



Briggs Village

Master Plan Development

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BRIGGS VILLAGE DESIGN INTENT

Design Character

The Briggs Village Design Guidelines illustrate a range of design possibilities that is based on ~~pre-modern~~, neo-classical craftsman and colonial revival styles. These guidelines are meant to convey a sense of tradition and permanence within the village. These guidelines are purposefully intended to coincide with the City of Olympia's goals for pedestrian friendly streets with the emphasis on strong entry features and pedestrian-scale porches. The elements of these neo-classical craftsman and colonial revival styles that will be reflected in the different building types throughout the village include:

- A clear distinction and precise proportioning of the three building parts (the base, middle and top).
- Encourage the use of medium pitch gable forms and pediments to create prominent entryways, porches and balconies.
- Emphasize symmetry in the placement of doors and windows that correspond to implied columns and bays of historically smaller spans and scale.
- Vertical emphasis to window and door proportions.

Several variations on the guidelines are anticipated to be expressed in the new architecture. The resultant community character will become unique to Olympia as it relates to new housing communities, but reminiscent of older parts of the City, such as the South Capitol neighborhood.

The adaptation of these guidelines to the different building types in the village will likely vary, with the most variety and interpretation found in the retail buildings, occurring in the densest parts of the village; in Town Square. The guidelines are flexible in order to:

- Adapt to smaller sites and challenging topography.
- Appeal to a broader range of owner preferences.
- Allow for diversity within the well-ordered land-use plan and blend with nearby building context.

The Design Challenge

- Respond to the Briggs Family design sensibilities, values and personality.
- Be unique in Olympia without being too foreign; be recognizable without being too "thematic."
- Adapt to a wide range of building types and lot sizes, as well as the undulating site.
- Create a sense of order and compatibility between a variety of building types and streetscapes, but also offer opportunities for delight, surprise and a sense of unique place.
- Appeal to a wide range of prospective home, retail and office owners and tenants.
- Translate to guidelines that are clear and understandable as well as flexible; leaving room for future design inventiveness.
- Be buildable and viable within the Olympia marketplace.

- Meet City of Olympia design requirements for pedestrian friendly streets.

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Use of the Guidelines

These guidelines supplement the City of Olympia’s Design Guidelines for villages and centers. The Briggs Village guidelines illustrate how the City’s guidelines are adapted to the building styles, open spaces and streetscapes of the village. The Design Guidelines for the Briggs Urban Village are to be used in concert with the regulatory requirements of Olympia City Code, Chapter 18.05A.

The City’s design code speaks in terms of requirements and guidelines. The requirements must be met by any applicant; the guidelines identify alternatives which show how a particular requirement can be achieved. The guidelines for the Briggs Village are written in suggestive language – “should”, “could”, or “may”, to indicate that the guidelines are suggestive choices rather than prescriptive of a specific design.

The Design Guidelines also include examples to illustrate that the architectural intent may be achieved through a variety of final designs. The purpose of the Design Guidelines is to encourage creativity and variety within the desired design objective here described. The suggested language, however, does not imply that the requirement is to be avoided when the terms “should”, “could”, “may” or similar terms are used. The guidelines are intended to require the architectural design to meet the requirement either as shown in the illustrations or through a substantive equivalent.

The guidelines were developed from a design process that:

- Began by creating prototypical unit plans and layouts for each of the building types.
- Tested the adequacy of building lot size and dimensions for the unit plans.
- Extruded unit plans to form building elevations.
- Illustrated a variety of buildings, massing, heights, roof forms and facade delineation that suggested design intent for each building type, given the placement within the village.
- Presented possible streetscapes from the building elevations.

The resultant guidelines show the depth of planning and design through the perspective streetscape sketches, example building elevations and site plans.

BUILDING DESIGN GUIDELINES: MIXED USE DISTRICT

Overall Intent of the Guidelines

The Mixed Use District comprises the center of the Briggs Village, with Town Square at its core. Town Square marks the intersection of several vehicular, pedestrian and visual axes. It is the focal point of the village and the center from which the energy and character of the village radiates.

The Mixed Use District and Town Square is intended to be an active, community hub that serves as a year-round, day and evening-long gathering place for village residents, shoppers and visitors. This gathering place is achieved through the careful balance between building form and exterior spaces, both open and covered.

The design vision is to create a village center of ~~simply massed~~ pedestrian scale buildings that both frames the Town Square which will and accommodates a variety of commercial tenants including retail, professional offices and services, and multifamily housing. A Clock Tower and a Pavilion, each with associated arbors, anchors the Town Square while setting themselves apart from the surrounding commercial and residential buildings of the Mixed Use District.

The architectural character of ~~the mixed-use buildings~~ The Mixed Use District shall be pre-modern, neo-classical craftsman and is intended to:

- Express traditional or classic vernacular through building massing with emphasis of a base, middle and top.
- Allow and reflect a mix of uses within any one building, by developing a separate character for each through a modulated and varied horizontal tenant bay expression.
- Encourage a lively and varied retail experience by allowing for tenant individuality in elevation delineation and treatment as well as signage.
- Ensure a sense of continuity and permanence throughout Town Square through the use of durable building materials of higher quality and reduced maintenance.

A local example of the type of retail, streetscape environment is University Village and older, neighborhood villages such as Fremont or Ballard in Seattle. What it is not intended to be is: as quiet as Sylvester Park, as mall-like as Redmond Town Square, or as overtly “thematic” as Leavenworth or Poulsbo.

The open space, Town Square, is envisioned to be a centerpiece of the village open space and incorporating a number of special features, such as a plaza, performance pavilion and clock tower. Town Square is zoned to accommodate both a quiet, park-like atmosphere and more active spaces that complement the commercial spaces that surround Town Square. The Mixed Use District and Town Square, specifically, will be a comfortable, family-oriented environment where one can enjoy a cup of coffee, visit with friends, or play checkers in the Square.

Mixed Use District: Town Square Features

Intent of Guidelines: Massing, Height and Modulation

Identify a number of special building features that must be used to set the Town Square apart from the other buildings in the district.

There are two unique structures within Town Square: a Clock Tower at the eastern edge and a Pavilion at the western edge. The Clock Tower allows the visitor to identify the Town Square from numerous view points throughout The Village. The Pavilion provides shelter for performers, art displays, community activities or a resting spot for visitors. The Town Square provides a place for outdoor gatherings with the Pavilion providing shelter in inclement weather. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

- Create a prominent, open structure and a clock tower that serves as a way finding marker for the village.
- Illustrate the visual or spatial relationships between the active, hardscape area of Town Square and structures to the quiet, landscape area, the Town Square streets and buildings, as well as the larger village.
- Ensure that the feature serves to activate Town Square by attracting shoppers, visitors and residents into and across Town Square from the YMCA, the grocer and adjacent housing areas, by way of placement, and design.
- Describe an overall level of building material and workmanship that sets this feature apart from the other buildings in order to create an activity place or node.

Massing, Height and Roof Forms

The Clock Tower feature will be located and massed to be a focal point from the Henderson Boulevard side of Town Square. The Pavilion feature will be located in the western side of the Town Square and should be subordinate to the surrounding commercial buildings.

Visibility across the Town Square open space and surrounding buildings should be provided, by using a design that is predominantly transparent.

Heights and roof forms should set these structures apart, yet complement those of the surrounding buildings.

Town Square Attributes

The Town Square features should include special attributes, including:

- Towers or spires that are visible from the neighborhoods, up to 60 feet tall and integrated as part of a larger design; tower elements may include clocks, signage, weather vanes and lighting.
- Create a visual bridge or linkage of views across the square while allowing views into Town Square.
- Pavilions, Arbors, and awnings or coverings that provide pedestrian cover; particularly along the north-south axis across Town Square.

Building Materials

~~Low-maintenance~~ High quality durable materials are important throughout the Town Square in such a way that it features design which is evocative of enduring quality. Finishes shall remain consistent or cohesive on all sides of the buildings to create a sense of place and introduce a lasting village design vocabulary.

Site Planning

The Town Square features will serve as a focal point to the north-south street that extends from the YMCA, past the grocer, through Town Square and to the North Residential Phase neighborhood. The Clock Tower should be placed on axis with this street. The Pavilion should be placed on axis with the diagonal streets that align with the south and central kettles.

The outdoor spaces are carefully planned to integrate into Town Square and provide areas for outdoor activities. Landscaping should be urban in character, with high quality hardscape, materials, and simplicity to the plantings. The concept of extending Town Square through the features provides an open space that can be active and thrive year-round. These features are vital to the success of the Town Square.

Mixed Use District: Commercial Buildings

Intent of Guidelines: Massing, Height and Modulation

The purpose of the Guidelines is to achieve massing, height, ~~and modulation~~ and articulation goals. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

- Ensure that buildings are appropriately scaled and proportioned for the enclosure of Town Square.
- Enable simple massing and ~~modulation-articulation~~ articulation of the buildings, in order to both allow for future changes of tenants or uses and be feasible in the Olympia marketplace.
- Encourage creativity and liveliness to the streets at special areas, such as corners and passageways.
- Special corner elements, architectural details and landscaping will aid “wayfinding” for shoppers and residents through the village center.

Massing and Height

The design guidelines for commercial buildings envision a combination of one and multi-story buildings lining Town Square. The integration of some multi-story buildings along the perimeter of the square are envisioned to be phased in over time to help enclose/frame the square and add additional “eyes on the square”. If buildings are proposed that exceed 1 ½ stories (one story with mezzanine), each proposer will need to show how parking requirements are being met.

One story commercial buildings are allowed, but require a minimum facade height of 24' (twenty four feet). Height shall be measured from the fronting street.

Through the use of clear story windows, one story commercial buildings shall be encouraged to imply at least one and a half (1 1/2) stories ~~multiple floor levels~~ in order to frame and enclose Town Square. ~~Building heights up to 30 feet are encouraged; height shall be measured from the fronting street.~~

Heights of buildings along radial streets, as well as those facing Henderson Boulevard, are also encouraged to ~~imply~~ imply at least one and a half (1 1/2) stories, or up to 30 feet in height with a minimum facade height of 24'; height shall be measured from the fronting street.

All commercial buildings are required to have a minimum internal floor to ceiling height of 18'.

Building Frontages

There is a hierarchy of building frontages to the commercial buildings throughout the Mixed Use District. There is a need to identify guidelines for each type of building frontage to meet design goals while accommodating the necessary function of commercial buildings. Provisions herein address:

- Building/Business Entrances;
- The level of facade transparency;
- The amount of weather protection.

Building Frontages: Storefronts

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This section includes all facades facing Town Square, Radial Streets, and other facades where a business' primary entry is located:

- Building/Business' primary entry must be located along this façade;
- Transparent windows or doors covering at least 60% of the façade between 24" and 10' above the sidewalk are required; and
- Weather protection averaging at least 5' deep (4' minimum) along at least 60% of the façade is required (see Commercial Façade Treatment - Weather Protection for awning types allowed). Weather protection elements shall provide at least 8' vertical clearance over the sidewalk but no higher than 14' to maintain the weather protection function and to maintain a pedestrian sense of scale.

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Building Frontages: Henderson Boulevard and Secondary Street Frontages

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This section includes all facades facing Henderson Boulevard and all other street facing facades that do not contain a business' primary entrance:

- Entrances along these facades are encouraged, particularly at building corners. For buildings adjacent to Henderson Boulevard, at least one public or business building entrance shall be visible from the street.
- Transparent windows or doors covering at least 40% of the façade between 24" and 10' above the sidewalk are required. Departures will be considered provided design treatments are included to enhance the pedestrian environment and design character of the façade; and
- Weather protection elements along these frontages are encouraged and required for the following:
 - Where a business' primary entry faces this frontage, weather protection elements shall meet storefront standards noted above.
 - Office or other (non-service only) building entrances (4' deep minimum).

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Building Frontages: Parking Lot and Internal Pedestrian Walkway Frontages

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This section includes all parking facades facing parking lots and facades facing internal pedestrian walkways.

- Entrances along these facades are encouraged.
- Transparent windows or doors covering at least 20% of the façade between 3' and 8' above the sidewalk. Departures will be considered provided design treatments are included to enhance the pedestrian environment and design character of the façade; and
- Weather protection elements along these frontages are encouraged and required for the following:
 - Where a business' primary entry faces this frontage, weather protection elements shall meet storefront standards noted above.
 - For secondary business and other building tenant entrances, weather protection over the entry at least 4' deep is required.

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Roof Types

Variation in roof form is encouraged as it relates to and helps define building modulation around Town Square and other village streetscapes.

Roofline modulation is encouraged as an effective type of facade articulation. The maximum length of unmodulated roofline is 25'. Every 25', the parapet articulation must change and the height must change by a minimum of 24" OR the roof type must change (flat, mansard, gable, hip, etc.).

Continuous, unarticulated roof heights and/or roof types are not acceptable.

Special Corner Elements

Attention should be given to differentiation of special corner elements, especially those on axis with and providing visual termination, create gateways and focal anchors to the streets surrounding Town Square.

Special corner elements may include hip roofs or compound gable roofs or flat roofs embellished with extraordinary cornice details, glazing or materials.

Each "block" facing Town Square shall encourage a corner building tower feature as highlighted in the "Location of Special Corner Elements" plan adjacent. Signage shall be used to complement and reinforce these special corner elements.

Modulation/Facade Articulation

Building modulation should follow and be expressive of the underlying or implied historically smaller structural bays.

Building modulation (as well as special roof forms, landscaping and facade treatments) should also accent the public passageways between Town Square and off-street parking areas, and the commercial building entries.

Building facades shall integrate architectural elements that create a complementary pattern of rhythm, dividing large buildings into smaller identifiable pieces. Building Frontages (Storefronts, Henderson Boulevard, and Secondary Street Frontages) shall integrate at least 3 of the following features at intervals no greater than 25' (twenty five feet) to create a pattern of small traditional storefronts. Building Frontages (Parking Lot Frontages and Internal Pedestrian Walkway Frontages) shall integrate at least 3 of the following features at intervals no greater than 40' (forty feet) to create a pattern of small traditional storefronts:

- i. Use of window and/or entries that reinforce the pattern of small storefront spaces;
- ii. Use of weather protection features that reinforce small storefronts. For example, one 75' wide facade articulated into three 25' wide storefronts could include a steel canopy for the middle storefront and awnings for the outside storefronts to help articulate the facade;
- iii. Providing vertical building modulation of a least 2' in depth and 4" in width if combined with a change in siding materials and/or roofline modulation;
- iv. Change of roofline or parapet;
- v. Use of vertical piers/columns that reinforce the storefront pattern;
- vi. Changing materials and/or color with a change in building plane;

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PAGES 9-11

- vii. Vertical elements such as a trellis with plants, green wall, or art element that meets the purpose of the guidelines; and/or
- viii. Other methods that meet the purpose of the guidelines.

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Mixed Use District: Commercial Buildings

Building Form and Materials

Variety in building form may include the use of flat, gabled or hip roof forms. Roof forms are encouraged to be true architectural or structural forms. Variation in roof forms (including gabled, hipped or flat) and the use of accessories such as dormers, when using sloped roofs, and embellished cornices, when using flat roofs, are encouraged.

Variety in building materials is encouraged, so long as the framework of building base, middle and top is evident and wall finishes remain consistent on all sides of buildings that can be seen by the public. Material changes should occur in a flush configuration or in minimal offsets of two feet maximum where there is a change in the vertical plane, the horizontal plane, or an articulation element is used (example: trim board) to separate dissimilar materials. Width of modulation articulation should shall be a minimum of fifteen feet and a maximum of sixty feet 25' – 40', depending on Building Frontage (see previous section) to imply historically smaller structural components. Use material changes horizontally and vertically to give identity to internal uses and implied or actual smaller individual shop owners.

The buildings throughout the Mixed Use District are truly “buildings in the round” where each building frontage is in full view of the surrounding neighborhood. As a result, there must be consistency in the design of all frontages for each individual building, including materials and detailing.

Mixed Use District: Commercial Buildings - Façade Treatment

Intent of Guidelines: Façade Treatment

Reflect the differing ground floor level uses (e.g., retail or office uses), primarily through the amount and type of glazing, façade materials, colors and trim details.

Provide continuity throughout the Town Square buildings by establishing the basic framework for the buildings including the rhythm of bay spacing, windows and entryways.

Create a lively streetscape and allow significant freedom and encourage creativity in the tenant occupied/-improved portions of the structure, with minimal direction as regards façade, color.

Retail & Office Uses

The ground floor retail and office uses are encouraged to have a minimum of 18-foot floor—ceiling heights, and need a significant amount of glazing in the form of display windows, and prominent entries and doorways. Provide generous internal floor to ceiling heights (1618' minimum required) for ground floor commercial uses to create attractive spaces with substantial natural light and the capability of accommodating the full range of permitted active commercial uses.

Façade Treatment including Tenant Improvements

Guidelines-Requirements for the ground floor façades, including those areas to be improved by the tenants (distinguished from the building framework) are shown in the following:

- A Storefront:** Window systems can be prefinished aluminum, anodized aluminum or wood.
Doors can be configured in one of four ways:
- Centralized pair
 - Centralized single
 - Right hand single
 - Left hand single
- B Transom Windows:** Either occurs above steel & glass canopy or may reside above or within fabric awning. The use of muntin bars within clearstory windows is encouraged to aid in reinforcing neo-traditional architectural styles.
- C Canopy or Awning:** Pedestrian cover at sidewalk can be provided:
- Steel and glass canopies supported by building façade with a design derived from the architectural bay spacing of the building.
 - Fabric awnings fixed or operable; sized to “plug in” to the architectural bay spacing of the building.
- D Clearstory Windows:** Encouraged at all corners and within each bay to convey a multi-story scale to each commercial building. The use of muntin bars within clearstory windows is encouraged to aid in reinforcing neo-traditional architectural styles.

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E Pilaster Base: 3' - 4' high base can be finished in stone, veneer simulated stone, masonry (veneer brick, or decorative CMU), tile or panelized wood.

F Corner Pilasters: 3'-0" (minimum) wide pilaster and adjacent wall can be finished in stone, veneer simulated stone, masonry (veneer brick, or decorative CMU), fiber cement siding (shingles) or panelized wood.

G Sconce Lighting: Location for tenant sconce lighting at center of pilaster if so desired.

H Signage: Locations for tenant signage panel include:

- Wall mounted above entry
- Blade sign mounted at underside of canopy or bracketed off header over doorway
- Wall mounted at face of pilaster

J Solid Display Wall: Display walls cannot be constructed within three (3) feet of window walls. Window displays require tenant maintenance to assure vitality of storefront.

K Walls: Walls can be finished in stone, veneer simulated stone, masonry (veneer brick or decorative CMU), or fiber cement siding (shingles, bevel, channel, board & batten).

L Cornices: Shall be sized appropriately for the building style and scale. Larger cornices should be incorporated at building corner elements and primary tenant entries.

M Roof Caps: Sloped roof forms are encouraged at corner elements along primary axis (auto, pedestrian or view corridors). The use of overhangs and knee braces are encouraged to reinforce neo-traditional architectural styles.

N Trim: Shall be painted wood or fiber cement, 6" (nominal) width minimum. All trim at openings (windows, doors, vents) should be sized to reinforce neo-traditional architectural styles.

O Window Base: Shall be 24" minimum in height and constructed of panelized wood or any other compatible material listed in item 'E' Pilaster Base above. A minimum of 50% of storefront windows must meet this window base requirement.

Please see signage section on page 26. See signage section page ? (fill in the page number here) for more details on signage requirements that are unique to the Briggs Village Mixed Use District.

Façade Elements and Details

Purpose: To encourage the incorporation of design details and small-scale elements into building facades that are attractive at a pedestrian scale.

Requirements:

(a) Façade details toolbox: All non-residential and mixed-use buildings shall be enhanced with appropriate details. All new buildings must employ at least two detail elements from each of the three categories below for each façade facing a street or public space. For example, a building with 75 feet of street frontage with a façade articulated at 25 foot intervals will need to meet the guidelines for each of the three façade segments below.

(i) Window and/or entry treatment:

- (A) Display windows divided into a grid of multiple panes;
- (B) Transom windows;
- (C) Roll-up windows/doors;
- (D) Other distinctive window treatment that meets the purpose of the guidelines;
- (E) Recessed entry;
- (F) Decorative door;
- (G) Landscaped trellises or other decorative element that incorporates landscaping near the building entry; or
- (H) Other decorative or specially designed entry treatment that meets the purpose of the guidelines.

(ii) Building elements and façade details:

- (A) Custom-designed weather protection element such as a steel canopy, cloth awning, or retractable awning;
- (B) Decorative, custom hanging sign(s);
- (C) Decorative building-mounted light fixtures;
- (D) Bay windows, trellises, towers, and similar elements; or
- (E) Other details or elements that meet the purpose of these guidelines.

(iii) Building materials and other facade elements:

- (A) Use of decorative building materials/use of building materials. Examples include decorative use of brick, tile, or stonework;
- (B) Artwork on building (such as a mural) or bas-relief sculpture;
- (C) Decorative kick-plate, pier, belt course, or other similar feature;
- (D) Hand-crafted material, such as special wrought iron or carved wood; or
- (E) Other details that meet the purpose of the guidelines.

"Custom," "decorative," or "hand-crafted" elements referenced above must be distinctive elements or unusual designs that are complementary and/or consistent with the featured architectural style.

Departures to the standards above will be considered provided the number, quality, and mix of details meet the purpose of the standards.

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Window Design

Window design: Buildings shall employ techniques to recess or project individual windows above the ground floor at least two inches from the façade or incorporate window trim at least four inches in width that features color that contrasts with the base building color.

Departures will be considered where buildings employ other distinctive window or facade treatment that adds a sense of depth to the facade and/or visual interest to the building.



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Acceptable and unacceptable (far right image) window design on upper floors. Note that the windows in the brick building on the left are recessed from the façade. The windows in the middle images include trim. The image on the right includes no trim or recess/projection, and thus would not be permitted.

Façade Materials

Purpose:

- To encourage high-quality building materials that enhances the character and identity of Briggs Village;
- To discourage poor materials with high life-cycle costs; and
- To encourage the use of materials that reduce the visual bulk of large buildings.

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Requirements:

(a) Walls can be finished in stone, veneer simulated stone, masonry (veneer brick or decorative CMU), panelized wood, tile, or fiber cement siding (shingles, bevel, channel, board & batten).

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(b) Concrete block guidelines: Concrete block may be used if it is incorporated with other permitted materials and it complies with the following:

(i) When used for the primary façade, buildings must incorporate a combination of textures and/or colors to add visual interest. For example, combining split or rock-façade units with smooth ground faced blocks can create distinctive patterns; and

(ii) Plain Concrete block may comprise no more than 30% of a façade facing a public right-of-way or open space. Departures to this standard will be considered provided design treatments are included to enhance the visual character of the building at all observable scales.



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Acceptable and unacceptable concrete block examples. The left example uses a mixture of split-faced colored concrete block and smooth-faced concrete block, together comprising just under 30 percent of the whole façade. The large expanse of smooth-faced concrete block on-the-right above is not acceptable for Briggs Village facades.

(c) Prohibited materials:

- (i) Mirrored glass;

- (ii) T-111-type plywood siding and similar processed sheet products;
- (iii) Chain-link fencing (except for temporary fencing and for parks);
- (iv) Fiberglass products and similar sheet products; and
- (v) Back-lit vinyl awnings used as signs.
- (vi) Stucco, EIFS, and similar materials.
- (viii) Metal siding.

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Blank Walls

Purpose:

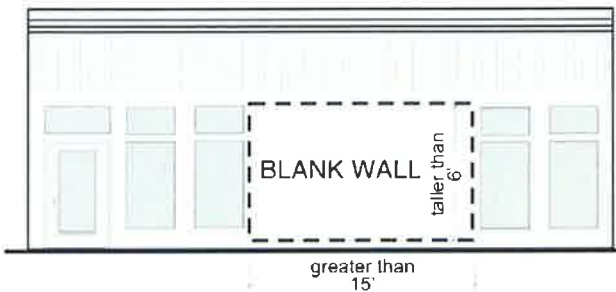
- To avoid untreated blank walls.
- To enhance the character of Briggs Village.

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Requirements:

- (a) Blank wall definition: A ground floor wall or portion of a ground floor wall over six feet in height, has a horizontal length greater than 15 feet and does not include a transparent window or door.

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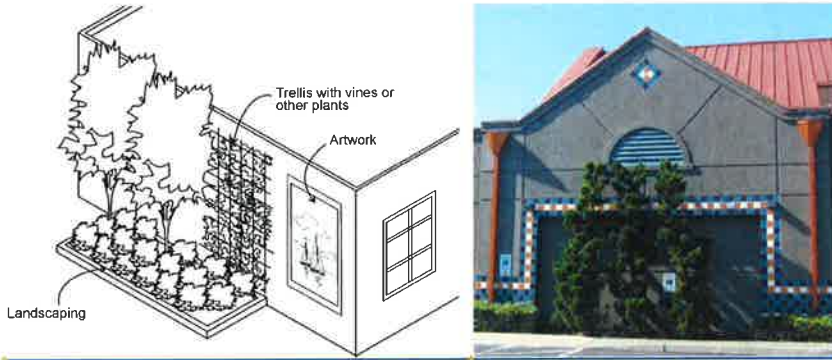


Blank wall definition illustration.

- (b) Blank wall treatment: Untreated blank walls visible from a public street, customer parking lot, or pedestrian pathway are prohibited unless the following methods are used. Methods to treat blank walls can include:

- (i) Display windows at least 16 inches of depth to allow for changeable displays. Tack on display cases shall not qualify as a blank wall treatment;
- (ii) Landscape planting bed, ~~or a~~ raised planter bed, or potted plants in front of the wall with planting materials that are sufficient to obscure or screen at least 60% of the wall's surface within 3 years;
- (iii) Installing a vertical trellis in front of the wall with climbing vines or plant materials;
- (iv) Installing a mural or other art work as approved by the reviewing authority; and/or
- (v) Special building detailing that adds visual interest at a pedestrian scale. Such detailing must use a variety of surfaces; monotonous designs will not meet the purpose of the guidelines.

For large visible blank walls, a variety of treatments may be required to meet the purpose of these guidelines.



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Blank wall treatment examples.

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Service Element Location and Design

Purpose:

- To minimize the potential negative impacts of service elements; and
- To encourage thoughtful siting of service elements that balance functional needs with the desire to screen negative impacts.

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Requirements:

(a) All developments shall provide a designated spot for service elements (refuse and disposal). Such elements shall meet the following requirements:

- Service elements shall be located to minimize the negative visual, noise, odor, and physical impacts to the street environment, adjacent (on and off-site) residents or other uses, and pedestrian areas;
- The designated spot for service elements shall be paved with concrete;



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Appropriate service area location and enclosure example.

(iii) Appropriate enclosure of the common trash and recycling elements shall be required. Requirements and considerations:

(A) Service areas visible from the street, pathway, pedestrian-oriented space or public parking area shall be enclosed and screened around their perimeter by a durable wall or fence **at least sufficient in height to screen equipment within (6' high minimum)**. Developments shall use materials and detailing consistent with primary structures on-site. Acceptable wall materials include brick, decorative concrete block or stone;

(B) The sides and rear of the enclosure must be screened with landscaping in locations visible from the street, dwelling units, customer parking areas, or pathways to soften the views of the screening element and add visual interest;

(C) Collection points shall be located and configured so that the enclosure gate swing does not obstruct pedestrian or vehicle traffic, or does not require that a hauling truck project into any public right-of-way; and

(D) Proximity to adjacent residential units will be a key factor in determining appropriate service element treatment. Enclosures must screen views from adjacent buildings, especially from residential structures.

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(b) Utility meters, electrical conduit, and other service utility apparatus: These elements shall be located and/or designed to minimize their visibility to the public. Project designers are strongly encouraged to coordinate with applicable service providers early in the design process to determine the best approach in meeting these guidelines. If such elements are mounted in a location visible from the street, pedestrian pathway, common open space, or shared auto courtyards, they shall be screened with vegetation or by architectural features.



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Good and bad utility meter configurations. The example on the left is consolidated and somewhat screened by landscaping elements, whereas the right example is exposed and degrade the character of this project.

(c) Rooftop mechanical equipment: All rooftop mechanical equipment shall be organized, proportioned, detailed, screened, and/or colored to be an integral element of the building and minimize visual impacts from the ground level of adjacent streets and properties and from adjacent multi-family housing. For example, screening features should utilize similar building materials and forms to blend with the architectural character of the building.

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Mixed Use District: Commercial - Grocer

Intent of Guidelines: Variety in Building Form Plan and Elevation

Break plan and elevation of large buildings (greater than 180 foot facades on a side or face) to a more pedestrian scale, by expressing the designated use, through modulation, entries, glazing, canopies and other unique tenant features. Creating a varied streetscape along the northern, eastern and southern facades of the grocer is needed in order to fit this atypical building within the village. Multiple and prominent entryways along these facades are encouraged in order to break up these long facades.

Building Form and Materials

Variety in building form may include the use of flat, gabled or hip roof forms. Roof forms are encouraged to be true architectural or structural forms. Variation in roof forms, including gabled, hipped or flat, and accessories such as dormers, when using sloped roofs, and embellished cornices, when using flat roofs, are encouraged.

Variety in building materials is encouraged, so long as the framework of building base, middle and top is evident and wall finishes remain consistent on all sides of buildings that can be seen by the public. Material changes should occur in a flush configuration or in minimal offsets of two feet maximum. Width of modulation should be a minimum of fifteen feet and a maximum of sixty feet to imply historically smaller structural components. Use material changes horizontally and vertically to give identity to internal uses and implied or actual smaller individual shop owners.

Mixed Use District: Residential Buildings

Intent of Guidelines: Massing, Height, and ~~Modulation~~Articulation & Modulation

The purpose of the Guidelines is to achieve massing, height, and ~~modulation~~articulation goals. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

- Ensure that buildings are appropriately scaled and proportioned for the Mixed Use District.
- Enable simple massing and modulation of the buildings, in order to be feasible in the Olympia marketplace.
- Encourage massing & façade variation of street level at special areas, such as corners and passageways.
- Special corner elements, architectural details and landscaping will aid “wayfinding” for visitors and residents through the village center.

Massing and Height

Mixed Use District Residential Buildings shall be at least three (3) stories in height in order to frame the edges of the Mixed Use District and to maximize views of the surrounding district and natural features. Building heights up to 45 feet are ~~encouraged~~allowed; height shall be measured from the fronting street.

Heights of residential buildings along radial streets, as well as those facing the Briggs Drive, will be at least three (3) stories; height shall be measured from the fronting street.

Roof Types

Variation in roof form is encouraged as it relates to and helps define building ~~modulation~~articulation throughout the Mixed Use District. (See pages ~~20-2~~ & ~~21-2~~ for further narrative and illustration.)

Special Corner Elements

Attention should be given to differentiation of special corner elements, especially those on axis with and providing visual termination, create gateways and focal anchors to radial streets emanating from Town Square, pedestrian pathways and other prominent corners. .

Special corner elements may include hip roofs or compound gable roofs or flat roofs embellished with extraordinary cornice details, glazing or materials.

~~Modulation~~Articulation & Modulation

Building ~~modulation~~articulation should follow and be expressive of the underlying housing units and structural bays.

Building ~~modulation~~articulation (as well as special roof forms, landscaping and facade treatments) should also accent the public passageways between Briggs Drive and Town Square and access to off-street parking areas from radial streets.

PAGES 23-26

Multifamily buildings shall include articulation features at intervals that relate to the location/size of individual units within the buildings (or no more than every 30') to break up the massing of the building and add visual interest and compatibility to the surrounding context. At least three of the following features shall be employed at intervals no greater than the unit interval of 30 feet (whichever is less).

- a. Use of windows and/or entries;
- b. Change in roofline;
- c. Change in building material, siding style, and/or window fenestration pattern;
- d. Providing vertical building modulation of at least 12" in depth if tied to a change in roofline modulation or a change in building material, siding style, or color. Balconies may be used to qualify for this option if they are recessed or projected from the façade by at least 18". Juliet balconies or other balconies that appear to be tacked on to the façade will not qualify for this option unless they employ high quality materials and effectively meet the intent of the standards;
- e. Vertical elements such as a trellis with plants, green wall, art element;
- f. Other design techniques that effectively break up the massing at no more than 30' intervals.

Departures will be considered provided they meet the intent of the standards and the design criteria set forth in these Design Guidelines.

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Intent of Guidelines: Residential Facade Treatment

Residential uses should reflect the appropriate amount, type and placement of glazing, balconies and facade materials, colors and trim details.

- ▲ ~~Ensure that buildings are appropriately scaled and proportioned for the adjacent buildings.~~
- ▲ ~~Enable simple massing and modulation of the buildings, in order to be feasible in the Olympia marketplace.~~
- ▲ ~~Encourage creativity and liveliness to the streets at special areas, such as corners and passageways.~~
- ▲ ~~Special corner elements, architectural details and landscaping will aid “wayfinding” for visitors and residents through the village center.~~

Windows

Windows shall be predominantly vertically proportioned to reinforce the desired neo-~~traditional-classical craftsman~~ architectural style and shall be appropriate for the intended uses and follow the modulation of the building.

Building Form and Materials

Variety in building form may include the use of gabled or hip roof forms (flat roofs on a limited basis). Roof forms are encouraged to be true architectural or structural forms. Variation in roof forms and the use of accessories such as dormers, when using sloped roofs, and embellished cornices, when using flat roofs, are encouraged.

Variety in building materials is encouraged, so long as the framework of building base, middle and top is evident and wall finishes remain consistent on all sides of buildings that can be seen by the public. Width of modulation should be reflective of the housing units with a maximum of ~~(20’30’)~~ ~~twenty-thirty~~ feet to imply historically smaller structural components. Use material changes horizontally and vertically ~~should to~~ give identity to internal uses and implied or actual residential units.

Mixed Use District: Residential Buildings – Façade Treatment

Intent of Guidelines: Façade Treatment

The architectural character of the multi-family residential buildings within the Mixed Use District shall be ~~pre-modern~~ neo-classical craftsman.

The façades shall reflect the rhythm of residential units and the variety of spaces within each unit primarily through the amount and type of glazing, facade materials, color, and trim details.

Provide continuity throughout the Mixed Use District residential buildings by establishing the basic framework for the buildings including the rhythm of bay spacing, windows and entryways.

Residential Building Heights

The Mixed Use District residential buildings are encouraged to have a minimum of 10-foot floor – floor heights.

Façade Treatment including Tenant Improvements

Guidelines for the Mixed Use District residential building façades are shown in the following:

A Corner Elements: Corner elements are encouraged to project a minimum of (24”) twenty four inches from the adjacent façades and incorporate varied roof forms and wall materials than those utilized on the adjacent façades.

B Projecting Bays: Projecting bays are ~~encouraged~~ required to project a minimum of (18”) eighteen inches from the adjacent façades and incorporate varied roof forms and wall materials than those utilized on the adjacent façades. Projecting bays should aid in reinforcing the desired building massing that is consistent with the desired neo-traditional architectural styles. Projecting bays should convey a sense of rhythm that’s reflective of interior residential spaces (e.g. – living rooms, dining rooms.)

C Varied Roof Forms: Variation in roof forms is ~~encouraged~~ required as it relates to and helps define residential building modulation throughout the Mixed Use District. Examples of opportunities to incorporate varied roof forms include: corner elements, projecting bays, and unit or building entries. Roof forms that utilize steeper roof pitches (8/12, 12/12) are encouraged. Also encouraged is the use of contrasting roofing materials at these locations.

D Balconies: Balconies are encouraged at upper levels along public streets to help activate these façades. Balconies should have a high percentage of transparency. Varied materials, from those on adjacent façades are encouraged. There is no minimum depth from the façade required for balconies. “Balconettes” or “French Balconies,” balconies that do not extend significantly past the building façade and are typically defined by iron railings, are encouraged on the upper floors of residential units.

E Trim & Details: Trim shall be painted wood or fiber cement, (6”) six inches (nominal) width minimum. All trim at openings (windows, doors, vents) should be sized to reinforce neo-traditional architectural styles. Trim is also encouraged at each floor level, building corners, projecting bays and corner elements.

PAGES 27 & 28

F Windows: Windows shall be predominantly vertically proportioned to reinforce the desired neo-~~traditional~~ classical craftsman architectural styles and shall be appropriate for the intended uses (larger for living rooms, smaller for bedrooms). Windows can be grouped together, but the individual unit types should remain predominantly vertically proportioned. The use of muntin bars is ~~encouraged~~ required. A variety of window opening styles (fixed, single hung, casement, and slider) is acceptable as long as the predominant number of windows for each building remains vertical in proportion. Window materials can vary (vinyl, prefinished aluminum, fiberglass, prefinished wood).

G Transom Windows: The use of transom windows in living room areas is ~~encouraged~~ required to help differentiate these spaces from adjacent apartment spaces (sleeping, kitchen, dining). The use of muntin bars within transom windows is encouraged to aid in reinforcing neo-traditional architectural styles.

H Base, Middle & Top: Variety in building materials is ~~encouraged~~ required, so long as the framework of the building base, middle and top is evident and wall finishes remain consistent on all sides of the buildings that can be seen by the public. Reinforcing a strong base, middle and top through significant material changes (e.g. – masonry to fiber cement siding) at corner elements and projecting bays is encouraged. A greater emphasis on high quality durable materials (masonry, stone, simulated stone) at the base of the buildings is required. A minimum of 50% of the first floor façade must include high quality durable materials.

I Pilasters: (24") Twenty four inch (minimum) wide pilasters at corner elements and projecting bays are ~~encouraged~~ required. The ground floor level of pilasters, are encouraged to be finished in stone, veneer simulated stone, or masonry (veneer brick, ~~or decorative CMU~~).

J Walls: Walls can be finished in stone, veneer simulated stone, ~~masonry (veneer brick or decorative CMU)~~, or fiber cement siding (shingles, bevel, channel, board & batten).

K Doors to Balconies: Doors to balconies shall be glazed units and sized appropriately for the building style and scale. Doors can be swing doors or sliding.

L Unit Entries: The unit or building entries to Mixed Use District Residential buildings should stand apart from adjacent facades through the use of building massing, projecting bays, contrasting roof forms and/or contrasting wall materials and detailing. The entries to these residential buildings should add to the activation of the ground floor plane throughout the Mixed Use District.

Mixed Use District: Parking Areas

Intent of Guidelines: Parking

Parking should be easy to find, yet unobtrusive to the pedestrian streetscape.

Guidelines will identify a range of appropriate screening devices for the surface parking areas, as well as interior planting options for surface parking lots. The guidelines are illustrative of the requirements that shall be met using the tools described below.

Please see signage guidelines for parking signage, on page 26? (insert new page #).

Off-street Parking -- Surface Lots

Screening: Screen parking from street edge with dense landscaping, low walls or fencing in character with buildings; maintain vehicular and pedestrian security sight lines. The ground plane should be planted with shrubs and groundcovers.

Landscaping: Provide canopy trees to provide shade to break up the visual impact of parking area. Explore opportunities to group landscaped areas to create memorable islands, with associated shrub and groundcover understory. Parking areas adjacent to Henderson Boulevard will use berms, shrubs, groundcover plantings or low walls to minimize appearances from the arterial.

Pedestrian Links

Pedestrian links are the mid-block pedestrian connections. These are generally organized on an overall radial framework. These generally connect the Town Square to Briggs Boulevard and outward to residential neighborhoods and open space via surface parking lots. Guidelines recommend hardscape, planting, furniture, and lighting along these pedestrian links.

Mixed Use District: Site Design & Details

Intent of Guidelines: Site Design & Details

The purpose of the guidelines is to achieve site design/detail goals. The guidelines are illustrative of the requirements that shall be met using the tools described below.

Provide direction outside of street rights-of-way.

Create a palette of landscaping materials for use in the Mixed Use District.

Site Planning

Town Square marks the intersection of several vehicular, pedestrian and visual axes. The site is thus the focal point of the village; it is also the center from which the energy and character of the village radiates outward. The axial relationships, the site orientation, and the land use patterns provide an organizing framework for development of the site. The southern, western and northern edges of Town Square are intended for a high level of commercial activity. The Pavilion has been located at the axial nexus of this area and is intended to be the heart of a more active area of the Town Square. The eastern edge of the Town Square, with the Clock Tower at its axial nexus is intended to be a gathering place for more passive activities.

Town Square is officially one acre in size; however the limits of this central gathering and activity space extend beyond these measured boundaries to include the roadway around the Square and the opposite sidewalk. The internal roadway circling the Square is raised to the level of the sidewalk and delineated by paving materials, bollards, and trees. Town Square has been designed to sponsor day-to-day retail activity as well as seasonal community events where the Square in the center of Briggs Village can be closed to vehicles for street fair activities. Annual events such as cider presses, flower shows, plant sales, and garden fairs could become Briggs Village traditions that evoke the history of the site and enhance the community's future.

Surrounding the Square are 20'-24' high (minimum) commercial buildings with even higher corner features that help define the open space and house both retail and office space. Town Square is intended to be an active, community hub for Briggs Village residents and their neighbors. The Village Center and Town Square, specifically, will be a comfortable, family-oriented environment where one can enjoy a cup of coffee, visit with friends, or play checkers in the Square.

Please see the Landscape Design Guidelines for additional discussion on the Mixed Use District.

Plantings

Create cohesive, simple mass shrub plantings, allow views between shrubs and tree canopy and allow turf in gathering areas. The landscape within the Village Center is urban in character, with hanging baskets, container plantings, and trees planted in tree wells in the sidewalk with ornamental grates. Isolated plantings in the commercial area will be dense, luxurious, and attractive to make an impact in this setting. The landscape design will involve careful use of paving materials, ornamental plants, and street furniture for impromptu meetings with friends

or places to sit and enjoy the sun and a good book. Retail uses will be encouraged to make use of the sidewalk for displaying merchandise or provide outdoor dining.

Hardscape

Town Square will have an elegant quality and an uncomplicated palette of materials: simple yet detailed paving designs and straightforward plant materials that speak to the geologic history on the Briggs Village site, celebrating the six kettles and Ward Lake. Paving materials should be appropriate to building materials in Town Square and suitable for year-around use, including use in the rain.

Lighting

Lighting within the Village Center will highlight the architecture and delineate pedestrian and vehicular space.

- Pedestrian-scaled light standards of 12' to 15' shall be used throughout all pedestrian areas of the Mixed Use District. All pedestrian-scaled light fixtures shall match the Briggs Village Town Center Standard (see example below).
- Auto/Pedestrian-scaled light standards on major collector streets in Briggs Village (Example: Briggs Drive) shall match the Briggs Village Town Center Standard (see example below).
- Pedestrian-scaled light bollards are encouraged at pedestrian connections through parking lots and other pedestrian connections between commercial buildings throughout the Mixed Use District. The design of these bollards should be consistent with the adjacent pedestrian-scaled light standards. in height may be used in combination with lighted bollards at the Town Square.
- All of the above light fixtures shall minimize lighting trespass to adjacent uses/parcels.

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Furniture

Provide ample and diverse seating opportunities: incorporate seat walls as appropriate at pavement/planting edge.

Select or design a bench type as a signature piece.

Mixed Use District: Signage

Intent of Guidelines

Create a graphic identity for Briggs Village, which visually conveys the desired look and feel for this project. Components of this identity include typeface, materials, colors, symbols and art. Incorporate this identity into a set of graphic guidelines for current and future signage. The guidelines are illustrative of the requirements that shall be met using the tools described below.

Provide general wayfinding and programming showing the type and locations of signs. Detailed sign specifications and message schedules will be included in signage plans in each phase of development.

Village & Building Identity Signage

Briggs Village identity signage will consist of monument type signs, village directories, kiosks, building mounted signage and freestanding signs.

- Monument type signs would be located at key access points from Henderson Boulevard.
- Village directories would be located at key pedestrian entryways or focal points within the village.
- Building mounted signage would be located in prominent positions, including the building corner elements and should be consistent with the style of architecture.
- Freestanding signs would be utilized throughout for vehicular and pedestrian directional, identification and regulatory purposes.
- Establish address identification.

Parking & Directional Signage

Directional and parking signage will be critical since the majority of the parking is located off-street and not visible to drivers.

Parking signage may include freestanding, building mounted, entrance identification, directional, instructional and regulatory signs.

These signs may have prominent locations within the village and along streetscapes in order to assure driving safety, visibility and ease of wayfinding.

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Tenant Signage

Purpose:

Establishing Tenant signage ~~is~~ guidelines is a key element in creating a lively, unique shopping environment at the street level.

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- Signage requirements outlined below are intended to supplement the requirements of OMC 18.42 Signs. Where conflict may occur, the requirements stated herein shall govern.
- Tenant signage may consist of building signage, banners, eave blade signage, marquee signs, and awning signage, and will ~~may~~ be visible to both vehicle passengers and pedestrians.
- Signage on or below weather protection elements, visible by pedestrians, is strongly encouraged.

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Tenant signage guidelines will be created to reinforce the identity developed for Town Square, reflective of the likely target retail markets and tenant needs. The signage program will:

- Narrow the range of acceptable sign types.
- Develop locational and placement criteria.
- Identify appropriate sign dimensions, materials, typeface, sizes and lighting.
- Establish maintenance responsibilities.

• Be incorporated in tenant leases.

Requirements:

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- a. All building mounted signage must be externally lit.
- b. Building signage must be proportional to the storefront. Signage can be no wider than 2/3's the width of wall segment it is mounted on (25' maximum storefront wall length x 2/3 = 16.67' maximum sign width).
- c. Building signage letters: maximum of 24" high.
- d. Building signage Area: maximum signage area is 1.5 square foot per lineal foot of storefront that sign is mounted on. Logos, symbols, are included in the maximum signage area allowed.
- e. Building signage is allowed on each facade that contains an entry and/or windows associated with the business.
- f. At least one sign is required below weather protection elements, visible by pedestrians, at each business entry.
- g. Window signs: a sign permanently mounted on a window (ex. - neon sign) or permanently painted on the window is allowed and can be considered in addition to building signage allowed. Window signs are limited to 25% of the size of the window.
- h. Projecting signs: 10' minimum clearance from grade except when mounted under a marquee or weather protection element, minimum clearance is 8'. Sign cannot project from the face of the building more than 3'. Blade signage under a weather protection element must be kept 1' from face of building and 1' back from edge of weather protection element.
- i. Awning signage: maximum letter height is 12"
- j. Signage lighting: minimize light spillage on adjacent businesses, residences or properties.
- k. Neon signage ~~below the line of weather protection~~ is allowed.
- l. Sandwich board signage: one per business; see OMC 18.42.180.
- m. Signage Maintenance: all signage must be kept fully lit (where applicable), clean and in "like new" condition at all times.

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Prohibited Signage:

- i. Internally lit signs.
- ii. No freestanding signs.
- iii. No back lit awning signage.
- iv. Animated signs not allowed.
- v. No roof mounted signs.

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