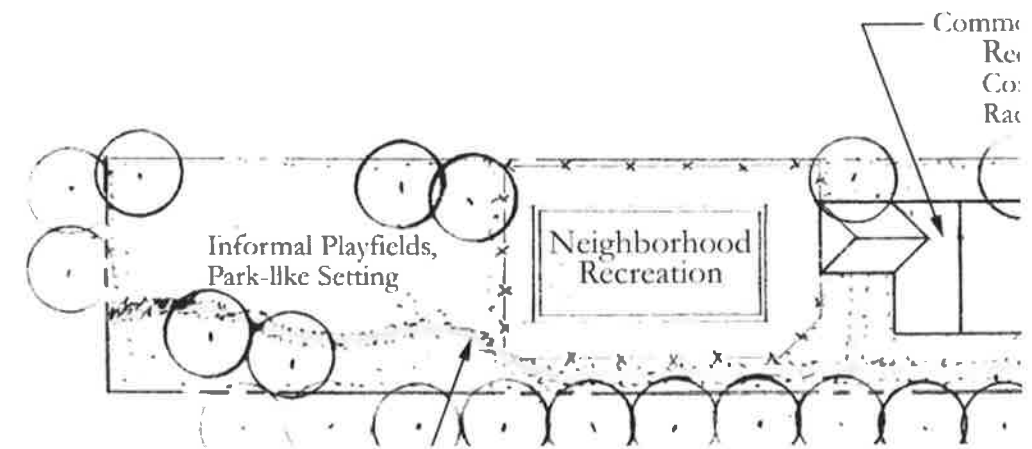
As the road bends to the southeast, the entry landscape narrows along Henderson Boulevard. The variety of handsome homes comes into view beyond the loop trail, which is set back from the roadway and the shrubbery plantings. The tree canopy is young, but will eventually create a comfortable enclosure as one drives through this landscape that is much different than what was experienced just up the road. This stretch of Henderson is unique; something special is happening here.

Signage indicates Ward Lake is to the left and can be viewed by the public. The landscape is now duplicated on the west side of the boulevard as well and a single, non-residential building sits near the road ahead. This structure is styled in the Pacific Northwest vernacular architecture and fits into the lush landscape behind it. There's a place to pull off and leave the car to allow further exploration. The trail leads back into the tree canopy toward the public overlook. Set back from the trail, the ground starts sloping away into a great depression. More signage explains the geology that formed this "Northeast Kettle" and the isolated wetland's relationship to the local hydrology system. The overlook offers a cozy shelter and a clear view of Ward Lake.

The single structure near the road is open to the public. It is the future home of the Briggs Arboretum facility, the interpretive center for more than six acres of botanical beauty and education. For now, the facility currently offers information on Briggs Village and its future development, as well as a good latte. As the Village continues development and planting for the Arboretum begins, this building will offer a perfect vantage point for watching the Briggs Arboretum evolve and grow.

### **Commons**

Each of the four neighborhoods are planned to include one or more "commons," recreational areas aimed at serving the families of each neighborhood. Opportunities for the commons could provide for a variety of potential activities such as racquetball, basketball, outdoor tennis, field games, and swimming as depicted in the graphic below.



**Potential North Commons Site Plan**

*West Residential Commons*



## Residential Neighborhoods

### Issues for Future Residential Phases

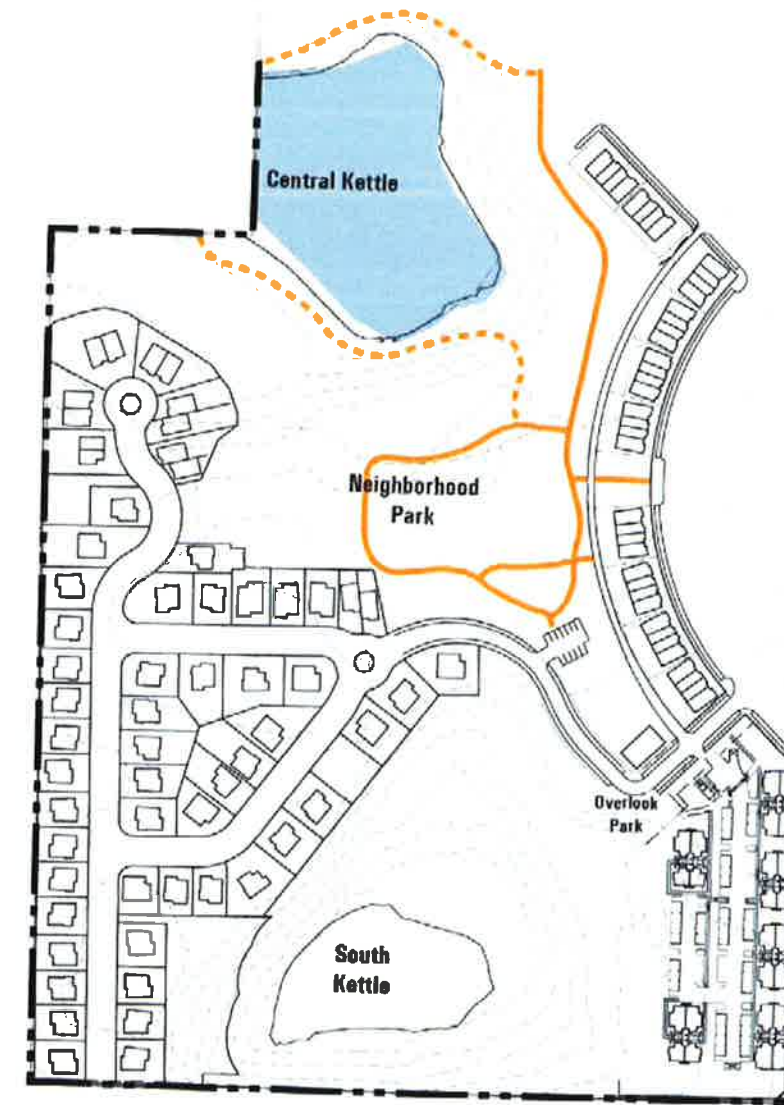
Development of the North Residential Phase will offer many lessons for continued improvement of the Briggs Village community as construction continues. Key issues for the landscape design of the West, Central and East Residential Phases are summarized here, however the details will be developed closer to the construction of each phase in order to benefit from the lessons learned. Each neighborhood landscape will contribute to the overall Briggs Village landscape concept, evoking the Nursery history and creating an arboretum environment.

### West Residential Phase

Landscape design in the West Residential Phase involves:

- **Central Kettle Restoration:** completion of the restoration project installation
- **South Kettle:** development of the kettle into a regional stormwater treatment system and planting of the surrounding 'shelf'
- **Main Loop Trail:** additional sections of the loop trail and associated 'shelf' landscape
- **West Commons**
- **City of Olympia Neighborhood Park:** development of the 4-acre neighborhood park
- **Streetscapes**

In addition, a mixture of single family and multi-family homes will be constructed and residential landscapes installed. The trail network will be continued; the loop trail and lesser trails will then link five of the six kettles. Street trees will be installed along the neighborhood lanes and portions of Briggs Boulevard.



### Legend

- Trail (existing)
- - - Trail (proposed)



### West Residential Phase



*Central Residential Commons Site Plan*



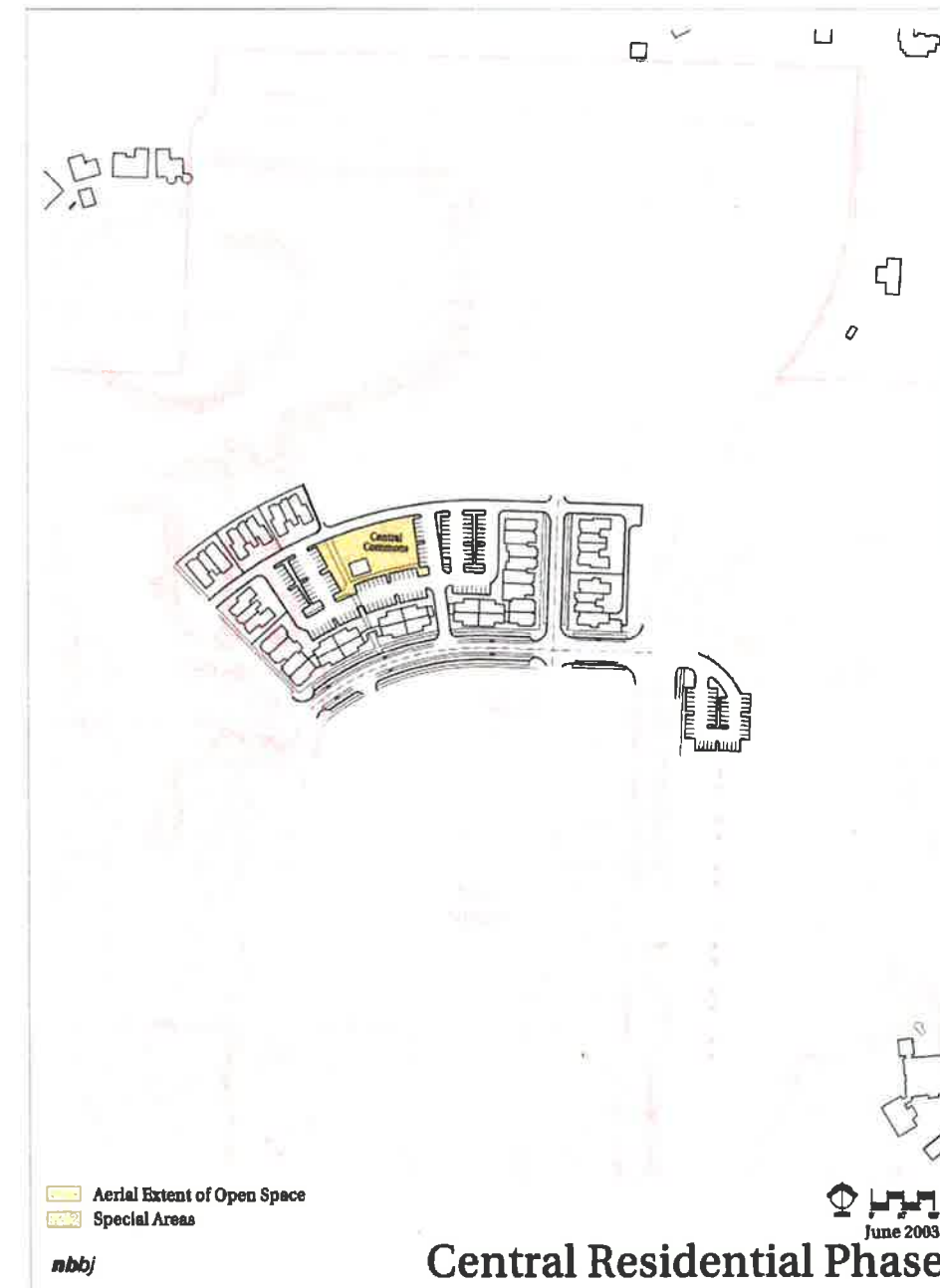
## ***Residential Neighborhoods***

### ***Central Residential Phase***

Landscape issues for the Central Residential Phase are limited to the following:

- *Central Commons*
- *Streetscapes:* installation of street trees along the 'great streets' and completion of the Briggs Boulevard streetscape

In addition, a mixture of townhomes and apartments will be constructed with the associated parking as well as the permanent parking lot east of Henderson Boulevard for the future Arboretum facility.



***Central Residential Phase***

*East Residential Commons and Senior Housing, Looking South*





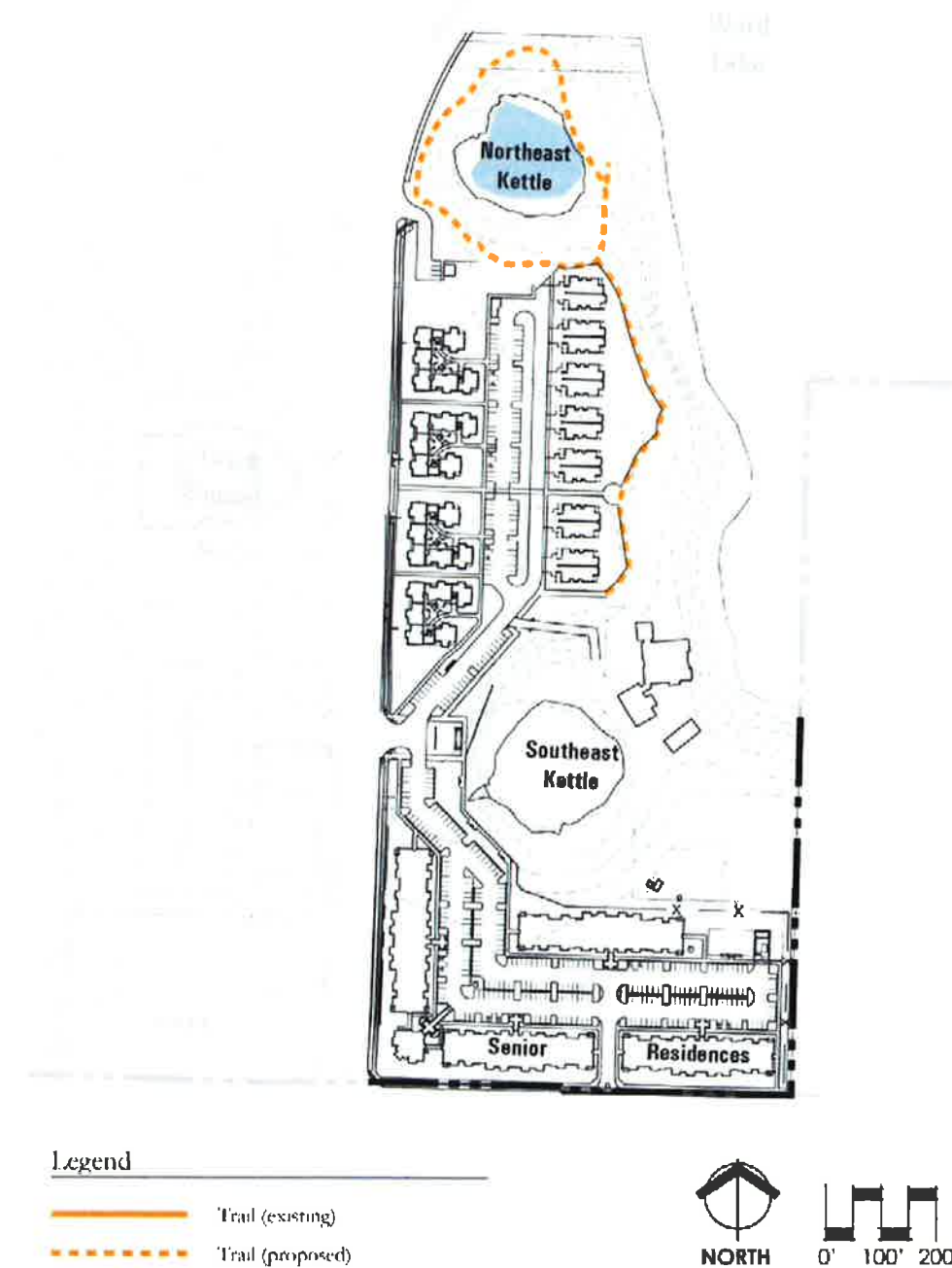
## Residential Neighborhoods

### East Residential Phase

The East Residential Phase of the landscape development will complete:

- **Henderson Boulevard:** the widening of the boulevard, installation of the planted median and the 'grand avenue' street trees
- **Briggs Arboretum:** development of the Arboretum, which will involve careful maintenance of some of the existing trees, grading construction of overlooks and planting.
- **Main Loop Trail:** final sections of the loop trail and associated 'shelf' landscape
- **East Commons:** in conjunction with the senior living facility construction and installation of its landscape
- **Streetscapes:** planting of street trees on the 'great street' block and the special landscape treatment on the neighborhood lane

In addition, a mixture of multi-family duplex homes and courtyard apartments will be constructed as well as the senior living facility on Yelm Highway. A maintenance facility that will serve the landscape maintenance needs of the entire village will also be built during this phase. The completion of the Henderson Boulevard project and the main loop trail will provide a continuous trail network, linking the residential neighborhoods and all six kettles.



**East Residential Phase**

*[BLANK]*

## VISION STATEMENT

It is my vision that 20 years from today I will be able to take my grandchildren through the village. As we walk from my home, on the sidewalks of the tree-lined boulevard, we pass by people of all ages doing many things – children walking to school, people walking to shops, others riding their bikes. Truly it is a community where people live together, work together, and play together.

As we enter one of the many trails that wraps the site, we see people exercising, others just relaxing and enjoying the beauty of the plants. I want to be able to take my grandchildren down the path along Ward Lake through the arboretum and let them experience what natural beauty is there. And as we walk back home through Town Square, I hope to realize we have helped to create a community that reflects a special quality of life.

Gary Briggs

