THOMAS
architecture studios

LEGION & JEFFERSON

COMBINED DESIGN REVIEW

DECEMBER 2023

NARRATIVE: A NEW MULTI-FAMILY APARTMENT CONSTRUCTION BUILDING OF A TOTAL OF FIVE STORIES AND 87 UNITS, LOCATED AT THE INTERSECTION OF LEGION WAY SE & JEFFERSON ST SE. FOUR STORIES OF APARTMENTS OVER 1 STORY RETAIL AND PARKING. A TOTAL OF 60 PARKING STALLS WILL BE PROVIDED. THE SIDEWALK WIL BE IMPROVED WITH PEDESTRIAN AMENITIES SUCH AS NEW PAVING, LANDSCAPE STRIPS AND TREE GRATES WITH NEW STREET TREES, AS WELL AS BENCHES, WASTE RECEPTACLES, PLANTERS AND SHORT-TERM BICYCLE PARKING. THE NEW PROPOSED MATERIALS INCLUDE FACE BRICK SIDING AT THE PRIMARY CORNERS AND FACADES, WITH FIBER CEMENT PANEL INFILLS AND SIDING ON THE BACK OF THE BUILDING.

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SECTION 2: Vicinity Map, Context Plans, Context Elevations and Context Images

Architectural context plan and Vicinity Map/ Sheet A-003:

- Context plan with 100-foot perimeter boundary.
- Vicinity Map

Architectural context elevations/ Sheets A-004 & A-005:

- Context elevations with 100-foot perimeter boundary.

Context Images/ Sheet A-006.

SECTION 3: Site Plans, Floor Plans, and Solid waste

Architectural site plan/sheet A-101 and site features/ sheet A-102:

- Property lines with distances.
- Adjacent public rights-of-way.
- Contour lines representing grade of site, with major contour interval elevations called out.
- Existing and proposed site features. Storm water facilities shown on Civil Plan.
- Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
- Location of above ground mechanical or utility equipment not on public right of way, screening not required.
- Clearly delineated and labeled landscape and hardscape areas.
- Parking area layout and short-term bike parking.
- Location of all other site features including pedestrian amenities, bicycle racks, tree grates, etc.
    - Long term bicycle parking provided in units and structured parking per plan. Equipment shall be "Velo Hinge" by Feedback Sports, or similar in units & Arc Rack by Dero, or similar in enclosed parking area. For more info see A-900 (Bike Parking).
    - Short term bicycle parking provided outside the main parking entry and inside the lobby area using Arc Rack by Dero, or similar. For more info see A-900 (Bike Parking).
    - No monument or free-standing sign shall be provided. All signage will be mounted to the building or canopies.

Solid waste collection enclosure plan/ sheet A-103:

- Solid waste collection location and calculations. Location as indicated on plan.

Architectural building plans & roof plan sheets A-201, A-202 & A-203.

SECTION 4: Landscape Plans

Landscape Plan consistent with OMC 18.36 – Landscaping and Screening/
Sheets L001, L002 & L003:

- All features included on the detailed site plan.
- Location of existing (to remain) and proposed plants.
- Type of existing and proposed plants (i.e., groundcover, shrub, tree).
- Graphic depiction of the size of proposed tree canopies at maturity on plan (photos, sketches, other).
- Clearly delineated and labeled landscape, hardscape and building areas.
- Location and spacing of proposed plantings.
- Common and botanical names of each species, including native (N) or non-native (NN).
- Container or caliper size of plants at installation.

- Quantities of plant material by species and size at installation. Plan notes indicating types of hardscape material.

SECTION 5: Building Elevations

Architectural Elevations/ Sheets A-301 & A-302:

- Building elevations of all sides of the building labeled as North, South, East or West elevation.
- Finished floor elevation(s).
- Location of building doors and windows.
- Proposed building materials (Awning and roof materials see A-911.
- Location of exterior steps and stairways.
- Color rendering of any building elevation visible from a public right-of-way.
- Location of exterior light fixture(s). For more info. See A-903 to A906 (Lighting Specs/Details).
- Door details, including materials and colors. For more info. see A-908 (Colors & Materials – Door).
- Window & storefront details, including materials and colors of framing and glazing materials. For more info. see A-909 and A-910 (Colors & Materials – Windows/Storefront).
- Building details, including colors and texture of exterior building materials. For more info. See A-911 (Colors & Materials - Building)

SECTION 6: Lighting Details and Pedestrian Amenities

Bike Parking Detail/ Sheet A-900:

- Detail of short and long-term bicycle parking.

Sidewalk Pattern, Hardscape Materials and Pedestrian Amenities/ Sheets A-901 & A-902:

- Detail of hardscape material and each type of pedestrian amenity (i.e. size, type, and color of pavers, etc.).

Lighting Specs/ Sheet A-903:

- Exterior light fixtures proposed.

Lighting Details/ Sheets A-904, A-905 & A-906:

- Location and style of building lighting.

Solid waste collection enclosure and screen details:

- Refer to Previous Sheet A-103.

SECTION 7: Colors & Materials

Exterior Materials – Roof Deck Details/ Sheet A-907:

- Roof deck details.

Exterior Materials – Doors/ Sheet A-908:

- Door materials and colors.

Exterior Materials – Windows/ Sheet A-909:

- Window materials and colors.

Exterior Materials – Storefront/ Sheet A-910:

- Storefront materials and colors.

Exterior Materials – Building/ Sheet A-911:

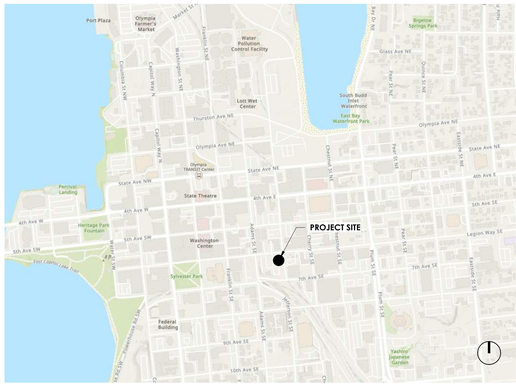
- Building façade materials and colors.

Colors of major signs:

- Refer to Previous Sheet A-102 (Site Features).

AERIAL VIEW

VICINITY MAP



URBAN OLYMPIA

LEGION & JEFFERSON

BUILDING INFORMATION

BUILDING DESCRIPTION:	A NEW MULTI-FAMILY APARTMENT BUILDING WITH 87 UNITS, LOCATED AT THE INTERSECTION OF LEGION WAY SE JEFFERSON ST SE. FOUR STORIES OF APARTMENTS OVER 1 STORY RETAIL AND PARKING. A TOTAL OF 58 PARKING STALLS WILL BE PROVIDED.
MODEL CODE:	2021 IBC
CONSTRUCTION TYPE:	VA
NUMBER OF STORIES:	5 STORIES
BUILDING HEIGHT:	75'
OCCUPANCY TYPE:	R-2, M, S-2
BUILDING AREA:	BUILDING: 84,449 SQ. FEET SITE: 29,411 SQ. FEET
ZONING:	DOWNTOWN BUSINESS
SITE ADDRESS:	411 LEGION WAY OLYMPIA, WA 98501 421 LEGION WAY OLYMPIA, WA 98501
PARCEL #:	78504600200, 78504600400
ABBREVIATED LEGAL DESCRIPTION:	SECTION 14 TOWNSHIP 18 RANGE 2 SW QUARTER SE SW PLAT SYLVESTER BLK 46 LT 2, 3, 5, 6 DOCUMENT 001/014, SYLVESTER L 4 B 46
JURISDICTION:	CITY OF OLYMPIA

MASTER FILE # _____
DRB, DETAIL DESIGN REVIEW APPROVAL ON _____

**SEE SITE PLAN FOR ADDITIONAL INFORMATION

DEFERRED SUBMITTALS

(REQUIRED FOR BUILDING PERMIT)

1. BUILDING PERMIT
2. CIVIL ENGINEERING PERMIT
3. MECHANICAL SYSTEMS PERMIT
4. PLUMBING PERMIT
5. ELECTRICAL PERMIT
6. FIRE SYSTEMS PERMIT
7. ENGINEERED TRUSS DESIGN

BUILDING ENVELOPE

"THE UNDERSIGNED HAS PROVIDED BUILDING ENCLOSURE DOCUMENTS THAT IN MY PROFESSIONAL JUDGEMENT ARE APPROPRIATE TO SATISFY THE REQUIREMENTS OF SECTIONS 1 THROUGH 10 OF EHB 1848."

THE PROJECT OWNER/DEVELOPER WILL ENGAGE THE SERVICES OF A THIRD PARTY INSPECTOR TO INSPECT THE EXTERIOR ENVELOPE DURING THE COURSE OF CONSTRUCTION FOR COMPLIANCE WITH THE BUILDING ENCLOSURE DESIGN AND FILE INSPECTION REPORT TO JURISDICTION. IF REQUIRED, PRIOR TO FINAL OCCUPANCY, SUBMIT A FOLLOW-UP REPORT TO JURISDICTION NOTING CORRECTIVE MEASURES TAKEN.

AN AIR BARRIER BUILDING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO JURISDICTION ONCE TEST IS COMPLETED: IF TEST RESULTS EXCEED 0.4 CFM/FT² AT 0.3 IN. WG THEN VISUALLY INSPECT AIR BARRIER AND SEAL NOTED SOURCES OF LEAKAGE: PRIOR TO FINAL OCCUPANCY, SUBMIT A FOLLOW-UP REPORT TO JURISDICTION NOTING CORRECTIVE MEASURES TAKEN.

SPECIFIC DETAILS CAN BE FOUND ON SHEETS A6.1, A6.2, A6.3, A6.4

**SEE SITE PLAN FOR ADDITIONAL INFORMATION

DESIGN TEAM

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ARCHITECTURAL SHEET LIST

ARCHITECTURAL SHEET LIST DRB

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URBAN OLYMPIA
LEGION & JEFFERSON
411 LEGION WAY
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

COVER SHEET

A001

BUILDING CODE SUMMARY - IBC 2018 WITH WAC AMENDMENTS DRB

GENERAL BUILDING INFORMATION:
- FOUR STORIES ABOVE GRADE PLANE (*STREET LEVEL*)
- TYPE OF CONSTRUCTION : V-A (TABLE 601)
- SPRINKLER SYSTEM : S- BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1
- FIRE SEPARATION DISTANCE (FSD) MORE THAN 30 FEET ON ALL SIDES
- MIXED OCCUPANCY BUILDING. DWELLING UNITS SEPARATED FROM OTHER OCCUPANCY TYPES WITH RATED ASSEMBLIES
- EQUIPPED WITH FIRE ALARMS AND EMERGENCY GENERATOR.

301 OCCUPANCY CLASSIFICATIONS

• 303.2 ASSEMBLY GROUP	**A2**;	COMMON SPACE/GYM/LOUNGE
• 304.1 BUSINESS GROUP	**B**;	LEASING OFFICE, FUTURE TI
• 309.1 MERCANTILE GROUP	**M**;	RETAIL
• 310.4 RESIDENTIAL GROUP	**R-2**;	APARTMENTS
• 311.2 MODERATE-HAZARD STORAGE GROUP	**S-1**;	SELF-SERVICE STORAGE ROOMS
• 311.3 UTILITY AND MISCELLANEOUS GROUP	**U**;	CARPORTS
• ACCESSORY OCCUPANCY		LEASING STORAGE,/TOILETS/MAIL-PACKAGE ROOM
• 509 INCIDENTAL USE		ELECTRICAL ROOM/ELEV. MECHANICAL

406 MOTOR-VEHICLE-RELATED OCCUPANCIES
- **406.2.2 CLEAR HEIGHT.** THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7 FEET.
- **406.2.3 ACCESSIBLE PARKING SPACES.** WHERE PARKING IS PROVIDED, ACCESSIBLE PARKING SPACES, ACCESS AISLES AND VEHICULAR ROUTES SERVING ACCESSIBLE PARKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1106.
- **406.2.4 FLOOR SURFACES**. FLOOR SURFACES SHALL BE OF CONCRETE OR SIMILAR APPROVED NONCOMBUSTIBLE AND NONABSORBENT MATERIALS. THE AREA OF FLOOR USED FOR THE PARKING OF AUTO-MOBILE OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
  EXCEPTIONS:
  1. ASPHALT PARKING SURFACES SHALL BE PERMITTED AT GROUND LEVEL FOR PUBLIC PARKING GARAGES AND PRIVATE CARPORTS.
  2. FLOORS OF GROUP S-2 PARKING GARAGES SHALL NOT BE REQUIRED TO HAVE A SLOPED SURFACE.
- **406.2.7 ELECTRIC VEHICLE CHARGING STATIONS.** WHERE PROVIDED, ELECTRIC VEHICLE CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 70.
- **406.2.8 MIXED OCCUPANCIES AND USES.** MIXED USES SHALL BE ALLOWED IN THE SAME BUILDING AS PUBLIC PARKING GARAGES AND REPAIR GARAGES IN ACCORDANCE WITH SECTION 508.1. MIXED USES IN THE SAME BUILDING AS AN OPEN PARKING GARAGE ARE SUBJECT TO SECTIONS 402.4.2.3, 406.5.11, 508.1, 510.3, 510.4 AND 510.7.
- **406.3 PRIVATE GARAGES AND CARPORTS** PRIVATE GARAGES AND CARPORTS SHALL COMPLY WITH SECTIONS 406.2 AND 406.3, OR THEY SHALL COMPLY WITH SECTIONS 406.2 AND 406.4.

420. GROUPS I-1, R-1, R-2, R-3 AND R-4
- **420.1 GENERAL.** OCCUPANCIES IN GROUP R-2 SHALL COMPLY WITH THE PROVISIONS OF SECTIONS 420.1 THROUGH 420.6 AND OTHER APPLICABLE PROVISIONS OF THIS CODE.
- **420.2 SEPARATION WALLS.** WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL BE CONSTRUCTED AS *FIRE PARTITIONS* AND HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR IN ACCORDANCE WITH SECTION 708.
- **420.3 HORIZONTAL SEPARATION.** FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS SHALL BE CONSTRUCTED AS *HORIZONTAL ASSEMBLIES* IN ACCORDANCE WITH SEC-SECTION 711.
- **420.4 AUTOMATIC SPRINKLER SYSTEM.** GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.8. QUICK-RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2.
- **420.5 FIRE ALARM SYSTEMS AND SMOKE ALARMS.** FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 907.2.6, 907.2.8, 907.2.9 AND 907.2.10, RESPECTIVELY. SINGLE -OR MULTIPLE- STATION SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907.2.11.

429 ELECTRIC VEHICLE CHARGING INFRASTRUCTURE
- **429.2.** WHERE PARKING IS PROVIDED, FIVE PERCENT OF PARKING SPACES SHALL BE PROVIDED WITH ELECTRIC VEHICLE CHARGING INFRASTRUCTURE IN COMPLIANCE WITH SECTIONS 427.3, 427.4 AND 427.5.
- **429.5 ELECTRIC VEHICLE CHARGING INFRASTRUCTURE FOR ACCESSIBLE PARKING SPACES.** WHEN ELECTRIC VEHICLE CHARGING INFRASTRUCTURE IS REQUIRED, ONE ACCESSIBLE PARKING SPACE SHALL BE SERVED BY ELECTRIC VEHICLE CHARGING INFRASTRUCTURE. THE ELECTRIC VEHICLE CHARGING INFRASTRUCTURE MAY ALSO SERVE ADJACENT PARKING SPACES NOT DESIGNATED AS ACCESSIBLE PARKING.

502. BUILDING ADDRESS
- **502.1 ADDRESS IDENTIFICATION.** NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION.

  REQUIRED: ADDRESS IDENTIFICATION SHALL COMPLY WITH 502.1 AND SHALL BE A MINIMUM OF 12 INCHES HIGH PER CITY OF LACEY FIRE DEPARTMENT REQUIREMENTS.
- **503.1.2- BUILDINGS ON THE SAME LOT.** TWO OR MORE BUILDINGS ON THE SAME LOT SHALL BE REGULATED AS SEPARATE BUILDINGS OR SHALL BE CONSIDERED AS PORTIONS OF ONE BUILDING WHERE THE BUILDING HEIGHT, NUMBER OF STORIES OF EACH BUILDING AND THE AGGREGATE BUILDING AREA OF THE BUILDINGS ARE WITHIN THE LIMITATIONS SPECIFIED IN SECTIONS 504 AND 506. THE PROVISIONS OF THIS CODE APPLICABLE TO THE AGGREGATE BUILDING SHALL BE APPLICABLE TO EACH BUILDING. REFER SECTION 705.3 EXCEPTION 1.

504 BUILDING HEIGHT AND STORIES:
- **TABLE 504.3** ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE:

OCCUPANCY CLASSIFICATION	SPRINKLERED	CONSTRUCTION TYPE	ALLOWABLE BUILDING HEIGHT
A, B, M, S	YES	VA	70 FEET
R	YES	VA	70 FEET

- **TABLE 504.4** ALLOWABLE STORIES ABOVE GRADE PLANE:

OCCUPANCY CLASSIFICATION	SPRINKLERED	CONSTRUCTION TYPE	ALLOWABLE NO. OF STORIES
A	YES	VA	3
B, M, R2, S1	YES	VA	4
S2	YES	VA	5

508 MIXED USE AND OCCUPANCY
- REQUIRED SEPARATION OF OCCUPANCIES AS PER TABLE 508.4

BETWEEN -	A2&S2	- NO
	R&M,B,S2	- 1HR
	S2&S1	- 1HR
	A&M	- 1HR

509 INCIDENTAL USES
- **509.2 OCCUPANCY CLASSIFICATION.** INCIDENTAL USES SHALL NOT BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. INCIDENTAL USES SHALL BE INCLUDED IN THE BUILDING OCCUPANCIES WITHIN WHICH THEY ARE LOCATED.
- PER TABLE 509, STATIONARY STORAGE BATTERY SYSTEMS HAVING AN ENERGY CAPACITY GREATER THAN THE THRESHOLD QUANTITY SPECIFIED IN TABLE 1206.2 OF THE INTERNATIONAL FIRE CODE SHALL HAVE SEPARATION OF 2 HOURS IN GROUP R OCCUPANCIES.
- FOR ELECTRICAL INSTALLATIONS AND TRANSFORMERS, SEE SECTIONS 110.26 THROUGH 110.34 AND SECTIONS 450.8 THROUGH 450.48 OF NFPA 70 FOR PROTECTION AND SEPARATION REQUIREMENTS.

510.7.1 SPECIAL PROVISIONS - FIRE SEPARATION
MEANS OF EGRESS FOR THE UPPER OCCUPANCY SHALL CONFORM TO CHAPTER 10 AND SHALL BE SEPARATED FROM THE PARKING OCCUPANCY BY FIRE BARRIERS HAVING NOT LESS THAN A 2-HOUR FIRE-RESISTANCE RATING AS REQUIRED BY SECTION 707 WITH SELF-CLOSING DOORS COMPLYING WITH SEC-TION 716 OR HORIZONTAL ASSEMBLIES HAVING NOT LESS THAN A 2-HOUR FIRE-RESISTANCE RATING AS REQUIRED BY SECTION 711, WITH SELF-CLOSING DOORS COMPLYING WITH SECTION 716. MEANS OF EGRESS FROM THE OPEN PARKING GARAGE SHALL COMPLY WITH SECTION 406.5.

602 CONSTRUCTION CLASSIFICATION
- TYPE VA PER TABLE 601 - 1 HR RATED PRIMARY STRUCTURAL FRAME, BEARING WALLS, FLOOR AND ROOF ASSEMBLY.
- 602. FIRE RATING REQUIREMENT FOR EXTERIOR WALLS BASED ON FSD OF MORE THAN 30' IS ZERO.

704 FIRE-RESISTANCE RATING OF STRUCTURAL MEMBERS
- **704.2 COLUMN PROTECTION.** WHERE COLUMNS ARE REQUIRED TO HAVE PROTECTION TO ACHIEVE A FIRE-RESISTANCE RATING, THE ENTIRE COLUMN SHALL BE PROVIDED INDIVIDUAL ENCASEMENT PROTECTION BY PROTECTING IT ON ALL SIDES FOR THE FULL COLUMN HEIGHT, INCLUD-ING CONNECTIONS TO OTHER STRUCTURAL MEMBERS, WITH MATERIALS HAVING THE REQUIRED FIRE-RESISTANCE RATING.
- **704.4.1 LIGHT-FRAME CONSTRUCTION.** STUDS, COLUMNS AND BOUNDARY ELEMENTS THAT ARE INTEGRAL ELEMENTS IN WALLS OF LIGHT-FRAME CONSTRUCTION AND ARE LOCATED ENTIRELY BETWEEN THE TOP AND BOTTOM PLATES OR TRACKS SHALL BE PERMITTED TO HAVE REQUIRED FIRE-RESISTANCE RATINGS PROVIDED BY THE MEMBRANE PROTECTION PROVIDED FOR THE WALL.
- **704.4.2 HORIZONTAL ASSEMBLIES.** HORIZONTAL ASSEMBLIES ARE PERMITTED TO BE PROTECTED WITH A MEMBRANE OR CEILING WHERE THE MEMBRANE OR CEILING PROVIDES THE REQUIRED FIRE-RESISTANCE RATING AND IS INSTALLED IN ACCORDANCE WITH SEC-TION 711.

705 EXTERIOR WALLS
- **705.2.3.1 BALCONIES AND SIMILAR PROJECTIONS.**
  EXCEPTIONS:
  3. BALCONIES AND SIMILAR PROJECTIONS ON BUILDINGS OF TYPES III, IV AND V CONSTRUCTION SHALL BE PERMITTED TO BE OF TYPE V CONSTRUCTION AND SHALL NOT BE REQUIRED TO HAVE A FIRE-RESISTANCE RATING WHERE SPRINKLER PROTECTION IS EXTENDED TO THESE AREAS.
  4. WHERE SPRINKLER PROTECTION IS EXTENDED TO THE BALCONY AREAS, THE AGGREGATE LENGTH OF THE BALCONY FOR EACH FLOOR SHALL NOT BE LIMITED.
  MINIMUM DISTANCE OF PROJECTION FROM LINE OF FIRE SEPARATION IS 40 INCHES WHEN FSD IS 5 FEET OR GREATER.
- **705.5 FIRE-RESISTANCE RATINGS.** THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 10 FEET (3048 MM) SHALL BE RATED FOR EXPOSURE TO FIRE FROM THE INSIDE.
- PER **TABLE 705.8**, THERE IS NO LIMIT TO THE MAXIMUM AREA OF UNPROTECTED EXTERIOR WALL OPENINGS IN SPRINKLERED BUILDINGS WHERE FSD IS 30 FEET OR GREATER.
- **705.10 DUCTS AND AIR TRANSFER OPENINGS.** PENETRATIONS BY AIR DUCTS AND AIR TRANSFER OPENINGS IN FIRE-RESISTANCE-RATED EXTERIOR WALLS REQUIRED TO HAVE PROTECTED OPENINGS SHALL COMPLY WITH SECTION 717.
- **705.11 PARAPETS.** EXCEPTIONS: A PARAPET NEED NOT BE PROVIDED ON AN EXTERIOR WALL WHERE ANY OF THE FOLLOWING CONDITIONS EXIST:
  1. THE WALL IS NOT REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 602 BECAUSE OF FIRE SEPARATION DISTANCE.
- **707.4 EXTERIOR WALLS.** WHERE EXTERIOR WALLS SERVE AS A PART OF A REQUIRED FIRE-RESISTANCE-RATED SHAFT OR STAIRWAY OR RAMP ENCLOSURE, OR SEPARATION, SUCH WALLS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 705 FOR EXTERIOR WALLS AND THE FIRE RESISTANCE-RATED ENCLOSURE OR SEPARATION REQUIREMENTS SHALL NOT APPLY.
- **707.5 CONTINUITY.** FIRE BARRIERS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE AND SHALL BE SECURELY ATTACHED THERETO. SUCH FIRE BARRIERS SHALL BE CONTINUOUS THROUGH CONCEALED SPACE, SUCH AS THE SPACE ABOVE A SUSPENDED CEILING. JOINTS AND VOIDS AT INTERSECTIONS SHALL COMPLY WITH SECTIONS 707.8 AND 707.9.
- **707.3.1 SHAFT ENCLOSURES**. THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM A SHAFT SHALL COMPLY WITH SECTION 713.4.
- **707.3.2 INTERIOR EXIT STAIRWAY AND RAMP CONSTRUCTION.** THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN INTERIOR EXIT STAIRWAY OR RAMP SHALL COMPLY WITH SECTION 1023.1.
- **708.3 FIRE-RESISTANCE RATING. FIRE PARTITIONS** SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR. EXCEPTIONS:1. CORRIDOR WALLS PERMITTED TO HAVE A 1/2-HOUR FIRE-RESISTANCE RATING BY TABLE 1020.1.
- **708.3 FIRE PARTITIONS.** WALLS SEPARATING DWELLING UNITS SHALL BE CONSIDERED FIRE PARTITIONS AND SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR
  EXCEPTION 1: CORRIDOR WALLS PERMITTED TO HAVE A 1/2-HOUR FIRE-RESISTANCE RATING BY TABLE 1020.1.
- **708.4 CONTINUITY.** FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW AND BE SECURELY ATTACHED TO ONE OF THE FOLLOWING:
  1. THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE.
  2. THE UNDERSIDE OF A FLOOR/CEILING OR ROOF/CEILING ASSEMBLY HAVING A FIRE-RESISTANCE RATING THAT IS NOT LESS THAN THE FIRE-RESISTANCE RATING OF THE FIRE PARTITION.

711 HORIZONTAL ASSEMBLIES
- **711.2.4.1 SEPARATING MIXED OCCUPANCIES.** WHERE THE HORIZONTAL ASSEMBLY SEPARATES MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4 BASED ON THE OCCUPANCIES BEING SEPARATED.
- **711.2.3 SUPPORTING CONSTRUCTION:** THE SUPPORTING STRUCTURE OF THE FIRE RATED HORIZONTAL ASSEMBLY SHALL BE RATED.
  *NOTE: ACCORDING TO IBC 711.2.4.3 DWELLING UNITS AND SLEEPING UNITS SHALL NOT BE LESS THAN 1/2-HOUR FIRE-RESISTANCE-
  RATED CONSTRUCTION IN A BUILDING OF TYPE V-A CONSTRUCTION
- **711.2.4.3 DWELLING UNITS AND SLEEPING UNITS.** HORIZONTAL ASSEMBLIES SERVING AS DWELLING OR SLEEPING UNIT SEPARATIONS IN ACCORDANCE WITH SECTION 420.3 SHALL BE NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION.

713 SHAFT ENCLOSURES
- **713.4 FIRE-RESISTANCE RATING.** SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE, AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES. THE NUMBER OF STORIES CONNECTED BY THE SHAFT ENCLOSURE SHALL INCLUDE ANY BASEMENTS BUT NOT ANY MEZZANINES. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THE FLOOR ASSEMBLY PENETRATED, BUT NEED NOT EXCEED 2 HOURS. SHAFT ENCLOSURES WITH NON SYMMETRICAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF SECTION 703.2.1 AND TESTED IN COMPLIANCE WITH ASTM E119 OR UL 263
- **713.7 OPENINGS.** OPENINGS IN A SHAFT ENCLOSURE SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716 AS REQUIRED FOR FIRE BARRIERS.

714 PENETRATIONS
- **714.5.1.1 FIRE-RESISTANCE-RATED ASSEMBLIES.** THROUGH PENETRATIONS SHALL BE PROTECTED USING SYSTEMS INSTALLED AS TESTED IN THE APPROVED FIRE-RESISTANCE-RATED ASSEMBLY.
- **714.5.1.2 THROUGH-PENETRATION FIRESTOP SYSTEM.** THROUGH PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH (2.49 PA) OF WATER AND SHALL HAVE AN F RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED.
- **715.3 FIRE TEST CRITERIA.** FIRE-RESISTANT JOINT SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF EITHER ASTM E1966 OR UL 2079

716 OPENING PROTECTIVES
- **716.2.1.1 SIDE-HINGED OR PIVOTED SWINGING DOORS.** FIRE DOOR ASSEMBLIES WITH SIDE-HINGED AND PIVOTED SWINGING DOORS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C. FOR TESTS CONDUCTED IN ACCORDANCE WITH NFPA 252, THE FIRE TEST SHALL BE CONDUCTED USING THE POSITIVE PRESSURE METHOD SPECIFIED IN THE STANDARD.
- **716.2.2.1 DOOR ASSEMBLIES IN CORRIDORS AND SMOKE BARRIERS.** FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN CORRIDOR WALLS OR SMOKE BARRIER WALLS HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C WITHOUT THE HOSE STREAM TEST.
- **716.2.2.2 DOOR ASSEMBLIES IN OTHER FIRE PARTITIONS.** FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN OTHER FIRE PARTITIONS HAVING A FIRE-RESISTANCE RATING OF 0.5 HOUR IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252, UL 10B OR UL 10C WITH THE HOSE STREAM TEST.
- **TABLE 716.1(2) -** REFER FOR OPENING FIRE DOOR ASSEMBLIES, RATINGS AND MARKINGS
- **716.2.6 FIRE DOOR HARDWARE AND CLOSURES**.
- **716.2.6.1 DOOR CLOSING.** FIRE DOORS SHALL BE LATCHING AND SELF- OR AUTOMATIC-CLOSING IN ACCORDANCE WITH THIS SECTION. EXCEPTION 2. THE ELEVATOR CAR DOORS AND THE ASSOCIATED HOISTWAY ENCLOSURE DOORS AT THE FLOOR LEVEL DESIGNATED FOR RECALL IN ACCORDANCE WITH SECTION 3003.2 SHALL BE PERMITTED TO REMAIN OPEN DURING PHASE I EMERGENCY RECALL OPERATION.
- **716.2.6.2 LATCH REQUIRED.** UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE SIDE-HINGED SWINGING FIRE DOORS AND BOTH LEAVES OF PAIRS OF SIDE-HINGED SWINGING FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED.
- **718.2.2 CONCEALED WALL SPACES**. FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
  1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
  2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).

717 DUCTS AND AIR TRANSFER OPENINGS
- **717.5.6 EXTERIOR WALLS.** DUCTS AND AIR TRANSFER OPENINGS IN FIRE-RESISTANCE-RATED EXTERIOR WALLS REQUIRED TO HAVE PROTECTED OPENINGS IN ACCORDANCE WITH SECTION 705.10 SHALL BE PROTECTED WITH LISTED FIRE DAMPERS INSTALLED IN ACCORDANCE WITH THEIR LISTING.

803 WALL AND CEILING FINISHES
- **803.13 INTERIOR FINISH REQUIREMENTS BASED ON OCCUPANCY.** INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13.

CH.9 FIRE PROTECTION AND LIFE SAFETY SYSTEMS
- **903.3.1.1 NFPA 13 SPRINKLER SYSTEMS**. WHERE THE PROVISIONS OF THIS CODE REQUIRE THAT A BUILDING OR PORTION THEREOF BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THIS SECTION, SPRINKLERS SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13 EXCEPT AS PROVIDED IN SECTIONS 903.3.1.1.1 AND 903.3.1.1.2.
- **TABLE 906.3(1) FIRE EXTINGUISHERS** FOR CLASS A FIRE HAZARDS IN LIGHT HAZARD OCCUPANCY SHALL HAVE MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER AT 75 FEET.
- **3006.2 HOISTWAY OPENING PROTECTION.** ELEVATOR HOISTWAY PROTECTION NOT REQUIRED AS NONE OF THE CONDITIONS FOR THE THIRD ITEM APPLY
- **3002.3 EMERGENCY SIGNS.** AN APPROVED PICTORIAL SIGN OF A STANDARDIZED DESIGN SHALL BE POSTED ADJACENT TO EACH ELEVATOR CALL STATION ON ALL FLOORS INSTRUCTING OCCUPANTS TO USE THE EXIT STAIRWAYS AND NOT TO USE THE ELEVATORS IN CASE OF FIRE. THE SIGN SHALL READ: IN CASE OF FIRE, ELEVATORS ARE OUT OF SERVICE. USE EXIT STAIRS.
  EXCEPTIONS: 1. THE EMERGENCY SIGN SHALL NOT BE REQUIRED FOR ELEVATORS THAT ARE PART OF AN ACCESSIBLE MEANS OF EGRESS COMPLYING WITH SECTION 1009.4.

CH. 10 MEANS OF EGRESS
- SEE EGRESS PLANS, SHEET A-005, FOR ADDITIONAL MEANS OF EGRESS OCCUPANT LOADS, CALCULATIONS, AND CODE REQUIREMENTS

WASHINGTON STATE ENERGY CODE DRB

SECTION C402 BUILDING ENVELOPE REQUIREMENTS

COMPLIANCE PATH: PRESCRIPTIVE

ENVELOPE INSULATION: PER TABLE C402.1.3 (ZONE 4C, GROUP R); SEE BASIS OF DESIGN FOR PRODUCT NRFC COMPLIANCE VALUES

INSULATION & AREA:	
ROOF ABOVE DECK:	R-38 CI (MIN.)
WALLS - COMMERCIAL ABOVE GRADE:	R-21 BATT (MIN.)
WALLS - RESIDENTIAL ABOVE GRADE:	R-20 BATT+ 3.8 CI (MIN.) OR R-25
MASS WALLS:	R-9.5 CI (MIN.)
FLOORS:	R-30 BETWEEN RESIDENTIAL & COMMERCIAL
SLAB ON GRADE:	R-10 (PERIMETER)
OPAQUE DOORS:	R-4.75 (AND ROLL-UP)
HOT WATER PIPE:	R-4
ELEC WATER HEATER:	R-10
DUCTS:	R-8

OPAQUE DOORS: PER TABLE C402.1.4(ZONE 4C, GROUP R); SEE BASIS OF DESIGN FOR PRODUCT NRFC COMPLIANCE VALUES

SWINGING:	U-0.37
NON SWINGING:	U-0.34
GARAGE	U-0.31

VERTICAL FENESTRATION: PER TABLE C402.4 (ZONE 4C); SEE BASIS OF DESIGN FOR PRODUCT NRFC COMPLIANCE VALUES

U-VALUE & AREA:		
FIXED & STOREFRONTS	U-0.38 (MAX AVERAGE)	
OPERABLE	U-0.40 (MAX AVERAGE)	
ENTRANCE DOORS	U-0.60 (MAX AVERAGE)	
OTHER	U-0.30 (MAX AVERAGE)	
SHGC (PF< 0.2):	SOUTH, EAST, WEST	0.38 (MAX)
	NORTH	0.51 (MAX)

ENVELOPE NOTES:
1. IDENTIFICATION MARK SHALL BE APPLIED TO ALL INSULATION MATERIALS AND INSULATION INSTALLED SUCH THAT THE MARK IS READILY OBSERVABLE DURING INSPECTION PER C303.1.1 AND 303.1.2
2. FENESTRATION PRODUCTS SHALL BE LABELED WITH NFRC U-FACTOR, SHGC, VT AND LEAKAGE RATING, OR IF PRODUCTS DO NOT HAVE AN NFRC RATING, INDICATE APPLICABLE WSEC, CHAPTER 3 DEFAULT VALUES PER C303.1.3 AND 402.4.3 .
3. STANDARD WOOD FRAME CONSTRUCTION PER WSEC A103.2.1 AND STRUCTURAL PLANS.
4. VESTIBULES: DOORS ONLY FROM PRIMARY THE ENTRY ON UNION AVENUE AND FROM THE MEZZANINE PARKING STRUCTURE SHALL BE USED AS BUILDING ENTRANCES. DWELLING UNITS AND OTHER BUILDING EXITS SHALL NOT BE USED AS BUILDING ENTRANCES AND NOT BE REQUIRED TO HAVE VESTIBULES PER WSEC C402.5.7 EXCEPTIONS 1 AND 3. VESTIBULES SHALL BE UNCONDITIONED WITH INTERIOR WALLS/FENESTRATION MEETING THERMAL ENVELOPE REQUIREMENTS.
5. PROJECT CLOSE OUT DOCUMENTATION IS REQUIRED PER 2018 WSEC C106.3 AND SHALL INCLUDE APPLICABLE CALCULATIONS, WSEC ENVELOPE COMPLIANCE REPORTS, AND FENESTRATION NFRC RATING CERTIFICATES
6. THE PROJECT OWNER/DEVELOPER WILL ENGAGE THE SERVICES OF A THIRD PARTY INSPECTOR TO INSPECT THE EXTERIOR ENVELOPE DURING THE COURSE OF CONSTRUCTION FOR COMPLIANCE WITH THE BUILDING ENCLOSURE DESIGN AND FILE AN INSPECTION REPORT TO JURISDICTION. IF REQUIRED PRIOR TO A FINAL OCCUPANCY, A FOLLOW-UP REPORT WILL BE SUBMITTED TO JURISDICTION NOTING CORRECTIVE MEASURES TAKEN.

VENTILATION: HRV-DOAS WITH 60% (MIN) SENSIBLE RECOVERY EFFECTIVENESS PER C403.3.5.1 AND C403.3.6. SEE MECHANICAL PLANS FOR ADDITIONAL COMPLIANCE INFORMATION

HEATING AND COOLING: PTHP UNITS ON EACH FLOOR WITH THERMOSTAT CONTROLLED VENTILATION OF CONDITIONED AIR BETWEEN CONDITIONED SPACES.

C402.5.1 AIR BARRIERS: A CONTINUOUS AIR BARRIER SHALL BE PROVIDED THROUGHOUT THE BUILDING THERMAL ENVELOPE. THE AIR BARRIERS SHALL BE PERMITTED TO BE LOCATED ON THE INSIDE OR OUTSIDE OF THE BUILDING ENVELOPE, LOCATED WITHIN THE ASSEMBLIES COMPOSING THE ENVELOPE, OR ANY COMBINATION THEREOF. THE AIR BARRIER SHALL COMPLY WITH SECTIONS C402.5.1.1 AND C402.5.1.2.

C402.5.1.2 BUILDING TEST. THE COMPLETED BUILDING SHALL BE TESTED AND THE AIR LEAKAGE RATE OF THE BUILDING ENVELOPE SHALL NOT EXCEED 0.25 CFM/FT2 AT A PRESSURE DIFFERENTIAL OF 0.3 INCHES WATER GAUGE (2.0 L/S X M2 AT 75 PA) AT THE UPPER 95 PERCENT CONFIDENCE INTERVAL IN ACCORDANCE WITH ASTM E 779 OR AN EQUIVALENT METHOD APPROVED BY THE CODE OFFICIAL. A REPORT THAT INCLUDES THE TESTED SURFACE AREA, FLOOR AREA, AIR BY VOLUME, STORIES ABOVE GRADE, AND LEAKAGE RATES SHALL BE SUBMITTED TO THE BUILDING OWNER AND THE CODE OFFICIAL. IF THE TESTED RATE EXCEEDS THAT DEFINED HERE BY UP TO 0.15 CFM/FT2, A VISUAL INSPECTION OF THE AIR BARRIER SHALL BE CONDUCTED AND ANY LEAKS NOTED SHALL BE SEALED TO THE EXTENT PRACTICABLE. AN ADDITIONAL REPORT IDENTIFYING THE CORRECTIVE ACTIONS TAKEN TO SEAL AIR LEAKS SHALL BE SUBMITTED TO THE BUILDING OWNER AND THE CODE OFFICIAL AND ANY FURTHER REQUIREMENT TO MEET THE LEAKAGE AIR RATE WILL BE WAIVED. IF THE TESTED RATE EXCEEDS 0.40 CFM/FT2, CORRECTIVE ACTIONS MUST BE MADE AND THE TEST COMPLETED AGAIN. A TEST ABOVE 0.40 CFM/FT2 WILL NOT BE ACCEPTED.
1. TEST SHALL BE ACCOMPLISHED USING EITHER (1) BOTH PRESSURIZATION AND DEPRESSURIZATION OR (2) PRESSURIZATION ALONE, BUT NOT DEPRESSURIZATION ALONE. THE TEST RESULTS SHALL BE PLOTTED AGAINST THE CORRECT P FOR PRESSURIZATION IN ACCORDANCE WITH SECTION 9.4 OF ASTM E779.
2. THE TEST PRESSURE RANGE SHALL BE FROM 25 PA TO 80 PA PER SECTION 8.10 OF ASTM E779, BUT THE UPPER LIMIT SHALL NOT BE LESS THAN 50 PA, AND THE DIFFERENCE BETWEEN THE UPPER AND LOWER LIMIT SHALL NOT BE LESS THAN 25 PA.
3. IF THE PRESSURE EXPONENT N IS LESS THAN 0.45 OR GREATER THAN 0.85 PER SECTION 9.6.4 OF ASTM E779, THE TEST SHALL BE RERUN WITH ADDITIONAL READINGS OVER A LONGER TIME INTERVAL.

C402.5.5 STAIRWAY ENCLOSURES, ELEVATOR SHAFT VENTS AND OTHER OUTDOOR AIR INTAKE AND EXHAUST OPENINGS INTEGRAL TO THE BUILDING ENVELOPE SHALL BE PROVIDED WITH DAMPERS IN ACCORDANCE WITH SECTION C403.7.9. MECHANICAL RELIEF, OUTSIDE AIR INTAKE, AND EXHAUST OPENINGS SHALL BE PROVIDED WITH DAMPERS IN ACCORDANCE WITH 2018 WSEC, MECHANICAL SECTION C403.7.8; OR PROVIDE EXCEPTIONS TAKEN
- C403.7.8.1 OUTDOOR AIR SUPPLY, EXHAUST OPENINGS AND RELIEF OUTLETS AND STAIRWAY AND ELEVATOR HOISTWAY SHAFT VENTS SHALL BE PROVIDED WITH CLASS I MOTORIZED DAMPERS. SEE SECTIONS C403.10.1 AND C403.10.2 FOR DUCTWORK INSULATION REQUIREMENTS UPSTREAM AND DOWNSTREAM OF THE SHUTOFF DAMPER.
- C403.7.8.2 SHUTOFF DAMPERS FOR RETURN AIR. RETURN AIR OPENINGS USED FOR AIRSIDE ECONOMIZER OPERATION SHALL BE EQUIPPED WITH CLASS I MOTORIZED DAMPERS.
- C403.7.8.3 DAMPER LEAKAGE RATING. CLASS I DAMPERS SHALL HAVE A MAXIMUM LEAKAGE RATE OF 4 CFM/FT2 AT 1.0 INCH WATER GAUGE (W.G.) (249 PA) WHEN TESTED IN ACCORDANCE WITH AMCA 500D AND SHALL BE LABELED BY AN APPROVED AGENCY FOR SUCH PURPOSE. GRAVITY (NON-MOTORIZED) DAMPERS SHALL HAVE AN AIR LEAKAGE RATE NOT GREATER THAN 20 CFM/FT2 WHERE NOT LESS THAN 24 INCHES IN EITHER DIMENSION AND 40 CFM/FT2 WHERE LESS THAN 24 INCHES IN EITHER DIMENSION. THE RATE OF AIR LEAKAGE SHALL BE DETERMINED AT 1.0 INCH W.G. (249 PA) WHEN TESTED IN ACCORDANCE WITH AMCA 500D FOR SUCH PURPOSE. THE DAMPERS SHALL BE LABELED BY AN APPROVE AGENCY. GRAVITY DAMPERS FOR VENTILATION AIR INTAKES SHALL BE PROTECTED FROM DIRECT EXPOSURE TO WIND.
- C403.7.8.4 DAMPER ACTUATION. OUTDOOR AIR INTAKE, RELIEF AND EXHAUST SHUTOFF DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO CLOSE WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE OR DURING UNOCCUPIED PERIOD WARM-UP AND SETBACK OPERATION, UNLESS THE SYSTEMS SERVED REQUIRE OUTDOOR OR EXHAUST AIR IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE OR THE DAMPERS ARE OPENED TO PROVIDE INTENTIONAL ECONOMIZER COOLING. STAIRWAY AND ELEVATOR HOISTWAY SHAFT VENT DAMPERS SHALL BE INSTALLED WITH AUTOMATIC CONTROLS CONFIGURED TO OPEN UPON THE ACTIVATION OF ANY FIRE ALARM INITIATING DEVICE OF THE BUILDING'S FIRE ALARM SYSTEM OR THE INTERRUPTION OF POWER TO THE DAMPER.

SECTION C403 MECHANICAL SYSTEMS: SEE MECHANICAL PLANS FOR INFORMATION

SECTION C405 ELECTRICAL POWER AND LIGHTING SYSTEMS: SEE ELECTRICAL PLANS FOR INFORMATION

SECTION C406 ADDITIONAL EFFICIENCY PACKAGE OPTIONS
C406.1 ADDITIONAL ENERGY EFFICIENCY CREDIT REQUIREMENTS. NEW BUILDINGS AND CHANGES IN SPACE CONDITIONING, CHANGE OF OCCUPANCY AND BUILDING ADDITIONS IN ACCORDANCE WITH CHAPTER 5 SHALL COMPLY WITH SUFFICIENT PACKAGES FROM TABLE C406.1 SO AS TO ACHIEVE A MINIMUM NUMBER OF SIX CREDITS. EACH AREA SHALL BE PERMITTED TO APPLY FOR DIFFERENT PACKAGES PROVIDED ALL AREAS IN THE BUILDING COMPLY WITH THE REQUIREMENT FOR SIX CREDITS. AREAS INCLUDED IN THE SAME PERMIT WITHIN MIXED USE BUILDINGS SHALL BE PERMITTED TO DEMONSTRATE COMPLIANCE BY AN AREA WEIGHTED AVERAGE NUMBER OF CREDITS BY BUILDING OCCUPANCY ACHIEVING A MINIMUM NUMBER OF SIX CREDITS.
EXCEPTION 1: LOW ENERGY SPACES IN ACCORDANCE WITH SECTION C402.1.1.1 AND EQUIPMENT BUILDINGS IN ACCORDANCE WITH SECTION C402.1.2 SHALL COMPLY WITH SUFFICIENT PACKAGES FROM TABLE C406.1 TO ACHIEVE A MINIMUM NUMBER OF THREE CREDITS.

NEW BUILDING LOW ENERGY SPACE
TABLE C406.1 EFFICIENCY PACKAGE CREDITS GROUP R-2
GROUP S-2
REDUCED LIGHTING POWER: OPTION 2 IN ACCORDANCE WITH SECTION C406.3.2a 3 CREDITS 4 CREDITS
ON-SITE SUPPLY OF RENEWABLE ENERGY IN ACCORDANCE WITH SECTION C406.5 3 CREDITS 3 CREDITS
TOTAL CREDITS
6 CREDITS **7 CREDITS**

SECTION C408 SYSTEM COMMISSIONING; SEE MECHANICAL AND ELECTRICAL PLANS FOR COMMISSIONING INFORMATION
C408.1 GENERAL. A BUILDING COMMISSIONING PROCESS LED BY A CERTIFIED COMMISSIONING PROFESSIONAL SHALL BE COMPLETED FOR MECHANICAL SYSTEMS IN SECTION C403; SERVICE WATER HEATING SYSTEMS IN SECTION C404; ELECTRICAL POWER AND LIGHTING SYSTEMS IN SECTION C405; EQUIPMENT, APPLIANCE AND SYSTEMS INSTALLED TO COMPLY WITH SECTION C406 OR C407 AND ENERGY METERING IN SECTION C409.

C408.1.3 COMMISSIONING REPORT. A COMMISSIONING REPORT SHALL BE COMPLETED AND CERTIFIED BY THE CERTIFIED COMMISSIONING PROFESSIONAL AND DELIVERED TO THE BUILDING OWNER OR OWNER'S AUTHORIZED AGENT. THE REPORT SHALL BE ORGANIZED WITH MECHANICAL, LIGHTING, SERVICE WATER HEATING AND METERING FINDINGS IN SEPARATE SECTIONS TO ALLOW INDEPENDENT REVIEW. THE REPORT SHALL RECORD THE ACTIVITIES AND RESULTS OF THE COMMISSIONING PROCESS AND BE DEVELOPED FROM THE FINAL COMMISSIONING PLAN WITH ALL OF ITS ATTACHED APPENDICES. THE REPORT SHALL INCLUDE:
1. RESULTS OF FUNCTIONAL PERFORMANCE TEST.
2. DISPOSITION OF DEFICIENCIES FOUND DURING TESTING, INCLUDING DETAILS OF CORRECTIVE MEASURES USED OR PROPOSED.
3. FUNCTIONAL PERFORMANCE TEST PROCEDURES USED DURING THE COMMISSIONING PROCESS INCLUDING MEASURABLE CRITERIA FOR TEST ACCEPTANCE, PROVIDED HEREIN FOR REPEATABILITY.
4. COMMISSIONING PLAN.
5. TESTING, ADJUSTING AND BALANCING REPORT.

C408.1.4.2 ACCEPTANCE OF REPORT. BUILDINGS, OR PORTIONS THEREOF, SHALL NOT BE CONSIDERED ACCEPTABLE FOR A FINAL INSPECTION PURSUANT TO SECTION C104.2 UNTIL THE CODE OFFICIAL HAS RECEIVED A LETTER OF TRANSMITTAL FROM THE BUILDING OWNER OR OWNER'S AUTHORIZED AGENT HAS RECEIVED THE PRELIMINARY COMMISSIONING REPORT. COMPLETION OF THE COMMISSIONING COMPLIANCE CHECKLIST (FIGURE C408.1.4.2) IS DEEMED TO SATISFY THIS REQUIREMENT.

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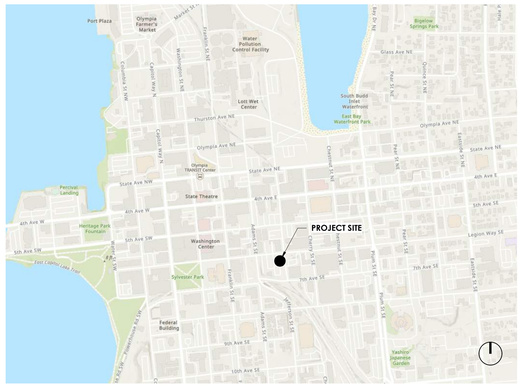
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

CODE REVIEW

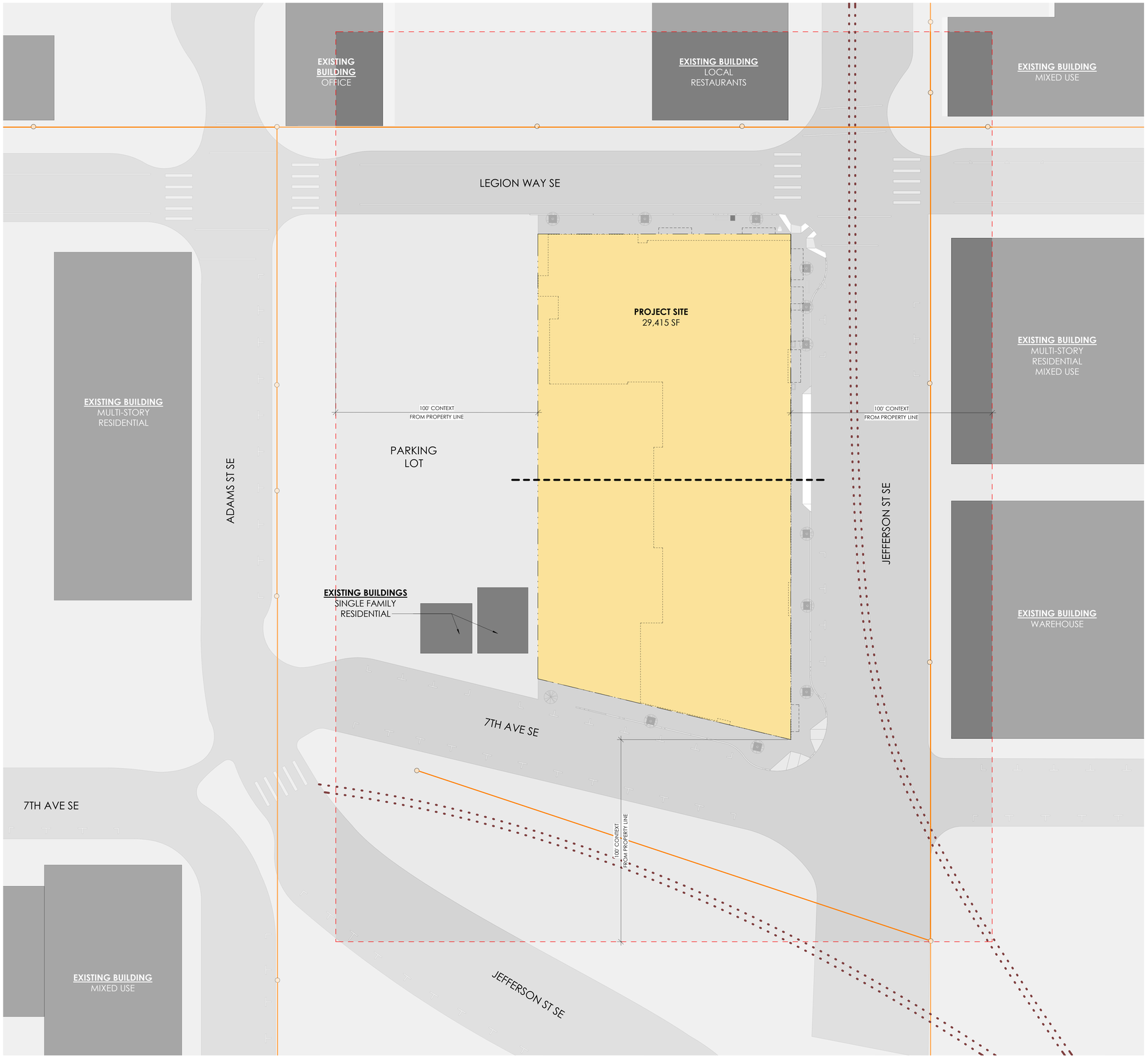
A002

LOCATION MAP



CONTEXT LEGEND

- FOOTPRINT OF PROJECT SITE
- EXISTING ADJACENT BUILDINGS
- EXISTING HARDSCAPE
- NEW HARDSCAPING
- NEW LANDSCAPING
- PROPERTY LINES
- TRAIN TRACKS
- UTILITY OVERHEAD
- 100' CONTEXT



1 **SITE CONTEXT**
1" = 20'-0"

0' 15' 30' 60'

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FEBRUARY 6, 2024

SITE CONTEXT

A003

1 NORTH ELEVATION - 100' CONTEXT

1/16" = 1'-0"

0' 8' 16' 32'

2 EAST ELEVATION - 100' CONTEXT

1/16" = 1'-0"

0' 8' 16' 32'

3 SOUTH ELEVATION - 100' CONTEXT

1/16" = 1'-0"

0' 8' 16' 32'

4 WEST ELEVATION - 100' CONTEXT

1/16" = 1'-0"

0' 8' 16' 32'

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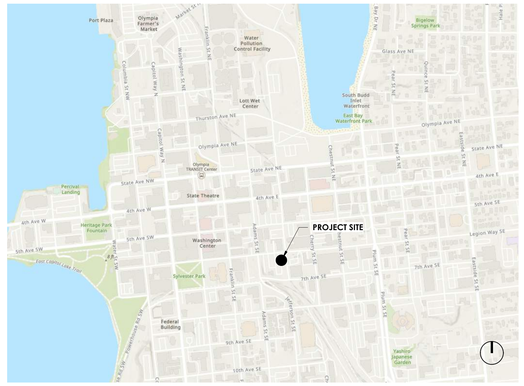
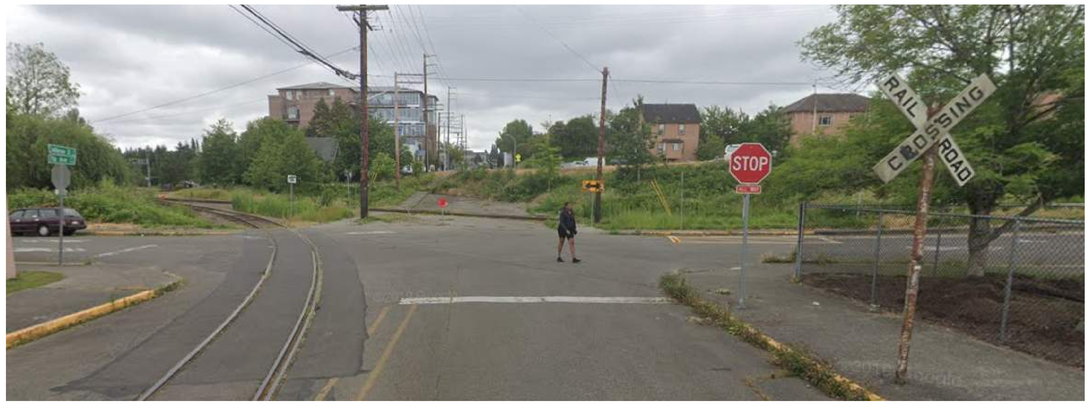
FEBRUARY 6, 2024

CONTEXT ELEVATIONS

A004

LOCATION MAP





LOOKING SOUTH

LOOKING WEST

LOOKING NORTH

LOOKING EAST

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CONTEXT IMAGES

A005

VICINITY MAP

NET UNIT AREA (FOR OPEN SPACE)

OPEN SPACE REQUIREMENTS (OMC 18.120.270):

10% OF RESIDENTIAL UNIT FLOOR AREA	
FLOOR 2 RESIDENTIAL UNIT FLOOR AREA =	15,014 SQFT
FLOOR 3-5 RESIDENTIAL UNIT FLOOR AREA =	15,646 SQFT
TOTAL RESIDENTIAL UNIT FLOOR AREA =	61,952 SQFT
29,866 SQFT X 0.10 =	**6,195 (REQUIRED OPEN SPACE)**
LOBBY/LOUNGE -	861 SQFT
COMMUNITY ROOM -	632 SQFT
TERRACE -	6,664 SQFT
TOTAL -	**8,157 SQFT**

PARKING SUMMARY

REQUIRED VEHICLE PARKING REQUIREMENTS (OMC 18.38.040):

ON STREET PARKING =	12 SPACES
OFF STREET PARKING PROVIDED =	57 SPACES
TOTAL SPACES =	69 SPACES
25% OF ALL SPACES CAN BE COMPACT (OMC 17.84.060):	
60 X 0.25 =	17 SPACES
PROVIDED =	17 SPACES

ACCESSIBLE PARKING REQUIRED (IBC TABLE 1106.2):

2 % OF ALL SPACES SHALL BE ACCESSIBLE STALLS =	2 SPACES
PROVIDED =	2 SPACES

LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38.TABLE 38.011):

(44) ONE BEDROOM @ 1 SPACE PER UNIT =	44 SPACES
(11) ONE BEDROOM ALCOVE @ 1 SPACE PER UNIT =	11 SPACES
(16) TWO BEDROOM @ 1 SPACE PER UNIT =	16 SPACES
(16) STUDIO @ 1 SPACES PER UNIT =	16 SPACES
TOTAL FOR ALL THE SPACES REQUIRED & PROVIDED =	**87 SPACES**

SHORT TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38.TABLE 38.011):

(44) ONE BEDROOM @ 1/10 UNITS, 2 MIN. PER BUILDING =	2 SPACES
(11) ONE BEDROOM ALCOVE @ 1/10 UNITS, 2 MIN. PER BUILDING=	2 SPACES
(16) TWO BEDROOM @ 1/10 UNITS, 2 MIN. PER BUILDING =	2 SPACES
(16) STUDIO @ 1/10 UNITS, 2 MIN. PER BUILDING =	2 SPACES
TOTAL FOR ALL SPACES REQUIRED & PROVIDED =	**10 SPACES**

EV PARKING STALL REQUIREMENT (WAC TABLE 429.2):

10% OF ALL SPACES SHALL BE ELECTRICAL VEHICLE SPACES -	
60 X 0.1 =	6 SPACES
25% OF TOTAL PARKING SPACES MUST BE EV READY -	
60 X 0.25 =	15 SPACES
PROVIDED =	15 SPACES
10% OF TOTAL PARKING SPACES MUST BE EV CAPABLE -	
60 X 0.1 =	6 SPACES
PROVIDED =	6 SPACES
10% OF ACCESSIBLE PARKING SPACES SHALL BE EV CHARGING -	
2 X 0.1 =	1 SPACE
PROVIDED =	2 SPACES

SITE LEGEND

- FOOTPRINT OF PROJECT STRUCTURE
- LANDSCAPING STRIP
- PROPERTY LINE
- 1 SHORT TERM BICYCLE PARKING. PROVIDE DERO, ARC RACK OR SIMILAR.
- 2 PEDESTRIAN BENCH SEATING. PROVIDE DUMOR SIGNATURES BENCH 160 WITH CENTER ARMREST, COLOR:BLACK.
- 3 NEW STREET TREES PER LANDSCAPE ARCHITECT. PROVIDE WITH MINIMUM 4'X6' PEDESTRIAN FRIENDLY IRON GRATE, TYPICAL.
- 4 NEW LANDSCAPING PER LANDSCAPE ARCHITECT.
- 5 NEW BULB OUT
- 6 NEW PLANTER BOXES, 3'X2'
- 7 EXISTING RAILROAD ARM
- 8 DASHED LINE OF CANOPY ABOVE, TYPICAL.

GENERAL NOTES

1. DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPERATE CIVIL DRAWINGS FOR ADDITIONAL SITE DEVELOPMENT SPECIFICS.
2. DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT, SEE SEPERATE LANDSCAPE ARCHITECTURAL DRAWINGS FOR SPECIFICS.
3. SITE LIGHTING PER ELECTRICAL DRAWINGS.
4. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.

GENERAL SITE INFO

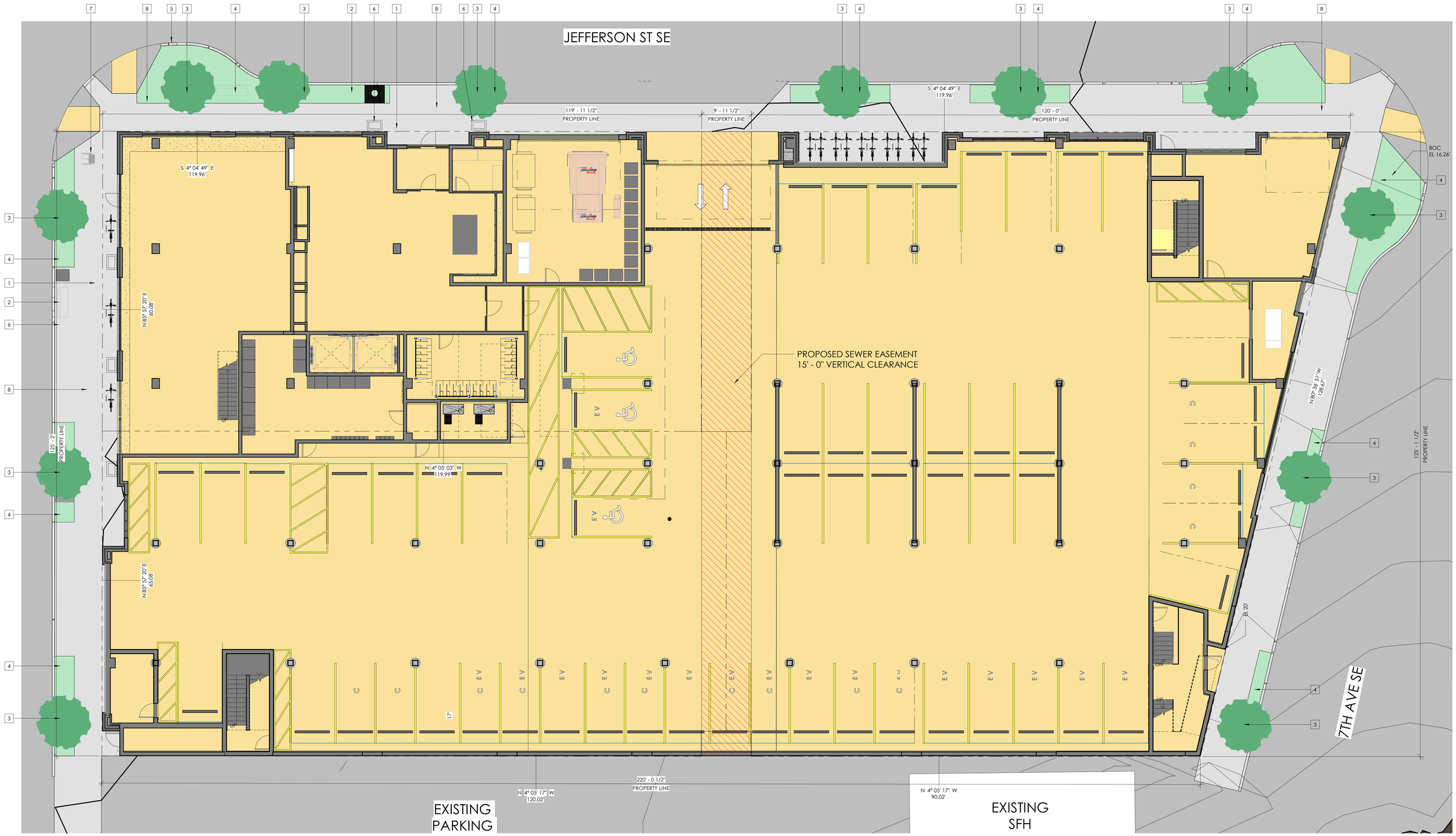
ADDRESS:	411 LEGION WAY OLYMPIA, WA 98501 421 LEGION WAY OLYMPIA, WA 98501
PARCEL NUMBER:	78504600200, 78504600400
SECTION:	14
TOWNSHIP:	18
RANGE:	2SW
ZONING:	DB (DOWNTOWN BUSINESS)

EXISTING SITE AREA:

TOTAL SITE AREA	29,411 SQ. FEET
TOTAL LANDSCAPE AREA	0 SQ. FEET
IMPERVIOUS SURFACE AREA	29,411 SQ. FEET

PROPOSED SITE AREAS:

PROPOSED BLDG FOOTPRINT (IMPERVIOUS)	28,664 SQ. FEET
LANDSCAPE AREA (PERVIOUS)	105 SQ. FEET
IMPERVIOUS SURFACE AREA	29,306 SQ. FEET



1 SITE PLAN DRB
1/8" = 1'-0"

0' 4' 8' 16'

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Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

SITE PLAN

A101

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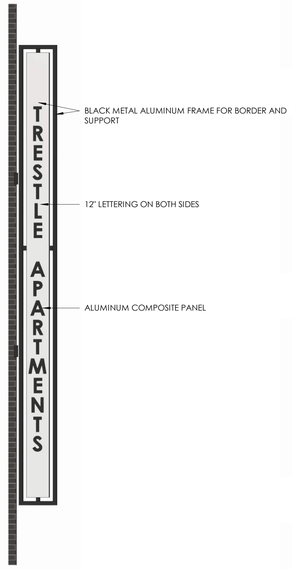
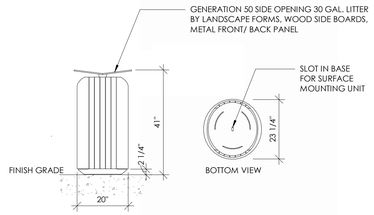
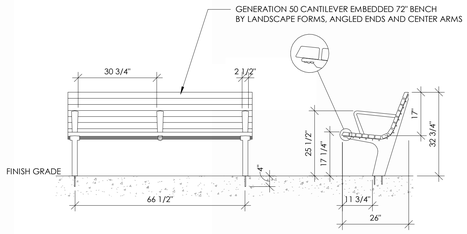


9 PRIMARY BUILDING SIGNAGE DRB
1/4" = 1'-0"

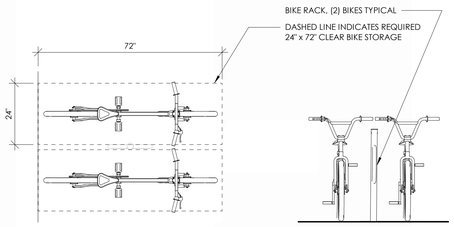
10 RESIDENTIAL BUILDING ENTRY SIGNAGE DRB
1/4" = 1'-0"



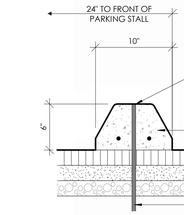
8 WASTE RECEPTACLE DETAIL DRB
1/2" = 1'-0"



7 BENCH DETAIL DRB
1/2" = 1'-0"



6 SHORT TERM BIKE STORAGE
1/2" = 1'-0"



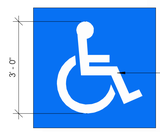
5 WHEELSTOP DRB
1 1/2" = 1'-0"

1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LEFT TURN ONLY SIGN, MODEL No. R3-5L FROM THE TRAFFIC SAFETY SUPPLY COMPANY.
2. 30" WIDE X 36" HIGH.
3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.

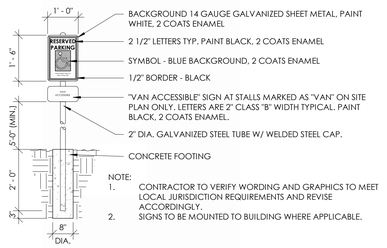
4 TURN SIGN DRB
1/2" = 1'-0"

1. WASHINGTON ELECTRICAL VEHICLE CHARGING STATION SIGN.
2. 12" WIDE x 12" HIGH.
3. REFLECTIVE HEAVY DUTY ALUMINUM, 63 MIL, WITH ROUNDED CORNERS, PAINTED WITH 3M INKS, ENGINEER GRADE MINIMUM, POLE MOUNTED. COLOR: GREEN BACKGROUND W/ WHITE SYMBOL AND TEXT.

3 ELECTRICAL VEHICLE CHARGING STATION DRB
1/2" = 1'-0"



2 ACCESSIBLE PARKING MARKINGS DRB
1/2" = 1'-0"



NOTE:
1. CONTRACTOR TO VERIFY WORDING AND GRAPHICS TO MEET LOCAL JURISDICTION REQUIREMENTS AND REVISE ACCORDINGLY.
2. SIGNS TO BE MOUNTED TO BUILDING WHERE APPLICABLE.

1 ACCESSIBLE SIGNS DRB
1/2" = 1'-0"

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SITE FEATURES

A102

SELF-CONTAINED COMPACTORS

MARATHON® a DOVER company

RJ-250SC & RJ-250SC Ultra

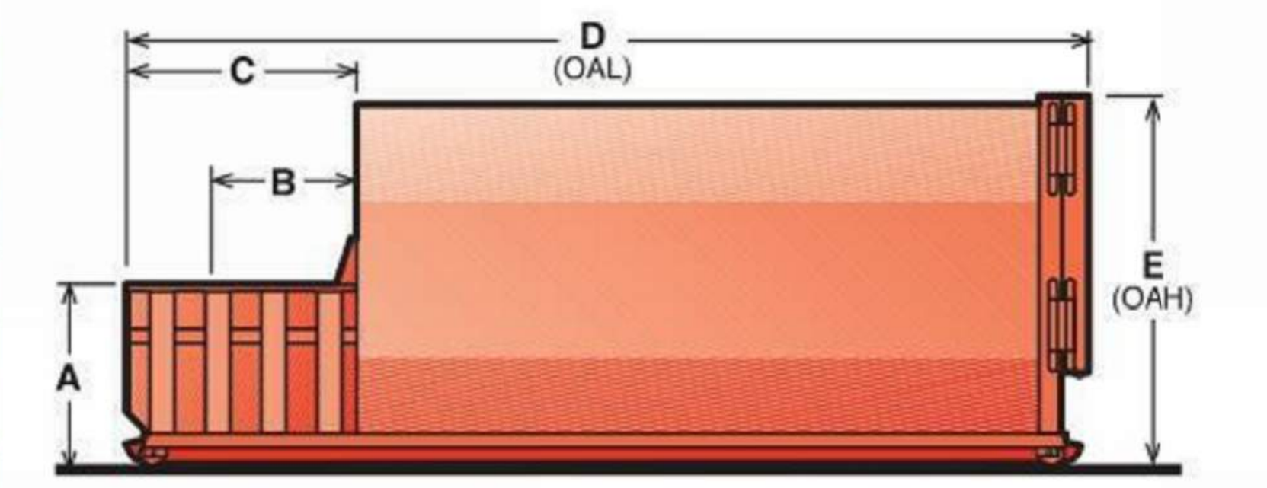
Dimensions & Specifications

Specifications		
Clear-Top Opening (L x W)	41" x 58"	1041mm x 1473mm
Compactor Capacity	1.31 yd³	1.00 m³
Ram-Face Size (W x H)	60" x 24 ½"	1524mm x 622mm
Performance Characteristics		
Cycle Time	33 sec.	
Total Normal Force	39,900 lbs.	177 kN
Total Maximum Force	49,500 lbs.	220 kN
Normal Ram-Face Pressure	27.1 psi	187 kPa
Maximum Ram-Face Pressure	33.7 psi	232 kPa
Ram Penetration	6"	152mm
Electrical Equipment		
Electric Motor 3/60/230-460	10 hp	7.5 kW
Electric Control Voltage	120 VAC	
Standard Controls Include	2-Push Button Station Start/Stop	
Hydraulic Equipment		
Hydraulic Pump	9 gpm	38 L/min
Normal Pressure	1,850 psi	128 bar
Maximum Pressure	2,300 psi	159 bar
Hydraulic Cylinders	2	
Bore	4"	102mm
Rod	2 ½"	64mm
Stroke	31 ½"	800mm

RJ-250SC Classic containers are constructed out of 7-gauge steel plate.
RJ-250SC Ultra containers are constructed out of 11-gauge steel.

RJ-250SC	A	B	C	D	E	Classic Weight	Ultra Weight
15 Cu. Yd.	48"	43 ¼"	67"	171"	89"	8,860 lbs.	8,360 lbs.
	1219mm	1099mm	1702mm	4343mm	2261mm	4019 kg	3792 kg
20 Cu. Yd.	48"	43 ¼"	67"	208"	89"	9,520 lbs.	8,860 lbs.
	1219mm	1099mm	1702mm	5283mm	2261mm	4318 kg	4019 kg
25 Cu. Yd.	48"	43 ¼"	67"	214"	104"	10,030 lbs.	9,720 lbs.
	1219mm	1099mm	1702mm	5436mm	2642mm	4550 kg	4205 kg
30 Cu. Yd.	48"	43 ¼"	67"	245"	104"	10,620 lbs.	9,715 lbs.
	1219mm	1099mm	1702mm	6223mm	2642mm	4817 kg	4407 kg
34 Cu. Yd.	48"	43 ¼"	67"	269"	104"	11,130 lbs.	10,100 lbs.
	1219mm	1099mm	1702mm	6833mm	2642mm	5049 kg	4582 kg
39 Cu. Yd.	48"	43 ¼"	67"	299 ½"	104"	11,790 lbs.	N/A
	1219mm	1099mm	1702mm	7607mm	2642mm	5348 kg	N/A

Pictures and mechanical diagrams in this literature are illustrative only and may not be to scale. Specifications are subject to change without notice in order to accommodate improvements to the equipment. Certified in compliance with ANSI standard Z245.2, all applicable OSHA Regulations. Products must be used only by trained operators in accordance with the Operator Manual, as well as applicable regulations, laws, and ANSI standards.



Dimensions not shown: 100 ⅛" (2543mm) Overall Width

Ground Roller Widths: 61 ⅞" (1572mm) Inside Rollers
67 ⅜" (1711mm) Roller Centers
72 ⅞" (1851mm) Outside Rollers

GREEN BUILT Solar power for our environment. By MARATHON

RAMJET Stationary and self-contained compactors By MARATHON

Shown with optional integrated Bayne dumper

SELF-CONTAINED COMPACTORS

RJ-250SC Features

- Exclusive **41" x 58" (1041mm x 1473mm)** feed opening to handle large, bulky items.
- **Continuous feeding capability** — even while the compactor is operating.
- Adaptable to special loading systems such as large-capacity hoppers, security chutes, or total enclosures.
- Odor and pest control via Marathon's Ozone Odor Control option.
- Easy loading from either ground or dock level.
- More than 24 tons (21,772 kg) of crushing force to reduce refuse to a fraction of its former size, **saving valuable spac**
- Fire hose connection provided on each unit.
- Factory testing to ensure leak-proof construction.
- **UL® and CUL® Listed.**
- Also available as **Green Built®**, featuring Solar or 5 hp high-efficiency power units and other environmentally friendly components.

WASTE RESOURCE SUMMARY

GOAL: COLLECT AND STORE WASTE FOR COMMERCIAL & RESIDENTIAL TENANTS.
COLLECTION CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH
ALLOCATE 60% TO RECYCLING AND 40% TO GARBAGE.

WASTE COLLECTION PER WEEK: ONCE IN A WEEK

(87) RESIDENTIAL UNITS @ 1.25 CY PER HOUSEHOLD/4.33 =	25.12 CY
1,910 RETAIL @ 1CY/500 SF=	3.82 CY
TOTAL WASTE COLLECTED =	**28.94 CY**

29 CY X 60/40% = **17.4 CY** TO RECYCLE, **11.6 CY** TO GARBAGE

GARBAGE:
11.6 CY OF WASTE TO BE COLLECTED FROM SITE ONCE A WEEK.
(1) 15 CUBIC YARD COMPACTOR

RECYCLING:

SPLIT **17.4 CY** OF RECYCLE BETWEEN **10 CY** OF CARDBOARD/OTHER RECYCLING AND **2 CY** FOR ORGANICS

10 CY RECYCLING TO BE COLLECTED IN (4) 4 YARD CARDBOARD CONTAINERS,
3 CY ORGANICS TO BE COLLECTED IN (1) 4 YARD COMPOST BIN

WASTE ENCLOSURE NOTES

1. DRAWINGS ARE FOR GENERAL CONSTRUCTION, SEE SEPARATE CIVIL DRAWINGS FOR ADDITIONAL SITE DEVELOPMENT SPECIFICS.

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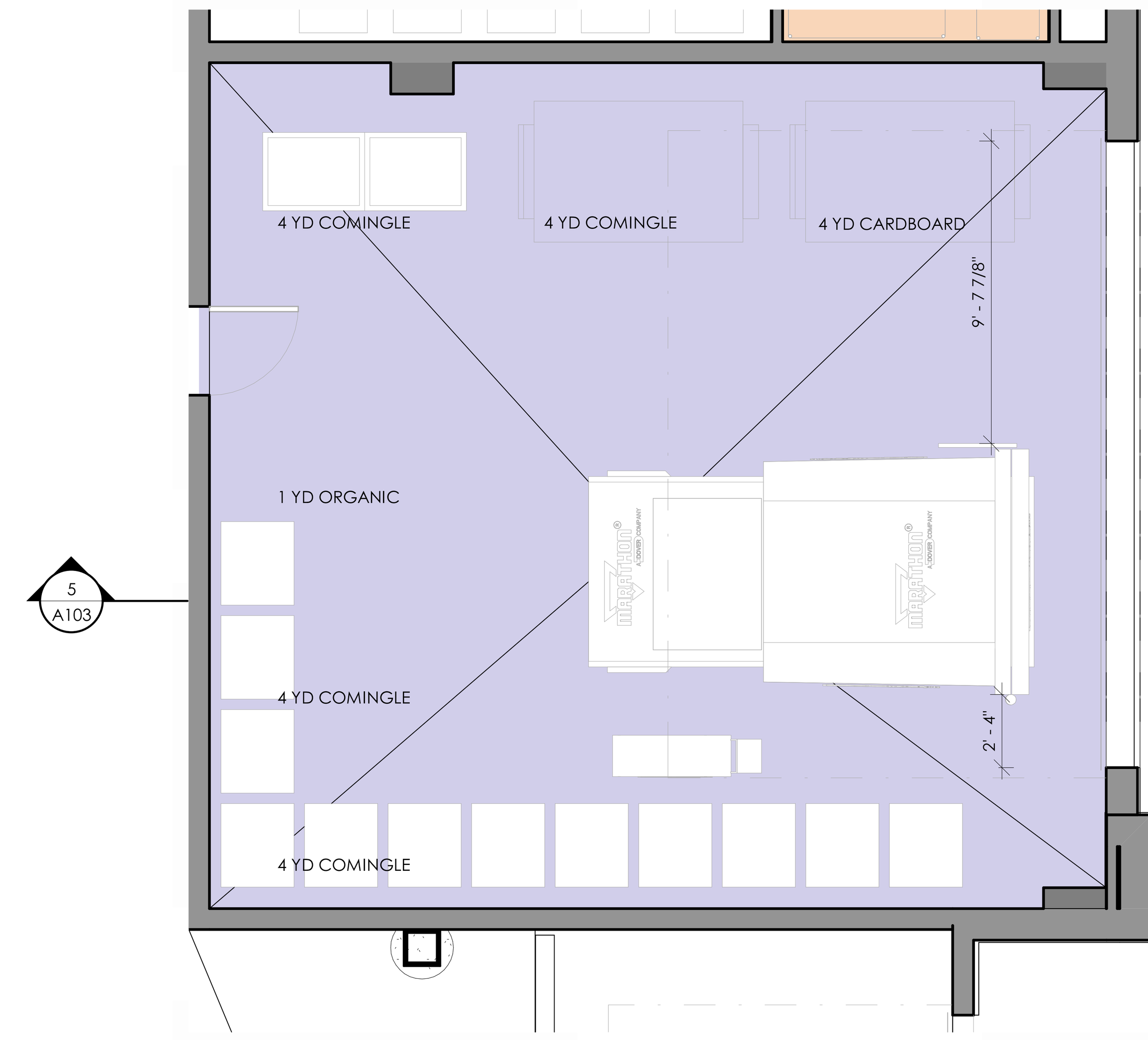
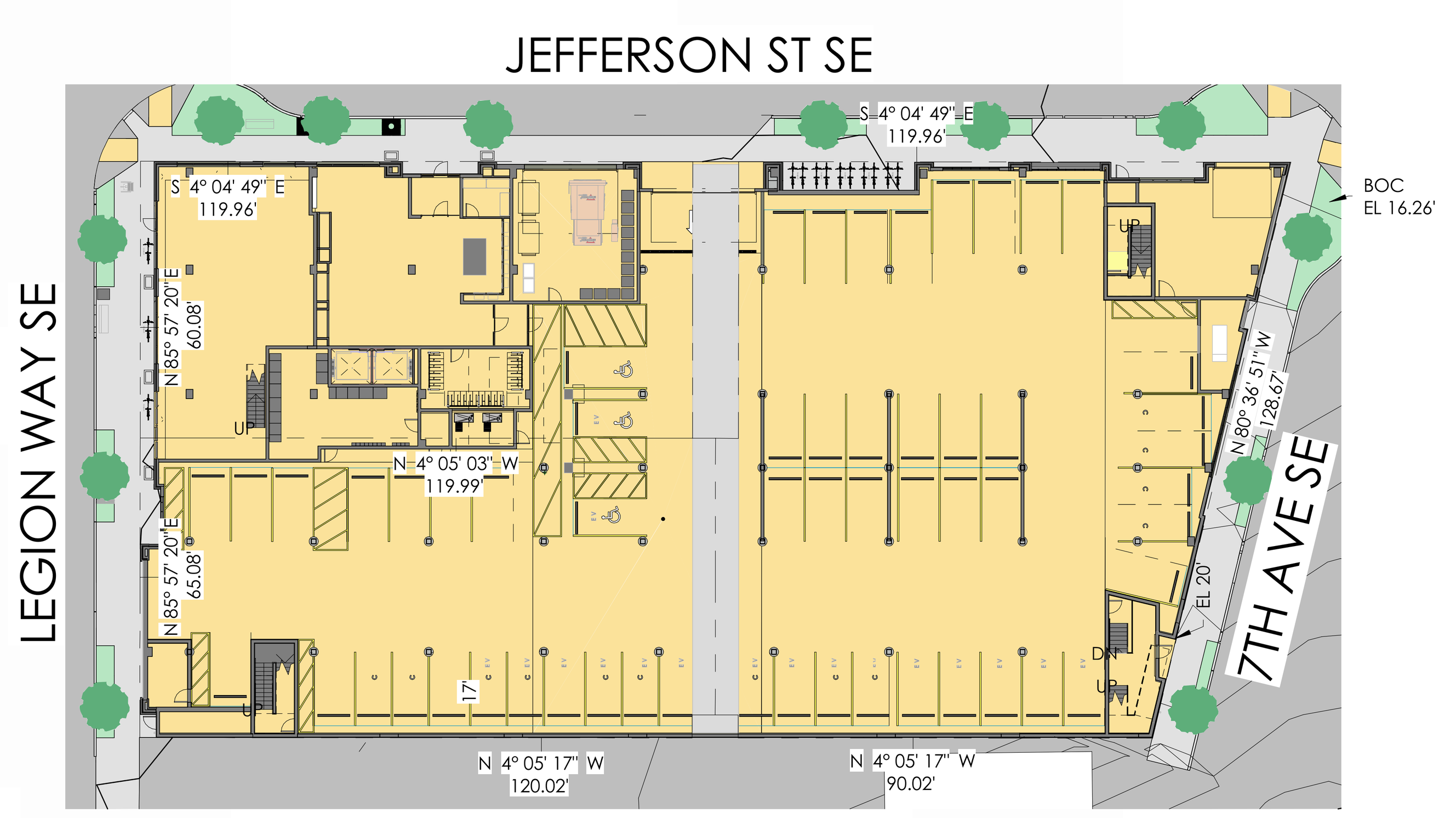
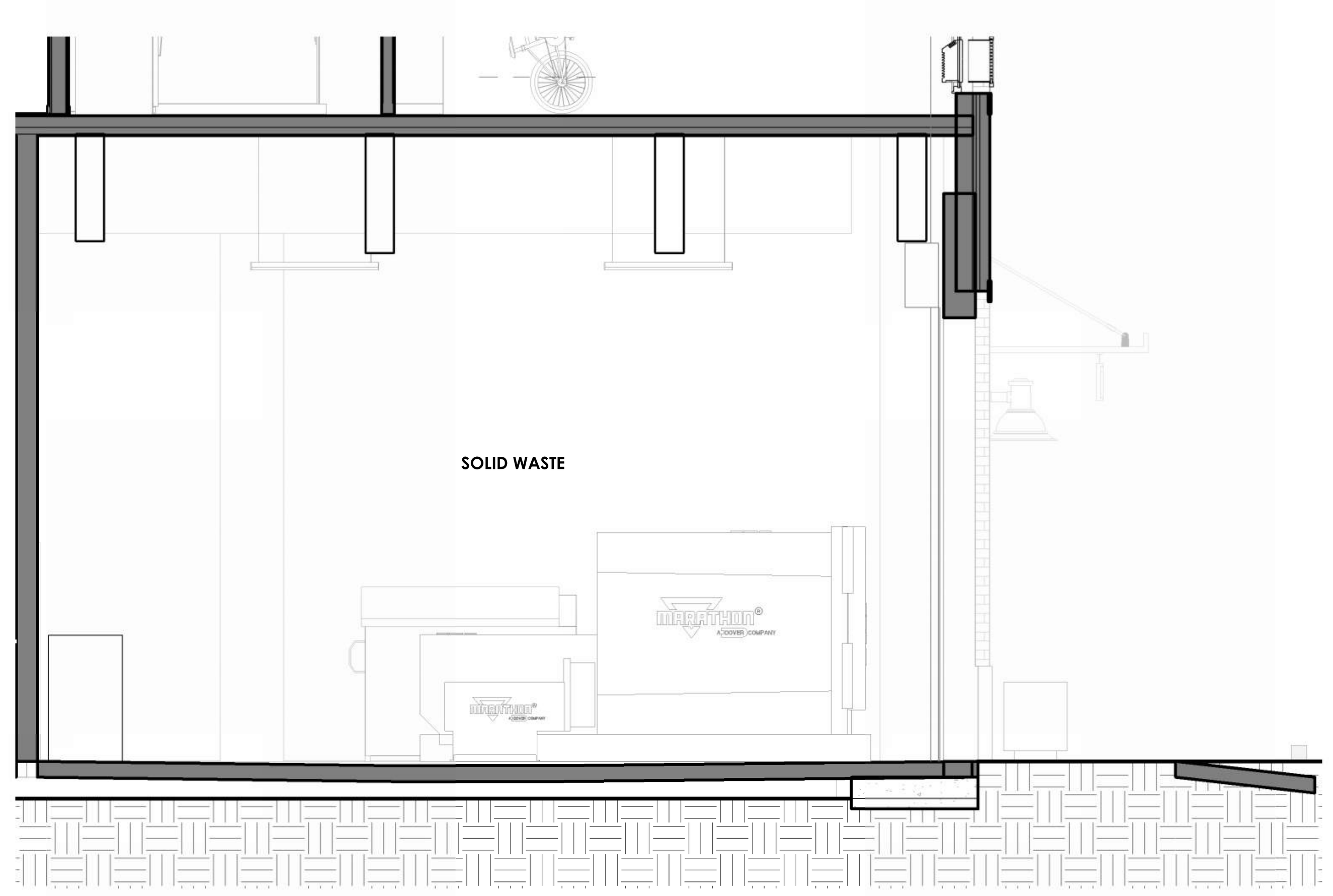


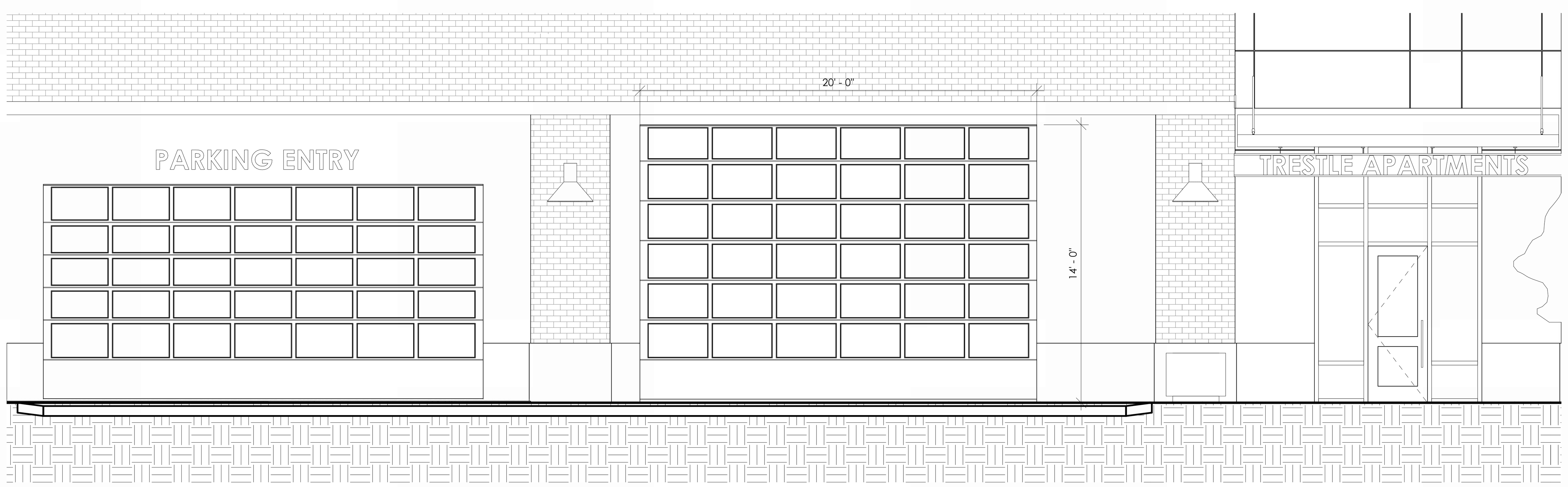
3 FLOOR 1 - SOLID WASTE DRB
1/4" = 1'-0"



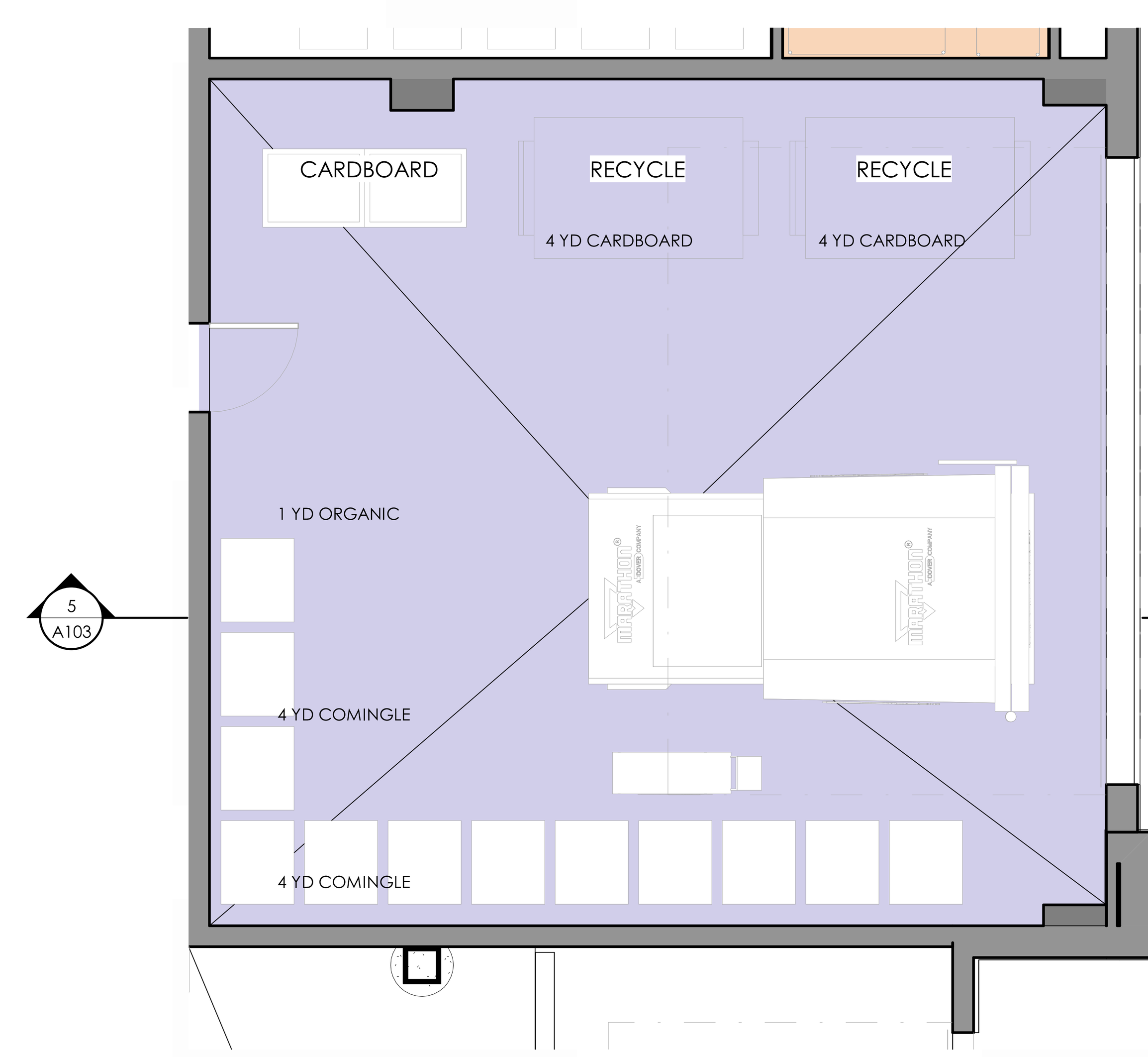
4 KEY PLAN - SITE PLAN DRB
1" = 30'-0"



5 SOLID WASTE SECTION DRB
1/4" = 1'-0"



1 SOLID WASTE GARAGE DOOR ELEVATION DRB
1/4" = 1'-0"



2 FLOOR 1 - RECYCLE DRB
1/4" = 1'-0"

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SOLID WASTE ENCLOSURE

A103

ROOM LEGEND

- BIKE STORAGE
- COMMERCIAL
- DOG WASH
- ELECTRICAL
- ELEV. MECH
- ELV.
- EXIT PASSAGEWAY
- FIRE RISER
- GENERATOR
- ENTRY
- LOBBY
- MAIL
- MAINTENANCE
- PACKAGE
- SOLID WASTE
- STAIR 1 - FLR 1
- STAIR 2 - FLR 1
- STAIR 3 - FLR 1
- STRUCTURED PARKING

UNIT COUNT & AREA SUMMARY

FLOOR 2:

STUDIO -	4
1 BR -	11
1 BR ALCOVE -	2
2 BR -	4
TOTAL UNITS =	21

FLOOR 3-5:

STUDIO -	4 (16)
1 BR -	11 (44)
1 BR ALCOVE -	3 (11)
2 BR -	4 (16)
TOTAL UNITS =	22 (87)

OVERALL UNIT COUNT:

STUDIO -	16 (18%)
1 BR -	44 (36%)
1 BR ALCOVE -	11 (7%)
2 BR -	16 (17%)
TOTAL UNITS =	87 (100%)

TYPE A UNIT REQUIREMENTS (IBC 2021 1107.6.2.2.1)

(87) TOTAL UNITS X 5% (0.05) = 5 TYPE A UNITS REQUIRED

PROVIDED = 3 TYPE A UNITS; (1) 1BD+, (1) 1BD, (1) 2BD

OPEN SPACE REQUIREMENTS (OMC 18.120.270):

10% OF RESIDENTIAL UNIT FLOOR AREA	
FLOOR 2 RESIDENTIAL UNIT FLOOR AREA =	15,014 SQFT
FLOOR 3-5 RESIDENTIAL UNIT FLOOR AREA =	15,646 SQFT
TOTAL RESIDENTIAL UNIT FLOOR AREA =	61,952 SQFT
29,866 SQFT X 0.10 = 2,987 (REQUIRED OPEN SPACE)	
LOBBY/LOUNGE -	861 SF
COMMUNITY ROOM -	632 SF
TERRACE -	6,664 SF
TOTAL -	**8,157 SF**

OVERALL GROSS AREA:

GROSS SF FLOORS 2-5	19,647 X 4 = 78,588 SF
GROSS SF FLOOR 1	6,582 SF
TOTAL GROSS SF	**85,170 SF**

GENERAL NOTES - FLOOR PLANS

1. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE
2. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION
3. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL INFORMATION, INCLUDING BUT NOT LIMITED TO: WALL TYPE CALLOUTS, FINISH FLOOR MATERIALS, ADDITIONAL DIMENSIONING, INTERIOR ELEVATION CALLOUTS AND DETAIL MARKERS, ETC.
4. ELEVATOR HOISTWAY TO BE PRESSURIZED PER IBC 909.21 AS AMMENDED BY WASHINGTON STATE. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

PLAN LEGEND

- ARROW INDICATES PRIMARY BUILDING ENTRANCE
- 1 / A101 — SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
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- MATCHLINE, SEE PAGE NUMBER NOTED FOR ENLARGED PLAN

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JEFFERSON ST SE

LEGION WAY SE

7TH AVE SE

ENTRY 101
PACKAGE 105
MAIL 103
4YD CARDBOARD
4YD CARDBOARD
SOLID WASTE 106
4YD COMINGLE
COMMERCIAL 112
LOBBY 102
ENTRY 104
BIKE STORAGE 107
ELECTRICAL 111
ELEV. MECH 108
DOG WASH 114
STRUCTURED PARKING 115
57 STALLS
STAIR 1 - FLR 1 117
EXIT PASSAGEWAY 116
STAIR 2 - FLR 1 118
MAINTENANCE 120
GENERATOR 119
UP
DN

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PLAN - FLOOR 1

A201

1 FLOOR 1 - PARKING DRB
1/8" = 1'-0"

0' 4' 8' 16'

ROOM LEGEND

- STUDIO
- 1BR+
- 1BR
- ALCOVE
- 2BR
- COMMUNITY ROOM
- ELECT.
- ELEV.
- COMMON
- STAIR 1 - FLR 2
- STAIR 2 - FLR 2

UNIT COUNT & AREA SUMMARY

FLOOR 2:

STUDIO -	4
1 BR -	11
1 BR ALCOVE -	2
2 BR -	4
TOTAL UNITS =	21

FLOOR 3-5:

STUDIO -	4 (16)
1 BR -	11 (44)
1 BR ALCOVE -	3 (11)
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TOTAL UNITS =	22 (87)

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2 BR -	16 (17%)
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TOTAL RESIDENTIAL UNIT FLOOR AREA =	61,952 SQFT
29,866 SQFT X 0.10 = 2,987 (REQUIRED OPEN SPACE)	
LOBBY/LOUNGE -	861 SF
COMMUNITY ROOM -	632 SF
TERRACE -	6,664 SF
TOTAL -	**8,157 SF**

OVERALL GROSS AREA:

GROSS SF FLOORS 2-5	19,647 X 4 = 78,588 SF
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TOTAL GROSS SF	**85,170 SF**

GENERAL NOTES - FLOOR PLANS

1. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE

2. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION

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1 FLOOR 2 DRB
1/8" = 1'-0"

0' 4' 8' 16'

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PLAN - FLOOR 2

A202

DOWNSPOUT AND GUTTER CALCULATIONS

DOWNSPOUT SIZE:
PER 2021 UPC, TABLE 1103.1 AT ANY INTENSITY LEVEL OF 1" PER HOUR, ALLOWED ROOF TRIBUTARY AREA PER DOWNSPOUT IS AS FOLLOWS:

2" DIAMETER DS WILL HANDLE AN AREA OF:	2,880 SF
4" DIAMETER DS WILL HANDLE AN AREA OF:	18,400 SF
6" DIAMETER DS WILL HANDLE AN AREA OF:	54,000 SF
ROOF A =	7,886 SF
ROOF B =	9,592 SF
TOTAL PROJECT ROOF AREA TO BE DRAINED =	17,478 SF

4" DOWNSPOUT CAN HANDLE AREA OF 18,400 SF >17,478 SF = OK

GENERAL NOTES - FLOOR PLANS

1. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE

2. GENERAL CONTRACTOR AND SPRINKLER DESIGNER TO DETERMINE NEED FOR FIRE PUMP PRIOR TO START OF CONSTRUCTION

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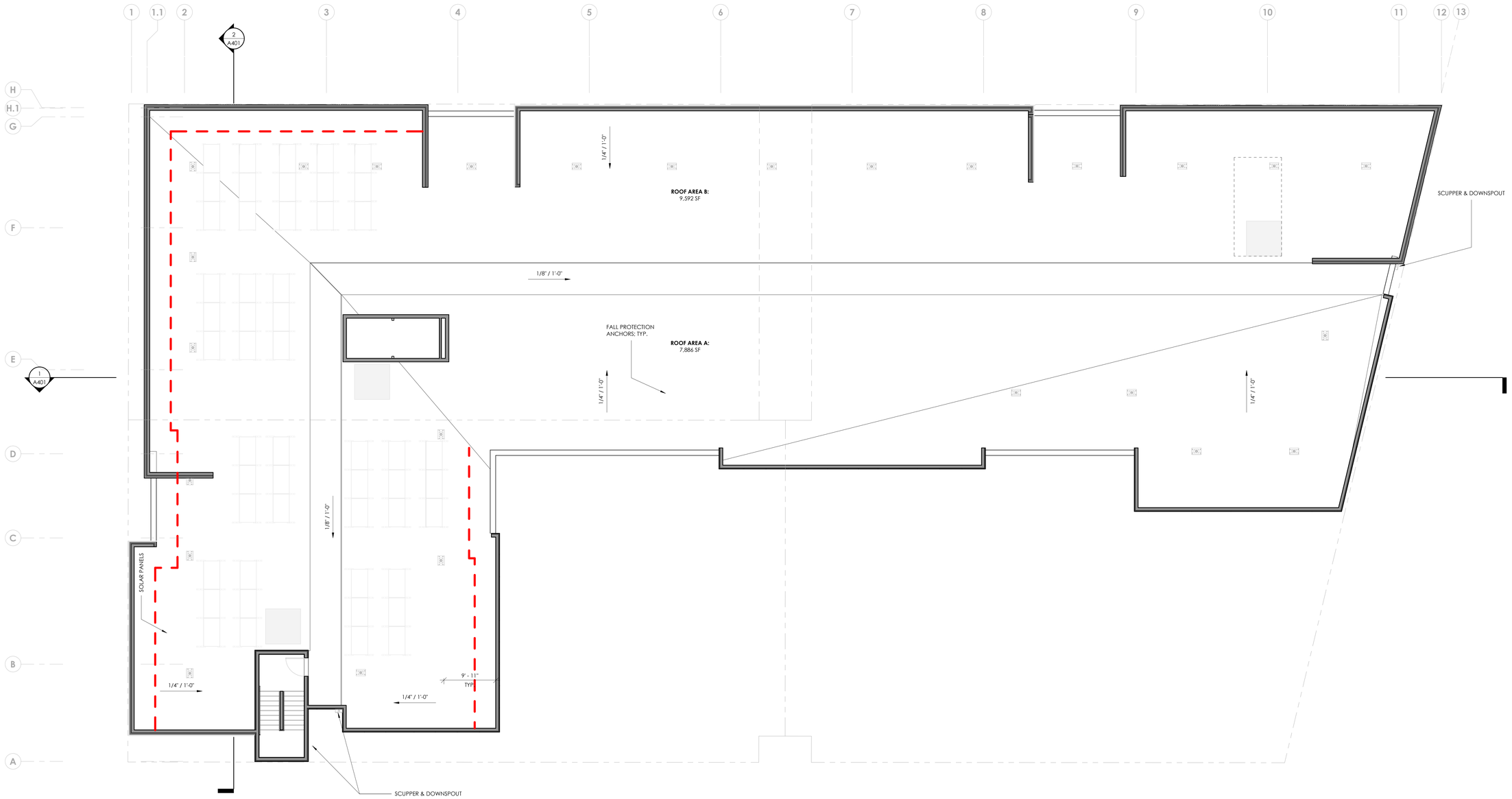

1 **ROOF DRB**
1/8" = 1'-0"

0' 4' 8' 16'

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PLAN - ROOF

A203

1 NORTH ELEVATION DRB

1/8" = 1'-0"

0' 4' 8' 16'

GENERAL NOTES - ELEVATIONS

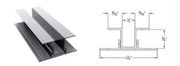
1. FIBER CEMENT PANELS TO ALIGN WITH WINDOW HEADS, JAMBS, SILLS, AND MULLIONS, TYP.
2. SEE ARCHITECTURAL FLOOR PLANS FOR WALL TYPES, DOOR NUMBERS AND DIMENSIONS.
3. SEE SHEET A-506 FOR TYPICAL WINDOW AND SKYLIGHT DETAILS.
4. REFER TO SHEET A-602 FOR WINDOW WILL HEIGHTS, FINISH AND SIZES.
5. REFER TO SHEET A-205 FOR STOREFRONT DIMENSIONS.
6. PAINT ALL EXPOSED MISC. STEEL LINTELS, PLATES, ANGLES, ETC. SW 7069 IRON ORE.

EXTERIOR ELEVATION MATERIAL KEY & LEGEND

1	BRICK - STANDARD RUNNING BOND	SUMMIT BRICK	COLOR: GRAPHITE
2	BRICK - STANDARD RUNNING BOND	SUMMIT BRICK	COLOR:THISTLEDOWN
3	FIBER CEMENT SIDING	JAMES HARDIE	COLOR: SW AESTHETIC WHITE (7035)
4	BRICK - SOLDIER COURSE	SUMMIT BRICK	COLOR: ONYX
5	BRICK - SILL/SOLDIER	SUMMIT BRICK	COLOR: TWILIGHT
6	FIBER CEMENT SIDING	SHERWIN WILLIAMS PAINT	COLOR: SW URBANE BRONZE (7048)
7	FIBER CEMENT PANEL SIDING	JAMES HARDIE	COLOR: SW FAIRFAX BROWN (2856)
8	CONCRETE	PER SPECIFICATIONS	COLOR: NATURAL FINISH
9	METAL CORNICE	SHERWIN WILLIAMS PAINT	COLOR: IRON ORE (7069)
10	STEEL CANOPY	SHERWIN WILLIAMS PAINT	COLOR: IRON ORE (7069)
12	DOMUS LED PENDANT LIGHT	LUMEC BY SIGNIFY	DMS55
16	WALL SCONCE	LUMINANCE LED	F6902-31-LED COLOR: BLACK FINISH
17	METAL - FLASHING	PER SPECIFICATIONS	COLOR: SW URBANE BRONZE (7048)
23	Brass, polished		

GRAPHITE

THISTLEDOWN



FIBER CEMENT PANEL VERTICAL REVEAL:
EASY TRIM 38 - 2-PIECE VERTICAL U

FIBER CEMENT PANEL HORIZONTAL REVEAL:
EASY TRIM 80 - GENERAL J LAP TRIM

FIBER CEMENT PANEL CORNER REVEAL:
EASY TRIM 34 - X OUTSIDE CORNER TRIM

2 EAST ELEVATION DRB

1/8" = 1'-0"

0' 4' 8' 16'

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LEGION & JEFFERSON
411 LEGION WAY
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

ELEVATIONS - NORTH & EAST

A301

1 SOUTH ELEVATION DRB
1/8" = 1'-0"

0' 4' 8' 16'

GENERAL NOTES - ELEVATIONS

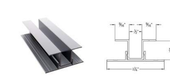
1. FIBER CEMENT PANELS TO ALIGN WITH WINDOW HEADS, JAMBS, SILLS, AND MULLION, TYP.
2. SEE ARCHITECTURAL FLOOR PLANS FOR WALL TYPES, DOOR NUMBERS AND DIMENSIONS.
3. SEE SHEET A-506 FOR TYPICAL WINDOW AND SKYLIGHT DETAILS.
4. REFER TO SHEET A-602 FOR WINDOW WILL HEIGHTS, FINISH AND SIZES.
5. REFER TO SHEET A-205 FOR STOREFRONT DIMENSIONS.
6. PAINT ALL EXPOSED MISC. STEEL LINTELS, PLATES, ANGLES, ETC. SW 7069 IRON ORE.

EXTERIOR ELEVATION MATERIAL KEY & LEGEND

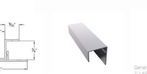
1	BRICK - STANDARD RUNNING BOND	SUMMIT BRICK	COLOR: GRAPHITE
2	BRICK - STANDARD RUNNING BOND	SUMMIT BRICK	COLOR:THISTLEDOWN
3	FIBER CEMENT SIDING	JAMES HARDIE	COLOR: SW AESTHETIC WHITE (7035)
4	BRICK - SOLDIER COURSE	SUMMIT BRICK	COLOR: ONYX
5	BRICK - SILL/SOLDIER	SUMMIT BRICK	COLOR: TWILIGHT
6	FIBER CEMENT SIDING	SHERWIN WILLIAMS PAINT	COLOR: SW URBANE BRONZE (7048)
7	FIBER CEMENT PANEL SIDING	JAMES HARDIE	COLOR: SW FAIRFAX BROWN (2856)
8	CONCRETE	PER SPECIFICATIONS	COLOR: NATURAL FINISH
9	METAL CORNICE	SHERWIN WILLIAMS PAINT	COLOR: IRON ORE (7069)
10	STEEL CANOPY	SHERWIN WILLIAMS PAINT	COLOR: IRON ORE (7069)
12	DOMUS LED PENDANT LIGHT	LUMEC BY SIGNIFY	DMS55
16	WALL SCONCE	LUMINANCE LED	F6902-31-LED COLOR: BLACK FINISH
17	METAL - FLASHING	PER SPECIFICATIONS	COLOR: SW URBANE BRONZE (7048)
23	Brass, polished		

GRAPHITE

THISTLEDOWN



FIBER CEMENT PANEL VERTICAL REVEAL:
EASY TRIM 38 - 2-PIECE VERTICAL U



FIBER CEMENT PANEL HORIZONTAL REVEAL:
EASY TRIM 80 - GENERAL J LAP TRIM

FIBER CEMENT PANEL CORNER REVEAL:
EASY TRIM 34 - X OUTSIDE CORNER TRIM

2 WEST ELEVATION DRB
1/8" = 1'-0"

0' 4' 8' 16'

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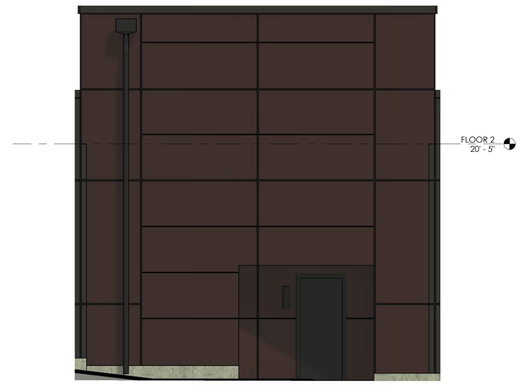
SCHEMATIC DESIGN
FEBRUARY 6, 2024

ELEVATIONS - SOUTH & WEST

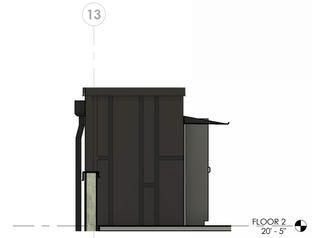
A302

2 NORTH ELEVATION - DOGHOUSE DRB
1/4" = 1'-0"
0' 2' 4' 8'



3 SOUTH ELEVATION - DOGHOUSE DRB
1/4" = 1'-0"
0' 2' 4' 8'

4 WEST ELEVATION - DOGHOUSE DRB
1/4" = 1'-0"
0' 2' 4' 8'



1 EAST ELEVATION - DOGHOUSE DRB
1/4" = 1'-0"
0' 2' 4' 8'

GENERAL NOTES - ELEVATIONS

1. FIBER CEMENT PANELS TO ALIGN WITH WINDOW HEADS, JAMBS, SILLS, AND MULLION, TYP.
2. SEE ARCHITECTURAL FLOOR PLANS FOR WALL TYPES, DOOR NUMBERS AND DIMENSIONS.
3. SEE SHEET A-506 FOR TYPICAL WINDOW AND SKYLIGHT DETAILS.
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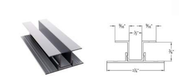
12	DOMUS LED PENDANT LIGHT	LUMEC BY SIGNIFY	DMS55
16	WALL SCONCE	LUMINANCE LED	F6902-31-LED COLOR: BLACK FINISH
17	METAL - FLASHING	PER SPECIFICATIONS	COLOR: SW URBANE BRONZE (7048)
23	Brass, polished		

GRAPHITE

THISTLEDOWN



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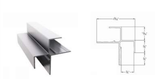
EASY TRIM 38 - 2-PIECE VERTICAL U

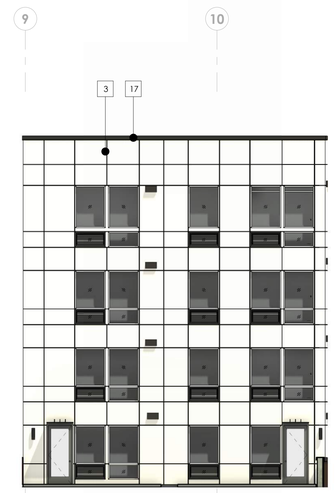
FIBER CEMENT PANEL HORIZONTAL REVEAL:
EASY TRIM 80 - GENERAL J LAP TRIM



FIBER CEMENT PANEL CORNER REVEAL:
EASY TRIM 34 - X OUTSIDE CORNER TRIM

5 SOUTH ELEVATION - ENLARGED DRB
1/8" = 1'-0"
0' 4' 8' 16'

6 WEST ELEVATION - ENLARGED A DRB
1/8" = 1'-0"
0' 4' 8' 16'



7 WEST ELEVATION - ENLARGED B DRB
1/8" = 1'-0"
0' 4' 8' 16'

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ELEVATIONS - TERRACE

A303

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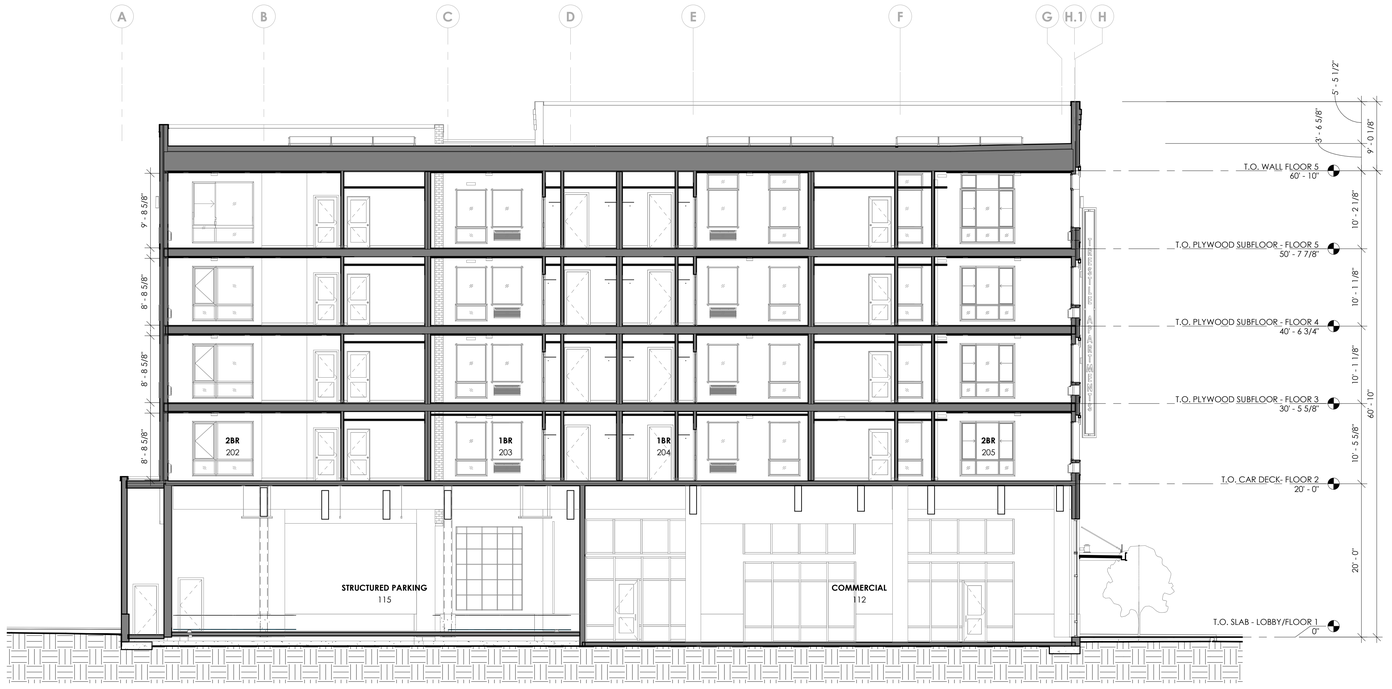

2 SECTION E-W DRB
1/8" = 1'-0"

0' 4' 8' 16'

1 SECTION N-S DRB
1/8" = 1'-0"

0' 4' 8' 16'

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SECTIONS

A401

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SOUTH-EAST VIEW

NORTH VIEW

SOUTH-WEST VIEW

NORTH-WEST VIEW

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BUILDING RENDER

A501

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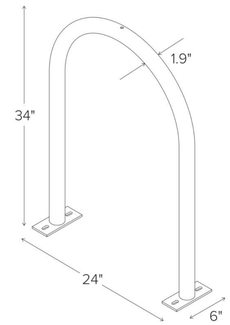
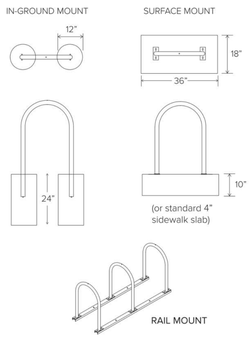
DERO BIKE ARC RACK - SHORT TERM BIKE STORAGE
COLOR: BLACK WITH GALVANIZED FINISH

DERO | **Hoop** Rack

Submittal Sheet



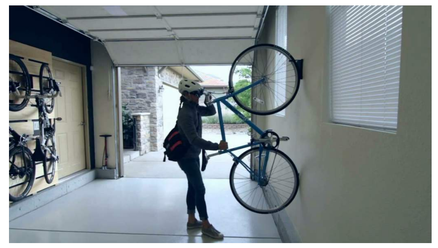


CAPACITY	2 Bikes	
MATERIALS	1.5" schedule 40 pipe (1.9" OD)	
FINISHES	☐	**Galvanized** An after fabrication hot dipped galvanized finish is our standard option.
	☐	**Powder Coat** Our powder coat finish assures a high level of adhesion and durability by following these steps: 1. Sandblast 2. Epoxy primer electrostatically applied 3. Final thick TGIC polyester powder coat
	☐	**Stainless** Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
MOUNT OPTIONS	☐	**Surface** Foot Mount has two 2.5" x 6" x .25" feet with two anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.
	☐	**In-Ground** In-ground mount is embedded into concrete base. Specify in-ground mount for this option
	☐	**Rail** Rail Mounted Downtown Racks are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3" x 1.4" x 3/16" thick galvanized mounting rails. Specify rail mount for this option.

☐ 90 ☐ 45A ☐ 45B ☐ 60A ☐ 60B

OPTIONAL LEAN BAR	☐	**Add Lean Bar**

FEEDBACK SPORTS - VELO BIKE HINGE - LONG TERM BIKE STORAGE
COLOR: BLACK



VELO HINGE
[PIVOTING BIKE STORAGE HOOK]
Part #16724

Because you love your bicycles, when you're not riding them you want to protect them, but you also need to be space conscious. Introducing the Velo Hinge, an innovative and elegant bike storage idea that hangs your bike by the front wheel and allows it to safely swing sideways, to its smallest footprint. Fitting almost any bike (does your bike require a Long Hook?) and swinging left or right to match your needs, the Velo Hinge maximizes your space while showing love to your bicycles and your living space. And when not in use, it tucks away so you'll hardly know its there.

$28.00 Out of stock

Watch Product Video

Get notified when this product is back in stock.

Name | Email | Join Waitlist →

Design ›
Manuals & Videos
Reviews (8)

DESIGN

- Available Velo Hinge Long Hook accessory for deep profile road wheels and wide mountain bike rims/tires
- Hook opening of 2.8" (7.4cm) can accommodate most road, cyclocross and mountain bikes
- Maximizes available bicycle storage space for apartments, garages, basements and sheds
- Patented hinge design allows the bike to pivot left or right
- System fits most any road bike, cyclocross bike, mountain bike, or kids bikes
- Ideal for storing bikes in a small space
- Front wheel hook mounts to any standard wall stud
- Rear wheel bumper stabilizes the bike to prevent swaying
- Wheel retaining hook folds away when not in use
- Durable powder coated steel maintains a long-term clean finish
- Secure load capacity of 50lbs (22.7kg) when properly stud mounted
- 3-Year Warranty

WARNING: Cancer and Reproductive Harm – www.p65warnings.ca.gov

PRODUCT INFORMATION:

- POWDER COATED STEEL
- MOUNT AREA: 7.25" X 3.5" X 0.63" (185MM X 90 MM X 16 MM)
- LOAD CAPACITY: 50 LBS (22 KG)
- ASSEMBLED TO PIVOT LEFT (REVERSIBLE PIVOT RIGHT)
- SHIPS BEST IN 10 PACKS
- 3-YEAR WARRANTY
- PATENT PENDING
- WEIGHT OF 2 LBS
- 11.25" X 5.5" X 0.75"
- HINGE DESIGN ALLOWS BIKE TO SWING LEFT TO RIGHT
- OPTIMIZES AVAILABLE STORAGE AREA
- FOLD HOOK AWAY WHEN NOT IN USE
- WHEEL BUMPER (INCLUDED) STABILIZES BIKE AND PREVENTS SWAYING
- FITS MOST STANDARD ROAD, MOUNTAIN, CHILDREN'S BIKES
- MOUNTS TO ANY STANDARD WALL STUD
- DURABLE MOUNTING HARDWARE INCLUDED

URBAN OLYMPIA
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OLYMPIA, WA

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BIKE PARKING

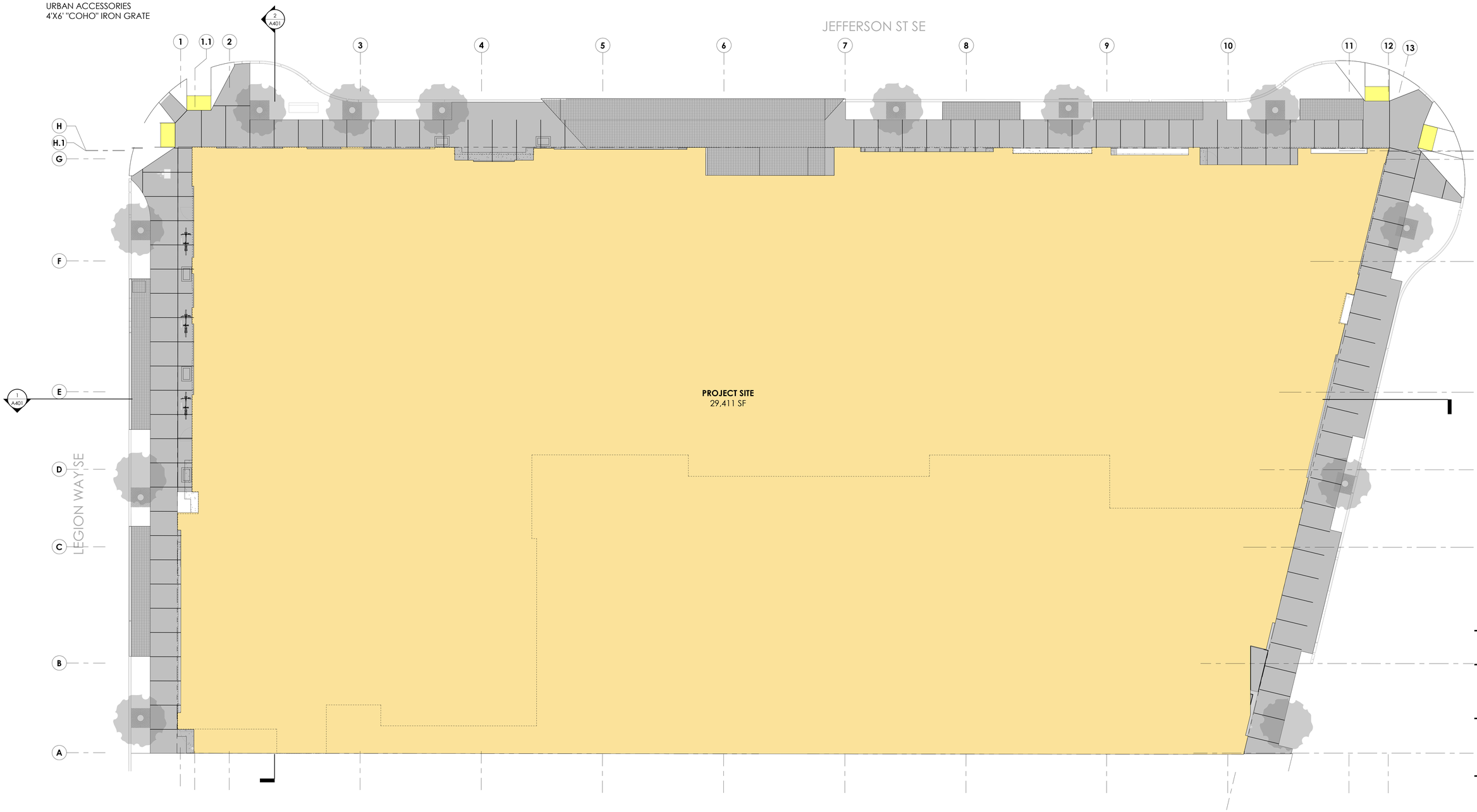
A900

TREE GRATE:
URBAN ACCESSORIES
4'X6' "COHO" IRON GRATE

CONCRETE TEXTURED:
NATURAL COLOR
4"x6" TILE PATTERN

ADA TILE:
STEP-SAFE MODEL:
CAST-IN-PLACE ADA TILE
YELLOW

CONCRETE:
NATURAL COLOR
SMOOTH FINISH



1 FLOOR 1 - HARDSCAPE
1/8" = 1'-0"

0' 4' 8' 16'

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HARDSCAPE MATERIAL

A901

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PEDESTRIAN BENCH
VICTOR STANLEY RB-28
COLOR: BLACK

PEDESTRIAN RECEPTACLES
VICTOR STANLEY S-42
COLOR: BLACK

FIBERGLASS PLANTER BOX
FRP PLANTER
COLOR: STATELY BRONZE

SHORT TERM BIKE STORAGE
DERO ARC RACK
COLOR: LIGHT GREY WITH GALVANIZED FINISH

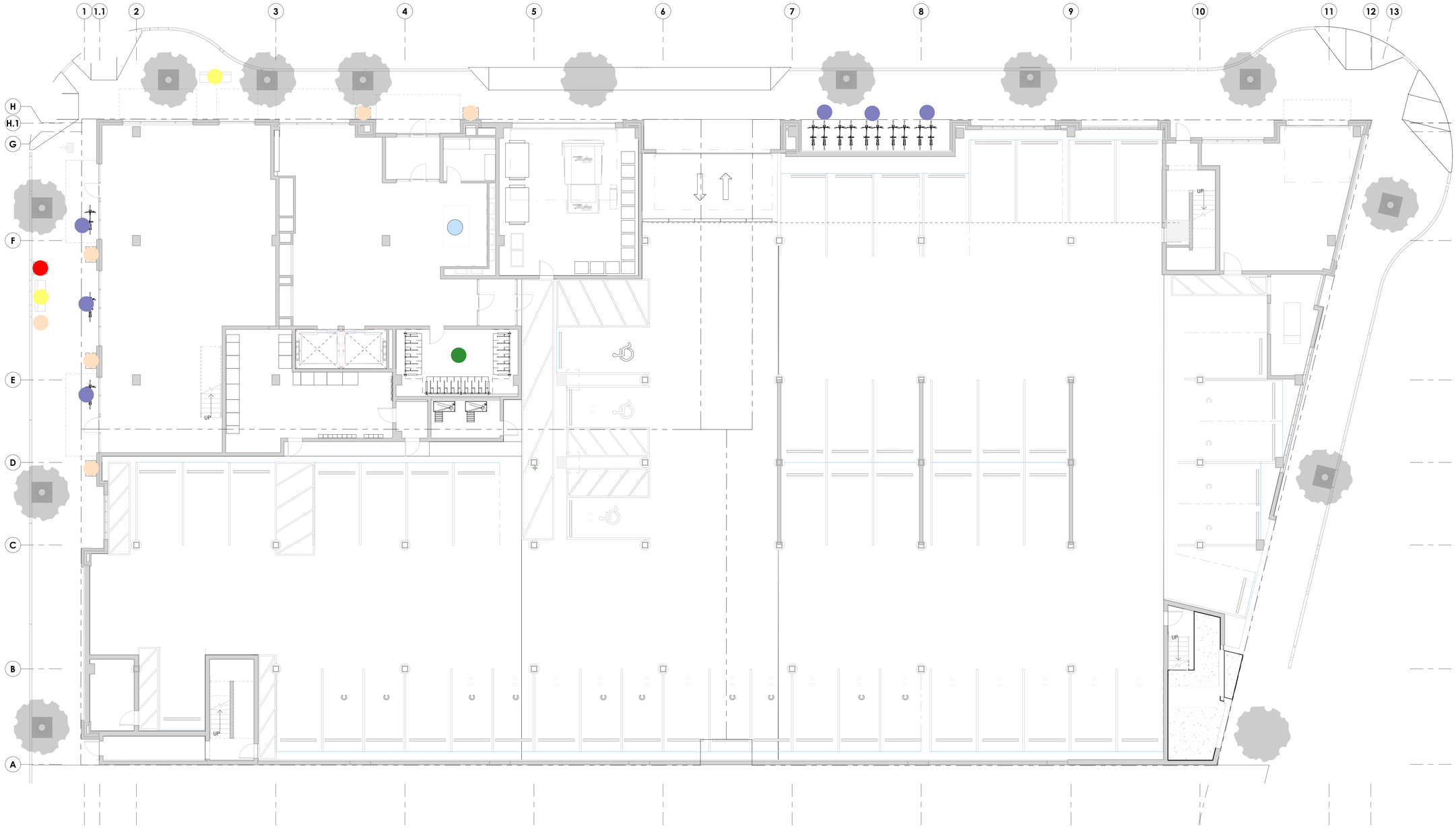
LONG TERM BIKE STORAGE
30" x 60" SPACE ALLOCATED FOR BIKE STORAGE ON VELO HINGES

3710D-10
Double Column - Front Loading

RESIDENTIAL MAILBOXES (INTERIOR OF BUILDING):
MODEL: SALISBURY, 3710D-4PCFP
MODEL: SALISBURY, 3710D-4P FRONT LOADING 4C
COLOR: BLACK

JEFFERSON ST SE

LEGION WAY SE



1 FLOOR 1 - PEDESTRIAN AMENITIES
1/8" = 1'-0"

0' 4' 8' 16'

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PEDESTRIAN AMENITIES

A902

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LUMINANCE LED - WALL SCONCE:
SERIES F6902-31-LED
CYLINDER UP/DOWN LIGHT, OR COMBINED
ALUMINUM, MATERIAL WITH A BLACK FINISH

SUNSET LIGHTING

F6902-44-LED

SPECIFICATIONS	
ITEM NUMBER	F6902-44-LED
DESCRIPTION	LED ROUND EXTERIOR
MATERIAL	ALUMINUM
FINISH	OIL BRONZE - (44)
MOUNTING	WALL
CRI	90
CCT	3000K
WARRANTY	5 YR LIMITED
SUITABLE LOCATION	WET

ELECTRICAL	
LIFE HOURS	50,000
DIMMABLE	NO
SOURCE LUMEN	3600
DELIVERED LUMEN	2100
MAXIMUM WATTAGE	30W
VOLTS	120V

DIMENSIONS	
HEIGHT	15"
WIDTH	5"
EXTENSION	7-1/8"

INFO
TOP COVER LENS P6901

LUMINANCEBRANDS
SUNSET LIGHTING • A DIVISION OF LUMINANCE BRANDS
P: 800.777.4440 | F: 800.866.7672 | E: INSIDESALES@LUMINANCEBRANDS.COM
1945 S. TUBEWAY AVE. LOS ANGELES, CA 90040 | WWW.LUMINANCEBRANDS.COM

CYBER-TECH LIGHTING - GARAGE SUSPENDED LED LIGHTING:
WITH COMBINED MOTION SENSOR TECHNOLOGY
COLOR: BLACK

CTL CYBER TECH LIGHTING INC. www.cybertechlighting.com
4Ft LED Covered Strip light

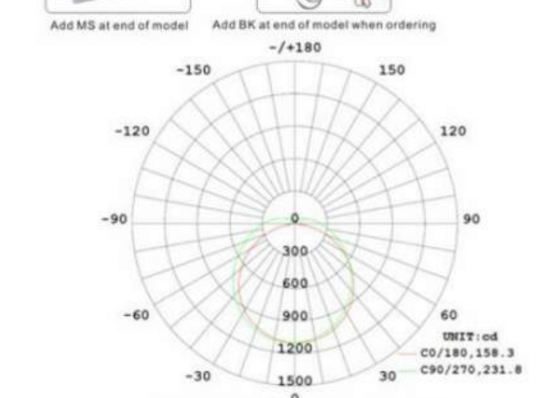
LED TECHNOLOGY
50,000 Hours Life, 40Watt, 120-277V 50/60Hz

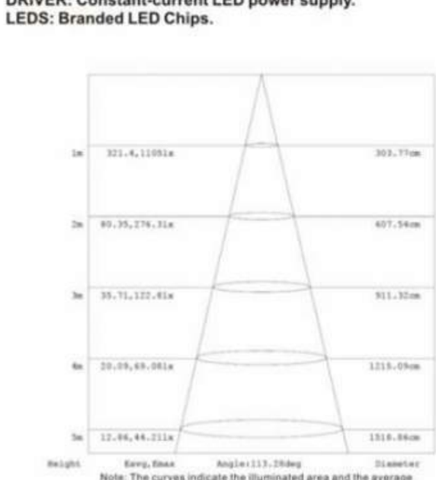
Applications:
Garages, Carports, Walk Ways, Warehouse, Retail Stores Comma Restrooms, Commercial Buildings, Airplane Hangers

Features:
- Operates on 120 to 277 volts
- 0-10V dimmable
- Steel body. Post painted
- Easy fit polycarbonate lens
- 50,000 hours life, 5 year warranty
- Battery backup will run unit for 90min with an output of 880 lumens.
- Motion sensor can be programed to run at dimmed Output then full power when sensor triggered
- Accessories sold separately

Accessories:
Motion Sensor — Add MS at end of model
Battery Backup — Add BK at end of model when ordering

Specification:
Input Line Voltage: 120-277VAC
Input Power: 40W
Input Line Frequency: 50/60Hz
Lamp Life (Rated): 50,000hrs
Minimum Starting Temp: -21°C/-6°F
Maximum Operating Temp: 54°C/130°F
CCT: 4000K/5000K
CRI: ≥80
CBCP: 1105
Lumens: 4400
Dimmable: 10% 0-10V
DRIVER: Constant-current LED power supply.
LEDS: Branded LED Chips.





Weight: 5.51 lb

WARRANTY
5-YEAR *

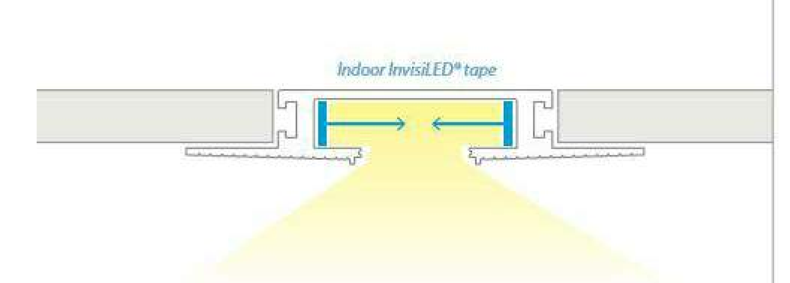
Model:#	Description	wattage	lumens
ST4840L-LED/840	4 Ft Covered Strip Light Fixture, with Lens Cool White	40	4400
ST4840L-LED/850	4 Ft Covered Strip Light Fixture, with Lens Day Light	40	4400

*5 Years Limited Warranty
UPC: ST4840L-LED/840 806802153797; ST4840L-LED/850 806802153803

Cyber Tech Lighting,Inc.
331 S. Hale Ave. Fullerton, CA 92831 USA.
Tel:714-870-0794, 1-877-60CYBER Fax:714-870-0795
www.cybertechlighting.com
RoHS COMPLIANT ST04-1217

WAC LIGHTING - AWNING/ARTWORK LIGHTING:
LED-T-RCH1-WT
SYMMETRICAL RECESSED CHANNEL LINEAR

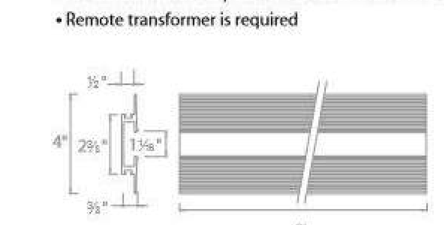
SYMMETRICAL RECESSED CHANNEL
LED-T-RCH1
WAC LIGHTING Responsible Lighting®



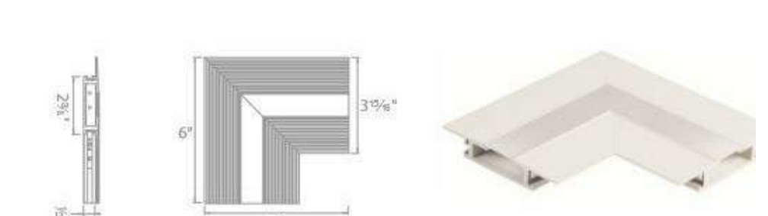
- Installs within drywall depth
- Linear channel can be field cut
- Accomodates either one or two runs of InvisiLED® indoor tape See individual InvisiLED spec sheets.
- Includes a translucent white acrylic diffuser
- Dense foam insert for spackling
- Aluminum extrusion powder coated in matte white
- Remote transformer is required

COMPATIBLE PRODUCTS
InvisiLED® Pro, Pro2, Pro3
InvisiLED® LITE, Classic
InvisiLED® Daylight to Sunset, Palette

8 ft linear channel — LED-T-RCH1-WT
Includes an end cap and diffuser
Can be field cut



Lateral corner — LED-T-CTC1-WT
Includes diffuser



PERFORMANCE CHART

	InvisiLED® Pro3	InvisiLED® Pro2	InvisiLED® Pro	InvisiLED® LITE
2200K		120		
2700K	215	180	110	85
3000K	220	165	110	100
3500K	245	185	115	
4500K	265	185	120	

Two strips of tapes were used under the diffuser, data shows lumen output per foot

LED STRIP LIGHTING
FLEX FIRE LEDs
IP 67 VALOR SERIES
STATIC WHITE FULLY DIFFUSED

URBAN OLYMPIA
LEGION & JEFFERSON
411 LEGION WAY
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

LIGHTING SPECS

A903

WALL SCONCE:
LUMINANCE LED
SERIES F6902-31-LED
CYLINDER UP/DOWN LIGHT
ALUMINUM MATERIAL
BLACK FINISH

ACCENT LIGHT:
LIGHTOLOGY
LEDWALL001D-BK
ITEM #: DLS597987
SQUARE OUTDOOR WALL LIGHT
COLOR: BLACK

RECESSED/SUSPENDED LED LIGHT:
CYBER TECH LIGHTING INC.
ST4840L-LED840
4FT LED COVERED STRIP LIGHT
MOTION SENSOR AVAILABLE

WALL WASH:
LUMEC BY SIGNIFY
DMS55
DOMUS LED PENDANT - LARGE

2 NORTH ELEVATION - LIGHTING
1/8" = 1'-0"

0' 4' 8' 16'

1 EAST ELEVATION - LIGHTING
1/8" = 1'-0"

0' 4' 8' 16'

THOMAS
architecture studios
525 COLUMBIA ST. SW | OLYMPIA, WA 98501
360.915.8775 | tasolympia.com

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411 LEGION WAY
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

LIGHTING DETAILS - ELEVATIONS

A904

WALL SCONCE:
LUMINANCE LED
SERIES F6902-31-LED
CYLINDER UP/DOWN LIGHT
ALUMINUM MATERIAL
BLACK FINISH

ACCENT LIGHT:
LIGHTOLOGY
LEDWALL001D-BK
ITEM #: DLS597987
SQUARE OUTDOOR WALL LIGHT
COLOR: BLACK

RECESSED/SUSPENDED LED LIGHT:
CYBER TECH LIGHTING INC.
ST4840L-LED840
4FT LED COVERED STRIP LIGHT
MOTION SENSOR AVAILABLE

WALL WASH:
LUMEC BY SIGNIFY
DMS55
DOMUS LED PENDANT - LARGE

2 SOUTH ELEVATION - LIGHTING
1/8" = 1'-0"

0' 4' 8' 16'

1 WEST ELEVATION - LIGHTING
1/8" = 1'-0"

0' 4' 8' 16'

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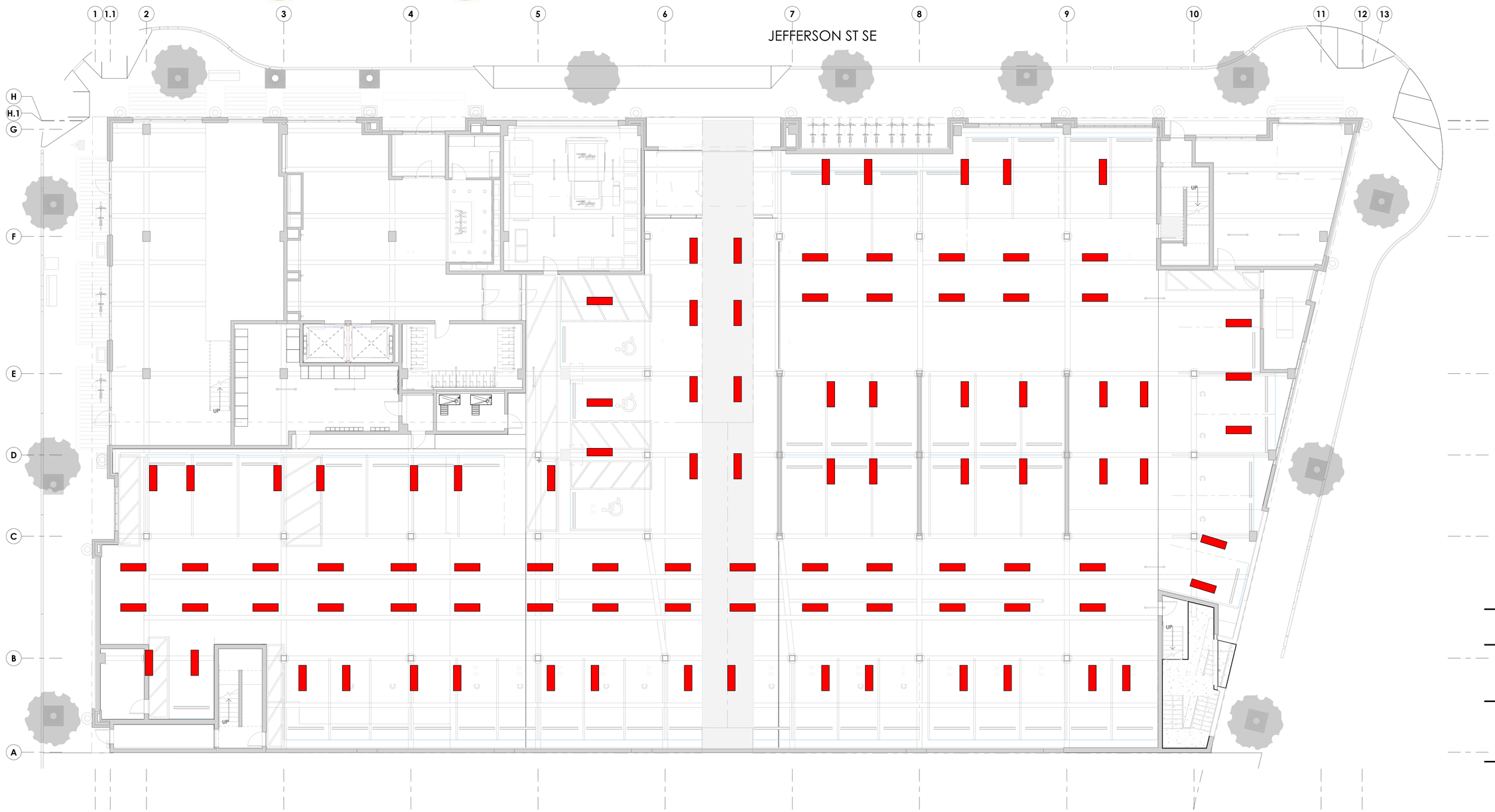
FEBRUARY 6, 2024

LIGHTING DETAILS - ELEVATIONS

A905

GARAGE SUSPENDED LED LIGHTING
CYBER TECH LIGHTING
WITH COMBINED MOTION SENSOR TECHNOLOGY
COLOR: BLACK



1 **FLOOR 1 - PARKING LIGHTING**
1/8" = 1'-0"

0' 4' 8' 16'

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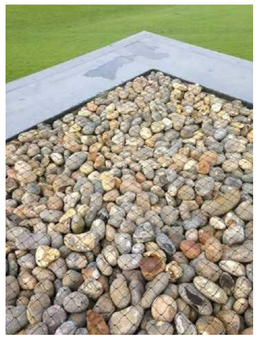
FEBRUARY 6, 2024

LIGHTING DETAILS - PARKING

A906

ROOF:
TPO
COLOR: WHITE

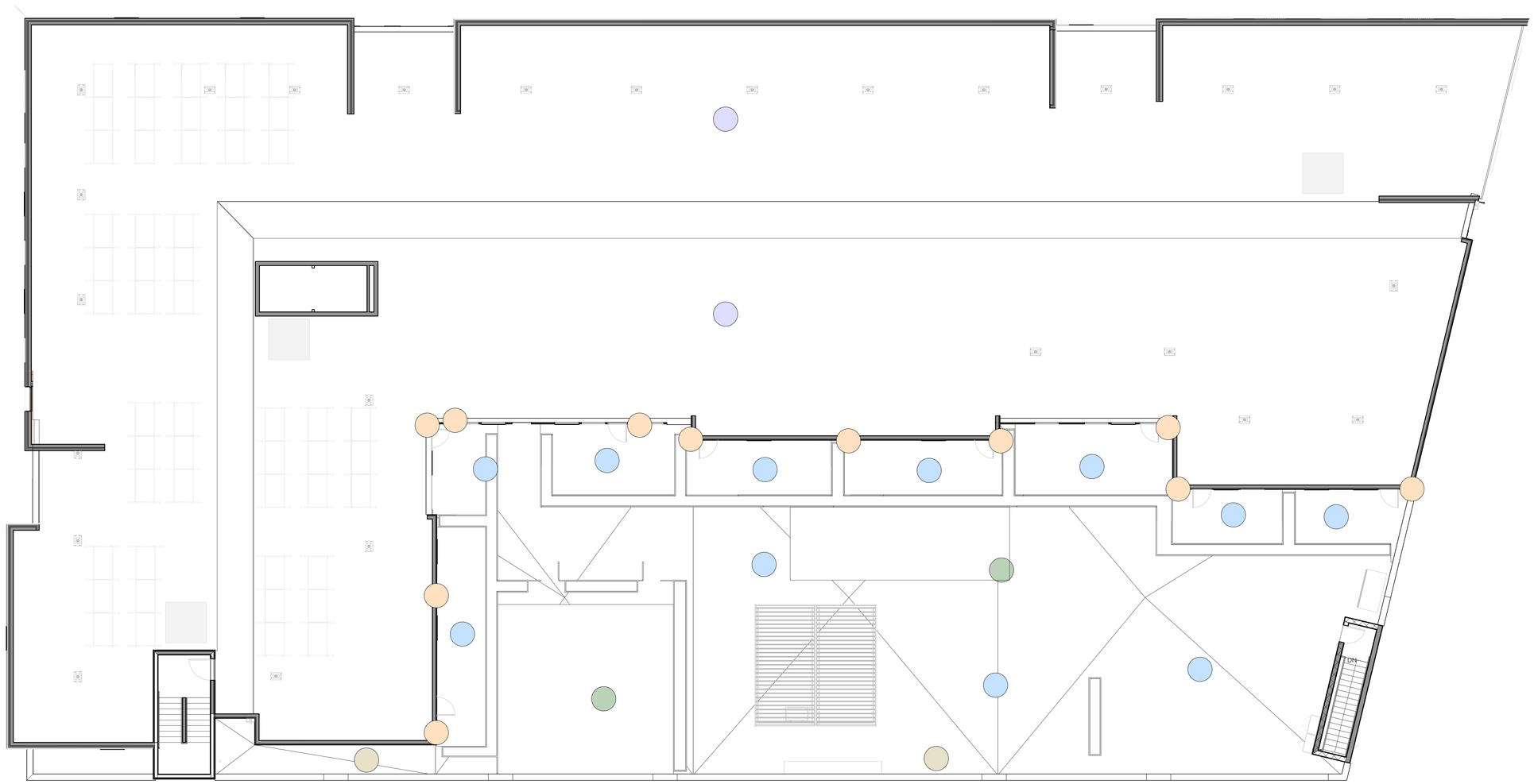
DECORATIVE ROCK W/ SCREENING:
TBD



CONCRETE BROOM FINISH
COLOR: NATURAL

DOG RUN/OPEN LAWN:
PEDESTAL PAVERS WITH ARTIFICAL TURF

WALL SCONCE
LUMINANCE LED
SERIES F6902-31-LED
CYLINDER UP/DOWN LIGHT
ALUMINUM MATERIAL BLACK FINISH



1 **COMMUNITY DECK & ROOF**
1/8" = 1'-0"

0' 4' 8' 16'

THOMAS
architecture studios
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360.915.8775 | tasolympia.com

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LEGION & JEFFERSON
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OLYMPIA, WA

Project No: 2228
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FEBRUARY 6, 2024

ROOF DECK DETAILS

A907

THOMAS
architecture studios
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360.915.8775 | tasolympia.com

WASTE COLLECTION ALUMINUM AND GLASS OVERHEAD DOORS
CLOPAY ARCHITECTURAL SERIES-ALUMINUM
OVERHEAD DOORS MODEL 904, 904U
MAX WIDTH 24'2" MAX HEIGHT 20'
COLOR: BRONZE (PAINTED)


CLOPAY COMMERCIAL – MODELS 904, 904U
architectural series

ALUMINUM FULL-VIEW DOORS

Clopay's Model 904 showcases a sleek design with fewer lines and angles to its appearance. With equal stile spacing, rail and stile profiles are more proportional to each other. This design provides an aesthetically pleasing appearance making it ideal in applications such as restaurants, auto dealerships and fire stations. In addition to these features, Model 904U features Intellicore® polyurethane insulated rails and stiles.

clopaycommercial.com

SIMPSON DOOR COMPANY - MAIN STOREFRONT RESIDENTIAL ENTRY
COLOR: WALNUT (BLACK)
SIZE: 3'6" W X 8' H
4976 - ARTIST


Simpson® Door Company | INSPIRATION AT YOUR DOOR® | DOOR SPEC SHEET

4976 — ARTIST

SERIES: Artist Collection®
TYPE: Exterior French & Sash
APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and ma other applications for the home's exterior.

Construction Type:
Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

Panels: 1-3/4" Panels with Square Groove
Profile: Square Groove
Glass: 3/4" Insulated Glazing

STANDARD FEATURES
- Any Wood Species
- Virtually Any Size
- Glass Options
- Privacy Rating: 1

DETAILED DRAWING

DETAILS

Glazing Profile

(Standard)

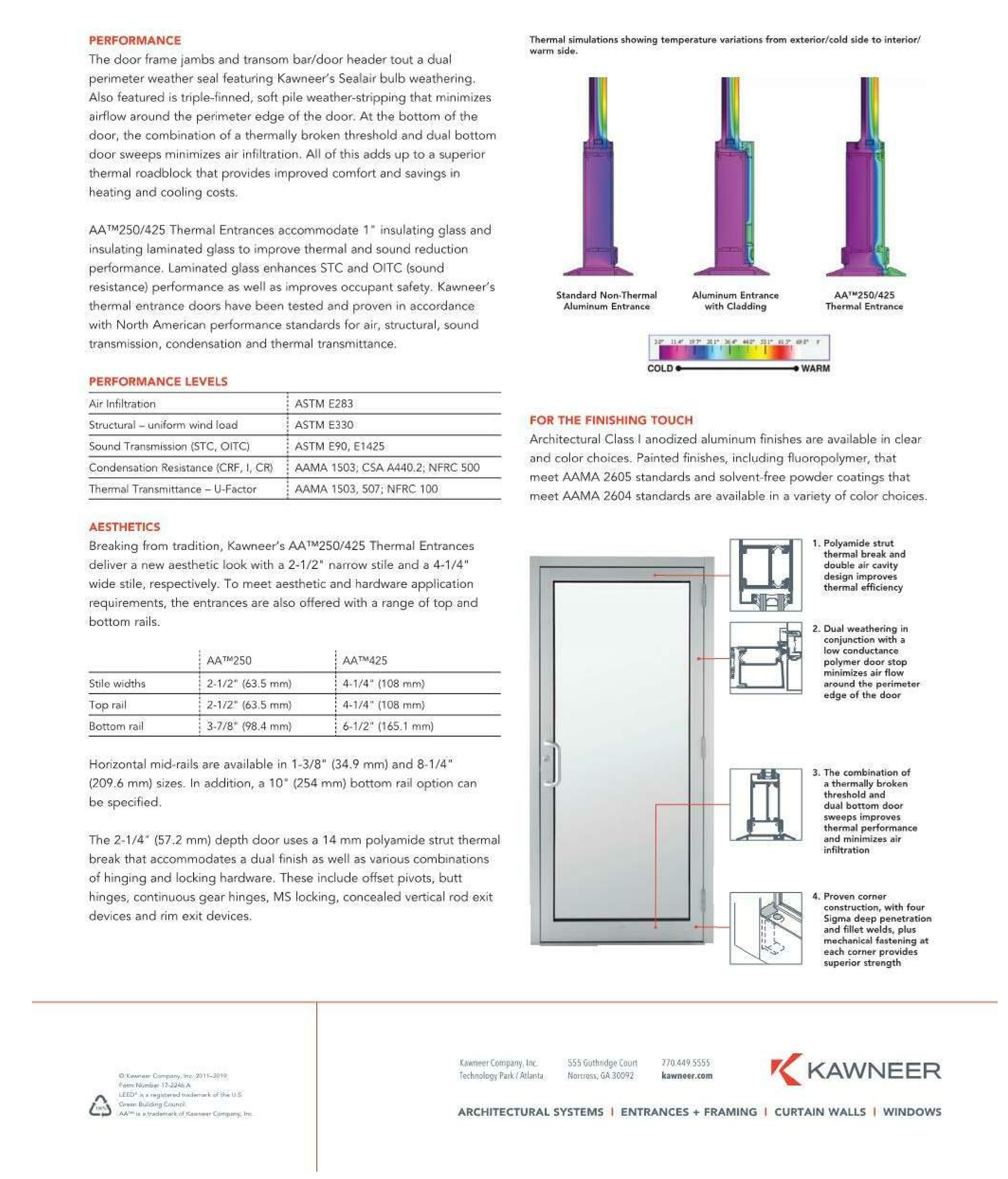
CURRIES - SECONDARY ENTRIES
707 SERIES - COMPOSITE - INSULATED CORE METAL DOOR
SIZE: 9' W X 10' H
COLOR: MATCH WALL

707 Series - Composite

Standard Features

- Available with Embossed Panels
- Insulated Polystyrene Core (optional Polyurethane Core)
- 1-3/8 or 1-3/4 Inches Thick
- Polystyrene R-Factor - 6.37
- Polyurethane R-Factor - 10.04
- 16 Gauge Top & Bottom Channels
- 20, 18, 16 or 14 Gauge Face Skins
- Fire Rated up to 3 Hours
- Rugged Perimeter Channel Construction
- Sizes from 2068 to 50100
- Versatile and Dependable.

KAWNEER - COMMERCIAL STOREFRONT ENTRY
AA 250/425 THERMAL ENTRANCES
COLOR: BLACK


PERFORMANCE

The door frame jambs and transom bar/door header tout a dual perimeter weather seal featuring Kawneer's Sealair bulb weathering. Also featured is triple-finned, soft pile weather-stripping that minimizes airflow around the perimeter edge of the door. At the bottom of the door, the combination of a thermally broken threshold and dual bottom door sweeps minimizes air infiltration. All of this adds up to a superior thermal roadblock that provides improved comfort and savings in heating and cooling costs.

AA™250/425 Thermal Entrances accommodate 1" insulating glass and insulating laminated glass to improve thermal and sound reduction performance. Laminated glass enhances STC and OITC (sound resistance) performance as well as improves occupant safety. Kawneer's thermal entrance doors have been tested and proven in accordance with North American performance standards for air, structural, sound transmission, condensation and thermal transmittance.

PERFORMANCE LEVELS

Air Infiltration	ASTM E283
Structural – uniform wind load	ASTM E330
Sound Transmission (STC, OITC)	ASTM E90, E1425
Condensation Resistance (CRF, I, CR)	AAMA 1503; CSA A440.2; NFRC 500
Thermal Transmittance – U-Factor	AAMA 1503, 507; NFRC 100

AESTHETICS

Breaking from tradition, Kawneer's AA™250/425 Thermal Entrances deliver a new aesthetic look with a 2-1/2" narrow stile and a 4-1/4" wide stile, respectively. To meet aesthetic and hardware application requirements, the entrances are also offered with a range of top and bottom rails.

	AA™250	AA™425
Stile widths	2-1/2" (63.5 mm)	4-1/4" (108 mm)
Top rail	2-1/2" (63.5 mm)	4-1/4" (108 mm)
Bottom rail	3-7/8" (98.4 mm)	6-1/2" (165.1 mm)

Horizontal mid-rails are available in 1-3/8" (34.9 mm) and 8-1/4" (209.6 mm) sizes. In addition, a 10" (254 mm) bottom rail option can be specified.

The 2-1/4" (57.2 mm) depth door uses a 14 mm polyamide strut thermal break that accommodates a dual finish as well as various combinations of hinging and locking hardware. These include offset pivots, butt hinges, continuous gear hinges, MS locking, concealed vertical rod exit devices and rim exit devices.

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum finishes are available in clear and color choices. Painted finishes, including fluoropolymer, that meet AAMA 2605 standards and solvent-free powder coatings that meet AAMA 2604 standards are available in a variety of color choices.

Kawneer Company, Inc. Technology Park / Atlanta | 555 Guthridge Court Norcross, GA 30092 | 770.449.5555 kawneer.com

KAWNEER

ARCHITECTURAL SYSTEMS | ENTRANCES + FRAMING | CURTAIN WALLS | WINDOWS

URBAN OLYMPIA
LEGION & JEFFERSON
411 LEGION WAY
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

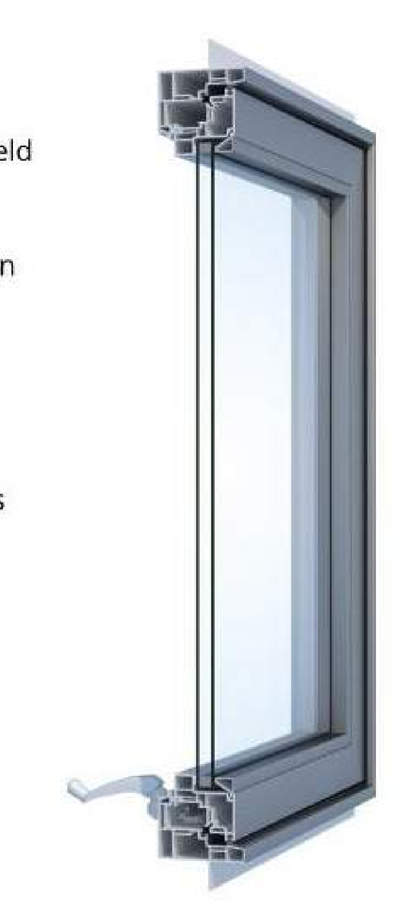
COLORS & MATERIALS - DOORS

A908

VPI ENDURANCE - HINGED CASEMENT & SLIDING WINDOWS
511 SERIES
COLOR: BLACK & WHITE

Endurance Window

Commercial Mid-Rise Windows



Strength & Performance

- Superior product performance developed and tested in the lab, proven in the field
- Commercial grade metal reinforcements interconnected throughout window assembly
- Vinyl frames deliver consistent thermal performance and minimize condensation
- Windows are assembled with continuous frames to avoid risky mulls

Water Resistance

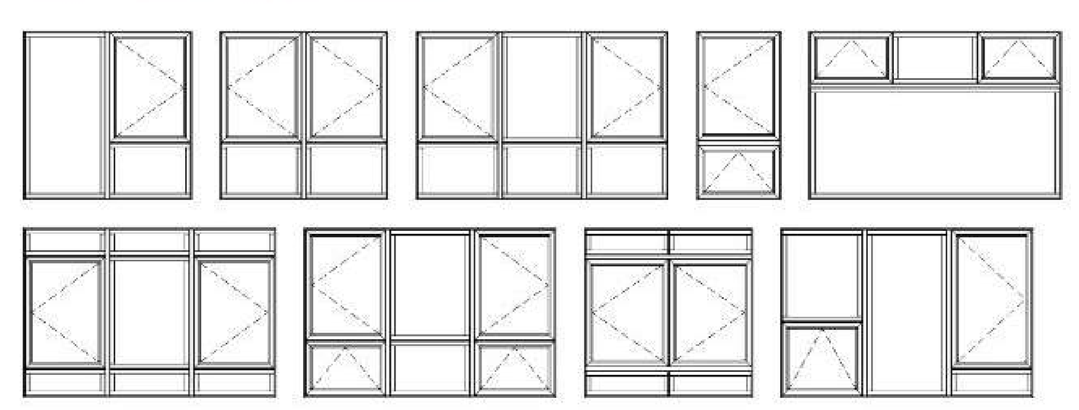
- Panel level design minimizes water intrusion and air infiltration/ex-filtration
- Fusion welded corners provide environmental comfort and protect against leaks
- Integral nailfin options for ease of installation and water barrier

Design & Security

- Durable, co-extruded acrylic exterior finishes allow for color diversity
- Available multiple locking points ensure security and compress the triple weather seal for superior air and water resistance
- Easy to operate hardware for egress and fair housing requirements
- Heavily reinforced intersecting "T-Bar" system allows for design freedom with superior structural, air, water, and thermal performance

Commercial-Rated Performance:
Engineered for Mid-Rise Construction

Common Configurations:

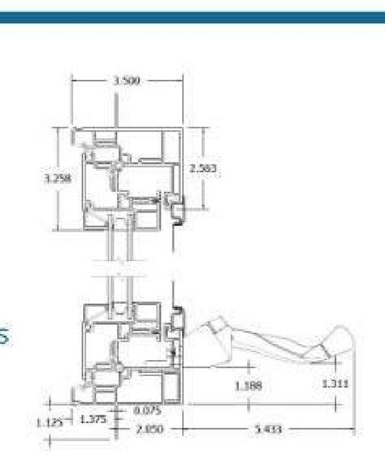


Options:
- Casement
- Awning
- Fixed
- Single Hung
- Horizontal Slider

Sill Details:

Casement/Awning
3 1/2" Frame Depth

- Up to CW PG-70
- U values as low as .18
- Sound Rating as high as STC 44/OITC 33

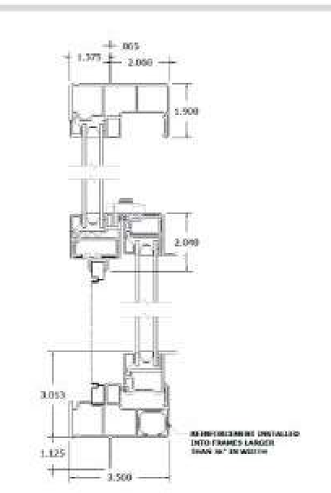


Fixed Window
3 1/2" Frame Depth

- Up to CW PG-40
- U values as low as .16
- Sound Rating as high as STC 44/OITC 33

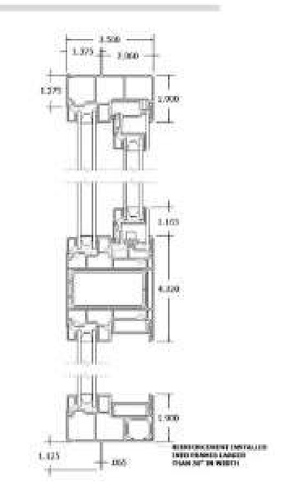
Single Hung
3 1/2" Frame Depth

- Up to LC-PG55
- U values as low as .22
- Sound Rating as high as STC 36/OITC 29



Horizontal Slider
3 1/2" Frame Depth

- Up to LC-PG50
- U values as low as .22
- Sound Rating as high as STC 36/OITC 29



Colors:

Base: ⬜ White, 🟨 Tan, ▨ Adobe

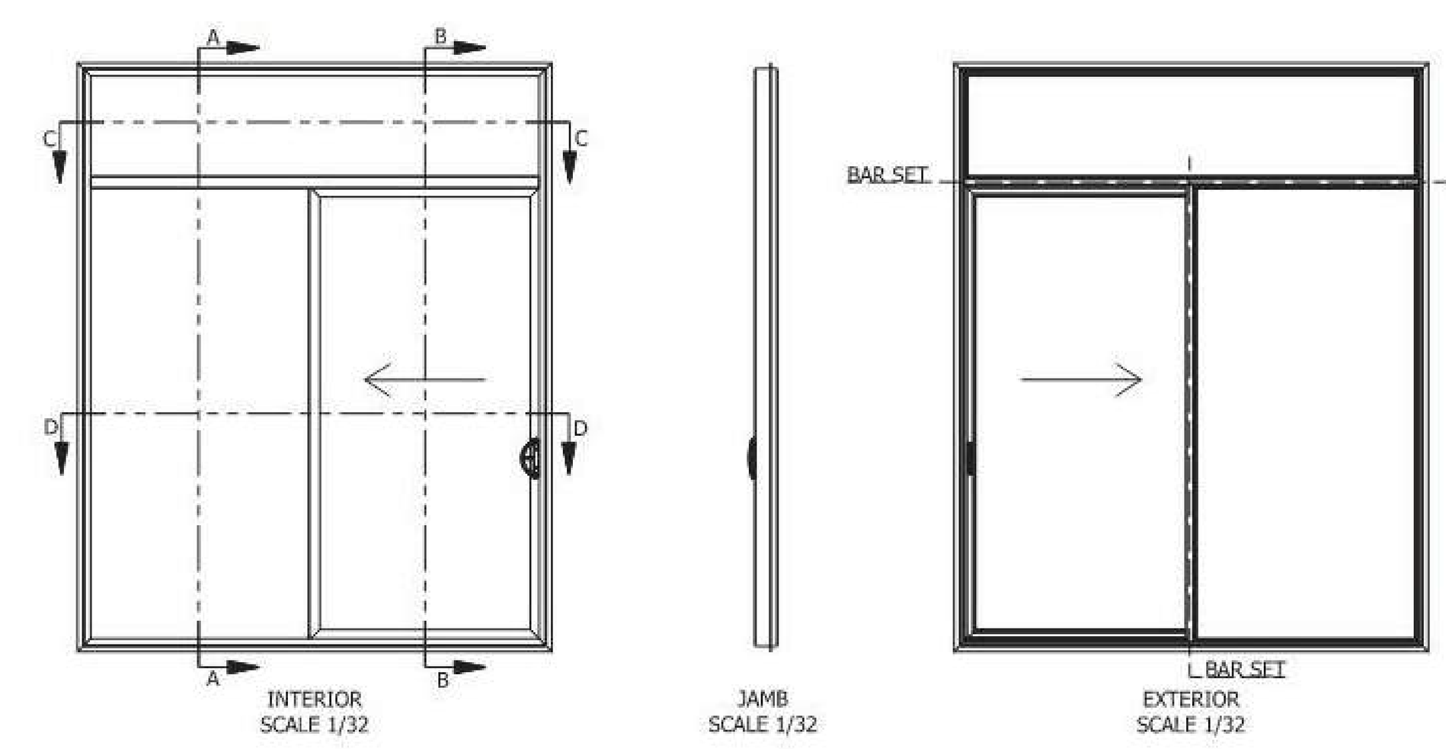
*SuperCapSR**: ⬛ Black, ⬜ Silver *(clear anodized appearance)*, 🟫 Architectural Bronze

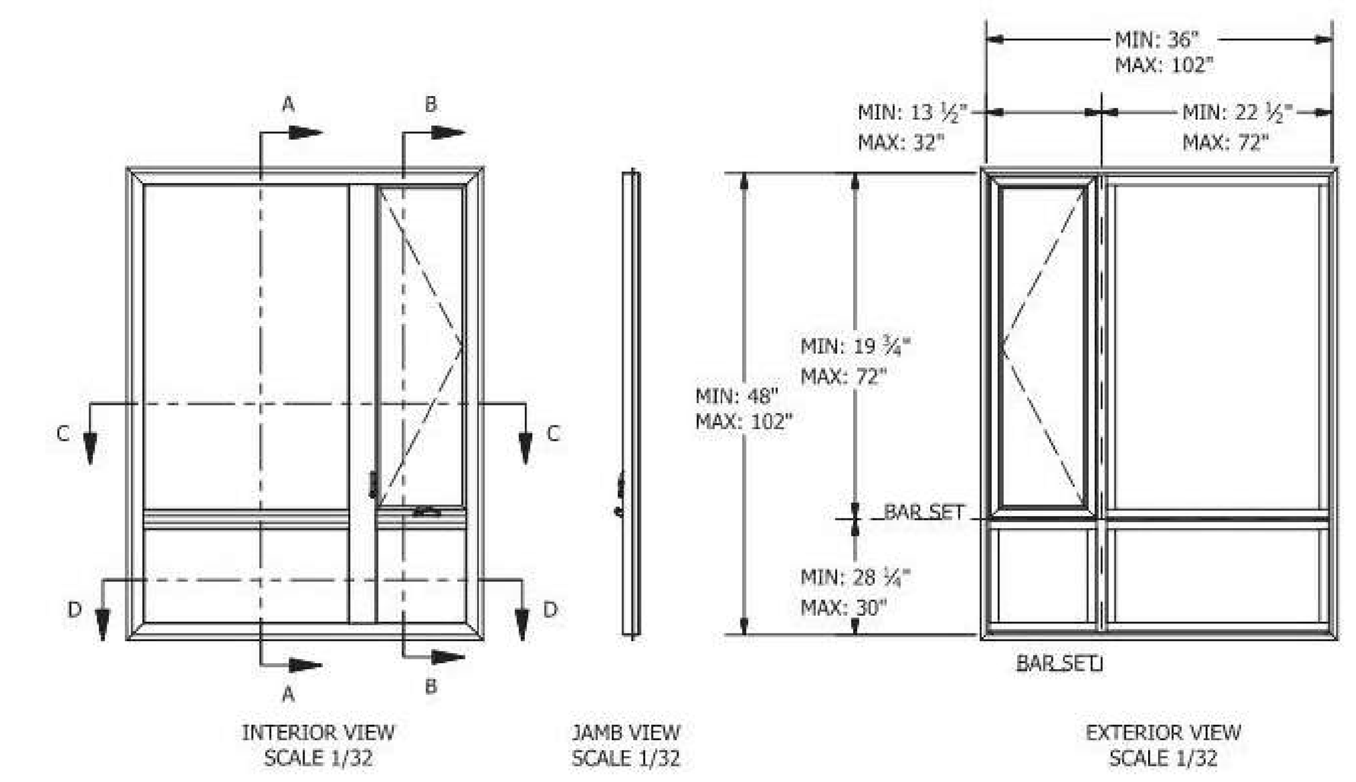
SuperCapSR

*Printing limitations prevent exact color duplication. Contact your VPI representative for color samples.

vpi Quality Windows 9

ENDURANCE SERIES





VPI SuperCapSR™ Color Technology to Interior Finishes

VPI Quality Windows announced that it will now extend SuperCapSR™ color technology to include interior finishes for the following product lines:

- Endurance Outswing Casement
- Endurance Awning
- Endurance Fixed
- Envision Inswing Casement
- Envision Hopper
- Envision Swing Door

The SuperCapSR™ process creates a tough, thermally-fused acrylic color layer that becomes integral to the profile for superior color retention performance.With this enhancement, interior hardware and screens will match interior window color for a clean, finished look.

Available Color Combinations:

- Black Exterior/Adobe Substrate/Black interior
- Bronze Exterior/Adobe Substrate/Bronze interior
- Silver Exterior/White Substrate/Silver interior

Adobe Substrate/Bronze Interior

KEY FEATURES

- SuperCapSR™ colors provide added flexibility when designing window packages for upscale properties
- Highly scratch-resistant color layer handles jobsite abuse better than paint, saving time and cost
- Long-lasting colors, typically 450%+ thicker than typical paint layers, will not crack, chip, flake or chalk
- Tests to 12x harder than competitive paint-applied coatings
- Most durable color solution on the market

vpi Quality Windows

Residential: SafeGard™ 2R

AT 01-2919

SafeGard™ 2R

As a market leader in fenestration hardware, AT engineered, patented, and manufactured releasable limit device forl windows which meets the ASTM F2090 safety requirements for self-resetting, egress capable, fall prevention devices. The ASTM F2090 addresses window fall prevention that helps protect against potential falls by children through open windows. This is done by allowing the window opening to be set at a predetermined position of less than four inches (4") and automatically re-latch when fully closed. AmesburyTruth's SafeGard™ 2R provides a means that the window, when opened in an initial operation, will limit the venting to less than 4". By code, two actions are required to open the window fully for egress purposes. This additional operation can be performed without the use of keys, tools, or special knowledge. SafeGard™ Window Opening Control Device is designed to allow for factory installation as well as field application by trained personnel.

Features & Benefits within ASTM F2090-17

- ✓ Prohibits the free passage of a 4 in. diameter rigid sphere
- ✓ Dual action release mechanism that consists of two separate, distinct, and consecutive actions to release the mechanism
- ✓ WOCD and egress release will not reduce the open area of the window unit beyond applicable code requirements
- ✓ Avoids interference with operation or performance of a window

Features & Benefits beyond ASTM F2090-17

- ✓ Fully concealed unit after installation and window in closed position
- ✓ Easy and accurate factory installation
- ✓ Built-in forgiveness with field adjustment feature and allowing for up to 1/8" sash sag
- ✓ All adjustments can be done inside the home after window is installed
- ✓ Pan head screw (SS) use for ease of handling
- ✓ Concealed arm after released from track

VPI PTAC Louver System

VPI Quality Windows Endurance and Envision product lines now offer seamless integration with the industry's leading Packaged Terminal Air Conditioner (PTAC) louver manufacturer.

Ideal for multifamily and hotel design, these integrated solutions help improve water resistance, reduce installation and material costs, as well as improve overall design aesthetics.

KEY FEATURES

Louver and insulated blank-off panel directly glazed into the frame pocket

Allows for improved condensation management forming inside the pocket. The glazing pocket allows for insulated blank-off panels up to 1 3/8" in (35mm) thick.

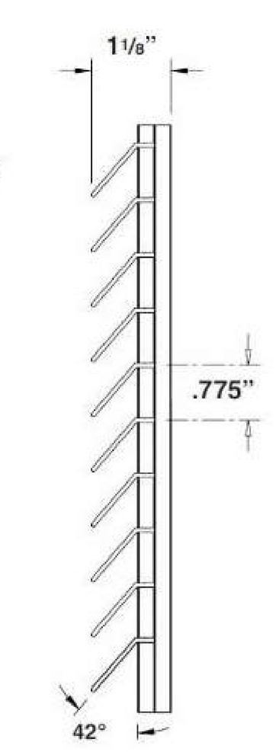
Flexible design configurations

A variety of configurations are available to provide ultimate design flexibility

Aesthetics

The architectural Kynar ® finish matches the exterior window color for a clean, finished look.

The architectural extruded aluminum louver meets the required free area, bar arrangements, 42 degree blade angle and unit attachments for the PTAC units. At the same time it provides a thin slim line decorative appeal that enhances the outside appearance of any buiding.



THOMAS architecture studios
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URBAN OLYMPIA
LEGION & JEFFERSON
411 LEGION WAY
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

COLORS & MATERIALS - WINDOWS

A909

TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM

Design + Performance Versatility with Unmatched Fabrication Flexibility

Geisinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Mericle Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
© Perzel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

SW 7069 IRON ORE

ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)

Brighton Landing
Cambridge, Massachusetts
ARCHITECT
ADD Inc., Cambridge, Massachusetts
GLAZING CONTRACTOR
Ipswich Bay Glass Company,Inc., Rowley, Massachusetts
PHOTOGRAPHER
© Gordon Schenck, Jr.

All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

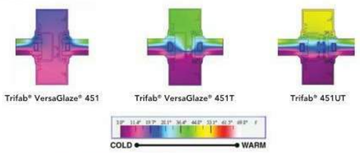
PERFORMANCE

Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.

Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

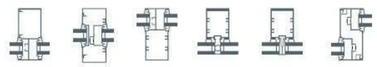
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425



Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092
770.449.5555
kawneer.com

KAWNEER

ARCHITECTURAL SYSTEMS | ENTRANCES + FRAMING | CURTAIN WALLS | WINDOWS

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Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

COLORS & MATERIALS - STOREFRONT

A910

EXTERIOR BUILDING FINISHES

PAINT - BLACK METAL CAP ON PARAPET
PAINT - VPI VINYL WINDOW FRAMES
PAINT - DOWNSPOUT, SCUPPER & CONDUCTOR BOX
PAINT - STEEL CANOPY C-CHANNEL & METAL PARTS
PAINT - HARDIE PANEL REVEALS/FRY REGLETS/ TRIM
PAINT - FIBER CEMENT PANELS IN BRICK

SHERWIN WILLIAMS
SW 7048
COLOR: URBANE BRONZE

ROOFING

TPO
COLOR: WHITE

ALL WINDOWS EXCEPT 1ST FLOOR STOREFRONTS

VPI
ENDURANCE SERIES
COLOR: BLACK

WALL SCONCE:

LUMINANCE LED
SERIES F6902-31-LED
CYLINDER UP/DOWN LIGHT
ALUMINUM MATERIAL BLACK FINISH

PAINT - FIBER CEMENT PANELS

SHERWIN WILLIAMS
SW 7035
COLOR: AESTHETIC WHITE

CONCRETE BROOM FINISH

COLOR: NATURAL

GLAZING - DOORS, WINDOWS, STOREFRONT

COLOR: CLEAR GLASS

WALL SCONCE:

LIGHTOLOGY
LEDWALL001D-BK
ITEM #: DLS597987
SQUARE OUTDOOR WALL LIGHT
COLOR: BLACK

PAINT - FIBER CEMENT PANELS

SHERWIN WILLIAMS
SW 2856
COLOR: FAIRFAX BROWN

4'x4' PAVERS

LAPITECH
COLOR: TERRA AVANA

PTAC LOUVER SYSTEM

VPI
COLORS - BLACK TO MATCH WINDOWS

RECESSED/SUSPENDED LED LIGHT:

CYBER TECH LIGHTING INC.
ST4840L-LED840
4FT LED COVERED STRIP LIGHT
MOTION SENSOR AVAILABLE

BRICK VENEER - STANDARD RUNNING BOND

SUMMIT BRICK
COLOR: GRAPHITE

METAL WIRE MESH - PARKING SCREENING

MCNICHOLS

WASTE RECEPTACLE:

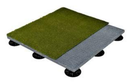
LANDSCAPE FORMS
GENERATION 50
SIDE OPEN
COLOR: BLACK

WALL WASH:

LUMEC BY SIGNIFY
DMS55
DOMUS LED PENDANT - LARGE

BRICK VENEER - STANDARD RUNNING BOND

SUMMIT BRICK
COLOR: THISTLEDOWN



DOG RUN/OPEN LAWN:

PEDESTAL PAVERS WITH ARTIFICAL TURF

PEDESTRIAN BENCH:

LANDSCAPE FORMS
GENERATION 50
CANTILEVER BACKED WITH ARMS
COLOR: BLACK

WALL WASH:

LUMEC BY SIGNIFY
DMS55
DOMUS LED PENDANT - LARGE

BRICK VENEER - SOLDIER, SILL, BRICK ARCHES

SUMMIT BRICK
COLOR: ONYX

DECORATIVE ROCK W/ SCREENING:

TBD

BIKE RACK

DERO
BIKE HITCH
COLOR: BLACK

BIKE RACK

DERO
ULTRA SPACE SAVER SQUARED
FLOOR MODEL
COLOR: BLACK

BRICK VENEER - SOLDIER, SILL

SUMMIT BRICK
COLOR: TWILIGHT

TREE GRATES

TBD

PERGOLA

COSTCO
MIRADOR ADJUSTABLE LOUVERED
ALUMINUM 10X20 PERGOLA
COLOR: BLACK

DOG WASH

VEVOR
34" PET GROOMING TUB
LEFT SIDE REMOVABLE DOOR AND LADDER
COLOR: STAINLESS STEEL

FIBER CEMENT PANELS

JAMES HARDIE
COLOR:

PAINT - METAL AWNINGS
PAINT - TUBE STEEL SUPPORT & TIEBACKS

SW 7048
COLOR: URBANE BRONZE

WASTE ENCLOSURE

WALMART
SYNGAR TRIPLE WHEELIE BIN SHED
3 TRASH CANS
COLOR: BLACK

GRILL CART

BLAZE
PRELUDE LBM
32-INCH 4 BURNER PROPANE GRILL
ID# 3105425
COLOR: STAINLESS STEEL

WALL BASE, FIRST FLOOR MURAL WALLS

CONCRETE - SMOOTH FINISH

BENT PLATE CANOPY

COLOR: BLACK

RAISED GARDEN BED

BIRDIES
LARGE RAISED GARDEN BED
15" SHORT
COLOR: GREEN

GARDEN SINK

FEASTO
MODULAR OUTDOOR KITCHEN SINK STATION
FREESTADNING TABLE WITH SINK
KT2435B
COLOR: BLACK & STAINLESS STEEL

PLANTERS

CORTEN STEEL

INTAKE/ EXHAUST VENT SHROUDS

SW 7048
COLOR: URBANE BRONZE

GARDEN TOOL STORAGE CABINET

GLADIATOR GARAGE WORKS
READY-TO-ASSEMBLE LARGE GEARBOX
GALG36KDESG
COLOR: HAMMERED GRANITE

GARDEN COUNTERTOP CART

FEASTO
3-SHELF OUTDOOR STEEL TABLE CART
ROLLING WORKTABLE
KT2435A
COLOR: BLACK & STAINLESS STEEL

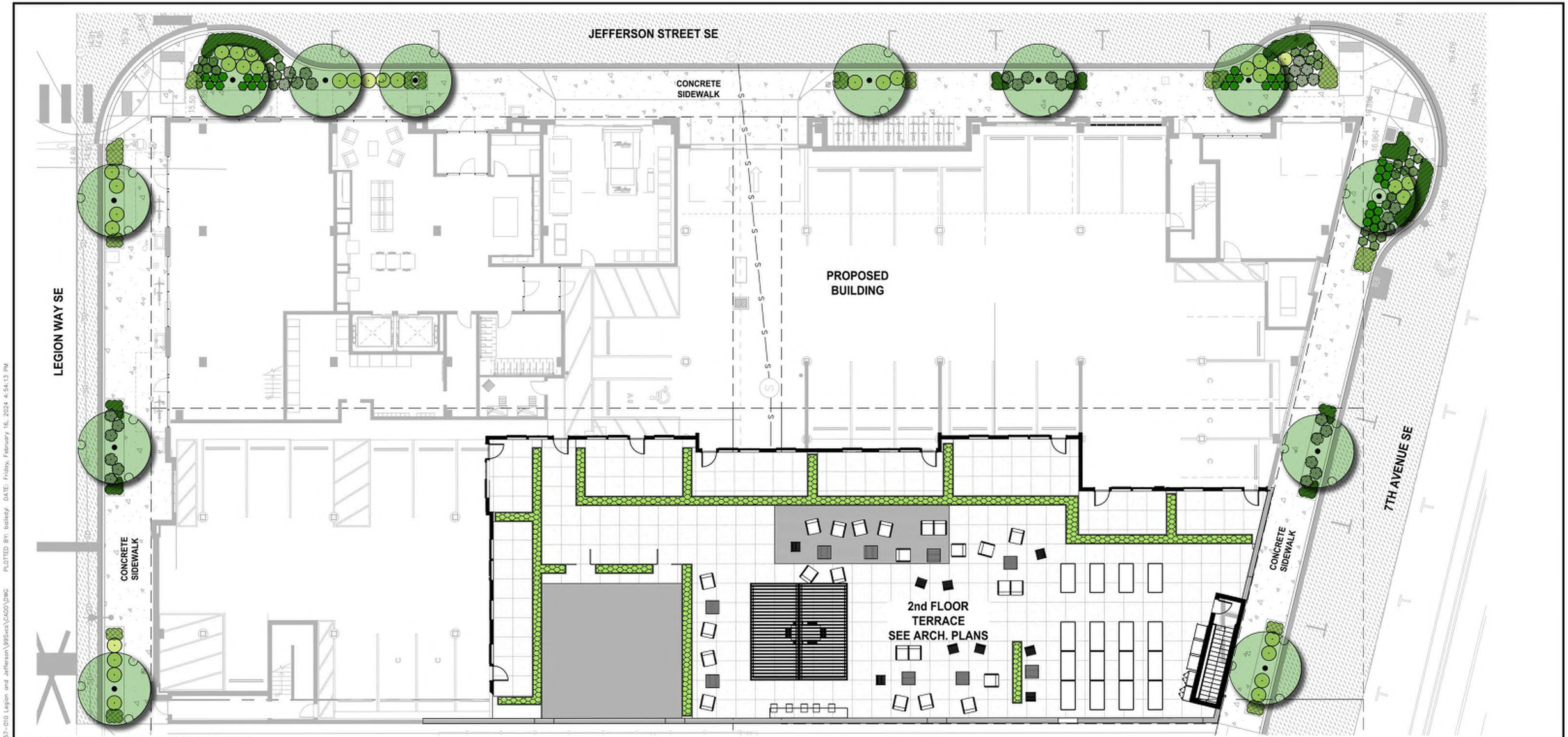
THOMAS
architecture studios
525 COLUMBIA ST. SW | OLYMPIA, WA 98501
360.915.8775 | tasolympia.com

URBAN OLYMPIA
LEGION & JEFFERSON
411 LEGION WAY
OLYMPIA, WA

Project No: 2228
SCHEMATIC DESIGN
FEBRUARY 6, 2024

COLORS & MATERIALS - BUILDING

A911



GENERAL LANDSCAPE NOTES & SPECS:

1. CONTRACTOR IS REQUIRED TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR A THOROUGH CLEAN-UP FOR THEIR RESPECTIVE WORK, DAILY AND AT PROJECT CLOSE-OUT.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS. DAMAGE TO THE EXISTING IMPROVEMENTS BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AND/OR QUALIFIED INSTALLERS ACCEPTABLE TO F THE CONSTRUCTION OBSERVER AND AT NO COST ADDED TO THE OWNER.
4. INSTALL 12" MIN. DEPTH IMPORT TOPSOIL TYPE A IN ALL PLANTER STRIPS.
5. PLANT MATERIALS SHALL MEET STANDARDS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARD (ANSI Z60.1) AND WASHINGTON STATE STANDARDS FOR NURSERY STOCK ORDER NO. 1627. ALL PLANT MATERIALS SHALL HAVE SUFFICIENT ROOT DEVELOPMENT TO ASSURE SURVIVAL AND HEALTHY GROWTH. CONTAINER GROWN PLANT MATERIALS ARE REQUIRED TO HAVE SUFFICIENT ROOT GROWTH TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER, BUT SHALL NOT BE ROOT BOUND.
6. PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH PLAN CALL-OUTS AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUNDCOVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIC SPACING.
7. PRIOR TO BARK MULCH PLACEMENT, ALL SHRUB BED AREAS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. FOLLOW ALL MANUFACTURER'S APPLICATION INSTRUCTIONS. PRE-EMERGENT HERBICIDE SHALL BE ELANCO XL2G OR APPROVED EQUAL.
8. BARK MULCH SHALL BE INSTALLED TO DEPTH OF 4" IN ALL NEW PLANTING AREAS. PRIOR TO MULCH PLACEMENT GRADE SHALL BE BROUGHT TO A UNIFORM LINE WITH NO SURFACE IRREGULARITIES. WATERING BERMS AROUND PLANTS SHALL BE HAND COMPACTED AND OF A SMOOTH AND EVEN GRADE PRIOR TO MULCH PLACEMENT. MULCH SHALL BE WATER-COMPACTED UPON PLACEMENT.
9. NO SUBSTITUTIONS SHALL BE CONSIDERED FOR PLANTS OR OTHER MATERIALS DURING THE BIDDING PROCESS.
10. ALL PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE CITY AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND PLANS UPDATED SHOWING ACCURATE PLANTING MATERIALS WILL BE PROVIDED TO THE CITY PRIOR TO BUILDING OCCUPANCY.
11. ALL LANDSCAPING AREAS SHALL BE PLANTED TO ACHIEVE 80% PLANT DENSITY WITHIN 3 YEARS OF PLANTING. ADDITIONAL PLANTINGS MAY BE NECESSARY UPON INSPECTION BY THE CITY.
12. PRIOR TO PLANT INSTALLATION, AN INSPECTION OF THE SOIL AMENDMENT AND PLANTS TO BE INSTALLED WILL BE SCHEDULED BY THE APPLICANT AND PERFORMED BY THE CITY.
13. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE HAS BEEN GRANTED. OWNER SHALL THEN ASSUME ALL RESPONSIBILITIES FOR MAINTAINING ALL PLANTS IN A HEALTHY GROWING CONDITION FOR THE LIFE OF THIS PROJECT.

TREE UNIT CALCULATIONS

Buildable Site Area	29,411 sf (0.67 ac)
Required Tree Units/Acres	17 Units/AC
Existing Tree Units to Remain	0
New Tree Units Provided (Includes Street Trees)	12
Tree units below required tree units	5
A fee of $380 per tree unit ($380 x5) below the minimum tree density of X will be paid to the City of Olympia Tree Fund at the time of engineering permit fees.	$1,900

EXISTING SOIL TYPE NOTES

According to the 2024 Geotechnical report completed by Quality Geo NW, PLLC, the following conditions and soil types were encountered on the site:

SOIL CONDITIONS: The soil type at the site can generally be characterized in the following stratigraphic order of depth: ML - silt with sand, ML - silt. No depth/extent was provided as both strata contained interbedded layers throughout the column.

Based on our experience, we are recommending that all plant beds have 12" of import topsoil mix installed as per specifications. In tree wells for street trees, the existing fill shall be removed to the full depth of the planting pit.

PLAN
SCALE IN FEET
0 10 20

811
Know what's below.
Call before you dig.

LAND USE SUBMITTAL
NOT FOR CONSTRUCTION

REVISIONS	DATE	BY

DESIGNED: D. BAILEY
DRAWN: D. BAILEY
CHECKED:
APPROVED:

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

FILE NAME: PS07257010-LS
JOB No.: 217-7257-010
DATE: FEBRUARY 2024

STATE OF WASHINGTON · DYLANS. BAILEY · No. 3603 EXP. 09/04/2025 · LANDSCAPE ARCHITECT

Parametrix
1019 39th Avenue SE, Suite 100 • Puyallup, WA 98374
Ph: 253.604.6600

PROJECT NAME
LEGION AND JEFFERSON
URBAN OLYMPIA
OLYMPIA, WASHINGTON

LANDSCAPE PLAN

DRAWING NO.
20 OF 21
LS-01

PERSIAN PARROTIA

KELSEY REDTWIG DOWOOD

KARL FOESTER FEATHER REED GRASS

BLUE OAT GRASS

MOUNT VERNON ENGLISH LAUREL

STELLA D'ORO DAYLILY

KALEIDOSCOPE ABELIA

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	(H' X W')
TREES					
(NN)	PV	12	PARROTIA PERSICA 'VANESSA' / PERSIAN PARROTIA	3" CAL / B&B	12' X 8'

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	(H' X W')
SHRUBS					
(NN)	AK	34	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / KALEIDOSCOPE GLOSSY ABELIA	#2 CONT	
(NN)	CA	32	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#2 CONT	
(N)	CK	35	CORNUS STOLONIFERA 'KELSEYI' / KELSEY DOGWOOD	#2 CONT	
(NN)	HS	31	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	#2 CONT	

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONDITION	SPACING	SPACING
SHRUB AREAS						
		552 SF	CONTAINER PLANTS			
	CK2	22	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	#1		15% @ 24" o.c.
	DT	38	DESCHAMPSIA CESPITOSA / TUFTED HAIR GRASS	#1		15% @ 18" o.c.
	FA	26	FUCHSIA X 'ANGEL'S EARRINGS' / ANGEL'S EARRINGS FUCHSIA	#1		10% @ 18" o.c.
	HP	87	HEUCHERA X 'PLUM PUDDING' / PLUM PUDDING CORAL BELLS	#1		15% @ 12" o.c.
	PC	22	PIERIS JAPONICA 'CAVATINE' / CAVATINE JAPANESE PIERIS	#1		15% @ 24" o.c.
	UB	58	UNCINIA RUBRA 'BELINDA'S FIND' / RED HOOK SEDGE	#1		10% @ 12" o.c.
	VP	115	VINCA MINOR 'VARIEGATA' / VARIEGATED PERIWINKLE	#1		20% @ 12" o.c.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
GROUND COVERS					
(NN)	HO	73	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	#1	18" o.c.
(N)	PL	55	PRUNUS LAUROCERASUS 'MOUNT VERNON' / MOUNT VERNON LAUREL	#2	24" o.c.

2nd FLOOR ROOF DECK

(NN) = NON-NATIVE
(N) = NATIVE

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Ph: 253.604.6600

PROJECT NAME
LEGION AND JEFFERSON
URBAN OLYMPIA
OLYMPIA, WASHINGTON

LANDSCAPE PLANTS & PLANT SCHEDULE

DRAWING NO.
21 OF 21
LS-02