

Project Name: Hilton Garden InnMaster File: #13-0089

- Concept Design Review
 Detail Design Review

Date: Nov. 14, 2013

CITY OF OLYMPIA
BASIC COMMERCIAL DESIGN CRITERIA
Chapter 18.110

18.110.020 – Frontage			
A. REQUIREMENT:			Buildings must abut at least fifty percent (50%) of the street frontage. Gaps in frontage between buildings on a single project may not exceed eighty (80) feet in length.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

STAFF RESPONSE:

The primary frontage for the proposed project is Henderson Park Lane. Existing stormwater vaults (installed with site improvements in 2002) prevent the building from being placed along the street frontage. Staff discussed rotating the building with the applicant so that it parallels the street, but variable soil conditions were identified as an issue in the Geotechnical Report.

See related discussion under 18.110.070 regarding the location of the building and parking.

18.110.030 – Connections			
A. REQUIREMENT:			Provide driveway and sidewalk connections to and through the development to adjoining streets, bus stops, designated urban trails, and properties, where access exists or reasonable connections are possible. If a parking lot lies between the building entry and an adjacent public street, a pedestrian walkway at least six (6) feet wide shall be provided between them. In all other cases, on-site sidewalks shall have a passable width of at least four (4) feet. All crossings of vehicular travel lanes shall be clearly marked.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Provide clear pedestrian circulation routes on site.
- Minimize curb cuts by sharing driveways and access from side streets whenever possible.

- On large sites where no public streets exist, create a grid street system within the project.
- Locate storm drainage ponds, swales, and other drainage system components so they do not unreasonably impede pedestrian access to or between buildings.
- Provide a direct and clear visual connection through the buildings to the front street if parking is located behind the buildings.
- Provide signs for pedestrians and vehicles within the site, if necessary.
- Provide walkways through parking bays and adjacent to landscape islands.

STAFF RESPONSE:

The proposal includes a single pedestrian connection from Henderson Park Lane to a walkway near the building. To comply with this requirement, additional pedestrian connections will be needed including:

- 1. Clearly marked crossings across drive aisles within the parking lot.*
- 2. A minimum 6’ wide walkway between the building entry and Henderson Park Lane; and*
- 3. Pedestrian connection to Hillside Drive (required for the Henderson Binding Site Plan).*

The first two connections have been included as a condition of approval in the staff report; the third connection is being addressed in conjunction with land use approval. Site lighting will also be evaluated during land use approval to ensure adequate illumination for pedestrian safety.

On-site directional signage will be important for on-site users hauling luggage, determining parking, and walking up to 370 feet from the outer perimeter of the parking lot. Staff recommends directional signage such as “to lobby”, “main entrance”, “bicycle storage”, etc. This has been included as a condition of approval in the staff report.

18.110.040 – Fences and Walls			
A. REQUIREMENT:			Minimize the use of fences that inhibit pedestrian movement or separate the project from the neighborhood and adjoining streets. Front yards shall be visually open to the street. Where fencing is necessary, maintain a human scale along the street by providing pedestrian connections through use of gates or openings at frequent intervals.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Fences are not proposed.			

B. GUIDELINES:

- Provide variation in fencing through use of stepped fence heights or small setbacks.
- Add visual interest by providing variation in fence materials, texture, or colors.
- Provide landscape screening to break up long expanses of fencing.
- Repeat use of building facade material on fence columns and/or stringers.
- Provide lighting, canopies, trellises or other features to add visual interest.

18.110.050 – Pedestrian Amenities			
A. REQUIREMENT:			Provide pedestrian amenities in places where people typically gather, including but not limited to, transit stops, building entrances, or street corners. These spaces must include seating, landscaping, and at least two of the following:
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Patterned materials on walkways; 2. Shelters; 3. Trash receptacles; 4. Drinking fountains; 5. Pedestrian lighting, light bollards, or alley lighting; 6. Fountains, sculptures, mobiles, kiosks, or banners; 7. Street trees, flower boxes, or container landscaping in alleys; 8. Street vendor stations where appropriate; or 9. Bike racks.

STAFF RESPONSE: *Proposed pedestrian amenities include two terraces with outdoor seating, use of brick (or similar) pavers at the main entrance under the entry canopy, patterned concrete in the outdoor terraces, and bike parking. Landscaping is proposed around the perimeter of the outdoor terraces.*

18.110.060 – View Preservation			
A. REQUIREMENT:			In order to protect the existing outstanding scenic views which significant numbers of the general public have from public rights-of-way, applicants for development must consider the impact their proposal will have on views of Mt. Rainier, the Olympic Mountains, Budd Inlet, the Black Hills, the Capitol Building, and Capitol Lake or its surrounding hillsides.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

	<p>All development must reserve a reasonable portion of such territorial and immediate views of these features for significant numbers of people from public rights-of-way, and shall provide lookouts, viewpoints, or view corridors so that visual access to existing outstanding scenic vistas is maintained.</p> <p>Refer to the Scenic Vista overlay zoning maps available at the Community Planning and Development Department.</p>
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18.110.070 – Building Location and Design			
A. REQUIREMENT:			<ol style="list-style-type: none"> 1. Place commercial buildings on the street edge and locate parking on the side or behind the building. Parking lots shall not be located on corners. Exceptions may be made where an alternative building location would provide as good or better pedestrian access. Exceptions may be made in the Auto Oriented Design District and in the HDC-4 Capital Mall area (see Section 18.130.060. 2. Entrances to buildings shall be clearly articulated and obvious from the street. 3. Commercial and public buildings over three (3) stories must have a clearly defined base at street level that is no more than two stories high.
Complies <input checked="" type="checkbox"/> #2, 3	Conflicts <input checked="" type="checkbox"/> #1	N/A <input type="checkbox"/>	

STAFF RESPONSE:

The proposed project is unable to meet Requirement #1 due to existing stormwater vaults and unsuitable soil conditions. As allowed under OMC 18.100.100, creative solutions are encouraged as long as they achieve a superior result. One solution would be to provide significant landscaping at the site entrances and street frontage, and replace the Chanticleer Pears in the parking lot with a tree that provides a greater canopy. The intent is to soften the appearance of the parking lot. This has been included as a condition of approval in the staff report.

The proposed project addresses requirement #2 and 3 as follows:

- *The porte cochere provides a clearly articulated entrance.*
- *A one story element extends along the southeast and southwest elevations, creating a clearly defined base. The central portion of the base floor has a stepped pavilion element that further defines the base and reduces the overall mass of the southeast elevation.*

110..010018.110.080 – Maintaining Human Scale			
A. REQUIREMENT:			Use design elements to maintain a human scale at the street. Projects requiring a conditional use permit in a residential zone must incorporate elements that relate to existing buildings in the neighborhood.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Where there is a strong sense of human scale neighborhood identity, use building modulation, roof forms, windows, materials, and details that are similar to the neighborhood buildings.
- Articulate façade design features to reduce the apparent size of large buildings. Design elements may include, but are not limited to: facade modulation, cornices, window patterns, plazas, porches, patios, decks, covered entries, balconies, bay windows, dormers, stepped roofs, gables or other roof elements, a variety of cladding materials, lighting fixtures, trellises, trees or other landscape features, and multiple paint colors and building materials.
- Locate retail shops with display windows at the street level around the exterior of larger commercial buildings.

STAFF RESPONSE:

Although the proposed building is set back from the street, it still provides elements of human scale found on the southeast elevation such as the pavilion, porte cochere, varying roof forms, a high level of modulation, a high level of glazing at the ground level, and outdoor terraces.

In contrast, the hotel tower" is more uniform with respect to façade modulation, window patterns, gable elements, exterior materials, and colors. Except at the building corners, façade modulation is only two feet deep, which in staff's opinion is shallow for the overall scale of the building. Because deeper modulations may be difficult to provide given the floor plan, staff recommends that the applicant add exterior treatments for greater detailing and visual interest. Suggestions include those noted in the guideline above. This has been included as a condition of approval in the staff report.

See related discussion under OMC 18.110.140 regarding consistency.

18.110.090 – Street Walls			
A. REQUIREMENT:			Use a high proportion of clear or lightly tinted glass at the street level for displays or to reveal services available where appropriate. This glass shall cover or
Complies	Conflicts	N/A	

<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	comprise at least sixty (60) percent of the building face between two (2) and eight (8) feet in elevation above the sidewalk. If glass is not possible, at least one (1) of the following, or an equivalent, shall be substituted for glazing on the building walls fronting on a street, sidewalk, or other pedestrian walkway visible to pedestrians. The following guidelines are listed in order of preference. Wall segments without such treatments should not exceed thirty (30) feet in length:
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B. GUIDELINES:

- Ornamental and structural architectural details that provide texture to the building surface; or
- Climbing plants, vines, trees, or other vegetation that, within three (3) years of planting, can reasonably be expected to cover or screen the wall to the degree required to comply with this section; or,
- A pedestrian area, consistent with Section 18.06.100, Development Standards, located along the southern, eastern, or western exposure of a building face at a transit stop, intersection corner, or other location.

STAFF RESPONSE:

None of the proposed building walls front directly on the street; however a high level of glazing is used at the ground level on the southeast elevation.

18.110.100 – Windows		
A. REQUIREMENT:		
Complies <input checked="" type="checkbox"/>	Conflicts <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
Ground floor glazing	Window detailing on tower	
Windows shall provide relief, detail, and variation to building facades and shall be in harmony with the character of the structure.		

B. GUIDELINES:

- Provide variation in rhythm both horizontally and vertically.
- Use windows that are recessed or protruding such as bay windows.
- Use visually significant window elements, including lintels, sills, casings, mullions, and frame dimensions.
- Provide more glazing area on the ground floor than on the upper floors.

STAFF RESPONSE:

A greater amount of glazing is provided on the ground floor on the southeast and southwest elevations. Significant window elements include pilasters and mullions.

Ground floor glazing has been minimized on the remaining elevations. Staff recommends that windows be provided on these elevations to meet this requirement. If windows cannot be added for security or function of the interior space, exterior treatments shall be used to achieve relief, detail, and variation. This has been included as a condition of approval in the staff report.

Windows on the hotel tower are recessed 6 ½ inches to the reveal, and 8 inches to the overall cladding (see detail in plan set). Staff recommends that additional elements be added such as lintels, sills, casings, and mullions. This has been included as a condition of approval in the staff report.

18.110.110 – Projections into the Right-of-Way			
A. REQUIREMENT:			In order to create a positive visual experience for the pedestrian moving along the street, add interest and variety to building facades by using projections into the right-of-way.
Complies <input type="checkbox"/>	Conflicts <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	

B. GUIDELINES:

- Use any of a variety of projections such as awnings, trellises, planter boxes, bay windows, balconies, canopies and porticos. When awnings are used they should cover the pedestrian clear zone (the 42” of sidewalk immediately adjacent to the building).

Also see Development Guidelines and Public Works Standards 12.24.020, as amended.

18.110.120 – Roofs			
A. REQUIREMENT:			Provide relief, detail and variation to rooflines.
Complies <input checked="" type="checkbox"/>	Conflicts <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	
Mass of main roof			

B. GUIDELINES:

- Use cornices at upper edge of façades or soffit overhangs on rooflines that abut the street.
- Use landscaped roof terraces and gardens on buildings that are stepped back from the street.

STAFF RESPONSE:

The pavilion uses hip and gabled roof forms. The hotel tower uses gabled roof forms predominantly. Cornices and louvers provide detailing at the roof line.

The ridgeline of the main roof is approximately 250 feet in length. While secondary gabled elements help to break up the roofline as shown in elevation view, staff recommends that additional roof modulation and/or different rooflines and roof forms be used to provide greater relief, detail and variation. This has been included as a condition of approval in the staff report.

18.110.130 – Corners			
A. REQUIREMENT:			Create pedestrian friendly building elements at intersections and alley entrances.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

B. GUIDELINES:

- Incorporate features such as inset or angled corners and entrances, display windows, or corner roof features.

18.110.140 – Consistency			
A. REQUIREMENT:			Buildings shall have a consistent visual identity from all sides visible to the general public; except, building walls adjacent to alleys in the downtown design district.
Complies	Conflict	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Use consistent exterior materials, architectural detailing, and color schemes.
- Buildings should present a comparable level of quality of materials, detailing and fenestration.

STAFF RESPONSE:

The building provides a consistent level of materials, colors and detailing on the southeast and northwest elevations but less so on the northeast and southwest elevations, which are also visible to the general public. Staff recommends that additional windows and architectural detailing be added to these elevations to provide greater detailing, and establish greater consistency on all four sides of the building. This has been included as a condition of approval in the staff report.

18.110.150 – Colors and Materials			
A. REQUIREMENT:			Use building materials with texture and pattern (such as brick) on exterior building walls and large surfaces. Reserve brightly saturated colors for trim or accents.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Colors	Materials		

B. GUIDELINES:

- Avoid large expanses of highly tinted or mirrored glass.
- Do not use highly reflective exterior materials (except glazing) where glare would affect nearby buildings or traffic.

STAFF RESPONSE:

The design proposal includes EIFS (Exterior Insulation and Finish Systems) on all exterior cladding materials. In staff's opinion, this material by itself does not provide the required texture and pattern. In addition, EIFS does not weather well in the Pacific Northwest and is known to have a significant number of failures due to rain penetration.

Staff recommends that the use of EIFS be minimized and that other materials such as masonry, composite materials, wood, metal, or other materials that are better suited to this climate, be used. The applicant will be encouraged to use high quality materials that reflect the surrounding environs. This has been included as a condition of approval.

18.110.160 – Lighting			
A. REQUIREMENT:			Use lighting to emphasize the building and landscaping, and to provide visibility and general security. Lighting shall not shine off-site or into adjacent buildings.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Use lighting to emphasize key architectural elements and landscape features.
- Use adequate lighting along sidewalks and alleys to provide well-lit pedestrian walkways.

STAFF RESPONSE:

At this stage of review, only pole lighting in the parking lot and lighting over ingress/egress doors is proposed. To better comply with this requirement, staff recommends that additional lighting be added, in particular along walkways and drive aisle crossings for pedestrian safety. This has been added as a condition of approval in the staff report.

18.110.170 – Parking Structures			
A. REQUIREMENT:			Vehicle entries to garages shall be recessed at least six (6) feet from the street facade plane. At least sixty (60) percent of the street facade between two (2) and eight (8) feet above the sidewalk, shall have at least one (1) of the treatments listed below.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

B. GUIDELINES:

- Transparent windows (with clear or lightly tinted glass) where pedestrian-oriented businesses are located along the facade of the parking structure; or
- Display windows; or
- Art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief art work, or similar features; or
- Decorative metal grille work or similar detailing which provides texture and covers the parking structure opening; or
- Vertical trellis or other landscaping or pedestrian plaza area.

18.110.180 – Plant Selection			
A. REQUIREMENT:			Select plants that are compatible with planting conditions and existing landscaping. Plant trees that at their mature, natural size will be well-suited to the planting location. Avoid use of invasive species adjacent to critical areas. Do not plant noxious weeds, as defined by the Thurston County Noxious Weed Control Program (lists are on file with Thurston County or the City’s Community Planning & Development
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

	Department).
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B. GUIDELINES:

- Provide visual continuity with the existing streetscape by coordinating tree and shrub species with established, healthy landscaping.
- Consider mature tree size in relation to planting area dimensions and soil type.
- Avoid a haphazard appearance by using a limited number of plant species.
- Choose native plant species for primary landscaping; limit use of exotic plant species to areas of interest or effect.

STAFF RESPONSE: *A variety of trees, shrubs, and groundcover are identified on the landscape plan; all are generally suited to local conditions and provide visual continuity throughout the project. The New Zealand Flax may be borderline for Olympia’s climate; if used, it should be located in sheltered area close to the building, or replaced with a hardier plant. Given the site’s proximity to forested areas, consideration should also be given to plants that are deer resistant.*

At the time this checklist was prepared, staff was still reviewing the landscape plan for consistency with landscape standards in OMC 18.36. Some issues have already been identified:

- *Width of parking lot landscape islands (minimum 12 feet required);*
- *Width of screening strip adjacent to street (minimum 10 feet required);*
- *Variety of plant materials in key locations such as site entrances, walkways, terraces, and along the street frontage.*

As a condition of approval, the applicant will be required to confirm: 1) that all plant materials are hardy to local conditions and replace those that are not, and 2) ensure that the provisions of 18.36 are met on the final landscape plan.

18.110.190 – Screening Site Services			
A. REQUIREMENT:			Show the location of all mechanical equipment and utility vaults on both site and landscape plans early in the design process. Provide visual screening so that mechanical equipment and utility vaults are not visible from adjacent public rights-of-way, or adjacent dwelling units. Screen roof-top mechanical and communications equipment on all sides.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Locate mechanical equipment and utility vaults on the least visible side of the building and/or site.
- Screen at-grade locations with vertical plants such as trees, shrubs or ornamental grasses.
- Screen or paint wall mounted mechanical equipment to match the building.

STAFF RESPONSE: *The solid waste enclosure is located at the southwest corner of the building. A solid screen wall with metal gates is proposed. Mechanical equipment will be located on the roof above the pavilion lounge. It is not clear from the plans how this equipment will be screened.*

As a condition of approval, the applicant will be required to: 1) provide screening details for mechanical equipment on the building, 2) identify the location and method of screening of all utility vaults and gas meter where visible from the street, and 3) identify the location of the elevator backup generator and method of screening. This information shall be included on plans submitted at the time of Detail Design Review.

18.110.200 – Screening Blank Walls			
A. REQUIREMENT:			Use a variety of landscape materials along lengthy expanses of blank walls or fences.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Screen walls or fences with a combination of trees, shrubs and vines.
- Use irrigated raised planter boxes for screening purposes.
- In narrow planting areas adjacent to walls or fences, use espaliered trees or shrubs and vines.

STAFF RESPONSE: *As noted above, the northeast, south end of the northwest, and southwest elevations contain little detailing. The shallow depth of planting beds makes it difficult to plant screening vegetation, so other approaches will be required such as additional windows, change of materials, and other architectural detailing. This has been included as a condition of approval in the staff report.*

Project Name: Hilton Garden InnMaster File: #13-0089

- Concept Design Review
 Detail Design Review

Date: November 14, 2013

**CITY OF OLYMPIA
COMMERCIAL DESIGN REVIEW - FREEWAY CORRIDOR DISTRICT
Chapter 18.145**

18.145.020 – Landscape screening adjacent to freeways			
A. REQUIREMENT:			Provide landscape screening adjacent to the freeways where development is visible to motorists passing through the City of Olympia. All properties adjacent to the freeway shall provide a sight-obscuring hedge and/or a sound-absorbing wall measuring between four (4) feet and six (6) feet in height.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Landscape screening may include plant materials, fences, berms, and walls.

STAFF RESPONSE:

A mix of shrubs and trees is proposed along the west property boundary. Shrubs are evergreen and range in height from 4-8 feet at maturity. Trees include Columnar Hornbeam (deciduous) and Douglas Fir (evergreen). Although this requirement is being met, a 6' hedge will not block views of the hotel. Staff recommends replacing half of the deciduous trees with evergreens to soften the appearance of the building as viewed from I-5.

Existing trees along I-5 provide additional screening. Although WSDOT has no plans at this time to remove them, the applicant should take steps now to establish screening should these trees be removed in the future.

18.145.030 – Security and site lighting			
A. REQUIREMENT:			Eliminate glare onto the freeways from security lighting and site lighting.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

Use the following techniques to prevent spillover lighting glare:

- Use cut-off lenses to prevent light from shining off site.
- Locate light fixtures to avoid spillover lighting onto freeways.

STAFF RESPONSE:

Pole lights are proposed along the northwest perimeter of the site; the applicant’s design narrative indicates that cutoff fixtures will be used. Cut sheets are typically provided at the time of Detail Design Review.

18.145.040 – Signs adjacent to freeways			
A. REQUIREMENT:			To reduce visual sign clutter, signage shall be distinct and minimal. Signs along the freeways are limited to identification of the multifamily complex, shopping center, or industrial complex adjacent to the freeway. Signs must conform to the Olympia Sign Code.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- The identification sign should be located flush on the primary building wall facing the freeway or freestanding in the landscape area no closer than five (5) feet to the freeway rights-of-way.
- Freestanding signs should not exceed twenty-five (25) feet in height nor two hundred (200) square feet in sign surface area (total of all sign faces of the sign).
- Signs mounted flush on the building may not exceed one (1) square foot of sign surface area per one linear foot of wall it is mounted on up to two hundred (200) square feet of sign surface area, (a twenty (20) foot long wall may have up to a twenty (20) square foot sign) in accordance with Chapter 18.42, Signs.

STAFF RESPONSE:

Sign locations are shown on the elevations in Attachment 4 (there are some discrepancies between the illustrative elevations and the architectural elevations). Identification signs are located flush on the building walls. Compliance with sign area requirements will be confirmed at the time of sign permit application.

A free standing sign is proposed at the entry driveway; it does not exceed the height or area limits noted above.



A R C H I T E C T U R E

COMMUNITY PLANNING
AND DEVELOPMENT DEPT.

**Olympia Hilton Garden Inn
Design Review Narrative
Response to Olympia Municipal Design Criteria Chapters 18.110 and 18.145**

October 30, 2013

Project Description:

The site is located on a portion of a previously developed parcel. The original development was for a proposed Hotel and Office complex. The prior development was taken through the planning approvals and construction was completed on roads, sidewalks and underground utilities. The construction of the buildings did not happen. The land is under new ownership and DJ Architecture P.C. was given the task of placing a Hotel on a portion of the site. The Hotel proposed is a Franchise brand Hilton Garden Inn developed by Hilton. The Hilton Garden Inn brand features a full service hotel with restaurant. The building has been placed on the site with coordination to leave existing sidewalks, curb cuts, and underground utilities.

Chapter 18.110 Basic Commercial Design Criteria:

18.110.020 Frontage: The building faces two streets, Henderson Park Lane SE and Henderson Boulevard SE

18.110.030 Connections: A public sidewalk is existing on Henderson Park Lane and Henderson Boulevard. An accessible pedestrian path to the public way will be provided by a painted striped path from a sidewalk. The path will have a maximum running slope of 1:20 and a maximum cross slope of 1:48.

18.110.040 Fences and Walls: Fences and walls are not proposed for this project.

18.110.050 Pedestrian Amenities: Patterned materials are proposed for public entrances. The materials proposed is a non slip brick paving laid in a herringbone pattern. A covered bicycle parking area is proposed and located near the front entry. In addition to these amenities, the Hilton Garden Inn Standards require extensive well maintained landscaped areas.

18.110.060 View Preservation: The site is near the Interstate 5 interchange. There are no significant or outstanding views blocked by the building.

18.110.070 Building Location and Design: The prior site development consists of several pre-approved utility easements. Because of the locations of these easements which are located on all sides of the site, it left only on location that the building could be placed. The majority of the parking is off to the sides of the building. There are a few parking spaces near the corner, however because of the site topography, these parking spaces will be screened by a retaining wall and landscaping. The building is designed so that the main entrance does not have parking spaces in front and is clearly articulated with a porte-cochere. The entrance is obvious from the street. The base story of the building is composed of store front glazing with engaged columns. The effect is to provide differentiate of the first story from the guest tower which is behind the first floor lobby and public spaces. In addition to the pavilion, the meeting rooms are single

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A R C H I T E C T U R E

story and set in front of the guest room tower behind. This provides visual relief from the street and provides a human scale where the pedestrian may view the building from the public sidewalk along Henderson Park Lane.

18.110.090 Street Walls: An abundance of store front glass is proposed for the street facing elevation. The glass is nine feet tall and clear so there is lots of opportunity for pedestrian views into the building. The 60% requirement is met.

18.110.100 Windows: There is more glazing on the first floor than the upper floors. The first floor store front glass is set 4 inches to provide relief. In addition to the setback, the windows are given more visual significance by the use of 'built out' columns that frame the ends of each window.

18.110.110 Projections into the Right-of-Way: There are no projections into the right-of-way proposed.

18.110.120 Roofs: The roofs of the buildings are all pitched and use composition shingles. Flat roofs at the lower portion of the building are treated with a cornice. Roof top mounted mechanical equipment will be hidden by screens so they will not be obvious from the pedestrian view point. The roof of the pavilion is capped with a cupola with windows. This roof form provides a significant relief in the roof line and helps to break up the taller roof of the guest tower located behind.

18.110.130 Corners: The building is composed of two elements. The guest room tower and the pavilion and meeting rooms. The Pavilion and meeting rooms are single story and provide roof features that are significantly different than the guest tower wing. This creates a more pedestrian friendly view of the building from the corner.

18.110.140 Consistency: Exterior cladding for the building is the same on all sides. Color, texture and detailing is consistent.

18.110.150 Colors and Materials: Colors and materials are consistent on all sides of the building. There are no highly tinted or mirrored glass proposed.

18.110.160 Lighting: There are several ground mounted lights at the corners of the building oriented to throw light onto the first floor of the building. In addition to the ground mounted lights, there are also lights located on the Pavilion lower roof and are oriented to cast a light up the walls of the guest tower wing. In addition to external lights, the pavilion is capped with a cupola that has glass on all four sides. The interior lights of the rooms inside will bounce light off the ceiling of the cupola and create a soft glow at the windows. The effect is a visual pedestrian amenity and also helps define the massing of the building at night. This is a unique feature of the Garden Inn Hotel.

18.110.170 Parking Structures: A parking structure is not part of this project.

18.110.180 Plant Selections: The Hilton Garden Inn design standards require a high quality landscape. The landscape proposed for this project consists of plants that are well suited for the climate, and have low maintenance. Invasive species are not proposed.



A R C H I T E C T U R E

18.110.190 Screening Site Services: There will be screening walls constructed around the refuse collection area. Also screening walls will be constructed to obscure ground mounted mechanical equipment. The screening walls will be made of durable concrete block and clad with similar materials and colors as the building walls.

Hilton has stringent guidelines for the Garden Inn. Per Hilton guidelines we have provided screens on the roof to hide all roof mounted mechanical equipment. In addition to hiding the equipment, the screens also have a secondary function of blocking sounds from the mechanical fans. The effect is that both sound and noise from the mechanical equipment are screened from the nearby properties.

The Garden Inn has a makeup air and exhaust fan that serves the kitchen area. Because the exhaust fan is near guest room windows, Hilton guidelines are strict that the smells from the exhaust are kept to a minimum. This is achieved by using add on charcoal filters. Hilton has not received any sound or smell issues from guests when the site obscuring screens and charcoal filters are installed.

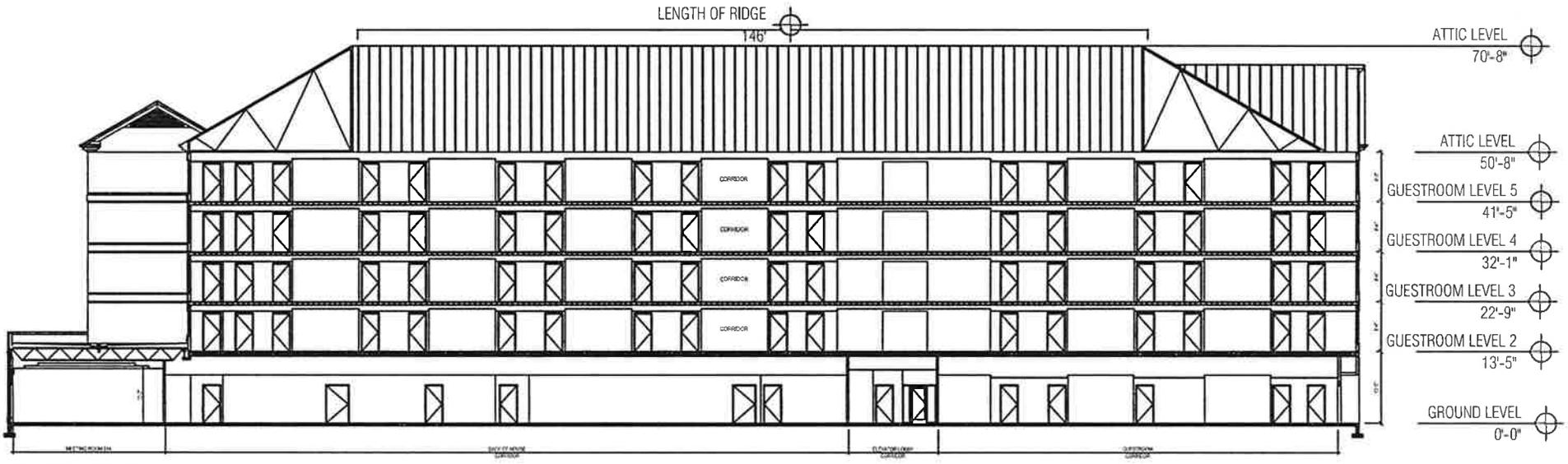
18.110.200 Screening Blank Walls: There are no lengthily expanses of blank walls. Sidewalks along the building are set back to allow for a landscape bed. Trees and or shrubs are proposed along all four sides of the building.

Chapter 18.145. Commercial design review freeway corridor district:

18.145.020 Landscape screening adjacent to freeways: The building is set back from the freeway that is more than 10 foot wide. There is vacant land buffering the project site and there are tall evergreen trees that also restrict views of the building from the freeway.

18.145.030 Security and site Lighting: There will not be any lights that shine towards the freeway. Site lighting is provided by pole mounted lights that are fitted with light cutoff shields that will keep light from shining onto neighboring property. A photo-metric study has been completed to confirm this condition is met.

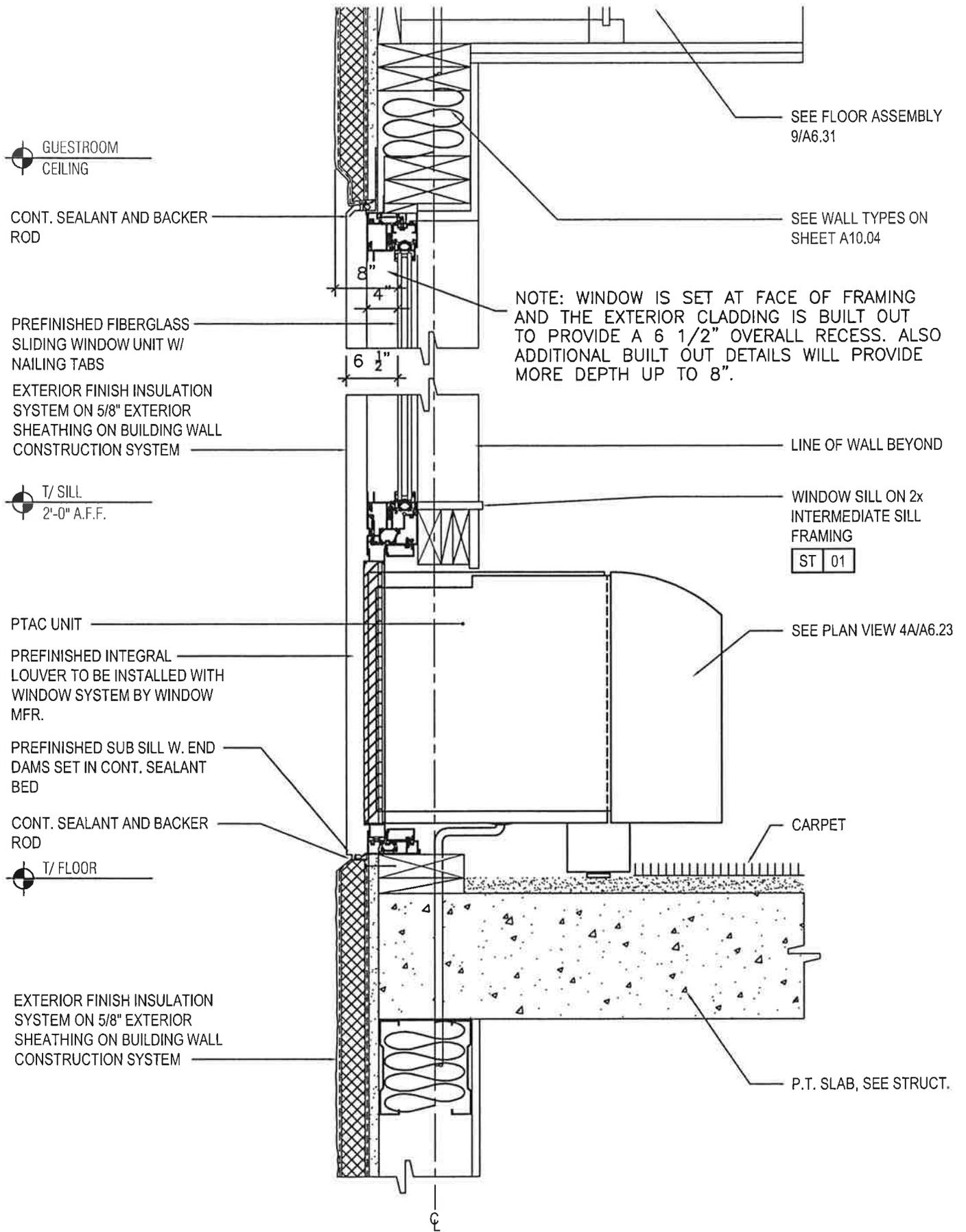
18.145.040 Signs- Adjacent to freeway: Hilton standards set requirements for the franchise signage. There are no signs proposed that will be adjacent to the freeway. Signage will be mounted on the upper floors of the building.



BUILDING SECTION

1/4" = 1'-0"

104
VAE.01

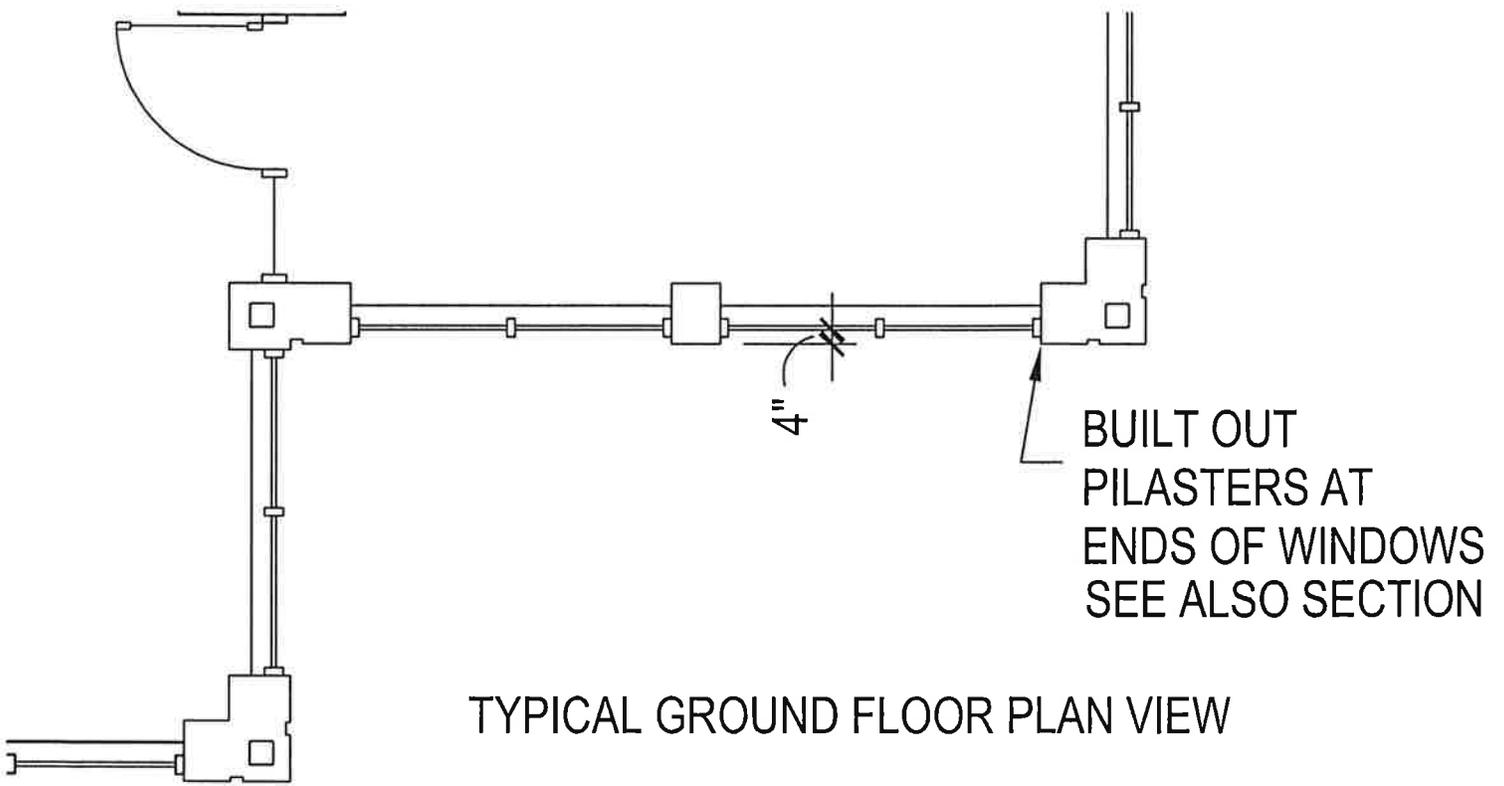


GUEST ROOM WINDOW SECTION

1 1/2" = 1'-0"

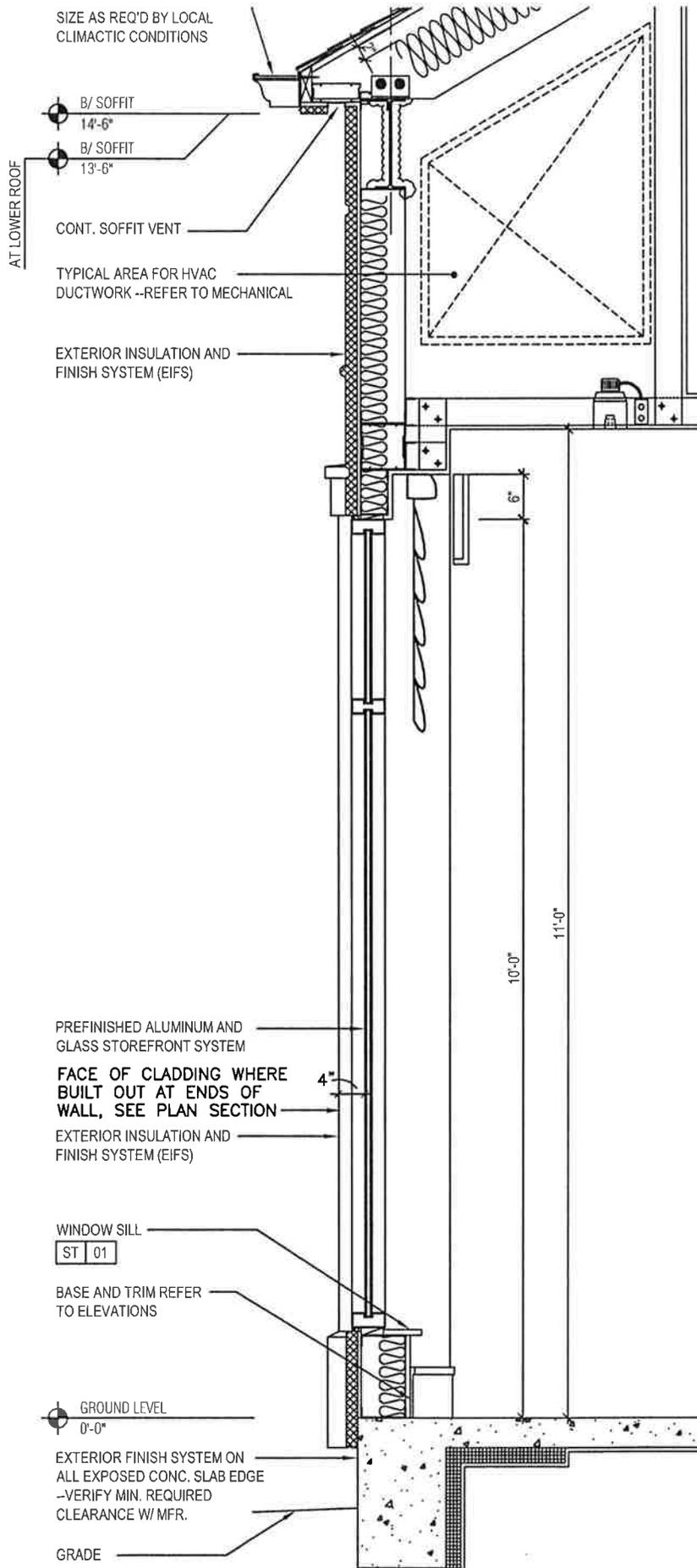
AT PTAC UNIT

4D
A6.23



BUILT OUT
PILASTERS AT
ENDS OF WINDOWS
SEE ALSO SECTION

TYPICAL GROUND FLOOR PLAN VIEW



WALL SECTION GROUND FLOOR

3/4" = 1'-0"

AT PAVIL

HILTON GARDEN INN

IN A PORTION OF SECTION 23, TOWNSHIP 18 NORTH, RANGE 2 WEST,
WILLAMETTE MERIDIAN, THURSTON COUNTY, WASHINGTON



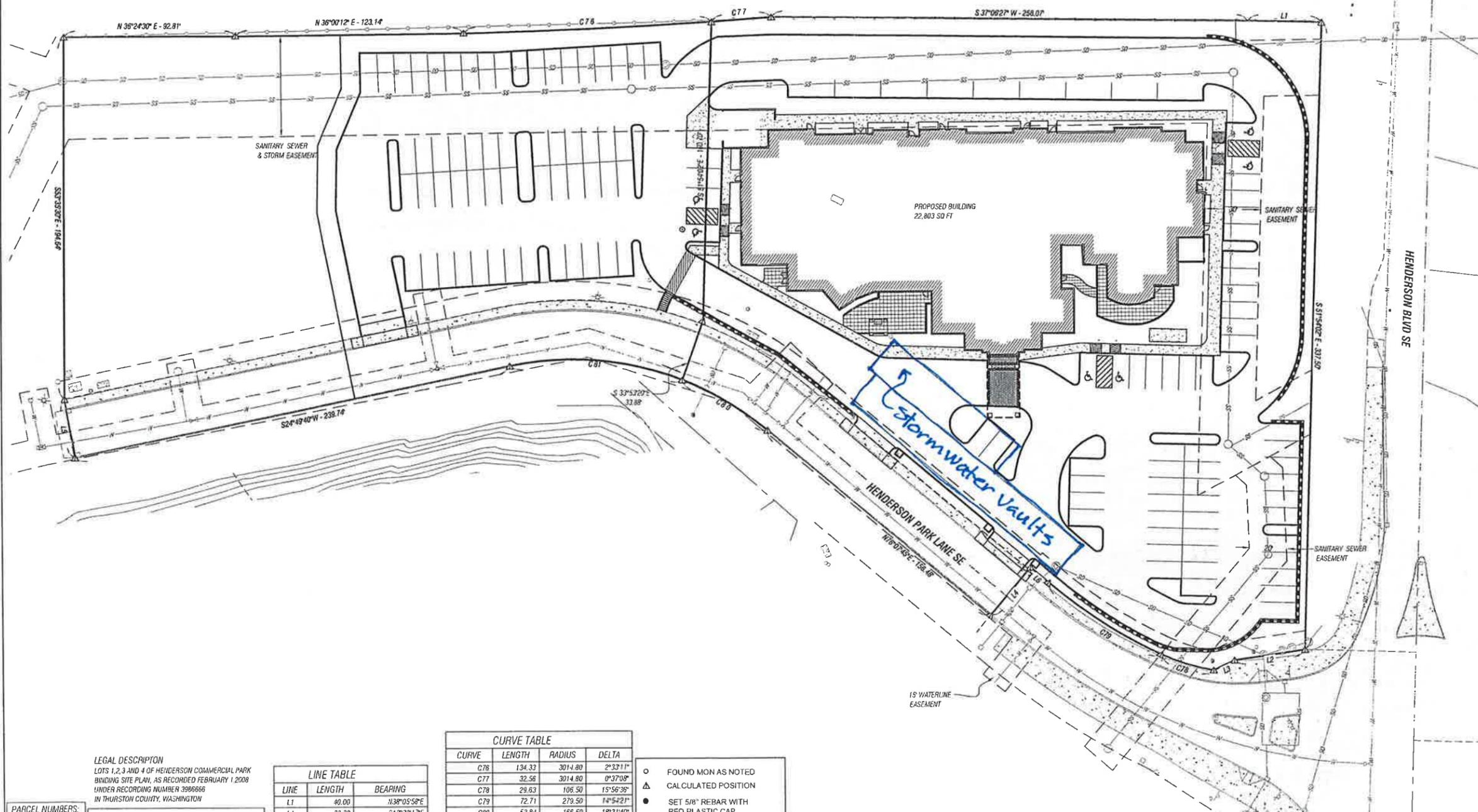
VICINITY MAP
NTS



VERTICAL DATUM
CITY OF OLYMPIA
REF. BENCHMARK NO. 471
CASED MONUMENT WITH MONUMENT
CORE @ PT HENDERSON BLVD 3RD
CURVE NORTH OF ESKRIDGE.
EL=77.54



INTERSTATE 5



SITE DATA
TOTAL AREA: 3.80 ACRES
ZONING: COMMERCIAL
PROPOSED USE: COMMERCIAL
POWER: PSE

SITE ADDRESS
2101 & 2201
HENDERSON PARK LANE SE
OLYMPIA, WA 98501

OWNER/APPLICANT
SPS LANDS, LLC
CAPITOL HOSPITALITY, LLC
2200 6TH AVE STE 200
SEATTLE, WA 98121

RECEIVED
OCT 01 2013
COMMUNITY PLANNING
AND DEVELOPMENT DEPT.

SHEET INDEX

SHEET 1	COVER
SHEET 2	SED. AND EROS. CONTROL SHEET
SHEET 3	SED. AND EROS. CONTROL NOTES
SHEET 4	GRADING SHEET
SHEET 5	UTILITY SHEET
SHEET 6	WATER SHEET
SHEET 7	PLAN AND PROFILE 1
SHEET 8	PLAN AND PROFILE 2
SHEET 9	VAULT SHEET
SHEET 10	STRIPING AND SIGNAGE
SHEET 11	DETAILS
SHEET 12	DETAILS

EXISTING	LEGEND	PROPOSED
278	CONTOUR LINES(MIN)	278
280	CONTOUR LINES(MAJ)	280
—	WATERLINE	—
⊕	WATER METER	⊕
⊕	WATER VALVE	⊕
⊕	FIRE HYDRANT	⊕
⊕	SEWER MANHOLE	⊕
—	SEWER LINE	—
—	STORM DRAINAGE	—
⊕	CATCH BASIN TYPE 1	⊕
⊕	CATCH BASIN TYPE 2	⊕
⊕	TELEPHONE	⊕
⊕	POWER POLE	⊕
—	POWER LINES	—
—	GAS LINE	—
—	SIDEWALK	—
—	ASPHALT	—
—	SAWCUT LINE	—
—	EASEMENT	—
—	SIGN	—
⊕	STREET MONUMENT	⊕
—	BUILDING	—

LEGAL DESCRIPTION
LOTS 1, 2, 3 AND 4 OF HENDERSON COMMERCIAL PARK
BINDING SITE PLAN, AS RECORDED FEBRUARY 1 2008
UNDER RECORDING NUMBER 396666
IN THURSTON COUNTY, WASHINGTON

PARCEL NUMBERS:
53210000200
53210000300

NOTE: CALL UTILITY LOCATE AT 1-800-424-5555
BEFORE PROCEEDING WITH ANY CONSTRUCTION.

LINE	LENGTH	BEARING
L1	40.00	N38°05'58"E
L4	33.39	S13°38'17"E
L5	32.01	S63°29'48"E

CURVE	LENGTH	RADIUS	DELTA
C76	134.33	3014.80	2°32'11"
C77	32.56	3014.80	0°37'08"
C78	29.63	106.50	15°56'30"
C79	72.71	279.50	14°52'21"
C80	53.84	166.50	18°31'40"
C81	95.24	166.50	32°46'25"

- FOUND MON AS NOTED
- △ CALCULATED POSITION
- SET 5/8" REBAR WITH RED PLASTIC CAP STAMPED "PWE 41985"

NO.	DATE	REVISION	BY	APVD
1	09/13	CITY COMMENTS	PM	BS



PacWest ENGINEERING, LLC
10209 BRIDGEPORT WAY SW, STE C-1
LAKEWOOD, WA 98499
Phone (253) 830-5960
Fax (253) 830-5999

HILTON GARDEN INN
OLYMPIA, WA
PREPARED FOR:
CAPITOL HOSPITALITY, LLC

COVER SHEET / SITE PLAN

DESIGN	P. MARRINAN
DRAWN	P. MARRINAN
CHECKED	L. SMITH
APPROVED	L. SMITH



SHEET	1 OF 12
DWG	12-512E.DWG
DATE	9-30-2013
PROJECT	12-512

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Aerial View of Site

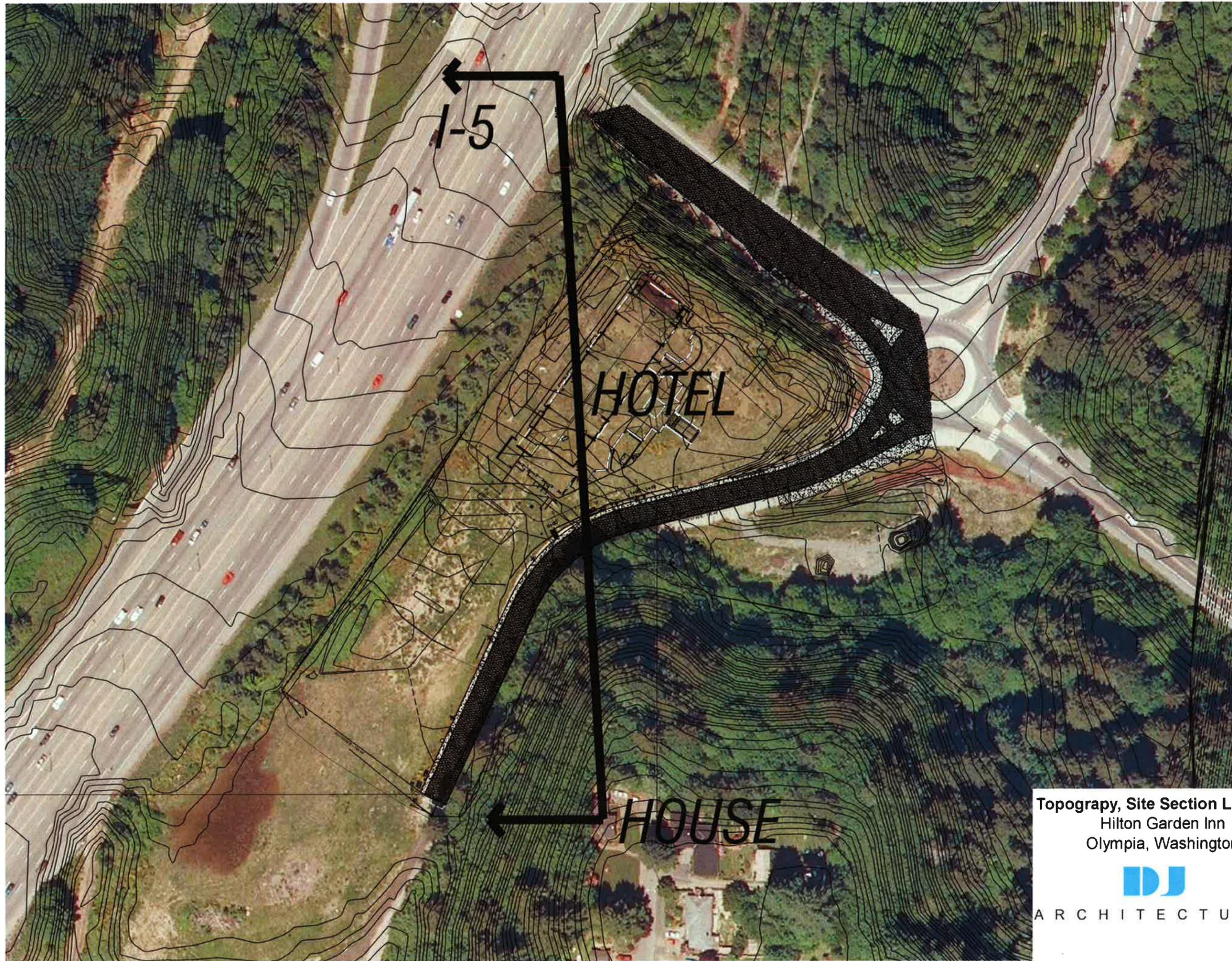


View A: From I-5, Site obscured by trees



View B: From Henderson BLVD SE, Site obscured by trees

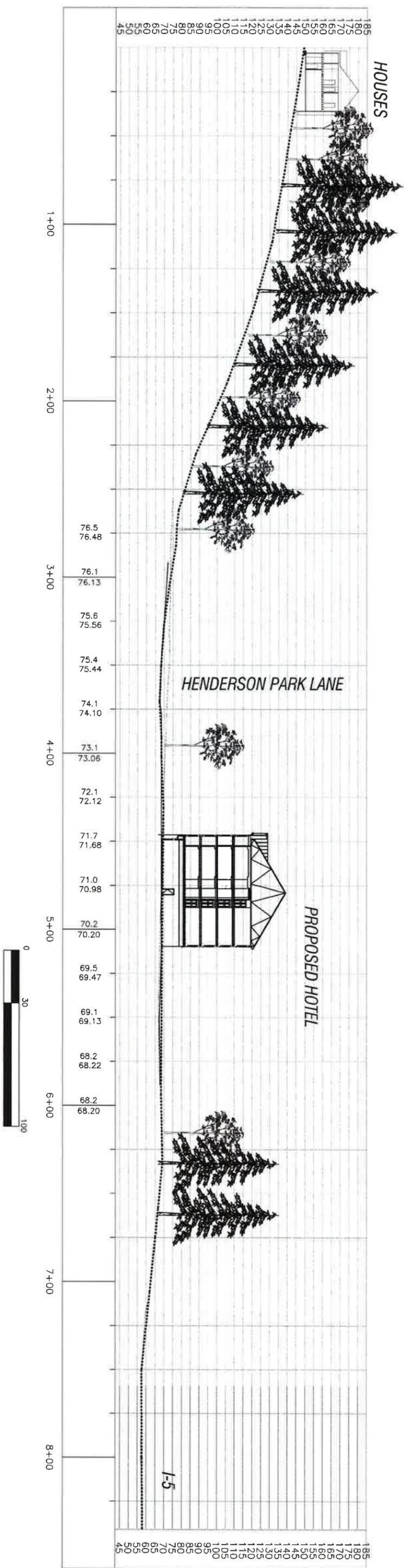
Context Images
Hilton Garden Inn
Olympia, Washington



Topography, Site Section Location
Hilton Garden Inn
Olympia, Washington



ARCHITECTURE



Site Section
 Hilton Garden Inn
 Olympia, Washington



ARCHITECTURE



**Looking North from Otis Street SE.
Wooded Hillside will conceal view of hotel.**

Topo Model
Hilton Garden Inn
Olympia, Washington



ARCHITECTURE



Building Rendering - Looking West
Hilton Garden Inn
Olympia, Washington



ARCHITECTURE



Building Rendering - Looking North
Hilton Garden Inn
Olympia, Washington



A R C H I T E C T U R E



Building Rendering - Looking North
Hilton Garden Inn
Olympia, Washington



Building Rendering - Looking South
Hilton Garden Inn
Olympia, Washington



ARCHITECTURE



Southeast Elevation



Northeast Elevation

Materials:

- Stucco 1: Dark Brown
- Stucco 2: Medium Brown
- Stucco 3: Beige
- Stucco 4: Red Accent

Windows: Light Tan

Roof: Dark Bronze

Elevation Color Studies
 Hilton Garden Inn
 Olympia, Washington



ARCHITECTURE



Northwest Elevation



Southwest Elevation

Materials:

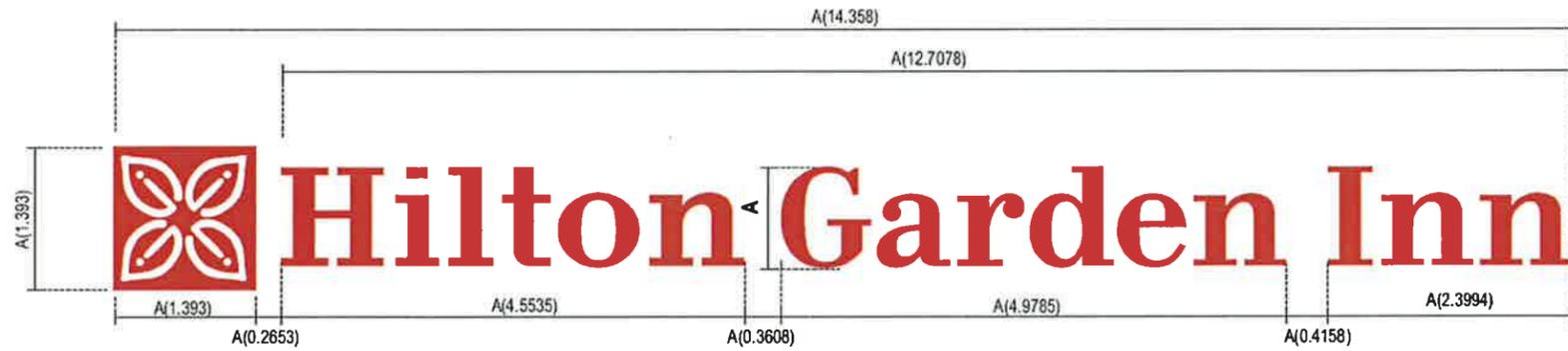
- Stucco 1: Dark Brown
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- Stucco 3: Beige
- Stucco 4: Red Accent

Windows: Light Tan
 Roof: Dark Bronze

Elevation Color Studies
 Hilton Garden Inn
 Olympia, Washington



ARCHITECTURE



LIGHT COLOR BUILDING LETTERS

LIGHT COLORED BUILDING-RED DAY/RED NIGHT

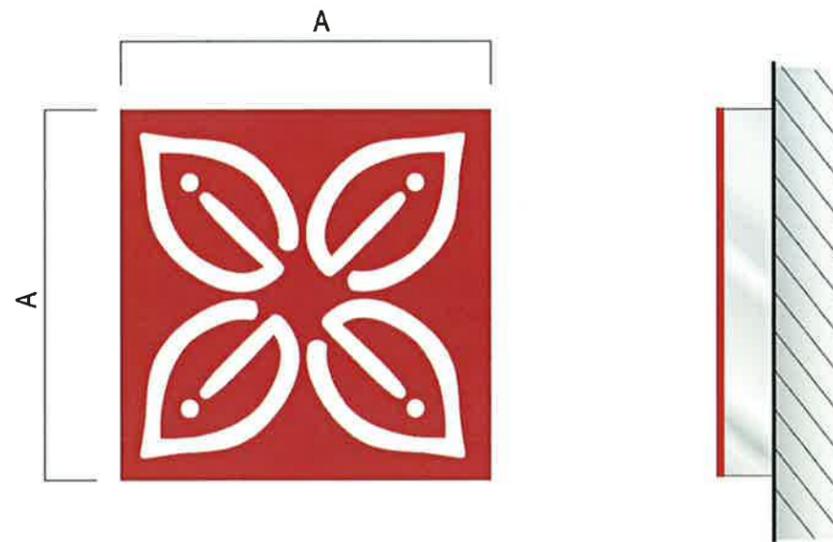
BUILDING SIGN One on Front Elevation and one on Rear Elevation.
See Building Elevations.



M30 W/ DIRECTIONAL COPY

29.93 SQUARE FEET (2.78 SQ. M.)

MONUMENT SIGN One at Entry. See Site Plan.



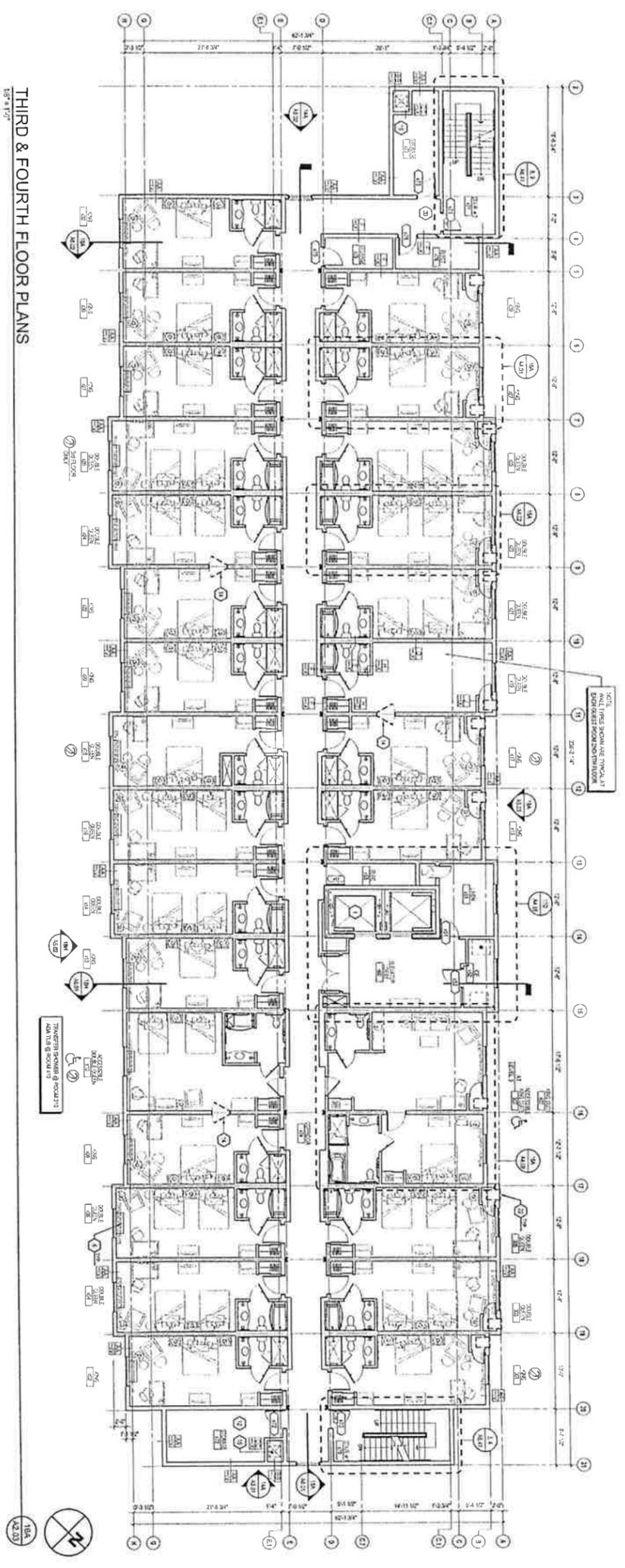
ILLUMINATED LOGO
5" (127mm) DEEP CHANNEL LOGO

END VIEW

PAVILION SIGN Located on Front Gable of Pavilion.
See Building Elevations.

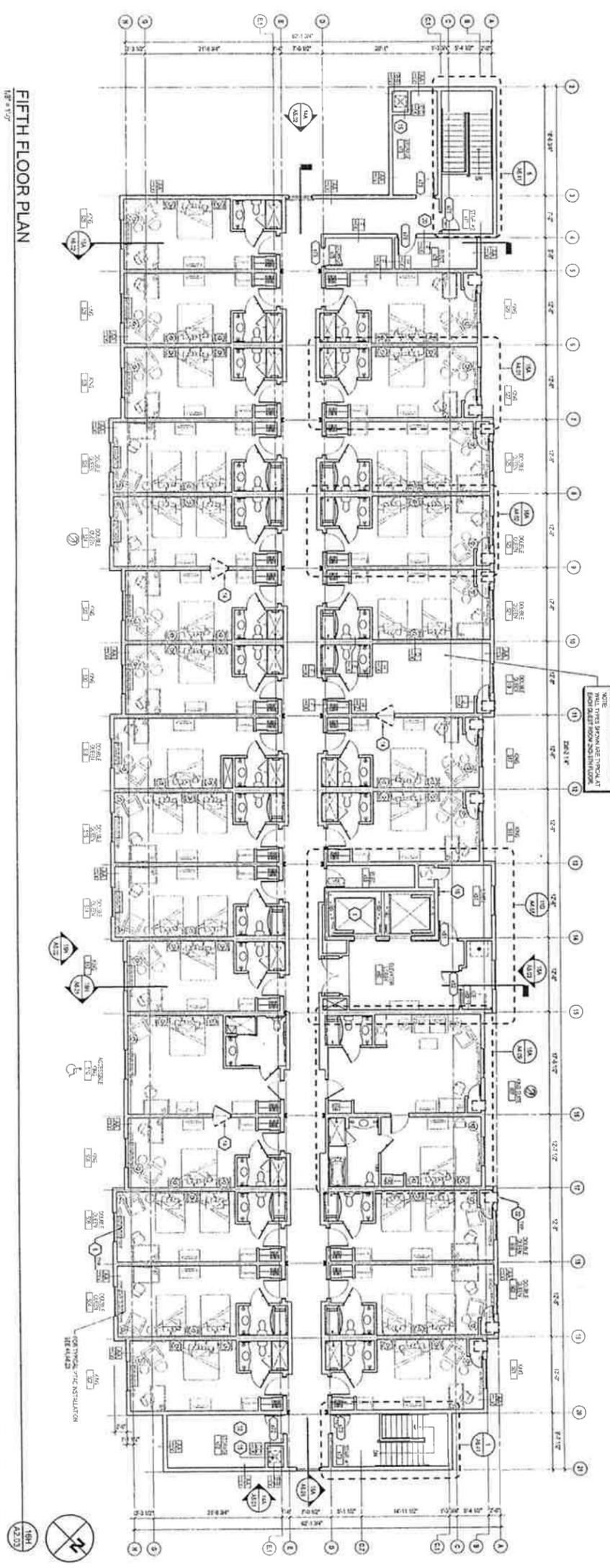
**Hilton Garden Inn, Olympia
Building Sign Selections**

THIRD & FOURTH FLOOR PLANS



NOTE:
FOR SCHEDULED GUEST ROOM
CORRIDOR PLANS, SEE A1.31
FOR WALL TYPES, SEE A10.4.

FIFTH FLOOR PLAN



3RD THRU 5TH FLOOR PLANS

- KEY NOTES**
1. REFER TO THE GENERAL NOTES FOR THE PROJECT FOR THE FOLLOWING INFORMATION:
 2. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 3. THE STRUCTURE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND THE 2009 IRC.
 4. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR THE FOLLOWING INFORMATION:
 5. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR THE FOLLOWING INFORMATION:
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 20. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR THE FOLLOWING INFORMATION:
 21. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR THE FOLLOWING INFORMATION:

SYMBOLS / FIXTURES KEY:

ACCENT LIGHT
RECESSED LIGHT FIXTURE

GENERAL NOTES THIS SHEET:

1. CONSULT THE ARCHITECT'S SPECIFICATIONS FOR THE FOLLOWING INFORMATION:
2. CONSULT THE ARCHITECT'S SPECIFICATIONS FOR THE FOLLOWING INFORMATION:
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21. CONSULT THE ARCHITECT'S SPECIFICATIONS FOR THE FOLLOWING INFORMATION:

<p>A2.03</p>	<p>6/22/13 12:05 DLV/PJA</p>	<p>OLYMPIA HILTON GARDEN INN</p>	<p>DJ ARCHITECTURE COMMERCIAL • HOSPITALITY • RESIDENTIAL • INTERIORS</p> <p>DJ Architecture P.C. 2413 Regatta Way SE Albany, OR 97322</p>	<p>2101 HENDERSON PARK LANE SE OLYMPIA, WA 98501</p>	<p>DATE: 06/22/2012 10:40 AM</p>
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ROOF PLAN

1/8" = 1'-0"

A2.04

OLYMPIA
6/27/13

2101 HENDERSON PARK LANE SE
OLYMPIA, WA 98502

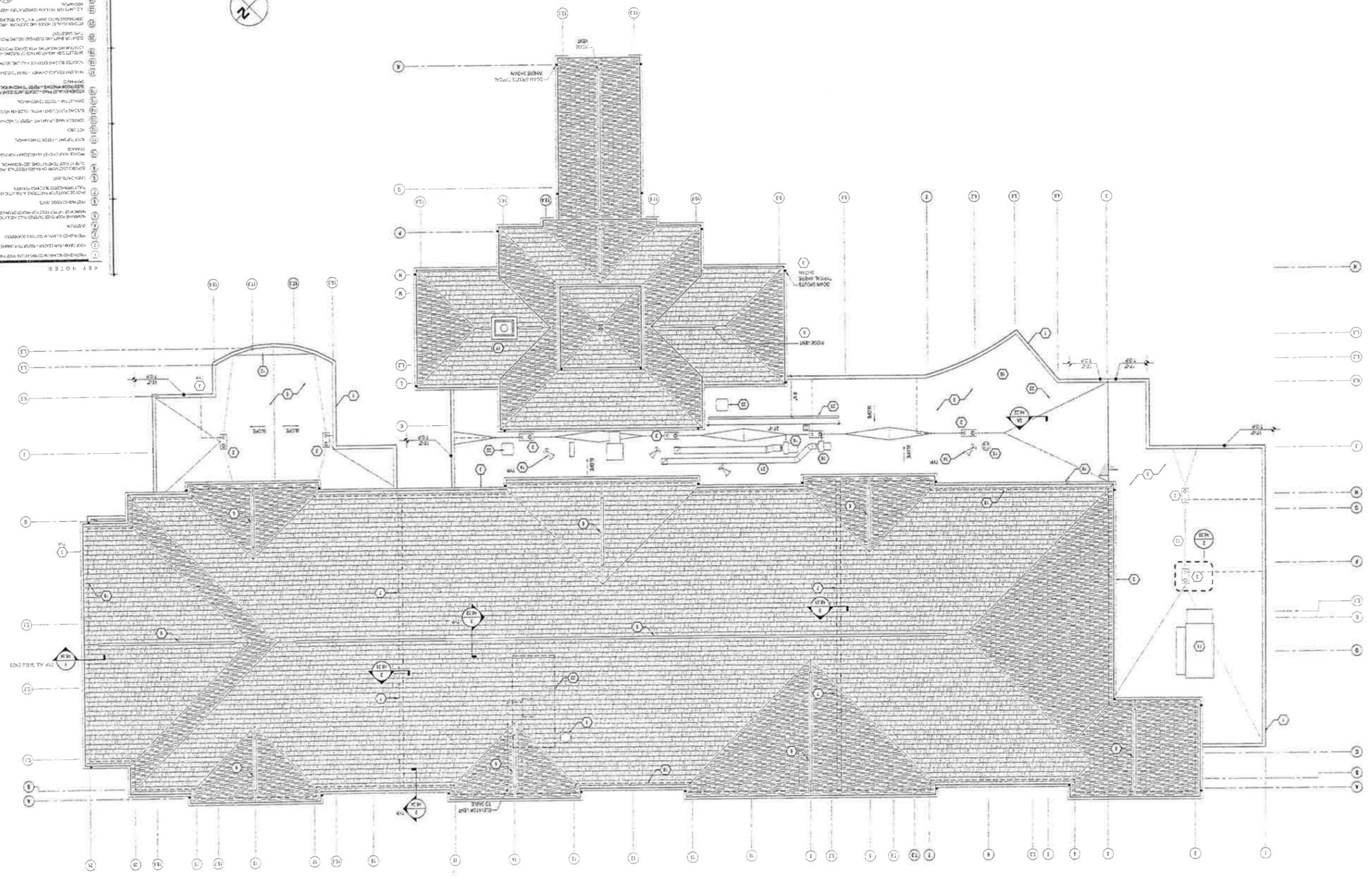
ARCHITECTURE
OLYMPIA HILTON
GARDEN INN

DATE: 6/27/13
BY: [Signature]

REGISTERED ARCHITECT
DON J. JOHNSON

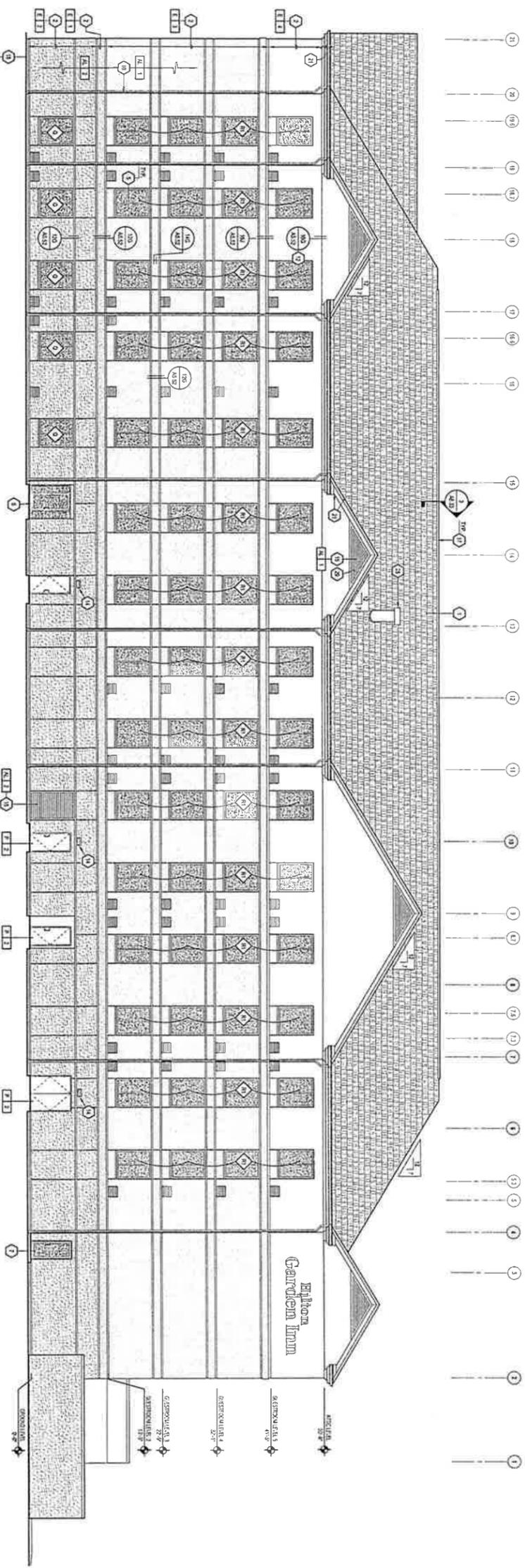
NO. DATE DESCRIPTION

- GENERAL NOTES THIS SHEET
1. REFER TO SHEET A2.01 FOR GENERAL NOTES AND SPECIFICATIONS.
 2. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 3. FLASHING SHALL BE INSTALLED AT ALL PENETRATIONS AND ROOF EDGES.
 4. ROOF DRAINAGE SHALL BE MAINTAINED AT ALL TIMES.
 5. ALL ROOFING SHALL BE PROTECTED BY A 2" MINIMUM THICKNESS OF GRANULAR SURFACE COURSE.
 6. ROOFING SHALL BE INSTALLED OVER A SMOOTH, DRY SUBSTRATE.
 7. ROOFING SHALL BE INSTALLED OVER A 2" MINIMUM THICKNESS OF GRANULAR SURFACE COURSE.
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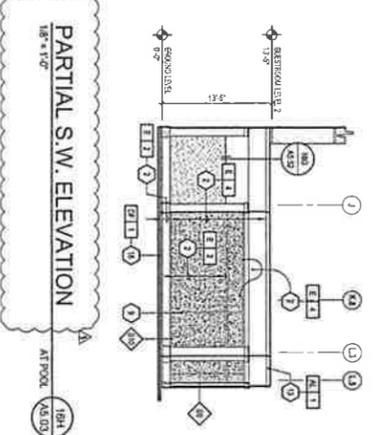


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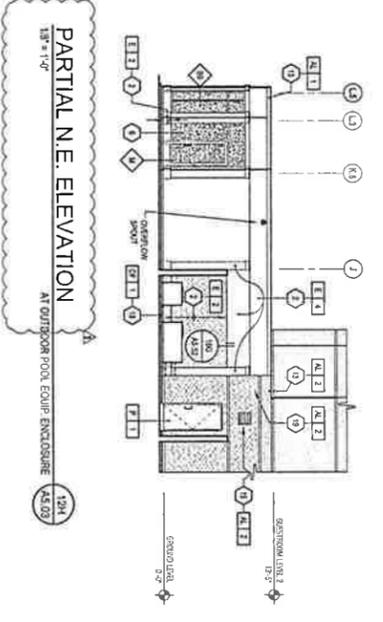
REVISION



NORTH WEST ELEVATION
1/8" = 1'-0"



PARTIAL S.W. ELEVATION
1/8" = 1'-0"



PARTIAL N.E. ELEVATION
1/8" = 1'-0"

KEY NOTES

1. EXTERIOR WALL FINISH TO MATCH EXISTING
2. EXTERIOR WALL FINISH TO MATCH EXISTING
3. EXTERIOR WALL FINISH TO MATCH EXISTING
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24. EXTERIOR WALL FINISH TO MATCH EXISTING

GENERAL NOTES:

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24. EXTERIOR WALL FINISH TO MATCH EXISTING

EXTERIOR ELEVATIONS

<p>AS.03</p>	<p>OLYMPIA HILTON GARDEN INN</p> <p>2101 HENDERSON PARK LANE SE OLYMPIA, WA 98501</p>	<p>DJ ARCHITECTURE</p> <p>COMMERCIAL • HOUSING • RESIDENTIAL • INTERIORS</p> <p>Tel (509) 926-5599 Fax (509) 926-1991 214 S. 10th Street, Ste 200 Abney, WA 98522 www.djarchitecture.com</p>	<p>001</p> <p>RECORDED</p> <p>BY DJ ARCHITECTURE</p> <p>DATE 11/11/11</p>	<p>DATE: 11/11/11</p> <p>SCALE: 1/8" = 1'-0"</p>
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HILTON
 GARDEN INN
 OLYMPIA, WA.

SITE LIGHTING
 PLAN

DRAWN BY: SW

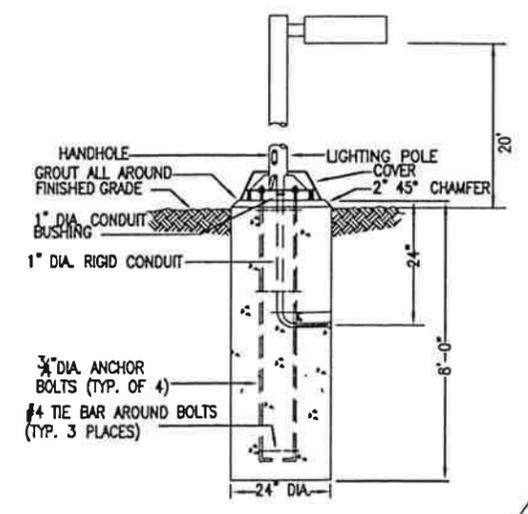
CHECKED BY: BH

REVISIONS:

DRAWING No.

E101

DATE: 09-04-2013
 NOT FOR CONSTRUCTION
 PROJECT No. 213-115



2 POLE/BASE DETAIL
 NOT TO SCALE

1 ELECTRICAL SITE PLAN
 SCALE: 1"=30'-0"

CONSTRUCTION NOTES

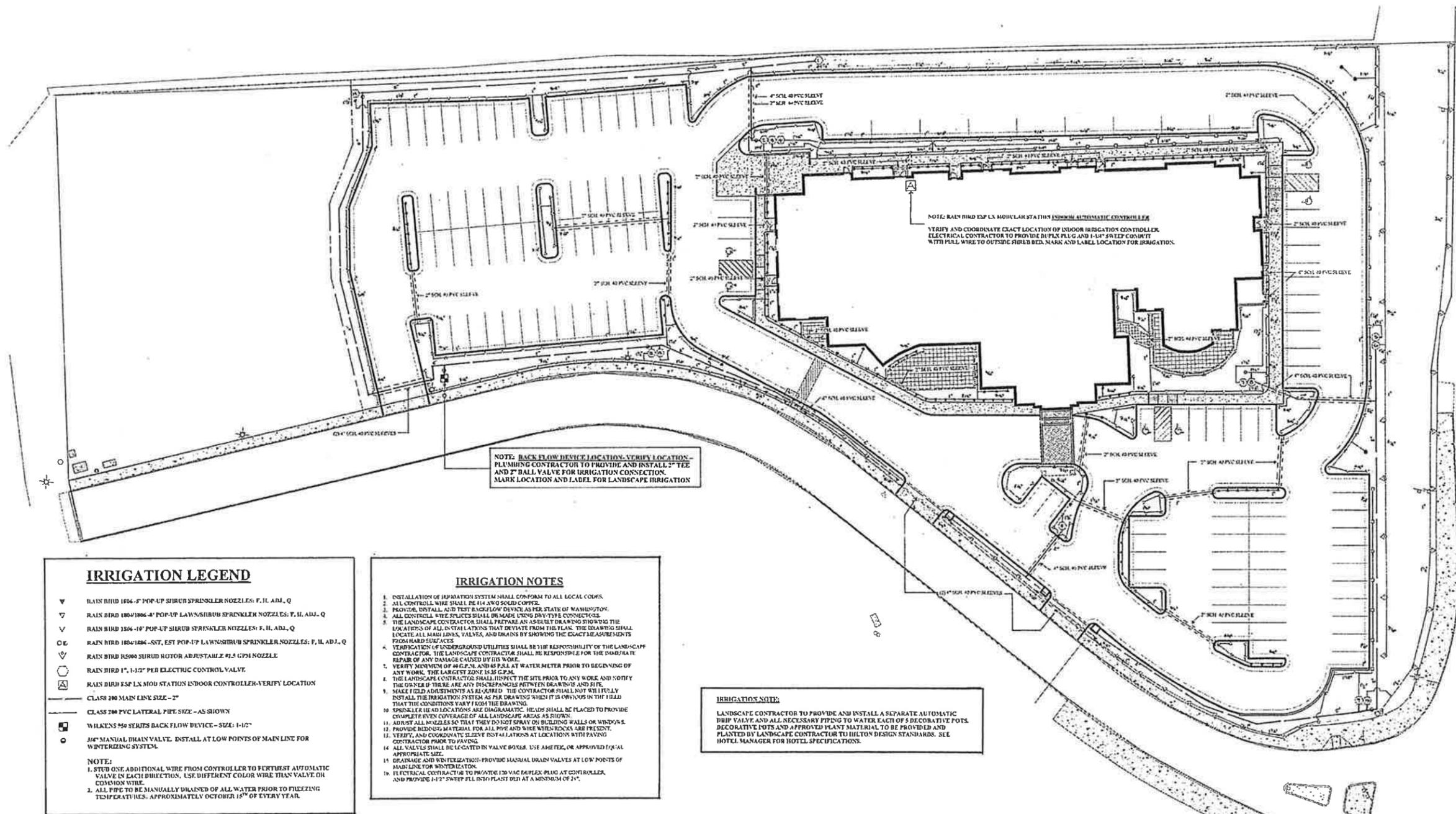
- 1 COORDINATE HOME-RUN DESTINATION WITH HOTEL ELECTRICAL DESIGN.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
LIGHTING	
	SINGLE POLE PARKING LOT SINGLE HEAD LIGHT FIXTURE (ARROW INDICATES DIRECTION OF AIMING FOR OPTICS)

GENERAL NOTES FOR LIGHTING FIXTURE SCHEDULE

LIGHTING FIXTURE SCHEDULE						
SYMBOL	FIXTURE DESCRIPTION	MANUFACTURER/MODEL #	LAMPS	V	W	MOUNTING & REMARKS
AL1	SINGLE HEAD POLE TOP AREA LIGHT FIXTURE WITH TYPE 4 DISTRIBUTION	SPUALDING LIGHTING# CL1-A-60L-U-4K-4-XX-BC	LED	120/277	140	MOUNT FIXTURE AT 20'. POLE: SSS-20-40-1-AX-XX. COORDINATE POLE AND FIXTURE COLOR WITH ARCHITECT PRIOR TO ORDERING.
AL2	SINGLE HEAD POLE TOP AREA LIGHT FIXTURE W/ TYPE 3 DISTRIBUTION AND BACKLIGHT CONTROL	SPUALDING LIGHTING# CL1-A-60L-U-4K-3-XX-BC	LED	120/277	140	MOUNT FIXTURE AT 20'. POLE: SSS-20-40-1-AX-XX. COORDINATE POLE AND FIXTURE COLOR WITH ARCHITECT PRIOR TO ORDERING.

SEE ARCHITECTURAL PLANS FOR BUILDING LIGHTING



IRRIGATION LEGEND

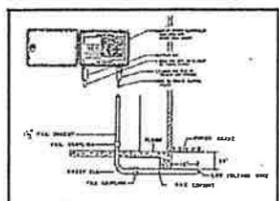
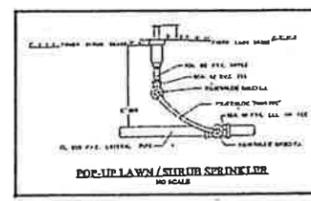
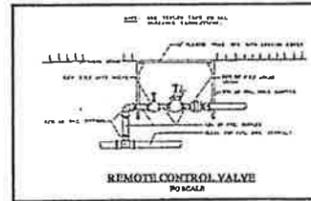
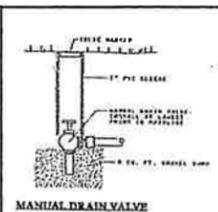
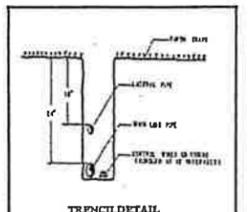
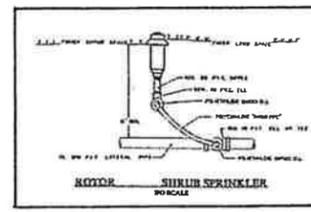
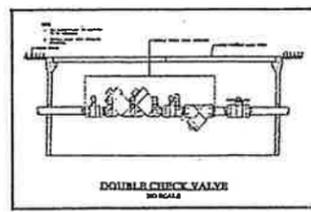
- ▼ RAIN BIRD 1804-5" POP-UP SIHRUB SPRINKLER NOZZLES: F, H, ADJ., Q
 - ▼ RAIN BIRD 1804/1806-4" POP-UP LAWN/SIHRUB SPRINKLER NOZZLES: F, H, ADJ., Q
 - ▼ RAIN BIRD 1804-16" POP-UP SIHRUB SPRINKLER NOZZLES: F, H, ADJ., Q
 - RAIN BIRD 1804/1804-SST, EST. POP-UP LAWN/SIHRUB SPRINKLER NOZZLES: F, H, ADJ., Q
 - RAIN BIRD R5000 SIHRUB ROTOR ADJUSTABLE #1.5 GPM NOZZLE
 - RAIN BIRD 1", 1-1/2" PER ELECTRIC CONTROL VALVE
 - RAIN BIRD ESP LX MOD STATION INDOOR CONTROLLER-VERIFY LOCATION
 - CLASS 200 MAIN LINE SIZE - 2"
 - CLASS 200 PVC LATERAL PIPE SIZE - AS SHOWN
 - WHAENS 550 SERIES BACK FLOW DEVICE - SIZE: 1-1/2"
 - 3/4" MANUAL DRAIN VALVE. INSTALL AT LOW POINTS OF MAIN LINE FOR WINTERIZING SYSTEM.
- NOTE:**
1. STRIP ONE ADDITIONAL WIRE FROM CONTROLLER TO FURTHEST AUTOMATIC VALVE IN EACH DIRECTION. USE DIFFERENT COLOR WIRE THAN VALVE OR COMMON WIRE.
 2. ALL PIPE TO BE MANUALLY DRAINED OF ALL WATER PRIOR TO FREEZING TEMPERATURES. APPROXIMATELY OCTOBER 15TH OF EVERY YEAR.

IRRIGATION NOTES

1. INSTALLATION OF IRRIGATION SYSTEM SHALL CONFORM TO ALL LOCAL CODES.
2. ALL CONTROL WIRE SHALL BE #14 AWG SOLID COPPER.
3. PROVIDE, INSTALL, AND TEST BACKFLOW DEVICE AS PER STATE OF WASHINGTON.
4. ALL CONTROL WIRE SPLICES SHALL BE MADE USING DRY-TYPE CONNECTIONS.
5. THE LANDSCAPE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING THE LOCATIONS OF ALL INSTALLATIONS THAT DEVIATE FROM THE PLAN. THE DRAWING SHALL LOCATE ALL MAIN LINES, VALVES, AND DRAINS BY SHOWING THE EXACT MEASUREMENTS FROM HARD SURFACES.
6. VERIFICATION OF UNDERGROUND UTILITIES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK.
7. VERIFY MINIMUM OF 48 G.P.M. AND 45 FT. AT WATER METER PRIOR TO BEGINNING OF ANY WORK. THE LARGEST ZONE IS 35 G.P.M.
8. THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO ANY WORK AND NOTIFY THE OWNER IF THERE ARE ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE.
9. MAKE FIELD ADJUSTMENTS AS REQUIRED. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE IRRIGATION SYSTEM AS PER DRAWING WHICH IS OWNERS IN THE FIELD THAT THE CONDITIONS VARY FROM THE DRAWING.
10. SPRINKLER HEAD LOCATIONS ARE DIAGNOSTIC. HEADS SHALL BE PLACED TO PROVIDE COMPLETE EVEN COVERAGE OF ALL LANDSCAPE AREAS AS SHOWN.
11. ADJUST ALL NOZZLES SO THAT THEY DO NOT SPRAY ON BUILDING WALLS OR WINDOWS.
12. PROVIDE BIDDING MATERIAL FOR ALL PIPE AND WIRE WORKS AND PRESENT.
13. VERIFY, AND COORDINATE SLEEVE INSTALLATIONS AT LOCATIONS WITH PAVING CONTRACTOR PRIOR TO PAVING.
14. ALL VALVES SHALL BE LOCATED IN VALVE BOXES. USE AMETEK, OR APPROVED EQUAL APPROPRIATE SIZE.
15. DRAINAGE AND WINTERIZATION: PROVIDE MANUAL DRAIN VALVES AT LOW POINTS OF MAIN LINE FOR WINTERIZATION.
16. ELECTRICAL CONTRACTOR TO PROVIDE 120 VAC FANPLUG PLUG AT CONTROLLER, AND PROVIDE 1-1/2" DRAIN INTO PLASTIC BED AT A MINIMUM OF 24".

IRRIGATION NOTE:

LANDSCAPE CONTRACTOR TO PROVIDE AND INSTALL A SEPARATE AUTOMATIC TRIP VALVE AND ALL NECESSARY PIPING TO WATER EACH OF 5 DECORATIVE POTS. DECORATIVE POTS AND APPROVED PLANT MATERIAL TO BE PROVIDED AND PLANTED BY LANDSCAPE CONTRACTOR TO HILTON DESIGN STANDARDS. SEE HOTEL MANAGER FOR HOTEL SPECIFICATIONS.



PIPE LEGEND
(CLASS 200 P.V.C.)

GPM	SIZE
0-8	3/4"
8-16	1"
17-26	1-1/4"
27-35	1-1/2"
36-55	2"

Charles Mangum & Associates
Landscape Architecture
5144 36th Av. S.E. Salem, Oregon 97317 (503) 364-1240

IRRIGATION PLAN
SCALE: 1"=20'-0"



DESIGN: CEM
DRAWN: SAT
DATE: 5-29-2013

REVISION

NO.	DATE	DESCRIPTION

ARCHITECTURE
GENERAL • INTERIORS • RESIDENTIAL • COMMERCIAL

OLYMPIA HILTON GARDEN INN

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L2.1

DATE
12/06
01/17/14

MANE: WADhygdu HQTlandscap V1205 L13 LSP-44y DATE: 12/17/13 2D: B02 119C: 4-11 PN

PROJECT: OLYMPIA HGI
TREES, SHRUBS AND GROUND COVER: (Pictures of Genus, species, and common names)

NAME	IMAGE	NAME	IMAGE	NAME	IMAGE
<p>DECIDUOUS TREE</p> <p>Acer circinatum (3 stem min.)</p> <p>Vine Maple</p> <p>*native and adaptive</p>		<p>DECIDUOUS TREE</p> <p>Acer palmatum 'Seiryu'</p> <p>Seiryu Japanese Maple</p>		<p>DECIDUOUS TREE</p> <p>Acer palmatum 'Shishigashira'</p> <p>Lion's head Japanese Maple</p>	
<p>DECIDUOUS TREE</p> <p>Acer rubrum 'Bowhall'</p> <p>Bowhall Red Maple</p>		<p>DECIDUOUS TREE</p> <p>Acer rubrum 'October glory'</p> <p>October Glory Red Maple</p>		<p>DECIDUOUS TREE</p> <p>Acer truncatum</p> <p>Norwegian sunset Maple</p>	
<p>DECIDUOUS TREE</p> <p>Carpinus b. 'fastigiata'</p> <p>Columnar Hornbeam</p>		<p>EVERGREEN TREE</p> <p>Chamaecyparis obtuse 'compacta'</p> <p>Compact hinoki Cypress</p>		<p>DECIDUOUS TREE</p> <p>Fagus s. 'red obelisk'</p> <p>Red obelisk Beech</p>	

PROJECT: OLYMPIA HGI
TREES, SHRUBS AND GROUND COVER: (Pictures of Genus, species, and common names)

NAME	IMAGE	NAME	IMAGE	NAME	IMAGE
DECIDUOUS TREE Magnolia stellata Star Magnolia		DECIDUOUS TREE Parrotia persica Persian Ironwood		DECIDUOUS TREE Parrotia persica 'vanessa' Vanessa Persian Ironwood	
EVERGREEN TREE Pinus flexis 'vanderwolf' Vanderwolf Pine		EVERGREEN TREE Pseudotsuga menziesii Douglas Fir *native and adaptive		DECIDUOUS TREE Pyrus chanticleer Chanticleer Pear	
DECIDUOUS TREE Quercus 'Regal prince' Regal prince Oak					

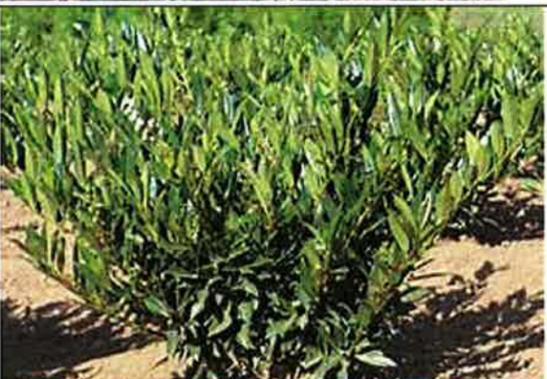
PROJECT: OLYMPIA HGI
TREES, SHRUBS AND GROUND COVER: (Pictures of Genus, species, and common names)

NAME	IMAGE	NAME	IMAGE	NAME	IMAGE
SEMI- EVERGREEN SHRUB Abelia 'Edward Goucher' Abelia 'Edward Goucher'		SEMI-EVERGREEN SHRUB Abelia x. 'sherwoodi' Abelia Sherwoodi		DECIDUOUS SHRUB Berberis t. 'crimson pygmy' Crimson pygmy barberry *native and adaptive	
DECIDUOUS SHRUB Berberis t. 'rose glow' Rose glow barberry *native and adaptive		DECIDUOUS GRASS Calamagrostis 'Karl Foerster' Karl Foerster grass		EVERGREEN SHRUB Calluna v. 'Wickwar flame' Wickwar flame Scotch Heather	
EVERGREEN SHRUB Camellia s. 'Yuletide' Yuletide sasanqua Camellia		DECIDUOUS GRASS Carex testacea Orange Sedge		DECIDUOUS SHRUB Caryopteris 'Worcester Gold' Worcester Gold Caryopteris	
SEMI-DECIDUOUS SHRUB Choysia t. 'sundance' Sundance Mexican orange		EVERGREEN SHRUB Cistus corbariensis White Rock Rose *native and adaptive		EVERGREEN SHRUB Escallonia fradesii Escallonia fradesii	

PROJECT: OLYMPIA HGI
TREES, SHRUBS AND GROUND COVER: (Pictures of Genus, species, and common names)

NAME	IMAGE	NAME	IMAGE	NAME	IMAGE
<p>DECIDUOUS SHRUB</p> <p><i>Eunonymus alatus</i> 'compacta'</p> <p>Compact burning bush</p> <p>*native and adaptive</p>		<p>EVERGREEN SHRUB</p> <p><i>Euonymus j.</i> 'areo-marginata'</p> <p>Golden Euonymus</p>		<p>EVERGREEN GRASS</p> <p><i>Helictotrichon sempervirens</i></p> <p>Blue Oat grass</p> <p>*native and adaptive</p>	
<p>DECIDUOUS SHRUB</p> <p><i>Hemerocallis</i> 'stella d'oro'</p> <p>Stella daylily</p>		<p>DECIDUOUS SHRUB</p> <p><i>Hosta Patriot</i></p> <p>Hosta Patriot</p>		<p>EVERGREEN SHRUB</p> <p><i>Ilex crenata</i> 'Green island'</p> <p>Green island Holly</p>	
<p>EVERGREEN SHRUB</p> <p><i>Ilex crenata</i> 'Sky Pencil'</p> <p>Sky Pencil Holly</p>		<p>EVERGREEN SHRUB</p> <p><i>Ligustrum Japonicum</i></p> <p>Texas Privet</p> <p>*native and adaptive</p>		<p>EVERGREEN SHRUB</p> <p><i>Phormium t.</i> 'Platt's Black'</p> <p>Platt's Black New Zealand Flax</p>	
<p>EVERGREEN SHRUB</p> <p><i>Nandina domestica</i> 'Gulfstream'</p> <p>Gulfstream Nandina</p> <p>*native and adaptive</p>		<p>EVERGREEN SHRUB</p> <p><i>Nandina d.</i> 'Moon Bay'</p> <p>Moon Bay Nandina</p> <p>*native and adaptive</p>		<p>EVERGREEN SHRUB</p> <p><i>Osmanthus heterophyllus</i></p> <p><i>Osmanthus heterophyllus</i></p> <p>*native and adaptive</p>	

PROJECT: OLYMPIA HGI
TREES, SHRUBS AND GROUND COVER: (Pictures of Genus, species, and common names)

NAME	IMAGE	NAME	IMAGE	NAME	IMAGE
<p>EVERGREEN SHRUB</p> <p>Osmanthus h. 'Goshiki'</p> <p>Osmanthus h. 'Goshiki'</p>		<p>DECIDUOUS GRASS</p> <p>Pennisetum alopecuroides 'hameln'</p> <p>Dwarf fountain grass</p> <p>*native and adaptive</p>		<p>DECIDUOUS GRASS</p> <p>Pennisetum alopecuroides 'little bunny'</p> <p>Little bunny dwarf fountain grass</p> <p>*native and adaptive</p>	
<p>EVERGREEN SHRUB</p> <p>Pieris japonica 'Dorothy Wykoff'</p> <p>Pieris Dorothy Wykoff</p>		<p>EVERGREEN SHRUB</p> <p>Pieris japonica 'prelude'</p> <p>Pieris prelude</p>		<p>EVERGREEN SHRUB</p> <p>Polystichum munitum</p> <p>Western sword fern</p> <p>*native and adaptive</p>	
<p>EVERGREEN SHRUB</p> <p>Prunus l. 'otto luyken'</p> <p>Otto luyken Laurel</p> <p>*native and adaptive</p>		<p>EVERGREEN SHRUB</p> <p>Raphiolepis u. 'minor'</p> <p>Dwarf Yeddo Hawthorn</p> <p>*native and adaptive</p>		<p>EVERGREEN SHRUB</p> <p>Rhododendron 'Jean Marie'</p> <p>Jean Marie Rhododendron</p>	
<p>EVERGREEN SHRUB</p> <p>Sarcococca confuse</p> <p>Hymilayan sweetbox</p>		<p>DECIDUOUS SHRUB</p> <p>Spirea japonica 'magic carpet'</p> <p>Magic Carpet Spirea</p> <p>*native and adaptive</p>		<p>DECIDUOUS SHRUB</p> <p>Teucrium chamaedrys</p> <p>*native and adaptive</p>	

PROJECT: **OLYMPIA HGI**

TREES, SHRUBS AND GROUND COVER: (Pictures of Genus, species, and common names)

NAME	IMAGE	NAME	IMAGE	NAME	IMAGE
<p>EVERGREEN SHRUB</p> <p>Euonymus j. 'microphylla'</p> <p>*native and adaptive</p>					
<p>EVERGREEN GROUND COVER</p> <p>Ajuga 'chocolate chip'</p> <p>Ajuga 'chocolate chip'</p>		<p>EVERGREEN GROUND COVER</p> <p>Cotoneaster dammeri 'Coral beauty'</p> <p>*native and adaptive</p>		<p>EVERGREEN GROUND COVER</p> <p>Prunus l. 'Mt. Vernon'</p> <p>Mt. Vernon Laurel</p> <p>*native and adaptive</p>	

