



Meeting Agenda

Heritage Commission

City Hall
601 4th Avenue E
Olympia, WA 98501

Heritage Commission
Contact: Marygrace Goddu
(360) 753-8031

Monday, July 1, 2019

12:00 PM

On site at 301 Maple Park Ave

Heritage Review Committee

1. CALL TO ORDER

2. ROLL CALL

3. BUSINESS ITEMS

3.A [19-0590](#) Guidance for Pre-Submission # 19-1698, 301 Maple Park Avenue SE

Attachments: [Site Plan 301 Maple Park 4-8-19](#)

[06 10 19 email renderings](#)

[4 10 19 email Goddu Auderer](#)

[OMC 18.12.090](#)

[OMC 18.105](#)

[OMC 18.175](#)

[OMC 18.04.060 A & B](#)

[OMC 18.04.080 excerpt](#)

[Secretary of the Interiors Standards](#)

[SOI Standards - excerpted detail](#)

[Handout - Accessory Dwelling Unit Accessory Structure Handout
12312018](#)

[Handout - Infill Design Review Handout](#)

[Handout - ResidentialSetbacks Handout 2019](#)

4. ADJOURNMENT

Accommodations

The City of Olympia is committed to the non-discriminatory treatment of all persons in employment and the delivery of services and resources. If you require accommodation for your attendance at the City Advisory Committee meeting, please contact the Advisory Committee staff liaison (contact number in the upper right corner of the agenda) at least 48 hours in advance of the meeting. For hearing impaired, please contact us by dialing the Washington State Relay Service at 7-1-1 or 1.800.833.6384.



Heritage Commission

Guidance for Pre-Submission # 19-1698, 301 Maple Park Avenue SE

Agenda Date: 7/1/2019
Agenda Item Number: 3.A
File Number: 19-0590

Type: discussion **Version:** 2 **Status:** In Committee

Title

Guidance for Pre-Submission # 19-1698, 301 Maple Park Avenue SE

Recommended Action

Committee Recommendation:

Information only; no action requested.

City Manager Recommendation:

N/A

Report

Issue:

Discussion of rules and regulations relating to the construction of accessory dwelling unit at the site in question.

Staff Contact:

Marygrace Goddu, Historic Preservation Officer, Community Planning & Development, 360.753-8031

Presenter(s):

N/A

Background and Analysis:

On June 21 the Heritage Review Committee reviewed Municipal Code pertaining to setbacks, infill, residential design review, accessory structures, preservation standards, and planning documents to date, relevant to 301 Maple Park Ave SE.

Attachments:

Site Plan 301 Maple Park 4-8-18
06 10 19 email renderings
04 10 19 email Goddu Auderer

Olympia Municipal Codes:

18.12.090
18.105

18.175

18.04.060 A& B

18.04.080 excerpt

Secretary of the Interior's Standards for Rehabilitation

Secretary of the Interior's Standards, excerpts

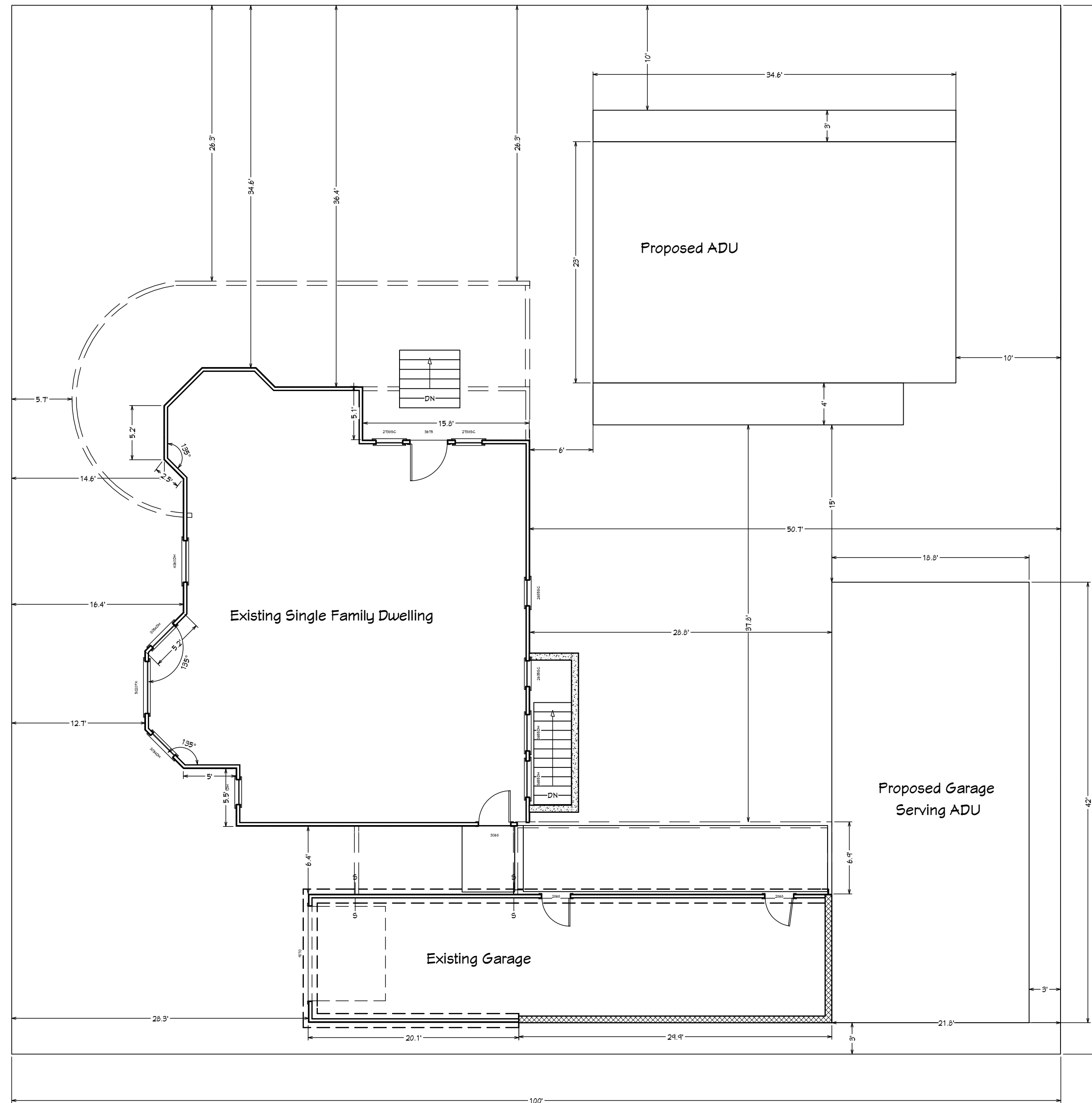
City of Olympia Planning Handouts:

Accessory Dwelling Units

Infill Design Review

Residential Setbacks

ROW of Maple Park Ave SE



1st Floor

[illegible]

SHEET TITLE:

PROJECT DESCRIPTION:

301 Maple Park Ave SE
ADU

DRAWINGS PROVIDED BY:

DATE:
3/26/2019

SCALE:

SHEET:
A-1

Marygrace Goddu

From: Eric Dightman <ericdightman@gmail.com>
Sent: Monday, June 10, 2019 8:47 AM
To: Marygrace Goddu
Subject: ADU at 301 Maple Park Ave SE

External Email Alert!

This email originated from a source outside of the City's network. Use caution before clicking on links or opening attachments.

Hi Marygrace - I'm attaching some renderings of what we're thinking the ADU would look like. I'll give you a call after sending this to you to try to set up a time to meet with the committee.



Ok - hopefully talk to you shortly.

Thank you
Eric

Marygrace Goddu

From: Marygrace Goddu
Sent: Wednesday, April 10, 2019 6:33 PM
To: Mike Auderer
Subject: RE: ADU in Historic district
Attachments: Maple Park Setbacks.PNG

Hi Mike. I am writing to offer some general guidance in response to your request and the attached drawing for a proposed ADU and garage addition at 301 Maple Park. This is an important historic Olympia home, listed on the local heritage register within the South Capitol Historic District.

Known as the Ogden House and also the George Mills House, it was constructed in 1896 and has been home to two Olympia Mayors, one of whom was also our State Treasurer. The home was also known for a time as the “Empty Arms” in the 1960’s, a period during which it served as an informal rooming house for bachelor attorneys lobbying the legislature or working for state agencies. It seems to have had many lives. The residence is noted for both its architecture and its history as “one of the most outstanding in Olympia” (Historic Property Inventory Form, 1985).

Any substantial alterations to properties which are on the heritage register or within a historic district must be reviewed by the City’s Heritage Review Committee. This committee documents facts and findings of their review and makes a recommendation to the City Building Official, who makes final determinations. The Review committee meets twice/month, and their review is typically done as part of the normal permitting process. However, the committee can be available for informal consultation. I urge you to consider taking advantage of their expertise. They include local architects and professional historians versed in construction and alterations, and are great at problem-solving. They are deeply invested in helping homeowners to meet their functional space needs while preserving the character of their historic property.

In making their recommendation, the Review Committee will apply the US Secretary of the Interior’s Standards for Treatment of Historic Properties. <https://www.nps.gov/tps/standards/four-treatments/treatment-rehabilitation.htm>, per OMC18.12.090C <https://www.codepublishing.com/WA/Olympia/?OlympiaNT.html> (sorry, this link won’t point you directly to that section of the city code – look for “municipal code” at left bar, and click on successive check boxes to get to it).

With regard to the proposed addition of an ADU specifically, I have these observations to share that may help you as you consider how to best fit it on the property :

The property is complicated due to the fact that it has two street-facing fronts. The historic front façade is on Maple Park, and the setback of the home is in alignment with the other homes facing Maple Park. (See attachment.) This uniformity in street front setback is characteristic not only for Maple Park, but throughout the South Capitol Historic District.

Both the City Codes and the SOI Standards speak to preserving character-defining features (which include “spatial relationships that characterize the property”) and “preserving the historic context and the merit of the district.” (OMC 18.105.030)

While City codes allow for a detached accessory structure “anywhere within the rear forty feet of the lot,” the question here may be where is the “rear” of the lot?

OMC 18.175.020 provides requirements and guidance for “Neighborhood Scale and Character.” It includes , “Maintain a consistent relationship to the street (i.e., building setbacks and entryways) as existing buildings.”

OMC 18.04.060.B, regarding Accessory Structures, notes under section 2 that “accessory structures shall be clearly incidental and subordinate to the use of the lot.”

The SOI Standards speak to the same issues, but are more specific to historic properties:

“Placing an addition on the rear or on another secondary elevation helps to ensure that it will be subordinate to the historic buildings. New construction should be appropriately scaled and located far enough away from the historic building to maintain its character and that of the site and setting. In urban or other built-up areas, new construction that appears as infill *within the existing pattern of development* can also preserve the historic character of the building, its site, and setting.” (italics added).

Give these parameters, I believe that it will be very important to make the proposed ADU subordinate to the primary residence, and to set it back as far as possible on the property to align it with or behind the Maple Park facing facades of the neighborhood, to preserve the character of uniformity along the street front.

There is additional guidance in the city design code and in the SOI Standards relative to additions and new construction regarding compatibility with the historic property in architectural style, massing and scale. I will not detail these now, because I believe placement on the lot is probably a threshold issue.

I’m happy to provide additional guidance and information when you are ready. Thank you for this early check-in.

Marygrace L. Goddu | Historic Preservation Officer

[Historic Preservation Program](#)

City of Olympia

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Phone: (360) 753-8031

Email: mgoddu@ci.olympia.wa.us

Emails are public records, potentially eligible for release.



From: Mike Auderer <mike@olyconstruction.com>

Sent: Monday, April 8, 2019 10:47 AM

To: Marygrace Goddu <mgoddu@ci.olympia.wa.us>

Cc: Mike Auderer <mike@olyconstruction.com>

Subject: Fw: ADU in Historic distric

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From: Mike Auderer

Sent: Tuesday, April 2, 2019 7:46 AM

To: mgoddu@ci.olympia.wa.us

Cc: Mike Auderer

Subject: ADU in Historic distric

Hi Mary

Please see my email below to Brooke. Please provide your input. Proposed site plan attached.

Mike,

This property is in the historical district. There are some additional requirements for ADU's in this area. As far as zoning, this address is zoned for the ADU. I would encourage you to speak with our Historical Planner Marygrace Goddu before applying for the ADU. That way you can make sure that the ADU meets any historical requirements before you come up with the Architectural plans for the project. Marygrace can be contacted by email at mgoddu@ci.olympia.wa.us or by phone at 360-753-8031.

Brooke Ison
Permit Specialist
Community Planning & Development
bison@ci.olympia.wa.us
office:360.570.3916
601 4th Avenue East, Olympia
PO BOX 1967, Olympia, WA 98507



Mike Auderer
Office 360-451-3191

Preferred pronoun "Dude"

Please consider the environment before printing this email





18.12.090 Heritage Register - Alteration and Construction

A. Applicability. (See Design Guidelines, Sections [18.105.020](#) and [18.105.030](#), Remodeled Historic Buildings.) No person shall construct any new building or structure, or reconstruct, alter, restore, remodel, repair or demolish any existing building or structure which is on the Heritage Register or within a Historic District without review by the Heritage Commission, the Heritage Review Committee, or Joint Design Review, as required by OMC [18.12.070](#) and [18.76.180](#). The review shall apply only to exterior or interior features designated as significant and relating to the designation of the property to the Heritage Register and interior features for historically significant interior spaces of public buildings, including privately owned buildings open to the public; provided, that this section shall have no application to ordinary repair and maintenance, including painting, or Emergency Repair measures as defined in Chapter [18.02](#), Definitions. Violation of this rule shall be grounds for the Heritage Commission to review the property for removal from the Heritage Register. The review shall be based upon OMC [18.105.020](#) and [18.105.030](#).

B. Review Process

1. Whenever applications are made for alterations, changes, construction on any properties within a Historic District or on the Heritage Register, the Building Official shall notify the Preservation Officer so that the proposed change may be reviewed under the provisions of Sections [18.105.020](#) and [18.105.030](#). The Building Official or Preservation Officer shall also notify the applicant of the special review that is required. The Building Official shall continue to process such application and shall work with the Historic Preservation Officer in considering Building and Fire Code requirements and consider the Historic Building Code 16.04.020 but shall not issue any such permit, except as provided by law, until review and recommendations have been completed by the Heritage Commission, its Committee, the Joint Design Review Committee or the Preservation Officer. Consistent with law, any recommendations by the Heritage Commission, the Preservation Officer, or the Heritage Review Committee that are incorporated into the permit official's decision, shall become binding conditions of approval of any permits granted.
2. If no permit is required to pursue work on a designated property or within a designated Heritage Register District, whoever is responsible for the work is encouraged to consult with the Preservation Officer prior to commencement of the work for consistence with The Secretary of the Interior's Standards for the Treatment of Historic Properties (as amended).
3. Such applications shall be accompanied by such information as is required by the Heritage Commission and which is reasonably necessary for the proper review of the proposed project.
4. The Preservation Officer may review and approve minor work requiring a permit that does not involve substantial alterations, additions or removals that only alter the features identified when the property was listed on the Heritage Register, or District.

5. Unless legally required elsewhere, there shall be no notice, posting or publication requirements for action on the application, but all such actions shall be made at a regular meeting of the Heritage Commission or at a meeting of the Heritage Review Committee. The Heritage Commission's recommendations shall be in writing and shall state the findings of fact and reasons relied upon in reaching its decision. These findings of fact and reasons shall be based on the factors to consider in reviewing changes as cited in Section [18.12.120\(C\)](#), Additional Factors to Consider.

6. The Heritage Commission's recommendations shall be transmitted to the Building Official. The recommendations of the Heritage Commission shall be given substantial weight by the Building Official in establishing conditions for the permit.

C. Standards for Review.

1. For a property individually listed on a Heritage Register, the proposed work should not detrimentally alter, destroy or adversely affect any exterior feature or interior feature relating to the designation of the property to the Heritage Register. In the case of construction of a new improvement, building or structure on the site of a Heritage Register property, the exterior of such construction will not adversely affect and will be compatible with the external appearance of existing designated improvements, buildings and structures on the site. The Secretary of the Interior's Standards for the Treatment of Historic Properties (as amended) shall be the standards which guide the review of Heritage Register properties.

2. For any property located within a Historic District, the proposed construction, removal, rehabilitation, alteration, remodeling, excavation or exterior alteration shall conform to the standards in OMC [18.110.210](#), [18.105.020](#), and [18.105.030](#) and preserve the historic context and merit of the district, consistent with The Secretary of the Interior's Standards for the Treatment of Historic Properties (as amended).

3. Proposed alterations or significant changes necessary or appropriate in order to meet the requirements of any other law, statute, ordinance, regulation, code or ordinance shall be coordinated with, and given consideration along with historic preservation concerns, in reviewing proposed changes to Heritage Register properties.

(Ord. 7011 §1, 2016; Ord. 6886 §22, 2013; Ord. 6491 §8, 2007).

Chapter 18.105 HISTORIC STRUCTURES AND BUILDINGS WITHIN HISTORIC DISTRICTS

18.105.000 Chapter Contents

Sections:

- [18.105.020](#) Building Design - Additions or Remodeled Historic Buildings
- [18.105.030](#) Structures Within a Historic District

(Ord. 6491 §14, 2007).

18.105.020 Building Design - Additions or Remodeled Historic Buildings

Design criteria contained in this chapter apply to structures on the Olympia Heritage Register, Washington Heritage Register, and the National Register of Historic Places.

A. REQUIREMENT: Protect and preserve buildings of special historic significance and merit in accordance with The Secretary of the Interior's Standards for the Treatment of Historic Properties (as amended). Historic features are those which have been identified by the Heritage Commission on the Olympia Heritage Register, Washington Heritage Register, and the National Register of Historic Places.

B. GUIDELINES:

1. Restore or retain as many historic features as possible.
2. Maintain or restore original proportions, dimensions and architectural elements.
3. Select paint and material colors which are historically accurate, coordinate the entire facade, and do not conflict with adjacent buildings.
4. Consult available historical resources, the Heritage Commission, or Community Planning and Development Department for assistance and detailed information.

(Ord. 6491 §14, 2007).

18.105.030 Structures Within a Historic District

Design criteria contained in this chapter apply to new and existing structures within a Historic District.

A. REQUIREMENT: Ensure that new or remodeled structures within a historic district will preserve the historic context and merit of the district.

B. GUIDELINES:

1. Use roof forms that emulate the historic property roof form.
2. Use windows, materials, relief and details similar to the historic property.
3. Use similar building articulation that breaks up the building mass into modules which reflect proportions similar to the historic building. Methods used to create intervals which reflect and promote compatibility and which respect the scale of the historic building include:

- a. Facade modulation - stepping back or extending forward a portion of the facade.
- b. Repeating the window patterns at intervals equal to the articulation interval.
- c. Providing a porch, patio, deck, or covered entry to the articulation interval.
- d. Providing a balcony or bay window for each interval.
- e. Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.
- f. Changing materials with the change in building plane.
- g. Providing a lighting fixture, trellis, tree or other landscape feature within each interval.
- h. Using paint and material colors that blend with the historic property.
- i. Using landscape materials and plantings that are similar to those used on the historic property.

(Ord. 6491 §14, 2007).

The Olympia Municipal Code is current through Ordinance 7193, passed May 21, 2019.

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Olympia's Codification Process (<http://olympiawa.gov/city-government/codes-plans-and-standards/municipal-code.aspx>)

Municipal Code contact information:

Email: adminservices@ci.olympia.wa.us
(<mailto:adminservices@ci.olympia.wa.us>)
Telephone: (360) 753-8325

City Website: <http://olympiawa.gov>
(<http://olympiawa.gov>)
Code Publishing Company
(<https://www.codepublishing.com/>)

Chapter 18.175 INFILL AND OTHER RESIDENTIAL

18.175.000 Chapter Contents

Sections:

- [18.175.020](#) Neighborhood scale and character.
- [18.175.030](#) Building orientation and entries.
- [18.175.040](#) Building modulation and articulation.
- [18.175.050](#) Windows.
- [18.175.060](#) Garage design.
- [18.175.070](#) Material and colors.
- [18.175.080](#) Accessory Dwelling Unit (ADU); Building design.
- [18.175.090](#) Accessory Dwelling Unit (ADU); Entry features.
- [18.175.100](#) Site design; Cottage housing.

(Ord. 6306 §11, 2004).

18.175.020 Neighborhood Scale and Character

A. REQUIREMENT: Minimize the appearance of building scale differences between proposed dwelling unit(s) and existing neighborhood residential units. Reflect the architectural character of neighboring residences (within 300' on the same street) through use of related building features. On narrow lots (30 feet wide or less), the average height of the adjacent residences shall not be exceeded unless the apparent scale of the proposed building is reduced through modulation.

B. GUIDELINES:

1. Step the roof on the building perimeter segments to transition between a proposed taller building and an existing residential structure.
2. Replicate or approximate roof forms and pitch found on existing residential structures in the neighborhood.
3. Use window patterns and proportions similar to those on existing residential structures in the neighborhood.
4. Use building facade materials similar to those used on existing residential buildings in the neighborhood.
5. Maintain a consistent relationship to the street (i.e., building setbacks and entryways) as existing buildings.

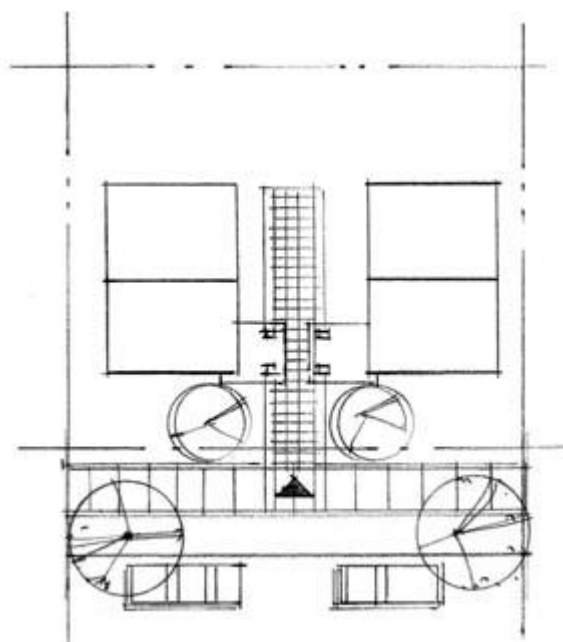


FIGURE 18.175.020

(Ord. 6306 §11, 2004).

18.175.030 Building Orientation and Entries

- A. REQUIREMENT: Provide a clearly defined building or courtyard entry from the primary street.
- B. GUIDELINES:
1. Use distinctive architectural elements and materials to indicate the entry.
 2. Define the transition space from the sidewalk to the entry with a terrace, plaza, or landscaped area.
 3. Avoid the use of exterior stairways to second stories that are visible from the street.
 4. Provide porches, balconies, and covered entries.

**FIGURE 18.175.030-A****FIGURE 18.175.030-B**

(Ord. 6306 §11, 2004).

18.175.040 Building Modulation and Articulation

A. REQUIREMENT: Use building and roof modulation and articulation to reduce the appearance of large building masses.

B. GUIDELINES:

1. Modulate the building facade with features such as porches, balconies, building wall relief, and bay windows.
2. Provide roof elements such as gables, eyebrow roof forms or dormers.
3. Incorporate prominent cornice, soffit, or fascia details that emphasize the top of the building.
4. Provide prominent roof overhangs.
5. Articulate the roof with rafter tails and brackets.



FIGURE 18.175.040

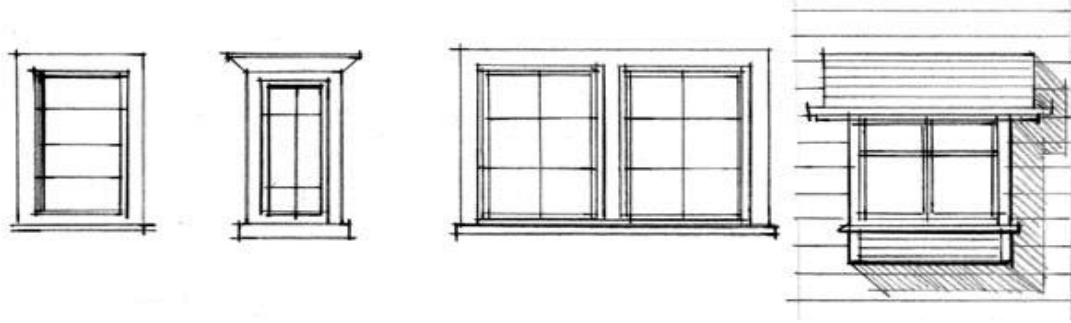
(Ord. 6306 §11, 2004).

18.175.050 Windows

A. REQUIREMENT: Provide relief, detail, and visual rhythm on the facade with well-proportioned windows.

B. GUIDELINES:

1. Use window patterns, proportions, and orientation consistent with neighboring residences.
2. Use multiple-pane windows.
3. Provide windows that are designed to create shadows (either deeply recessed or protruding).
4. Use visually significant window elements (i.e. frame dimensions, lintels, casings, sills, and trim).
5. Locate windows so that the occupants from one residence cannot look directly into an adjacent residence.

**FIGURE 18.175.050**

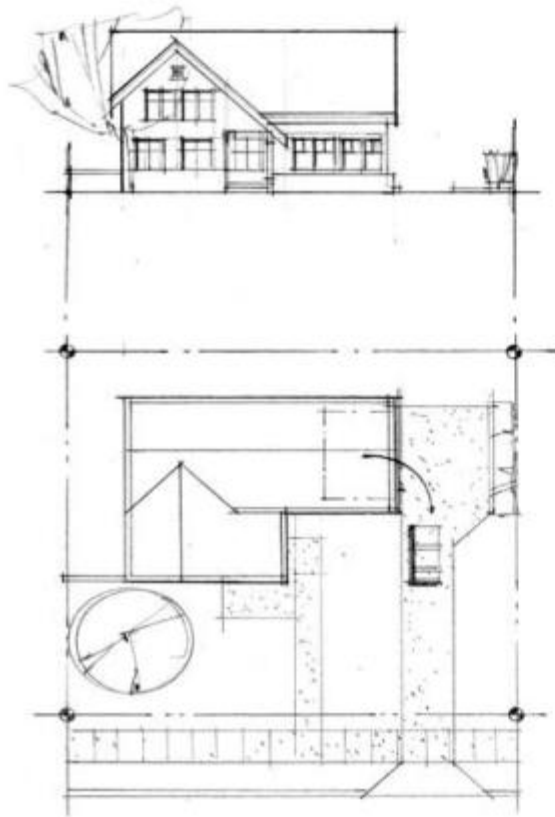
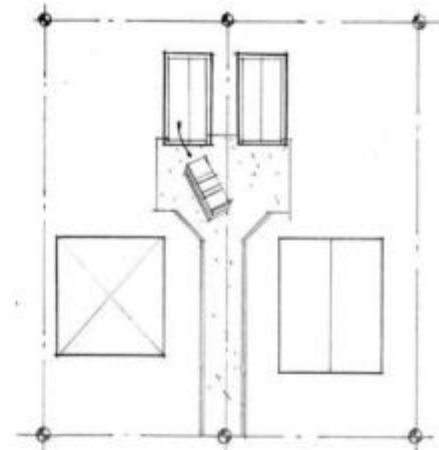
(Ord. 6306 §11, 2004).

18.175.060 Garage Design

A. REQUIREMENT: Design garages and carports so that they do not dominate the dwelling's street facade.

B. GUIDELINES:

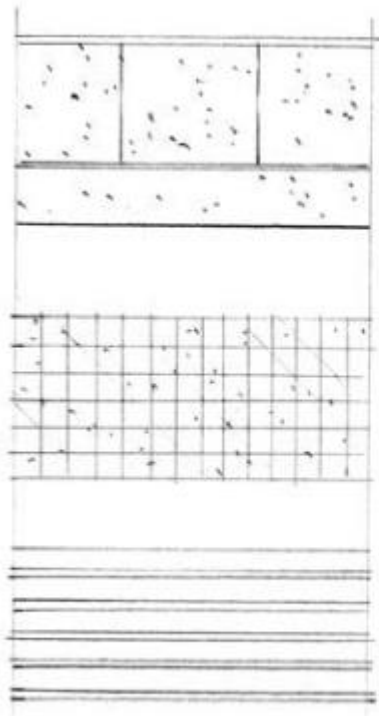
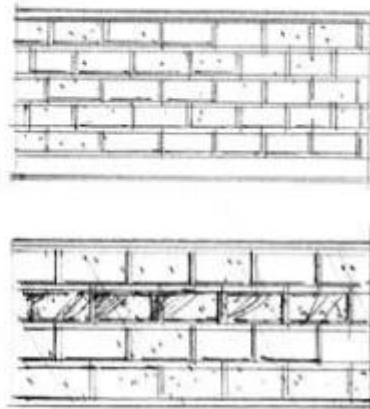
1. Locate garages and carports behind residences, stepped back from the building's street facade, or provide a side entry (perpendicular to the street).
2. Design driveways to be as narrow as possible and/or shared where possible to minimize impervious surface and to minimize disruption of the sidewalk and planting strip by curb cuts.
3. Incorporate windows into garage sidewalls whenever they face the street so that they appear to contain habitable space.
4. Incorporate garage door elements which reduce the apparent size of the doors, such as panels and windows.
5. Use materials and colors that match the residence.

**FIGURE 18.175.060-A****FIGURE 18.175.060-B**

(Ord. 6306 §11, 2004).

18.175.070 Material and Colors

- A. REQUIREMENT: Use building materials with texture and pattern and a high level of quality and detailing. Reserve brightly saturated colors for accent or trim features.
- B. GUIDELINES:
1. Use materials such as horizontal lap siding, shingles, brick, stone, stucco, ceramic or terra cotta tile.
 2. When remodeling or adding to an existing building, use materials and colors that preserve or enhance the character of the original building.

**FIGURE 18.175.070-A****FIGURE 18.175.070-B**

(Ord. 6306 §11, 2004).

18.175.080 Accessory Dwelling Unit (ADU); Building Design

A. REQUIREMENT: Reflect the architectural character of the primary residence in an ADU through use of related building features.

B. GUIDELINES:

1. Replicate or approximate roof forms and pitch found on the existing residence.
2. Use window patterns and proportions similar to those on existing residence.
3. Use building facade material and colors that match or are compatible with those used on the existing residence.

**FIGURE 18.175.080**

(Ord. 6306 §11, 2004).

18.175.090 Accessory Dwelling Unit (ADU); Entry Features

A. REQUIREMENT: Provide a clearly defined building entry for an ADU that is easily accessible from the street or the existing residence. Provide a well-lighted, paved sidewalk to the building entry.

B. GUIDELINE:

1. The entry to an ADU may be shared with the primary residence.
2. When there is a separate entry, construct an identifying feature, such as a porch, stoop and/or an eave overhang that is integral to the ADU structure.
3. When an exterior stairway to the main entrance to the ADU is needed, avoid the use of open metal, prefabricated stairs.



FIGURE 18.175.090

(Ord. 6306 §11, 2004).

18.175.100 Site Design; Cottage Housing

A. REQUIREMENT: Orient cottage housing to the public right-of-way or to a shared interior courtyard. The sides of end units may front the street when the interior courtyard is a prominent feature on the adjacent public right-of-way.

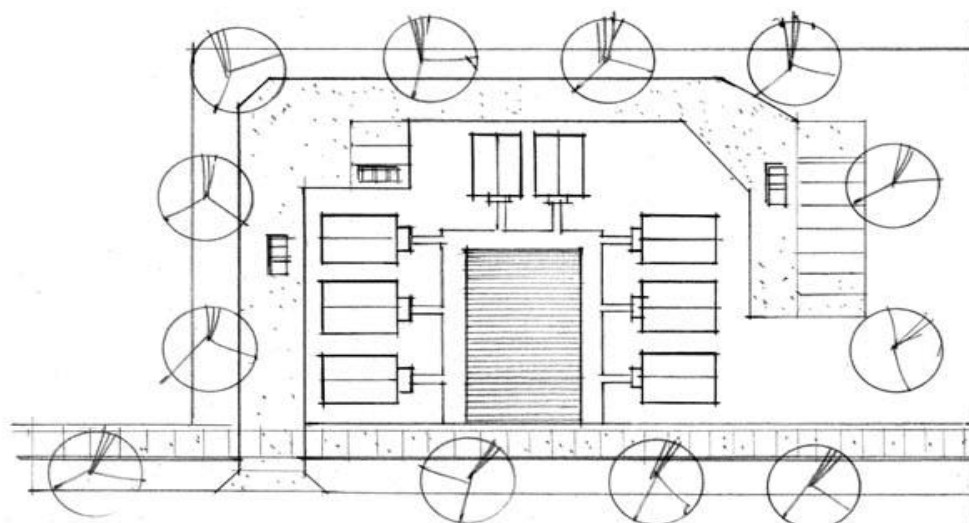


FIGURE 18.175.100

(Ord. 6306 §11, 2004).

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Telephone: (360) 753-8325

City Website: <http://olympiawa.gov>
(<http://olympiawa.gov>)
Code Publishing Company
(<https://www.codepublishing.com/>)

A. ACCESSORY DWELLING UNITS (ADU).

Accessory dwelling units (ADU) are permitted in all residential districts subject to the following requirements:

1. Number. One (1) ADU shall be allowed per residential lot in conjunction with any detached single-family structure. (See Section [18.04.080](#)(A)(3) regarding ADUs in new subdivisions.)
2. Location. The ADU shall be permitted as a second dwelling unit added to, created within, or detached from the original dwelling. The ADU shall be oriented in a way that maintains, to the extent practical, the privacy of residents in adjoining dwellings. (See Chapters [18.100](#), Design Review and 18.175, Infill and Other Residential.)
3. Size. The ADU shall have a gross floor area of no more than eight hundred (800) square feet, except this size limitation shall not apply to an ADU created entirely within an existing single-family dwelling without expanding that dwelling.
4. Occupancy. No more than one (1) family (as defined in Chapter [18.02](#), Definitions) shall be allowed to occupy an ADU.
5. Existing ADUs. Accessory dwellings created prior to the enactment of these regulations, June 19, 1995, may be approved subject to applicable requirements.

If the owner of an existing unauthorized ADU applies to make the unit legal, but cannot meet all of the standards, the owner will be allowed a "grace period" of six months from date of application to comply with applicable standards. However, where health and safety is an issue, the Building Official will determine when the necessary modifications must be made. If the owner cannot meet the standards, the unauthorized accessory unit must be removed or its use as a dwelling must be suspended.

6. Deviation From Requirements. The Director or the Director's designee may allow deviation from the requirements of this section (18.04.060(A)) as follows:

- a. To allow use of the entirety of a single floor in a dwelling constructed two (2) or more years prior to the date of application in order to efficiently use all floor area; and
- b. To enable ADUs to be established in structures constructed prior to June 19, 1995, which are located in rear or side setbacks, provided that Uniform Building Code requirements and the Development Standards contained in Section [18.04.080](#) are met [NOTE: See Chapters [18.100](#), Design Review and 18.175, Infill and Other Residential for applicable design guidelines]; and

B. ACCESSORY STRUCTURES.

Accessory structures are permitted in all residential districts subject to the following requirements:

1. Time of Establishment. Accessory structures shall not be built prior to commencing construction of the main building on the lot. However, lots may be created which contain an accessory structure (without an associated primary use) constructed prior to submission of the subdivision application.
2. Subordination to Primary Use. Accessory structures shall be clearly incidental and subordinate to the use of the lot (e.g., structures used for storage of personal property or the pursuit of hobbies) or used for agricultural purposes. In single-family and two-family residential districts each accessory structure shall not exceed eight hundred (800) square feet in size, except for structures accessory to an agricultural use which are located on a parcel one (1) acre or larger in size. When an ADU is attached to a detached accessory structure, the accessory structure may be up to 800 square feet and the ADU may be up to 800 square feet (per 18.04.060.A.3).
3. Garages. Private garages shall meet the following standards:
 - a. Garages shall not exceed a total of eight hundred (800) square feet of floor space per dwelling unit.
 - b. Garages exceeding eight hundred (800) square feet per dwelling unit may be permitted as conditional uses in the districts specified in Table 4.01 provided that they will not be adverse to the public interest and are compatible with the surrounding neighborhood. The Hearing Examiner shall establish a maximum size for garages receiving conditional use approval. (See Section [18.04.080](#).) An ADU attached to a garage exceeding eight hundred (800) square feet may only be permitted as a conditional use.
4. See Section [18.04.060](#)(P)(4) regarding accessory structures in mobile home/manufactured home parks.

OMC 18.04.080 Residential districts' development standards (Excerpt)

H. Setbacks.

1. Measurement. The required setback area shall be measured from the outermost edge of the building foundation to the closest point on the applicable lot line.
2. Reduced Front Yard Setbacks. Front yard setbacks in the R-4, R 4-8, R 6-12, MR 7-13 and MR 10-18 districts may be reduced to a minimum of ten (10) feet under the following conditions:
 - a. When garage or parking lot access is from the rear of the lot;
 - b. When the garage is located at least ten (10) feet behind the front facade of the primary structure on the lot; or
 - c. When the driveway will be aligned to provide at least a twenty (20) foot long parking space between the sidewalk edge (closest to lot) and the garage. (See Chapter [18.100](#) Design Review and Chapter [18.175](#) Infill and Other Residential.)
 - d. Such setback reductions shall not be allowed where they would result in a setback of fifty (50) percent or less than the setback of an existing dwelling on an abutting lot fronting on the same



street.

FIGURE 4-3

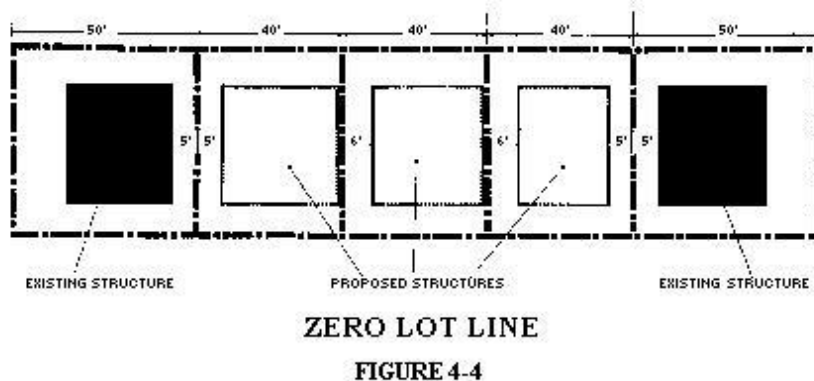
3. Rear Yard Setbacks. See Section [18.04.080\(H\)\(5\)](#), Encroachments into Setbacks, Section [18.04.080\(D\)\(2\)](#), Transitional Lots, and Table 4.04.

4. Side Yard Setbacks.

a. Reduced side yard setbacks. Except for the R-4CB district, a side yard building setback shall not be required for a lot served by an alley (such alley must be open, improved and accessible, not solely a right-of-way) provided it meets the following conditions:

i. Provision for reduced or zero setbacks shall specifically appear upon the face of a final short or long plat. Such plat shall provide that the minimum distance between residences will be six (6) feet. If the distance between a proposed dwelling and a property line is less than three (3) feet, the applicant shall provide evidence of a maintenance easement, at least three (3) feet in width, which provides sufficient access for the owner of the dwelling to maintain the applicable exterior wall and roof of the dwelling. (Except as expressly provided, any reduced side yard provision appearing on a final plat shall withstand later amendments of this Title and shall be considered conforming.)

ii. Side yard setbacks shall not be less than five (5) feet along a property line adjoining a lot which is not developed or approved for reduced setbacks (e.g., a conventional lot with two (2) five (5) foot wide side yard setbacks). Side yard setbacks shall not be less than ten (10) feet along property lines which abut a public rights-of-way.



b. The minimum side yard setback from bikepaths and walkways shall comply with the side yard setback from the lot line as specified for the district in Table 4.04.

5. Encroachment Into Setbacks. The buildings and projections listed below shall be allowed outside of utility, access or other easements. See [18.04.080\(H\)\(5\)](#) for additional exceptions.

- a. Except for Accessory Dwelling Units, any accessory structures may be located in a required rear yard and/or in the rear twenty (20) feet of a required interior side yard; however, if a garage entrance faces a rear or side property line, it shall be setback at least ten (10) feet from that property line. Accessory dwelling units may not encroach into required side yard setbacks. Accessory dwelling units may encroach into rear yards however, if the rear yard does not abut an alley, the accessory unit must be set back ten (10) feet from the rear property line. Further, any garage attached to any accessory dwelling unit shall conform with this Section.
- b. Up to fifty (50) percent of a rear yards width may be occupied by a dwelling (primary residence or ADU) provided that the structure (foundation) is located at least ten (10) feet from the rear property line. For purposes of this section the rear yards width shall be measured in a straight line between the side property lines at the point of intersection with the rear property line.

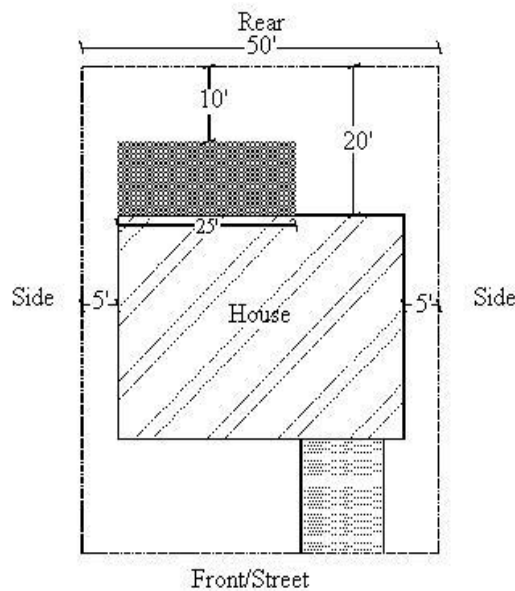


Figure 4-4a

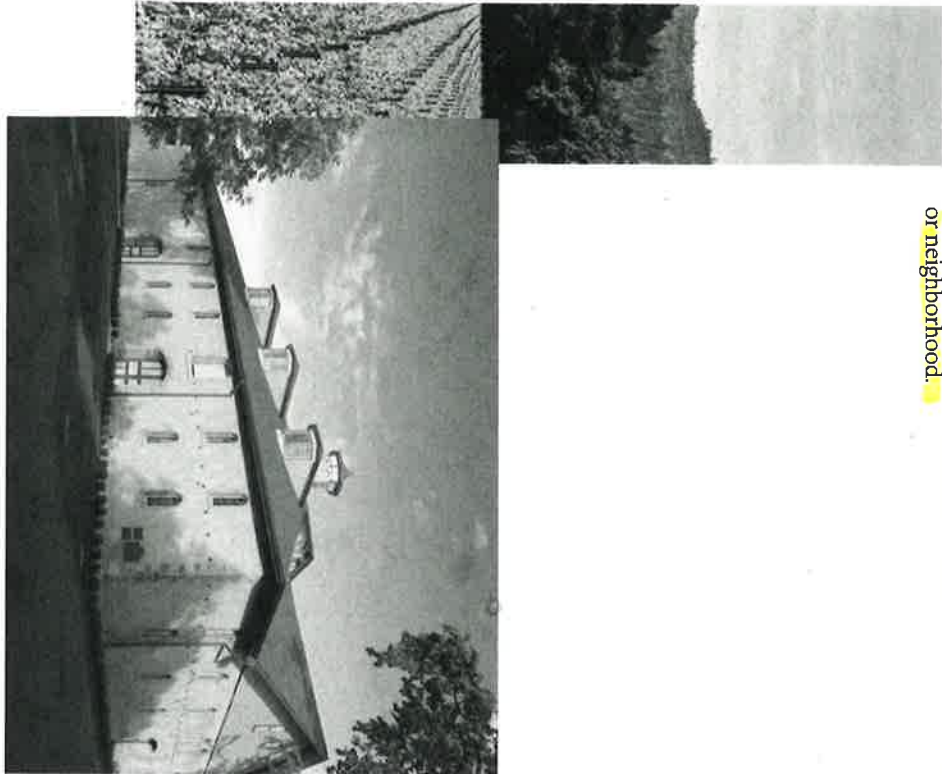
- c. Townhouse garages may share a common rear property line provided that access for interior lots is from a single common driveway to not more than one public street entrance.

U.S. Secretary of the Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Setting (District/Neighborhood)

The setting is the larger area or environment in which a historic building is located. It may be an urban, suburban, or rural neighborhood or a natural landscape in which buildings have been constructed. The relationship of buildings to each other, setbacks, fence patterns, views, driveways and walkways, and street trees and other landscaping together establish the character of a district or neighborhood.



New Exterior Additions and Related New Construction

A new exterior addition to a historic building should be considered in a rehabilitation project only after determining that requirements for a new or continuing use cannot be successfully met by altering non-significant interior spaces. If the existing building cannot accommodate such requirements in this way, then an exterior addition or, in some instances, separate new construction on a site may be acceptable alternatives.

A new addition must preserve the building's historic character, form, significant materials, and features. It must be compatible with the massing, size, scale, and design of the historic building while differentiated from the historic building. It should also be designed and

constructed so that the essential form and integrity of the historic building would remain if the addition were to be removed in the future. There is no formula or prescription for designing a compatible new addition or related new construction on a site, nor is there generally only one possible design approach that will meet the Standards.

New additions and related new construction that meet the Standards can be any architectural style—traditional, contemporary, or a simplified version of the historic building. However, there must be a balance between differentiation and compatibility to maintain the historic character and the identity of the building being enlarged.



New additions and related

new construction that are either identical to the historic building or in extreme contrast to it are not compatible.

Placing an addition on the rear or on another secondary elevation helps to ensure that it will be subordinate to the historic building. New construction should

be appropriately scaled and located far enough away from the historic building to maintain its character and that of the site and setting. In urban or other built-up areas, new construction that appears as infill within the existing pattern of development can also preserve the historic character of the building, its site, and setting.

Sustainability

Sustainability should be addressed as part of a Rehabilitation project. Good preservation practice is often synonymous with sustainability. Existing energy-efficient features should be retained and repaired. Only sustainability treatments should be considered that will have the least impact on the historic character of the building.

The topic of sustainability is addressed in detail in *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings*.

New Exterior Additions and Related New Construction

Rehabilitation is the only treatment that allows expanding a historic building by enlarging it with an addition. However, the Rehabilitation guidelines emphasize that new additions should be considered only after it is determined that meeting specific new needs cannot be achieved by altering non-character-defining interior spaces. If the use cannot be accommodated in this way, then an attached exterior addition may be considered. New additions should be designed and constructed so that the character-defining features of the historic building, its site, and setting are not negatively impacted. Generally, a new addition should be subordinate to the historic building. A new addition should be compatible, but differentiated enough so that it is not confused as historic or original to the building. The same guidance applies to new construction so that it does not negatively impact the historic character of the building or its site.

Rehabilitation as a Treatment. When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

BUILDING SITE

RECOMMENDED

NOT RECOMMENDED

The following work is highlighted to indicate that it is specific to Rehabilitation projects and should only be considered after the preservation concerns have been addressed.

Designing the Replacement for Missing Historic Features

Designing and installing a new feature on a site when the historic feature is completely missing. This could include missing outbuildings, terraces, drives, foundation plantings, specimen trees, and gardens. The design may be an accurate restoration based on documentary and physical evidence, but only when the feature to be replaced coexisted with the features currently on the site. Or, it may be a new design that is compatible with the historic character of the building and site.	Creating an inaccurate appearance because the replacement for the missing feature is based upon insufficient physical or historic documentation, is not a compatible design, or because the feature did not coexist with the features currently on the site.
Introducing a new feature, including plant material, that is visually incompatible with the site or that alters or destroys the historic site patterns or use.	

Alterations and Additions for a New Use

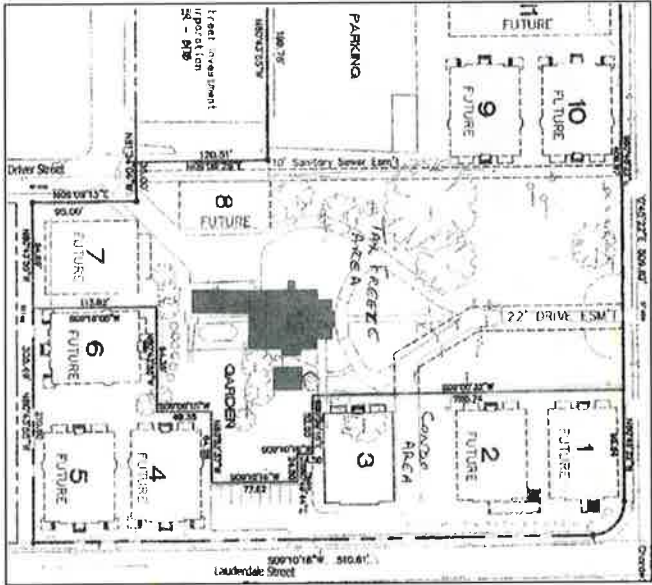


[45] Undertaking a survey to document archaeological resources may be considered in some rehabilitation projects when a new exterior addition is planned.

Designing new onsite features (such as parking areas, access ramps, or lighting), when required by a new use, so that they are as unobtrusive as possible, retain the historic relationship between the building or buildings and the landscape, and are compatible with the historic character of the property.	Locating parking areas directly adjacent to historic buildings where vehicles may cause damage to buildings or landscape features or when they negatively impact the historic character of the building site if landscape features and plant materials are removed.
Designing new exterior additions to historic buildings or adjacent new construction that are compatible with the historic character of the site and preserves the historic relationship between the building or buildings and the landscape.	Introducing new construction on the building site which is visually incompatible in terms of size, scale, design, material, or color, which destroys historic relationships on the site, or which damages or destroys important landscape features, such as replacing a lawn with paved parking areas or removing mature trees to widen a driveway.
Removing non-significant buildings, additions, or site features which detract from the historic character of the site.	Removing a historic building in a complex of buildings or removing a building feature or a landscape feature which is important in defining the historic character of the site.
Locating an irrigation system needed for a new or continuing use of the site where it will not cause damage to historic buildings.	Locating an irrigation system needed for a new or continuing use of the site where it will damage historic buildings.

BUILDING SITE

RECOMMENDED	NOT RECOMMENDED
<p>Replacing in kind an entire feature of the site that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature. Examples could include a walkway or a fountain, a land form, or plant material. If using the same kind of material is not feasible, then a compatible substitute material may be considered.</p>	<p>Removing a character-defining feature of the site that is unreparable and not replacing it, or replacing it with a new feature that does not match.</p> <p>Using a substitute material for the replacement that does not convey the same appearance of the surviving site feature or that is physically or ecologically incompatible.</p> <p>Adding conjectural landscape features to the site (such as period reproduction light fixtures, fences, fountains, or vegetation) that are historically inappropriate, thereby creating an inaccurate appearance of the site.</p>



SETTING (DISTRICT / NEIGHBORHOOD)

RECOMMENDED	NOT RECOMMENDED
<p><i>Identifying, retaining, and preserving</i> building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.</p>	<p>Removing or substantially changing those building and landscape features in the setting which are important in defining the historic character so that, as a result, the character is diminished.</p>



[46] The varied size, shapes, and architectural styles of these historic buildings are unique to this street in Christiansted, St. Croix, USVI, and should be retained in a rehabilitation project.

[47] Original paving stones contribute to the character of the historic setting and distinguish this block from other streets in the district.

SETTING (DISTRICT / NEIGHBORHOOD)

RECOMMENDED	NOT RECOMMENDED
Retaining the historic relationship between buildings and landscape features in the setting. For example, preserving the relationship between a town common or urban plaza and the adjacent houses, municipal buildings, roads, and landscape and streetscape features.	<p>Altering the relationship between the buildings and landscape features in the setting by widening existing streets, changing landscape materials, or locating new streets or parking areas where they may negatively impact the historic character of the setting.</p> <p>Removing or relocating buildings or landscape features, thereby destroying the historic relationship between buildings and the landscape in the setting.</p>



[48] Old police and fire call boxes, which are distinctive features in this historic district, have been retained, and now showcase work by local artists.

[49] Low stone walls are character-defining features in this hilly, early-20th-century residential neighborhood.



SETTING (DISTRICT / NEIGHBORHOOD)

RECOMMENDED

NOT RECOMMENDED

Replacing in kind an entire building or landscape feature in the setting that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

Removing a character-defining feature of the building or landscape from the setting that is unrepairable and not replacing it or replacing it with a new feature that does not match.

Using a substitute material for the replacement that does not convey the same appearance of the surviving building or landscape feature in the setting or that is physically or ecologically incompatible.

The following work is highlighted to indicate that it is specific to Rehabilitation projects and should only be considered after the preservation concerns have been addressed.

Designing the Replacement for Missing Historic Features

Designing and installing a new feature of the building or landscape in the setting when the historic feature is completely missing. This could include missing steps, streetlights, terraces, trees, and fences. The design may be an accurate restoration based on documentary and physical evidence, but only when the feature to be replaced coexisted with the features currently in the setting. Or, it may be a new design that is compatible with the historic character of the setting.

Creating an inaccurate appearance because the replacement for the missing feature is based upon insufficient physical or historic documentation; is not a compatible design, or because the feature did not coexist with the features currently in the setting.

Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).

Alterations and Additions for a New Use

Designing new features (such as parking areas, access ramps, or lighting), when required by a new use, so that they are as unobtrusive as possible, retain the historic relationships between buildings and the landscape in the setting, and are compatible with the historic character of the setting.

Locating parking areas directly adjacent to historic buildings where vehicles may cause damage to buildings or landscape features or when they negatively impact the historic character of the setting if landscape features and plant materials are removed.

Designing new exterior additions to historic buildings or adjacent new construction that are compatible with the historic character of the setting that preserve the historic relationship between the buildings and the landscape.

Introducing new construction into historic districts which is visually incompatible or that destroys historic relationships within the setting, or which damages or destroys important landscape features.

Removing non-significant buildings, additions, or landscape features which detract from the historic character of the setting.

Removing a historic building, a building feature, or landscape feature which is important in defining the historic character of the setting.

SETTING (DISTRICT / NEIGHBORHOOD)

RECOMMENDED		NOT RECOMMENDED	
Protecting and maintaining historic features in the setting through regularly-scheduled maintenance and grounds and landscape management.		Failing to protect and maintain materials in the setting on a cyclical basis so that deterioration of buildings and landscape features results.	
Installing protective fencing, bollards, and stanchions in the setting, when necessary for security, that are as unobtrusive as possible.		Stripping or removing historic features from buildings or the setting, such as a porch, fencing, walkways, or plant material.	
Protecting buildings and landscape features when undertaking work in the setting.		Installing protective fencing, bollards, and stanchions in the setting, when necessary for security, without taking into consideration their location and visibility so that they negatively impact the historic character of the setting.	
Evaluating the overall condition of materials and features to determine whether more than protection and maintenance, such as repairs to materials and features in the setting, will be necessary.		Failing to protect buildings and landscape features during work in the setting.	
Repairing features in the setting by reinforcing the historic materials. Repairs may include the replacement in kind or with a compatible substitute material of those extensively deteriorated or missing parts of setting features when there are surviving prototypes, such as fencing, paving materials, trees, and hedgerows. Repairs should be physically and visually compatible.		Failing to undertake adequate measures to ensure the protection of materials and features in the setting.	
		Failing to repair and reinforce damaged or deteriorated historic materials and features in the setting.	
		Removing material that could be repaired or using improper repair techniques.	
		Replacing an entire feature of the building or landscape in the setting when repair of materials and limited replacement of deteriorated or missing components are feasible.	



ACCESSORY DWELLING UNITS ACCESSORY STRUCTURES

ACCESSORY DWELLING UNITS (ADU)

Accessory dwelling units (ADU) are permitted in all residential districts subject to the following requirements:

- **Number** One (1) ADU shall be allowed per residential lot in conjunction with any detached single-family structure. (See Olympia Municipal Code [OMC], Section 18.04.080(A)(3) regarding ADUs in new subdivisions.)
- **Location** The ADU shall be permitted as a second dwelling unit added to, created within, or detached from the original dwelling. The ADU shall be oriented in a way that maintains, to the extent practical, the privacy of residents in adjoining dwellings. See OMC, Chapter 18.175, Sections 18.175.080 and .090, which pertain to ADUs.
- **Size** The ADU shall have a gross floor area of no more than eight hundred (800) square feet.
- **Occupancy** No more than one (1) family (as defined in Chapter 18.02, Definitions) shall be allowed to occupy an ADU.
- **Existing ADUs** Accessory dwellings created prior to the enactment of these regulations, June 19, 1995, may be approved subject to applicable requirements. If the owner of an existing unauthorized ADU applies to make the unit legal, but cannot meet all of the standards, he/she will be allowed a "grace period" of six months from date of application to comply with applicable standards. However, where health and safety is an issue, the Building Official will determine when the necessary modifications must be made. If the owner cannot meet the standards, the unauthorized accessory unit must be removed or its use as a dwelling must be suspended.
- **Deviation from Requirements** The Director or Director's designee may allow deviation from the requirements of Section 18.04.060(A) as follows:
 - To allow use of the entirety of a single floor in a dwelling constructed two (2) or more years prior to the date of application in order to efficiently use all floor area; and
 - To enable ADUs to be established in structures constructed prior to June 19, 1995, which are located in rear or side setbacks, provided that adopted Building Code requirements and the Development Standards contained in Section 18.04.080 are met.

Other requirements to consider when constructing an ADU:

- Connections to city sewer and water services can share the same connections as the primary home. The connection of the sewer lateral shall be made in compliance with applicable codes.

- One (1) on-site parking stall is required for an Accessory Dwelling Unit when there are not two (2) on-site parking stalls provided on the property.
- Setbacks-
 - Structure must be five (5) feet from any interior side property line and 10 feet from a flanking street side yard.
 - Detached ADU's may encroach into the rear yard. However, if the rear yard does not abut an alley, the accessory unit must be set back ten (10) feet from the rear property line.
- Maximum building height on detached ADU's is 24 feet, measured at mid gable.
- Design Review of the ADU is required. The review is conducted through the building permit application process. A design review fee and a Residential Design Review Supplemental Application is needed. (Design criteria below)
- Impact fees are applicable and are paid at building permit issuance. (*see current rate schedule for fee amounts*)
- OMC 16.04.020, 16.04.040(6) ADU Fire Sprinklers. Fire sprinklers shall be provided in all new ADUs permitted for construction after September 19, 2014. This shall apply to attached and detached ADUs. In the case of attached, only the new ADU portion is required to be sprinkled. The attached structure is recommended to be sprinkled, but is not required. Detached ADUs shall be fully sprinkled.

DESIGN REVIEW

ACCESSORY DWELLING UNIT (ADU); BUILDING DESIGN (18.175.080)

REQUIREMENT: Reflect the architectural character of the primary residence in an ADU through use of related building features.

GUIDELINES:

1. Replicate or approximate roof forms and pitch found on the existing residence.
2. Use window patterns and proportions similar to those on existing residence.
3. Use building facade material and colors that match or are compatible with those used on the existing residence.



ACCESSORY DWELLING UNIT (ADU); ENTRY FEATURES (18.175.090)

REQUIREMENT: Provide a clearly defined building entry for an ADU that is easily accessible from the street or the existing residence. Provide a well-lighted, paved sidewalk to the building entry.

GUIDELINES:

1. The entry to an ADU may be shared with the primary residence.
2. When there is a separate entry, construct an identifying feature, such as a porch, stoop and/or an eave overhang that is integral to the ADU structure.
3. When an exterior stairway to the main entrance to the ADU is needed, avoid the use of open metal, prefabricated stairs.



ACCESSORY STRUCTURES

Accessory structures are permitted in all residential districts subject to the following requirements:

- **Time of Establishment** Accessory structures shall not be built prior to commencing construction of the main building on the lot. However, lots may be created which contain an accessory structure (without an associated primary use) constructed prior to submission of the subdivision application.

- **Accessory to Primary Use** Accessory structures shall be clearly incidental and subordinate to the use of the lot (e.g., structures used for storage of personal property or the pursuit of hobbies) or used for agricultural purposes. In single-family and two-family residential districts each accessory structure shall not exceed eight hundred (800) square feet in size, except for structures accessory to an agricultural use which are located on a parcel one (1) acre or larger in size.
- **Garages** Private garages shall meet the following standards:
 - Garages shall not exceed a total of eight hundred (800) square feet of floor space per dwelling unit.
 - Garages exceeding eight hundred (800) square feet per dwelling unit may be permitted as conditional uses in the districts specified in Table 4.01 provided that they will not be adverse to the public interest and are compatible with the surrounding neighborhood. The Hearing Examiner shall establish a maximum size for garages receiving conditional use approval. See Section 18.04.080.

Maximum building height on detached accessory structures is **24 feet**, measured at mid-gable.

SETBACKS:

A detached garage may be set on the property line if the garage door is at a right angle to the alley entrance. Garage walls on or within 3 feet of the side property line, however, must be fire walls and have no windows or other openings. A detached garage may be set on the rear property line, but if the garage door faces a side yard (flanking street), it must be set back 20 feet from that side yard. In this case, the wall on the rear property line needs to be a code-compliant fire wall. A detached garage may be set on both the rear and side property lines if it has access from the front yard. In this case, both walls must be fire walls. If the garage doors face the alley, it must be setback 10 feet.

A detached accessory structure may be located anywhere within the rear forty feet of the lot, with the exception of a flanking street side yard. The structure must have at least 6 feet of separation from other structures.

Accessory Structure. A structure detached from the principal building located on the same lot and customarily incidental and subordinate to the principal building. Any part of the main building which shares a common wall and roof is considered a part of that building. A building or portion thereof is not considered attached if the attachment is by a covered breezeway.

Detached. Any building or structure that does not have a wall and roof in common with any other building or structure and where exterior walls are separated by six feet or more. (See Attached Structure; note that structures conforming with neither definition must conform with the requirements for both types of structures).

Infill and Other Residential Design Review applies to projects that are located within the Infill Regulations District, on properties immediately across the street from the Infill Regulations District, on residential lots less than 5,000 square feet in size, and for certain types of housing (such as duplexes, triplexes, fourplexes, courtyard apartments, and townhouses) regardless of its location within the City of Olympia.

The purpose of design review is to:

- Promote those qualities in the natural environment which bring value to the community;
- Foster the attractiveness and functional utility of the community as a place to live and work;
- Preserve the special character and quality of Olympia by maintaining the integrity of those areas which have a discernible character or are of special historic significance;
- Raise the level of community expectations for the quality of the built environment;
- Encourage originality and creativity in site planning and architecture;
- Communicate these purposes to the applicant and to assist the applicant in achieving these purposes;
- Preserve and enhance property value;
- Ensure that new developments maintain or improve neighborhood character and livability; and
- Consider the applicants' needs and goals and the broader public impact of any proposal.

The applicable design standards are in [Chapter 18.175](#) of the Olympia Municipal Code.

18.175.020 Neighborhood Scale and Character

A. REQUIREMENT: Minimize the appearance of building scale differences between proposed dwelling unit(s) and existing neighborhood residential units. Reflect the architectural character of neighboring residences (within 300' on the same street) through use of related building features. On narrow lots (30 feet wide or less), the average height of the adjacent residences shall not be exceeded unless the apparent scale of the proposed building is reduced through modulation.

B. GUIDELINES:

1. Step the roof on the building perimeter segments to transition between a proposed taller building and an existing residential structure.
2. Replicate or approximate roof forms and pitch found on existing residential structures in the neighborhood.
3. Use window patterns and proportions similar to those on existing residential structures in the neighborhood.
4. Use building facade materials similar to those used on existing residential buildings in the neighborhood.
5. Maintain a consistent relationship to the street (i.e., building setbacks and entryways) as existing buildings.



FIGURE 18.175.020

18.175.030 Building Orientation and Entries

A. REQUIREMENT: Provide a clearly defined building or courtyard entry from the primary street.

B. GUIDELINES:

1. Use distinctive architectural elements and materials to indicate the entry.
2. Define the transition space from the sidewalk to the entry with a terrace, plaza, or landscaped area.
3. Avoid the use of exterior stairways to second stories that are visible from the street.
4. Provide porches, balconies, and covered entries.

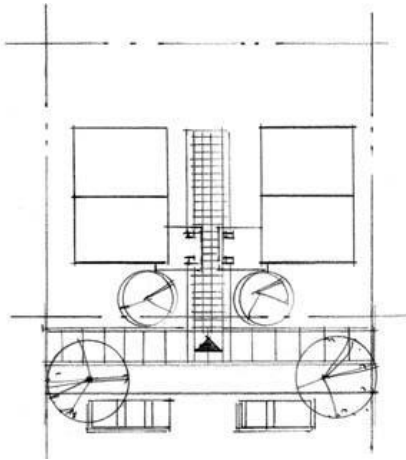


FIGURE 18.175.030-A



FIGURE 18.175.030-B

18.175.040 Building Modulation and Articulation

A. REQUIREMENT: Use building and roof modulation and articulation to reduce the appearance of large building masses.

B. GUIDELINES:

1. Modulate the building facade with features such as porches, balconies, building wall relief, and bay windows.
2. Provide roof elements such as gables, eyebrow roof forms or dormers.
3. Incorporate prominent cornice, soffit, or fascia details that emphasize the top of the building.
4. Provide prominent roof overhangs.
5. Articulate the roof with rafter tails and brackets.



FIGURE 18.175.040

18.175.050 Windows

- A. REQUIREMENT: Provide relief, detail, and visual rhythm on the facade with well-proportioned windows.
- B. GUIDELINES:
1. Use window patterns, proportions, and orientation consistent with neighboring residences.
 2. Use multiple-pane windows.
 3. Provide windows that are designed to create shadows (either deeply recessed or protruding).
 4. Use visually significant window elements (i.e. frame dimensions, lintels, casings, sills, and trim).
 5. Locate windows so that the occupants from one residence cannot look directly into an adjacent residence.

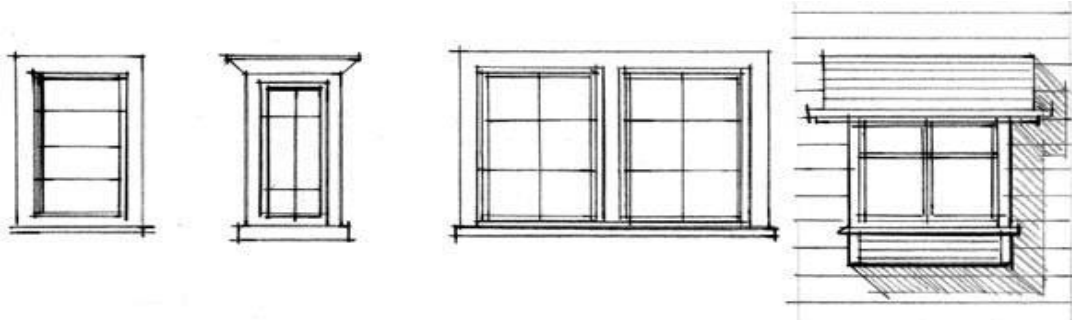
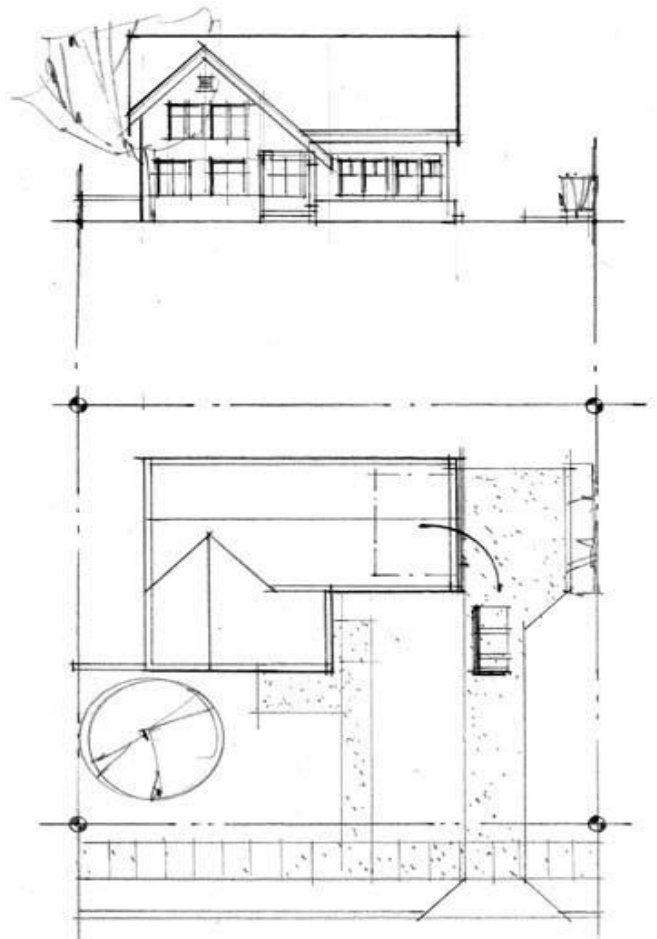


FIGURE 18.175.050

18.175.060 Garage Design

- A. REQUIREMENT: Design garages and carports so that they do not dominate the dwelling's street facade.
- B. GUIDELINES:
1. Locate garages and carports behind residences, stepped back from the building's street facade, or provide a side entry (perpendicular to the street).
 2. Design driveways to be as narrow as possible and/or shared where possible to minimize impervious surface and to minimize disruption of the sidewalk and planting strip by curb cuts.
 3. Incorporate windows into garage sidewalls whenever they face the street so that they appear to contain habitable space.
 4. Incorporate garage door elements which reduce the apparent size of the doors, such as panels and windows.
 5. Use materials and colors that match the residence.



18.175.070 Material and Colors

- A. REQUIREMENT: Use building materials with texture and pattern and a high level of quality and detailing. Reserve brightly saturated colors for accent or trim features.

B. GUIDELINES:

1. Use materials such as horizontal lap siding, shingles, brick, stone, stucco, ceramic or terra cotta tile.
2. When remodeling or adding to an existing building, use materials and colors that preserve or enhance the character of the original building.

18.175.080 Accessory Dwelling Unit (ADU); Building Design

A. REQUIREMENT: Reflect the architectural character of the primary residence in an ADU through use of related building features.

B. GUIDELINES:

1. Replicate or approximate roof forms and pitch found on the existing residence.
2. Use window patterns and proportions similar to those on existing residence.
3. Use building facade material and colors that match or are compatible with those used on the existing residence.

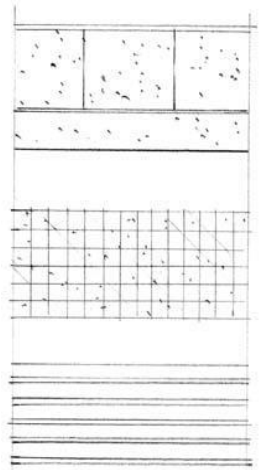


FIGURE 18.175.080

18.175.090 Accessory Dwelling Unit (ADU); Entry Features

A. REQUIREMENT: Provide a clearly defined building entry for an ADU that is easily accessible from the street or the existing residence. Provide a well-lighted, paved sidewalk to the building entry.

B. GUIDELINE:

1. The entry to an ADU may be shared with the primary residence.
2. When there is a separate entry, construct an identifying feature, such as a porch, stoop and/or an eave overhang that is integral to the ADU structure.
3. When an exterior stairway to the main entrance to the ADU is needed, avoid the use of open metal, prefabricated stairs.



FIGURE 18.175.090

18.175.100 Site Design; Cottage Housing

A. REQUIREMENT: Orient cottage housing to the public right-of-way or to a shared interior courtyard. The sides of end units may front the street when the interior courtyard is a prominent feature on the adjacent public right-of-way.

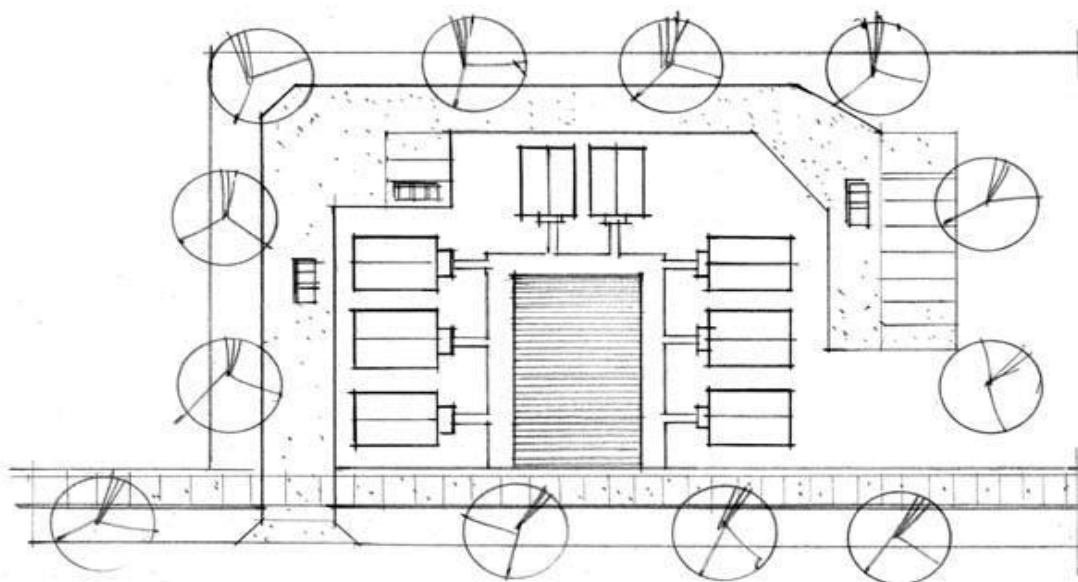


FIGURE 18.175.100

Garage Placement and Width standards adopted by the City can also impact the design. Certain projects should be aware of the provisions in Section 18.04.060EE of the Olympia Municipal Code. This is not part of the Infill Design Guidelines but will also apply to the projects noted below:

Projects Subject to Garage Regulations (18.04.060EE)

- Single-family dwellings on lots less than five thousand (5,000) square feet in size, located in subdivisions for which a complete preliminary plat application is submitted after April 22, 1996;
- Single-family dwellings on lots within the areas depicted in Figure 4-2a, where at least fifty (50) percent of the lots within three hundred (300) feet are on the same block face and the block face directly across the street are vacant or occupied by dwellings with flush or recessed garages;
- Duplexes; Triplexes; and Four-plexes.

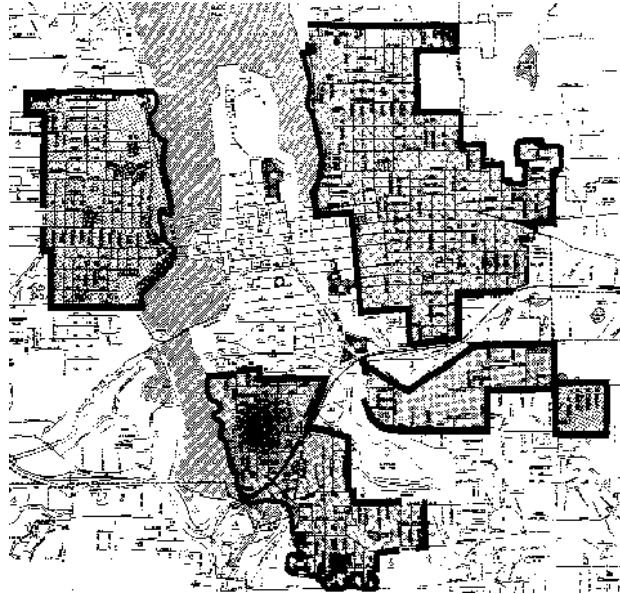


Figure 4-2a- Areas Subject to Infill Regulations

Exceptions: Lots fronting on private access lanes where the garage would not face a public street; flag lots; wedge-shaped lots (see OMC, Section 18.02.180, Definitions, Lots); and lots with trees or topography which preclude compliance with the provisions of this Section, as determined by the approval authority.

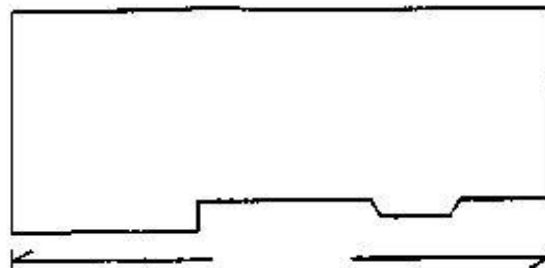
Garage Standards.

- a. Garages shall not protrude ahead of the dwelling's ground floor front facade more than:
 - i. Eight feet on two-story dwellings (i.e., dwellings with habitable space above the ground floor); or
 - ii. Four feet on single-story dwellings.

These requirements above (i. and ii.) do not apply to garages with doors which do not face the street (see Section 18.04A.210, Residential Design Guidelines - Garage Design), or garages flush with the supporting posts of covered porches which span the remainder of the dwelling's front facade.

- b. Garage width shall not exceed the following percentage of the dwelling's front facade.
 - i. Two-story dwellings (containing habitable space above the ground floor): sixty (60) percent.
 - ii. Single-story dwellings: fifty (50) percent.

For purposes of the above measurements, garage width shall include the garage doors facing the street plus any required supporting panel. The dwelling's facade shall be measured in a straight line, parallel to the building face, between the outermost ends of the facade facing the street. See Figure 4-2b.



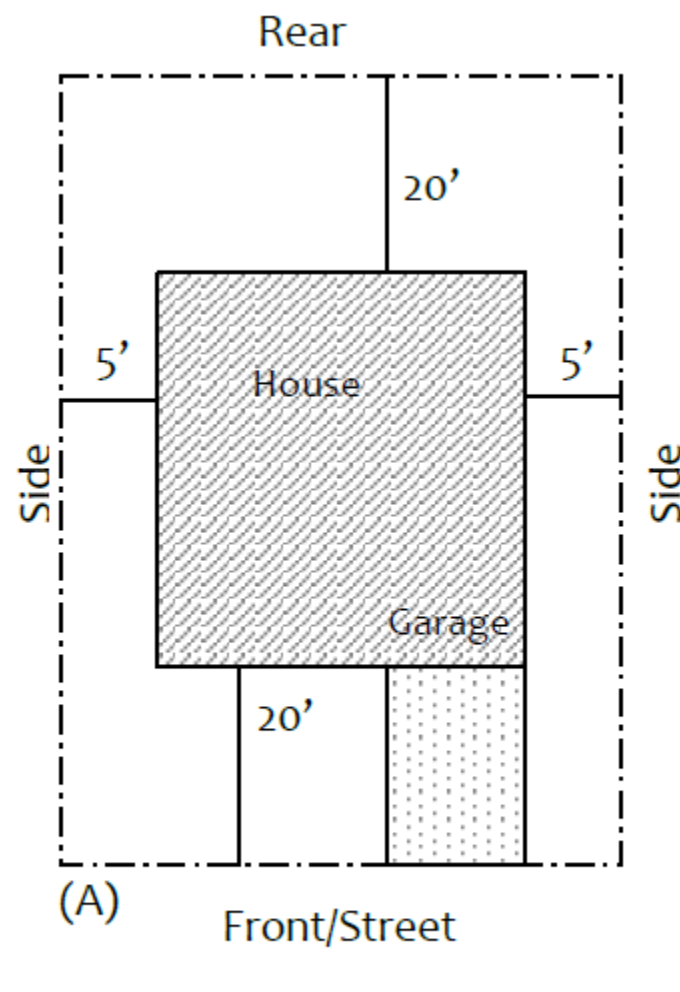
Measurement of Front Facade

FIGURE 4-2b

When you build a structure, you need to position your building on your lot so that it meets City setback requirements. Setbacks are intended to allow sufficient space between buildings for fire protection, to allow adequate yards, and to avoid nuisances for neighbors.

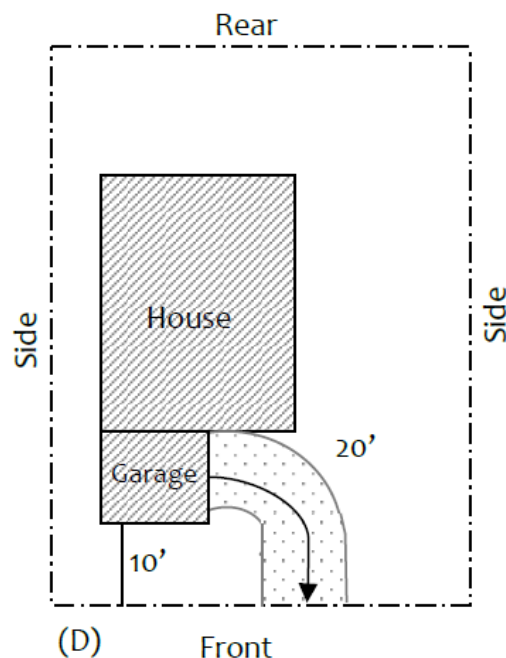
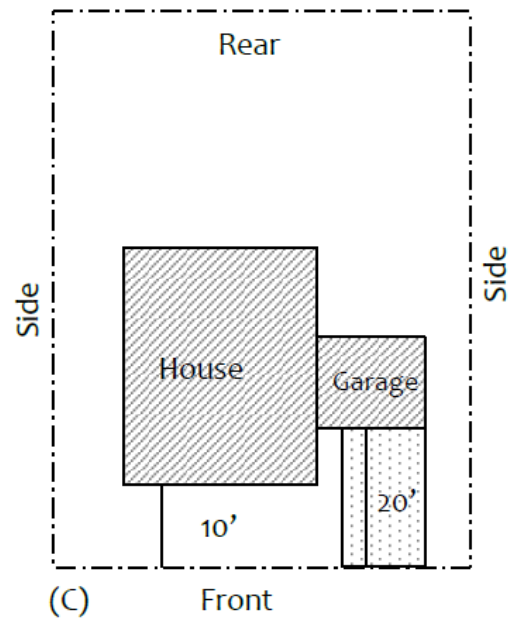
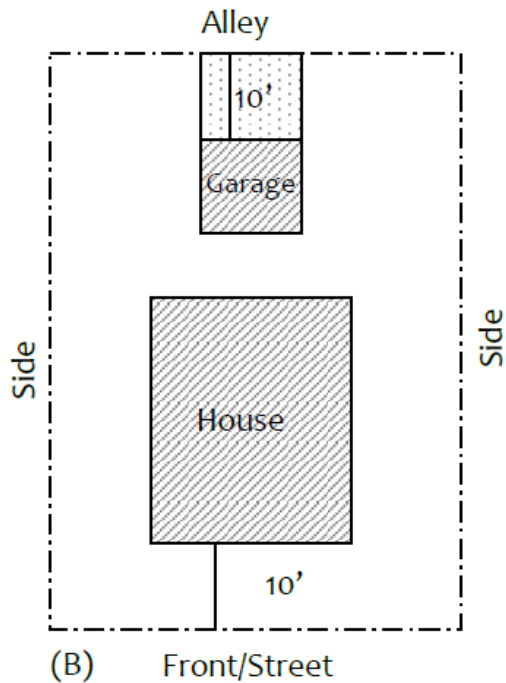
This brochure will help illustrate how setbacks may apply to your project.

Generally, the foundation of your structure needs to be twenty (20) feet from your front property line, twenty (20) feet from your rear property line and five (5) feet from your side property line. Exceptions to this are on the following pages.

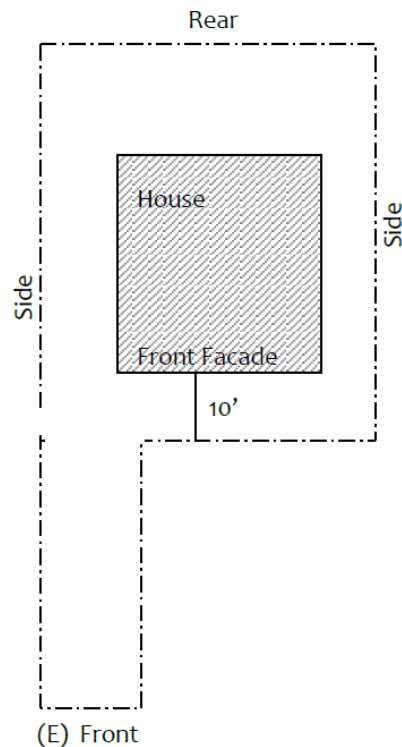


Front Yard Exceptions --The 20-foot minimum front yard setback may be reduced to ten (10) feet if your parking area is reached from the rear of your lot (Figure B) or if the garage is recessed back from the house (Figure C) or aligned to provide at least twenty (20) feet between the garage doors and the edge of the property line closest to the house (Figure D). Keep in mind that the setback requirements for garages are designed to provide room in the driveway for a car.

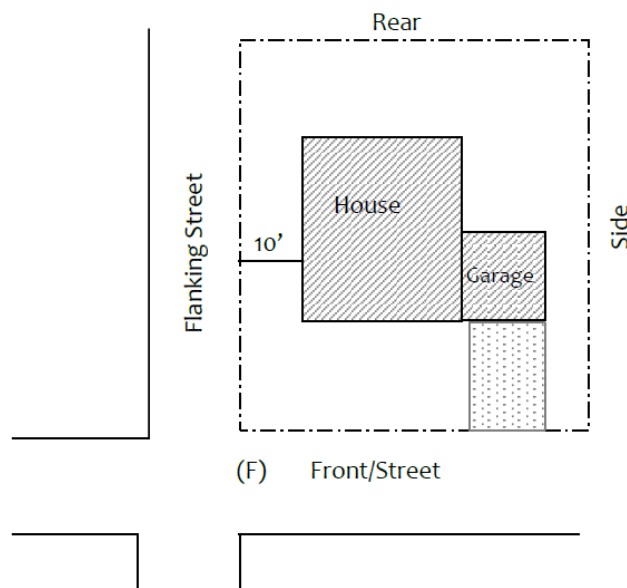
Such setback reductions shall not be allowed where they would result in a setback of fifty (50) percent or less than the setback of an existing dwelling on an abutting lot fronting on the same street.



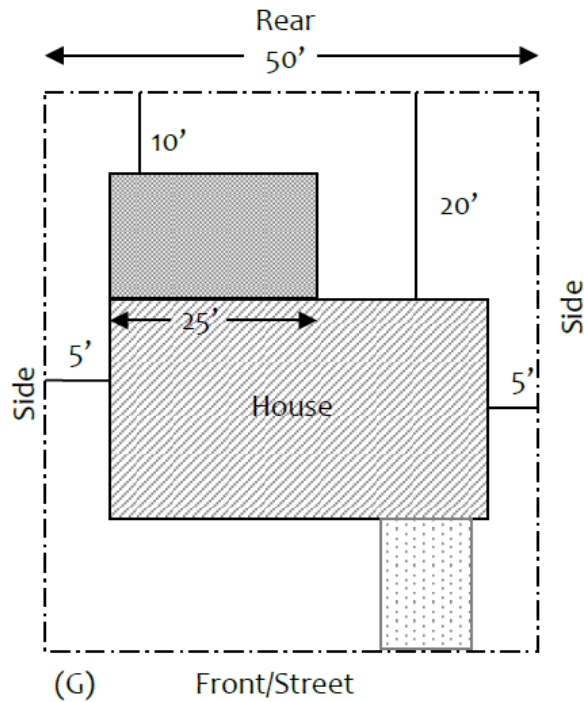
If you have a “flag lot” (connected to a street by a narrow driveway), the front yard setback is ten (10) feet, measured from the nearest parallel lot line adjacent to the front facade of the dwelling. (Figure E)



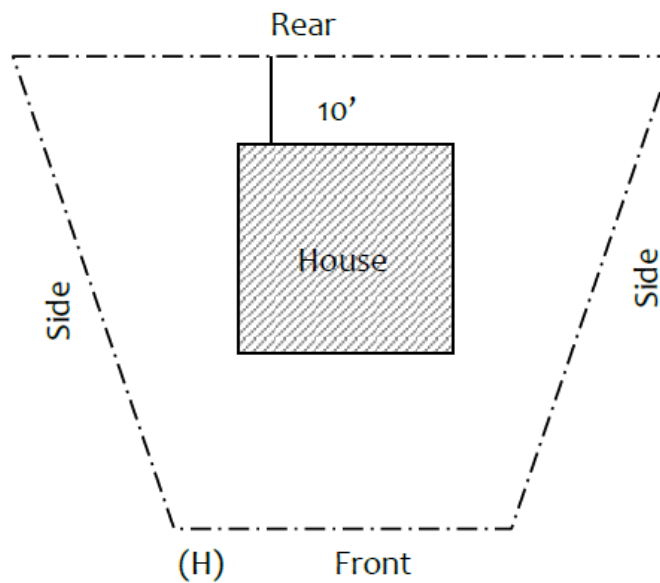
Side Yards Exceptions -- If one of your side yards is next to a street, you must set your structures back ten (10) feet from the side street (called a flanking street) (Figure F). There are other exceptions for zero lot line lots and cottage housing (see Chapter 18.04 of the Unified Development Code).



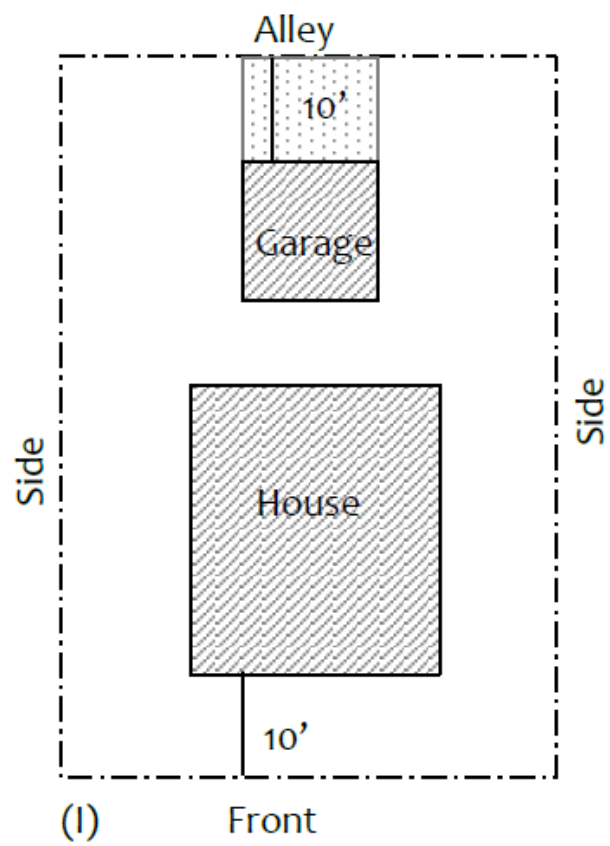
Rear Yard Exceptions -- Up to fifty percent (50%) of a rear yard's width may be occupied by a dwelling as long as the foundation maintains a ten (10) foot setback. (Figure G)



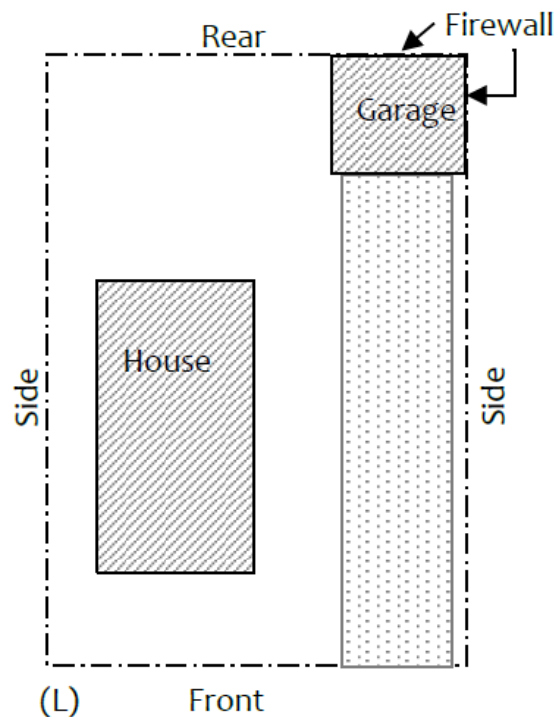
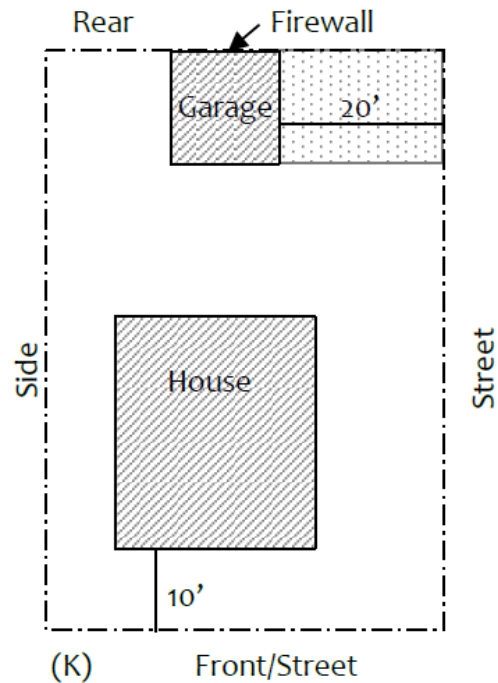
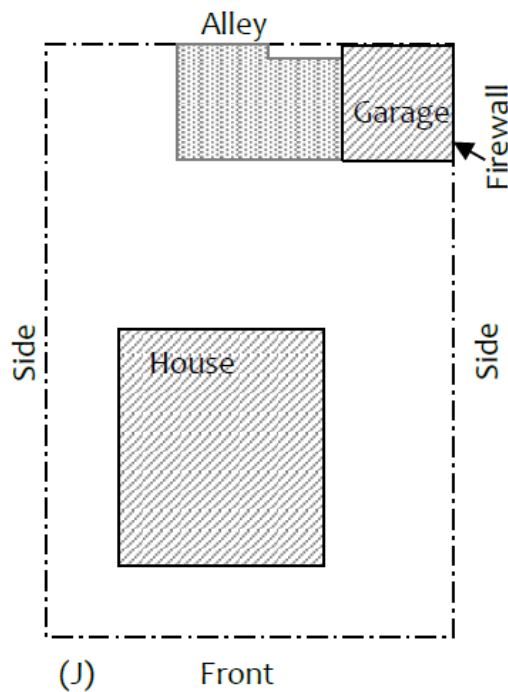
If you have a “wedge-shaped lot” (a lot with a street front that is no more than half as wide as the lot’s width at the rear property line), the rear yard setback is reduced to ten (10) feet. (Figure H)



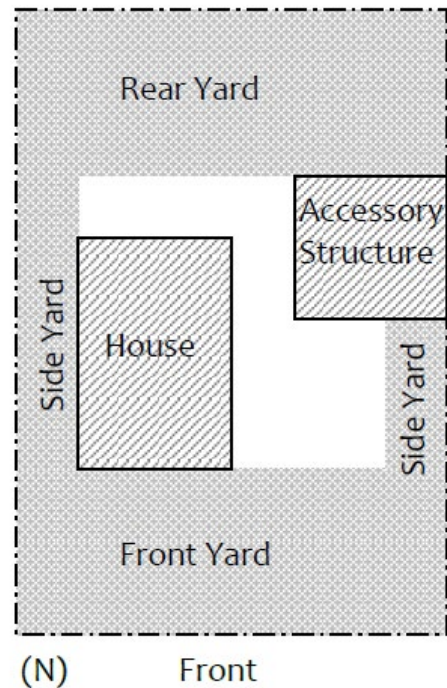
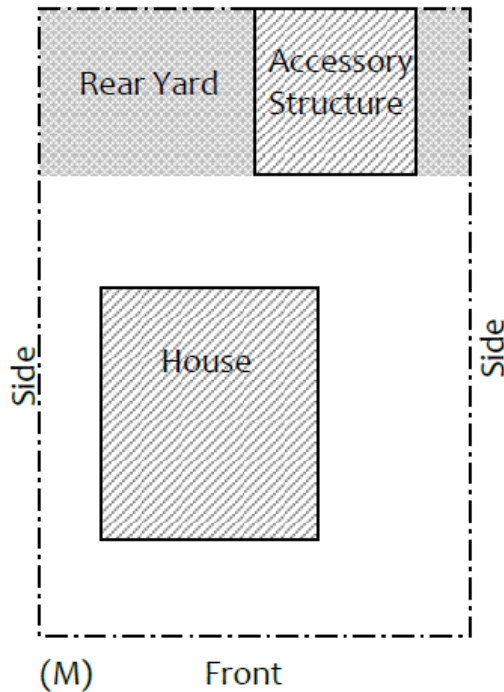
A **detached** garage with doors that will face the alley requires a setback of at least (10) feet from the alley (Figure I).



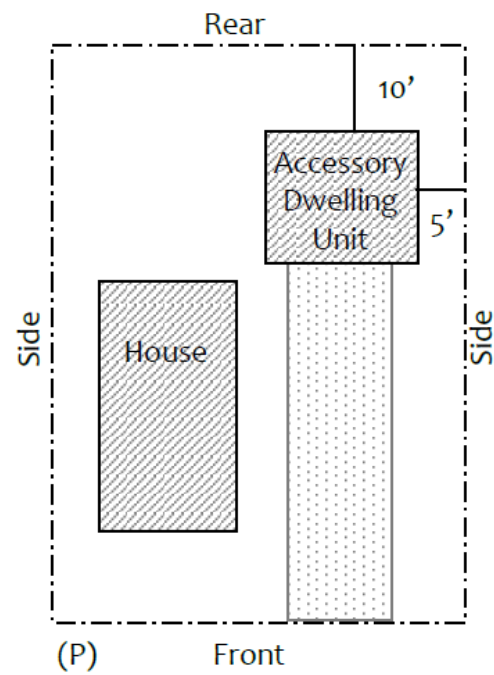
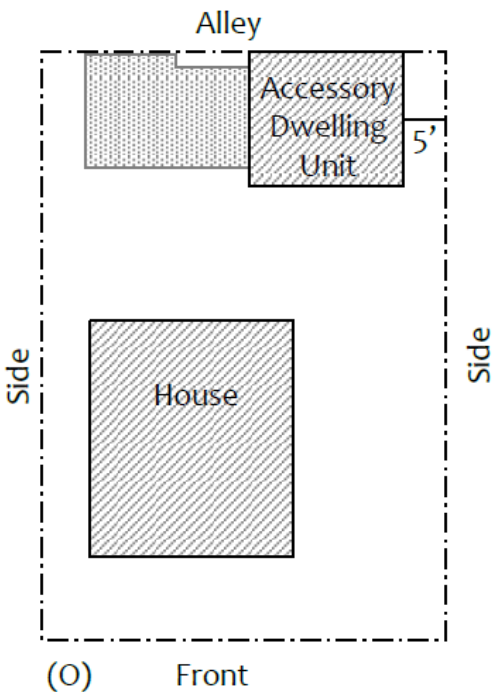
A **detached garage** may be set on the property line if the garage door is at a right angle to the alley entrance (Figure J). Garage walls on or within three (3) feet of the side property line, however, must be fire walls and have no windows or other openings. A detached garage may be set on the rear property line, but if the garage door faces a side yard, it must be set back twenty (20) feet from that side yard (Figure K). In this case, only the wall on the rear property line need be a fire wall. A detached garage may also be set on both the rear and side property lines if it has access from the front yard (Figure L). In this case, both the walls facing the rear and side yards must be fire walls.



Detached accessory structures may be located anywhere within the rear forty feet of the lot, with the exception of a flanking street side. The structure will need to have at least 6 feet of separation from other structures.



Accessory Dwelling Units must be five (5) feet from the side property line, but they may encroach into rear yards (Figure O). If, however, the rear yard does not abut an alley, the ADU must be set back ten (10) feet or more from the rear property line (Figure P).



More Exceptions:

Cornices, window sills, bay windows, flues, chimneys, planters, and roof eaves may project two (2) feet into the required yard area.

Uncovered swimming pools, hot tubs, and satellite dish antennas may be placed in the rear or side yard setback area.

Fences and walls cannot exceed the following height limits when they're located in a required yard:

- Front yard = 4 feet
- Side yard = 6 feet
- Rear yard = 6 feet
- Clear Sight Triangle = 2 feet 6 inches

Fences within ten feet of a street are considered a front yard for the purpose of calculating fence heights. This applies to corner lots.

Hedge height is restricted only in the required front yard setback area to 48" (4' - 0"). Hedges in the side and rear yards have no height limit. On corner lots, hedges in the clear sight triangle cannot be over thirty inches (30").