

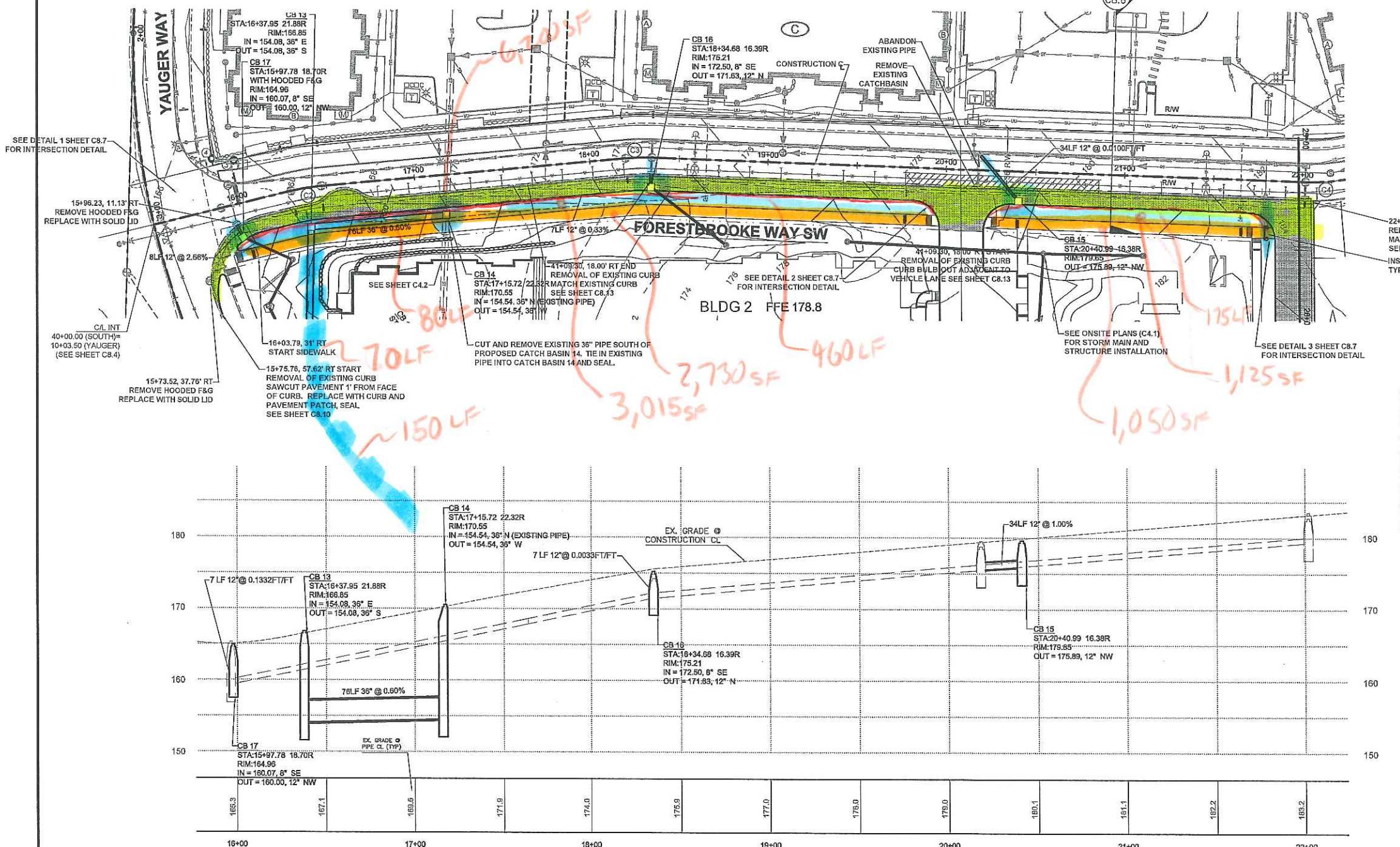
PORTION OF THE N.W. $\frac{1}{4}$, N.W. $\frac{1}{4}$, SEC. 21, TWP. 18 N., RGE. 2 W., W.M. &
PORTION OF THE S.W. $\frac{1}{4}$, S.W. $\frac{1}{4}$, SEC. 16, TWP. 18 N., RGE. 2 W., W.M..

<div[](https://i.imgur.com/3QHgDfB.png)

**OLYMPIA,
APARTMENTS**

CIVIL OFF-SITE ROAD & DRAINAGE PLAN FORESTBROOKE WAY

DESIGNED & DRAWN BY	CHECKED BY
SHEET NUMBER	
C8.4	
CIVIL SHEET 4 OF 64 TOTAL	



FORESTBROOK WAY STORM PROFILE

EXISTING UTILITY NOTE:

EXISTING UTILITY NOTE:
EXISTING UTILITY LOCATIONS SHOWN ARE FROM VARIOUS RECORDS. CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. "CALL BEFORE YOU DIG" 1-800-424-5555, 48 HOURS IN ADVANCE.

THIS DRAWING DOES NOT REPRESENT A RECORD DOCUMENT,
UNLESS CERTIFIED BY HATTON GODAT PANTIER

ANY ALTERATIONS TO THE DESIGN SHOWN HEREON MUST BE
REVIEWED AND APPROVED BY HATTON GODAT PANTIER.

TOPOGRAPHIC NOTE:

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FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN
INCORPORATED INTO THESE DRAWINGS AS A RESULT.

OTES:
SEE SHEET C8.7 FOR CURB RAMP GRADING
AND INTERSECTION DETAILS.
COMPOST-AMENDED SOILS SHALL BE PLACED
IN ALL PLANTER STRIP AREAS, SEE SHEET
C8.11 FOR REQUIREMENTS.
SEE LANDSCAPING PLANS FOR INSTALLATION
OF STREET TREES.
ALL NEW CATCH BASINS SHALL HAVE ANTI-DUMP
MESSAGE PAINTED ADJACENT TO THEM.
SEE DETAIL 2, SHEET C8.11.

BENCH MARK
ITY BENCH MARKS NO. 804 AND 902.
VERTICAL DATUM NOV-1928
CITY BENCH MARK NO. 804 IS IN CTR. OF SOUTH
WALK OF CAPITAL MALL, A PROSPECTIVE PC
IN FIRST CURVE WEST OF COOPER POINT ROAD.
ITY MSL ELEVATION = 171.72 FEET
NO. 902 IS A BRICK DRAIN IN CTR. OF SIDEWALK
AT THE NORTHEAST CORNER OF STREET
CONNECTING CAPITAL MALL DRIVE AND YAUGER
WAY.
ITY MSL ELEVATION = 170.82 FEET

LL BEFORE YOU DIG
1-800-424-5555

PROVED FOR CONSTRUCTION

DATE: _____
Engineering Plans Examiner
VALID EXPIRES: _____

PORTION OF THE N.W. $\frac{1}{4}$, N.W. $\frac{1}{4}$, SEC. 21, TWP. 18 N., RGE. 2 W., W.M. &
PORTION OF THE S.W. $\frac{1}{4}$, S.W. $\frac{1}{4}$, SEC. 16, TWP. 18 N., RGE. 2 W., W.M.

0' 15' 30' 60' 240'
HOR. SCALE: 1" = 30' (1:350)
VER. SCALE: 1" = 7.5' (1:24)
NORTH

PROJECT ARCHITECT & CIVIL ENGINEER
APD
American Property Development, Inc.
110-118th Avenue NE Suite 550
Bellevue, WA 98004
Tel: 425-455-2433
Fax: 425-709-7214



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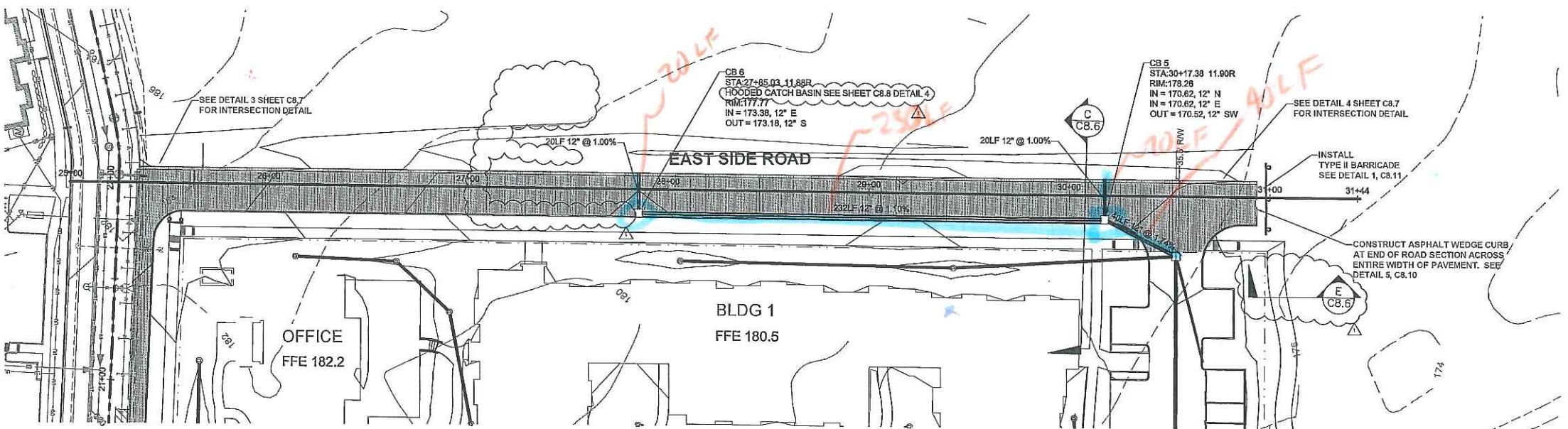
SET HISTORY

DATE	DESCRIPTION
2014/10/14	REVISED FOR CITY CONVI
2014/10/14	BID ADDENDUM 1

PROJECT TITLE: **OLYMPIA VISTA APARTMENTS**
CITY: **OLYMPIA, WA**

DESIGNER: **HATTON GODAT PANTIER**

DESIGN & DRAWN BY: **GT** CHECKED BY: **GT**
SHEET NUMBER: **C8.5**
CIVIL SHEET 5 OF 64 TOTAL



VERTICLE DATUM:

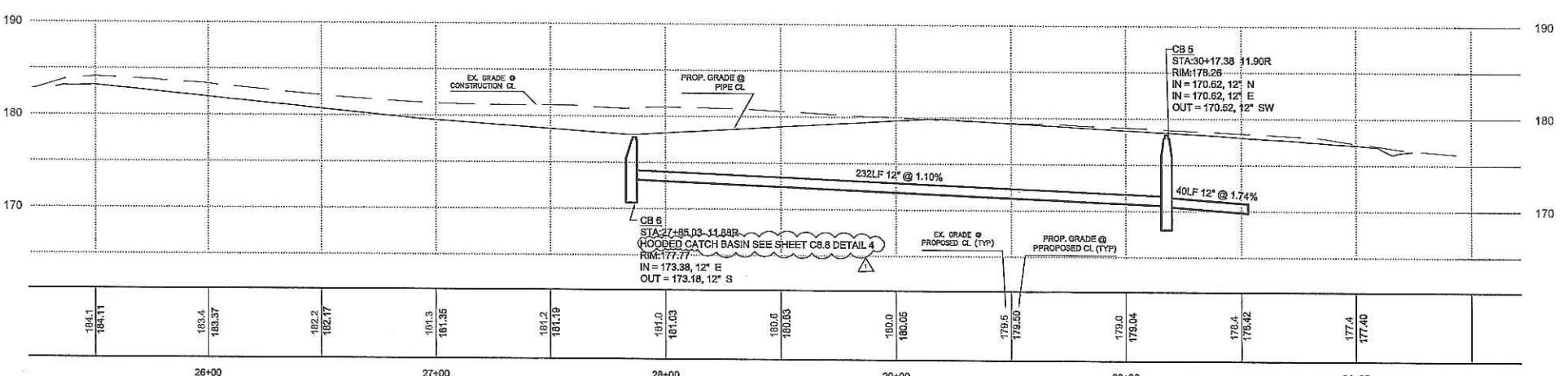
CITY BENCH MARKS NO. 904 AND 982.
VERTICAL DATUM: NGVD-1929.
No. 904 IS A BRASS DISC IN CTR. OF SOUTH
SIDEWALK OF CAPITAL MALL DR. OPPOSITE PC
OF FIRST CURVE WEST OF COOPER POINT ROAD. CITY
MSL ELEVATION = 171.72 FEET.
No. 982 IS A BRASS DISC IN CTR. OF SIDEWALK AT
THE NORTHEAST CORNER OF STREET.
INTERSECTION CAPITAL MALL DRIVE AND YAUGER
WAY. CITY MSL ELEVATION = 176.78 FEET.

BASIS OF BEARINGS:

NORTH LINE OF THE NORTHWEST QUARTER OF SEC.
21, TWP. 18 N. RANGE 2 W., W.M.

NOTES:

1. SEE SHEET C8.7 FOR CURB RAMP GRADING AND INTERSECTION DETAILS.
2. COMPOST-AMENDED SOILS SHALL BE PLACED IN ALL PLANTER STRIP AREAS. SEE SHEET C8.11 FOR REQUIREMENTS.
3. SEE LANDSCAPING PLANS FOR INSTALLATION OF STREET TREES.
4. ALL NEW CATCH BASINS SHALL HAVE ANTI-DUMP MESSAGE PAINTED ADJACENT TO THEM. SEE DETAIL 2, SHEET C8.11.



EAST SIDE ROAD STORM PROFILE

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BENCH MARK
CITY BENCH MARK NO. 904 AND 982.
VERTICAL DATUM: NGVD-1929.
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SIDEWALK OF CAPITAL MALL DR. OPPOSITE PC
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No. 982 IS A BRASS DISC IN CTR. OF SIDEWALK AT
THE NORTHEAST CORNER OF STREET.
INTERSECTION CAPITAL MALL DRIVE AND YAUGER
WAY. CITY MSL ELEVATION = 176.78 FEET.

CALL BEFORE YOU DIG
1-800-424-5555

Call the Underground Location Center a min. 2 days before you dig. Contractor/developer is responsible for locating and protecting all existing utilities.

APPROVED FOR CONSTRUCTION
BY: _____ DATE: _____

Engineering Plans Examiner
APPROVAL EXPIRES: _____

PORTION OF THE N.W. $\frac{1}{4}$, N.W. $\frac{1}{4}$, SEC. 21, TWP. 18 N., RGE. 2 W., W.M. &
PORTION OF THE S.W. $\frac{1}{4}$, S.W. $\frac{1}{4}$, SEC. 16, TWP. 18 N., RGE. 2 W., W.M.

0 15' 30' 60' 240'
HOR. SCALE: 1" = 30'



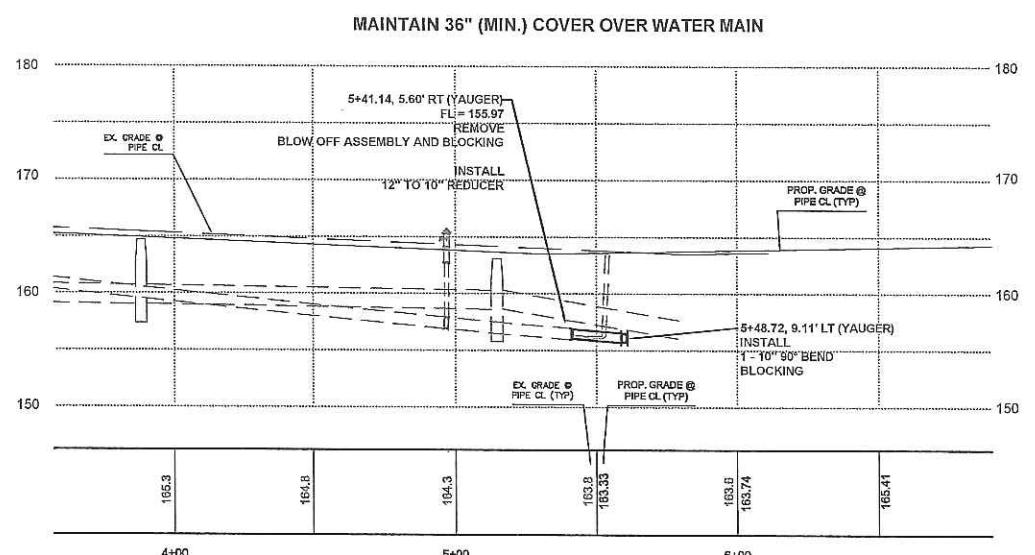
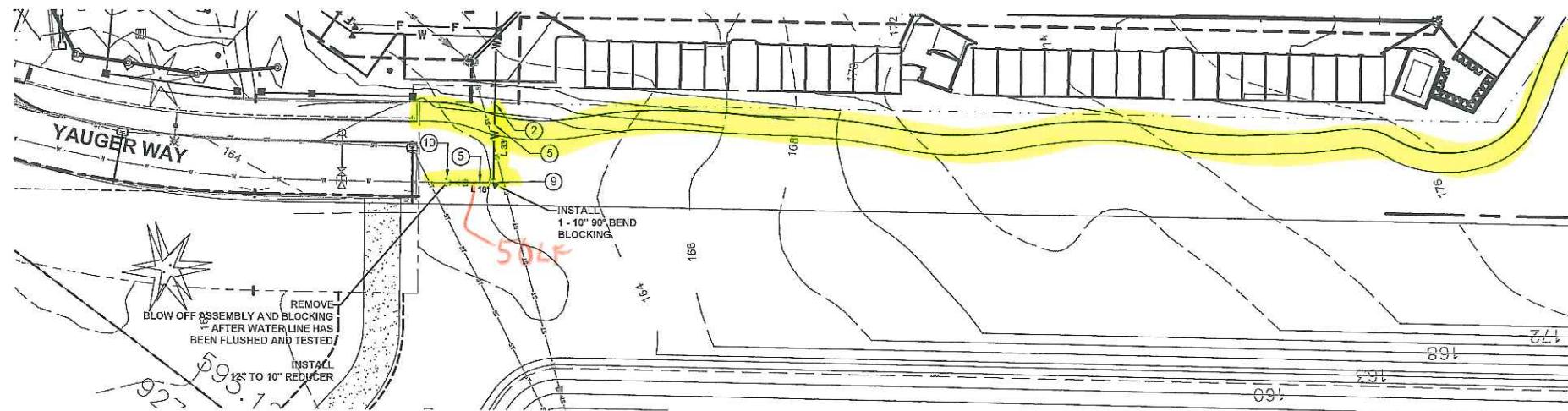
PROJECT ARCHITECT & CIVIL ENGINEER
APD
American Property Development, Inc.
110-110th Street, Suite 550
Bellevue, WA 98004
Tel: 425-452-2433
Fax: 425-709-7214



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SET HISTORY

DATE DESCRIPTION
2014/14 REVISED PER CITY COMMENT
2014/14 BID ADDENDA #1



YAGGER WAY WATER PROFILE

EXISTING UTILITY NOTE:
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VERTICLE DATUM:

CITY BENCH MARKS NO. 904 AND 982.
VERTICAL DATUM: NGVD-1929
No. 904 IS A BRASS DISC IN CTR. OF SOUTH SIDEWALK OF CAPITAL MALL DR. OPPOSITE PC OF FIRST CURVE WEST OF COOPER POINT ROAD. CITY MSL ELEVATION = 171.72 FEET
No. 982 IS A BRASS DISC IN CTR. OF SIDEWALK AT THE NORTHEAST CORNER OF STREET INTERSECTION CAPITAL MALL DRIVE AND YAGGER WAY. CITY MSL ELEVATION = 176.78 FEET

BASIS OF BEARINGS:

NORTH LINE OF THE NORTHWEST QUARTER OF SEC. 21, TWP. 18 N. RANGE 2 W., W.M.

BENCH MARK

CITY BENCH MARKS NO. 904 AND 982.
No. 904 IS A BRASS DISC IN CTR. OF SOUTH SIDEWALK OF CAPITAL MALL DR. OPPOSITE PC OF FIRST CURVE WEST OF COOPER POINT ROAD. CITY MSL ELEVATION = 171.72 FEET
No. 982 IS A BRASS DISC IN CTR. OF SIDEWALK AT THE NORTHEAST CORNER OF STREET INTERSECTION CAPITAL MALL DRIVE AND YAGGER WAY. CITY MSL ELEVATION = 176.78 FEET

CALL BEFORE YOU DIG

1-800-424-5555

Call the Underground Location Center a min. 2 days before you dig. Contractor/developer is responsible for locating and protecting all existing utilities.

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____

Engineering Plans Examiner
APPROVAL EXPIRES: _____

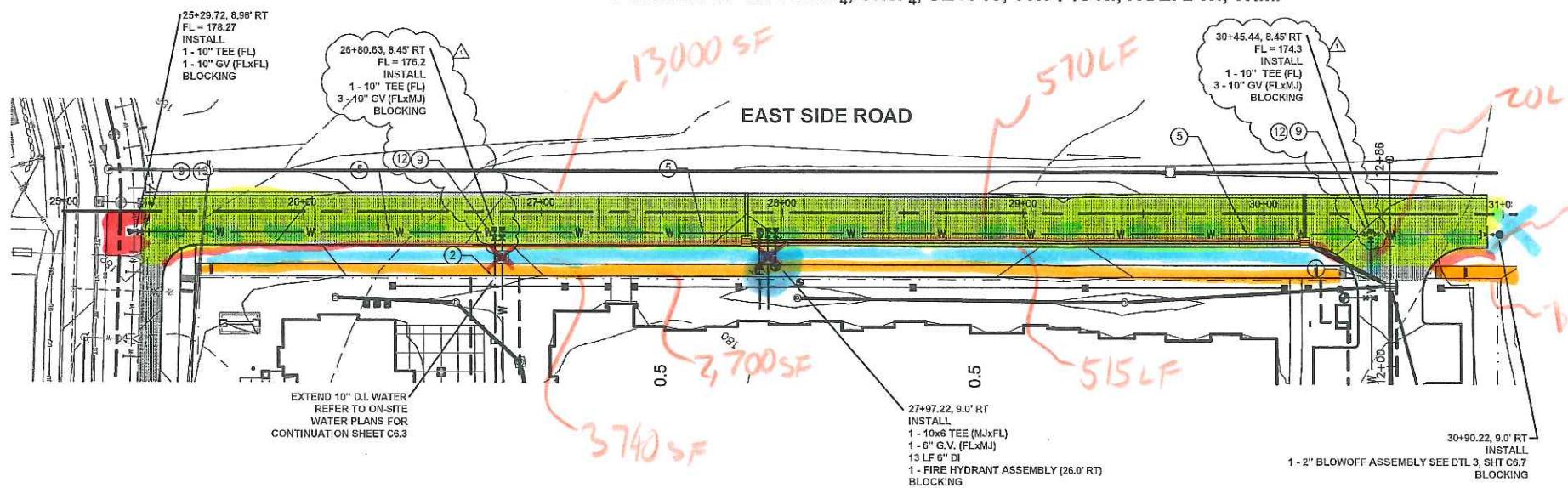
**CIVIL OFF-SITE WATER PLAN
YAGGER WAY**

SHEET TITLE
C8.12
CIVIL SHEET 12 OF 64 TOTAL

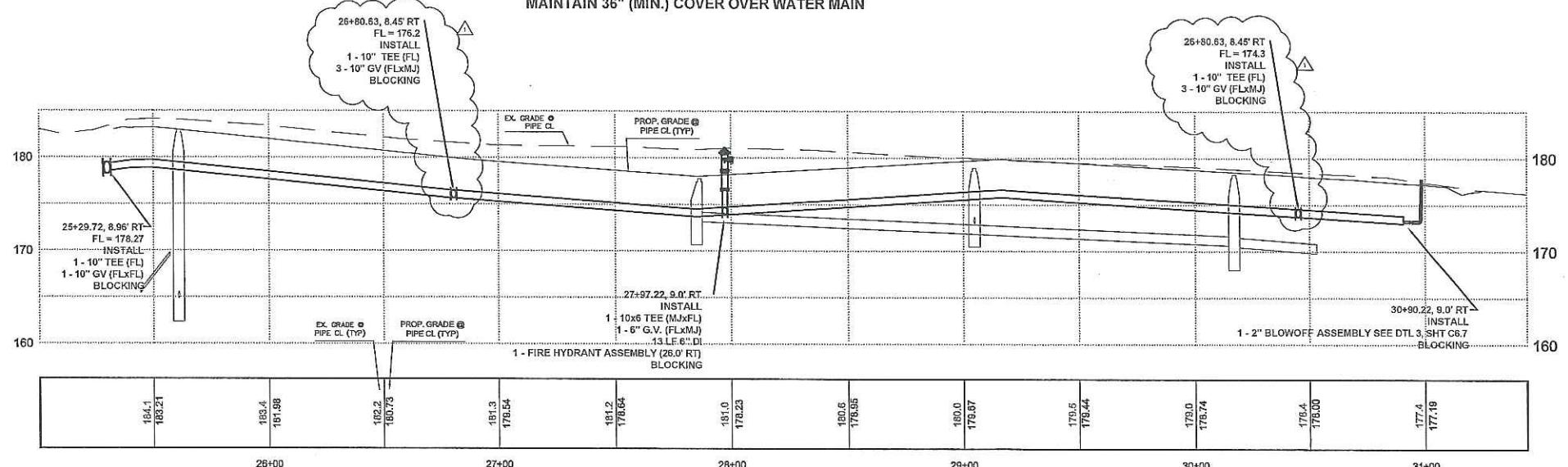
DESIGN & DRAWN BY
GT

CHECKED BY
SHEET NUMBER

C8.12
CIVIL SHEET 12 OF 64 TOTAL



MAINTAIN 36" (MIN.) COVER OVER WATER MAIN



EAST SIDE ROAD WATER PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'

EXISTING UTILITY NOTE:

EXISTING UTILITY NOTE:
EXISTING UTILITY LOCATIONS SHOWN ARE FROM VARIOUS
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VERTICI E DATUM:

CITY BENCH MARKS NO. 904 AND 982.
VERTICAL DATUM: NGVD-1923
No. 904 IS A BRASS DISC IN CTR. OF SOUTH
SIDEWALK OF CAPITAL MALL DR. OPPOSITE PC OF
FIRST CURVE WEST OF COOPER POINT ROAD. CIT
MSL ELEVATION = 171.72 FEET
No. 982 IS A BRASS DISC IN CTR. OF SIDEWALK AT
THE NORTHEAST CORNER OF STREET
INTERSECTION CAPITAL MALL DRIVE AND YAUGER
WAY. CITY MSL ELEVATION = 178.76 FEET

BASIS OF BEARINGS:

ER NORTH LINE OF THE NORTHWEST QUARTER OF SEC.
21, TWP. 18 N. RANGE 2 W., W.M.

BENCH MARK

CITY BENCH MARKS No. 904 AND 902.
VERTICAL DATUM: NGVD-1929

104. IS A BRASS DRAKE IN CTR. OF SOUTH
END OF PUBLIC SIDEWALK LOCATED IN PG
OF FIRST BLOCK WEST OF CENTER POINT ROAD.
MILE ELEVATION - 17.97 FEET
AT THE NORTHEAST CORNER OF SIDEWALK
INTERSECTION CAPITAL MALL DRIVE AND YAUGER
MILE ELEVATION - 17.98 FEET

APPROVED FOR CONSTRUCTION
Engineering Plans Examiner DATE: _____
APPROVAL EXPIRES: _____

DESIGN & DRAWN BY CHECKED BY
GT
SHEET NUMBER
C8.13
CIVIL SHEET 13 OF 64 TOTAL



OLYMPIA VISTA
APARTMENTS

CIVIL OFF-SITE WATER PLAN EAST SIDE ROAD

PORTION OF THE N.W. $\frac{1}{4}$, N.W. $\frac{1}{4}$, SEC. 21, TWP. 18 N., RGE. 2 W., W.M. &
PORTION OF THE S.W. $\frac{1}{4}$, S.W. $\frac{1}{4}$, SEC. 16, TWP. 18 N., RGE. 2 W., W.M.

0 15 30 60 120
HOR. SCALE: 1" = 30' (1:360)
VER. SCALE: 1" = 4' (1:48)
NORTH

PROJECT ARCHITECT & CIVIL ENGINEER
APD
American Property Development, Inc.
110-11th Avenue NE Suite 550
Bellevue, WA 98004
Tel: 425-455-2433
Fax: 425-709-2144

CITY BENCH MARKS No. 904 AND 902.
VERTICAL DATUM: NGVD-1929
No. 904 IS A BRASS DISC IN CTR. OF SOUTH
SIDEWALK OF CAPITAL MALL DR. OPPOSITE PC OF
FIRST CURVE WEST OF COOPER POINT ROAD.
CITY MSL ELEVATION = 171.72 FEET
No. 902 IS A BRASS DISC IN CTR. OF SIDEWALK AT
THE NORTHEAST CORNER OF STREET
INTERSECTION CAPITAL MALL DRIVE AND YAUGER
WAY. CITY MSL ELEVATION = 176.78 FEET

BASIS OF BEARINGS: IS THE NORTH LINE OF THE
NORTHWEST QUARTER OF SEC. 21, TWP. 18 N.
RANGE 2 W, W.M.



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SET HISTORY	
▲ DATE	DESCRIPTION
201/10/19	REVISIONS PER CITY COMMENT
201/14/14	BID AGREEMENT

OLYMPIA VISTA APARTMENTS
OLYMPIA, WA

CIVIL OFF-SITE SANITARY PLAN AND PROFILE FORESTBROOKE WAY
SHEET TITLE: C8.16
DESIGN & DRAWN BY: GT
CHECKED BY: DATE:
SHEET NUMBER: C8.16
CIVIL SHEET 16 OF 64 TOTAL



CITY BENCH MARKS No. 904 AND 902.
VERTICAL DATUM: NGVD-1929
No. 904 IS A BRASS DISC IN CTR. OF SOUTH
SIDEWALK OF CAPITAL MALL DR. OPPOSITE PC OF
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BASIS OF BEARINGS: IS THE NORTH LINE OF THE
NORTHWEST QUARTER OF SEC. 21, TWP. 18 N.
RANGE 2 W, W.M.

LEGEND:

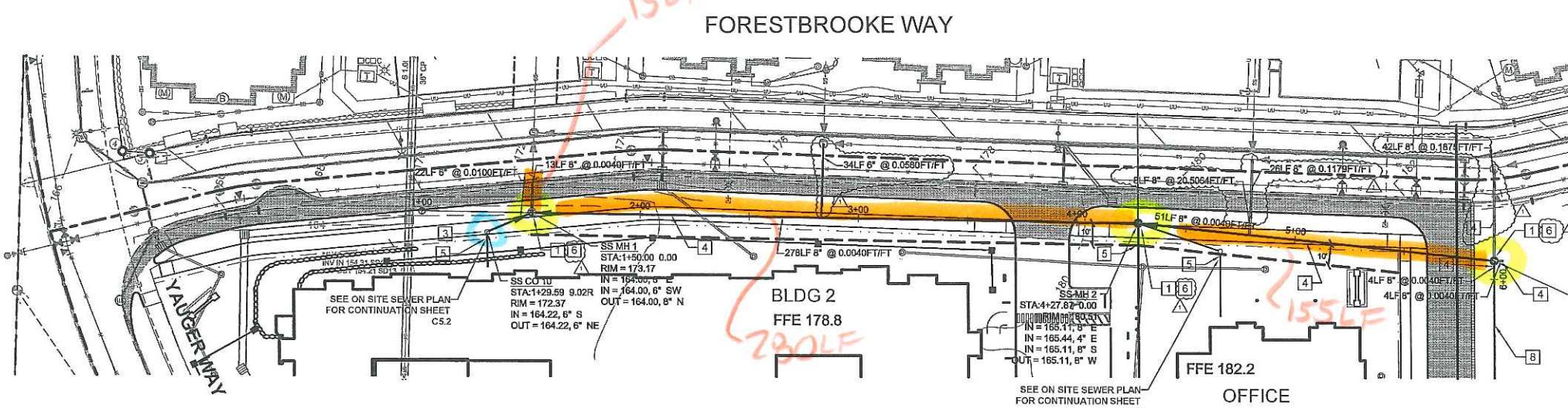
EXISTING	PROPOSED	ITEM
□	■	CATCH BASIN
○	○	CLEANOUT
■	○	ELECTRICAL ROOM
○	×	FIRE HYDRANT
○	○	FIRE RISER ROOM
○	○	RETAINING WALL
○	○	SANITARY SEWER MANHOLE
○	○	SPOT ELEVATION
○	○	STORM DRAIN MANHOLE
○	○	TRANSFORMER
○	○	TREE
○	○	YARD DRAIN

LINETYPE LEGEND
— 86 — 96 CONTOUR
— - - - - EASEMENT/ROW
— - - - - FENCE
—>— EX SD —> SD PROPERTY LINE
—>— EX SS —> SS SANITARY SEWER
EX W W WATER LINE

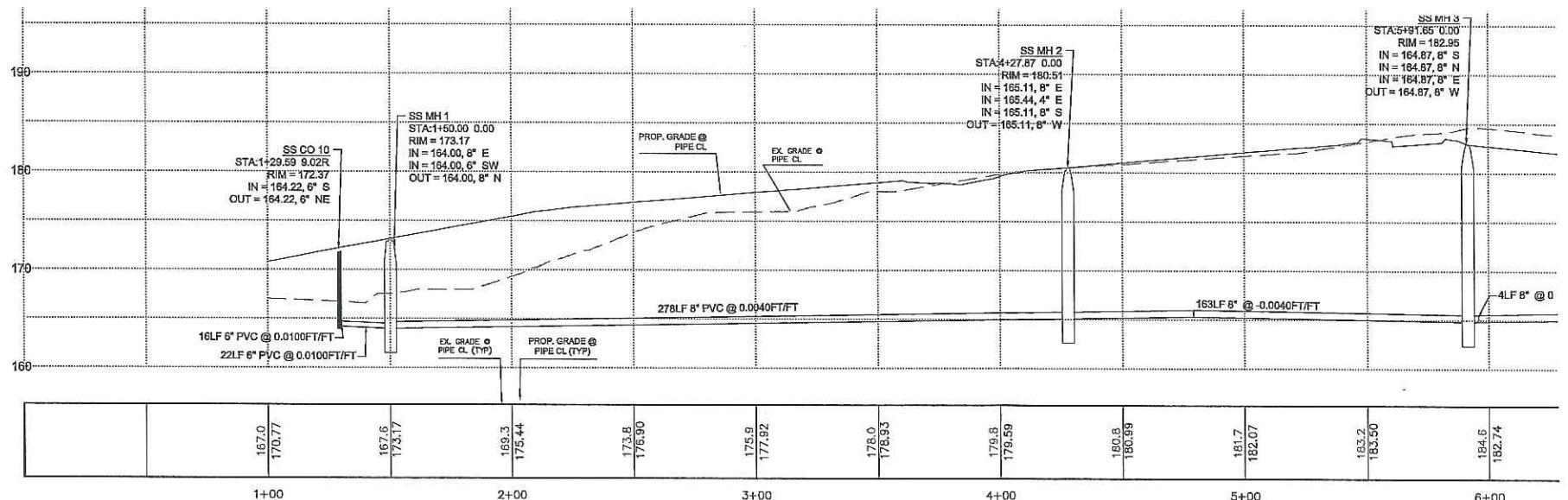
POINT DESCRIPTOR
EX EXISTING
SS SANITARY SEWER MANHOLE
SSCO SANITARY SEWER CLEANOUT

SANITARY SEWER KEYNOTES:

- 1 48"-DIAM SEWER MANHOLE, LID, & COLLAR: C8.18, DETAILS 1 AND 2
- 2 EXTEND EXISTING STUB TO PROPOSED SEWER LINE.
- 3 SEWER CLEANOUT: SHT C8.18, DETAIL 4
- 4 PVC, SDR 35
- 5 SEWER LATERAL CONTINUES ON-SITE: SEE ON-SITE CIVIL PLANS FOR EXTENSION
- 6 G.U. MANHOLE BASE-LINER REQUIRED FOR THIS MANHOLE. CONTRACTOR PRODUCT SUBMITTAL TO ENGINEER REQUIRED PRIOR TO INSTALLATION.
- 7 NOT USED
- 8 FUTURE PVC, SDR35



SEWER GRAVITY MAIN TO MAINTAIN 5' (MIN.) DEPTH



FORESTBROOKE WAY SEWER PROFILE

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1-800-424-5555
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existing utilities.

APPROVED FOR CONSTRUCTION
BY: Engineering Plans Examiner DATE:
APPROVAL EXPIRES: _____

DESIGN & DRAWN BY: GT
CHECKED BY: DATE:
SHEET NUMBER: C8.16
CIVIL SHEET 16 OF 64 TOTAL