

SEC. 35/36, T18N., R2W., W.M.

BRIGGS WEST RESIDENTIAL
PRELIMINARY PLAT DOCUMENTS
OLYMPIA, WASHINGTON

CPD RECEIVED 4/25/18 JL

Attachment 9

REVISIONS	DATE	BY

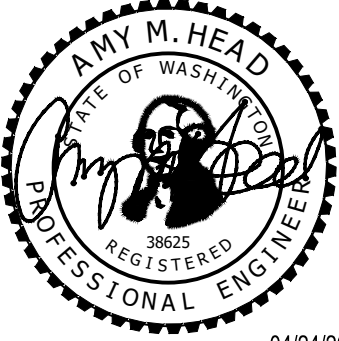


SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCALLIANCE.COM

COVER SHEET

SHEET TITLE:
PROJECT NAME:
BRIGGS VILLAGE WEST RESIDENTIAL
PHASE 1



04/24/2018

DESIGNER:
J. BRUHN

DRAWN BY:
S. ORDONEZ

APPROVED BY:
A. HEAD

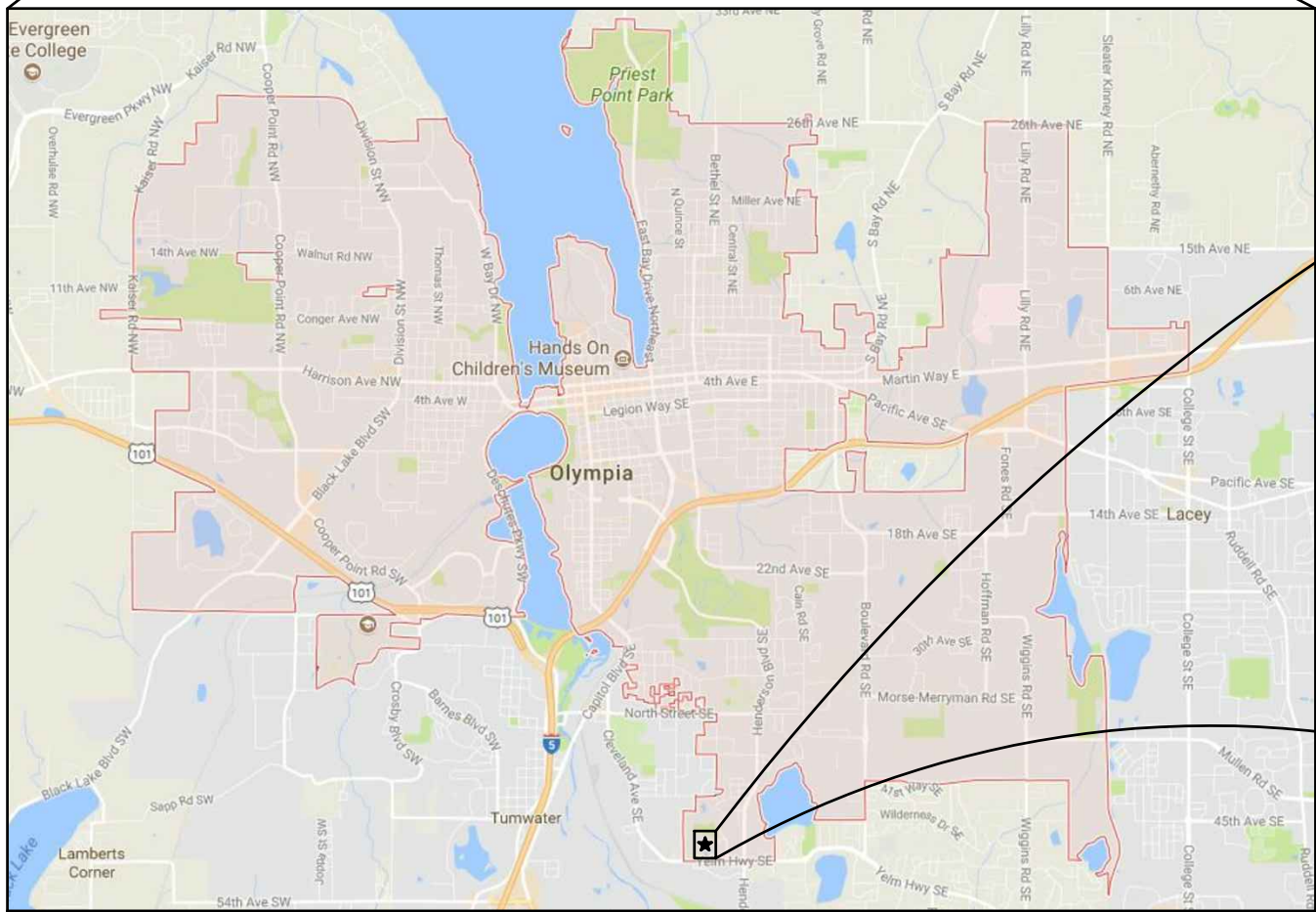
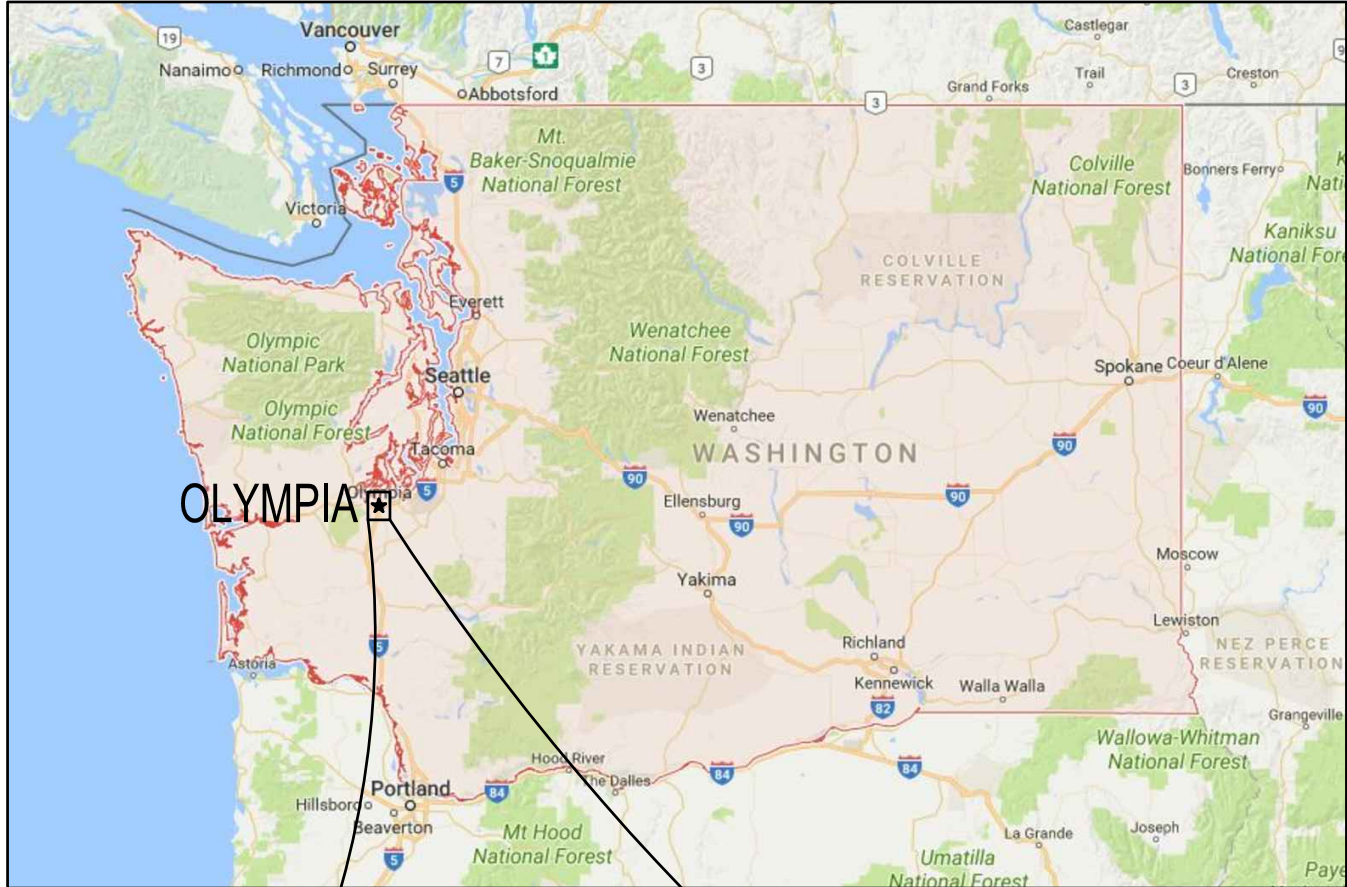
DATE:
MARCH, 2018

JOB NO:
2293.02

DRAWING FILE NO:
2293.02 CV-01

DRAWING NO:
CV-01

SHEET NO:
1 OF 19



OWNER / APPLICANT

BRIGGS RE DEVELOPMENT
632499 BC LTD., 10C-19926 96TH AVE.
LANGLEY, BC V1M-3C2
PH: 604.888.5228
CONTACT: GORDIE GILL

CONSULTANTS

SCJ ALLIANCE
8730 TALLON LANE NE, SUITE 200
LACEY, WA 98516
360.352.1465
CONTACT: AMY HEAD, P.E.

SURVEYOR:
MTN2COAST
1506 FAIRVIEW ST SE,
OLYMPIA, WA 98501
PHONE: 360.239.1497
CONTACT: BLAIR PRIGGE

GEOTECH:
GEORESOURCES
5007 PACIFIC HWY E, SUITE 16
FIFE, WA 98424
PHONE: 253.896.1011

SITE INFORMATION

PARCEL NUMBER: 37030000015
ACRES: ±20.15

SITE ADDRESS:

1200 BLK EAGLE BEND DR SE
OLYMPIA, WA 98501

UTILITIES

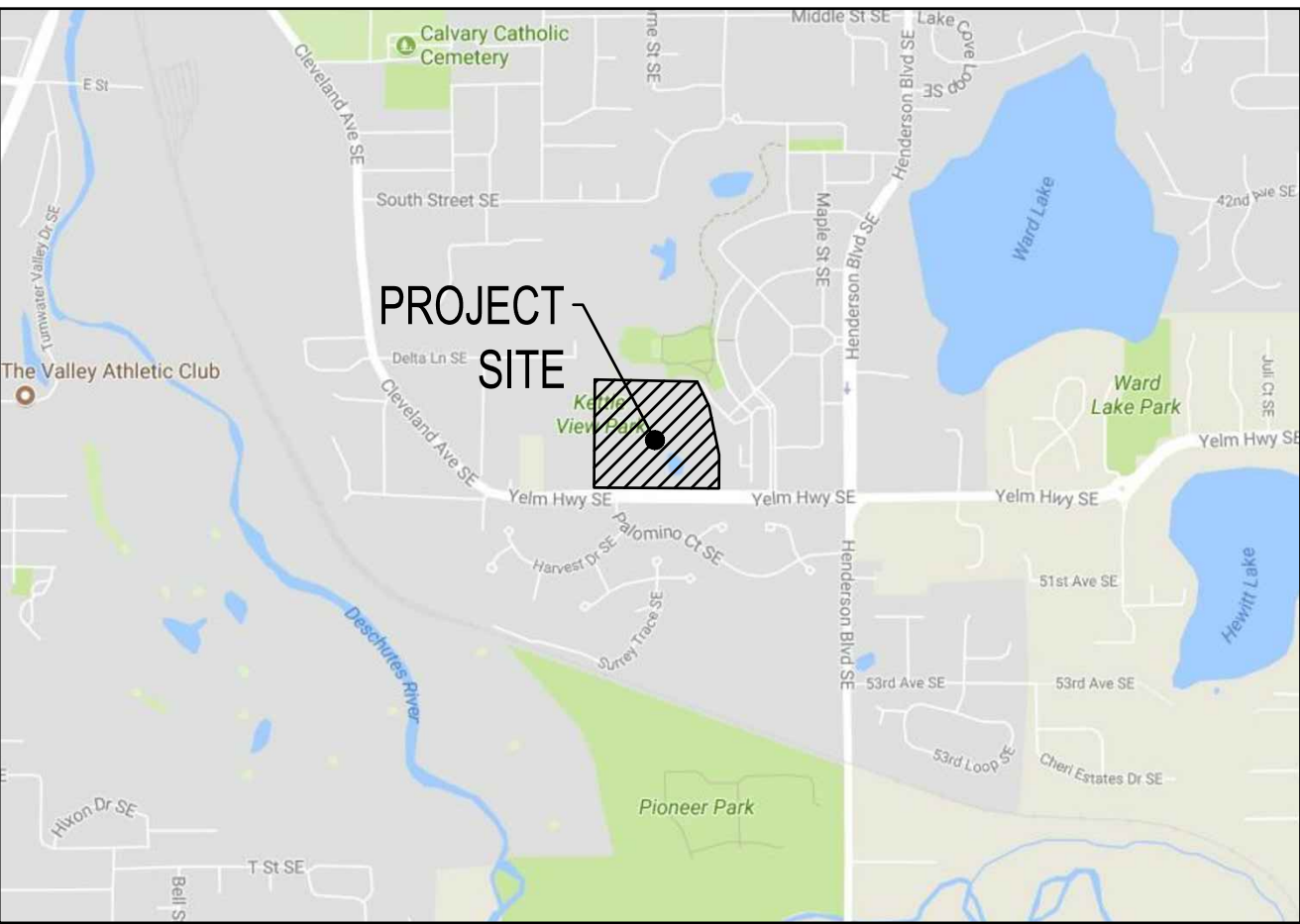
WATER/SEWER:
CITY OF OLYMPIA
OLYMPIA CITY HALL
601 4TH AVE EAST
OLYMPIA, WA 98501
360.753.8333

POWER/GAS:
PUGET SOUND ENERGY
1.888.225.5773

DATUM:

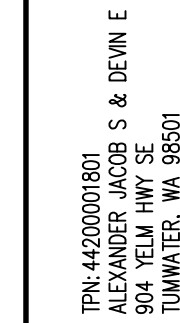
HORIZONTAL: WASHINGTON STATE PLANE COORDINATES,
SOUTH ZONE, NAD 83/91
VERTICAL: NAVD 88
BASED ON TIE TO THURSTON COUNTY MONUMENT
"BRIGGS" LOCATED AT THE INTERSECTION OF DOGWOOD
DR SE AND BRIGGS DR SE. ELEVATION 201.73

SHEET INDEX		
SHEET NO.	SHEET TITLE	SHEET DESCRIPTION
1	CV-01	COVER SHEET
2	PRELIMINARY PLAT	PRELIMINARY PLAT
3	CG-01	OVERALL GRADING PLAN
4	HZ-01	LANDSLIDE HAZARD AREA PLAN
5	EC-01	EROSION CONTROL PLAN
6	PP-01	ROADWAY, WATER, SEWER PLAN AND PROFILE
7	PP-02	ROADWAY, WATER, SEWER PLAN AND PROFILE
8	PP-03	ROADWAY, WATER, SEWER PLAN AND PROFILE
9	PP-04	OFFSITE WATER PLAN AND PROFILE
10	PP-05	LEFT TURN POCKET DETAIL
11	SD-01	STORM DRAINAGE PLAN AND PROFILE
12	SD-02	STORM DRAINAGE PLAN AND PROFILE
13	SD-03	STORM DRAINAGE PLAN AND PROFILE
14	IL-01	ILLUMINATION PLAN
15	LS-01	LANDSCAPE PLAN
16	CH-01	ROADWAY CHANNELIZATION PLAN
17	LS-02	LANDSCAPE PLAN
18	LS-03	LANDSCAPE PLAN
19	LS-04	LANDSCAPE PLAN



A PORTION OF SEC 35/36, T18N., R2W., W.M.
OLYMPIA, WA





SEC. 35/36, T18N., R2W., W.M.

TPN:12835140100
LABRANCHE JOHN H
4700 DELTA LN SE
TUMWATER, WA 98501

KETTLE VIEW PARK

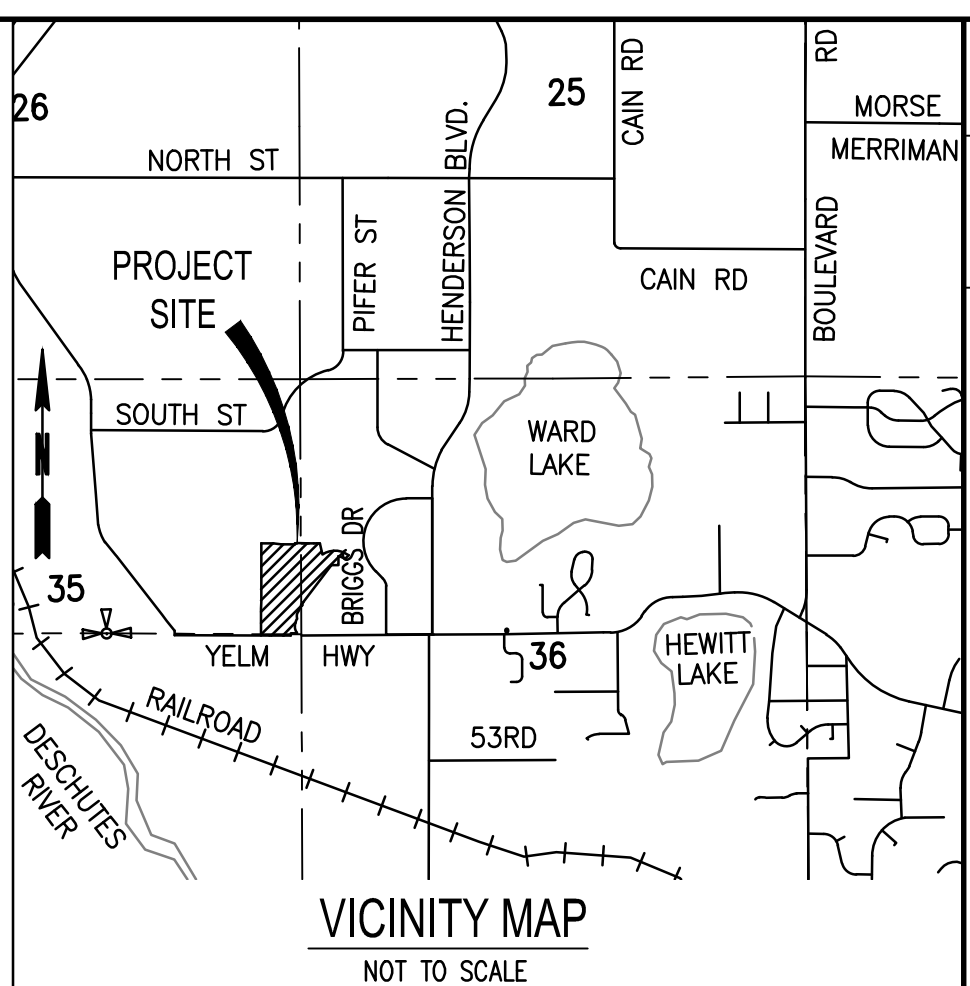
TPN: 37030000014
OLYMPIA CITY OF
1250 EAGLE BEND DR SE
OLYMPIA, WA 98501

72-
- N: 619240.94
- E: 1045657.61
: 197.33 MNSPK

SCALE IN FEET

NOTES:

1. EXISTING TRANSIT STOP LOCATED AT HENDERSON BLVD. AND BRIGGS VILLAGE.
2. CURB ACCESS RAMPS SHALL BE CONSTRUCTED PER CITY STANDARD PLANS.



VICINITY MAP
NOT TO SCALE

SITE INFORMATION:

APPLICANT:
BRIGGS RE DEVELOPMENT
632499 BC LTD., 10C-19926 96TH AVE
LANGLEY, BC V1M-3C2
PH: 604-888-5228
CONTACT: GORDIE GILL

SITE ADDRESS:
1200 EAGLE BEND DRIVE SE
OLYMPIA, WA 98501

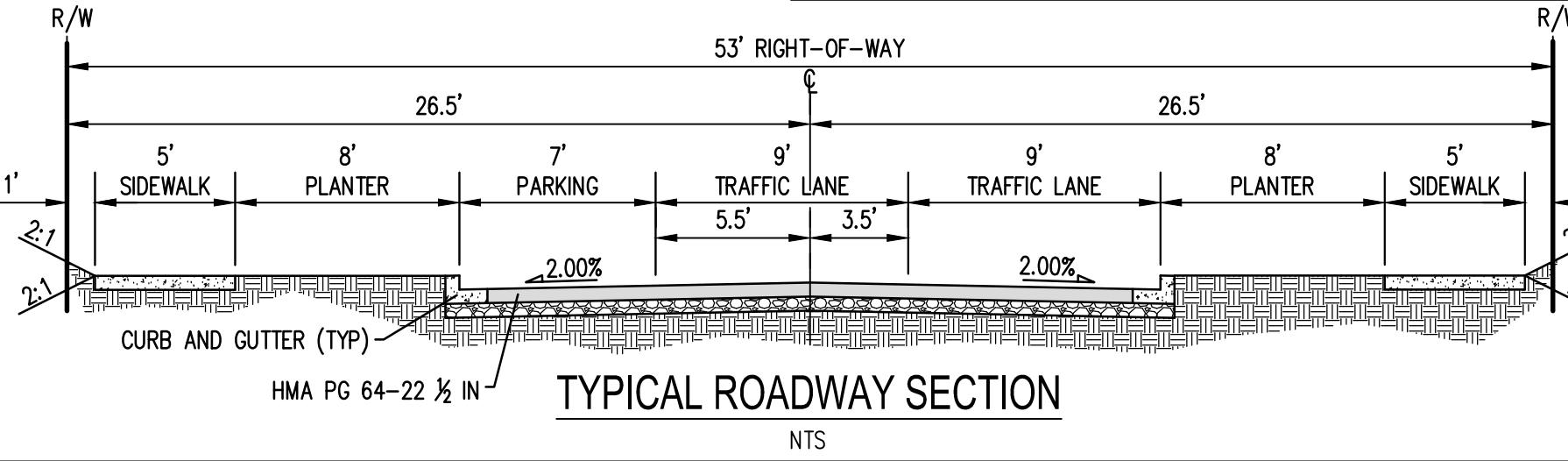
ENGINEER:
SCJ ALLIANCE
8730 TALLON LANE NE, SUITE 200
LACEY, WASHINGTON 98516
PHONE: (360) 352-1465
CONTACT: AMY HEAD, PE

TRACT A (TREE TRACT)	0.9 ACRES (0.04%)
TRACT B (OPEN SPACE-COMMONS)	0.17 ACRES (0.008%)
RIGHT-OF-WAY AREA:	3.22 ACRES
LOT AREA:	6.90 ACRES
ROADWAY AREA:	1.34 ACRES (6.65%)
STREET LENGTH:	2,272 LF
TOTAL SITE AREA:	20.15 ACRES
TRACT A + TRACT B	1.07 ACRES
TOTAL SITE AREA:	20.15 ACRES
TOTAL PROJECT AREA LESS ROW AND OPEN SPACE:	15.86 ACRES
TOTAL NUMBER OF LOTS:	46
TAX PARCEL NUMBER:	37030000015
ZONING:	UV (URBAN VILLAGE)
ALLOWED DENSITY:	24 UNITS PER ACRE
DENSITY:	$\frac{46 \text{ UNITS}}{15.86 \text{ ACRES}} = 2.9 \text{ UNITS/ACRE}$
SMALLEST LOT SIZE:	4,729 SF
AVERAGE LOT SIZE:	6,535 SF
WATER:	CITY OF OLYMPIA
SEWER (GRAVITY, FORCEMAIN):	CITY OF OLYMPIA
POWER:	PUGET SOUND ENERGY
STORM DRAINAGE:	ON-SITE
BUILDING SETBACKS:	FRONT = 20' SIDE = 5' BACK = 20'
BUILDING SETBACKS (TOWNHOMES LOTS 20&21)	FRONT = 20' INSIDE = 0' SIDE = 5' BACK = 20'
SCHOOL DISTRICT:	OLYMPIA
IMPERVIOUS AREA:	3.61 ACRES
PERVIOUS AREA:	16.54 ACRES

DATUM:

HORIZONTAL: WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE,
NAD 83/91

VERTICAL: NAVD 88
BASED ON TIE TO THURSTON COUNTY MONUMENT "BRIGGS" LOCATED AT
THE INTERSECTION OF DOGWOOD DR SE AND BRIGGS DR SE. ELEVATION
201.73

[illegible]

SCJ ALLIANCE
CONSULTING SERVICES

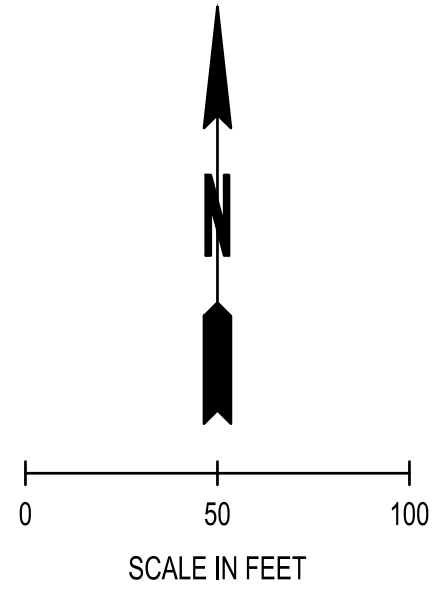
ON LANE NE, SUITE 200, LACEY, WASHINGTON
P: 360-352-1465 F: 360-352-1509
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BRIGGS WEST PRELIMINARY PLAT

BRIGGS WEST RESIDENTIAL
PHASE 1

DESIGNER:	J. BRUHN
DRAWN BY:	S. ORDONEZ
APPROVED BY:	A. HEAD
DATE:	MARCH, 2018
JOB NO:	2293.02
DRAWING FILE NO:	2293.02 PLAT
DRAWING NO:	PRELIMINARY PLAT
SHEET NO:	2 OF 20

Apr 24, 2018 9:49:22am - User sam.ordonez
K:\PROJECTS\2283 BRIGGS RE DEVELOPMENT ONE LUC\2283.02 BRIGGS WEST RESIDENTIAL PHASE 20 - PRELIMINARY PLAT\CAD\2283.02 HZ-01.DWG



- LEGEND:
- XX--- EXISTING MAJOR/MINOR CONTOURS
 - XX--- PROPOSED MAJOR/MINOR CONTOURS
 - XXX.XX SPOT ELEVATION

BY									
DATE									
REVISIONS									
△									

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SHEET TITLE:		LANDSLIDE HAZARD AREA PLAN	
PROJECT NAME:		BRIGGS VILLAGE WEST RESIDENTIAL	
PHASE:		PHASE 1	

SEAL:

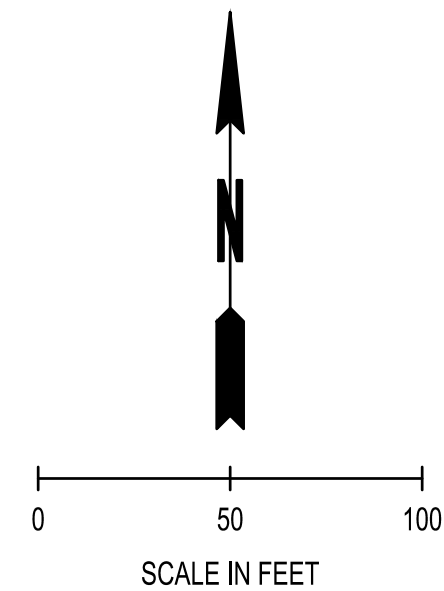
DESIGNER:	J. BRUHN
DRAWN BY:	S. ORDONEZ
APPROVED BY:	A. HEAD
DATE:	MARCH, 2018
JOB NO:	2283.02
DRAWING FILE NO:	2283.02 HZ-01
DRAWING NO:	HZ-01
SHEET NO:	4 OF 19



SEC. 35/36, T18N., R2W., W.M.

NOTE:

ALL DISTURBED AREAS SHALL BE HYDROSEDED (TYP)



LEGEND:

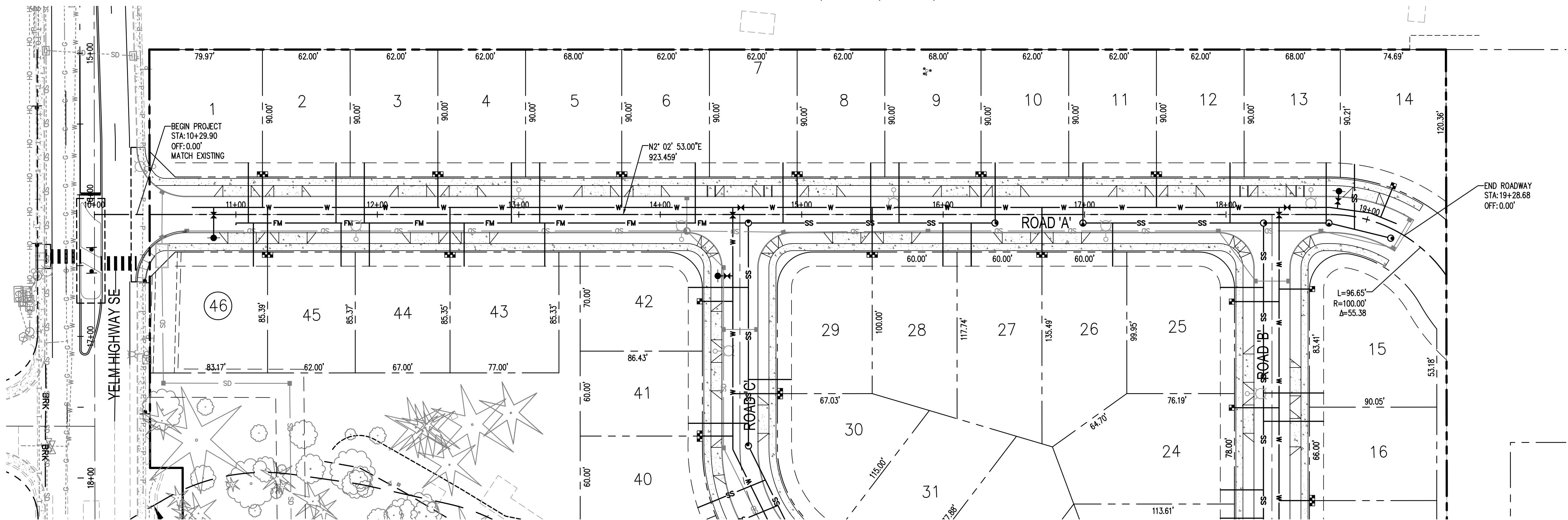
- | | |
|---|-----------------------|
|  | SILT FENCE |
|  | TREE PROTECTION FENCE |
|  | STRAW WATTLE |
|  | CONSTRUCTION ENTRANCE |
|  | INLET PROTECTION |

SCJ ALLIANCE
GENERAL EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL FOLLOW EROSION CONTROL PRACTICES OUTLINED IN THE WASHINGTON STATE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON AND THE SWPPP.
2. EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE FACILITIES SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SILTS TO OFF-SITE PROPERTIES.
3. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE BEGINNING OF CONSTRUCTION. THE PROJECT ENGINEER AND THE REVIEWING AGENCY SHALL INSPECT AND APPROVE THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING CONSTRUCTION.
 - A. INSTALL INLET SEDIMENTATION AS SPECIFIED AT ALL CATCH BASIN LOCATIONS IMMEDIATELY UPON ARRIVAL AT PROJECT/CONSTRUCTION SITE.
 - B. STABILIZED CONSTRUCTION ENTRANCE SHALL CONFORM TO DETAIL ON SHEET EC-02, STABILIZED CONSTRUCTION ENTRANCE. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL INGRESS/EGRESS POINTS TO CONSTRUCTION SITE.
4. ALL EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE SYSTEM AS REQUIRED BY THE OWNER, ENGINEER, OR THE CITY OF OLYMPIA.
5. THE CONTRACTOR SHALL MAKE A DAILY SURVEILLANCE OF ALL EROSION CONTROL MEASURES AND MAKE ANY NECESSARY REPAIRS OR ADDITIONS TO THE EROSION CONTROL MEASURES AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS DETERMINED NECESSARY BY THE INSPECTOR AND/OR PROJECT ENGINEER. FAILURE TO COMPLY WITH ALL LOCAL AND STATE EROSION CONTROL REQUIREMENTS MAY RESULT IN CIVIL PENALTIES BEING LEVIED AGAINST THE CONTRACTOR.
6. PRIOR TO CLEARING AND GRADING THE CONTRACTOR SHALL PROTECT TREES TO BE SAVED WITH HIGH VISIBILITY FENCING AT THE ROOT PROTECTION DELINEATION OR OTHERWISE PROTECTED AS DIRECTED BY THE ENGINEER, CITY STAFF, OR OWNERS REPRESENTATIVE. CLEARING AND GRADING LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO EXCAVATION.
7. ALL STORM DRAINAGE INLETS RECEIVING RUNOFF FROM THE PROJECT DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL BE FILTERED BEFORE ENTERING THE CONVEYANCE SYSTEM.
8. ALL OFF-SITE CATCH BASINS IMMEDIATELY ADJACENT TO THE PROPOSED SITE SHALL BE PROTECTED FROM SILTATION.
9. THE CONSTRUCTION OF TRENCHES (E.G., PIPES, UNDERGROUND UTILITY LINES AND STRUCTURES) SHALL BE SUBJECT TO THE FOLLOWING CRITERIA:
 - A. NO MORE THAN 300 FEET OF TRENCH ON A DOWNSLOPE OF MORE THAN FIVE PERCENT SHALL BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
10. TRENCH Dewatering DEVICES SHALL BE DISCHARGED IN A MANNER THAT WILL NOT ADVERSELY AFFECT STREAMS, DRAINAGE SYSTEMS, OR OFF-SITE PROPERTIES.
11. TRACKING OF SOIL, MUD, OR DEBRIS OFF-SITE IS NOT ALLOWED. SOIL, MUD, OR DEBRIS TRACKED ONTO A PUBLIC ROADWAY, SHALL BE REMOVED BY THE END OF THAT WORKING DAY. TO PREVENT THE TRACKING OF SOIL, MUD, OR DEBRIS ONTO PUBLIC ROADWAYS, SWEEPING OR WASHING OF THE VEHICLE'S TIRES MAY BE REQUIRED PRIOR TO ENTERING A PUBLIC ROADWAY.
12. ALL DISTURBED AREAS SHALL BE HYDROSEEDED WITH EROSION CONTROL SEED MIX. INCLUDING BUT NOT LIMITED TO ROADWAY EMBANKMENTS, SHOULDERS, UTILITY EASEMENTS, STAGING AREAS, CONSTRUCTED WETLANDS AND CUT/FILL SLOPES.
13. ALL SEEDD OR SODDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE VEGETATIVE COVERAGE IS COMPLETE. AREAS SHALL BE REPAIRED, RESEEDD, AND FERTILIZED AS REQUIRED.
14. DROP-IN CATCH BASIN FILTERS MAY BE USED IN PLACE OF OTHER STANDARD INLET PROTECTION PRACTICES. THIS INLET PROTECTION TECHNOLOGY CAN BE USED IN SITUATIONS WHERE RIGHT-OF-WAY FLOODING WOULD BE PROBLEMATIC.
15. TO MAINTAIN FUNCTION, THE CONTRACTOR SHALL REMOVE AND CLEAN OR REPLACE FILTERS AFTER EACH STORM EVENT. CONTACT THE JURISDICTION TO DETERMINE ITS ACCEPTANCE OF SPECIFIC FILTER PRODUCTS, PRIOR TO INSTALLATION.
16. NO MATERIAL SHALL BE STOCKPILED ON PAVEMENT WITHOUT AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNERS REPRESENTATIVE WHICH WILL BE CONDITIONAL ON IMPLEMENTATION OF A PROCEDURE TO PREVENT SEDIMENT TRANSPORT.
17. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED OR AFTER THE MEASURES ARE NO LONGER NEEDED. SEDIMENT COLLECTED IN TRAPS, PONDS, OR SILT FENCE SHALL BE REMOVED AND DISPOSED IN AN APPROVED MANNER OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM SEDIMENT REMOVAL SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN (7) DAYS.

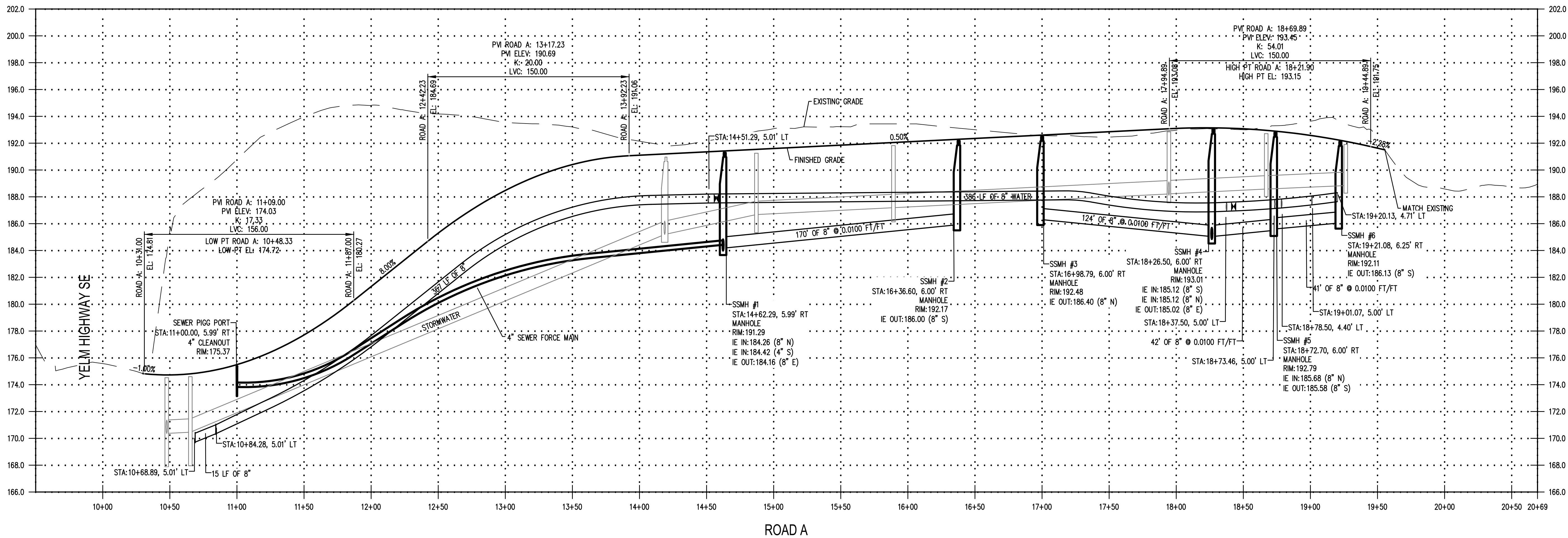
[illegible]

SEC. 35/36, T18N., R2W., W.M.



NOTE:

1. ALL SEWER LINES SHALL BE ASTM D-3034 SDR35
2. WATER LINES SHALL BE HDPE C901, C906 CLASS 200
3. WATER MAINS ARE 8"
4. LOTS 1-6 AND 43-46 REQUIRE GRINDER PUMPS AS PART OF SEWER SERVICE
5. 36" MINIMUM COVER OVER WATER LINE
6. WATER SERVICES SHALL BE 1 INCH FOR SINGLE AND 1-1/2 INCH FOR DOUBLE AND SHALL HAVE 1 INCH METERS CONSTRUCTED PER CITY REQUIREMENTS



BY	
DATE	
REVISIONS	

SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCJALLIANCE.COM

ROADWAY, WATER, SEWER PLAN AND PROFILE

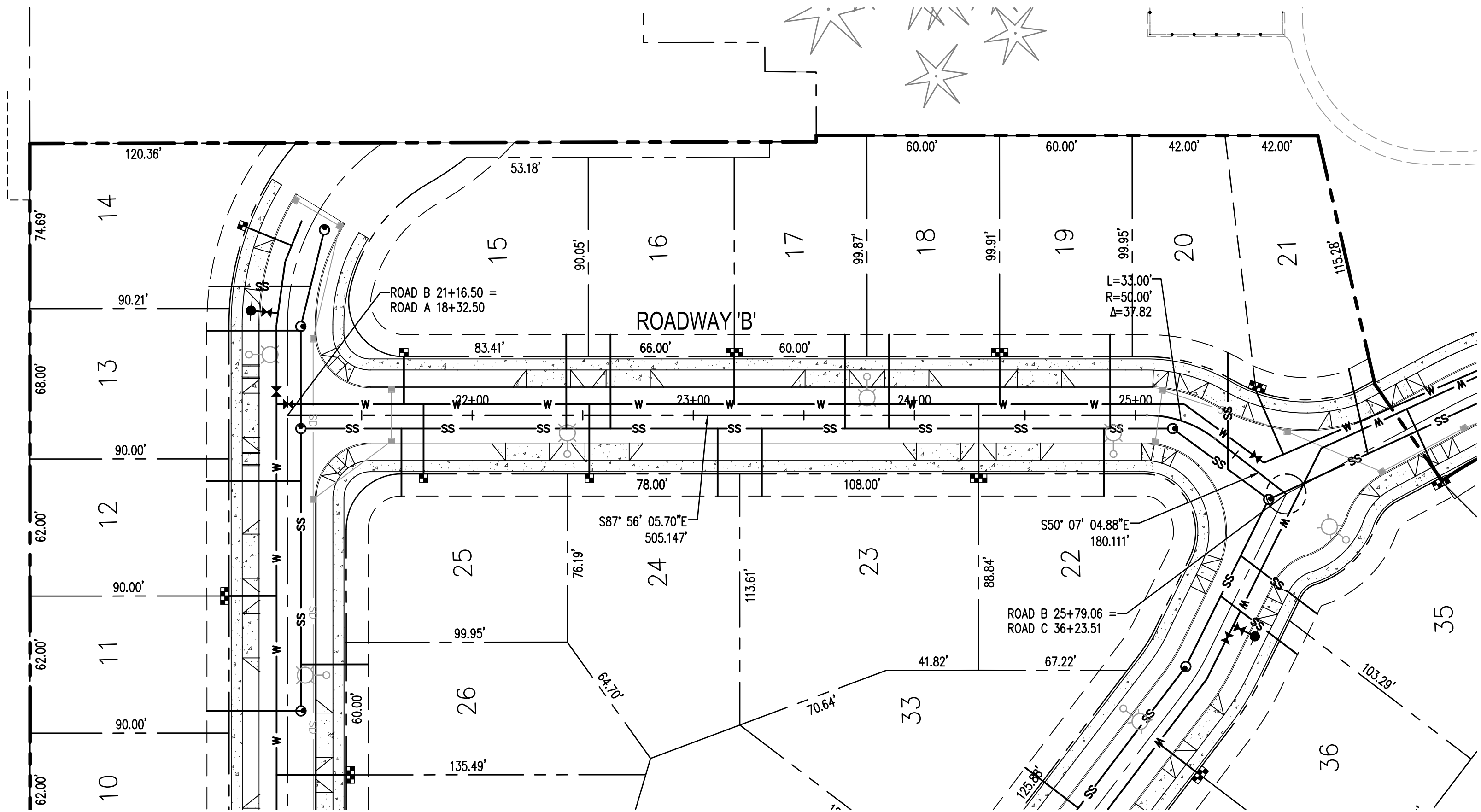
BRIGGS VILLAGE WEST RESIDENTIAL

PHASE 1

DESIGNER: J. BRUHN
DRAWN BY: S. ORDONEZ
APPROVED BY: A. HEAD
DATE: MARCH, 2018
JOB NO: 2293.02
DRAWING FILE NO: 2293.02 PP-01
DRAWING NO: PP-01
SHEET NO: 6 OF 19

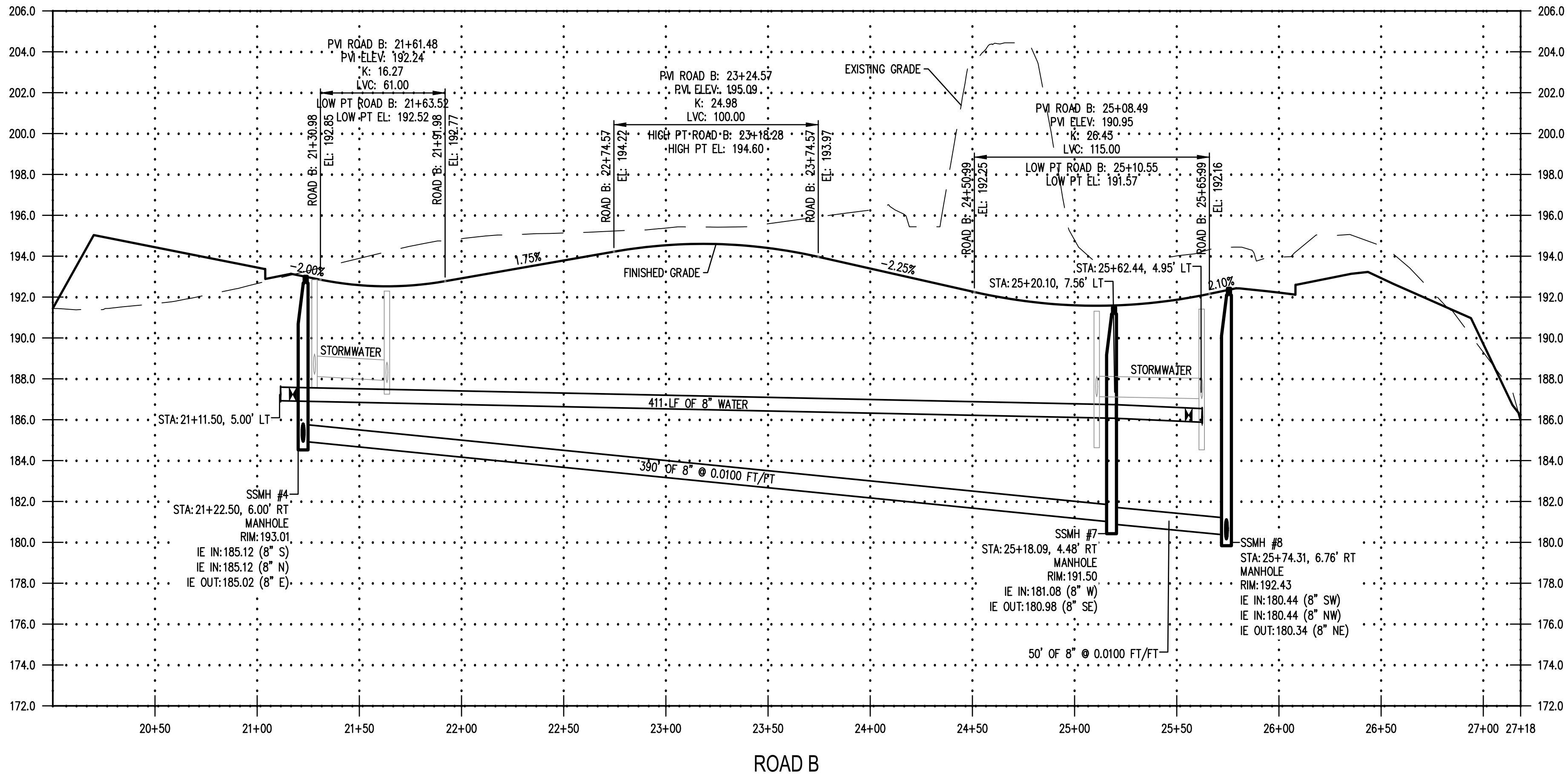
Apr 24, 2018 9:50:31am - User: sam.ordonez
K:\PROJECTS\2283 BRIGGS WEST RESIDENTIAL\PHASE 20 - PRELIMINARY\PLAT\CAD\2283.02 PP-02.DWG

SEC. 35/36, T18N., R2W., W.M.



NOTE:

1. ALL SEWER LINES SHALL BE ASTM D-3034 SDR35
2. WATER LINES SHALL BE HDPE C901, C906 CLASS 200
3. WATER MAINS ARE 8"
5. 36" MINIMUM COVER OVER WATER LINE
6. WATER SERVICES SHALL BE 1 INCH FOR SINGLE AND 1-1/2 INCH FOR DOUBLE AND SHALL HAVE 1 INCH METERS CONSTRUCTED PER CITY REQUIREMENTS



REVISIONS	DATE	BY



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CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCJALLIANCE.COM

SHEET TITLE:
ROADWAY, WATER, SEWER PLAN AND PROFILE

PROJECT NAME:
BRIGGS VILLAGE WEST RESIDENTIAL
PHASE 1

DESIGNER:
J. BRUHN

DRAWN BY:
S. ORDONEZ

APPROVED BY:
A. HEAD

DATE:
MARCH, 2018

JOB NO:
2283.02

DRAWING FILE NO:
2283.02 PP-02

DRAWING NO:
PP-02

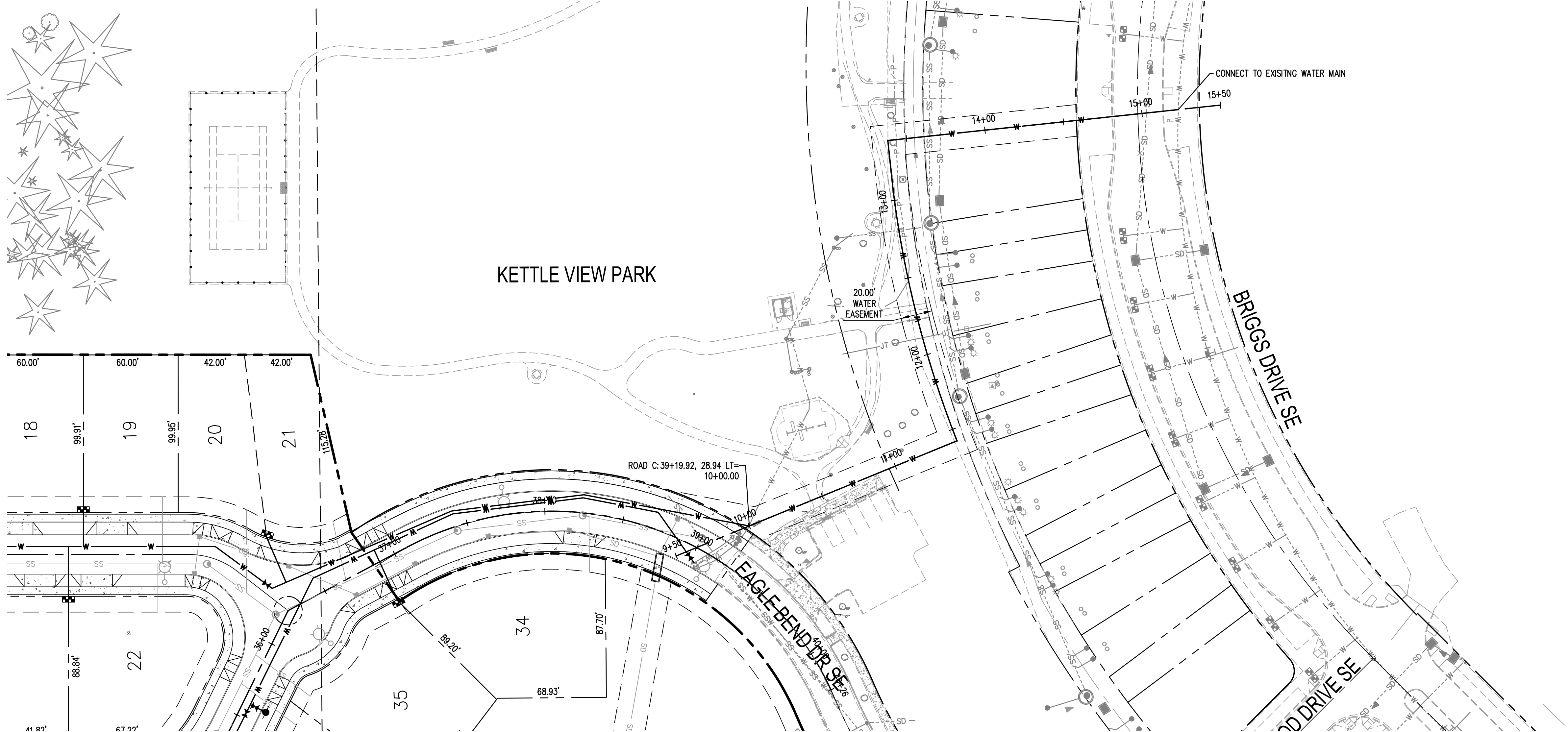
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7 OF 19

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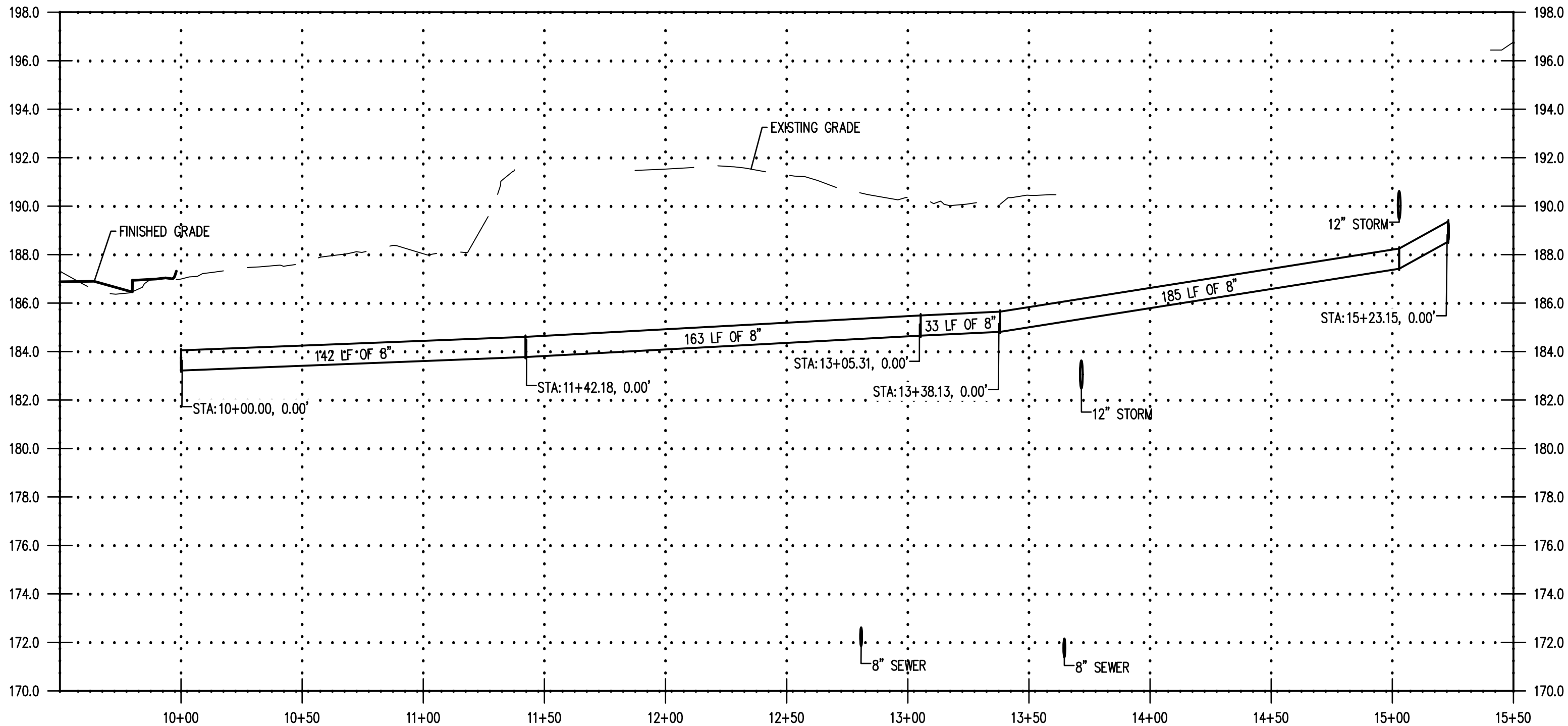


04/24/2018

SEC. 35/36, T18N., R2W., W.M.



- NOTE:
1. WATER LINES SHALL BE HDPE C901, C906 CLASS 200
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 6. WATER SERVICES SHALL BE 1 INCH FOR SINGLE AND 1-1/2 INCH FOR DOUBLE AND SHALL HAVE 1 INCH METERS CONSTRUCTED PER CITY REQUIREMENTS



WATER PROFILE #1

BY					
DATE					
REVISIONS					

SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCJALLIANCE.COM

SHEET TITLE:	OFFSITE WATER PLAN AND PROFILE
PROJECT NAME:	BRIGGS VILLAGE WEST RESIDENTIAL
PHASE:	PHASE 1

AMY M. HEAD
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
04/24/2018

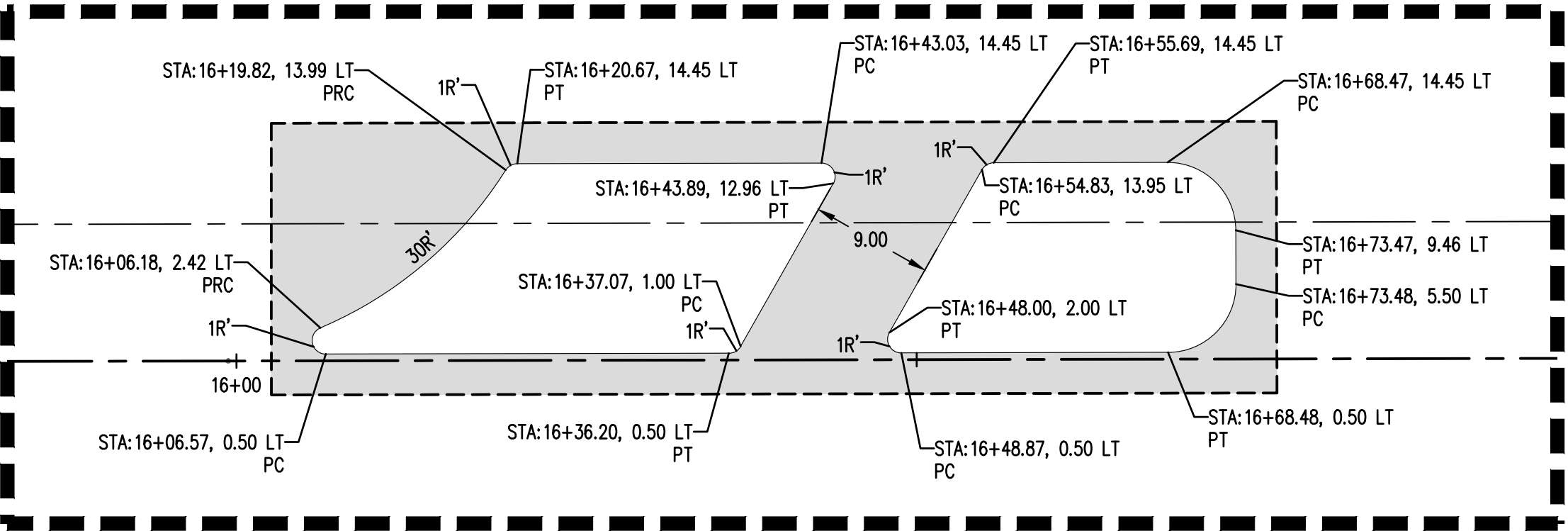
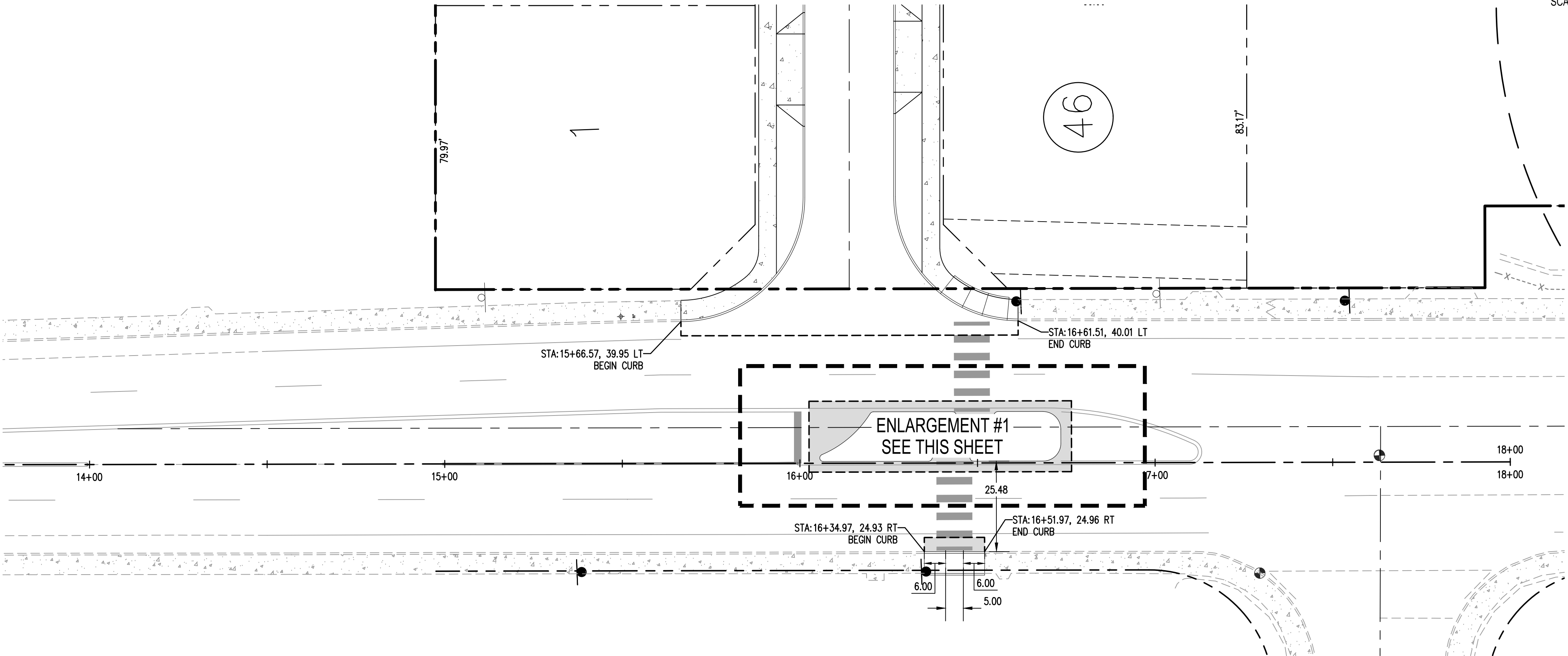
DESIGNER:	J. BRUHN
DRAWN BY:	S. ORDONEZ
APPROVED BY:	A. HEAD
DATE:	MARCH, 2018
JOB NO:	2293.02
DRAWING FILE NO:	2293.02 PP-04
DRAWING NO:	PP-04
SHEET NO:	9 OF 19

SEC. 35/36, T18N., R2W., W.M.

LEGEND:

HMA PG 64-22 1/2 IN

0 20 40
SCALE IN FEET



ENLARGEMENT #1
SCALE: 1" = 10'

REVISIONS	DATE	BY



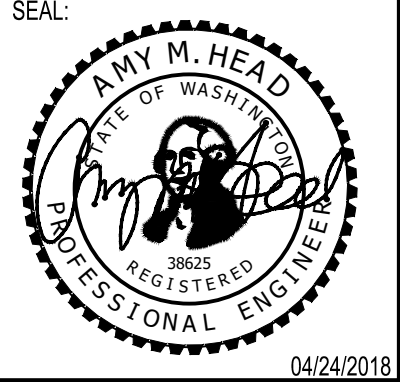
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CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCALLIANCE.COM

SHEET TITLE: LEFT TURN POCKET DETAIL

PROJECT NAME: BRIGGS VILLAGE WEST RESIDENTIAL
PHASE 1

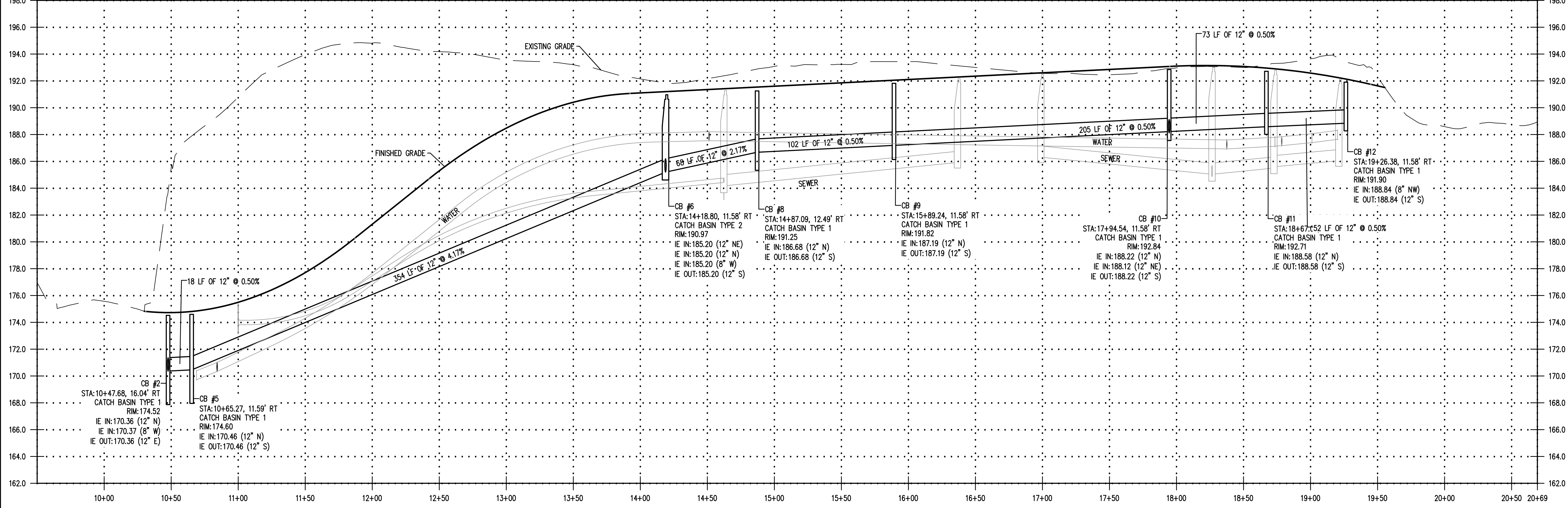
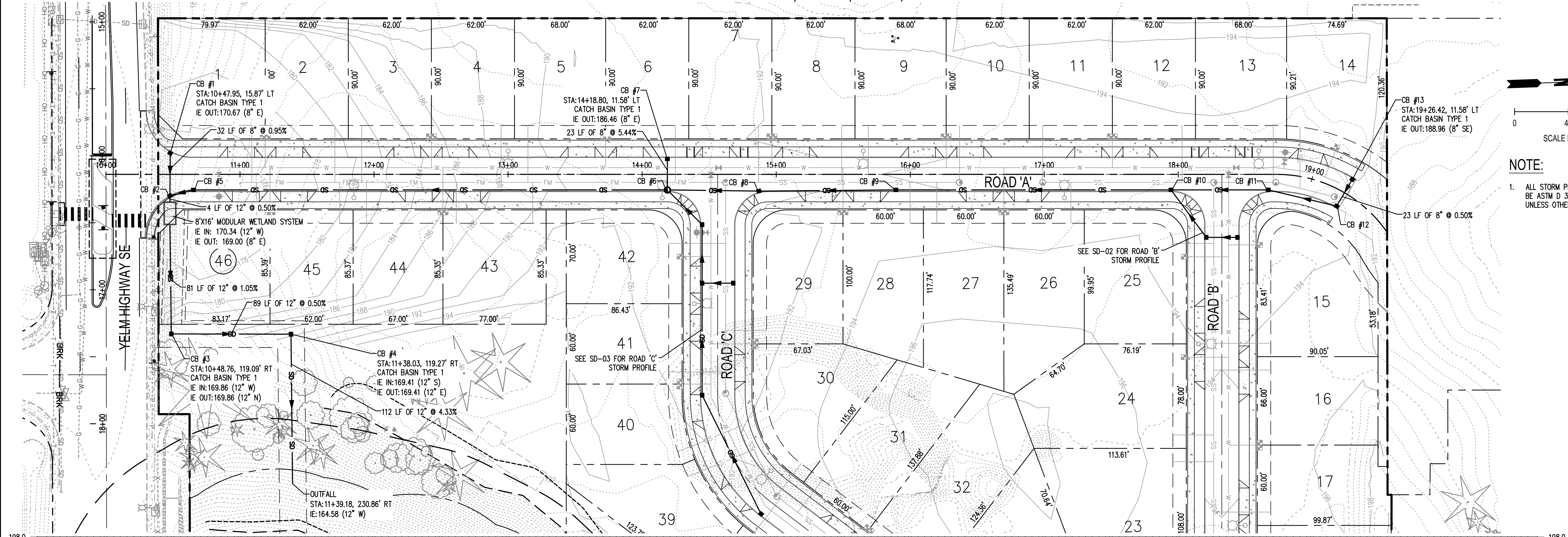
SEAL:



04/24/2018

DESIGNER:	J. BRUHN
DRAWN BY:	S. ORDONEZ
APPROVED BY:	A. HEAD
DATE:	MARCH, 2018
JOB NO:	2293.02
DRAWING FILE NO:	2293.02 PP-05
DRAWING NO:	PP-05
SHEET NO:	10 OF 19

SEC. 35/36, T18N., R2W., W.M.



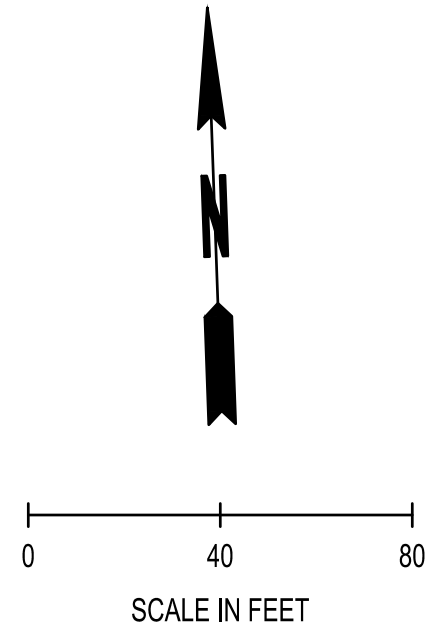
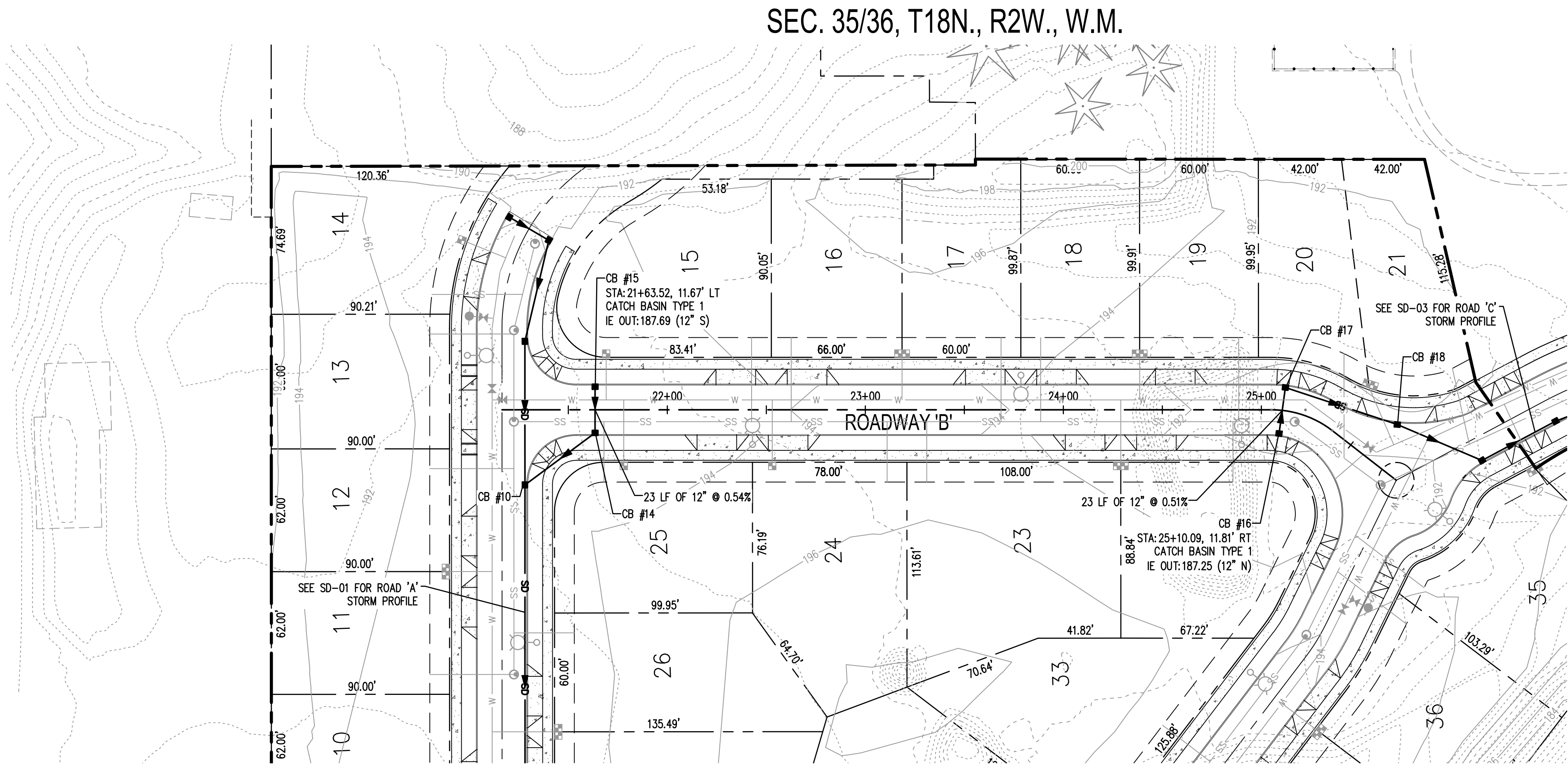
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DATE	
REVISIONS	

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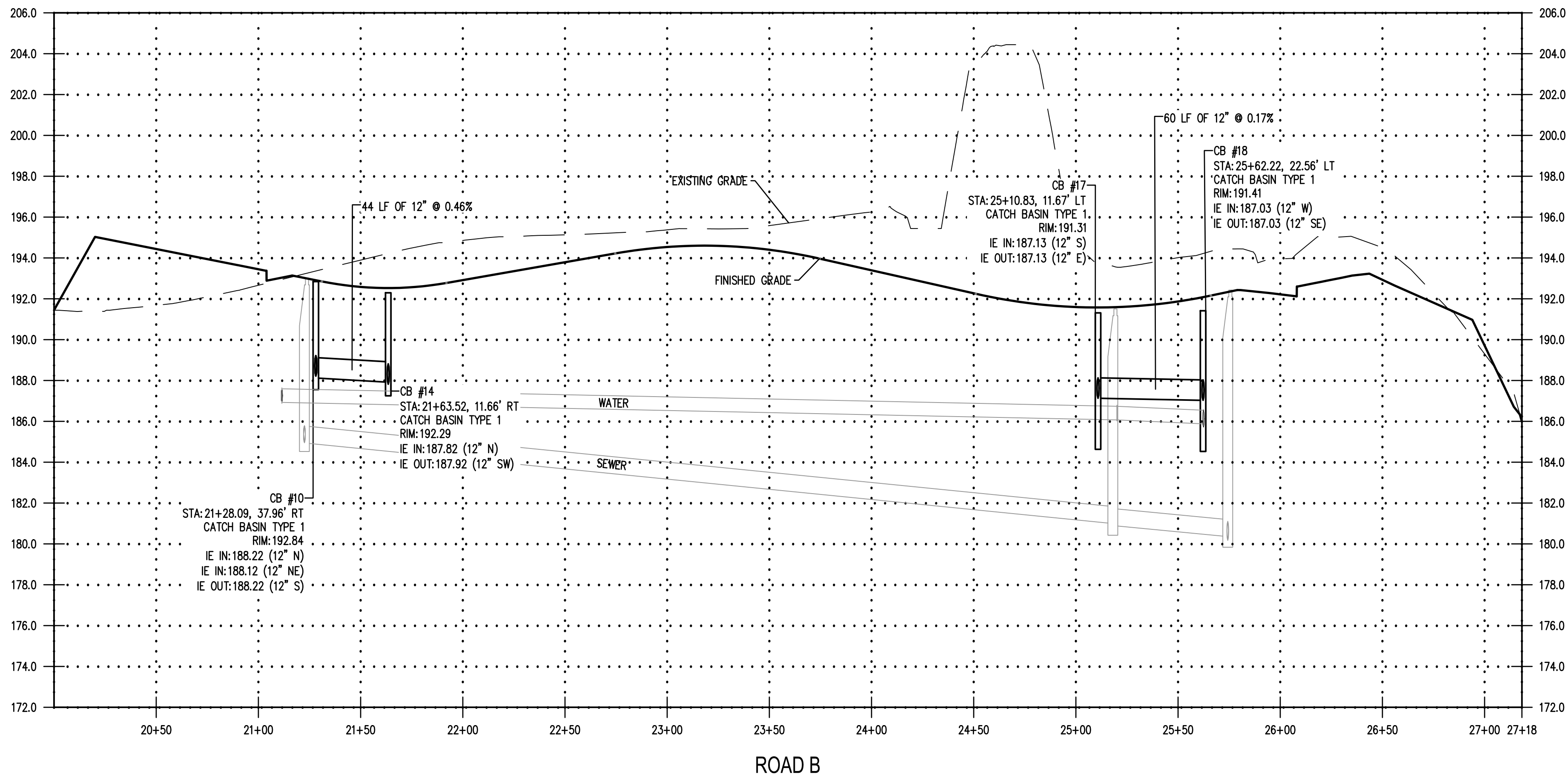
8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
SCJALLIANCE.COM

SHEET TITLE:	STORM DRAINAGE PLAN AND PROFILE
PROJECT NAME:	BRIGGS VILLAGE WEST RESIDENTIAL PHASE 1
SEAL:	
DESIGNER:	J. BRUHN
DRAWN BY:	S. ORDONEZ
APPROVED BY:	A. HEAD
DATE:	MARCH, 2018
JOB NO:	2293.02
DRAWING FILE NO:	2293.02 SD-01
DRAWING NO:	SD-01
SHEET NO:	11 OF 19

Apr 24, 2018 9:51:22am - User: sam.ordonez
K:\PROJECTS\2293 BRIGGS WEST RESIDENTIAL\PHASE 20 - PRELIMINARY\PLAT\CA00\2293.02 SD-02.DWG



NOTE:
1. ALL STORM PIPES SHALL
BE ASTM D 3034 SDR 35
UNLESS OTHERWISE NOTED.



REVISIONS	DATE	BY

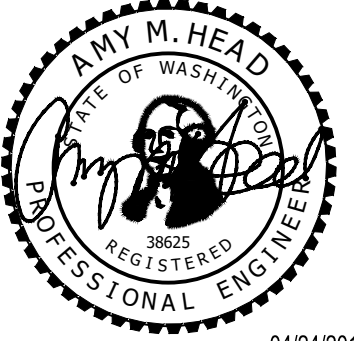


SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WASHINGTON 98516
P: 360-352-1465 F: 360-352-1509
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SHEET TITLE:
STORM DRAINAGE PLAN AND PROFILE

PROJECT NAME:
BRIGGS VILLAGE WEST RESIDENTIAL
PHASE 1

SEAL:


DESIGNER:
J. BRUHN

DRAWN BY:
S. ORDONEZ

APPROVED BY:
A. HEAD

DATE:
MARCH, 2018

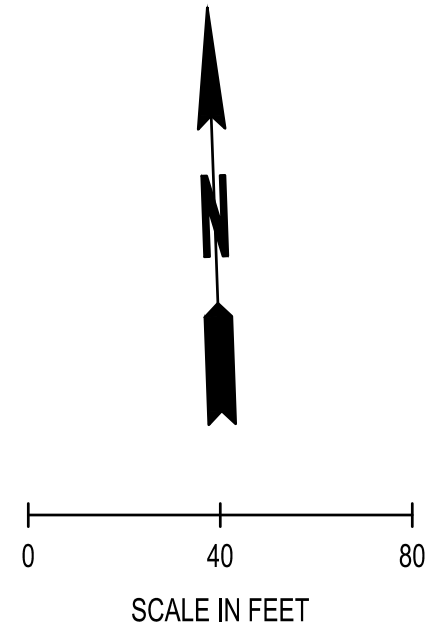
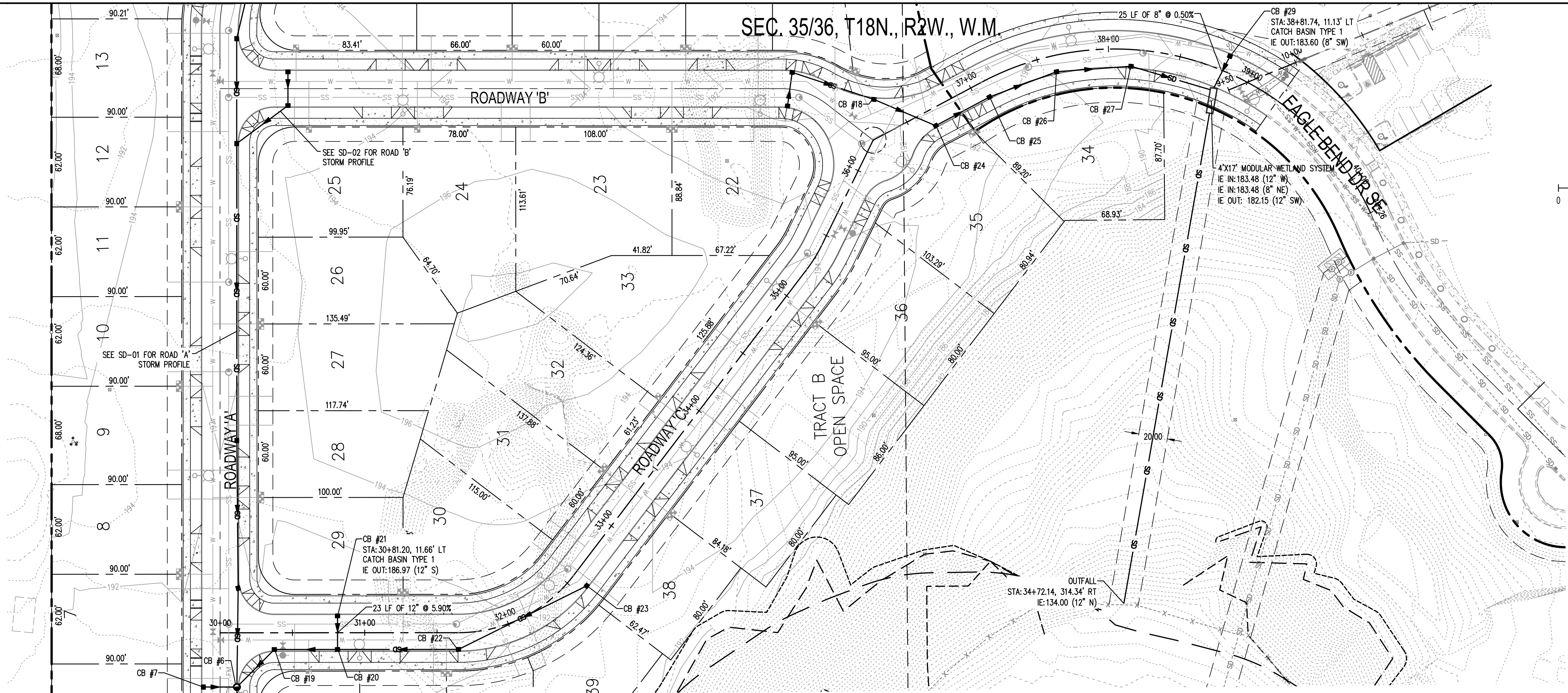
JOB NO:
2293.02

DRAWING FILE NO:
2293.02 SD-02

DRAWING NO:
SD-02

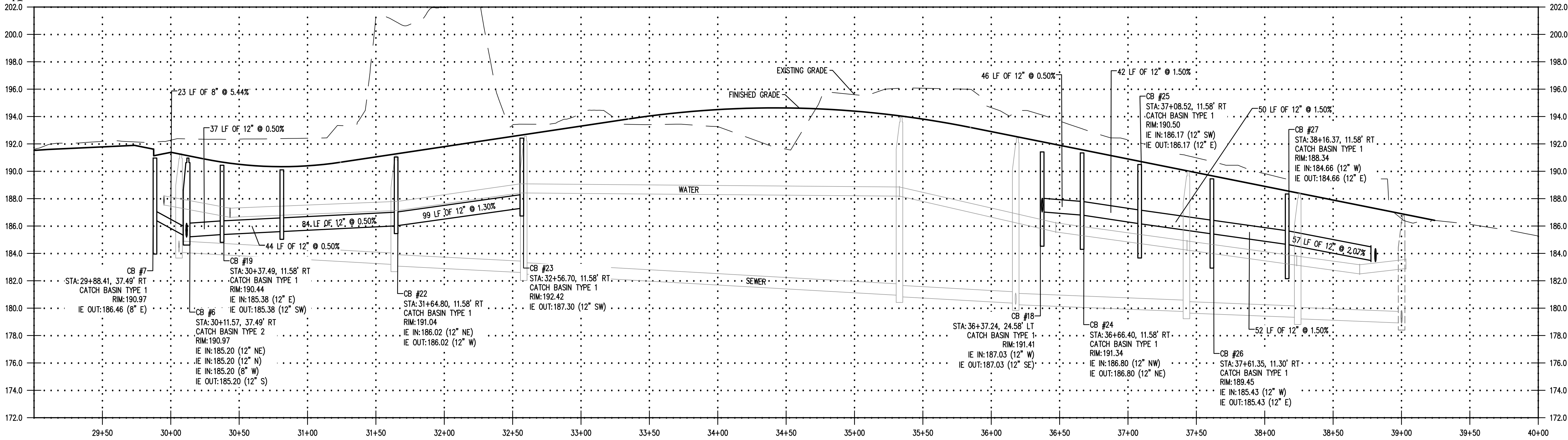
SHEET NO:
12 OF 19

Apr 24, 2018 9:52:08am - User: sam.ordonez
N:\PROJECTS\2283 BRIGGS WEST RESIDENTIAL PHASE 20 - PRELIMINARY PLAT\CAD\2283.02 SD-03.DWG



NOTE:

1. ALL STORM PIPES SHALL BE ASTM D 3034 SDR 35 UNLESS OTHERWISE NOTED.



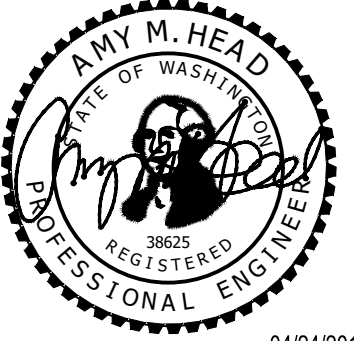
REVISIONS	DATE	BY

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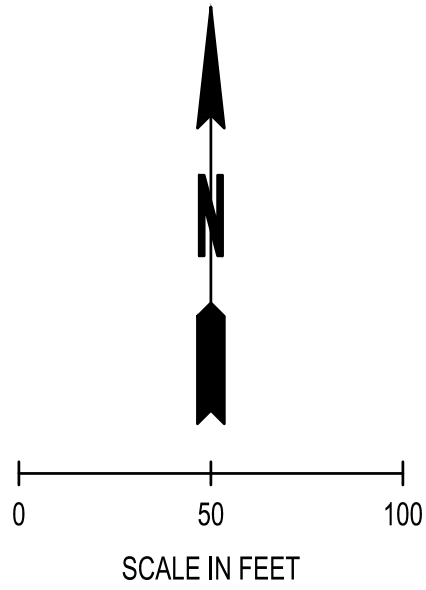
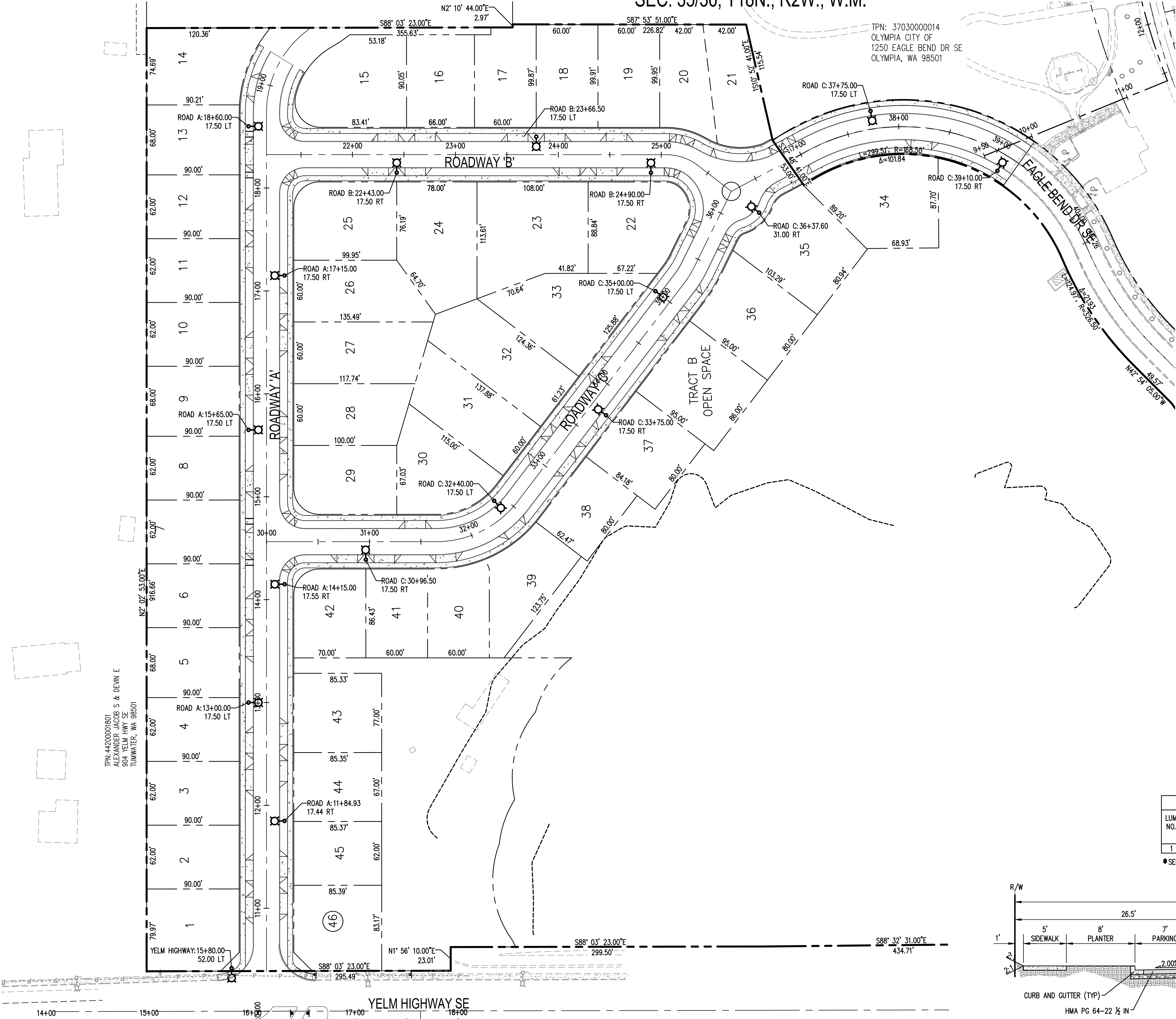
SHEET TITLE: STORM DRAINAGE PLAN AND PROFILE

PROJECT NAME: BRIGGS VILLAGE WEST RESIDENTIAL
PHASE 1

SEAL: 

DESIGNER: J. BRUHN
DRAWN BY: S. ORDONEZ
APPROVED BY: A. HEAD
DATE: MARCH, 2018
JOB NO: 2293.02
DRAWING FILE NO: 2293.02 SD-03
DRAWING NO: SD-03
SHEET NO: 13 OF 19

SEC. 35/36, T18N., R2W., W.M.



LEGEND:

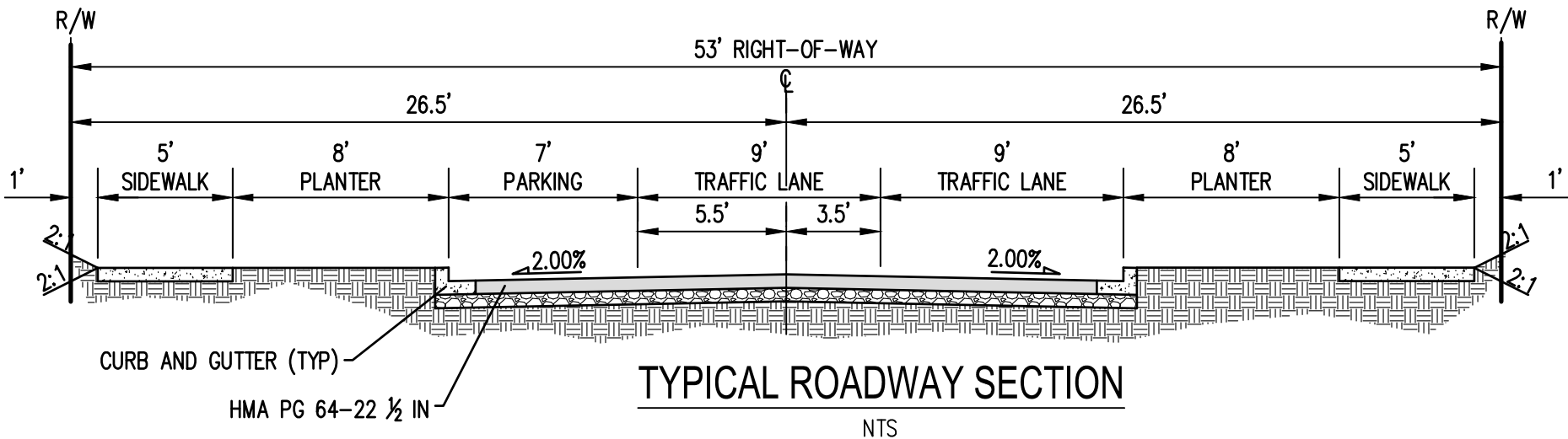
PROPOSED STREET LIGHT

NOTE:

1. CONDUIT INSTALLATION PER CITY STANDARDS
2. LIGHTS TO MEET BRIGGS DEVELOPMENT STANDARDS

TYPICAL LIGHT							
LUM NO.	SERVICE NO.	CIRCUIT NO.	TYPE-DISTRIBUTION-WATTAGE	MTG. HT. (H)	MAST ARM LENGTH(FT)	MAST ARM TYPE	BASE STYLE
1	1	A	LED-MC III-200*	30	12	1	FIXED

*SEE SPECIAL PROVISIONS



REVISIONS	DATE	BY

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ILLUMINATION PLAN

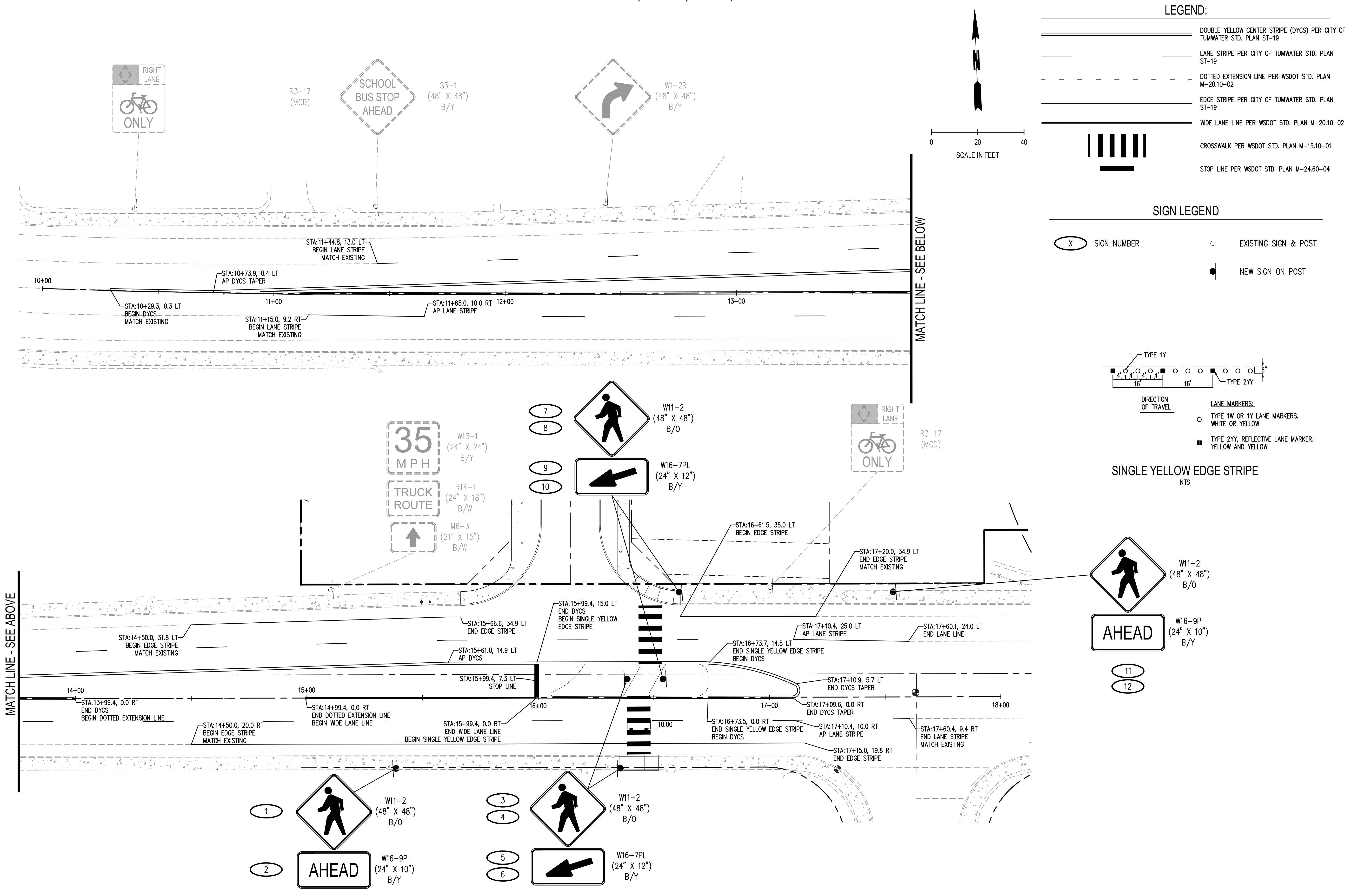
BRIGGS VILLAGE WEST RESIDENTIAL

PHASE 1

SEAL: AMY M. HEAD
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
04/24/2018

DESIGNER: J. BRUHN
DRAWN BY: S. ORDONEZ
APPROVED BY: A. HEAD
DATE: MARCH, 2018
JOB NO: 2293.02
DRAWING FILE NO: 2293.02 IL-01
DRAWING NO: IL-01
SHEET NO: 14 OF 19

SEC. 35/36, T18N., R2W., W.M.



LEGEND:

- DOUBLE YELLOW CENTER STRIPE (DYCS) PER CITY OF TUMWATER STD. PLAN ST-19
- LANE STRIPE PER CITY OF TUMWATER STD. PLAN ST-19
- DOTTED EXTENSION LINE PER WSDOT STD. PLAN M-20.10-02
- EDGE STRIPE PER CITY OF TUMWATER STD. PLAN ST-19
- WIDE LANE LINE PER WSDOT STD. PLAN M-20.10-02
- CROSSWALK PER WSDOT STD. PLAN M-15.10-01
- STOP LINE PER WSDOT STD. PLAN M-24.60-04

SIGN LEGEND

- (X) SIGN NUMBER
- EXISTING SIGN & POST
- NEW SIGN ON POST

TYPE 1Y

TYPE 2YY

LANE MARKERS:

- TYPE 1W OR 1Y LANE MARKERS. WHITE OR YELLOW
- TYPE 2YY, REFLECTIVE LANE MARKER. YELLOW AND YELLOW

SINGLE YELLOW EDGE STRIPE
NTS

W11-2
(48" X 48")
B/O

W16-9P
(24" X 10")
B/Y

AHEAD

11

12

BY					
DATE					
REVISIONS					

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CONSULTING SERVICES

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P: 360-352-1465 F: 360-352-1509
SCJALLIANCE.COM

SHEET TITLE:	ROADWAY CHANNELIZATION PLAN
	BRIGGS VILLAGE WEST RESIDENTIAL
PROJECT NAME:	PHASE 1
DESIGNER:	J. BRUHN
DRAWN BY:	S. ORDONEZ
APPROVED BY:	A. HEAD
DATE:	MARCH, 2018
JOB NO:	2293.02
DRAWING FILE NO:	2293.02 CH-01
DRAWING NO:	CH-01
SHEET NO:	15 OF 19

Apr 24, 2018 9:52:42am - User: sam.ordonez
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