

**CITY OF OLYMPIA**  
**Olympia Design Review Board**

**CONCEPT DESIGN REVIEW**  
**STAFF REPORT**  
**December 14, 2017**

**Project Name/Number:** Dockside Flats, Project No. 17-4634

**Applicant:** Urban Olympia V, LLC  
PO Box 7534  
Olympia, WA 98507

**Representative:** Josh Gobel, Project Manager  
Thomas Architecture Studio  
525 Columbia Street SW  
Olympia, WA 98501

**Location:** 210 State Avenue NW

**Project Description:** Construction of a new three story building with two floors of apartment units (44) over ground floor commercial uses (8,184 square feet) and parking. The project includes outdoor restaurant seating and plaza between the building and Percival Landing.

**Zoning District:** Urban Waterfront (UW)

**Design Districts:** Downtown Design District

**Comprehensive Plan Designations:** Urban Waterfront with High Density Neighborhood Overlay

**Scenic Vista:** Budd Inlet, Olympic Mountains, Capitol Dome

**Critical Areas:** None

**SEPA Determination:** A SEPA determination has not yet been issued.

**City Staff:** Cari Hornbein, Senior Planner  
Phone: 360-753-8048  
E-mail: [chornbei@ci.olympia.wa.us](mailto:chornbei@ci.olympia.wa.us)

**Public Notification:** In accordance with the Olympia Municipal Code (OMC) 18.78, public notification was mailed on November 28, 2017 to property owners within 300 feet of the site, parties of record, and recognized neighborhood associations.

## BACKGROUND INFORMATION

### Project Context/Existing Site Conditions:

The project site is located at the intersection of State Avenue and Columbia Street. It is zoned Urban Waterfront and located within the Downtown Design Review District. It is also situated within the shoreline jurisdiction of Budd Inlet. Two vacant buildings occupy the site. Surrounding uses are shown on the figure below. Photos of surrounding uses and buildings can be found on page 004, Attachment 4.

Figure 1



**Project Description:** Dockside Flats is a new three-story building in the downtown core with 44 apartment units and 8,184 square feet of ground-floor commercial uses. Parking for 31 vehicles is located on the ground level with access off of Columbia Street. Solid waste facilities are located in the northeast corner of the building, also with access off of Columbia Street. The project includes a number of amenities including:

- Short-term bicycle parking located on the east and west sides of the building. Long term bicycle parking is located in a bike storage room with access off of the apartment lobby.
- Street trees along State Avenue and Columbia Street, planting beds along the south side of the building and outdoor seating area, and planting beds around the plaza.
- Metal canopies and fabric awnings over store fronts and apartment lobby for weather protection.

**Site/Building Design:** The design of the project was driven by a number of factors including a maximum height of 35', maximum building coverage of 60 percent, the presence of a sewer line and unimproved alley (shown on Figure 1), power poles/lines along both frontages, ground level parking and access, solid waste facilities, and shoreline public access requirements.

As shown on the site plan (page A001, Attachment 4), no portion of the building sits directly over the alley/sewer line. Instead, this area will be used as pedestrian access to and from the parking area, with the second and third floor corridors spanning this easement (see page A102, Attachment 4).

The building is generally set back from property lines to meet separation requirements from utility lines. Continuous storefronts are not provided in order to accommodate on-site parking and solid waste access. Building coverage is 58%.

Public access to the water is required in the City's Shoreline Master Program; access can either be physical or visual. Since the property does not front directly on the shoreline, the project includes a plaza that will provide views of the water. The plaza is located on the west side of the building with direct access from the Percival Landing walkway and the State Avenue sidewalk.

Elements of design include building modulation at the ground and upper levels, variation in roof lines, changes in materials/colors, similar window patterns, and use of soldier course details. Exterior materials consist of brick and fiber-cement siding. The concrete base noted on page A301 has been eliminated; brick will be used in its place.

**Materials and Colors:** Primary building materials include brick and fiber cement siding. Metal will be used for canopies, railings, coping, and cornices. Windows will be vinyl, awnings will be fabric, and entry doors will be fir. Roll-up doors on the east elevation will be frosted glass and metal panels. Exterior cladding will be painted white. Window frames, trim, railings and canopies will be black, and awnings will be blue.

**Land Use Review:** The project is currently under review by the City's Site Plan Review Committee (SPRC); comments have not yet been completed.

## **DESIGN REVIEW**

**Concept Design Review:** Please note that this is a *Concept Design Review*.

Concept review involves the major design elements of a project which include site analysis and contextual response, site development, and architectural and landscape concepts as they relate to the general Citywide design criteria and the specific design criteria of the design district.

The section called "How to Use Design Criteria (OMC 18.100.100)" in the Olympia Municipal Code provides instructions for meeting the City's design criteria. Compliance with each requirement is necessary; the guidelines provide methods to achieve compliance with the requirement. Applicable guidelines must be incorporated into the project design except in cases where the proposed design solutions are considered by the Board and/or staff to be equal to or better than the guidelines, and meet the intent of the requirement.

**Design Analysis:** City staff evaluated the proposal based on the Basic Commercial design criteria, OMC 18.110, and the Downtown Commercial design criteria, OMC 18.120. Staff's analysis can be found in

the attached checklists (Attachment 3). The proposal meets most of the design criteria, but where it does not, findings are provided below:

Basic Commercial Design Criteria:

1. *OMC 18.110.050, Pedestrian Amenities* – Additional landscaping, street trees, and lighting are needed to satisfy this requirement.
2. *OMC 18.110.090, Street Walls* – Additional screening of the parking area is needed on the south side of the building.
3. *OMC 18.110.160, Lighting* – The north elevation may not provide adequate alley illumination.
4. *OMC 18.110.180, Plant Selection* – 1) Additional plant materials are needed to offset the lack of perimeter landscaping that would otherwise be required by OMC 18.36, 2) only one street tree is proposed along Columbia Street, 3) Skyrocket juniper may present a conflict with overhead balconies, and 4) street trees should be as large as possible given the existing power lines.

Downtown Commercial Design Criteria:

1. *18.120.050, Building Design and 18.120.090, Awnings, Canopies, and Marquees* – 1) Continuous canopies have not been provided, 2) the canopy over the apartment lobby is greater than 12' in height; and 3) the north elevation contains a blank wall within close proximity to the street.
2. *OMC 18.120.110, Walkways* – Contrasting pavement between the roll-up doors and curb would enhance pedestrian safety.

**STAFF RECOMMENDATION:**

That the Design Review Board recommend to the Director approval of the concept design review plans for Dockside Flats, File No. 17-4634 with the following conditions:

**A. Context Plan: Approve as proposed.**

**B. Site and Landscape Design: Approve with the following conditions, to be addressed at the time of detail design review:**

1. Provide additional pedestrian amenities as follows:
  - a) Lighting in the plaza and outdoor seating area on the west side of the building;
  - b) Street trees along Columbia Avenue;
  - c) Landscaping, in particular on the east side of the building.

*OMC 18.110.050*

2. Provide an alternate paving pattern/texture between the roll-up doors and curb along Columbia Avenue. *OMC 18.120.110*
3. Revise the landscape plan to address the following:
  - a) Unless the Skyrocket juniper is going to be pruned, replace with a smaller tree;

- b) Add climbing vines to the metal trellis on the south side of the building;
- c) Add street trees along Columbia Street;
- d) Use larger street trees (as large as possible in close proximity to power lines); and
- e) Provide additional landscaping, for example, planting beds at the intersection of State Avenue and Columbia Street, and containers and/or pots on the east side of the building.

**C. Building Design: Approve with the following conditions, to be addressed at the time of detail design review.**

- 1. Add details to the blank wall on the north elevation (at the solid waste room). *OMC 18.110.090, OMC 18.120.050*
- 2. Unless there are functional reasons for omitting canopies or awnings, add them over the roll-up doors on the east elevation. *OMC 18.120.050*
- 3. Lower the height of the canopy over the apartment lobby to a maximum of 12 feet above sidewalk grade. *OMC 18.120.050*
- 4. Evaluate the need for additional lighting on the north side of the building; add if warranted for pedestrian safety. *OMC 18.110.160*

**Submitted By:** Cari Hornbein, Senior Planner

**Attachments:**

Attachment 2 – Application Forms – General Land Use, Land Use Supplement, and Concept Design Review

Attachment 3 – Design Checklists – OMC 18.110 and 18.120

Attachment 4 – Plan Set, date-stamped December 1, 2017



# GENERAL LAND USE APPLICATION

OFFICIAL USE ONLY

Case #: 17-4634

Master File #: \_\_\_\_\_

Date: 10.25.17

Received By: W.SHAUFLER

Project Planner: C.HORNBEIN

Related Cases: \_\_\_\_\_

One or more of the following **Supplements** must be attached to this **General Land Use Application**:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Adjacent Property Owner List           | <input type="checkbox"/> Large Lot Subdivision                                |
| <input type="checkbox"/> Annexation Notice of Intent                       | <input type="checkbox"/> Parking Variance                                     |
| <input type="checkbox"/> Annexation Petition (with BRB Form)               | <input type="checkbox"/> Preliminary Long Plat                                |
| <input type="checkbox"/> Binding Site Plan                                 | <input type="checkbox"/> Preliminary PRD                                      |
| <input type="checkbox"/> Boundary Line Adjustment (Lot Consolidation)      | <input type="checkbox"/> Reasonable Use Exception (Critical Areas)            |
| <input type="checkbox"/> Conditional Use Permit                            | <input checked="" type="checkbox"/> SEPA Checklist                            |
| <input checked="" type="checkbox"/> Design Review – Concept (Major)        | <input checked="" type="checkbox"/> Shoreline Development Permit (JARPA Form) |
| <input type="checkbox"/> Design Review – Detail                            | <input type="checkbox"/> Short Plat   |
| <input type="checkbox"/> Environmental Review (Critical Area)              | <input type="checkbox"/> Tree Plan  |
| <input type="checkbox"/> Final Long Plat                                   | <input type="checkbox"/> Variance or Unusual Use (Zoning)                     |
| <input type="checkbox"/> Final PRD   | <input type="checkbox"/> Other _____  |
| <input checked="" type="checkbox"/> Land Use Review (Site Plan) Supplement | _____   |

Project Name: Dockside Flats

Project Address: 210 State Ave NW, Olympia, WA 98501

Applicant: THOMAS ARCHITECTURE STUDIOS LLC.

Mailing Address: 109 CAPITOL WAY N.

Phone Number(s): 360-915-8775

E-mail Address: josh@tasolympa.com

Owner (if other than applicant): Urban Olympia V, LLC (Walker John)

Mailing Address: P.O. Box 7534, Olympia, WA 98507

Phone Number(s): 360-705-2303

Other Authorized Representative (if any): Sam Nielson

Mailing Address: 1019 39<sup>th</sup> Ave SE, Suite 100

Phone Number(s): (253)604-6600

E-mail Address: snielson@parametrix.com

Project Description: New market rate apartment (studio, 1 and 2 bedroom) building with two floors of residential over one floor of parking, lobby, retail, restaurant and common spaces.

Size of Project Site: 0.57 acres

Assessor Tax Parcel Number(s): 78507200600 & 78507200800

Section :14

Township: 18 N

Range: 2 W

Full Legal Description of Subject Property (attached ):

EAST 55 FEET OF LOT 5 AND ALL OF LOTS 6, 7 AND 8 IN BLOCK 72 OF SYLVESTER'S PLAT OF OLYMPIA, AS RECORDED IN VOLUME 1 OF PLATS, PAGE 14, SITUATE IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 18 NORTH, RANGE 2 WEST, W.M., CITY OF OLYMPIA, THURSTON COUNTY, WASHINGTON.

Zoning: Urban Waterfront (UW)

Shoreline Designation (if applicable): A portion of the site is in Reach 5A of Budd Inlet and designated Urban Intensity (UI)

Special Areas on or near Site (show areas on site plan):

- |   |  |
|---|--|
| <input type="checkbox"/> Creek or Stream (name): _____  | _____  |
| <input type="checkbox"/> Lake or Pond (name): _____     | _____  |
| <input type="checkbox"/> Swamp/Bog/Wetland              | <input type="checkbox"/> Historic Site or Structure            |
| <input type="checkbox"/> Steep Slopes/Draw/Gully/Ravine | <input type="checkbox"/> Flood Hazard Area (show on site plan) |
| <input type="checkbox"/> Scenic Vistas                  | <input checked="" type="checkbox"/> <b>None</b>                |

Water Supply (name of utility if applicable): City of Olympia

Existing: \_\_\_\_\_

Proposed: \_\_\_\_\_

Sewage Disposal (name of utility if applicable): City of Olympia

Existing: \_\_\_\_\_

Proposed: \_\_\_\_\_

Access (name of street(s) from which access will be gained): State Ave NW and Columbia St NW

I affirm that all answers, statements, and information submitted with this application are correct and accurate to the best of my knowledge. I also affirm that I am the owner of the subject site or am duly authorized by the owner to act with respect to this application. Further, I grant permission from the owner to any and all employees and representatives of the City of Olympia and other governmental agencies to enter upon and inspect said property as reasonably necessary to process this application. I agree to pay all fees of the City that apply to this application.

Signature

Date 10/11/17

  
Initials

I understand that for the type of application submitted, **the applicant is required to pay actual Hearing Examiner costs**, which may be higher or lower than any deposit amount. I hereby agree to pay any such costs.

*Applicants are required to post the project site with a sign provided by the City within seven days of this application being deemed complete. Please contact City staff for more information.*

Each complete **General Land Use Application** shall include each of the following:

1. Vicinity map depicting location of project with respect to nearby streets and other major features, and encompassing at least one (1) square mile, and not more than forty (40) square miles.
2. Unless exempt, an environmental checklist with typed and title-company certified list of property owners of record within 300 feet of the project site. (See Olympia Municipal Code (OMC) 14.04.060 and WAC 197-11-800 regarding exemptions.)
3. All supplemental attachments for each and every land use approval required by the City of Olympia for the proposed project.
4. A map to scale depicting all known or suspected critical areas on the site or within 300 feet of the site. (See Chapter 18.32 of the OMC.)
5. An Environmental Review Report if within 300 feet of any critical area (wetland, stream, landslide hazard area or other critical area. (See Chapter 18.32 of the OMC.)



# LAND USE REVIEW (SITE PLAN) SUPPLEMENT

**OFFICIAL USE ONLY**

Case #: \_\_\_\_\_ Master File #: \_\_\_\_\_ Date: \_\_\_\_\_  
 Received By: \_\_\_\_\_ Project Planner: \_\_\_\_\_ Related Cases: \_\_\_\_\_

Project Name: Dockside Flats

Project Address: 210 State Avenue NW, Olympia, WA 98501

Name of Applicant: Thomas Architecture Studio (attn.: Josh Gobel)

	EXISTING	TO BE ADDED	TOTAL
Parcel Area	24,962 sq. ft.	0 sq. ft.	24,962 sq. ft.
Number of Lots	3	0	3
IBC Building Type	VA	VA	
Occupancy Type	B, A	B / R2	
Number of Buildings	2	-1	1
Height	20 ft.	15 ft.	35 ft.
Number of Stories (including basement)	1	3	3
Basement	0 sq. ft.	0 sq. ft.	0 sq. ft.
Ground Floor	11,005 sq. ft.	-2,821 sq. ft.	8,184 sq. ft.
Second Floor	0 sq. ft.	15,233 sq. ft.	13,845 sq. ft.
Third Floor	0 sq. ft.	15,233 sq. ft.	13,845 sq. ft.
Gross Floor Area of Building	11,005 sq. ft.	24,869 sq. ft.	35,874 sq. ft.
Landscape Area	0 sq. ft.	2,440 sq. ft.	2,440 sq. ft.
Paved Parking	8,181 sq. ft.	1,565 sq. ft.	9,746 sq. ft.
Number of Parking Spaces	15	17	31
Total Impervious Area	24,962 sq. ft.	2,440 sq. ft.	22,522 sq. ft.
Sewer (circle one)	<b>City</b> / Septic	<b>City</b> Septic	
Water (circle one)	<b>City</b> Well	<b>City</b> Well	

PROJECT DESCRIPTION (please fill out the above table and provide a separate detailed description):



Demolition of two existing building on site. Construction of new three story mixed use building to include market rate apartments (studio, 1 and 2 bedroom) with two floors of residential (44 total units) over one floor of parking, lobby, retail, restaurant and common spaces. Additional site construction of exterior plaza and pedestrian amenities. Building to be wood framed with full depth brick veneer and ship lap siding.



# DESIGN REVIEW APPLICATION - CONCEPT



## OFFICIAL USE ONLY

Case #: \_\_\_\_\_ Master File #: \_\_\_\_\_ Date: \_\_\_\_\_  
Received By: \_\_\_\_\_ Related Cases: \_\_\_\_\_ Project Planner: \_\_\_\_\_  
Project Name: Dockside Flats  
Site Address: 210 State Ave NW, Olympia, WA 98501  
Applicant Name: THOMAS ARCHTIECTURE STUDIOS LLC  
Phone Number: 360-915-8775  
E-Mail Address: JOSH@TASOLYMPIA.COM  
Description of Project: New market rate apartment (studio, 1 and 2 bedroom) building with two floors of residential over one floor of parking, lobby, retail, restaurant and common spaces

A Concept Design Review Application shall be submitted electronically with two hard copies and shall include:

1. **General Land Use Application** Refer to the General Land Use Application for Submittal requirements
2. Certified list of property owners within 300 feet of project site prepared by a title company. Submit the list on a flash drive or memory stick in Excel worksheet format.
3. Context Plan including plan and elevation views in relation to surrounding properties illustrating:
  - Footprint(s) of proposed and existing buildings, including those within 100' of the project site on the same side of the street.
  - Scaled elevations of proposed and existing buildings, including those within 100' of the project site on the same side of the street.
4. Preliminary Site Plan illustrating:
  - Property lines with distances.
  - Adjacent public rights-of-way.
  - Existing and proposed grades at 2-foot contour intervals.
  - Existing and proposed site features, including stormwater facilities and soil and vegetation protection areas.
  - Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
  - Clearly delineated and labeled landscape and hardscape areas.
5. Preliminary Landscape Plan meeting the provisions of OMC 18.36, illustrating features such as, but not limited to:
  - Location of existing (to remain) and proposed plants.
  - Type of existing and proposed plants (i.e., groundcover, shrub, tree).
  - Graphic depiction of the size of proposed tree canopies at maturity on plan.
  - Clearly delineated and labeled landscape, hardscape, and building areas.

6. Preliminary Building Elevations (fully scale and dimension each elevation) illustrating:
- Building elevations of all sides of the building(s) labeled as north, south, east or west elevation.
  - Location of building doors and windows.
  - Indicate finished floor elevations and location of exterior steps and stairways.
  - Area(s) on building where signs will be installed.

This form has been approved for use by the Olympia Community Planning and Development (CPD) Department.



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Keith Stahley, Director,  
Community Planning and Development

12/1/2016  
Date

Project Name: Dockside Flats

Master File: 17-4634

- Concept Design Review
- Detail Design Review
- Combined Design Review

Date: December 14, 2017

**CITY OF OLYMPIA  
BASIC COMMERCIAL DESIGN CRITERIA  
Chapter 18.110**

<b>18.110.020 – Frontage</b>			
<b>A. REQUIREMENT:</b>			Buildings must abut at least fifty percent (50%) of the street frontage. Gaps in frontage between buildings on a single project may not exceed eighty (80) feet in length.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**STAFF RESPONSE:**

*The building complies with this requirement.*

<b>18.110.030 – Connections</b>			
<b>A. REQUIREMENT:</b>			Provide driveway and sidewalk connections to and through the development to adjoining streets, bus stops, designated urban trails, and properties, where access exists or reasonable connections are possible. If a parking lot lies between the building entry and an adjacent public street, a pedestrian walkway at least six (6) feet wide shall be provided between them. In all other cases, on-site sidewalks shall have a passable width of at least four (4) feet. All crossings of vehicular travel lanes shall be clearly marked.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Provide clear pedestrian circulation routes on site.
- Minimize curb cuts by sharing driveways and access from side streets whenever possible.
- On large sites where no public streets exist, create a grid street system within the project.
- Locate storm drainage ponds, swales, and other drainage system components so they do not unreasonably impede pedestrian access to or between buildings.
- Provide a direct and clear visual connection through the buildings to the front street if parking is located behind the buildings.
- Provide signs for pedestrians and vehicles within the site, if necessary.

- Provide walkways through parking bays and adjacent to landscape islands.

**STAFF RESPONSE:**

*The project will provide the following connections:*

- *Sidewalks already exist, but will be replaced. Minimum widths required for accessibility will be provided;*
- *Driveway off of Columbia Street into the parking area;*
- *Pedestrian access between the State Avenue sidewalk and parking area; and*
- *Pedestrian connection to the plaza from Percival Landing and the State Avenue sidewalk.*

**18.110.040 – Fences and Walls**

**A. REQUIREMENT:**

Complies       Conflicts       N/A

Minimize the use of fences that inhibit pedestrian movement or separate the project from the neighborhood and adjoining streets. Front yards shall be visually open to the street. Where fencing is necessary, maintain a human scale along the street by providing pedestrian connections through use of gates or openings at frequent intervals.

**B. GUIDELINES:**

- Provide variation in fencing through use of stepped fence heights or small setbacks.
- Add visual interest by providing variation in fence materials, texture, or colors.
- Provide landscape screening to break up long expanses of fencing.
- Repeat use of building facade material on fence columns and/or stringers.
- Provide lighting, canopies, trellises or other features to add visual interest.

**STAFF RESPONSE:**

*Metal trellises are proposed on the south and north elevations to screen on-site parking (see page A302, Attachment 4).*

### 18.110.050 – Pedestrian Amenities

#### A. REQUIREMENT:

Complies

Conflicts

N/A

Provide pedestrian amenities in places where people typically gather, including but not limited to, transit stops, building entrances, or street corners. These spaces must include seating, landscaping, and at least two of the following:

1. Patterned materials on walkways;
2. Shelters;
3. Trash receptacles;
4. Drinking fountains;
5. Pedestrian lighting, light bollards, or alley lighting;
6. Fountains, sculptures, mobiles, kiosks, or banners;
7. Street trees, flower boxes, or container landscaping in alleys;
8. Street vendor stations where appropriate; or
9. Bike racks.

#### STAFF RESPONSE:

*Amenities include bike racks on the east and west sides of the site, a bench next to the transit stop along Columbia Street, outdoor restaurant seating, public plaza, landscaping (south side of building), and building-mounted lighting.*

*In order to fully comply with this requirement, the project will need to provide the following:*

- *Additional landscaping and street trees on the east side of the building; and*
- *Lighting in the plaza and outdoor seating area.*

### 18.110.060 – View Preservation

#### A. REQUIREMENT:

Complies

Conflicts

N/A

In order to protect the existing outstanding scenic views which significant numbers of the general public have from public rights-of-way, applicants for development must consider the impact their proposal will have on views of Mt. Rainier, the Olympic Mountains, Budd Inlet, the Black Hills, the Capitol Building, and Capitol Lake or its surrounding hillsides. All development must reserve a reasonable portion of such territorial and immediate views of these features for significant numbers of people from public rights-of-way, and shall provide lookouts, viewpoints, or view corridors so that visual access to existing, outstanding scenic vistas is maintained.

Refer to the Scenic Vista overlay zoning maps available at the Community Planning and Development Department.

**STAFF RESPONSE:**

*According to the City's Scenic Vista Overlay Map, views of the Capitol Dome, Budd Inlet, and Olympic Mountains are to be preserved along Water Street. The new building will sit approximately 65 feet further back than the existing building, which will enhance these views.*

<b>18.110.070 – Building Location and Design</b>			
<b>A. REQUIREMENT:</b>			<ol style="list-style-type: none"><li>1. Place commercial buildings on the street edge and locate parking on the side or behind the building. Parking lots shall not be located on corners. Exceptions may be made where an alternative building location would provide as good or better pedestrian access. Exceptions may be made in the Auto Oriented Design District and in the HDC-4 Capital Mall area (see Section 18.130.060).</li><li>2. Entrances to buildings shall be clearly articulated and obvious from the street.</li><li>3. Commercial and public buildings over three (3) stories must have a clearly defined base at street level that is no more than two stories high.</li></ol>
Complies <input checked="" type="checkbox"/>	Conflicts <input type="checkbox"/>	N/A <input type="checkbox"/>	

**STAFF RESPONSE:**

*The building is located at the back of the sidewalk; entrances will be obvious from the street.*

<b>18.110.080 – Maintaining Human Scale</b>			
<b>A. REQUIREMENT:</b>			Use design elements to maintain a human scale at the street. Projects requiring a conditional use permit in a residential zone must incorporate elements that relate to existing buildings in the neighborhood.
Complies <input checked="" type="checkbox"/>	Conflicts <input type="checkbox"/>	N/A <input type="checkbox"/>	

**B. GUIDELINES:**

- Where there is a strong sense of human scale neighborhood identity, use building modulation, roof forms, windows, materials, and details that are similar to the neighborhood buildings.
- Articulate façade design features to reduce the apparent size of large buildings. Design elements may include, but are not limited to: facade modulation, cornices, window patterns, plazas, porches, patios, decks, covered entries, balconies, bay windows, dormers, stepped roofs, gables or other roof elements, a variety of cladding materials, lighting fixtures, trellises, trees or other landscape features, and multiple paint colors and building materials.
- Locate retail shops with display windows at the street level around the exterior of larger commercial buildings.

**STAFF RESPONSE:**

*The proposed building incorporates various elements that contribute to human scale such as building modulation, storefronts, canopies, landscaping, seating, and lighting.*

<b>18.110.090 – Street Walls</b>			
<b>A. REQUIREMENT:</b>			Use a high proportion of clear or lightly tinted glass at the street level for displays or to reveal services available where appropriate. This glass shall cover or comprise at least sixty (60) percent of the building face between two (2) and eight (8) feet in elevation above the sidewalk. If glass is not possible, at least one (1) of the following, or an equivalent, shall be substituted for glazing on the building walls fronting on a street, sidewalk, or other pedestrian walkway visible to pedestrians. The following guidelines are listed in order of preference. Wall segments without such treatments should not exceed thirty (30) feet in length.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Ornamental and structural architectural details that provide texture to the building surface; or
- Climbing plants, vines, trees, or other vegetation that, within three (3) years of planting, can reasonably be expected to cover or screen the wall to the degree required to comply with this section; or,
- A pedestrian area, consistent with Section 18.06.100, Development Standards, located along the southern, eastern, or western exposure of a building face at a transit stop, intersection corner, or other location.

**STAFF RESPONSE:**

*Glazing calculations are shown on pages A002 and A003 of Attachment 4. Overall, the project complies with this requirement. Where glazing is not feasible on the south elevation, a metal trellis with landscaping is proposed to screen the parking area. To enhance screening, climbing vines can be used.*

*The lower portion of the exterior wall facing the alley exceeds 30 feet. Because it is highly visible from the street, additional detailing will be required.*

<b>18.110.100 – Windows</b>			
<b>A. REQUIREMENT:</b>			Windows shall provide relief, detail, and variation to building facades and shall be in harmony with the character of the structure.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



**B. GUIDELINES:**

- Provide variation in rhythm both horizontally and vertically.
- Use windows that are recessed or protruding such as bay windows.
- Use visually significant window elements, including lintels, sills, casings, mullions, and frame dimensions.
- Provide more glazing area on the ground floor than on the upper floors.

**STAFF RESPONSE:**

*Window placement and patterns complement the building design. Details regarding recesses, trim dimensions, etc. will be provided at the time of detail design review.*

<b>18.110.110 – Projections into the Right-of-Way</b>			
<b>A. REQUIREMENT:</b>			In order to create a positive visual experience for the pedestrian moving along the street, add interest and variety to building facades by using projections into the right-of-way.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Use any of a variety of projections such as awnings, trellises, planter boxes, bay windows, balconies, canopies and porticos. When awnings are used they should cover the pedestrian clear zone (the 42" of sidewalk immediately adjacent to the building).

Also see Development Guidelines and Public Works Standards 12.24.020, as amended.

**STAFF RESPONSE:**

*Canopies will project over sidewalks, some of which are located in City right-of-way.*

<b>18.110.120 – Roofs</b>			
<b>A. REQUIREMENT:</b>			Provide relief, detail and variation to rooflines.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Use cornices at upper edge of façades or soffit overhangs on rooflines that abut the street.
- Use landscaped roof terraces and gardens on buildings that are stepped back from the street.

**STAFF RESPONSE:**

*The project satisfies this requirement. Parapet heights are varied through the use of different treatments and colors – custom cornices on the brick sections of the building (painted Benjamin Moore Onyx), and trim with cap flashing on the fiber cement portions of the building (painted Benjamin Moore White Diamond).*

<b>18.110.130 – Corners</b>			
<b>A. REQUIREMENT:</b>			Create pedestrian friendly building elements at intersections and alley entrances.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Incorporate features such as inset or angled corners and entrances, display windows, or corner roof features.

**STAFF RESPONSE:**

*Storefront windows and building entries are located at the southeast building corner. Canopies and awnings are proposed over storefronts and entries.*

<b>18.110.140 – Consistency</b>			
<b>A. REQUIREMENT:</b>			Buildings shall have a consistent visual identity from all sides visible to the general public; except, building walls adjacent to alleys in the downtown design district.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Use consistent exterior materials, architectural detailing, and color schemes.
- Buildings should present a comparable level of quality of materials, detailing and fenestration.

**STAFF RESPONSE:**

*The project provides consistency on all sides of the building through the use of materials, detailing, building proportions, and colors.*

<b>18.110.150 – Colors and Materials</b>			
<b>A. REQUIREMENT:</b>			Use building materials with texture and pattern (such as brick) on exterior building walls and large surfaces. Reserve brightly saturated colors for trim or accents.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Avoid large expanses of highly tinted or mirrored glass.
- Do not use highly reflective exterior materials (except glazing) where glare would affect nearby buildings or traffic.

**STAFF RESPONSE:**

*Primary building materials include brick and fiber-cement lap siding. Brick will be applied in running course and soldier course patterns. Fiber-cement siding will have a 6" exposure. Other materials include metal canopies, fabric awnings, aluminum railings, frosted glass (roll-up doors), vertical grain fir doors, and vinyl windows.*

*The predominant building color is white (Benjamin Moore White Diamond) with dark accents (Benjamin Moore Onyx). Windows, storefronts, canopies and balcony railings will be black. Fabric awnings will be blue. See sheet A301, Attachment 4 for a complete list of materials and colors.*

<b>18.110.160 – Lighting</b>			
<b>A. REQUIREMENT:</b>			Use lighting to emphasize the building and landscaping, and to provide visibility and general security. Lighting shall not shine off-site or into adjacent buildings.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Use lighting to emphasize key architectural elements and landscape features.
- Use adequate lighting along sidewalks and alleys to provide well-lit pedestrian walkways.

**STAFF RESPONSE:**

*Lighting includes wall sconces, gooseneck lights, and bollards. Their locations are shown on pages A903 and A90, Attachment 4. Additional lighting will be required in the plaza and outdoor seating area per OMC 18.110.050. Additional lighting may be required on the north side of the building to illuminate the alley; this should be evaluated prior to detail design review.*

<b>18.110.170 – Parking Structures</b>			
<b>A. REQUIREMENT:</b>			Vehicle entries to garages shall be recessed at least six (6) feet from the street facade plane. At least sixty (60) percent of the street facade between two (2) and eight (8) feet above the sidewalk, shall have at least one (1) of the treatments listed below.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Transparent windows (with clear or lightly tinted glass) where pedestrian-oriented businesses are located along the facade of the parking structure; or
- Display windows; or
- Art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief art work, or similar features; or
- Decorative metal grille work or similar detailing which provides texture and covers the parking structure opening; or
- Vertical trellis or other landscaping or pedestrian plaza area.

**STAFF RESPONSE:**

*The six-foot recess is required so vehicles can pull forward avoid blocking the sidewalk. Because the building will be setback almost nine feet from the property line, further recessing the is not warranted. The roll-up door will have frosted glass and metal panels.*

<b>18.110.180 – Plant Selection</b>			
<b>A. REQUIREMENT:</b>			Select plants that are compatible with planting conditions and existing landscaping. Plant trees that at their mature, natural size will be well-suited to the planting location. Avoid use of invasive species adjacent to critical areas. Do not plant noxious weeds, as defined by the Thurston County Noxious Weed Control Program (lists are on file with Thurston County or the City’s Community Planning and Development Department).
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Provide visual continuity with the existing streetscape by coordinating tree and shrub species with established, healthy landscaping.
- Consider mature tree size in relation to planting area dimensions and soil type.
- Avoid a haphazard appearance by using a limited number of plant species.
- Choose native plant species for primary landscaping; limit use of exotic plant species to areas of interest or effect.

**STAFF RESPONSE:**

*Proposed plants are generally suited to local conditions; see comments below regarding plant selection. Final review will be conducted at the time of engineering permit review, at which time staff will confirm that the requirements of OMC 18.36 are met.*

- *Except for the Skyrocket juniper, plants in front of the openings on the south side of the building are low growing. Greater screening can be achieved with the addition of climbing vines;*

- Skyrocket juniper can grow to 20' tall, which will be taller than the second level balconies. Unless it will be pruned, a shorter tree would be more appropriate;
- If space allows, add planting beds at the corner of State and Columbia;
- Add street trees along Columbia Street;
- Use larger street trees -- as large as possible given their proximity to power lines; and
- Use containers/pots along storefronts to offset absence of perimeter landscaping.

### 18.110.190 – Screening Site Services

#### A. REQUIREMENT:

Complies

Conflicts

N/A

Show the location of all mechanical equipment and utility vaults on both site and landscape plans early in the design process. Provide visual screening so that mechanical equipment and utility vaults are not visible from adjacent public rights-of-way, or adjacent dwelling units. Screen rooftop mechanical and communications equipment on all sides.

#### B. GUIDELINES:

- Locate mechanical equipment and utility vaults on the least visible side of the building and/or site.
- Screen at-grade locations with vertical plants such as trees, shrubs or ornamental grasses.
- Screen or paint wall mounted mechanical equipment to match the building.

#### STAFF RESPONSE:

*Electrical service will be within the building footprint. Gas service will be installed to the restaurant, with the meter placed on the east wall facing the parking area. Additional details regarding mechanical equipment and utility vaults will be provided at the time of detail design review.*

### 18.110.200 – Screening Blank Walls

#### A. REQUIREMENT:

Complies

Conflicts

N/A

Use a variety of landscape materials along lengthy expanses of blank walls or fences.

#### B. GUIDELINES:

- Screen walls or fences with a combination of trees, shrubs and vines.
- Use irrigated raised planter boxes for screening purposes.
- In narrow planting areas adjacent to walls or fences, use espaliered trees or shrubs and vines.

**STAFF RESPONSE:**

*Other than the exterior wall at the solid waste room, there are no blank walls. Treatment of this wall has been addressed under OMC 18.110.090.*

- Concept Design Review
- Detail Design Review
- Combined Design Review

**CITY OF OLYMPIA  
COMMERCIAL DESIGN CRITERIA-DOWNTOWN  
Chapter 18.120**

<b>18.120.020 – Setbacks</b>			
<b>A. REQUIREMENT:</b>			Maintain the continuity of the streetscape with the setbacks of buildings.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Align buildings according to the existing pattern.
- Use walls, railings, planters, or other built and landscape elements at the property line if the building or a portion of it is set back from the property line.

**STAFF RESPONSE:**

*In general, buildings in the area are constructed to property lines/back of sidewalk. The proposed building is setback from property lines along State Ave and Columbia Street to accommodate required separation from power lines. Along State Avenue, buildings are set back between 3 and 8 ½ feet. Along Columbia Street, setbacks vary from 3 ½ to 9 feet.*

*Various elements are provided to offset the setbacks including planting beds along the south side of the building and a bus stop and bench on the east side of the building. The addition of landscaping as recommended under OMC 18.110.s and bus stop and bench on the east side. The addition of landscape elements as recommended by staff to address OMC 18.110.050 and 180, will provide greater compliance with this standard.*

<b>18.120.030 – Waterfront view corridors</b>			
<b>A. REQUIREMENT:</b>			On waterfront sites, provide for public view corridors of Capitol Lake and Budd Inlet. All development shall incorporate into the site and building design both territorial and immediate views for significant numbers of people from public rights-of-way. (EXCEPT: Intermittent or partial views of the water may not be deemed necessary to incorporate into the site and building design.) See Scenic Vista overlay zoning maps, which are available at the Community Planning and Development Department.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Locate buildings on the site and design roofs so that they do not interfere with views and vistas.
- Design and site waterfront buildings to avoid blocking view corridors on adjacent streets that point toward the water.

**STAFF RESPONSE:**

*The proposed building will be set back approximately 65 feet further than the existing building, allowing for enhanced views of Budd Inlet, the Olympic Mountains and the Capitol Dome.*

<b>18.120.040 – Parking lots</b>			
<b>A. REQUIREMENT:</b>			Locate and design parking lots which maintain the visual continuity of the street and do not create vacant space in the street pattern. Allow for both pedestrian and vehicular circulation, and provide clear access between parking and the principal building(s) on the site.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Minimize the width of parking lots located adjacent to the street.
- Screen parking lots which abut the street with hedges, fences, raised planters, or low walls combined with plantings. These screening materials shall not obscure vehicular sight lines as a safety requisite.

**STAFF RESPONSE:**

*Ground level parking with access off of Columbia Street is proposed. Where parking is open to State Avenue and the alley on the north side of the building, it will be screened with metal trellises and vegetation. The loading area between the two accessible stalls provides pedestrian access from parking to the residential lobby. The north/south corridor will provide access between the parking area and State Avenue sidewalk.*

<b>18.120.050 – Building Design</b>			
<b>A. REQUIREMENT:</b>			Buildings must have streetscape characteristics, such as pedestrian oriented businesses and/or shops, corner entries, and building edges abutting the sidewalk. For additional Building Design requirements please refer to:
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Development standards in the zoning district where the project is located, and
- Pedestrian Streets Overlay District



**STAFF RESPONSE:**

*The proposed building will abut sidewalks along State Avenue and Columbia Street, both of which Pedestrian A streets. Proposed ground level uses include retail shops, restaurant, and residential lobby, all with entrances facing abutting streets.*

*The project complies with development standards for the Urban Waterfront district and Urban Intensity shoreline designation. With the exception of canopies, street frontages, and blank walls, the project complies with pedestrian street standards in OMC 18.16, as noted in the findings below:*

- 1. Setbacks – The maximum street wall setback is 10 feet. The project complies with this requirement.*
- 2. Pedestrian Plazas – Design plazas where people can gather with a maximum dimension of 60' and accessible from the public right-of-way. At least 10% of the plaza area shall be landscaped or use public art to provide texture, break up expanses of hardscape, and add human interest.*

*The project includes a public plaza (approximately 1700` square feet) between the outdoor seating area and Percival Landing. It will be accessible from State Avenue and Percival Landing and include seating, a shuffle board court, and landscaping. Approximately 15% of the plaza will be landscaped and no dimension exceeds 60'.*

- 3. Street Wall Heights – A minimum 16-foot street wall height is required. The building will be 25 feet high and therefore satisfies this requirement.*
- 4. Canopies – Canopies are required along street walls to provide weather protection, contribute to overall integration of individual buildings within the streetscape and to help define the pedestrian zone.*

*Canopies and awnings are provided over storefront windows and entrances on the east, west, and south sides of the building. The canopy over the apartment entrance exceeds the maximum 12' over finished grade.*

*Canopies have not been provided over the parking and solid waste openings on the east elevation. Unless there are functional reasons for omitting the canopies, they shall be provided over these openings.*

*Similarly, canopies have not been provided over openings on the south elevation. This portion of the building is setback and separated from the sidewalk with a planting bed. As such, canopies are not practical in this location.*

- 5. Blank Wall Limitations – Blank walls are not allowed adjacent to or within 50 feet of a pedestrian street right-of-way. At least 60% of these walls between 2 and 8 feet in height must be pedestrian friendly. Pedestrian-friendly facades shall have one or more of the following characteristics: transparent windows, art or architectural treatment, vertical trellis, pedestrian plazas, and/or display windows.*

*Except for the exterior wall of the solid waste room (north elevation), the project complies with this requirement (see calculations on pages A002 and A003, Attachment 4). Additional treatment on the north elevation will be required.*

6. Primary Building Entrance – Allow people to arrive by foot, transit, or other means (in addition to car); increase pedestrian and street activity; design entries to convey a sense of arrival; use high quality materials.

*The project includes a wide sidewalk along Columbia Street to encourage pedestrian activity; an existing transit stop is located in this area. Building entries will be defined with canopies and vertical grain fir used for the doors.*

7. Street Frontage – To create interesting and active pedestrian streets, 75% of the street frontage needs to look like a storefront by including one or more of the following elements: direct at-grade sidewalk entries, high ceilings, recessed doors, storefront windows, awning, canopies, large room spaces, and similar features in the building. Building entries, lobbies, and structured parking are exempt.

*Taking into account allowed exclusions, over 75% of the south and east elevations provides the required elements including storefront windows, high ceilings, awnings, and canopies.*

8. Parking Structure Design – The design of parking structures must be pedestrian-oriented in scale and character. Several options are available including the use of pedestrian-friendly façade treatments listed in #5 above, public art, or decorative metal grille work or similar architectural detailing which provides texture and covers parking structures openings.

*The applicant proposes the use of metal trellises with vegetation on the north and south elevations to screen on-site parking areas. The roll-up door on the east side of the building will have frosted glass and metal panels.*

<b>18.120.060 – Building materials</b>			
<b>A. REQUIREMENT:</b>			Maintain the character of the existing downtown buildings by using similar enduring materials such as stone, brick, and stucco.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Applied brick tiles or Exterior Insulation Finish System (EIFS) that attempt to give the appearance of genuine masonry or stucco are not preferred. Decorative ceramic tiles may be used as accent features.

**STAFF RESPONSE:**

*Existing downtown buildings use a variety of exterior materials. The proposed building will use brick and fiber-cement for exterior cladding. Canopies and awnings and will be metal and fabric. Metal will be used for flashing, cornices, railings, and trellises. Windows will be vinyl.*

18.120.070 – Building design – Building rhythm			
<b>A. REQUIREMENT:</b>			Create visually interesting street walls with variations in horizontal and vertical wall surfaces. Use architectural elements that clearly define a base at street level.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Provide variation in fenestration, architectural elements, building materials, and/or building planes at varying intervals.

**STAFF RESPONSE:**

*The use of building modulation, recessed storefront windows (4”), canopies, awnings, and planting beds will create interest at the street level. Though not shown on the building elevations, brick sills will be used along the bottom edge of the storefront windows. The use of brick detailing (soldier course), window trim, lighting, decorative cornices, material changes, and balconies/railings will provide variation on the upper floors.*

18.120.080 – Building orientation			
<b>A. REQUIREMENT:</b>			Orient the primary building entrance and active uses such as retail storefront window displays or restaurants to the street.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Provide views and access into interior activities of the building from the street. Use a high proportion of glazing at the street level for displays or to reveal services available.
- Use landscaping, surface texture, or art work on buildings where revealing active uses is inappropriate.

**STAFF RESPONSE:**

Building entrances and storefronts are oriented toward adjacent streets.

18.120.090 – Awnings, canopies, and marquees			
<b>A. REQUIREMENT:</b>			Provide awnings, canopies, and marquees on buildings that abut the sidewalk.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

**B. GUIDELINES:**

- Maintain the visual and spatial horizontal plane of the street by employing a horizontal alignment of awnings, canopies, and marquees in areas where they are an existing element in the street pattern.
- Select awnings, canopies, and marquees which emphasize the architectural and/or historical character, color, and material of the building without covering or obscuring details of the facade.
- Provide continuity of coverage on both sides and the corner when a building is located on a corner.

**STAFF RESPONSE:**

*Canopies and awnings are proposed over storefront windows and entrances on the east, west, and south sides of the building. Canopies/awnings are absent over the parking and solid waste openings on the east elevation. Unless there are functional reasons for omitting the canopies, they shall be provided over these openings.*

*Similarly, canopies are absent over openings on the south elevation. This portion of the building is setback and separated from the sidewalk with a planting bed. As such, canopies are not practical in this location.*

<b>18.120.100 – Walkways</b>		
<b>A. REQUIREMENT:</b>		Provide character and visual diversity to walkways.
Complies <input type="checkbox"/>	Conflicts <input type="checkbox"/>	N/A <input type="checkbox"/>
<i>To be addressed at time of detail design review.</i>		

**B. GUIDELINES:**

- Vary sidewalk colors and materials by combining pavers, brick, stone, exposed aggregate and other materials set in geometric or free form patterns.
- Identify street and driveway crossings through changes in colors, materials, or patterns.
- Separate the pedestrian from the street by the use of planters, bollards, or similar elements at the street edge of the sidewalk.
- Provide alleys with lighting, plantings, and paving materials in areas of the City where the alley is or may be used as a pedestrian link.
- Incorporate information about historic events or structures into the walkway by use of plaques, signs, and art work.

18.120.110 – Pedestrian access from parking areas			
<b>A. REQUIREMENT:</b>			Provide direct and visible pedestrian access through parking areas to building entrances and to adjoining pedestrian ways. Minimize crossings of traffic lanes.
Complies <input checked="" type="checkbox"/>	Conflicts <input type="checkbox"/>	N/A <input type="checkbox"/>	

**B. GUIDELINES:**

- Provide sidewalks through parking bays.
- Define walkways with vertical plantings, such as trees or shrubs.
- Use materials, textures, patterns, or colors to differentiate pedestrian paths from parking areas. Use non-slip materials.
- Emphasize the entrance to the building by the use of paving materials and landscaping. Avoid locating parking spaces directly in front of the building entrance or in such a way as to interfere with entrance visibility and access.
- Use signs to direct customers to the building entrances and back to the parking areas.

**STAFF RESPONSE:**

*Pedestrian access is provided from parking to the apartment lobby and to the State Avenue sidewalk.*

18.120.120 – Waterfront public access			
<b>A. REQUIREMENT:</b>			On waterfront sites used for commercial, residential, or recreational uses, incorporate shoreline public access pursuant to the goals of the Shoreline Management Act in a manner roughly proportionate to the impact created by the development.
Complies <input checked="" type="checkbox"/>	Conflicts <input type="checkbox"/>	N/A <input type="checkbox"/>	

**B. GUIDELINES:**

- Provide a water-edge trail and view corridors.
- Provide public access to the water-edge trail and/or view corridors.
- Provide necessary improvements appropriate to these facilities, such as signage, seating, and lighting.

**STAFF RESPONSE:**

*Though not directly located on the water, the project is within the shoreline jurisdiction of Budd Inlet and subject to public access requirements in the City's Shoreline Master Program. Public access to the water can either be physical or visual. In this case, a public plaza is proposed immediately east of Percival Landing, providing visual access to the water.*

### 18.120.130 – Visual context of streetscape

#### A. REQUIREMENT:

Complies



Conflicts



N/A



Develop visual linkages between adjacent properties through building design, street trees, and streetscape improvements.

#### B. GUIDELINES:

- Link dissimilar buildings by using common elements of existing development. Maintain setbacks from the street; repeat or incorporate similar proportions and scale of buildings; use similar exterior materials, paving materials, and lighting standards.
- Plant the same or similar street trees to maintain the continuity of the street.
- Continue walls, screening, and planters where they exist.
- Repeat common elements and/or materials of landscape design.

#### STAFF RESPONSE:

*Visual linkages will be provided by placing the new building closer to the street than currently exists. Other elements such as street trees and street lights will be integrated into the project. The proposed building includes elements found on surrounding buildings such as storefront windows, parapets, and accent bands.*

### 18.130.140 – Signs – Attached to the building

#### A. REQUIREMENT:

Complies



Conflicts



N/A



Choose signs that maintain the architectural integrity of the building; locate them so the building details are not covered or obscured. Signs shall conform with Chapter 18.42, Signs, and to the design requirements of this section and of Section 18.120.150.

#### B. GUIDELINES:

- Signs should be subordinate to the building design.
- Coordinate colors with the colors of the building.
- Use sign panel shapes that complement the architectural forms of the building.
- Avoid a wide variety of types and sizes of signs when several businesses share the same building. Use directory signs wherever possible.
- Select colors, materials, size, shape, and illumination similar to signs found on adjacent properties. Emphasize legibility and simplicity.
- Align signs with those on adjacent buildings when possible.
- Design signs for businesses served principally by vehicular traffic to be easily legible from the street.

- Select lettering sizes, styles, and sign locations that will be clearly visible to pedestrians.
- Use window signs where wall signs would detract from architectural elements of building facade. Symbols for the business such as a pair of eyeglasses can be used to add detail at the sidewalk.
- Select a type and intensity of lighting in order to match the lighting levels of signs found in the area.

**STAFF RESPONSE:**

*Sign locations are shown on building elevations (pages A301 and A 302, Attachment 4). They appear to complement the building but will be reviewed for compliance with the sign code regulations at the time of permit application.*

<b>18.130.150 – Signs – Freestanding</b>		
<b>A. REQUIREMENT:</b>		
Complies <input type="checkbox"/>	Conflicts <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
<p>When building-mounted signs will obscure the architectural details of the building or where buildings are set back from the sidewalk and/or property line, use a free-standing sign. Signs shall conform to Chapter 18.42 Signs.</p> <p>Signs shall have a maximum height of four (4) feet above grade. Lettering styles and colors are limited to two (2) lettering styles and three (3) colors. Signs shall be incorporated in planters or screening walls.</p>		



THOMAS  
architecture studios



# THE LAURANA

CONCEPT DESIGN REVIEW

DECEMBER 1, 2017





## **THE LAURANA**

### **Concept Design Review:**

#### **CONTENTS**

SECTION 1: General Land Use and Design Review Applications  
(Separated and attached to staff report)

SECTION 2: Context Plans and Elevations/View Corridors

SECTION 3: Site Plans, Floor Plans and Solid Waste Plan

SECTION 4: Building Elevations

SECTION 5: Landscape Plans

SECTION 6: Detail/Cut Sheets

**SECTION 1: Applications**

**Separated and attached with staff report.**

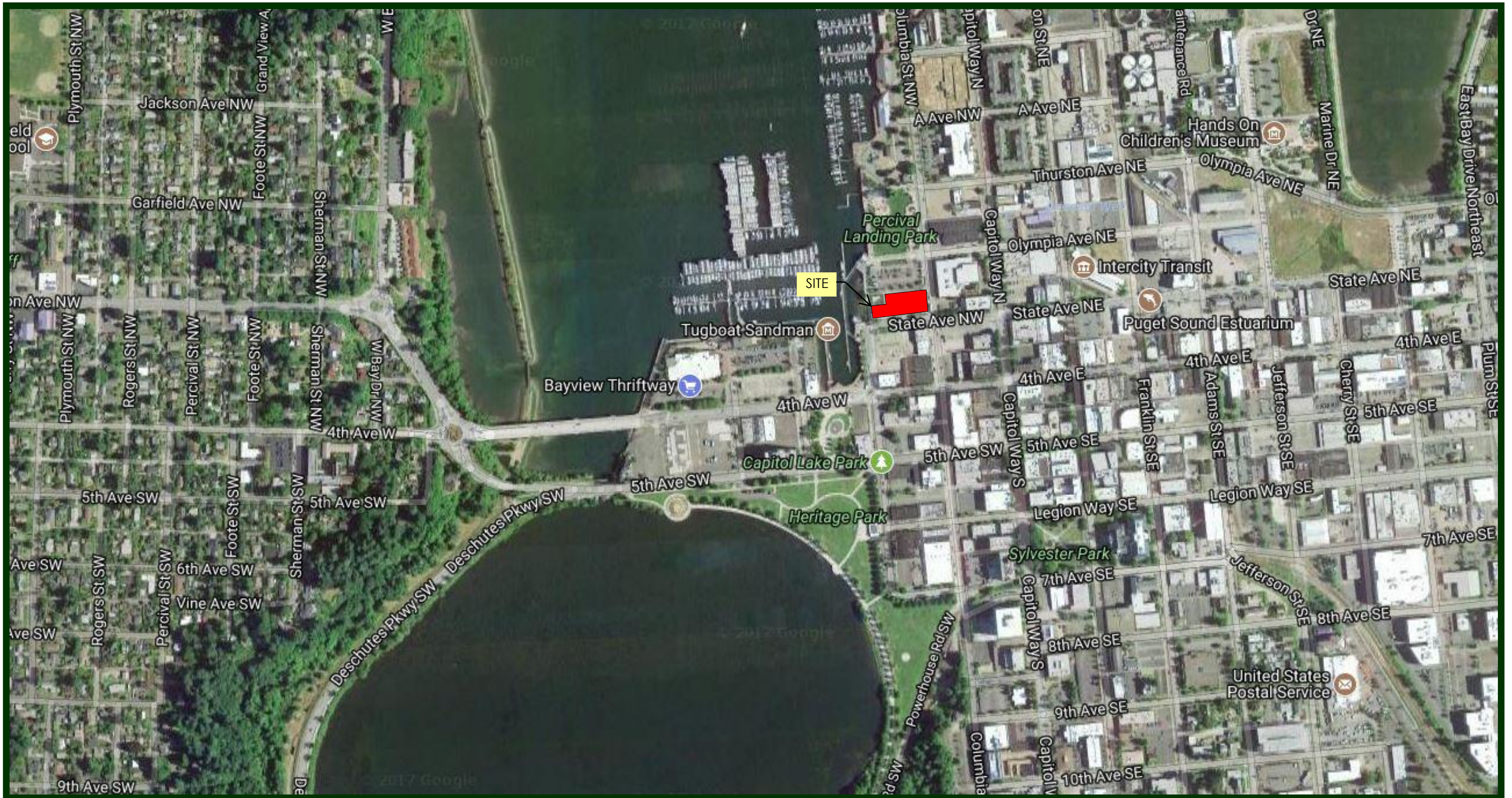
## **SECTION 2: Context Plans, Elevations, and View Corridors**

### **Architectural context plan Sheet A001 illustrates:**

- Context plan with 100 foot perimeter boundary.

### **Architectural context elevations Sheets A002-A005 illustrate:**

- Context elevations with 100 foot perimeter boundary.
- Context Images
- View Corridors



# THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

Design Development | 12/01/17

**A000**  
VICINITY MAP





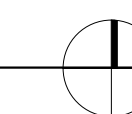
**SITE LEGEND**

- FOOTPRINT OF PROJECT STRUCTURES
- NEW OFF STREET PARKING
- EXISTING ELECTRIC POLES

**KEY**

- 1 PERCIVAL LANDING PARK
- 2 OLY TAPROOM
- 3 THE OLYMPIA CENTER
- 4 FAMILY SUPPORT CENTER
- 5 BROTHERHOOD TAVERN
- 6 PARKING
- 7 MEKONG THAI
- 8 MARINA

1 SITE PLAN - CONTEXT 100'



**THE LAURANA**

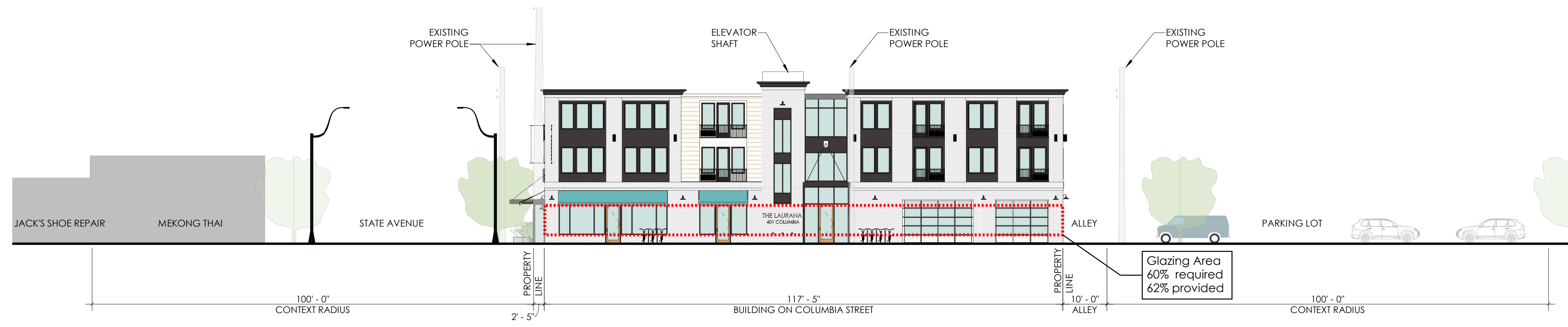
210 STATE AVE OLYMPIA, WA, 98501

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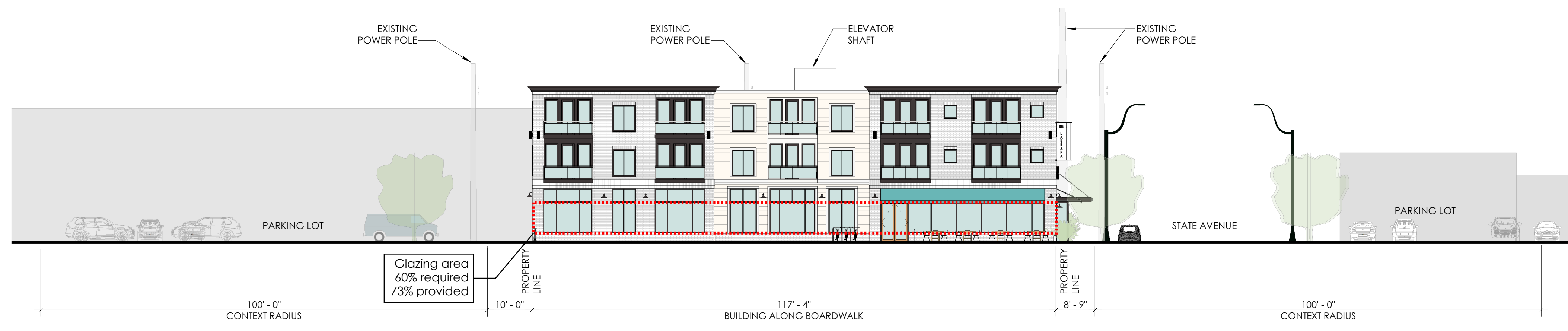
**A001**

SITE CONTEXT 100'





1 CONTEXT ELEVATION EAST - VIEW ALONG COLUMBIA



2 CONTEXT ELEVATION WEST - VIEW ALONG BOARDWALK

# THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

Design Development | 12/01/17

**A002**

CONTEXT ELEVATIONS





1 CONTEXT ELEVATION NORTH - VIEW ALONG ALLEY



2 CONTEXT ELEVATION SOUTH - VIEW ALONG STATE AVE



# THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

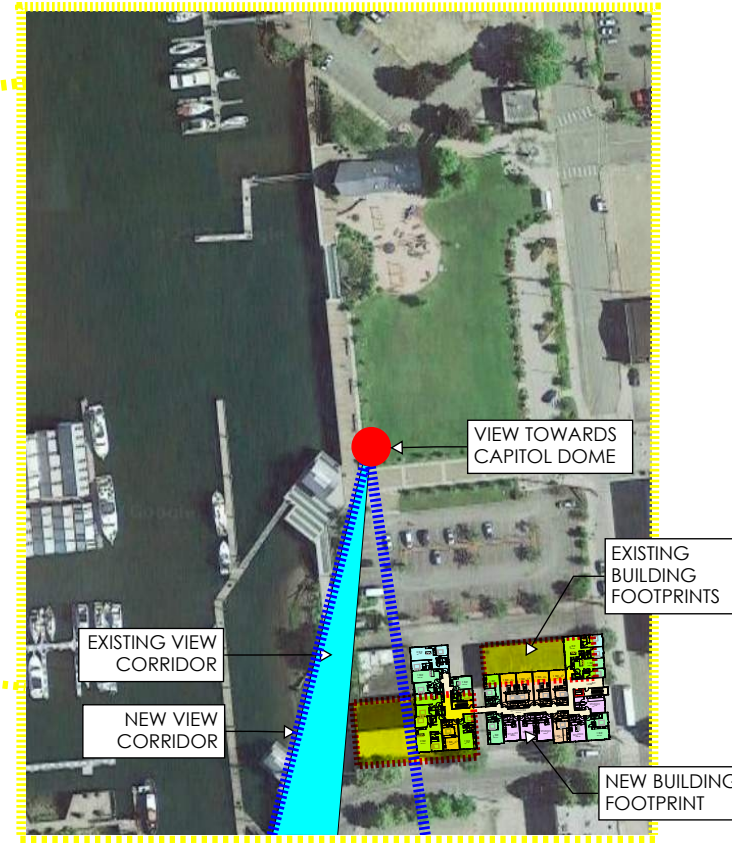
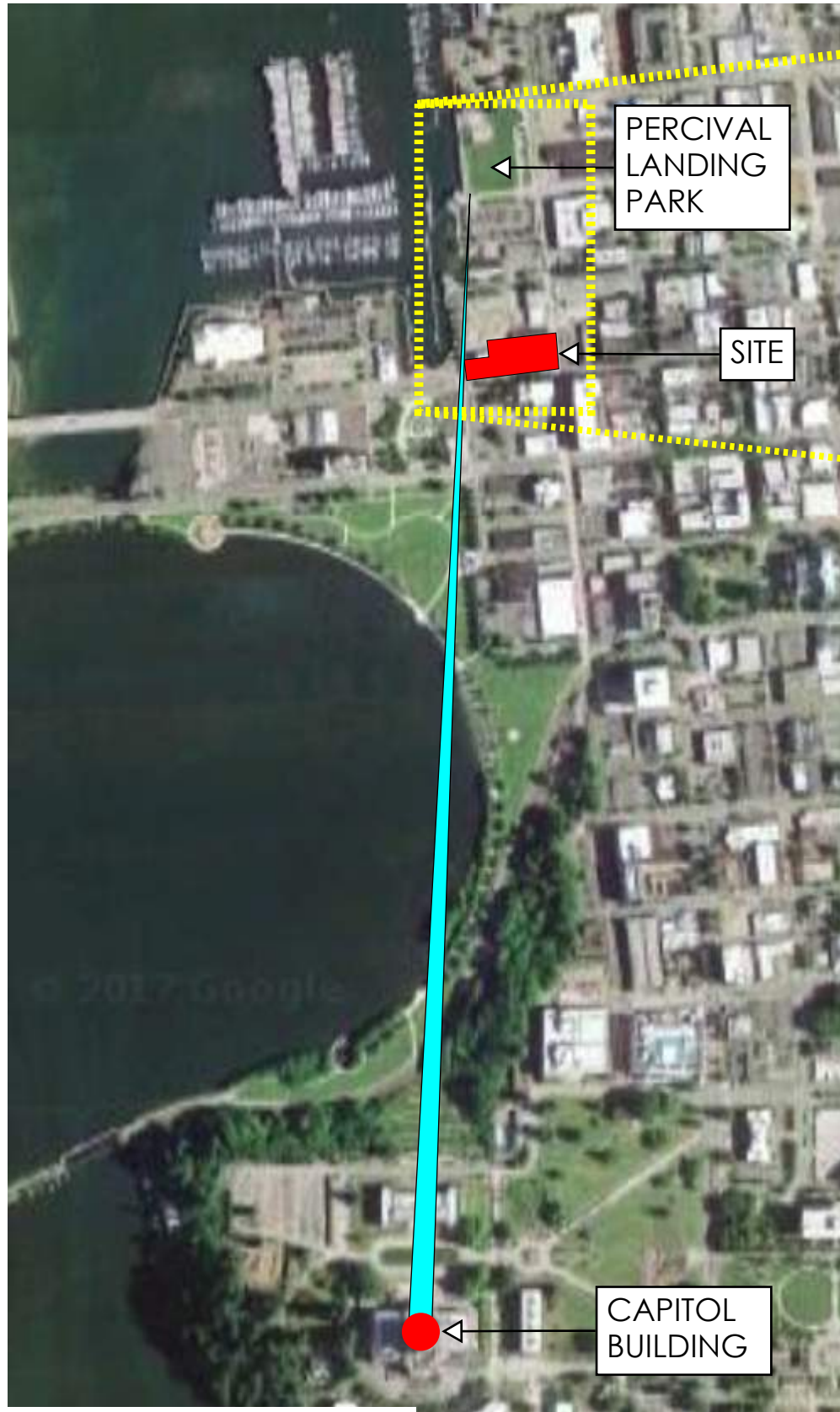
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**A004**

CONTEXT IMAGES







# THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

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**A005**

VIEW CORRIDORS



## **SECTION 3: Site Plans, Floor Plans, and Solid waste**

### **Architectural site plan sheet A100 illustrates:**

- Property lines with distances.
- Adjacent public rights-of-way.
- Existing and proposed site features.
- Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
- Clearly delineated and labeled landscape and hardscape areas.
- Parking area layout, and short and long-term bicycle parking.

Long term bicycle parking provided indoors per plan. Racks shall be "Bike File" by Dero.

Short term bicycle parking provided at perimeter of building near entrances using Arc Rack by Dero, or similar.

No monument or free standing sign shall be provided. All signage will be mounted to the building.

- Solid waste collection location and enclosure.

Location as indicated on plan.

- Existing light post locations.
- Location of all other site features including: pedestrian amenities, bicycle racks, and lockers, bus stop, monument or free-standing signs, mail kiosks, etc.

### **Architectural building plan sheet A101& A102 – FLOOR PLANS**

### **Solid waste collection enclosure plan sheet A103 – SOLID WASTE**

**PROJECT INFORMATION**

ADDRESS: 210 STATE AVE, NW OLYMPIA, WA 98501  
 TAX PARCEL #S: 78507200600, 78507200800  
 SECTION: 14  
 TOWNSHIP: 18N  
 RANGE: 2W  
 ZONING: UW

**EXISTING SITE:**  
 SITE AREA= 24,962 SF  
 LANDSCAPE AREA= 0 SF  
 IMPERVIOUS COVERAGE= 100%

**PROPOSED SITE:**  
 SITE AREA= 26,116  
 BUILDING FOOTPRINT= 15,233 SF (58%)  
 PAVED PARKING (IMPERVIOUS) 9,746 SF  
 LANDSCAPE AREA= 1,350 SF

TOTAL PERVIOUS= 24,766 SF  
 TOTAL IMPERVIOUS= 1,350 SF

**UNIT COUNT SUMMARY**

RESIDENTIAL  
 SECOND FLOOR= 22 UNITS  
 THIRD FLOOR = 22 UNITS  
 TOTAL UNITS= 44 UNITS

COMMERCIAL  
 RESTAURANT= 2,161 SF  
 RETAIL= 2,388 SF  
 OFFICE= 1,924 SF

TOTAL SF OF BUILDING= 35,874 SF  
 CONSTRUCTION TYPE: V

**PARKING SUMMARY**

REQUIRED VEHICLE PARKING REQUIREMENTS (OMC 18.38.160.C.1)

VEHICLE PARKING REQUIREMENTS	
OFF STREET PARKING=	31 SPACES
ON STREET PARKING=	10 SPACES
30% OF ALL SPACES CAN BE COMPACT= PROVIDED=	9 SPACES 8 SPACES
ACCESSIBLE PARKING REQUIRED=	2 SPACES
MOTOR VEHICLE PARKING REQUIREMENTS (OMC 18.38, TABLE 38.01)	
DOCKSIDE (OFFICE 1,924 SF @ 1/250 SF upto 2000 SF)=	7.69 SPACES
DOCKSIDE (RETAIL 2,388 SF @ 3.5/1000 SF)=	8.35 SPACES
DOCKSIDE (RESTAURANT 2,161 SF @ 10/1000 SF)=	21.61 SPACES
<b>TOTAL MOTOR VEHICLE PARKING=</b>	<b>37.65 SPACES</b>
LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)	
DOCKSIDE (10 STUDIO UNITS @ 0/UNIT)=	0 SPACES
DOCKSIDE (28 1-BDRM UNITS @ 1/UNIT)=	28 SPACES
DOCKSIDE (6 2-BDRM UNITS @ 1/UNIT)=	6 SPACES
DOCKSIDE (OFFICE 1,924 SF @ 1/10,000 SF, 2 MIN.)=	0.19 (2) SPACES
DOCKSIDE (RETAIL 2,388 SF @ 1/6,000 SF, 1 MIN.)=	0.39 (1) SPACES
DOCKSIDE (RESTAURANT 2,161 SF @ 1/2000 SF, 1 MIN.)=	1.08 SPACES
<b>TOTAL FOR ALL THE SPACES=</b>	<b>38 SPACES</b>
SHORT TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)	
DOCKSIDE (10 STUDIO UNITS @ 1/10 UNIT)=	1 SPACES
DOCKSIDE (28 1-BDRM UNITS @ 1/10 UNIT)=	2.8 SPACES
DOCKSIDE (6 2-BDRM UNITS @ 1/10 UNIT)=	0.6 SPACES
DOCKSIDE (OFFICE 1,924 @ 1/10,000 SF, 2 MIN.)=	0.19 (2) SPACES
DOCKSIDE (RETAIL 2,388 SF @ 1/3,000 SF, 2 MIN.)=	0.79 (2) SPACES
DOCKSIDE (RESTAURANT 2,161 SF @ 1/1000 SF, 1 MIN.)=	2.16 SPACES
<b>TOTAL FOR ALL THE SPACES=</b>	<b>11 SPACES</b>

**VERTICAL DATUM INFORMATION**

NOTE:  
 FIRST FLOOR FINISHED FLOOR ELEVATION 0'-0" = NAVD88 14'-6"  
 LESS THAN ONE FOOT OF SLOPE ACCROSS SITE.  
 SEE SURVEY FOR ADDITIONAL INFORMATION.



**GENERAL SITE NOTES**

- THESE DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT. SEE SEPARATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
- FOR LANDSCAPING, SEE SEPARATE LANDSCAPE ARCHITECTURAL DRAWINGS FOR SPECIFICS.
- NEW BUILDING WILL BE SUBMITTED FOR SEPARATE BUILDING PERMITS.
- SEE FIRST FLOOR PLAN FOR ADDITIONAL SITE INFORMATION.

**SITE LEGEND**

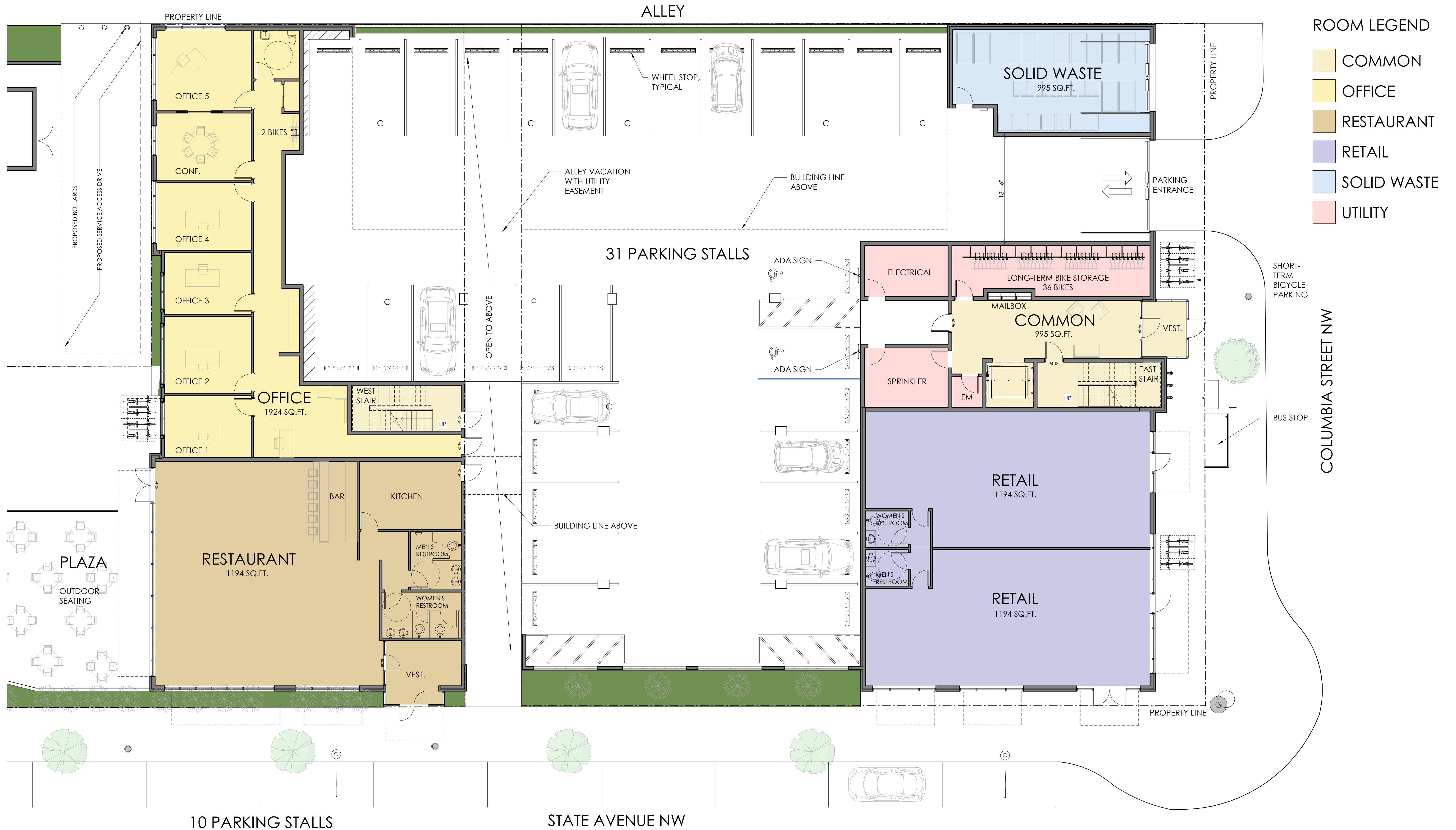
- FOOTPRINT OF PROJECT STRUCTURES.
- NEW BUILDING COVERED STRUCTURED PARKING.
- NEW CONCRETE SIDEWALK PER ARCHITECTURAL AND CIVIL.
- NEW HARDSCAPE (IMPERVIOUS)
- NEW LANDSCAPING (PERVIOUS)
- PROPERTY LINE
- 1 SHORT TERM BICYCLE PARKING. PROVIDE DERO, ARC RACK OR EQUAL. SEE SHEET A103.
- 2 PEDESTRIAN BENCH SEATING. PROVIDE DUMOR SIGNATURES BENCH 160 WITH CENTER ARMREST. COLOR: BLACK.
- 3 NEW STREET TREES PER LANDSCAPE ARCHITECT. PROVIDE WITH MINIMUM 4x6' PEDESTRIAN FRIENDLY IRON GRATE, TYPICAL.
- 3.1 EXISTING STREET TREE TO REMAIN.
- 3.2 EXISTING STREET TREES TO BE REMOVED.
- 4 NEW LANDSCAPING PER LANDSCAPE ARCHITECT.
- 5 NEW CURBSIDE PARKING WITH 4" WIDE STRIPPING AS SHOWN.
- 6 NEW BULB OUT. SEE FIRST FLOOR PLAN AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 DASHED LINE OF CANOPY ABOVE, TYPICAL.
- 8 LOCATION OF WASTE COLLECTION. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 9 LOCATION OF RESIDENTIAL BUILDING ENTRY. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 10 LOCATION OF ELECTRICAL/SPRINKLER ROOM. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 11 LOCATION OF LONG TERM BIKE STORAGE. SEE FIRST FLOOR PLAN.
- 12 LOCATION OF STRUCTURED PARKING ENTRY. SEE FIRST FLOOR PLAN.
- 13 APPROXIMATE LOCATION OF COMMERCIAL/RETAIL SPACE ENTRY. SEE FIRST FLOOR PLAN.
- 14 LOCATION OF NEW FDC (HYDRANTS OFF SITE)
- 15 PROPOSED NEW MURAL WALL LOCATION
- 16 PROPOSED GREEN WALL SCREENING
- 17 SHUFFLE BOARD COURT
- 18 EXISTING STREET LIGHTING TO REMAIN
- 19 EXISTING POWER POLE

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**A100**  
 SITE PLAN



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ROOM LEGEND

- COMMON
- OFFICE
- RESTAURANT
- RETAIL
- SOLID WASTE
- UTILITY

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**1 PLAN - FIRST FLOOR**  
 0 4 8 16 32

**A101**  
 FIRST FLOOR PLAN





- ROOM LEGEND**
- 1 BR
  - 1 BR-AL
  - 2 BR
  - COMMON
  - STUDIO

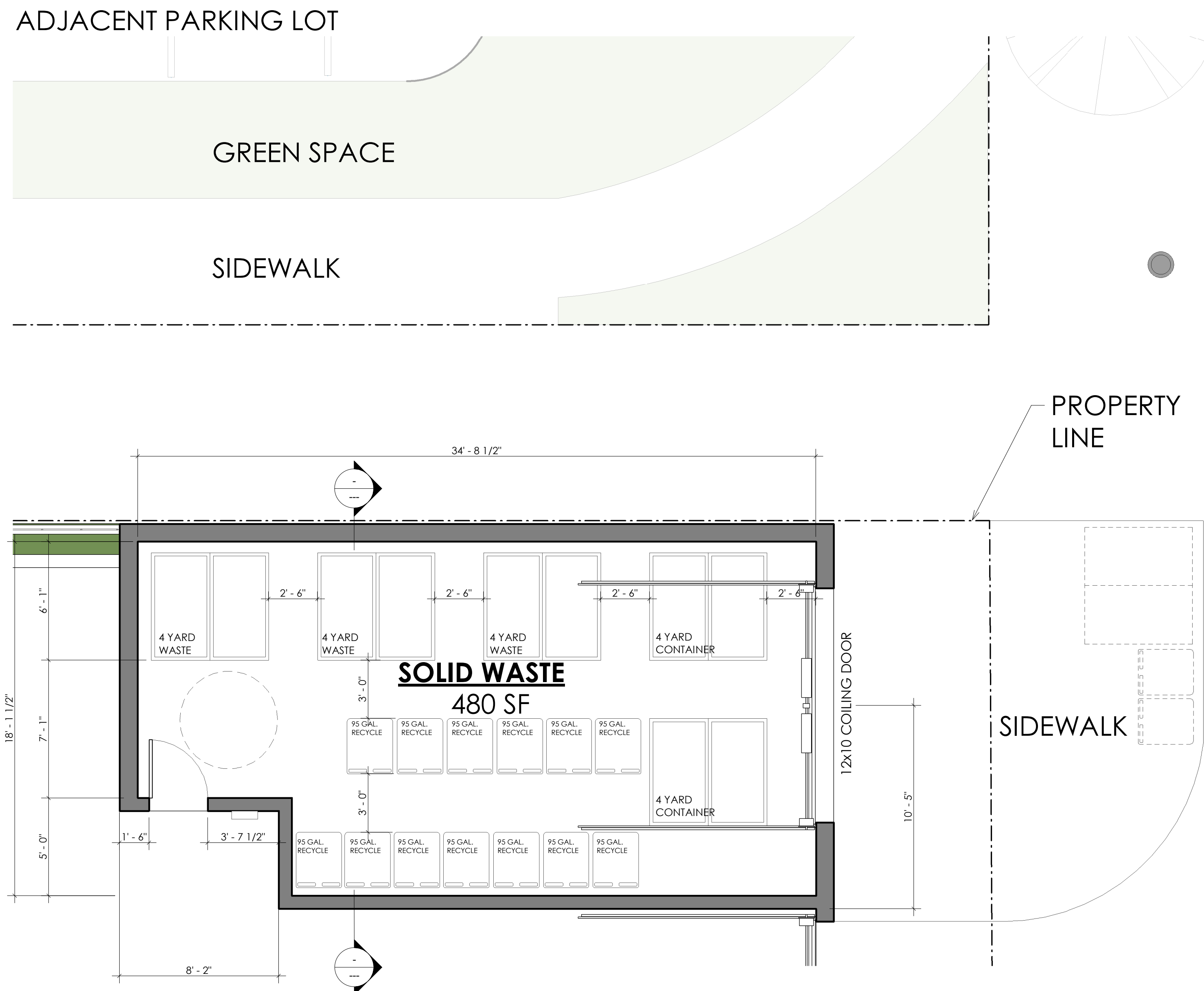
**1 PLAN - SECOND AND THIRD FLOOR**

0' 4' 8' 16' 32'

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 210 STATE AVE OLYMPIA, WA, 98501  
 Design Development | 12/01/17

**A102**  
 SECOND AND THIRD FLOOR





1 SOLID WASTE PLAN

WASTE RESOURCES SUMMARY

GOAL: COLLECT AND STORE WASTE FOR FULL BLOCK.  
COLLECTION CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH  
ALLOCATE 50% TO RECYCLING AND 50% TO GARBAGE

(44) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33= 11.17 CY  
6.561 (RETAILS AND RESTAURANT) @ 1CY/500 SF= 13.12 CY

24 CY X 50% = 12 CY TO GARBAGE, 12 CY TO RECYCLE

GARBAGE  
PROVIDE (3) 4 YARD CONTAINERS

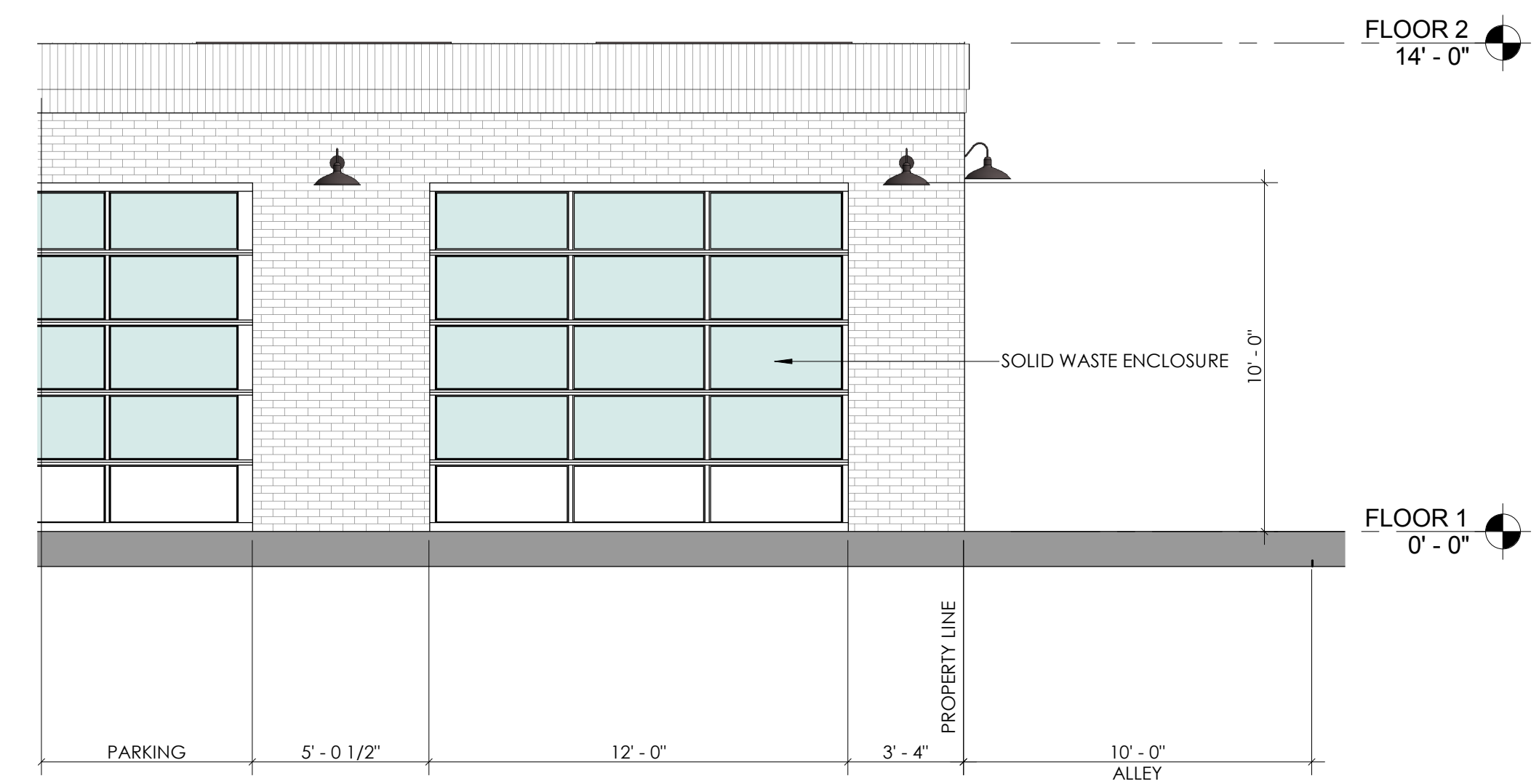
RECYCLE  
50% CARDBOARD=6 CY  
50% RECYCLE= 6 CY

CONTAINERS REQUIRED FOR RECYCLING - SPLIT ROUGHLY EQUAL BETWEEN  
CARDBOARD AND OTHER RECYCLING. CARDBOARD CONATINERS ARE 4  
YARD, OTHER RECYCLING USED 95 GALLON CARTS.

6 CY  
PROVIDE (2) 4 YARD CARDBOARD CONTAINER

6 (RECYCLE) = 6 CY X 202 GALLONS/CY  
= 1212 GALLONS/95 GALLONS  
= 12.75 CARTS

PROVIDE (13) 95 GALLON CARTS



2 TRASH ENCLOSURE ELEVATION - COLUMBIA STREET

THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

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A103  
SOLID WASTE



## **SECTION 4: Building Elevations**

### **Architectural Sheets A301 & A302 illustrate:**

- Building elevations of all sides of the building(s) labeled as north, south, east or west elevation.
- Location of building doors and windows.
- Proposed building and roof materials.
- Indicate finished floor elevations and location of exterior steps and stairways.
- Area(s) on building where signs will be installed.
- Exterior building details, including all materials and colors.
- Window details, including materials and colors of framing and glazing materials.
- Door details, including materials and colors.
- Roof details, including materials and colors.
- Finished floor elevation(s).
- Location of exterior light fixture(s).
- Location and type of major sign(s).
- Color rendering of any building elevation visible from a public right-of-way.

**GENERAL ELEVATION NOTES**

FIRST FLOOR FINISHED FLOOR ELEVATION 0'-0" = NAVD88 14'-6"

LESS THAN ONE FOOT OF SLOPE ACCROSS SITE.

SEE SURVEY FOR ADDITIONAL INFORMATION.

**ELEVATION KEY NOTES. VERIFY COLORS PRIOR TO PAINTING**

- 1 STANDARD BRICK - MUTUAL MATERIALS, PAINT. COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 2 FIBER CEMENT ARTISAN BEVEL CHANNEL SIDING W/ 6" EXPOSURE, PAINT. COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 3 ANDERSON INSWING PATIO DOOR
- 4 ANDERSON 100 SERIES VINYL WINDOWS OR APPROVED EQUAL. COLOR: BLACK
- 5 RAILING - GLASS PANEL WITH ALUMINUM FRAME. COLOR: BLACK
- 6 ALUMINUM GUTTER
- 7 WINDOW TRIM PER DETAILS, PAINT. COLOR: TO MATCH ANDERSON WINDOWS BLACK
- 8 SINGLE BRICK SOLDIER COURSE - MUTUAL MATERIALS, PAINT COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 9 FIBER CEMENT PANEL PER DETAILS, PAINT. COLOR: MATCH WINDOWS
- 10 CONCRETE - SMOOTH FINISH COLOR: SHERWIN WILLIAMS SW7045 INTELLECTUAL GRAY
- 11 STOREFRONT - KAWNEER OR APPROVED EQUAL COLOR: BLACK
- 12 DOUBLE BRICK SOLDIER COURSE - MUTUAL MATERIALS, PAINT COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 13 WINDOW TRIM PER DETAILS, PAINT. COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 14 BANNER SIGNAGE
- 15 UP/DOWN WALL SCONCE
- 16 OVERHEAD DOOR- BLACK METAL FRAME WITH FROSTED GLASS AND BLACK METAL PANELS
- 17 BOLLARD - TO MATCH PERCIVALLANDING BRUSHED ALUMINIUM
- 18 C CHANNEL ENTRY CANOPY, PAINT. COLOR: BENJAMIN MOORE 2133-10 ONYX
- 19 GOOSE NECK WALL SCONCE
- 20 METAL CUSTOM CORNICE TRIM, PAINT. COLOR: BENJAMIN MOORE 2133-10 ONYX
- 21 TWO PIECE TRIM WITH CAP FLASHING TO MATCH, PAINT. COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 22 RAILING - ALUMINUM FRAME. COLOR: BLACK
- 23 VG FIR ENTRY DOOR
- 24 TWO PIECE TRIM WITH Z FLASHING TO MATCH, PAINT. COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 25 METAL GRID FRAME FOR VERTICAL LANDSCAPING
- 26 P- TAC 42"
- 27 FABRIC AWNING



**1 EAST ELEVATION- COLUMBIA STREET**



**2 WEST ELEVATION- PERCIVAL LANDING**



# THE LAURANA

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**A301**  
ELEVATIONS



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1 SOUTH ELEVATION-STATE AVENUE

**GENERAL ELEVATION NOTES:**  
 FIRST FLOOR FINISHED FLOOR ELEVATION 0'-0" = NAVD88 14'-6"  
 LESS THAN ONE FOOT OF SLOPE ACROSS SITE.  
 SEE SURVEY FOR ADDITIONAL INFORMATION.



2 NORTH ELEVATION- ALLEY

# THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

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**A302**  
 ELEVATIONS





VIEW LOOKING NORTH WEST AT THE CORNER OF STATE ST. AND COLUMBIA AVE.



VIEW LOOKING NORTH EAST AT THE CORNER OF STATE ST. AND PERCIVAL LANDING

# THE LAURANA

210 STATE AVE OLYMPIA, WA. 98501

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**A303**  
PERSPECTIVES



## **SECTION 5: Landscape Plans**

### **Landscape Sheets L1.01, L2.01 illustrate:**

Location of existing (to remain) and proposed plants.

All new plants.

Type of proposed plants (i.e., groundcover, shrub, tree).

Graphic depiction of the size of proposed tree canopies at maturity on plan.

Clearly delineated and labeled landscape, hardscape, and building areas.

Location and spacing of proposed plantings.

Common and botanical names of each species.

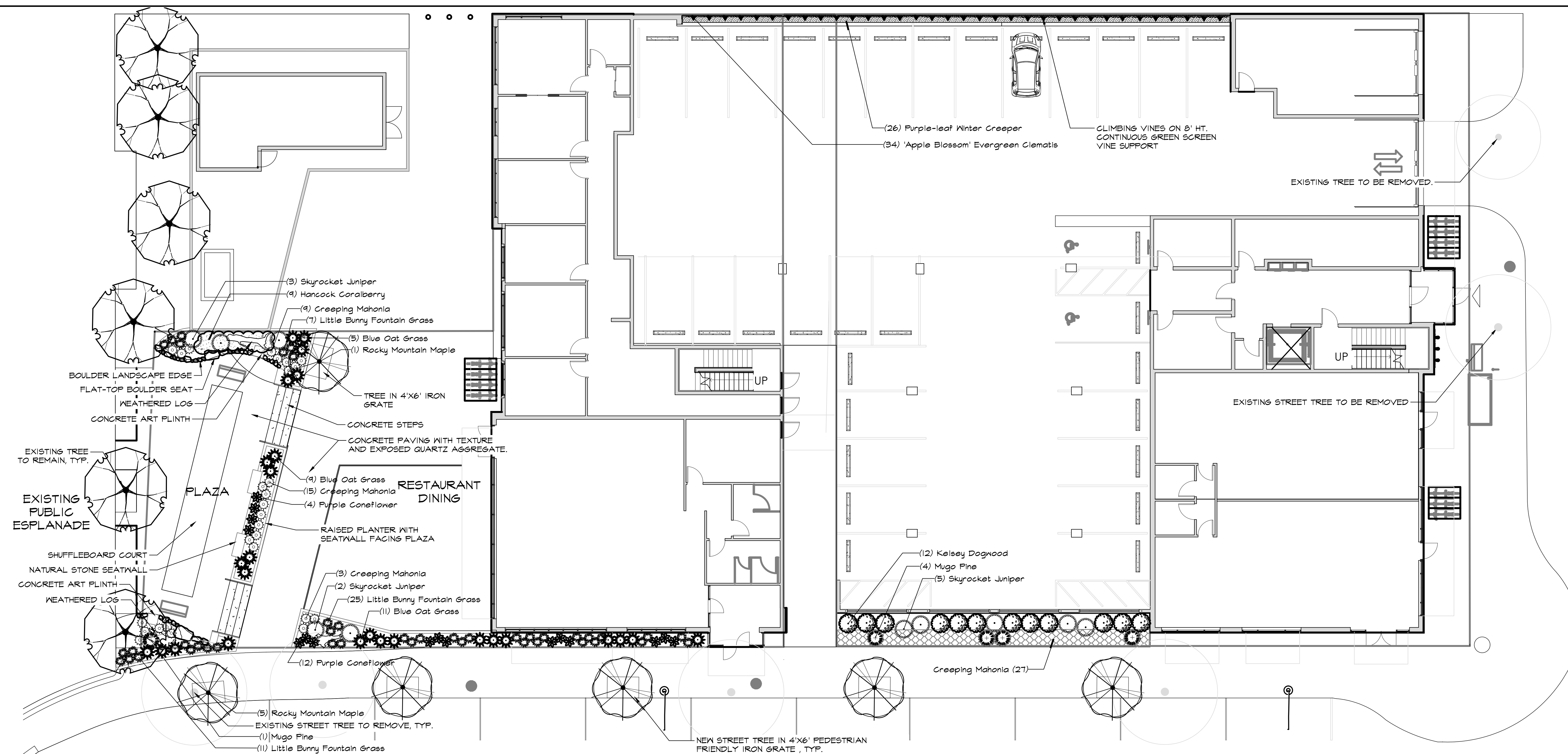
Container or caliper size of plants at installation.

Quantities of plant material by species and size at installation.

Plan notes indicating types of hardscape material.

### **Landscape Planting and examples:**

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**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CAL.	DESC.
	6	ACER GRANDIDENTATUM / ROCKY MOUNTAIN MAPLE	B&B/CONT.	2" CAL., 10' HT. MIN.
	5	EXISTING TREE TO BE REMOVED / TREE TO BE REMOVED	EXISTING	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	34	CLEMATIS ARMANDII 'APPLE BLOSSOM' / 'APPLE BLOSSOM' EVERGREEN CLEMATIS	5 GAL	
	12	CORNUS STOLONIFERA 'KELSEY' / KELSEY DOGWOOD	3 GAL	3-1/2' O.C.
	16	ECHINACEA PURPUREA / PURPLE CONEFLOWER	1 GAL	2-1/2' O.C.
	26	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE' / BLUE OAT GRASS	2 GAL	3' O.C.
	10	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	B&B/CONT 4' MIN.	3-1/2' O.C.
	27	MAHONIA REPENS / CREEPING MAHONIA	2 GAL	2' O.C.
	42	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL	2' O.C.
	5	PINUS MUGO 'OREGON JADE' / MUGO PINE	3 GAL	3' O.C.

**PLANT SCHEDULE**

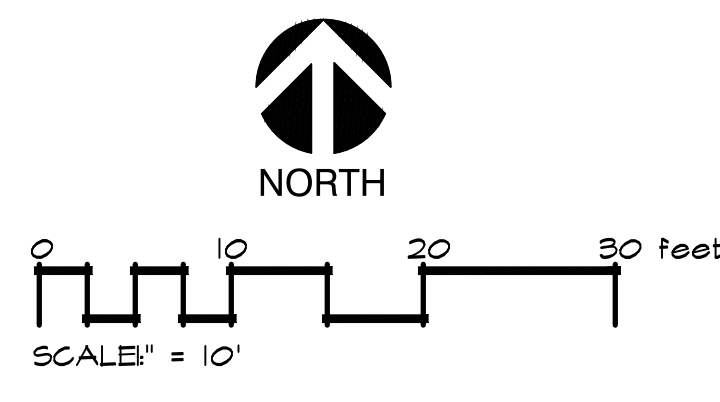
SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	CONT	DESC.
	27	MAHONIA REPENS / CREEPING MAHONIA	1 GAL	@ 2.5' O.C.
	10	SYMPHORICARPOS X CHENAULTII 'HANCOCK' / HANCOCK CORALBERRY	1 GAL	@ 2.5' O.C.
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	26	EUONYMUS FORTUNEI 'COLORATA' / PURPLE-LEAF WINTER CREEPER	1 GAL	2-1/2' O.C.

**TREE UNIT CALCULATIONS**

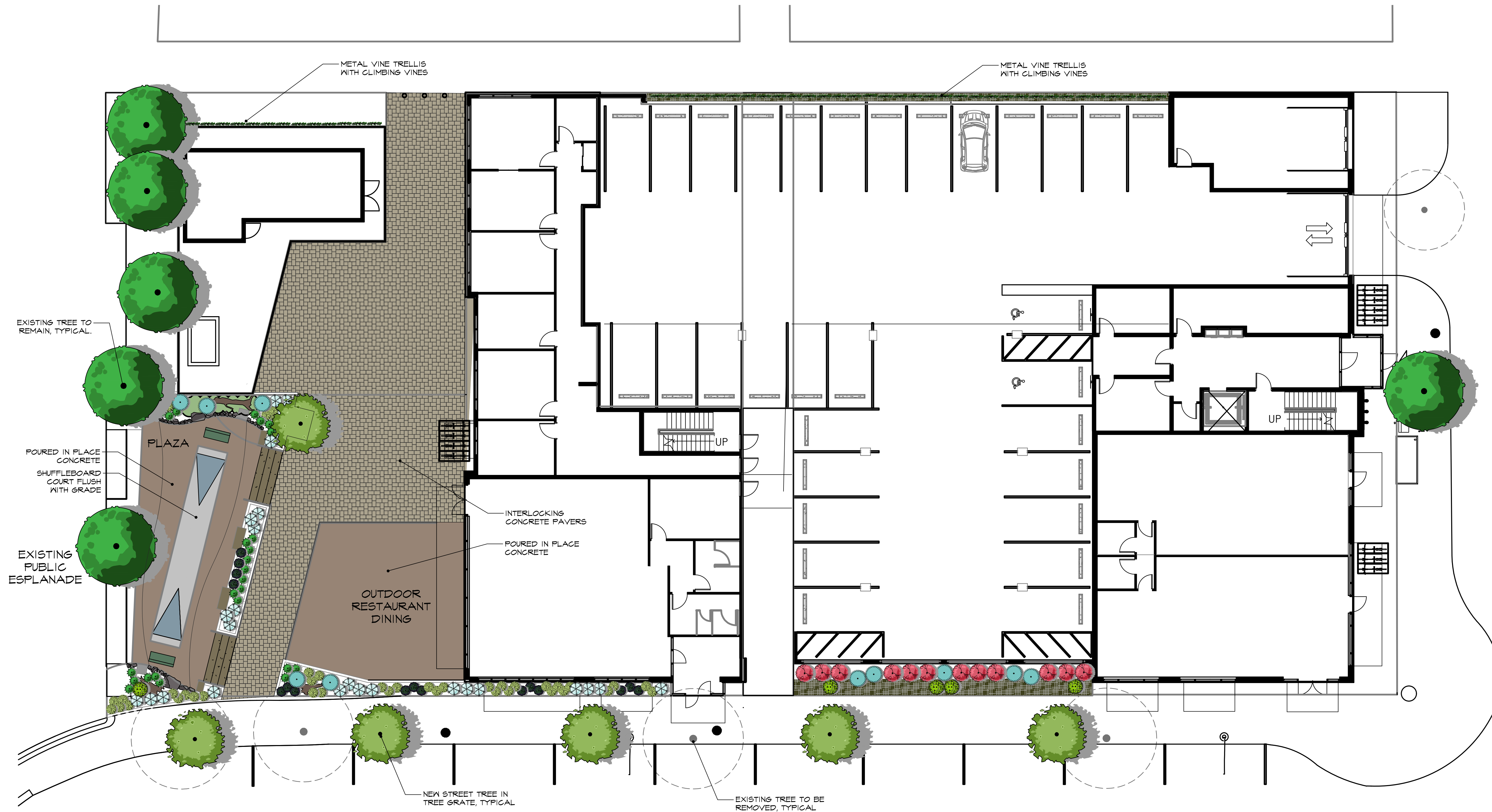
Buildable Site Area	15,669 s.f. (0.36 ac.)
Required Tree Units/Acre	30 Units/Acre
Required Tree Units	11 Units
Existing Tree Units to Remain	0
New Tree Units Provided (Does not include street trees)	1
Tree units required to be replaced off site (as approved) or funds equaling such deposited to the City Tree Fund	10 Units

**SHEET NOTES**

- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER AND APPROVAL BY THE CITY OF OLYMPIA.
- ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER AND FINAL INSPECTION APPROVAL BY THE CITY OF OLYMPIA.
- CONTRACTOR SHALL PROVIDE IRRIGATION TO ALL NEW BEDS. IRRIGATION SHALL BE AUTOMATICALLY OPERATED WITH ELECTRIC CONTROL VALVES. HEADS SHALL BE PLACED TO PROVIDE 100% COVERAGE OF ALL AREAS.
- PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. ALL PLANTING BEDS ARE REQUIRED BY THE CITY OF OLYMPIA TO BE PLANTED TO A DENSITY THAT WILL ACHIEVE 80% COVERAGE WITHIN 2 YEARS. SHRUB AND GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
- ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



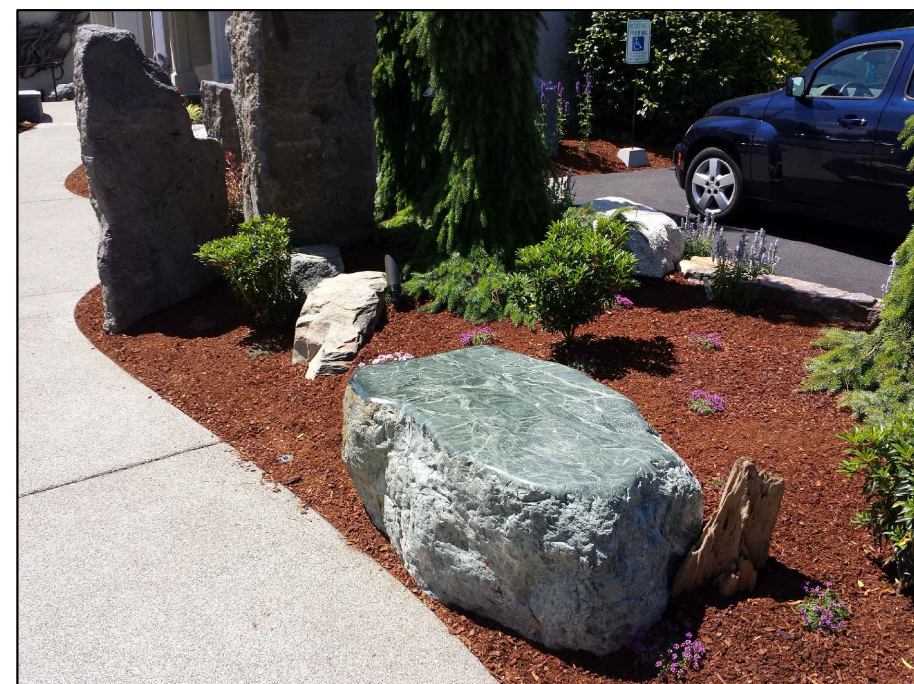
REVISIONS Δ REVISIONS DUE TO SITE PLAN CHANGES AND CITY COMMENTS	DATE 10/26/17	BY J.MCFARLAND	
 <b>SCJ ALLIANCE CONSULTING SERVICES</b> 8730 TALLOW LANE NE, SUITE 200, LACEY, WA 98516 P: 360-352-1465 F: 360-352-1509 SCJALLIANCE.COM			
<b>PLAZA AND LANDSCAPE CONCEPT PLAN</b> DOCKSIDE FLATS OLYMPIA, WA			
SHEET TITLE: PLAZA AND LANDSCAPE CONCEPT PLAN PROJECT NAME: DOCKSIDE FLATS OLYMPIA, WA			
DESIGNER: J.MCFARLAND DRAWN BY: J.MCFARLAND APPROVED BY: J.GLANDER DATE: OCT. 2017 JOB NO: 2395.02 DRAWING FILE NO: 2395.02 X-LS DRAWING NO: LS-01 SHEET NO: 1 OF 1			



# THE LAURANA

## LANDSCAPE AND PLAZA PLAN

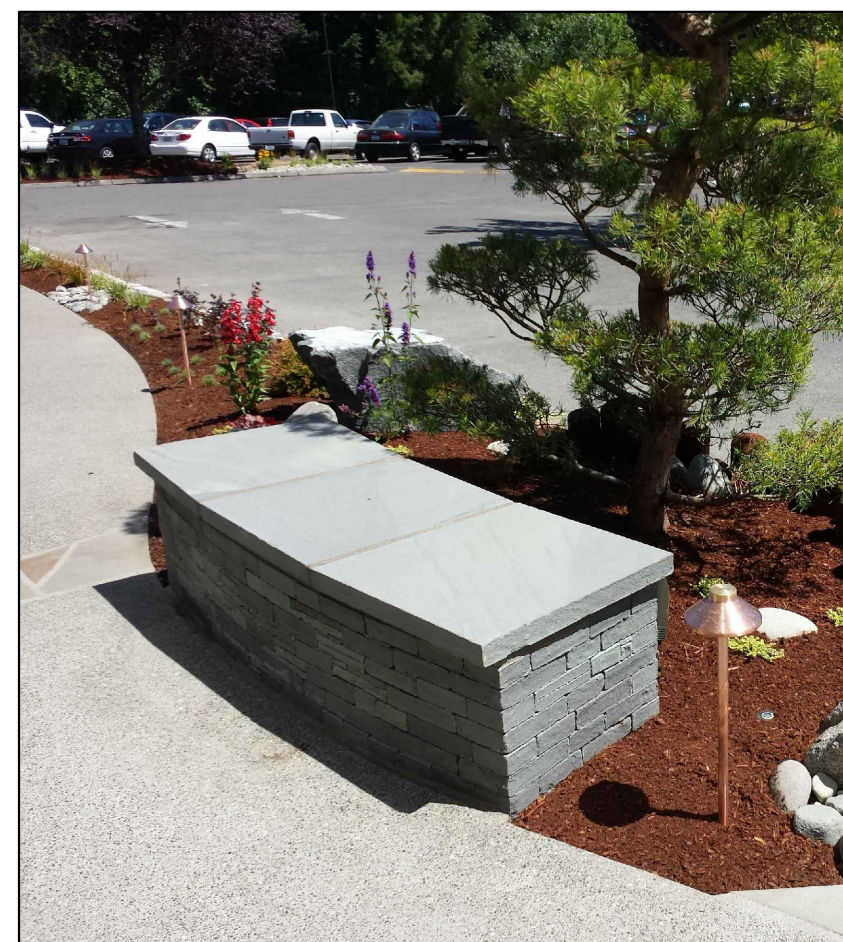
NOVEMBER 2017



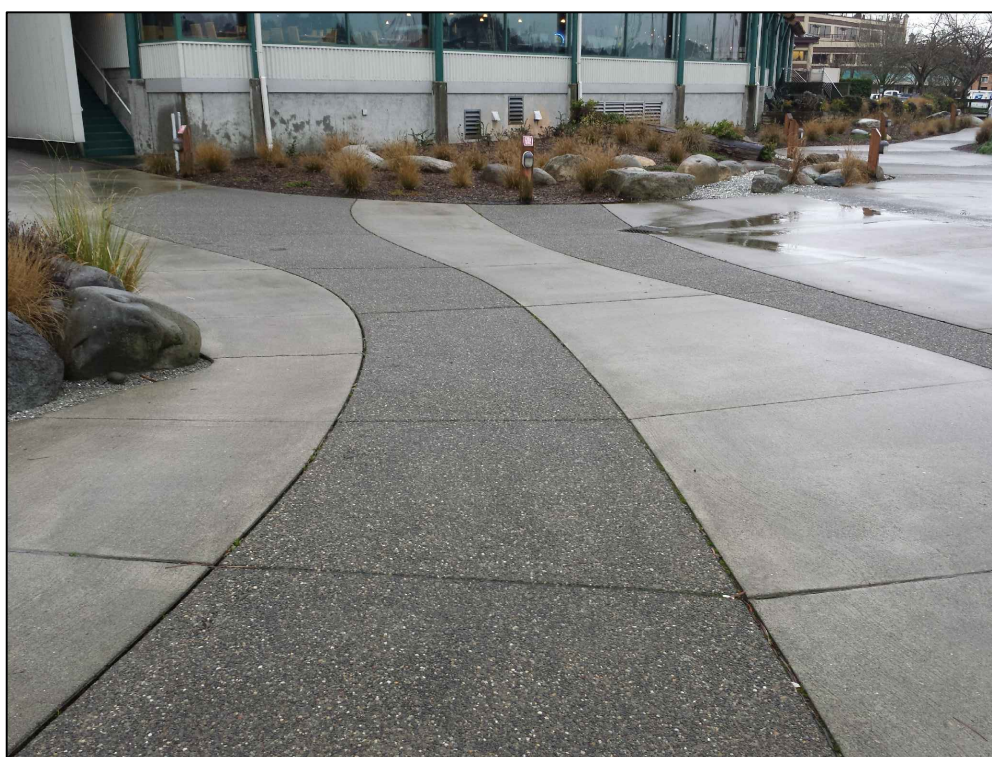
Polished stone bench



Beach-look exposed aggregate concrete



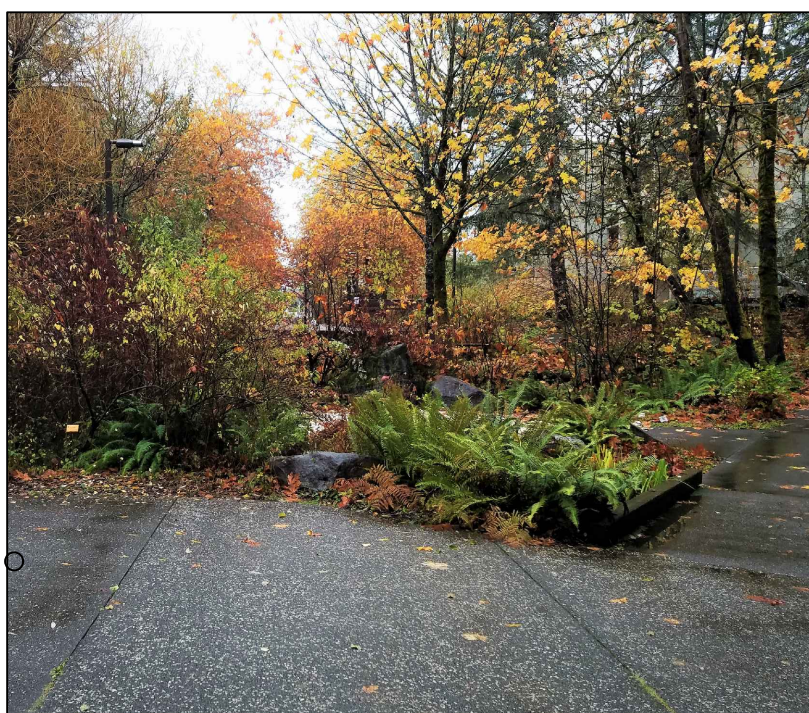
Bluestone seatwall



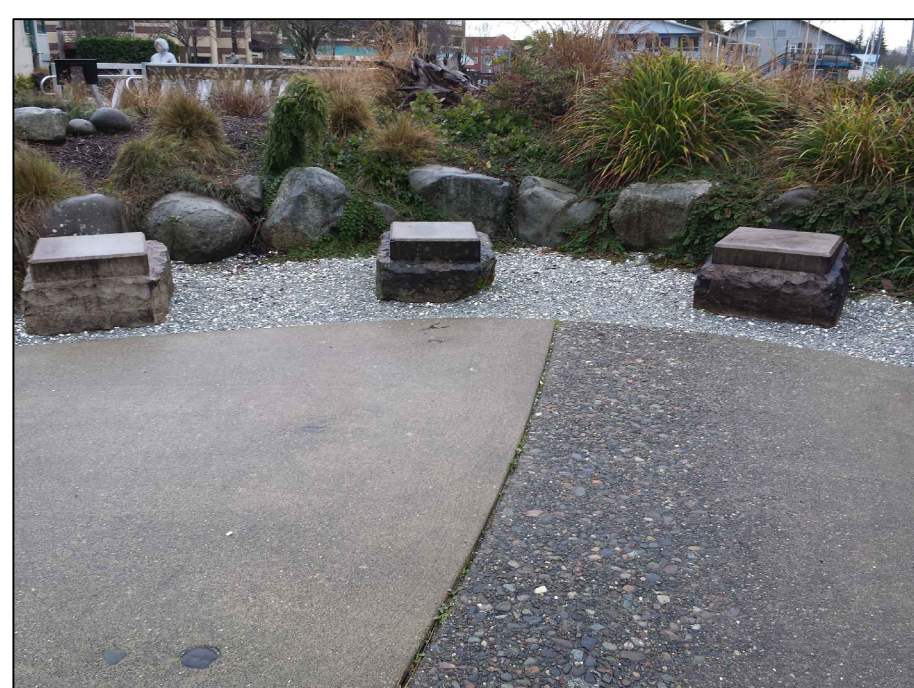
Alternating concrete textures with organic joint lines



Natural Stone bench or art plinth



Concrete with quartz aggregate



Boulder landscape edge



Freestanding vine support trellis



Natural boulder accent / birdbath



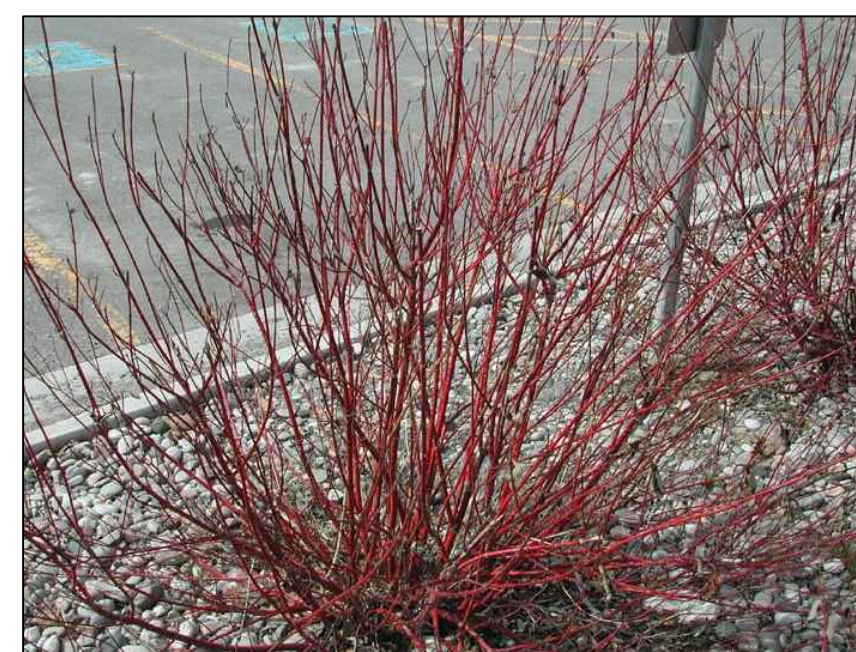
'Skyrocket' Juniper



'Rocky Mountain Glow' Maple



Blue Oatgrass



'Kelsey' Dogwood



'Oregon Jade' Mugo Pine



Creeping Mahonia



'Little Bunny' Fountain Grass



'Karley Rose' Fountain Grass



Purple Conflower



Purple-leaf Wintercreeper



Hancock Coralberry

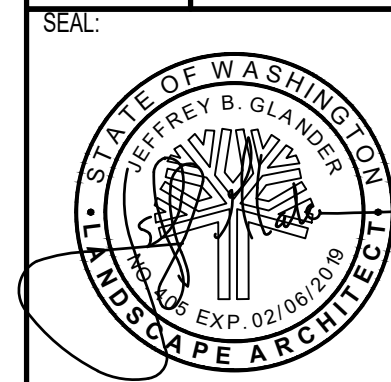


Evergreen Clematis (climbing vine)

REVISIONS	DATE	BY
REVISIONS DUE TO SITE PLAN CHANGES AND CITY COMMENTS	10/29/17	J.MCFARLAND


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 8730 TALLON LANE NE SUITE 200 LACEY WA 98516  
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SHEET TITLE: CONCEPT AND PLANT IMAGES  
 PROJECT NAME: DOCKSIDE FLATS  
 OLYMPIA, WA



DESIGNER: J.MCFARLAND  
 DRAWN BY:  
 APPROVED BY: J.GLANDER  
 DATE: OCT. 2017  
 JOB NO: 2395.02  
 DRAWING FILE NO: 2395.02 X-LS  
 DRAWING NO: LS-02  
 SHEET NO: 2 OF 1

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## **SECTION 6: Lighting Details and Pedestrian Amenities**

### **Enclosed details and cut sheets illustrate:**

Detail of hardscape material (i.e. size, type, and color of pavers, etc.)

- All hardscape path/sidewalk materials shall be concrete with a light broom finish to match existing adjacent sidewalks. See attached.
- See Landscape plan sheet L1.01 for plaza hardscape materials.

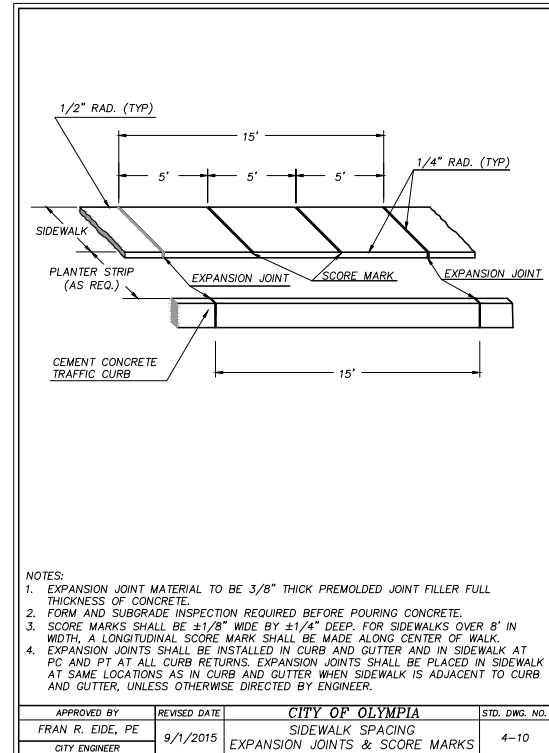
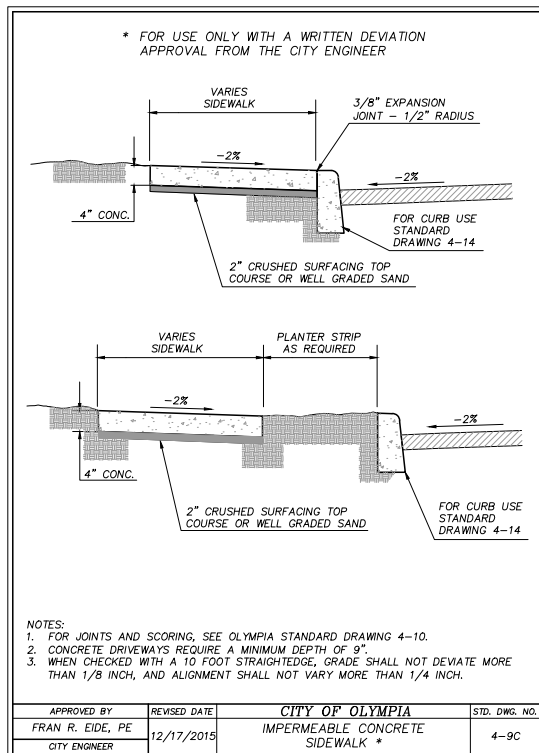
### **Lighting Details sheets A901-A903 illustrate:**

Exterior light fixtures proposed as listed on elevations in previous section.

### **Pedestrian Amenities sheet A905 illustrate:**

Each type of pedestrian amenity.

- Bench located per plan shall be Victor Stanley Model 32 or equal, black finish. **See sheet A905.** Plaza seating will be a combination of benches and natural stone. **See sheet L1.02**
- Bicycle parking, long term, shall be located in a secure room. **See sheet A101.**
- Bicycle parking, short term, shall be located on the sidewalk near the residential building entrance as is typical downtown, and shall be Dero Arc rack or similar.



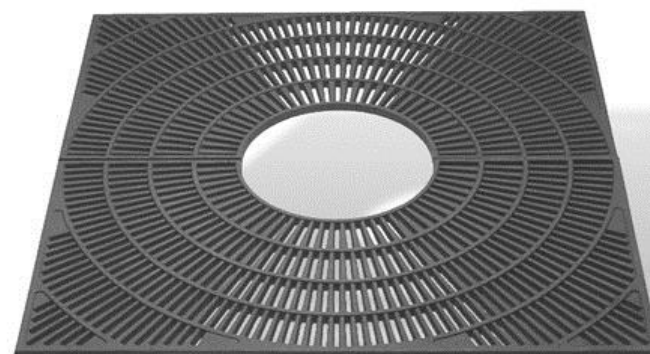
## SIDEWALK



**1 INTERLOCKING CONCRETE PAVEMENT (PATTERN SEE LANDSCAPE PLAN) COLOR : NATURAL**



**2 STAMPED CONCRETE (PATTERN SEE LANDSCAPE PLAN) COLOR : NATURAL**



**3 TREE GRATE URBAN ACCESSORIES 4'x6' IRON GRATE**



**4 ADA TILE SAFE-STEP, CAST IN PLACE ADA TILE COLOR : GRAY**

## THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

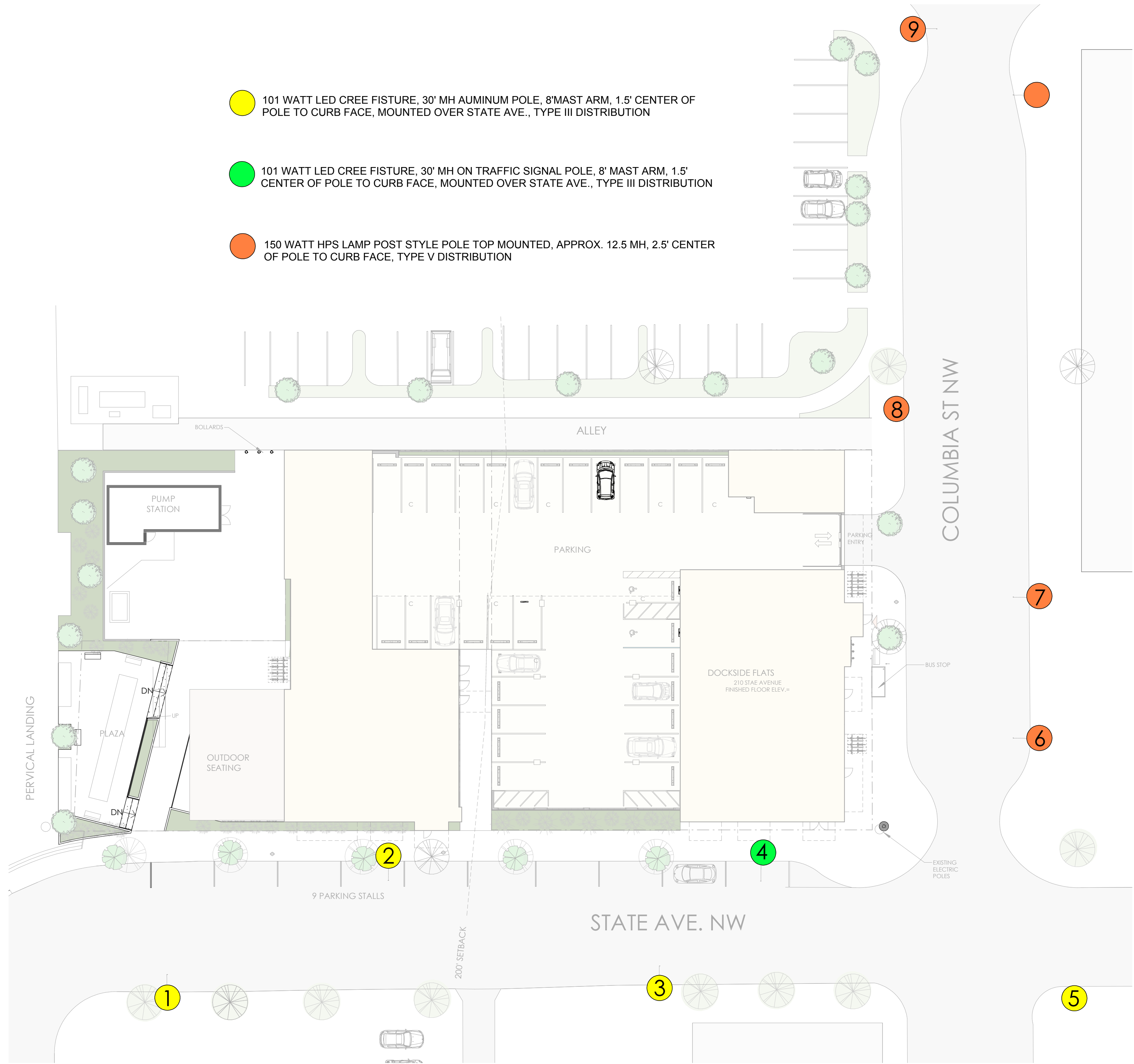
Design Development | 12/01/17

## A901

HARDSCAPE MATERIALS







- 101 WATT LED CREE FISTURE, 30' MH ALUMINUM POLE, 8' MAST ARM, 1.5' CENTER OF POLE TO CURB FACE, MOUNTED OVER STATE AVE., TYPE III DISTRIBUTION
- 101 WATT LED CREE FISTURE, 30' MH ON TRAFFIC SIGNAL POLE, 8' MAST ARM, 1.5' CENTER OF POLE TO CURB FACE, MOUNTED OVER STATE AVE., TYPE III DISTRIBUTION
- 150 WATT HPS LAMP POST STYLE POLE TOP MOUNTED, APPROX. 12.5 MH, 2.5' CENTER OF POLE TO CURB FACE, TYPE V DISTRIBUTION

1 SITE PLAN - STREET LIGHTING

EXISTING STREET LIGHTING FIXTURES



#1



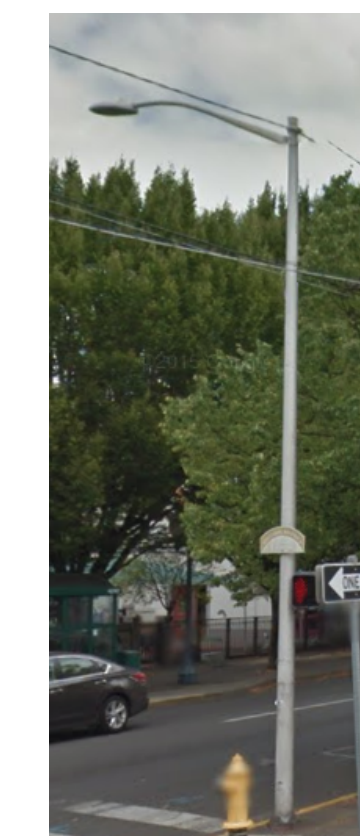
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#3



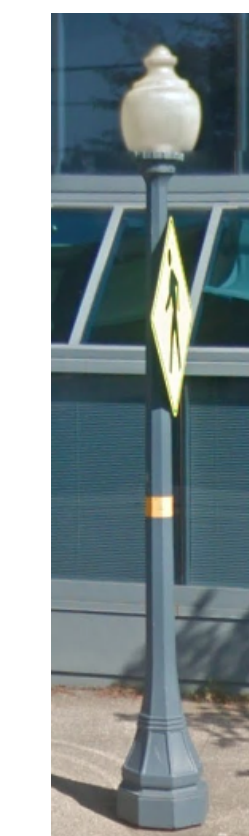
#4



#5



#6



#7



#8



#9

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**A902**  
STREET LIGHTING





SOUTH ELEVATION



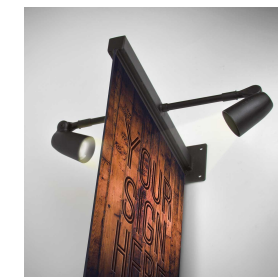
**GOOSE NECK WALL SCONCE**  
THE CHEROKEE  
ULC12-PC



**CONTECH LIGHTING**  
CYL8  
UP/DOWN WALL SCONCE



**SIGN BRACKET STORE**  
24" MONTAMAR LIGHTED BRACKET PAIR



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**A903**

LIGHTING DETAILS



THOMAS  
architecture studios



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

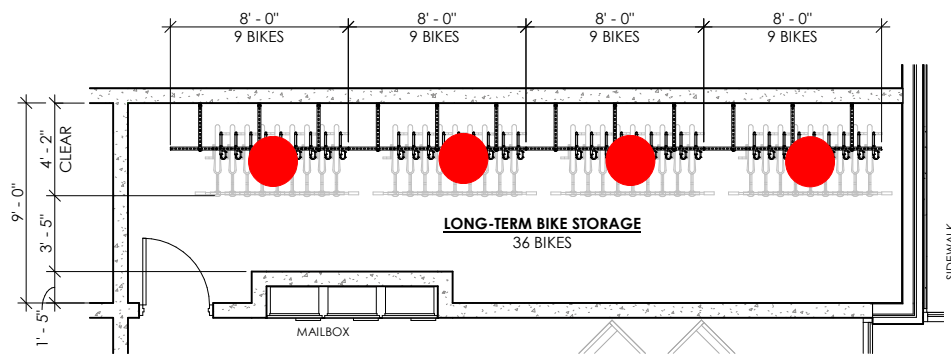
# THE LAURANA

210 STATE AVE OLYMPIA, WA, 98501

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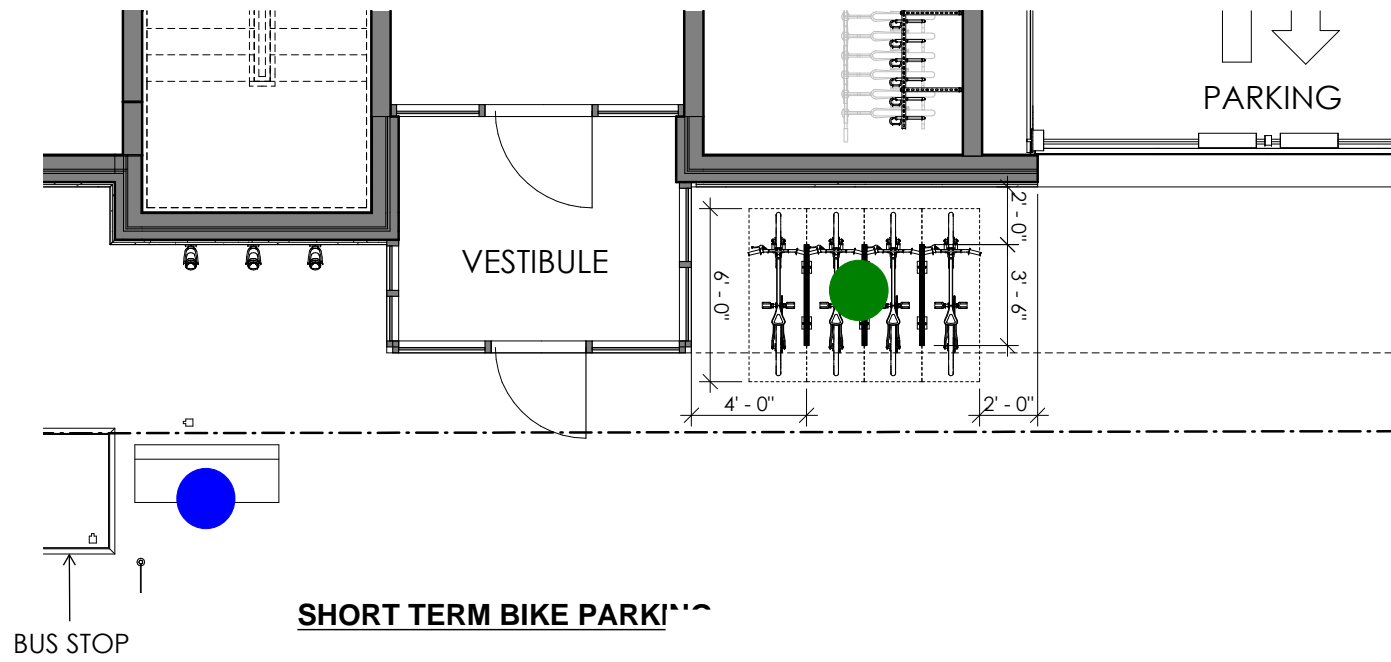
**A904**  
LIGHTING DETAILS



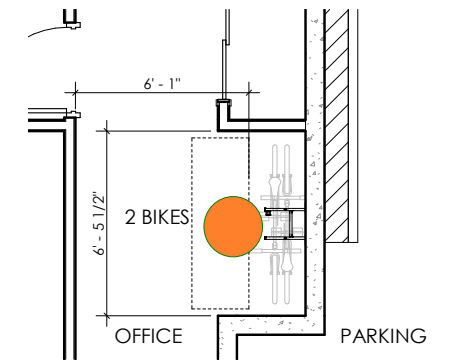


**LONG TERM BIKE PARKING**

**BIKE STORAGE PLAN**



**SHORT TERM BIKE PARKING**



**LONG TERM BIKE STORAGE**  
DERO BIKE FILE  
COLOR : BLACK



**SHORT TERM BIKE STORAGE**  
DERO ARC RACK  
COLOR : BLACK



**WALL RACK- FOR UNITS**  
DERO WALL RACK  
COLOR : BLACK



**BENCH**  
VICTOR STANLEY MODEL 32 OR  
EQUAL  
COLOR : NATURAL WOOD

**THE LAURANA**

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**A905**

PEDESTRIAN AMENITIES

