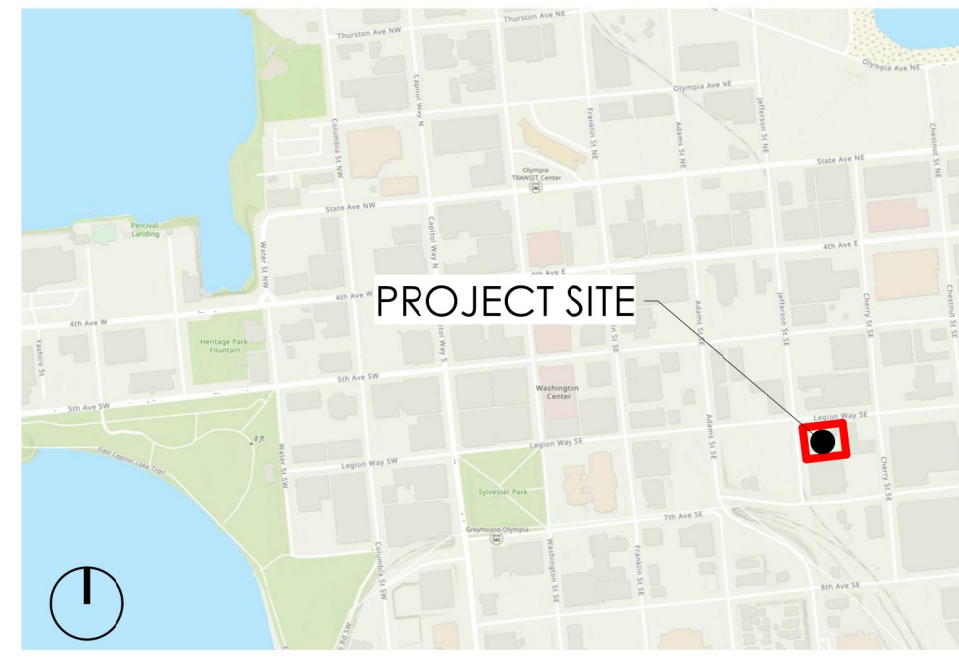


VICINITY MAP - SITE LOCATION



GENERAL SITE INFO

ADDRESS: 515 LEGION WAY SE, OLYMPIA WA 98501
 TAX PARCEL NUMBER: #78505600100
 SECTION: 14
 TOWNSHIP: 18
 RANGE: 2W
 ZONING: DB

EXISTING SITE AREAS:
 TOTAL SITE AREA: 15,653 SF
 TOTAL LANDSCAPE AREA: 0 SF
 TOTAL HARD SURFACE COVERAGE: 15,653 SF

PROPOSED SITE AREAS:
 PROPOSED BUILDING FOOTPRINT (IMPERVIOUS): 4,122 SF
 PROPOSED PARKING AREA (IMPERVIOUS): 9,398 SF
 LANDSCAPE AREA: 0 SF
TOTAL PERVIOUS: 0 SF
TOTAL IMPERVIOUS: 13,520 SF

PARKING SUMMARY

REQUIRED VEHICLE PARKING REQUIREMENTS (OMC 18.38.040)

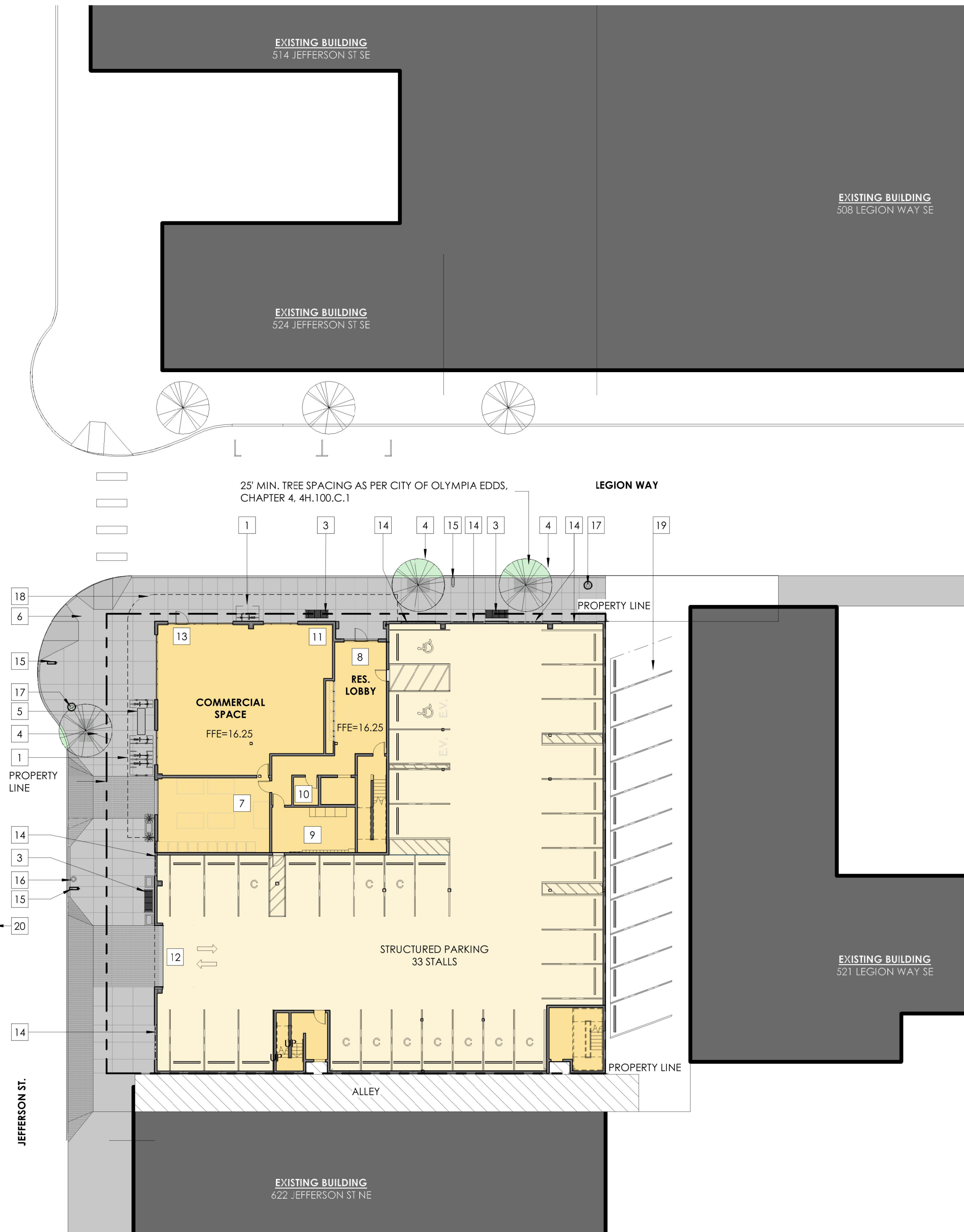
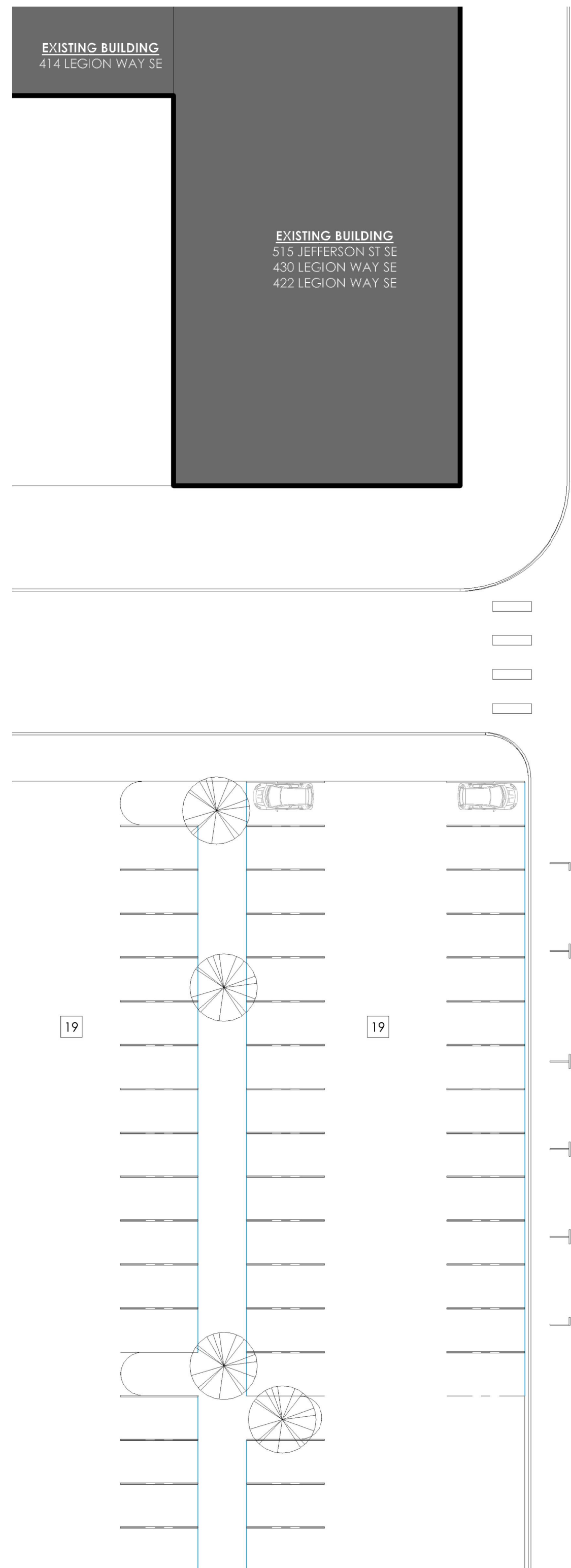
VEHICLE PARKING PROPOSED:
 OFF STREET PARKING PROVIDED = 33 SPACES
 ON STREET PARKING PROVIDED = 0 SPACES
TOTAL SPACES PROVIDED = 33 SPACES
 30% OF ALL SPACES CAN BE COMPACT = 10 SPACES
 33 X 0.30 = 10 SPACES
 PROVIDED = 10 SPACES
 ACCESSIBLE PARKING REQUIRED (OMC 18.38.120)
 2 SPACES MIN. REQUIRED PER 24-50 PARKING SPACES = 2 SPACES
 PROVIDED = 2 SPACES
 5% OF ALL SPACES SHALL BE ELECTRICAL VEHICLE SPACES
 33 X 0.05 = 2 SPACES

LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38. TABLE 38.01):

(45) STUDIOS @ 0 STORAGE SPACE PER UNIT = 0 SPACES
 (9) ONE BEDROOMS @ 1 STORAGE SPACE PER UNIT = 9 SPACES
 (3) TWO BEDROOMS @ 1 STORAGE SPACE PER UNIT = 3 SPACES
 RETAIL 1,715 SF (ONE PER 6,000 SF, MIN. OF 1) = 1 SPACES
TOTAL OF ALL THE SPACES PROVIDED = 13 SPACES

SHORT TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38. TABLE 38.01):

(57) UNITS @ 1/10 UNITS, 2 MIN. = 6 SPACES
 RETAIL 1,715 SF (ONE PER 3,000 SF, MIN. OF 2) = 2 SPACES
TOTAL OF ALL THE SPACES PROVIDED = 8 SPACES



GENERAL SITE NOTES

1. DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPARATE CIVIL DRAWINGS FOR ADDITIONAL SITE DEVELOPMENT SPECIFICS.
2. DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPARATE LANDSCAPE ARCHITECTURAL DRAWINGS FOR SPECIFICS.
3. SITE LIGHTING PER ELECTRICAL DRAWINGS.
4. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.

SITE LEGEND

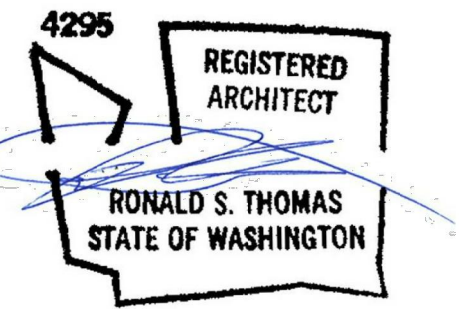
- BUILDING FOOTPRINT
- NEW INTERIOR PAVED HARDSCAPE (IMPERVIOUS)
- NEW CONCRETE HARDSCAPE (IMPERVIOUS)
- EXISTING HARDSCAPE (IMPERVIOUS)
- NEW ASPHALT HARDSCAPE (IMPERVIOUS)
- NEW LANDSCAPE (PERVIOUS)
SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING ADJACENT BUILDINGS.

- 1 SHORT TERM BICYCLE PARKING. PROVIDE DERO, ARC RACK OR SIMILAR. SEE SHEET A-102 DETAIL #4 & 5 FOR ADDITIONAL INFORMATION.
- 2 LONG TERM BICYCLE PARKING. PROVIDE DERO, ARC RACK OR SIMILAR. SEE SHEET A-102 DETAIL #4 & 5 FOR ADDITIONAL INFORMATION.
- 3 PEDESTRIAN BENCH SEATING. PROVIDE DUMOR SIGNATURES BENCH 160 WITH CENTER ARMREST. COLOR: BLACK.
- 4 NEW STREET TREES. PROVIDE WITH MINIMUM 4'X6' PEDESTRIAN FRIENDLY TREE IRON GRATE, TYPICAL.
- 5 EXISTING RAILROAD CONTROL EASEMENT.
- 6 NEW BULB OUT. SEE FIRST FLOOR PLAN & CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 LOCATION OF WASTE COLLECTION. SEE SHEET A-105 FOR ADDITIONAL INFORMATION.
- 8 LOCATION OF RESIDENTIAL BUILDING ENTRY. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 9 LOCATION OF ELECTRICAL ROOM. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 10 ELEVATOR MECHANICAL ROOM.
- 11 SPRINKLER RISER.
- 12 LOCATION OF STRUCTURED PARKING ENTRY. SEE FIRST FLOOR PLAN.
- 13 LOCATION OF COMMERCIAL/RETAIL SPACE ENTRY. SEE FIRST FLOOR PLAN.
- 14 PROPOSED NEW MURAL /ART WALL LOCATION. SEE ELEVATION. SEE SHEET A-301 & A-302 FOR ADDITIONAL INFORMATION.
- 15 NEW LIGHT POLE. SEE CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 16 EXISTING POWER POLE.
- 17 TRASH RECEPTACLE
- 18 DASHED LINE OF AWNING ABOVE. TYPICAL.
- 19 EXISTING PARKING
- 20 EXISTING RAIL LINE

1 SITE PLAN
1" = 20'-0"



525 COLUMBIA ST. | OLYMPIA, WA 98501
360.915.8775 | tasolympia.com



URBAN OLYMPIA 11, LLC
MALT HOUSE
 515 LEGION | OLYMPIA, WA

Project No: 2018
CONSTRUCTION DOCUMENTS
 AUGUST 10, 2021

SITE PLAN

A-101

All material herein constitutes the original and unpublished work of the architect and may not be used, duplicated, or disclosed without the written consent of the architect. Copyright © 2020 by Thomas Architecture Studio. All rights reserved.