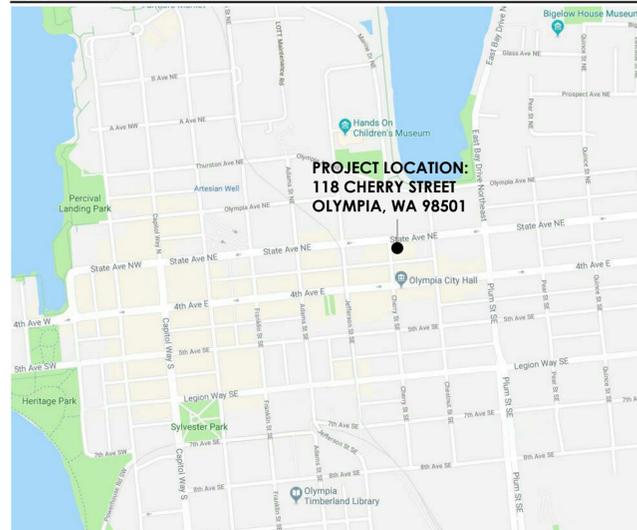




SPOON AUTOMOTIVE BUILDING

# SHELL IMPROVEMENTS

**LOCATION MAP**



**DEFERRED SUBMITTALS**

(REQUIRED FOR BUILDING OCCUPANCY)

1. FIRE SPRINKLER SYSTEM - NFPA 13 SYSTEM, TO BE SUBMITTED WITH TENNANT IMPROVEMENT
2. FIRE ALARM SYSTEM - TO BE SUBMITTED WITH TENNANT IMPROVEMENT
3. TENANT IMPROVEMENT PLANS - TO BE SUBMITTED UNDER SEPARATE PERMIT

**WASHINGTON STATE ENERGY CODE**

PER WSEC C503.1 ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

**GENERAL CODE INFORMATION**

MODEL CODE: 2018 IEBC, INTERNATIONAL EXISTING BUILDING CODE

BUILDING OCCUPANCY: B - BUSINESS, ADDITIONAL REQUIREMENTS TO BE DETERMINED  
 CONSTRUCTION TYPE: VB WITH NFPA 13 FIRE SPRINKLERS  
 NUMBER OF STORIES: 1 STORY  
 BUILDING HEIGHT: 16 FEET TO TOP OF PARAPET

**BUILDING INFORMATION**

WORK OF THIS CONTRACT IS FOR EXTERIOR IMPROVEMENTS AND STRUCTURAL UPGRADES TO EXISTING BUILDING SHELL INCLUDING, BUT NOT LIMITED TO THE REFINISH OF EXTERIOR WALLS, NEW CANOPIES, REPLACEMENT OF EXISTING WINDOWS AND DOORS WITH NEW ENERGY EFFICIENT GLAZING SYSTEMS, NEW INSULATION AND ROOFING AT EXISTING ROOF, REPAIR OF EXISTING ROOF TRUSSES, AND IMPROVED STRUCTURAL CONNECTIONS. WORK ALSO INCLUDES NEW SIDEWALKS, UPDATED UTILITIES, NEW HVAC EQUIPMENT, INTERIOR TENANT IMPROVEMENTS WILL BE SUBMITTED AS SEPARATE PERMIT.

BUILDING AREA: 6,758 SQ. FEET  
 SITE: 6,758 SQ. FEET

SITE ADDRESS: 118 CHERRY ST. OLYMPIA, WA 98501  
 PARCEL #: 78200400100  
 JURISDICTION: CITY OF OLYMPIA  
 ZONING: DB - DOWNTOWN BUSINESS

ABBREVIATED LEGAL DESCRIPTION: S14 T18 R 2W Quarter NW SE PLAT SWANS ADDITION TO OLYMPIA BLK 4 LT 1+2

\*\*SEE SITE PLAN FOR ADDITIONAL INFORMATION

**DESIGN TEAM**

**PROPERTY OWNER:**  
 118 CHERRY LLC  
 2514 SOUTH BAY ROAD  
 OLYMPIA, WA 98501

**CONTACT: BRANDY WILLIE**  
 PHONE: 360-705-4319  
 EMAIL: BMWILLIE@COMCAST.NET

**ARCHITECT:**  
 THOMAS ARCHITECTURE STUDIO, INC.  
 525 COLUMBIA STREET SW  
 OLYMPIA, WA 98501  
 PHONE: 360-915-8775

**CONTACT: TOM RIEGER**  
 EMAIL: TOM@TASOLYMPIA.COM

**CIVIL ENGINEER:**  
 SCJ ALLIANCE  
 8730 TALLON LANE NE, STE 200  
 LACEY, WA 98516  
 PHONE: 360-352-1465

**CONTACT: ROSS JARVIS**  
 EMAIL: ROSSJ@SCJALLIANCE.COM

**STRUCTURAL ENGINEER**  
 PCS STRUCTURAL SOLUTIONS  
 1250 PACIFIC AVENUE, SUITE 701  
 TACOMA, WA 98402

**CONTACT: JEFF KLEIN**  
 PHONE: 253-383-2797  
 EMAIL: JKLEIN@PCS-STRUCTURAL.COM

**SHEET LIST**

SHEET NUMBER	SHEET NAME
A-001	COVER SHEET
A-002	CODE REVIEW
A-003	DEMOLITION PLANS
A-101	SITE PLAN
A-201	PLAN - FLOOR 1
A-202	PLAN - ROOF
A-203	REFLECTED CEILING PLAN - FLOOR 1
A-301	ELEVATIONS
A-401	SECTIONS
A-501	WALL SECTIONS
A-601	DETAILS - ASSEMBLY
A-602	DETAILS - DOOR
A-603	DETAILS - CANOPY
A-801	SCHEDULES

**STRUCTURAL**

S-101	GENERAL NOTES
S-102	GENERAL NOTES
S-103	GENERAL NOTES
S-104	GENERAL NOTES
S-201	FOUNDATION PLAN
S-202	ROOF FRAMING PLAN
S-301	FOUNDATION DETAILS
S-401	FRAMING DETAILS
S-402	FRAMING DETAILS
S-403	CANOPY DETAILS

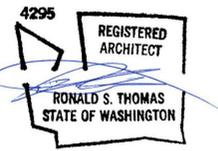
**CIVIL**

CV-01	COVER SHEET
GN-01	GENERAL NOTES
EC-01	DEMOLITION AND TESC PLAN
EC-02	EROSION CONTROL DETAILS
SP-01	SITE IMPROVEMENT PLAN
SP-02	SITE IMPROVEMENT DETAILS
UT-01	WATER, SEWER, AND STORM PLAN
UT-02	WATER AND SEWER NOTES AND DETAILS



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SPOON AUTOMOTIVE BUILDING  
 SHELL IMPROVEMENTS  
 118 CHERRY ST | OLYMPIA, WA

Project No: 1715

PERMIT SET

JUNE 16, 2021

COVER SHEET

A-001

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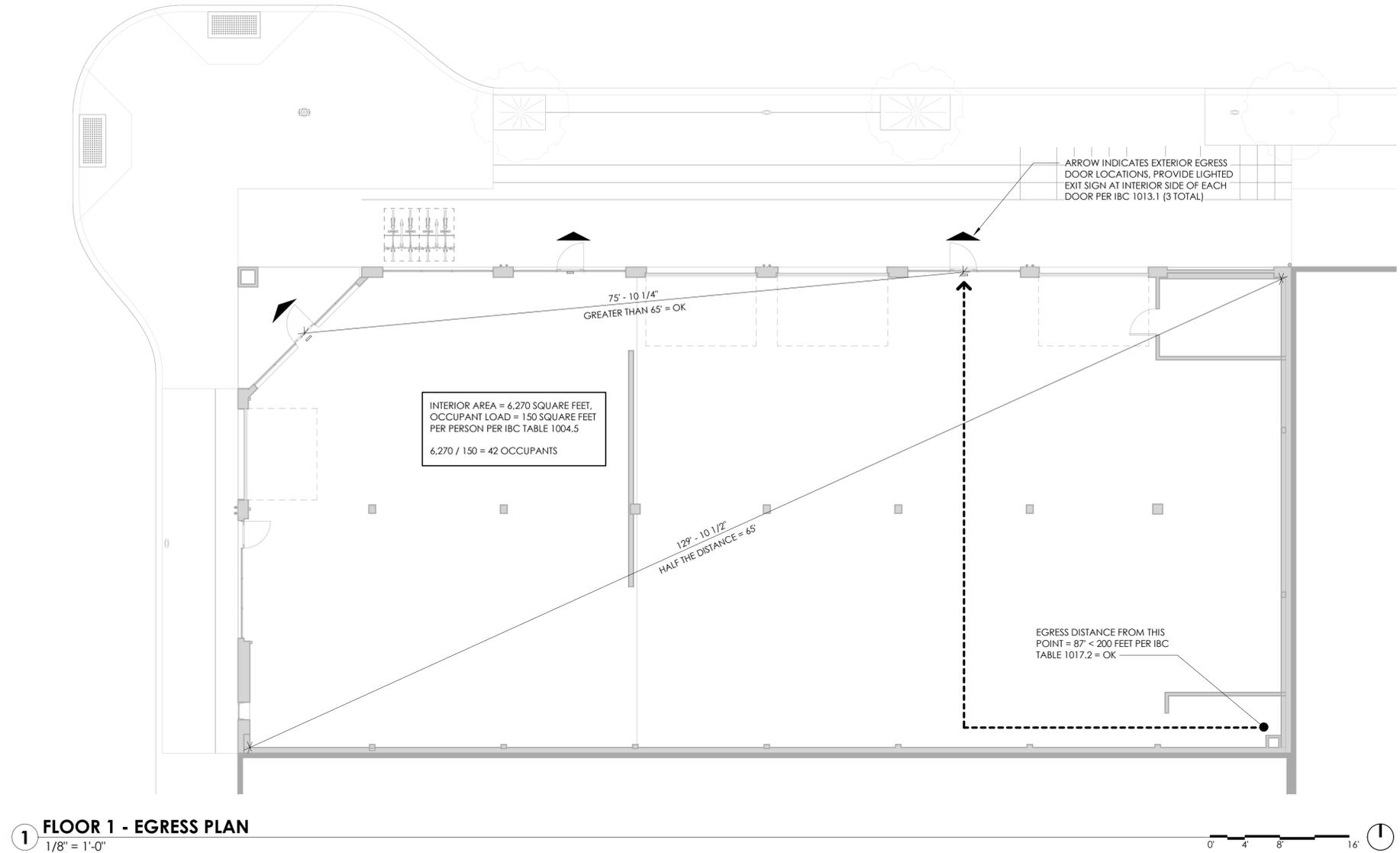
**CODE INFORMATION**

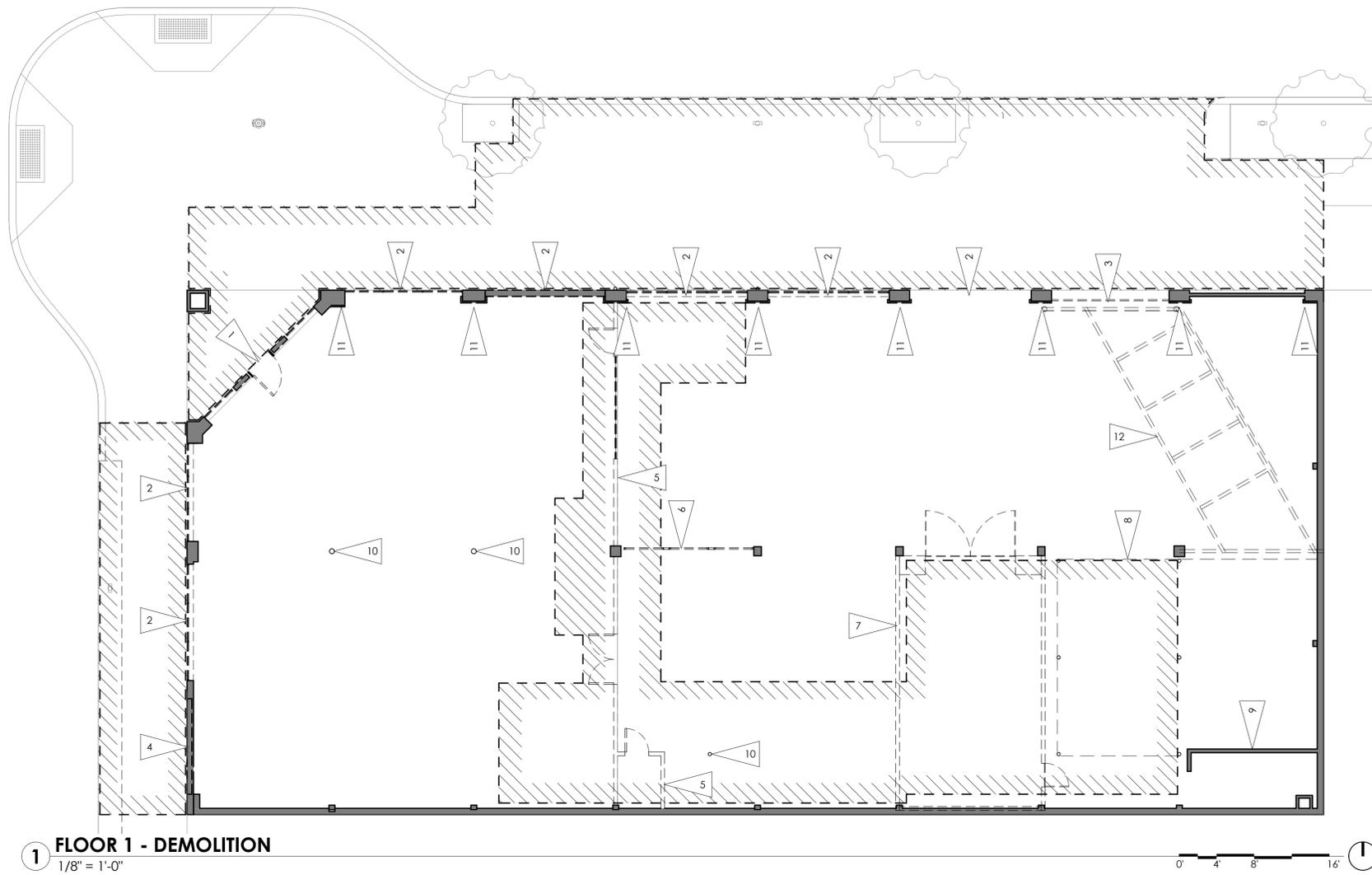
APPLICABLE CODES: 2018 IBC, INTERNATIONAL EXISTING BUILDING CODE  
2018 IBC, INTERNATIONAL BUILDING CODE  
2018 WSEC, WASHINGTON STATE ENERGY CODE  
2018 IFC, INTERNATIONAL FIRE CODE  
2018 IMC, INTERNATIONAL MECHANICAL CODE  
2018 UPC, UNIVERSAL PLUMBING CODE  
2020 NEC, NATIONAL ELECTRICAL CODE

ACCESSIBILITY CODES: ICC/ANSI A117.1-2009

BUILDING OCCUPANCY: B - BUSINESS, ADDITIONAL REQUIREMENTS TO BE DETERMINED  
CONSTRUCTION TYPE: VB WITH NFPA 13 FIRE SPRINKLERS

FIRE SPRINKLERS & ALARMS: TO BE INSTALLED WITH TENANT IMPROVEMENT.



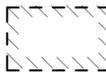
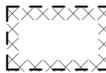


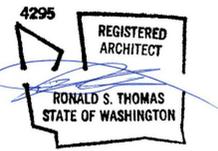
**1 FLOOR 1 - DEMOLITION**  
1/8" = 1'-0"

**GENERAL DEMOLITION NOTES**

1. ARCHITECTURAL DRAWINGS TAKE PRIORITY OVER ALL OTHER DRAWINGS FROM DESIGN TEAM. IF DISCREPANCY IS FOUND BETWEEN DRAWING SETS, CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY.
2. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES AND PIPING BEFORE BEGINNING WORK. PROTECT OR MOVE UTILITIES AS REQUIRED.
3. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION AND INFORM ARCHITECT OF ANY DISCREPANCIES, ISSUES OR CONFLICTS.
4. REMOVE ALL EXISTING MECHANICAL AND ELECTRICAL WORK NOT TO BE REUSED IN ITS PRESENT LOCATIONS. CAP ALL ABANDONED UTILITIES AS REQUIRED. ALL CONDUITS TO BE REMOVED BACK TO THE ELECTRICAL PANEL. DO NOT ABANDON CONDUITS IN PLACE.
5. CONTRACTOR IS TO USE PRECAUTION IN DEMOLITION AS TO NOT DAMAGE THE EXISTING CONCRETE WALLS. ALL DAMAGE TO THE EXISTING CONCRETE WALLS ARE TO BE PATCHED & REPAIRED TO MATCH ADJACENT EXISTING.
6. PATCH AND REPAIR ALL AREAS INVOLVING DEMOLITION WORK TO MATCH ADJACENT EXISTING CONDITIONS OR TO ACCEPT NEW CONSTRUCTION AS INDICATED ON THE DRAWINGS.
7. DASH LINES INDICATE EXISTING CONDITIONS TO BE REMOVED UNLESS NOTED OTHERWISE.
8. PROVIDE A STRAIGHT EDGE TO RECEIVE NEW WORK.
9. PROVIDE TEMPORARY WOOD SHORING AS REQUIRED TO PLACE NEW STRUCTURE, IF REQUIRED.
10. PROTECT ADJACENT AREAS IN BUILDING FROM DAMAGE. REPAIR ALL DAMAGE.
11. DURING DEMOLITION OF THE INTERIOR, CONTRACTOR IS TO SET ASIDE MATERIAL THAT CAN BE REUSED IN AREAS WHERE PATCHING EXISTING WALLS IS REQUIRED.
12. COORDINATE ALL WORK WITH THE OWNER TO DETERMINE OWNER REQUESTED ITEMS TO RETAIN FOR FUTURE IMPROVEMENT WORK.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SAFE AREA IN THE EXISTING SPACE TO PROTECT ALL RETAINED ITEMS.
14. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH OWNER'S REQUIREMENTS AND PROCEDURES.
15. CONTRACTOR IS TO COORDINATE WITH THE DEPARTMENT OF ECOLOGY FOR ANY DEMOLITION WORK IF APPLICABLE OR / AS REQUIRED BY THE CITY OF OLYMPIA.
16. CONTRACTOR IS TO COORDINATE WITH THE OLYMPIC REGION CLEAN AIR AGENCY (ORCAA) PRIOR TO ANY DEMOLITION WORK TO DETERMINE APPLICATION REQUIREMENTS. CONTACT: 1-800-422-5623 / WWW.ORCAA.ORG.
17. MEDIA BLAST ALL EXISTING CONCRETE WALL SURFACES.
18. PROTECT EXISTING STREET TREES AND STREET ACCESSORIES TO REMAIN.

**DEMOLITION LEGEND**

- 1 REMOVE & DISPOSE OF EXISTING ANGLED WALL, DOOR, WINDOWS, AND HVAC UNIT IN THEIR ENTIRETY AS REQUIRED FOR NEW WORK.
  - 2 REMOVE & DISPOSE OF EXISTING GLAZING AND CONCRETE STEM WALL FLUSH TO FACE OF EXISTING CONCRETE COLUMNS. PREPARE OPENINGS AS REQUIRED FOR NEW WORK.
  - 3 REMOVE & DISPOSE OF EXISTING ROLL UP DOOR, TRACK AND ACCESSORIES IN THEIR ENTIRETY. PREPARE SURFACES FOR NEW WORK.
  - 4 REMOVE & DISPOSE OF EXISTING GLASS BLOCK INFILL IN ITS ENTIRETY. PREPARE AREA FOR NEW WALL INFILL PER STRUCTURAL.
  - 5 REMOVE & DISPOSE OF EXISTING INTERIOR WALLS, DOORS, AND CEILING IN THEIR ENTIRETY. PREPARE EXISTING SURFACES TO REMAIN FOR NEW CONSTRUCTION.
  - 6 REMOVE AND DISPOSE OF EXISTING WINDOWS, WALL, AND COUNTER. PREPARE EXISTING SURFACES TO REMAIN FOR NEW CONSTRUCTION.
  - 7 REMOVE & DISPOSE OF EXISTING PAINT BOOTH IN ITS ENTIRETY.
  - 8 REMOVE EXISTING MEZZANINE, FRAMING, AND COLUMNS.
  - 9 REMOVE EXISTING BRICK WALLS, DOOR, AND CHIMNEY.
  - 10 PROVIDE TEMPORARY SUPPORT AND BRACING AS REQUIRED TO REMOVE EXISTING STEEL COLUMN TO BE REPLACED WITH WOOD COLUMN TO MATCH EXISTING ELSEWHERE IN BUILDING. REFER TO STRUCTURAL FOR SIZING.
  - 11 REMOVE EXISTING COLUMN FURRING, EXPOSE CONCRETE COLUMN.
  - 12 REMOVE EXISTING ROOF MOUNTED BILLBOARD AND ALL ASSOCIATED STRUCTURAL FRAMING. PATCH AS REQUIRED FOR NEW WORK AND TO MATCH EXISTING ADJACENT SURFACES.
-  INDICATES PERIMETER OUTLINE OF EXISTING CONCRETE SIDEWALK TO BE REMOVED AND REPLACED. SAWCUT AS REQUIRED. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. NEW CONCRETE PATTERN TO ALIGN WITH EXISTING ADJACENT CONCRETE PATTERNS. OVERALL NEW PATTERN SHALL BE 24"x24" GRID.
-  INDICATES APPROXIMATE PERIMETER OF EXISTING INTERIOR SLAB TO BE REMOVED AND REPLACED. SEE STRUCTURAL FOR DETAILS. SAW CUT AS REQUIRED FOR NEW WORK.



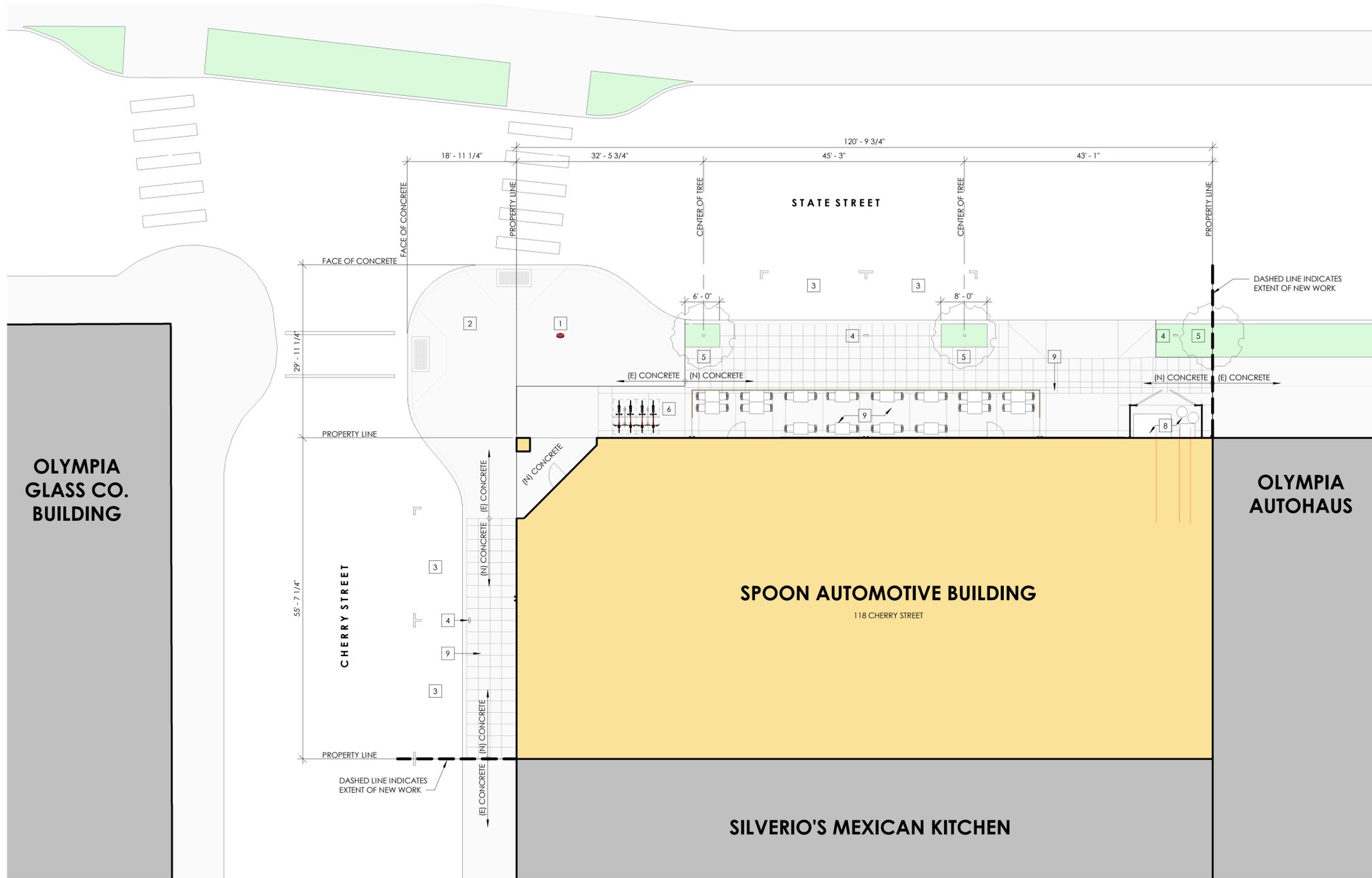
**SPOON AUTOMOTIVE BUILDING  
SHELL IMPROVEMENTS**  
 118 CHERRY ST | OLYMPIA, WA

Project No: 1715  
**PERMIT SET**  
 JUNE 16, 2021

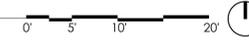
**DEMOLITION  
PLANS**

**A-003**

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**1 SITE PLAN - EXTERIOR IMPROVEMENTS**  
1" = 10'-0"



**GENERAL SITE INFORMATION**

**AREAS**

SITE AREA	6,758 SF
LANDSCAPE AREA (PERVIOUS)	0 SF
BUILDING AREA (IMPERVIOUS)	6,558 SF
PAVED AREA (IMPERVIOUS)	200 SF
EXISTING IMPERVIOUS COVERAGE	100%

**PARKING SUMMARY**

VEHICLE PARKING REQUIREMENTS PER OMC 18.38.160

**VEHICLE PARKING**

SPACES REQUIRED (OMC 18.38, TABLE 38.01)	0 SPACES
SPACES PROVIDED - NEW	0 SPACES
SPACES PROVIDED - EXISTING (STREET PARKING)	4 SPACES

**BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)**

LONG TERM - TO BE DETERMINED WITH TENANT IMPROVEMENT	
SHORT TERM -	
6,558 SF @ 1/3,000	2.18 SPACES
TOTAL REQUIRED (ROUNDED)	3.00 SPACES
PROVIDED	4.00 SPACES > 3 = OK

**GENERAL NOTES**

- THESE DRAWINGS FOR GENERAL BUILDING AND SITE LAYOUT. SEE SEPERATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
- INTERIOR TENANT IMPROVEMENTS TO BE SUBMITTED UNDER SEPERATE PERMIT.

**SITE LEGEND**

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING BULB OUT
- 3 EXISTING STREET PARKING TO REMAIN
- 4 EXISTING PARKING METER (TO REMAIN). PROTECT AS REQUIRED.
- 5 EXISTING STREET TREE (TO REMAIN). PROTECT AS REQUIRED.
- 6 SHORT TERM BIKE PARKING. SEE DETAILS THIS SHEET.
- 7 NEW OUTDOOR SEATING AREA. PROVIDE RAILING AT PERIMETER.
- 8 NEW ENCLOSED WASTE AREA
- 9 DASHED LINE OF CANOPY OVERHEAD



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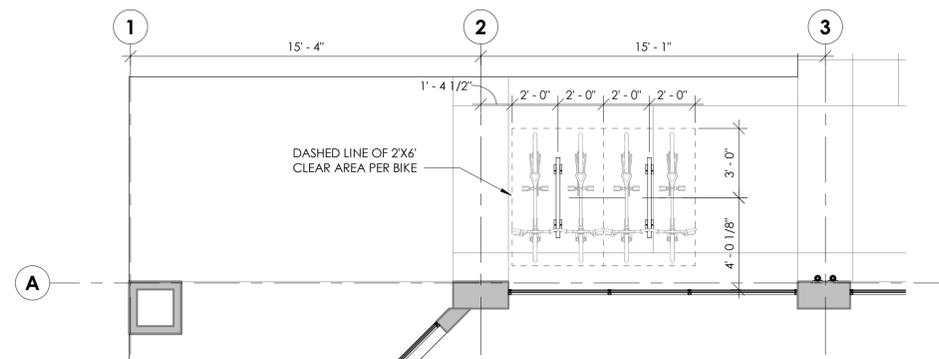
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 118 CHERRY ST | OLYMPIA, WA

Project No: 1715  
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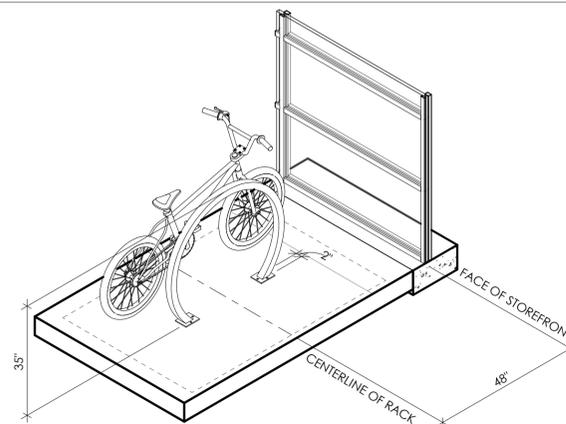
SITE PLAN

A-101

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**2 BIKE PARKING - SHORT TERM**  
1/4" = 1'-0"

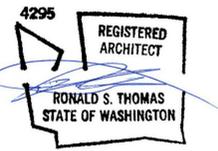


**3 BIKE PARKING - SHORT TERM - ARC RACK**



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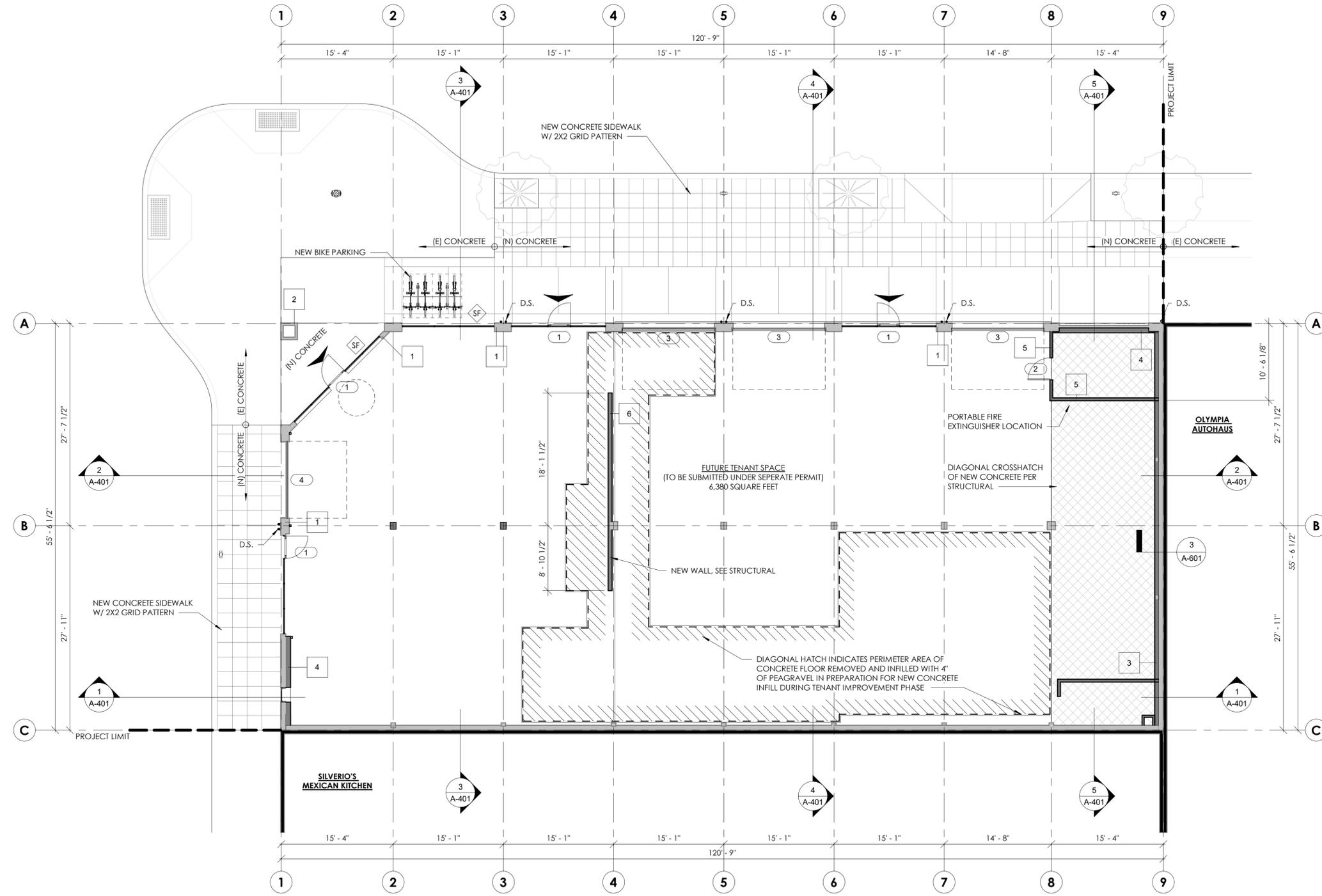


**GENERAL NOTES**

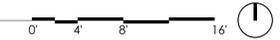
1. THESE DRAWINGS FOR GENERAL BUILDING AND SITE LAYOUT. SEE SEPERATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
2. INTERIOR TENANT IMPROVEMENTS TO BE SUBMITTED UNDER SEPERATE PERMIT.

**PLAN LEGEND**

- ARROW INDICATES PRIMARY BUILDING ENTRANCE
- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
- LINE INDICATES PROJECT LIMITS, NO NEW WORK PLANNED OUTSIDE OF THIS LINE. ALL NEW WORK TO MEET FLUSH WITH EXISTING CONDITIONS.
- WALL TAG, NUMBER INDICATES ASSEMBLY DETAIL ON SHEET A-601
- DOOR TAG, SEE SHEET A-801 FOR DETAILS
- GLAZING TAG, SEE SHEET A-801 FOR DETAILS
- D.S. INDICATES DOWN SPOUT LOCATION. COORDINATE COLLECTION OF DOWN SPOUTS BELOW NEW SIDEWALK AND TIE INTO STORM SEWER SYSTEM. SEE CIVIL.



**1 FLOOR 1 - EXTERIOR IMPROVEMENTS**  
1/8" = 1'-0"



**SPOON AUTOMOTIVE BUILDING  
SHELL IMPROVEMENTS**  
118 CHERRY ST | OLYMPIA, WA

Project No: 1715  
**PERMIT SET**  
JUNE 16, 2021

**PLAN - FLOOR 1**

**A-201**

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**ROOF PLAN LEGEND**

- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.

**GENERAL ROOF NOTES**

- REMOVE EXISTING ROOFING AND INSULATION TO CLEAN STRUCTURAL DECK AND REPLACE WITH NEW POLYISO ROOF INSULATION AND TPO ROOFING MEMBRANE INSTALLED PER MANUFACTURER'S STANDARD DETAILS.
- PROVIDE NEW ROOF INSULATION AS REQUIRED WITH AVERAGE THICKNESS TO MEET CODE MINIMUM "U" VALUE OF 0.027, R VALUE = R-38.
- TAPER ROOF INSULATION TO DRAINS AS NOTED ON PLANS.
- REMOVE ALL EXISTING EQUIPMENT NOT REQUIRED FOR NEW WORK.
- PROVIDE NEW CURBING AS REQUIRED AND AS DETAILED.
- ALL NEW FLASHING TO BE INSTALLED PER CURRENT SMACNA DESIGN STANDARDS.
- COORDINATE FINAL LOCATIONS OF MECHANICAL EQUIPMENT WITH ROOFING INSTALLER TO ENSURE PROPER ROOF DRAINAGE IS ACHIEVED.

**ROOF DRAIN CALCULATIONS**

PER 2012 IPC, TABLE 1106.2, AT AN INTENSITY LEVEL OF 3" PER HOUR, ALLOWED ROOF AREA PER DOWNSPOUT IS AS FOLLOWS:

- 2" DIAMETER D.S. WILL HANDLE AN AREA OF: 960 SQ. FT.
- 4" DIAMETER D.S. WILL HANDLE AN AREA OF: 6,130 SQ. FT.
- 6" DIAMETER D.S. WILL HANDLE AN AREA OF: 17,995 SQ. FT.

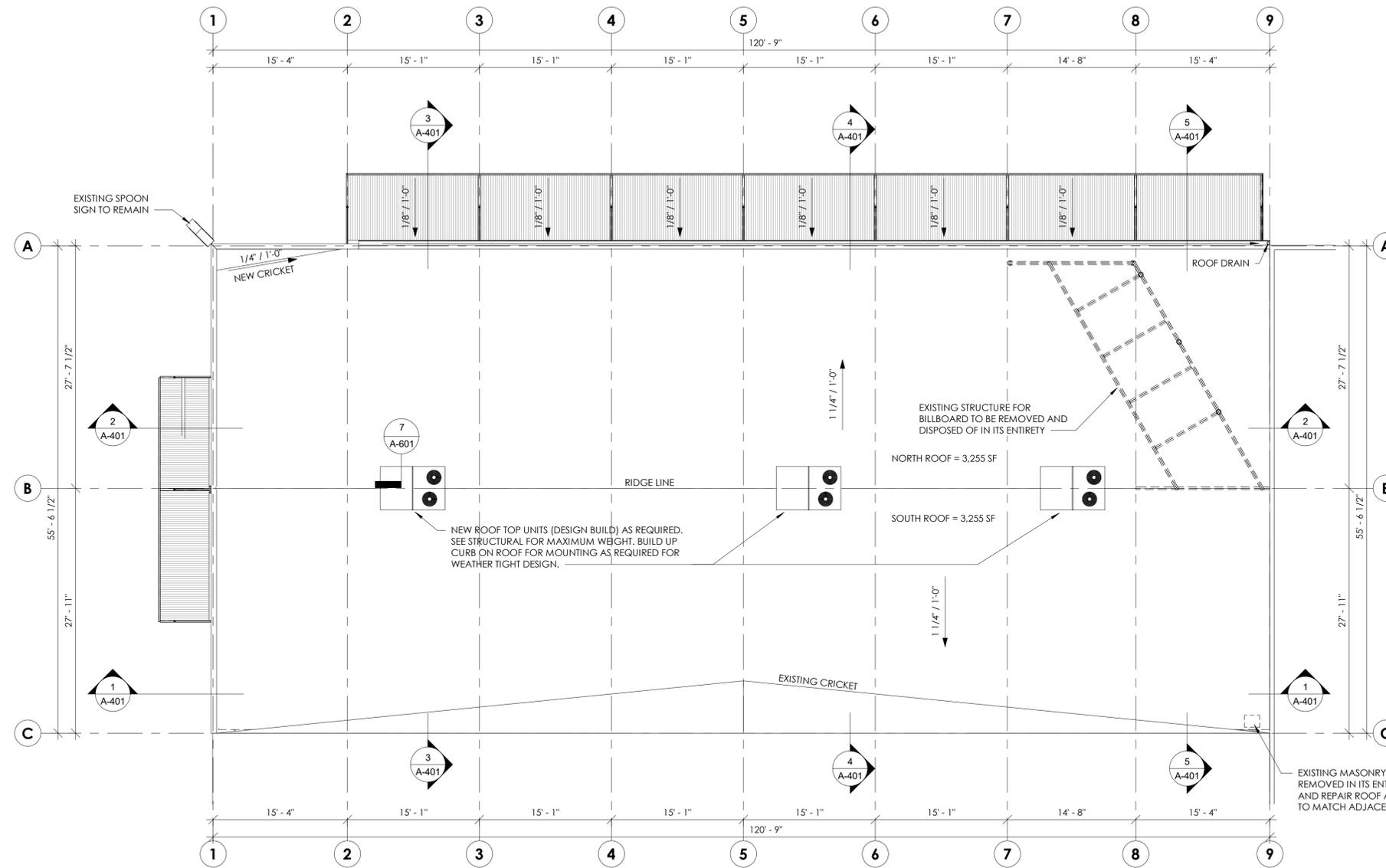
TOTAL ROOF AREA  
 NORTH ROOF = 3,255 SQ. FEET  
 SOUTH ROOF = 3,255 SQ. FEET  
 TOTAL ROOF AREA = 6,510 SQ. FEET

DOWNSPOUTS PLACED TO SPLIT ROOF EQUALLY BETWEEN THE NORTH AND THE SOUTH.  
 6,510 SQ. FEET / 2 = 3,255 SQ. FEET PER DOWNSPOUT

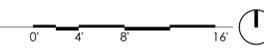
NORTH ROOF PROVIDED WITH (4) 2" DOWNSPOUT  
 3,255 SQ. FEET ACTUAL < 3,840 SQ. FEET ALLOWED = OK  
 (DOWNSPOUT PROVIDED IS 15% LARGER THAN REQUIRED)

SOUTH ROOF PROVIDED WITH (0) 4" DOWNSPOUT  
 3,255 SQ. FEET ACTUAL < 0 SQ. FEET ALLOWED = NOT OK  
 (EXISTING ROOF SLOPES ONTO ADJACENT PROPERTY AND DRAINS FROM THERE)

NOTE: AT EACH PRIMARY DRAIN LOCATION, PROVIDE SECONDARY OVERFLOW DRAIN OF EQUAL SIZE.



**1 ROOF - EXTERIOR IMPROVEMENTS**  
1/8" = 1'-0"



SPOON AUTOMOTIVE BUILDING  
SHELL IMPROVEMENTS  
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Project No: 1715  
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JUNE 16, 2021

PLAN - ROOF

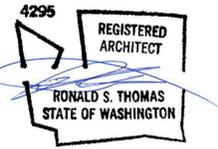
A-202

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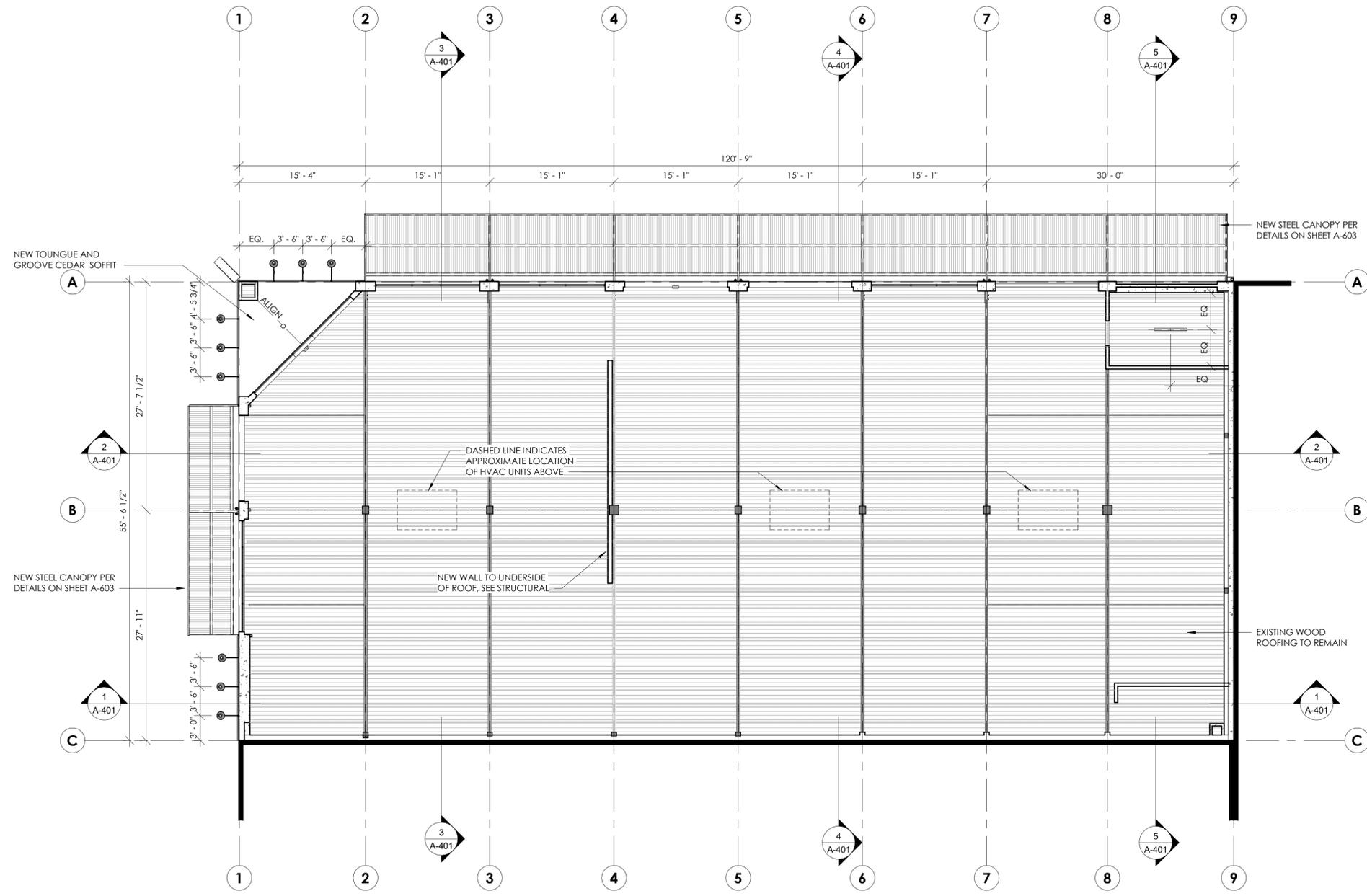
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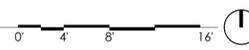


**REFLECTED CEILING PLAN LEGEND**

- 6" RECESSED CAN
- ANP LIGHTING - GOOSENECK
- 4' STRIP LIGHT
- EXIT LIGHT (ABOVE EXIT DOORS)



**1 FLOOR 1 RCP - EXTERIOR IMPROVEMENTS**  
1/8" = 1'-0"



SPOON AUTOMOTIVE BUILDING  
SHELL IMPROVEMENTS  
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**REFLECTED  
CEILING PLAN -  
FLOOR 1**

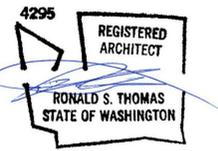
**A-203**

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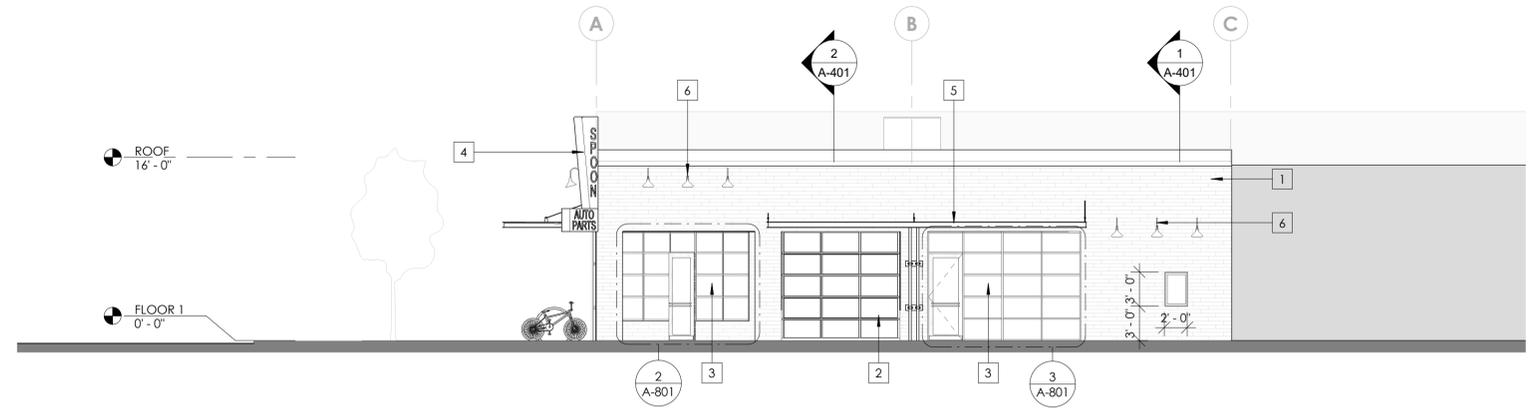
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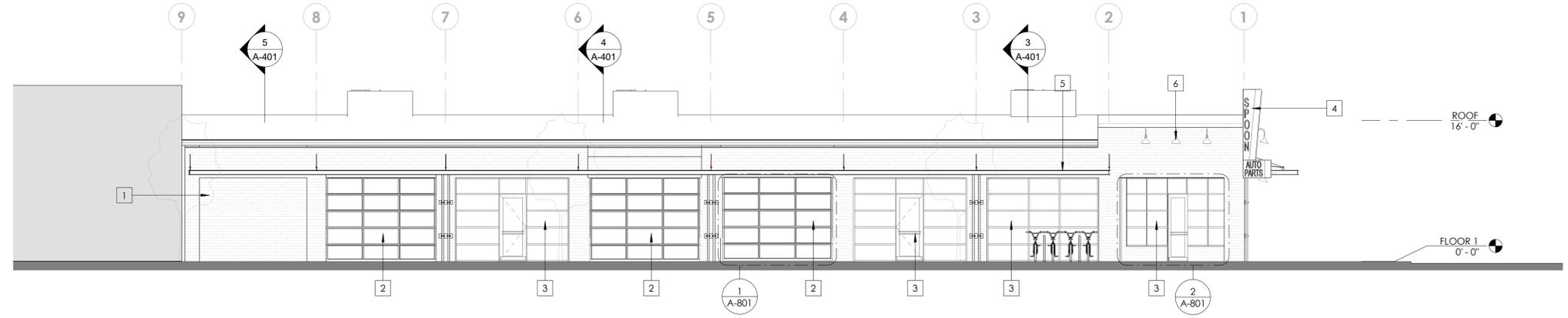


**ELEVATION LEGEND**

- 1 EXPOSED BOARDFORM CONCRETE - REMOVE EXISTING MARBLECRETE WALL FINISH TO EXPOSE EXISTING BOARD FORMED CONCRETE, PAINT (SW7654 LATICE OR APPROVED EQUAL)  
*ALTERNATE: PROVIDE NEW SMOOTH PLASTER FINISH OVER ALL EXTERIOR WALLS.*
- 2 GLASS OVERHEAD DOOR - INSTALL NEW GLASS OVERHEAD DOOR IN EXISTING OPENING, CLEAR LOW-E GLASS WITH BLACK ANODIZED ALUMINUM FINISH, EXAMPLE: CLOPAY AVANTEE OR APPROVED EQUAL.
- 3 STOREFRONT - SEE SCHEDULE. FINISH: BLACK. NOTE: STOREFRONT MULLIONS TO ALIGN WITH OVERHEAD GARAGE DOOR MULLIONS, TYPICAL. PROVIDE SHOP DRAWINGS FOR REVIEW.
- 4 EXISTING SPOON AUTOMOTIVE SIGN TO REMAIN
- 5 METAL CANOPY - FINISH: BLACK (SW7020 BLACK FOX OR APPROVED EQUAL)
- 6 GOOSENECK LIGHT FIXTURES - FINISH: BLACK, SEE REFLECTED CEILING PLAN.



**2 WEST - EXTERIOR IMPROVEMENTS**  
1/8" = 1'-0"



**1 NORTH - EXTERIOR IMPROVEMENTS**  
1/8" = 1'-0"

SPOON AUTOMOTIVE BUILDING  
SHELL IMPROVEMENTS  
118 CHERRY ST | OLYMPIA, WA

Project No: 1715  
PERMIT SET  
JUNE 16, 2021

ELEVATIONS

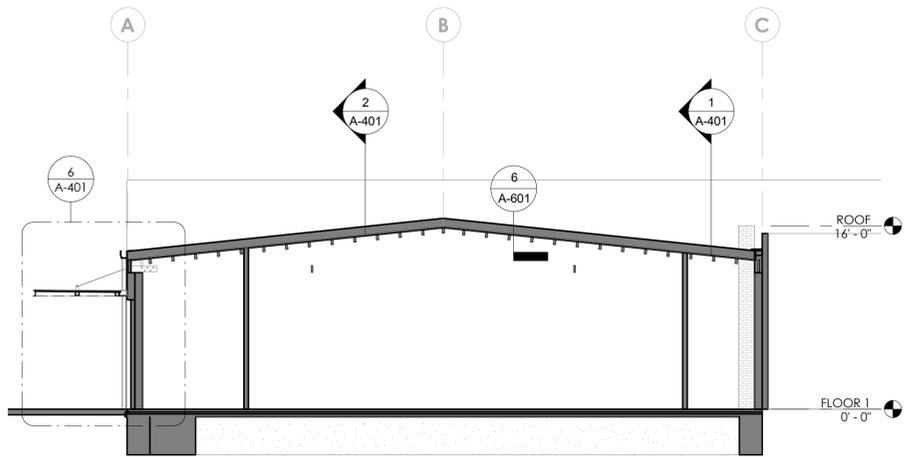
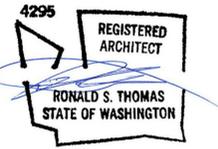
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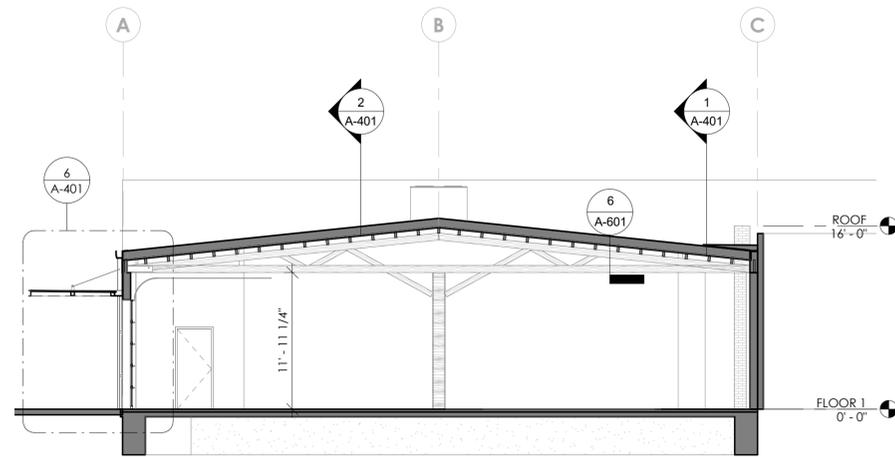


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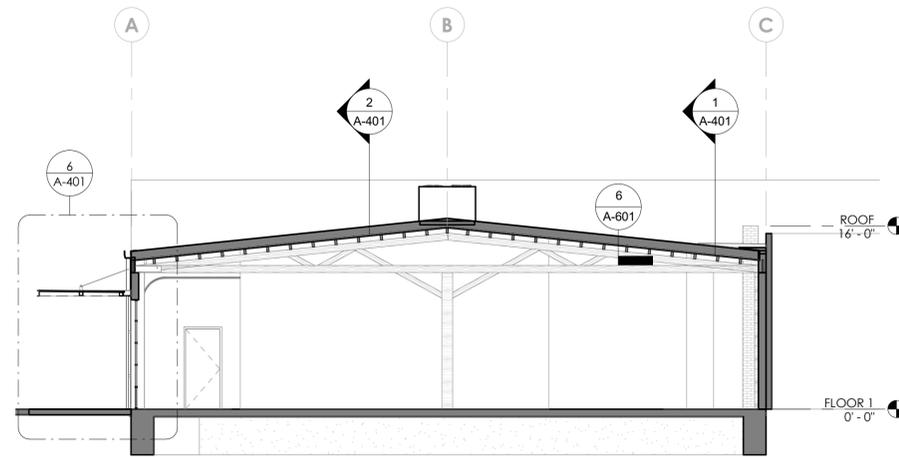
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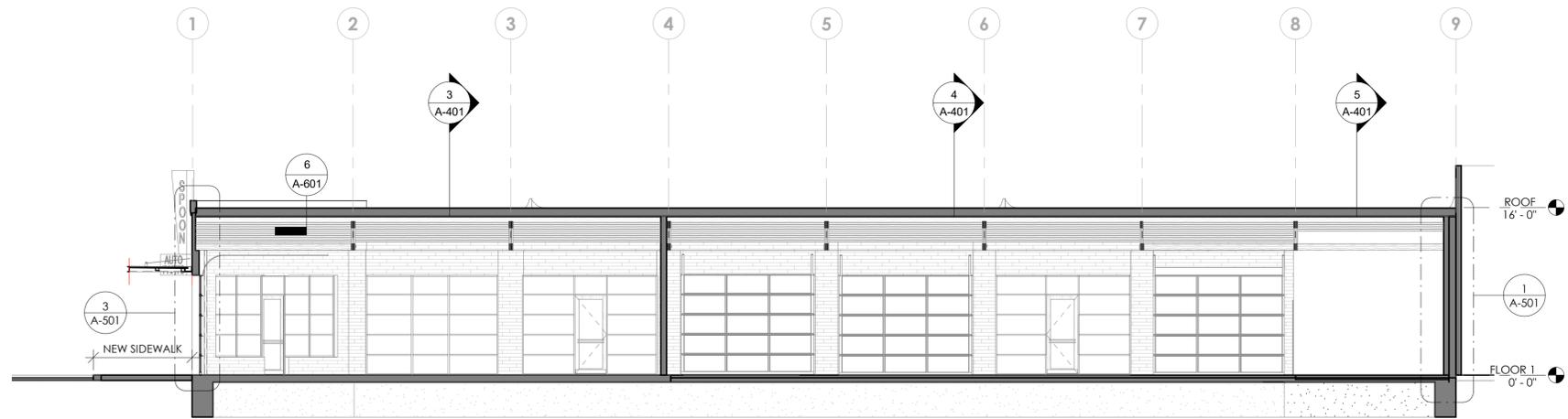
**5 SECTION 5**  
1/8" = 1'-0"  
0' 4' 8' 16'



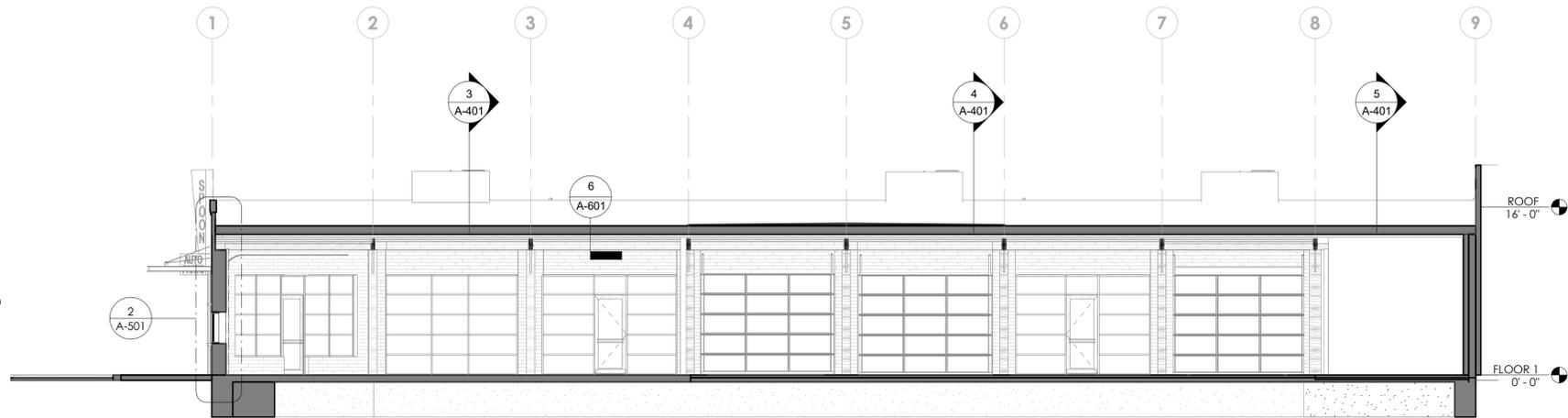
**4 SECTION 4**  
1/8" = 1'-0"  
0' 4' 8' 16'



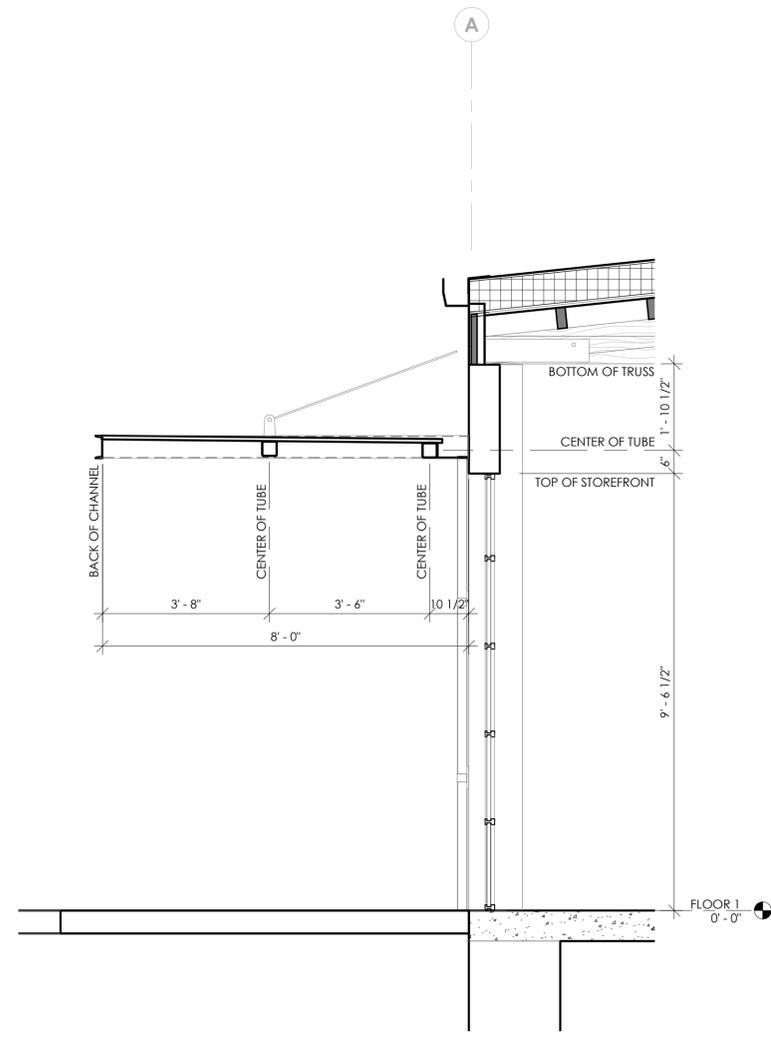
**3 SECTION 3**  
1/8" = 1'-0"  
0' 4' 8' 16'



**2 SECTION 2**  
1/8" = 1'-0"  
0' 4' 8' 16'



**1 SECTION 1**  
1/8" = 1'-0"  
0' 4' 8' 16'



**6 WALL SECTION @ CANOPY, TYPICAL**  
1/2" = 1'-0"  
0' 1' 2' 4'

SPOON AUTOMOTIVE BUILDING  
SHELL IMPROVEMENTS  
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SECTIONS

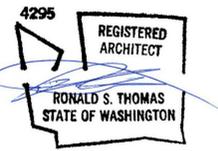
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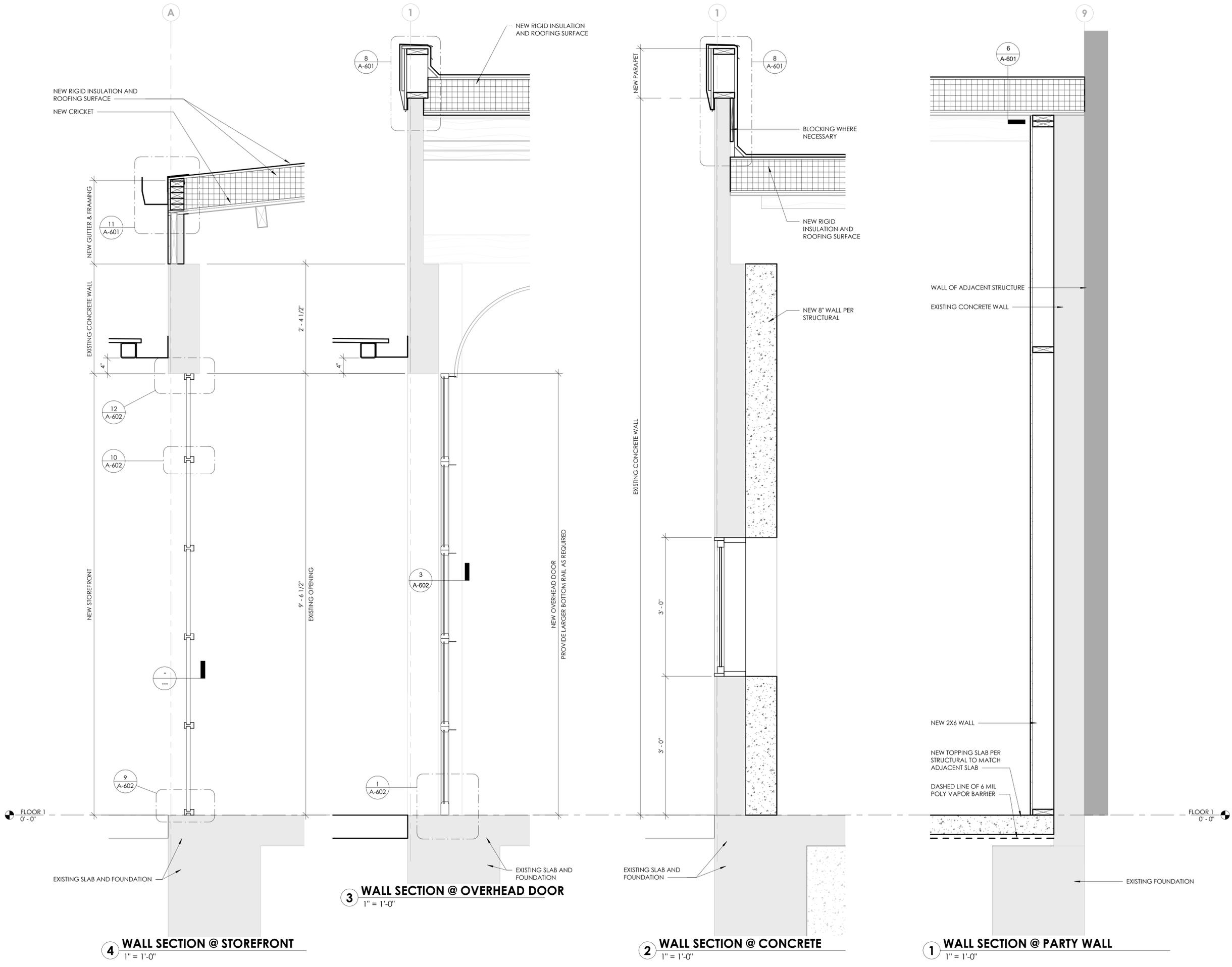
SPOON AUTOMOTIVE BUILDING  
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WALL SECTIONS

A-501

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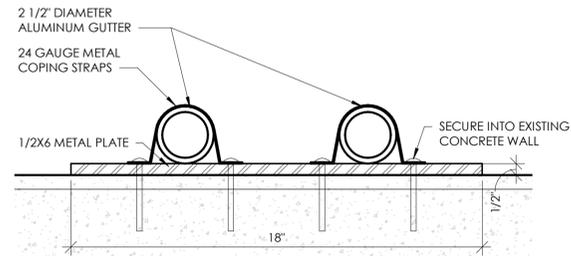


4 WALL SECTION @ STOREFRONT  
1" = 1'-0"

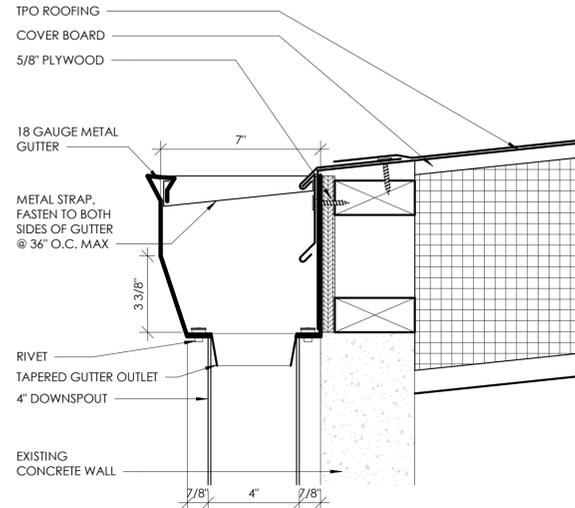
3 WALL SECTION @ OVERHEAD DOOR  
1" = 1'-0"

2 WALL SECTION @ CONCRETE  
1" = 1'-0"

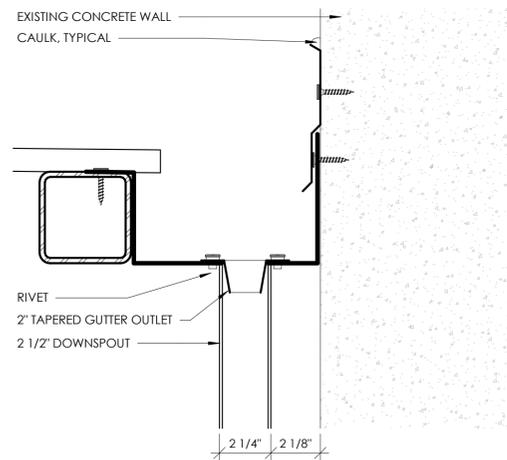
1 WALL SECTION @ PARTY WALL  
1" = 1'-0"



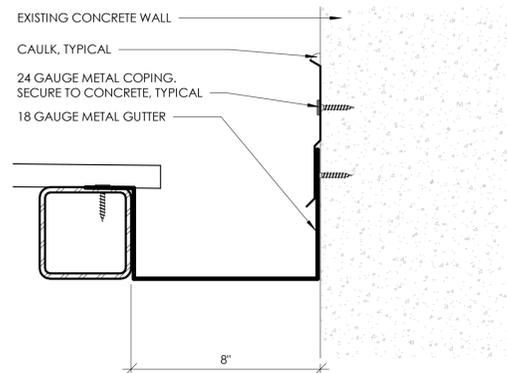
**13 GUTTER ATTACHMENT**  
3" = 1'-0"



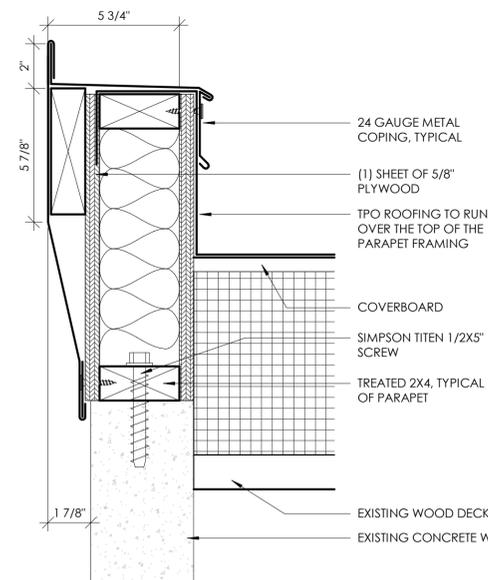
**11 ROOF DRAIN**  
3" = 1'-0"



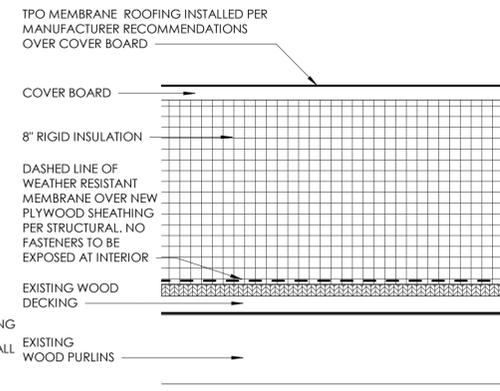
**10 CANOPY GUTTER @ DOWNSPOUT**  
3" = 1'-0"



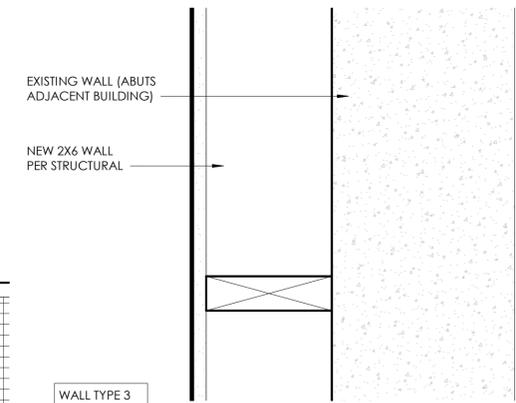
**9 CANOPY GUTTER - TYPICAL**  
3" = 1'-0"



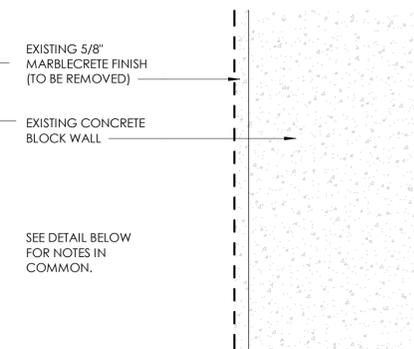
**8 PARAPET DETAIL - TYPICAL**  
3" = 1'-0"



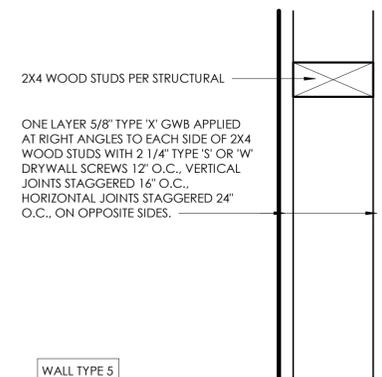
**6 ROOF CEILING ASSEMBLY**  
3" = 1'-0"



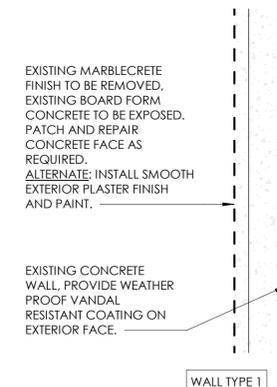
**3 PARTY WALL - EAST**  
3" = 1'-0"



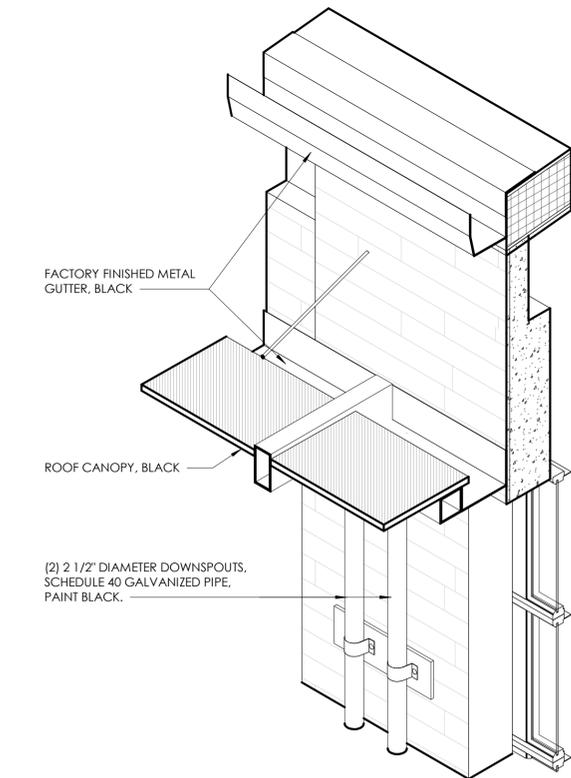
**2 EXISTING CONCRETE WALL @ HEAD**  
3" = 1'-0"



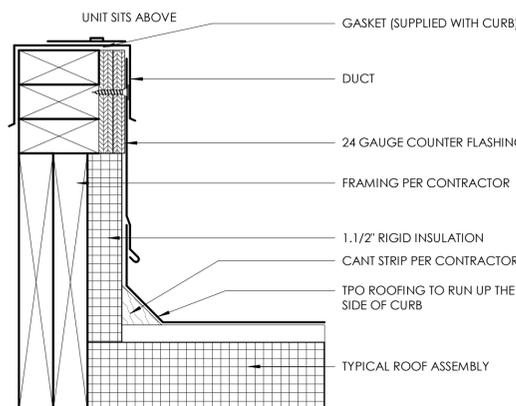
**5 2X4 WALL**  
3" = 1'-0"



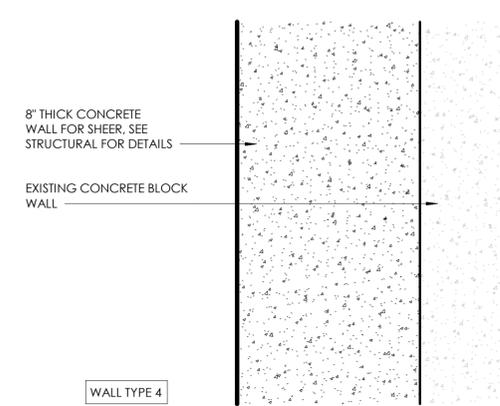
**1 EXISTING CONCRETE WALL @ BASE**  
3" = 1'-0"



**12 DOWNSPOUT ASSEMBLY**



**7 ROOF CURB @ HVAC**  
3" = 1'-0"

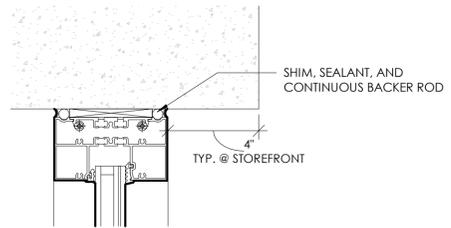
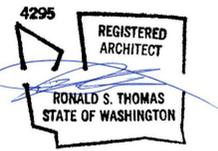


**4 8" CONCRETE WALL**  
3" = 1'-0"

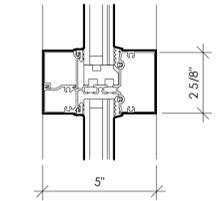


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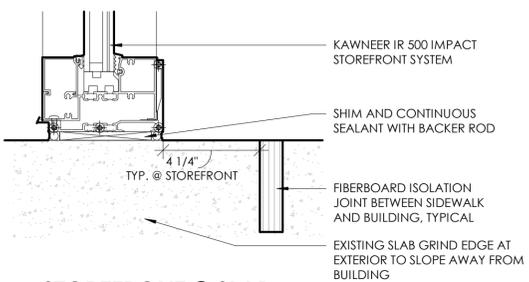
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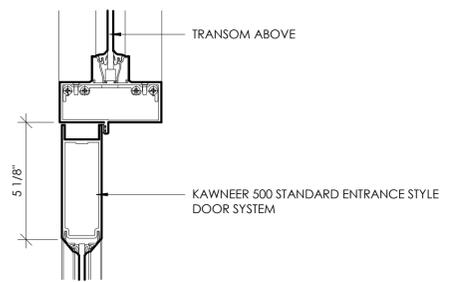
**12 STOREFRONT @ HEAD & JAMB**  
3" = 1'-0"



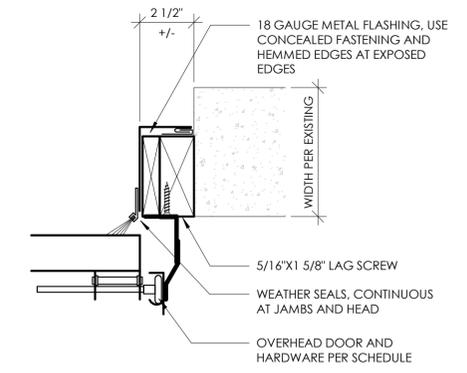
**10 STOREFRONT @ MULLION, TYPICAL**  
3" = 1'-0"



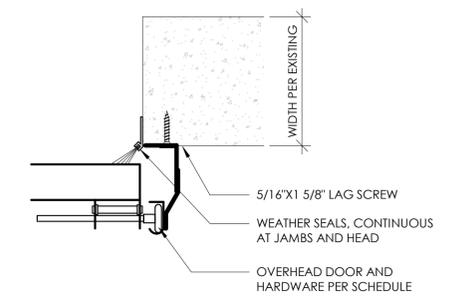
**9 STOREFRONT @ SLAB**  
3" = 1'-0"



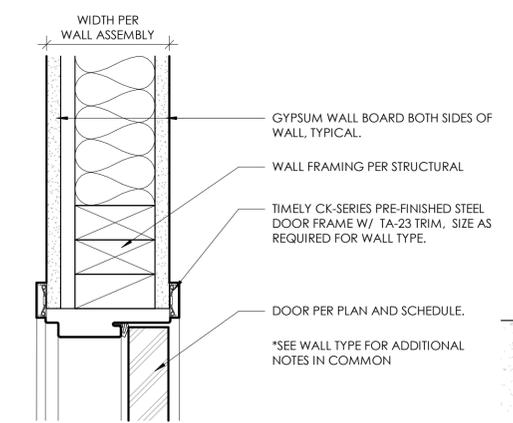
**6 DOOR HEAD @ STOREFRONT**  
3" = 1'-0"



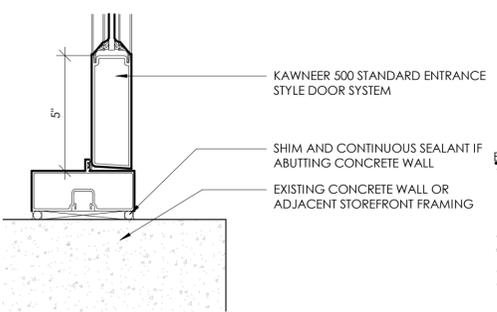
**3 OVERHEAD JAMB @ CONCRETE, TYP.**  
3" = 1'-0"



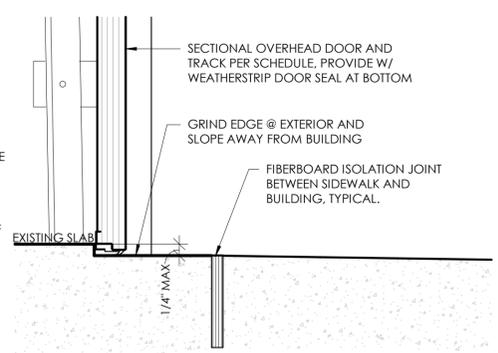
**7 OVERHEAD JAMB @ CONCRETE, GRID 6&7**  
3" = 1'-0"



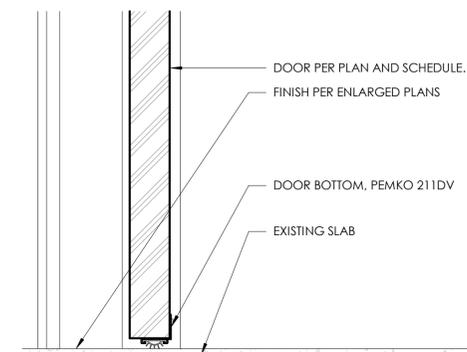
**8 DOOR JAMB & HEAD @ INTERIOR**  
3" = 1'-0"



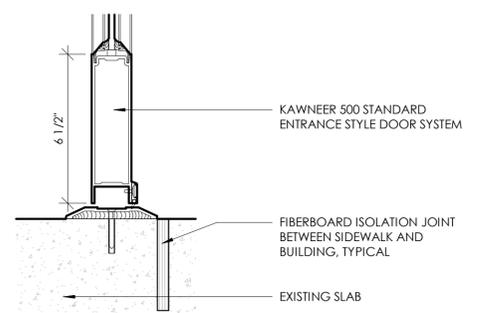
**5 DOOR JAMB @ STOREFRONT, TYPICAL**  
3" = 1'-0"



**1 OVERHEAD THRESHOLD @ SLAB**  
3" = 1'-0"



**7 DOOR THRESHOLD @ INTERIOR**  
3" = 1'-0"



**4 DOOR THRESHOLD @ STOREFRONT**  
3" = 1'-0"

SPOON AUTOMOTIVE BUILDING  
SHELL IMPROVEMENTS  
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DETAILS - DOOR

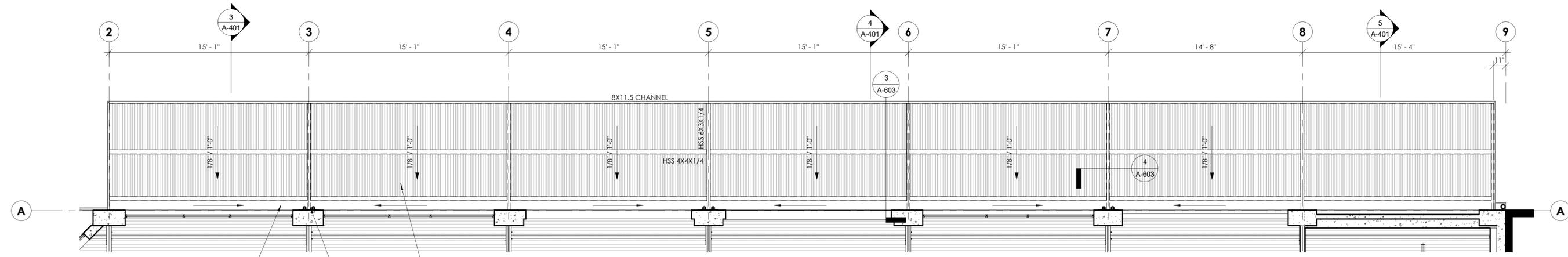
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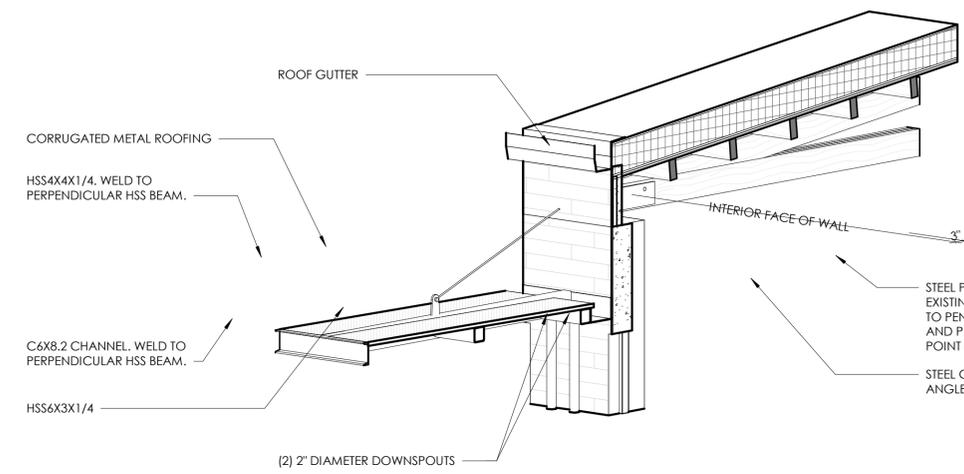
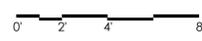


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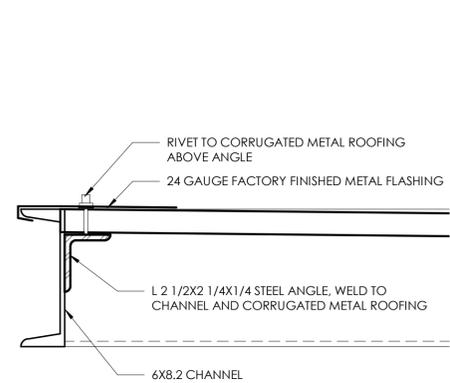
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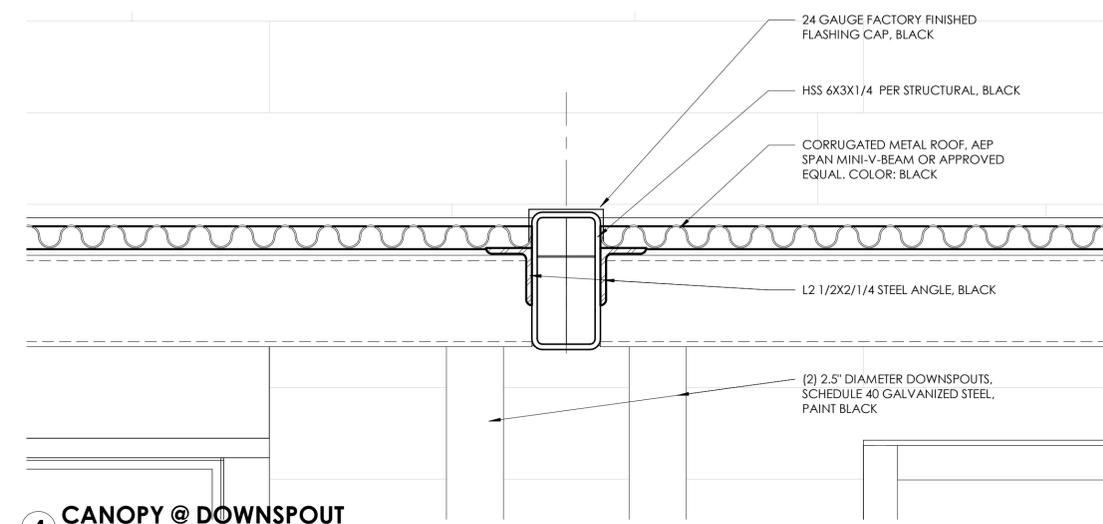
**1 FLOOR 1 - RCP CANOPIES NORTH**  
1/4" = 1'-0"



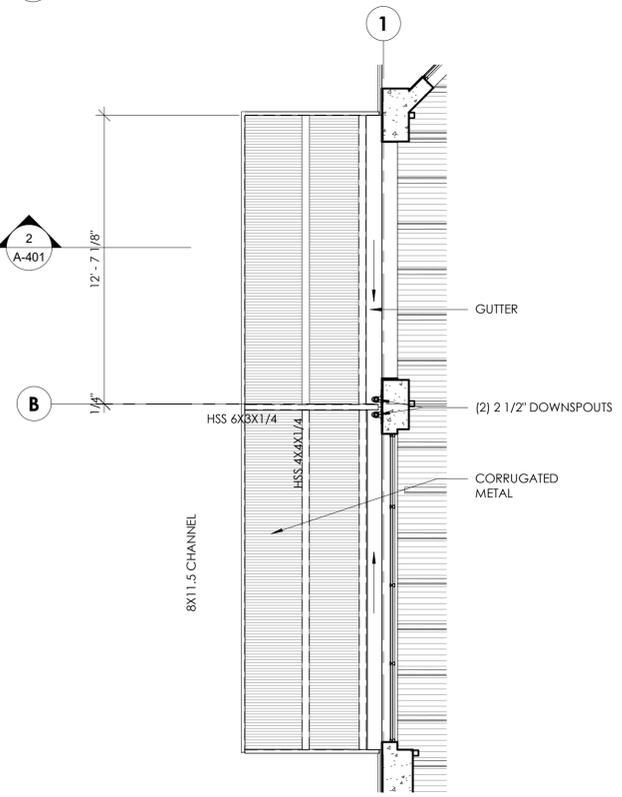
**6 CANOPY ASSEMBLY**



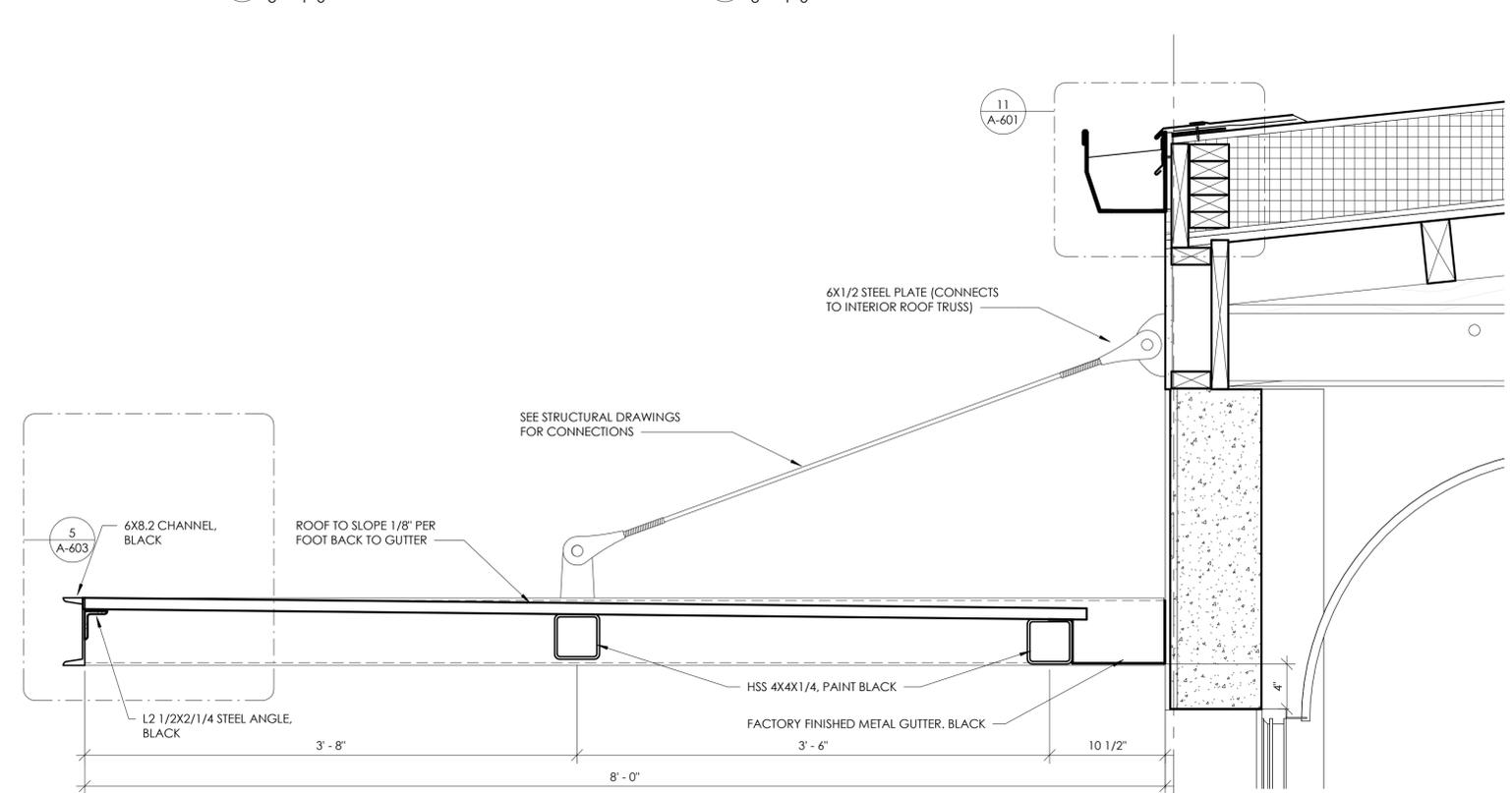
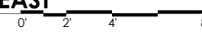
**5 CANOPY @ CHANNEL**  
3" = 1'-0"



**4 CANOPY @ DOWNSPOUT**  
3" = 1'-0"



**2 FLOOR 1 RCP - CANOPIES EAST**  
1/4" = 1'-0"



**3 CANOPY @ WALL**  
1 1/2" = 1'-0"



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DETAILS -  
CANOPY

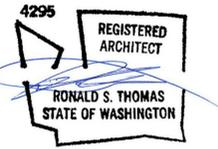
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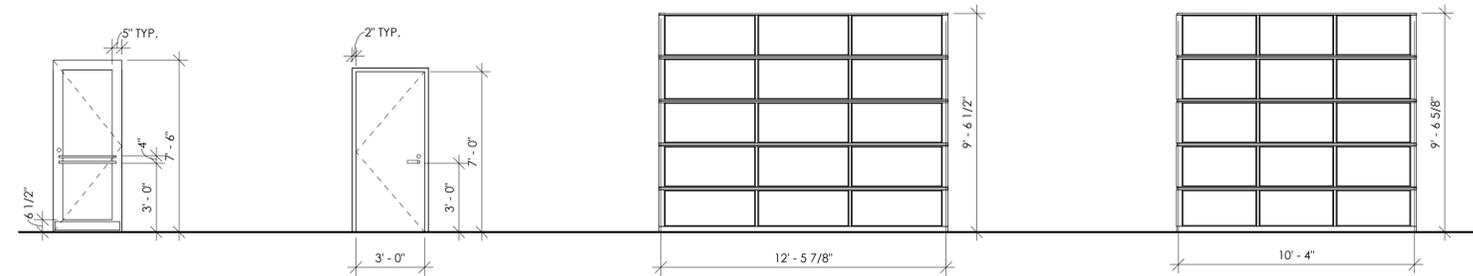
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DOOR SCHEDULE				
TYPE	STYLE	HEIGHT	WIDTH	QUANTITY
1	Storefront Door - Kawneer 500 7' 6" x 3'		3' - 1"	4
2	Hollow Metal Door - 36" x 84"	7' - 0"	3' - 0"	1
3	Overhead Glass Door - Clopay 9' 6 1/2" x 12' 6"	9' - 6 1/2"	12' - 6"	3
4	Overhead Glass Door - Clopay 9' 6 1/2" x 10' 4"	9' - 6 1/2"	10' - 4"	1

NOTE:

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECTS REVIEW OF ALL OPENINGS PRIOR TO ORDERING.



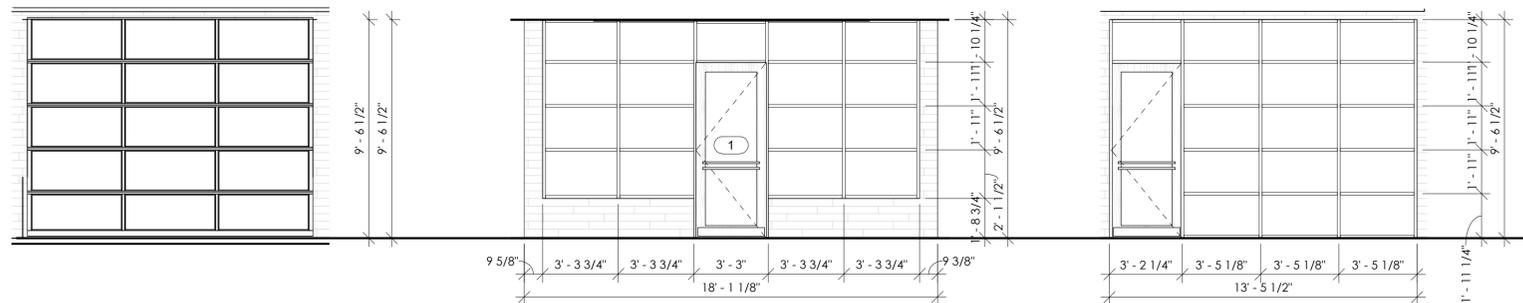
**DOOR TYPE 1**  
STOREFRONT DOOR - KAWNEER 500  
  
FULL LITE WITH DOUBLE PUSH/PULL BAR (CP-II STYLE) AND KICKPLATE (18 GAUGE METAL)  
DEADBOLT  
CLOSER

**DOOR TYPE 2**  
HOLLOW METAL DOOR & FRAME - CURRIES OR EQUAL  
  
LEVERSET  
CLOSER

**DOOR TYPE 3**  
OVERHEAD GLASS DOOR - CLOPAY OR EQUAL

**DOOR TYPE 4**  
OVERHEAD GLASS DOOR - CLOPAY OR EQUAL

STOREFRONT SCHEDULE	
TYPE	STYLE
SF	Storefront Glazing



**STOREFRONT @ NORTH ELEVATION**  
QUANTITY: 1

**STOREFRONT @ ENTRY**  
QUANTITY: 1

**STOREFRONT @ WEST ELEVATION**  
QUANTITY: 1

**SPOON AUTOMOTIVE BUILDING  
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**SCHEDULES**

**A-801**

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