



# Meeting Agenda

## Planning Commission

City Hall  
601 4th Avenue E  
Olympia, WA 98501

Contact: Stacey Ray  
360.753.8046

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**Monday, February 10, 2020**

**6:30 PM**

**Room 207**

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**1. CALL TO ORDER**

*Estimated time for items 1 through 5: 20 minutes*

**1.A ROLL CALL**

**2. APPROVAL OF AGENDA**

**3. APPROVAL OF MINUTES**

**3.A [20-0143](#)** Approval of January 27, 2020 Planning Commission Meeting Minutes

**Attachments:** [Meeting Minutes 012720](#)

**4. PUBLIC COMMENT**

*During this portion of the meeting, citizens may address the Advisory Committee or Commission regarding items related to City business, including items on the Agenda. In order for the Committee or Commission to maintain impartiality and the appearance of fairness in upcoming matters and to comply with Public Disclosure Law for political campaigns, speakers will not be permitted to make public comments before the Committee or Commission in these two areas: (1) on agenda items for which the Committee or Commission either held a Public Hearing in the last 45 days, or will hold a Public Hearing within 45 days, or (2) where the speaker promotes or opposes a candidate for public office or a ballot measure.*

**5. STAFF ANNOUNCEMENTS**

*This agenda item is also an opportunity for Commissioners to ask staff about City or Planning Commission business.*

**6. BUSINESS ITEMS**

**6.A [20-0127](#)** Downtown Design Guidelines and Related Code Amendments - Public Hearing

**Attachments:** [Project Webpage](#)  
[Draft Downtown Design Guidelines](#)  
[Draft Related Code Amendments](#)  
[Public Comments](#)

*Estimated time: 60 minutes*

**6.B [20-0135](#)** EPA Brownfields Grant Update

**Attachments:** [City OMPD Port ILA](#)

*Estimated time: 15 minutes*

**6.C**     [20-0130](#)     Preliminary 2020-2021 Planning Commission Work Plan

**Attachments:** [OPC 2020 Draft Work Plan 01.31.2020](#)

*Estimated time: 45 minutes*

**7.        REPORTS**

*From Staff, Officers, and Commissioners, and regarding relevant topics.*

**8.        OTHER TOPICS - None**

**9.        ADJOURNMENT**

*Approximately 9:00 p.m.*

**Upcoming**

*Next regular Planning Commission meeting is February 24, 2020. See 'meeting details' in Legistar for list of other meetings and events related to Commission activities.*

**Accommodations**

*The City of Olympia is committed to the non-discriminatory treatment of all persons in employment and the delivery of services and resources. If you require accommodation for your attendance at the City Advisory Committee meeting, please contact the Advisory Committee staff liaison (contact number in the upper right corner of the agenda) at least 48 hours in advance of the meeting. For hearing impaired, please contact us by dialing the Washington State Relay Service at 7-1-1 or 1.800.833.6384.*



City Hall  
601 4th Avenue E.  
Olympia, WA 98501  
360-753-8244

## Planning Commission

### Approval of January 27, 2020 Planning Commission Meeting Minutes

**Agenda Date:** 2/10/2020  
**Agenda Item Number:** 3.A  
**File Number:**20-0143

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**Type:** minutes **Version:** 1 **Status:** In Committee

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#### **Title**

Approval of January 27, 2020 Planning Commission Meeting Minutes



# Meeting Minutes

## Planning Commission

ATTACHMENT 1

City Hall  
601 4th Avenue E  
Olympia, WA 98501

Contact: Stacey Ray  
360.753.8046

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**Monday, January 27, 2020**

**6:30 PM**

**Council Chambers**

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**1. CALL TO ORDER**

Chair Millar called the meeting to order at 6:31 p.m.

**1.A ROLL CALL**

**Present:** 7 - Chair Candi Millar, Vice Chair Paula Ehlers, Commissioner Tammy Adams, Commissioner Kento Azegami, Commissioner Travis Burns, Commissioner Carole Richmond and Commissioner Aaron Sauerhoff

**Excused:** 1 - Commissioner Rad Cunningham

**1.B OTHERS PRESENT**

City of Olympia Community Planning and Development staff:  
Senior Planner/Staff Liaison Cari Hornbein  
Senior Planner Joyce Phillips  
Planning and Engineering Manager Tim Smith

City of Olympia Administrative Services staff:  
Senior Planner Stacey Ray

**2. APPROVAL OF AGENDA**

**The agenda was approved.**

**3. APPROVAL OF MINUTES**

**3.A** [20-0100](#) Approval of January 13, 2020 Planning Commission Meeting Minutes

**The minutes were approved.**

**4. PUBLIC COMMENT**

The following people spoke:  
Chris Van Dalen, Ellen Silverman, Brian Hull, Larry Dzieza, Melissa Allen, Judy Bardin, Kathryn Scott, Bob Jacobs, Bob Jorgenson, Ellen Dorfman, Jon Gilstrom, Jay Elder, Laura Schleyer, Margaret Fleming, Walt Jorgenson, Janae Huber.

Written Comment: Judy Bardin



Margaret Fleming also provided Commissioners with copies of an article.

## 5. STAFF ANNOUNCEMENTS

Ms. Hornbein shared announcements.

## 6. BUSINESS ITEMS

### 6.A [20-0083](#) Housing Options Code Amendments - Briefing

Ms. Phillips shared information and a Powerpoint on the Housing Options Code Amendments, including upcoming meetings and the public participation plan.

**The information was received.**

### 6.B [20-0087](#) Planning Commission Candidate Screening and Recommendation

Commissioners discussed the current candidates who have applied for the vacant Planning Commission position.

**Commissioner Azegami moved, seconded by Commissioner Richmond, to approve Yen Huynh, Donald Krug and Lisa Heaton to be interviewed by the General Government Committee for the vacant Planning Commission position.**

### 6.C [20-0085](#) 2020 - 2021 Planning Commission Work Plan

Ms. Hornbein and Ms. Ray shared information on the development of the 2020-2021 Work Plan.

**The information was received.**

## 7. REPORTS

Commissioner Richmond reported on outside meetings attended.

## 8. OTHER TOPICS - None

## 9. ADJOURNMENT

The meeting was adjourned at 8:49 p.m.

### Upcoming

The next regular Planning Commission meeting is February 10, 2020.



## Planning Commission

### Downtown Design Guidelines and Related Code Amendments - Public Hearing

**Agenda Date:** 2/10/2020  
**Agenda Item Number:** 6.A  
**File Number:** 20-0127

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**Type:** public hearing **Version:** 1 **Status:** In Committee

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#### Title

Downtown Design Guidelines and Related Code Amendments - Public Hearing

#### Recommended Action

Move to approve the Draft Downtown Design Guidelines and Related Code Amendments.

#### Report

##### Issue:

Public Hearing on the Draft Downtown Design Guidelines and Related Code Amendments.

#### Staff Contact:

Joyce Phillips, Senior Planner, Community Planning and Development, 360.570.3722

#### Presenter(s):

Joyce Phillips, Senior Planner, Community Planning and Development  
John Owen, MAKERS Consulting

#### Background and Analysis:

One of the first recommended actions to implement the Downtown Strategy (DTS) is an update to the Downtown design guidelines. These are regulations that help ensure new development and significant redevelopment projects achieve a level of design quality that is consistent with the City's vision as expressed in the Comprehensive Plan and Downtown Strategy.

#### Background

Design guidelines address functional as well as aesthetic issues. They influence site design, building orientation, massing, architecture and other building details, as well as historic preservation. They intend for development to be compatible with neighbors; promote safety, security and livability; be environmentally responsible; promote health and pedestrian activity; and upgrade the physical attractiveness of a development.

The City retained MAKERS consultants to assist with updating Downtown design guidelines. The consultant reviewed all comments received on the working draft of the update and a final draft was prepared for a final round of internal review by Current Planning staff. Based on staff comments, and

to address public comments that had been received on the first public draft, revisions were made and a second public draft was issued. City staff reviewed the second draft with the Planning Commission, Heritage Commission, Design Review Board, and held an Open House to solicit comments. A final round of revisions were made to address the comments received and the public hearing draft was issued (Attachment 2).

Along with the proposed downtown design guideline update, staff proposes view protection measures guided by the Downtown Strategy, which will include amendments to Title 18, Unified Development Code, of the Olympia Municipal Code. Other chapters in Title 18 will require revisions to ensure consistency with the new design guidelines for downtown. These related amendments are attached (Attachment 3).

The draft guidelines are divided into four distinct sections, as follows:

- 18.120.100s - Introduction
- 18.120.200s - Site Planning
- 18.120.300s - Site Elements and Design
- 18.120.400s - Building Design

**Neighborhood/Community Interests (if known):**

Community participation has been a large part of the development of the draft guidelines. Staff from the City and MAKERS worked with a Technical Work Group and held public meetings to gather input and prepare the draft guidelines. Additional outreach was completed to ensure revisions to earlier drafts met the expectations and needs of those who provided comments.

An Open House public meeting was held on January 23, 2020. Ten people attended the meeting. Written comments received since the issuance of the second draft have been attached to the staff report (Attachment 4).

**Options:**

After conducting the Public Hearing and deliberating on the draft amendments the Commission may:

1. Recommend approval of the Downtown Design Guidelines and related code amendments, as written.
2. Recommend approval of the Downtown Design Guidelines and related code amendments, with modifications.
3. Recommend denial of the Downtown Design Guidelines and related code amendments.

**Financial Impact:**

Funding for the consulting firm, MAKERS, to complete the preliminary drafts was awarded earlier in the process. The work and that contract have been completed. The remaining work to complete the guidelines and related code amendments is part of the Community Planning and Development Department's base budget.

**Attachments:**

Project Webpage  
Draft Downtown Design Guidelines  
Draft Related Code Amendments

Public Comments

# Downtown Design Guidelines



## What are design guidelines?

Design guidelines are regulations applied to development projects. They intend for projects to upgrade physical attractiveness; be compatible with neighbors; promote safety, security and livability; be environmentally responsible; and promote health and pedestrian activity.

## What is the City doing?

The City is updating the design guidelines for downtown Olympia. This action was recommended in the [Downtown Strategy](#) to simplify the organization, promote a more urban design quality and be compatible with the Downtown Strategy's character areas.

## What's happening now?

The public hearing draft of the guidelines is now available below. This draft considers public comments received on the first and second drafts and refines earlier language. The City provided briefings on the draft guidelines to the Planning Commission on October 7 and 21, November 4 and 18, and December 2, 2019. People are invited to review and comment on the proposed guidelines and related code amendments.

## How to comment

You may provide comments using the button below or in-person at the public hearing, scheduled for Feb. 10, 2020, at 6:30 p.m. in Olympia City Hall Room 207.

## DRAFT Design Guidelines

 [Public Hearing Draft Design Guidelines](#)

 Related Code Amendments

 Comment on the Draft Guidelines

## Summary Handouts

 Major Changes

 Historic Properties

 View Protection

 Residential Open Space

 Street Front Requirements

 Design Guideline Basics

 Development Codes Overview

 Other Topics & How They Are Addressed

## Questions?

Contact Joyce Phillips at 360.570.3722 or [jphillip@ci.olympia.wa.us](mailto:jphillip@ci.olympia.wa.us)

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The City of Olympia is committed to the non-discriminatory treatment of all persons in employment and the delivery of services and resources.

## **CHAPTER 18.120 DOWNTOWN DESIGN CRITERIA**

### **Chapter Contents**

#### **18.120.100 Introduction**

- 18.120.110 Purpose
- 18.120.120 Applicability and Procedures
- 18.120.130 Downtown Design Sub-Districts
- 18.120.140 Designated Street Types

#### **18.120.200 Site Planning**

- 18.120.210 Introduction
- 18.120.220 Street Fronts
- 18.120.230 Pedestrian Circulation
- 18.120.240 Buildings with Ground-Related Residential units
- 18.120.250 Multi-Building and Multi-Block Sites
- 18.120.260 Solid Waste Facilities, Service Areas, and Mechanical Equipment
- 18.120.270 Multifamily Open Space
- 18.120.280 Security

#### **18.120.300 Site Elements and Design**

- 18.120.310 Introduction
- 18.120.320 Parking Areas
- 18.120.330 Pedestrian Oriented Open Space
- 18.120.340 Landscaping
- 18.120.350 Walkways and Circulation Elements
- 18.120.360 Lighting
- 18.120.370 Other Site Features

#### **18.120.400 Building Design**

- 18.120.410 Intent and Exemptions
- 18.120.420 Building Character
- 18.120.430 Registered Historic District and Sites
- 18.120.440 Architectural Composition, Massing, and Articulation
- 18.120.450 Human Scale Building Elements and Details
- 18.120.460 Pedestrian Oriented Façades and Weather Protection
- 18.120.470 Materials and Colors
- 18.120.480 Blank Wall Treatments
- 18.120.490 Above-Grade Structured Parking

## **18.120.100 INTRODUCTION**

### **CONTENTS**

- 18.120.110 PURPOSE
- 18.120.120 APPLICABILITY AND PROCEDURES
- 18.120.130 DOWNTOWN DESIGN SUB-DISTRICTS
- 18.120.140 DESIGNATED STREET TYPES

### **18.120.110 PURPOSE**

The purpose of Chapter 18.120 is to implement the Comprehensive Plan by:

1. Promoting high quality urban design
2. Enhancing the pedestrian environment
3. Activating the streetscape
4. Reinforcing unique character areas
5. Preserving the Downtown's historic character

### **18.120.120 APPLICABILITY AND PROCEDURES**

#### **A. PROJECT REVIEW PROCEDURES**

The guidelines within these chapters shall apply to all properties within the area shown in Figure 18.120.130.A.1. The applicability and review procedures for these guidelines shall be as described in OMC Chapter 18.100, except as follows:

1. Design guidelines do not apply to public projects within the public right of way.
2. Where two or more Sub-Districts are indicated in Figure 18.120.130.A.1, the applicant may select which Sub-District will apply. All regulations for that Sub-District will then apply.
3. In the event there is a conflict for a property that is located within the historic district, or an individually listed historic property, 18.12.090 shall take precedent (see language of Chapter 18.12.040.c).

#### **B. DEFINITIONS. Some terms are only used in the context of these design guidelines. These terms are as follows:**

1. Architectural Scale: is the perceived height and bulk of a building relative to that of neighboring buildings.



2. Blank wall: Any wall or portion of a wall that has a surface area of 400 square feet of vertical surface without a window, door, or building modulation or other architectural feature or any ground level wall surface or section of a wall over 4 feet in height at ground level that is longer than 15 feet as measured horizontally without having a ground level window or door lying wholly or in part within that 15-foot section.
3. Building Details: are smaller building components such as lights, furniture, artwork, signs, door and window moldings that are perceived from a short distance from the building (less than 80 feet away).
4. Building Elements: are the larger building features such as balconies, cornices, bay windows, and turrets and can generally be seen from a distance (80 feet or more).
5. Building Modulation: The stepping back or extension forward of a portion of a building façade.
6. Custom, decorative, or hand crafted: be distinctive or “one-of-a-kind” elements or unusual designs that require a high level of craftsmanship. However, these terms do not necessarily mean that the elements be ornate. They may be simple if finely detailed or manufactured. It is more important that the façade details fit the style and character of the building.
7. Fenestration: The design, proportioning, and disposition of windows and other exterior openings of a building.
8. Human Scale: addresses the relationship between a building and the human body.
- 7.9. Massing: A unified composition of two-dimensional shapes or three-dimensional volumes, esp. one that has or give the impression of weight, density, and bulk.
- 8.10. Pilaster: a column that is built into the façade wall but projects out from it.
- 9.11. Street wall: A relatively continuous building edge along or near the back of the sidewalk.
12. Transom Window: a strip of smaller windows located above display windows.
- 10.13. Woonerf: A “living” street which includes shared spaces, traffic calming design and techniques, and very low speed limits. It is shared pedestrian, bicyclist, and vehicular space, with preference to non-motorized users.

## **18.120.130 DOWNTOWN DESIGN SUB-DISTRICTS**

### **A. INTENT**

These Guidelines were informed by Olympia's Downtown Strategy and establish ~~seven~~ Downtown Design Sub-Districts (Sub-Districts). The purpose of the sub-districts is to achieve greater variety of uses and design character as well as greater design unity within specific sub-districts and along streets within the Downtown. These Sub-Districts are identified in Figure 18.120.130.A.1.



Figure 18.120.130.A.1. Downtown Design Sub-Districts (Sub-Districts). Where there are multiple Sub-Districts in a group the project applicant may choose which Sub-District applies.

## B. DESCRIPTION OF DOWNTOWN DESIGN SUB-DISTRICTS

1. Core: General objectives: Enhance and complement historic architecture. The existing historic architectural styles and influences are varied, including Neoclassical, Art Moderne, Chicago Style, Romanesque, Victorian, Mission Revival, and Art Deco. Activate streetscapes with storefront building design and wider pedestrian pathways. Within the historic retail core, design elements should complement the surrounding historic architecture with sensitivity to neighboring buildings' proportions and rhythms; "classic main street" furnishings, finishes, and styling; and materials drawing inspiration from surrounding historic materials like sandstone, brick, terracotta, and granite. New buildings may exhibit contemporary styled architecture but must not detract from the overall historic character of the Sub-District. New buildings should complement the Sub-District's character through design features and qualities such as materials, scale, façade composition, and proportion, but not try to replicate historical styles.
2. Art/Tech: General objectives: Utility is a design driver for the informal Art/Tech Sub-District, suggesting opportunities for adaptive reuse of existing buildings, and street improvements that promote new pedestrian and bike uses. The incorporation of "warm industrial" materials such as weathered wood or metal, and design elements such as garage doors or large entryways that engage the street or parklets are examples of how architecture and streetscape designs might complement the area's do-it-yourself character. We encourage the retention of historic materials when present.
3. Entertainment: General objectives: Art, creativity, and imaginative expression defines this hub of dining, nightlife, and the performing arts. Design elements here may reflect aspects of the Core and Art/Tech Sub-Districts, but a focus on art, theatricality, imagination, and night lighting that enhances building design and public spaces will distinguish this area. Buildings and streetscapes such as wider sidewalks, consistent lighting, and clear wayfinding that support entertainment needs.
4. Waterfront: General objectives: Better connection of Downtown to its waterfront location—visually, physically, and symbolically—is a primary goal of this Sub-District. Elements that reflect the shoreline ecology, local maritime activities, Northwest Native American history, historic industrial uses, sailing and boating, fishing and aquaculture, and commercial trading are encouraged. Examples include those design elements found at Percival Landing such as furnishings, light fixtures, marine hardware, wood pilings, boardwalks, and rope may be incorporated into streetscape improvements and new developments to help draw the aesthetics of the waterfront deeper into Downtown.
5. North Capitol Way: General objectives: One of the Olympia Downtown Strategy's important urban design concepts is to improve the visual connections

and pedestrian experience along Capitol Way between the Capitol Campus and Farmers Market. In the North Capitol Way Downtown Design Sub-District, this means providing streetscape improvements in the public Right of Way that are, consistent with other segments of Capitol Way. New development should include a variety of architectural and landscaping treatments that feature attractive, inviting building fronts and that accommodate a variety of uses so that all buildings present a welcoming face to the street. Maintain a mix of historic and new pedestrian-friendly development.

6. Business Corridor: General objectives: This Sub-District along Capitol Way and portions of the Plum Street SE corridor is currently characterized by older hotels, small commercial buildings, parking lots, banks, and older office buildings. Substantial redevelopment is envisioned that adds human activity and upgrades the pedestrian routes between Downtown and the Capitol Campus. This will take the form of substantial, urban scale commercial, institutional, and mixed-use buildings with refined façades that complement Campus and Downtown Core buildings. Buildings will include active ground floor uses and inviting facades with weather protection. Enhancements to the street scape to improve uniformity will include amenities such as lighting, paving, and landscaping to create a strong visual connection between the Campus and Downtown Core.
7. Residential Neighborhood: General objectives: This Sub-District is envisioned as an urban residential neighborhood with a mix of uses and architectural variety in building types with landscape plantings in streetscapes, medians, and on private property. Office development is expected where zoning allows. New development is anticipated, and is expected to be compatible with the residential character. Retaining historic buildings is encouraged.

#### **18.120.140 DESIGNATED STREET TYPES**

In order to provide attractive pedestrian oriented streetscapes, downtown streets are classified in the designated streets described as follows and as indicated in Figure 18.120.140.A.1. These descriptions are for design review only.



Page 6 Downtown Design Guidelines – 18.120.100s, INTRODUCTION – Public Hearing Draft

- A. Type A Pedestrian Oriented Streets are the most important downtown pedestrian routes with the greatest volume and concentration of pedestrian activities and attractions. The intent is to ensure these streets maintain that level of pedestrian traffic and amenity. The guidelines for Type A streets emphasize a high level of façade transparency (amount of clear ground floor window area), wide sidewalks, non-residential uses on the ground floor, limited vehicle access and parking, and maintenance of a prominent street wall.



*Figure 18.120.140.A.2: Type A Pedestrian Oriented Street.*

- B. Type B Pedestrian Oriented Streets are also important pedestrian connections but with less pedestrian traffic, amenities, and attractions. The intent is to ensure Type B streets are attractive pedestrian connections with sufficient interest at street level to encourage pedestrian traffic. Guidelines for Type B streets require some transparency and access limitations.



*Figure 18.120.140.A.3: Type B Pedestrian Oriented Street.*

- C. Type C streets are unmarked on figure 18.120.140.A.1. The intent of guidelines in Section 18.120.220.E is to ensure Type C streets are functional, attractive, and can accommodate a wide variety of uses. Guidelines for Type C streets typically include a defined edge at the back of the sidewalk (that is either a building, landscaping or pedestrian oriented space rather than an unscreened parking lot), and provide efficient pedestrian access to building entries.



*Figure 18.120.140A.4: Type C Street.*

- D. Downtown Entry Streets are arterials with relatively high vehicle traffic volumes that bring travelers into the Downtown. Because they are highly visible, the intent of guidelines for Downtown Entry Streets in OMC 18.120.120.C emphasize creating an attractive street front even if the uses may be auto oriented.



*Figure 18.120.130.A.5: Downtown Entry Street.*

- E. Waterfront sites are those that directly face the shoreline with guidelines that support an attractive and active pedestrian esplanade.



*Figure 18.120.140A.6: A Waterfront Site.*

- F. High Visibility Street Corners are located at prominent intersections with guidelines for an enhanced design feature to support the importance of these corners.

**18.120.200 SITE PLANNING****CONTENTS**

18.120.210	INTRODUCTION
18.120.220	STREET FRONTS
18.120.230	PEDESTRIAN CIRCULATION
18.120.240	BUILDINGS WITH GROUND RELATED RESIDENTIAL UNITS
18.120.250	MULTI-BUILDING AND MULTI-BLOCK SITES
18.120.260	SOLID WASTE STORAGE AND REMOVAL FACILITIES, SERVICE AREAS, AND MECHANICAL EQUIPMENT
18.120.270	MULTIFAMILY OPEN SPACE
18.120.280	SECURITY

**18.120.210 INTRODUCTION**

Site Planning addresses the visual qualities of Downtown streetscapes and developments such as building orientation and location, service areas, and pedestrian and vehicular access.

**18.120.220 STREET FRONTS****A. INTENT**

This section focuses on the relationship between the street and site with the intent to:

1. Assist in the implementation of City and regional transportation plans by establishing a pedestrian street overlay designation that results in a network of active, aesthetically pleasing, and interesting streets that link the Downtown retail core, the Capitol Campus, the waterfront, and residential neighborhoods.
2. Increase architectural and historic continuity between the retail core and the remainder of downtown.
3. Increase walkability by creating a high quality, compact pedestrian oriented environment so that people will be encouraged to work, shop, play, and live.
4. Provide strong, continuous edges which clearly define public open spaces and rights-of-way.
5. Contribute to the streetscape by incorporating human scaled, artistic elements or public art, or historically inspired elements into building design.
6. Provide direct visual contact between activities occurring inside buildings and the street environment.
7. Establish attractive “Downtown Entry Streets” that enhance the visual appearance



of entrances and prominent corridors into and around the Downtown.

8. Acknowledge the need to accommodate arrival by vehicle while supporting increased arrival by transit, carpool, bike, and on foot.

## B. APPLICABILITY AND STREET TYPE DESIGNATIONS

Street Front requirements apply to façades of buildings facing Type A and B Pedestrian Oriented Streets, Type C Streets, Waterfront Sites, and Downtown Entry Streets as indicated in Figure 18.120.140.A.1.

## C. REQUIREMENTS FOR TYPE A PEDESTRIAN ORIENTED STREETS

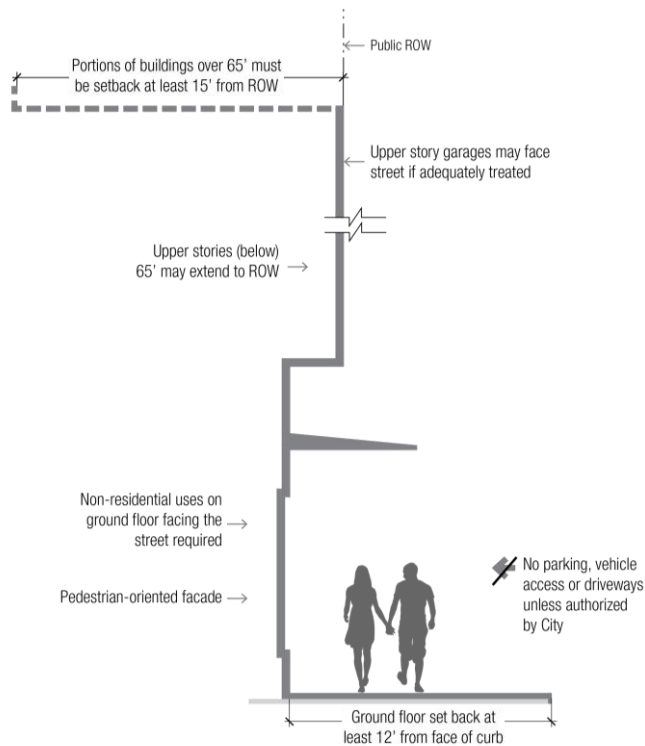
The following requirements apply to building façades facing Type A Pedestrian Oriented Streets:

1. Façade details. Feature “pedestrian oriented façades” as described in Section 18.120.460.
2. Ground floor use. Non-residential uses shall be featured adjacent to A Streets. Hotel and multifamily residential lobbies, common rooms and entries are allowed.
3. Ground floor setbacks. Feature ground floor setbacks at least 12-feet from the face of curb. Upper stories may extend to the property/right of way line. Pilasters or similar façade extensions may be located out toward the curb a maximum of 12 inches provided that the pilasters are no more than 3-feet wide measured parallel to the front building façade. Surfacing materials must be approved by the City for compatibility with the sidewalk materials.

Exceptions:

- i. Buildings on properties with street frontage less than 100 feet, measured horizontally along the right of way, do not need to meet requirement (3) directly above.
  - ii. This provision does not apply to the redevelopment of an existing building.
4. Street wall definition. The ground floor shall extend to the property/right of way unless the setback from the curb required in “c” is applicable. (For example, align the building along the right of way unless the resulting sidewalk area is less than 12 feet wide from back of curb to the first floor building wall at grade.)

Exception: Up to 80% of a building front (measured parallel to the right of way line) may be set back up to 60-feet from the right of way provided the setback is occupied by pedestrian oriented open space as described in Section 18.120.330 and the façades facing the open space meets the Pedestrian Façades and Weather Protection requirements in Section 18.120.460.



*Figure 18.120.220.C.1: Summary of requirements for building facades facing a Type A Pedestrian Oriented Street. (This diagram is for illustrative purposes only. See OMC 18.120.220.C for stated requirements.)*

5. Vehicle parking. Surface vehicle parking directly fronting, and ground floor structured parking directly adjacent to a Type A Pedestrian Oriented Street is prohibited. The City may allow upper story parking facing the street if the façade is suitably treated to appear as an occupied building or incorporates articulation treatments that break up the massing of the garage and add visual interest as described in OMC18.120.440.B.1.
6. Vehicle access (driveways). All vehicle access shall be from another street or alley unless approved by the City ~~determines that there is no other way to provide safe vehicle access~~. For example, if the property is on the corner of two Type A Pedestrian Oriented Streets or fronts a designated Arterial and a Type A Pedestrian Oriented Street, the City will determine which street fronts may feature vehicle access (a driveway).
7. Stepbacks. Upper story stepbacks for building elements or stories over 65 feet above grade shall be setback at least 15 feet from the public right of way.

Exception: Architecturally treated parapets and roof garden railings may extend up to 5 feet above the 65 feet façade face limit.

## D. TYPE B PEDESTRIAN ORIENTED STREET REQUIREMENTS

The following requirements apply to building façades facing Type B streets and to building façades in the Waterfront Sub-District parallel to the shoreline that are visible from a public pathway:

Exception: As an alternative, the building façade will be acceptable if it meets the requirements for Type A Pedestrian Oriented Street provisions.

Note: If there are ground floor residential units, the project shall also meet the requirements for ground floor residential units in OMC18.120.240

1. Façade details. Project shall provide pedestrian oriented façades as described in OMC 18.120.460 unless the building façade features ground floor residential units.

Exceptions: In lieu of providing a pedestrian oriented façade on a Type B Street, the City may allow departures from 18.120.460 provided the applicant demonstrates alternative design features that are equal or superior for the pedestrian environment. Examples of such solutions include a trellised area with seating, a plaza, or substantial artwork.



*Figure 18.120.220.D.1: The Hands-On Children's Museum is an example of a pedestrian friendly site that employs a unique solution rather than strict conformance to Pedestrian Oriented Street requirements.*

2. Ground floor setbacks. Feature ground floor setbacks at least 12-feet from the face of curb. Upper stories may extend to the property/right of way line. Pilasters (rectangular columns that project outward from the front façade wall) or similar façade extensions may extend out toward the curb a maximum of 12-inches — provided that the pilasters are no more than 3 feet wide measured parallel to the front building façade. See Figure 18.120.220.D.2. Surfacing materials must be approved by the City for compatibility with the sidewalk materials.

Exceptions:

- i. Buildings on properties with street frontage less than 100 feet, measured

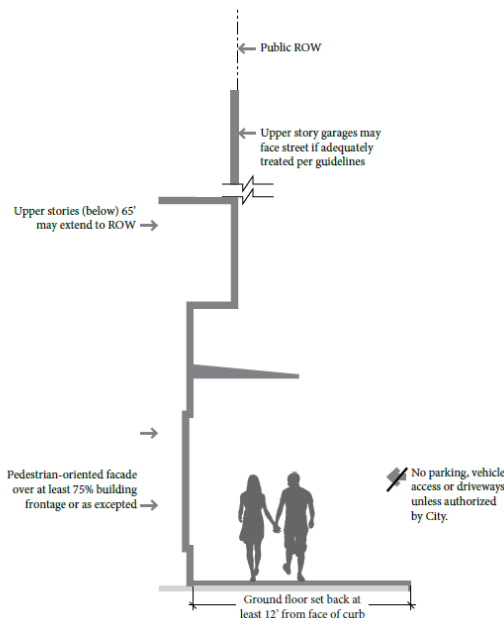
horizontally along the right of way, do not need to meet this requirement–  
~~(3) directly above.~~

- ii. This provision does not apply to the redevelopment of an existing building.

- 3. Street wall definition. The ground floor of buildings shall extend to the property/right of way boundary unless the façade features ground floor residential units or the setback from the curb required in subsection 2“b” is applicable.

Exception: A building front may be set back up to 60-feet from the right of way provided the setback is occupied by pedestrian oriented open space as described in OMC18.120.330 and the façade facing the open space meets the Pedestrian Façades and Weather Protection requirements in OMC18.120.460.

- 4. Vehicle parking. All vehicle parking shall be from a lesser street type or alley unless the City determines that there is no other way to provide safe vehicle parking. Surface vehicle parking directly fronting a Type B Pedestrian Oriented Street is prohibited.
- 5. Vehicle access (driveways). All vehicle access shall be from a lesser street classification or alley unless approved by the City ~~determines that there is no other way to provide safe vehicle access.~~ For example, if the building site fronts on two or more Pedestrian Oriented Streets or on a Pedestrian Oriented Street and a designated arterial, the City will determine what street front may feature vehicle access (driveway).



*Figure 18.120.220.D.2: Summary of requirements for building façades facing a Type B Pedestrian Oriented Street (this diagram is for illustrative purposes only. See Section 18.120.220.D for stated requirements).*

## E. TYPE C STREET REQUIREMENTS

The following requirements apply to building façades facing Type C streets:

1. Street Edge: Physically define the street edge with building(s), landscaping, or other features as approved by the City.

Exceptions:

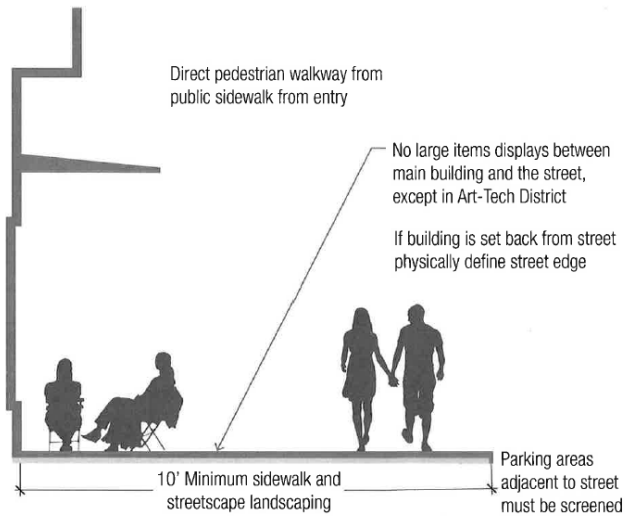
- a. The building façade will be acceptable if it meets the requirements for Type A or Type B Pedestrian Oriented Street provisions.
- b. Ground related residential units meeting the requirements of OMC 18.120.220.A.
- c. Developments in the Residential Neighborhood Sub-District may feature a front yard along the street edge that includes lawn or other landscaping, a pedestrian oriented open space, or other treatment as approved by the City. No definition between the street and the site is needed if the front yard is a public pedestrian oriented open space such as a plaza, courtyard café seating area, or similar feature.

2. Ground Floor Setback: Feature ground floor setbacks at least 10 feet from the face of the curb to provide sufficient room for a sidewalk at least 10 feet wide or sidewalk plus planting strip (total 10 feet wide). Pilasters or similar façade extensions may extend out toward the curb a maximum of 12 inches—provided that the pilasters are no more than 3 feet wide measured parallel to the front building façade. (See Figure 18.120.220.E.1). Surfacing materials must be approved by the City for compatibility with the sidewalk materials.

Exceptions:

- i. Buildings on properties with street frontage less than 100 feet, measured horizontally along the right of way, do not need to meet this requirement—~~(3) directly above.~~
- ii. This provision does not apply to the redevelopment of an existing building.

3. Surface Parking. Surface parking areas adjacent to the street shall be screened according to Section OMC 18.120.340



*Figure 18.120.220.E.1: Requirements for development adjacent to Type C streets (this diagram is for illustrative purposes only. See section 18.120.220.E for stated requirements).*

4. **Sidewalk access.** Primary building entries shall face the street and provide direct access to the public sidewalk. Side entries shall provide connectivity to the street by a pedestrian pathway and should be visible from the street.

Exceptions:

- a. Properties fronting directly on the shoreline in the Waterfront Design Sub-District,
  - b. Departure from this requirement can be approved provided it is demonstrated that the design provides direct access to the street to the greatest extent possible and that alternative design features that are equal or superior at achieving the design intent.
5. **Display items.** Large item display areas are prohibited between the main building and the street front (e.g. auto sales in the front yard area). Sidewalks cannot be enclosed as space for retailing. Small, temporary displays, and outdoor seating are permitted provided pedestrian sidewalk traffic is not impeded as outlined in the city's Street use regulations.

Exceptions: Displays in the front of buildings are permitted in the Art/Tech Sub-District and properties north of Market Street.

#### F. REQUIREMENTS FOR WATERFRONT DESIGN SUB-DISTRICT SITES FRONTING DIRECTLY ON THE SHORELINE

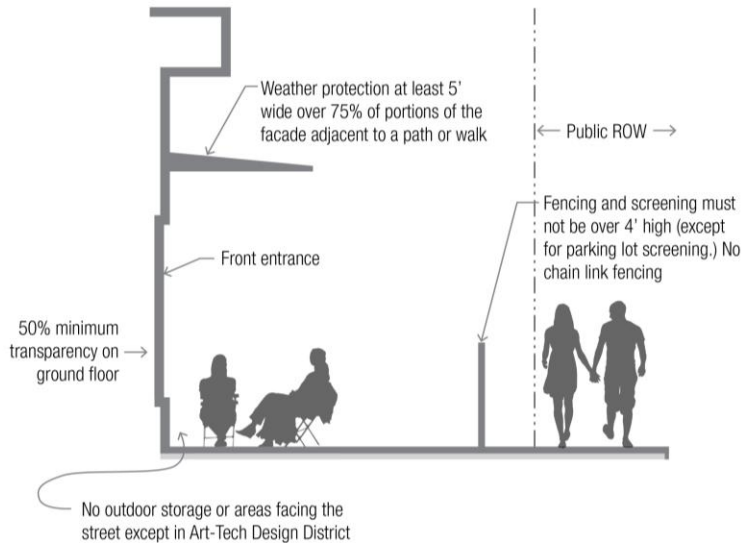
Projects on sites fronting directly on the shoreline and not separated by a street as identified in Figure 18.120.110.A.1 shall be configured to comply with the following:

1. Shoreline facing façades. Building façades facing the shoreline shall feature a pedestrian oriented façade as described in OMC 18.120.460
2. Façades perpendicular to the shoreline. Building façades roughly perpendicular to the shoreline shall comply with provisions for Type B Pedestrian Oriented Streets unless the City determines that there is a compelling reason to the contrary due to unusual use or site constraints.

#### G. DOWNTOWN ENTRY STREET REQUIREMENTS

The following requirements apply to projects proposed for sites fronting designated Downtown Entry Streets (see Figure 18.120.140.A.1). Projects may conform to requirements for Type A or B Pedestrian Oriented Streets in lieu of Downtown Entry Street requirements.

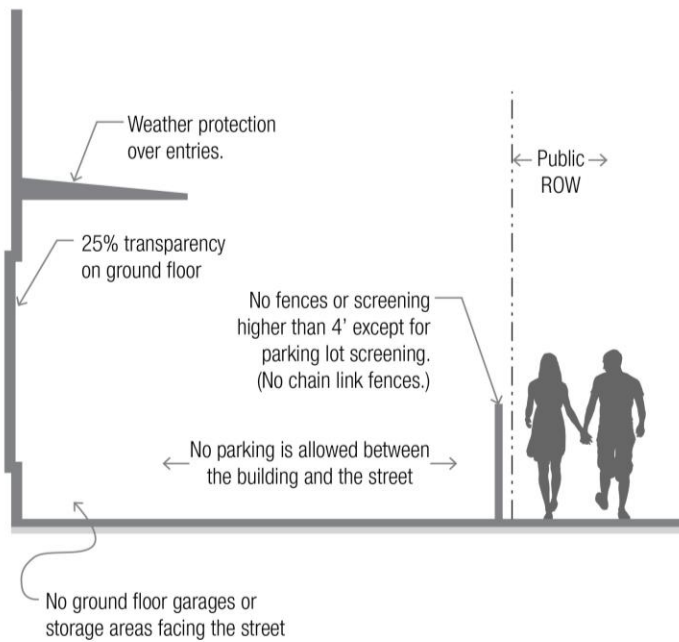
1. Non-residential buildings. Commercial and mixed-use building façades facing Downtown Entry Streets located within 15 feet of the right of way shall conform to the following:
  - a. Provide at least 50% transparency (clear window area) on the ground floor façade between 2 feet and 8 feet above grade.
  - b. Front provide a front entrance visible from the public street and a direct walkway between the public sidewalk and the main entrance.
  - c. Provide weather protection over the front entry pursuant to OMC 18.120.450.B.2. The weather protection shall be at least 5 feet deep over at least 75% of all portions of the façade adjacent to a pedestrian path or walk.
  - d. Fences and screens (except for parking lot screening) taller than 4 feet or retaining walls higher than 30 inches are prohibited within 15 feet of the right of way of the Downtown Entry Street, unless the City determines there are unusual site constraints and the departure is the minimum necessary to alleviate said constraint.



*Figure 18.120.220.G.1: Requirements for non-residential buildings within 15 feet of an Entry Street right of way (this diagram is for illustrative purposes only. See OMC 18.120.220.G for stated requirements).*

2. Residential buildings. Residential buildings located within 30 feet of the right of way shall conform to the following:
  - a. Provide at least 15% transparency on the ground floor.
  - b. Provide a covered porch, stoop, or patio for individual ground floor unit entries, or a clearly recognizable, covered shared entry pursuant to OMC 18.120.450.B.2.
  - c. Fences over 4 feet and retaining walls taller than 30 inches are prohibited within 15 feet of the Downtown Entry Street right of way, unless the city determines there are unusual site constraints and the departure is the minimum necessary to alleviate said constraint. Fences and walls are permitted when used to for parking lot screening.
  - d. Garages and storage spaces are prohibited along the ground floor front façade facing the Downtown Entry Street.

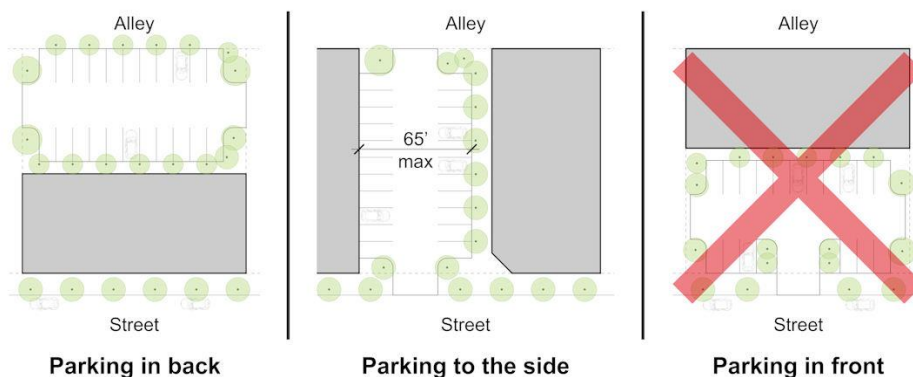




*Figure 18.120.220.G.2: Requirements for residential buildings within 30 feet of an Entry Street right of way (This diagram is for illustrative purposes only. See OMC18.120.220.G for stated requirements).*

3. Location of surface parking. Surface parking shall be located behind, underneath, or to the side of the ground floor use facing the Downtown Entry Street (i.e. parking is prohibited between the building and the Street).

Exceptions: If the parking is on the side of a building, or there is no building, parking shall not exceed 65 feet of the street frontage. If the lot is wider than 130 feet, parking may occupy up to 50% of the width of the lot facing the street.



*Figure 18.120.220.G.3: Requirements for surface parking location (This diagram is for illustrative purposes only. See OMC18.120.220.G for stated requirements).*

4. Outdoor display areas. Large item display areas are prohibited between the main building and the street front. Sidewalks cannot be enclosed as a space for retailing. Small, temporary displays and outdoor seating are permitted provided pedestrian sidewalk traffic is not impeded as outlined in the City's Street use regulations.

### **18.120.230 PEDESTRIAN CIRCULATION**

#### **A. INTENT**

1. To provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and streets.
2. To improve the pedestrian environment by making it easier, safer, and more comfortable to walk between businesses and residences, to transit stops, and through parking areas.
3. To provide access to transit services.

#### **B. REQUIREMENTS**

1. Pathways. Pathways between the dwelling units and the street shall be provided in residential developments with multiple ground related units or entries.



*Figure 18.120.230.B.1. A good example of pedestrian connections between units. The pathway leads to the street. Note the positive security measures including bollard lighting, open landscaping with no hiding spaces, passive surveillance from windows, and sense of enclosure that implies ownership of the space.*

2. The pedestrian circulation system shall connect all main (primary) entrances on the site. For townhouses or other residential units fronting the street, the sidewalk may be used to meet this standard. Pedestrian connections to other areas of the site, such as parking areas, recreational areas, common outdoor areas, and any pedestrian amenities shall be provided.
3. Provide attractively designed pedestrian walkways to adjacent public rights of

way, trails, existing or planned bus stops, site features such as mailboxes, solid waste storage areas, and other shared facilities, and to adjacent properties where access exists or reasonable connections are possible.

4. Elevated walkways. External elevated walkways which provide pedestrian access to dwelling units located above the ground floor are generally prohibited, unless the city determines there is a compelling reason to the contrary and provided that the walkway(s):
  - a. Do not compromise the privacy of the individual units (no walkways adjacent to residential unit windows)
  - b. Do not compromise visual access from dwelling units into a courtyard

Note: This section is not intended to prohibit skywalks, pedestrian bridges between buildings, or external stairways to access an upper story.



*Figure 18.120.230.B.2. Elevated external walkways such as this are not allowed.*

#### **18.120.240 BUILDINGS WITH GROUND RELATED RESIDENTIAL UNITS**

The following requirements apply to all ground-related residential units. “Ground related residential units” or ground floor residential units” means residential units such as townhouses, ground floor apartments, cottage housing, etc. which face a public right of way and have their ground floors at or near the street grade. Units that have pedestrian access directly from a street or pathway without passing through a lobby or room are also ground related. Where the requirements of this Section conflict with the guidelines in OMC 18.120.220C, D, E or F (guidelines for designated street types), the guidelines of this Section (OMC 18.120.230) shall apply unless the City determines otherwise. Note: Ground floor residential uses are not allowed on Type A streets or Waterfront Sites.

##### **A. INTENT**

1. To provide for the privacy, comfort, and livability of the residential units.
2. To provide an attractive streetscape.

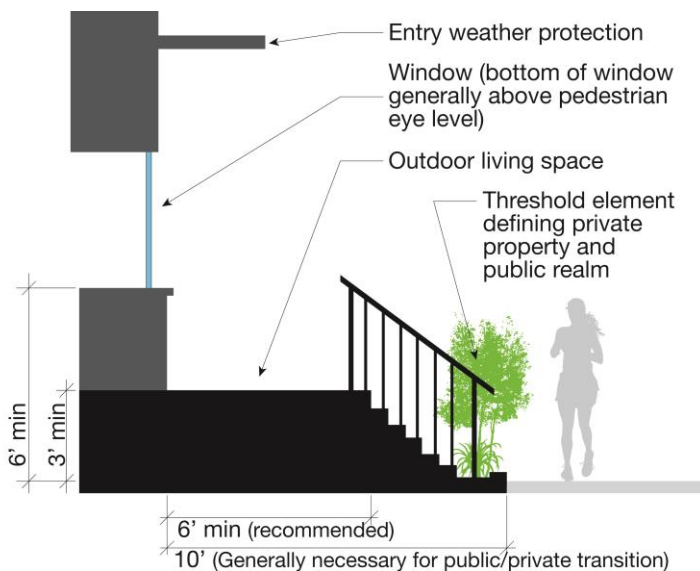
3. To allow for friendly communication between residents in an outdoor space and pedestrians on the sidewalk.
4. To provide an inviting entry into the units.



*Figure 18.120.240.A.1: Desirable ground related residential example with raised unit, landscaping, and small porches to enhance privacy while providing a welcoming streetscape. Units front on the street. Garages are off the alley.*

## B. REQUIREMENTS

1. Street access. Ground-related residences fronting a street shall each have individual ground-related entries accessible from the street.
2. Setback or elevate units for privacy. Provide for internal privacy for people living in the ground related units through all of the measures as follows.



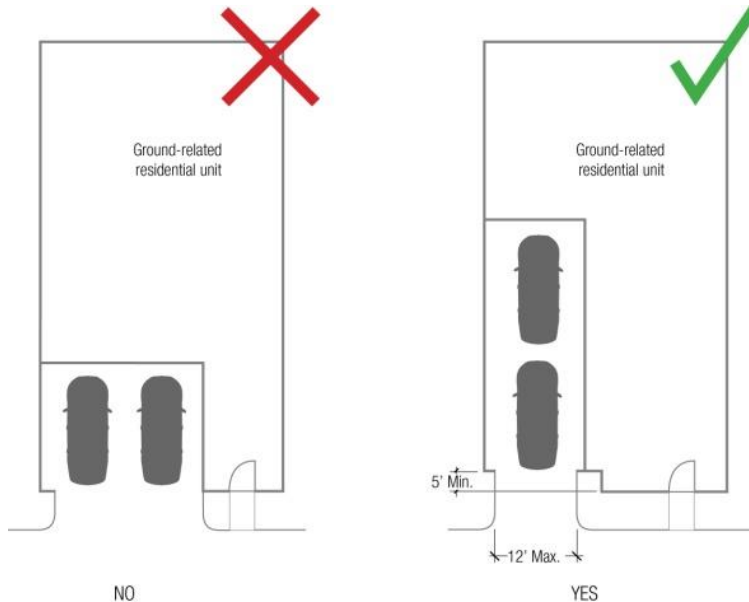
*Figure 18.120.240.B.1: Dimensional relationships to maintain privacy and provide a successful transition between public and private realms.*

- a. Setback ground level residences at least 10 feet from a public right of way or elevate the ground floor unit at least 3 feet above the sidewalk grade (preferably both). If the building front is less than 10 feet from the public right of way, the bottom of the ground floor windows facing the street shall be at least 6 feet above sidewalk grade.
- b. Provide a physical “threshold” feature such as a hedge, retaining wall, rockery, stair, gate, railing, or a combination of such elements on private property that defines and bridges the boundary between public right of way and private entry, porch, yard, or patio. Thresholds may screen but must not block views to and from the street. Retaining walls shall not be taller than 30 inches. If additional height is required to accommodate grade conditions, then terraces edged by stepped retaining walls, each no more than 30 inches high, are acceptable. Fences and screens shall not be higher than 4 feet above the sidewalk.
- c. Provide an outdoor space at least 6 feet in depth and 6 feet wide (36 ~~S~~quare ~~F~~feet minimum) in the front yard such as a porch, patio, deck, or similar space. Where feasible, this space must be at the same level as the interior of the unit. This space may include landscaping areas and may count as part of the entry space required below. The City may allow an exception for an outdoor space with other dimensions if the space meets the intent of providing a transition between the street and the private space. If there is an entrance facing the street, design the front door and entry area to enhance privacy. Locate and size windows and transparent doors so that pedestrians on the sidewalk cannot see directly into the lower half of the ground floor living space.
- d. Provide a covered area, porch or protected entry space, or other architectural weather protection at least 4 feet deep that provides cover for a person entering the unit and a transitional space between outside and inside the dwelling.



*Figure 18.120.240.B.2: Ground floor residential units often lack privacy and livability of outdoor spaces is limited. Locating the ground floor at grade or below the sidewalk with insufficient setback results in an uninviting space even with the planter. This should be avoided.*

- e. **Garage configuration.** Where the primary pedestrian access is off the same façade as vehicular access, driveway widths shall be no more than 12 feet wide. Entries into the garage shall be set back at least 5 feet from the front of the street facing building wall. All interior vehicle storage areas (garages) shall have a door. Where more than one vehicle storage space is required, developments shall incorporate single-width “tandem” parking configurations for all ground related units to minimize the impact of garage doors on the streetscapes.



*Figure 18.120.240.B.3: Driveways serving ground floor residential units shall be no more than 12 feet wide. Tandem parking is allowed (This diagram is for illustrative purposes only. See OMC18.120.240 for stated requirements).*

## 18.120.250 MULTI-BUILDING AND MULTI-BLOCK SITES

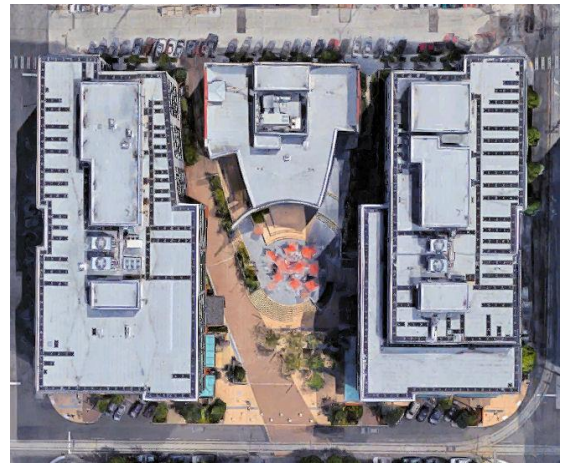
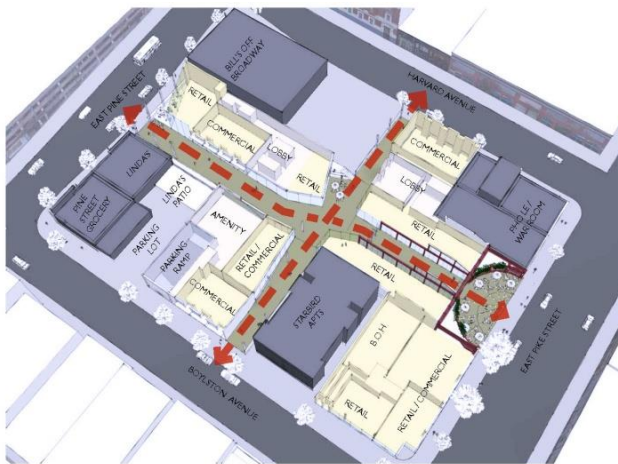
### A. INTENT

1. To create integrated development plans and phasing strategies.
2. To reduce negative impacts to adjacent properties.
3. To enhance pedestrian and vehicular circulation while maintaining the City's street connectivity engineering standards.
4. To provide usable open space.
5. To create focal points for pedestrian activity for developments.
6. To enhance the visual character of the community.



## B. REQUIREMENTS

1. Unified site plans. Development at sites with two or more buildings shall demonstrate that the project is based on a unified site plan that meets the following criteria:
  - a. Incorporate pedestrian pathways or open space with landscaping as a unifying element.
  - b. Provide for safe, efficient internal vehicular circulation that does not isolate the buildings.



*Figure 18.120.250.B.1: Two examples of unified site plans illustrating the provisions of Guideline 18.120.250.B.1: Note the incorporation of a public passageway in the left example and the use of open space as an organizing feature in the right example.*

- c. To achieve direct, safe, and comfortable pedestrian connections, building entrances shall not be focused around a central parking area, instead they shall be connected by a pathway system and/or open space(s), unless the City determines this infeasible or undesirable and the applicant demonstrates that the alternative design is equal to or better at achieving the design intent.
- d. A development may provide a major public entry serving several shops rather than providing a separate storefront entry for each shop. If the development employs the combined-entry option, then the entry shall be prominent and articulated with special features such as recessed entries, transparency, prominent canopies, landscaping, lighting, and expression of the entry in the façade's upper stories. See Figure 18.120.250.B.2 below.
- e. Provide publicly accessible pedestrian connections between public streets where the City determines that such connections would not adversely impact the development.



*Figure 18.120.250.B.2: Prominent entries meeting the intent of Guideline 18.120.250.B. Note the recessed entries, transparency, prominent canopies, landscaping, lighting, and expression of the entry in the façade's upper stories.*

## **18.120.260 SOLID WASTE FACILITIES, SERVICE AREAS, AND MECHANICAL EQUIPMENT**

### **A. INTENT**

1. To minimize adverse visual, olfactory, or noise impacts of mechanical equipment, utility cabinets, and service areas at ground and roof levels.
2. To provide access for service vehicles to remove waste and maintain service elements.
3. To provide adequate, durable, well-maintained, and accessible service and equipment areas.
4. To protect residential uses and adjacent properties from impacts due to location and utilization of service areas.

### **B. REQUIREMENTS**

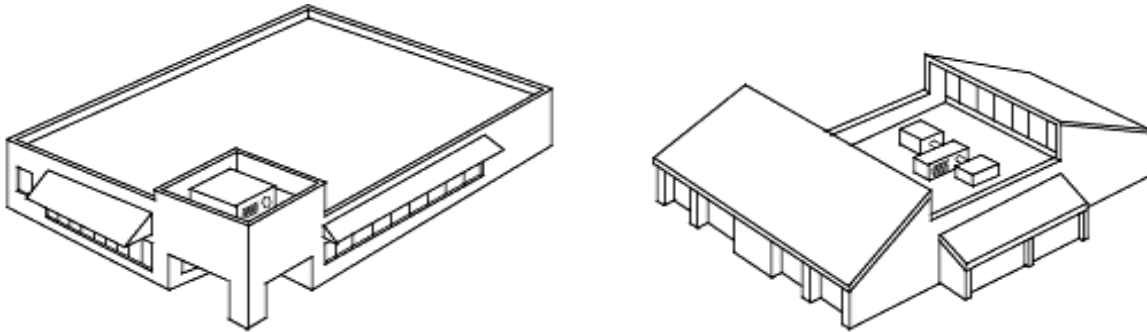
1. Location and screening. In order to avoid negative visual, auditory, olfactory, or physical impacts on the street or residential environment, site service areas and mechanical equipment areas shall be sited as follows:
  - a. Service areas and mechanical equipment areas shall be located to have the least negative visual, auditory, olfactory, or physical impact on the street environment and adjacent residentially zoned properties. Service areas shall be sited for alley access, if available.
  - b. Screening: Service areas shall be located to avoid visibility from the sidewalk and adjacent properties to the greatest extent possible. When services and equipment are visible from streets or adjacent properties it



shall be screened with a structural enclosure constructed of masonry, heavy-gauge metal, or decay-resistant composite wood. Other materials may be approved by the City if deemed to be of similar quality and consistent with the approved building materials. The walls shall provide full screening from the affected roadway, or property. Gates shall be made of a heavy-gauge, site-obscuring material. The materials, colors, and design of the enclosure shall be compatible with those of the principal structure. Art work such as paint schemes or coverings may be used to help blend equipment into the background. Gates must be kept closed except at time of servicing.

Exceptions:

- Development in the Art/Tech Sub-District (Note: Screening requirements of OMC 18.36 and 18.40 remain applicable).
  - While exterior service areas shall be screened, screening requirements may be reduced by the City at access points for service areas inside buildings.
- c. Service areas used by residents shall be located and configured to avoid entrapment areas and other conditions where personal security is a concern. The City may require pedestrian-scaled lighting or other measures to enhance security.
  - d. In the Residential Neighborhood Sub-District, exterior loading areas for commercial uses shall not be located within 20 feet of a residentially zoned property, unless the City determines that there are unusual site constraints that would prohibit adequate service vehicle access. In such cases, the areas and drives will be separated from the residential lot by a masonry wall at least 8 feet high.
  - e. Ground-mounted mechanical equipment, utility meters, electrical conduit, and other service and utilities apparatus shall be located and screened to minimize visual and noise impacts to pedestrians on streets and adjoining properties.
  - f. Roof-mounted mechanical equipment shall be located and screened on all sides so the equipment is not visible from the ground level of adjacent streets and properties within 20 feet of the structure. Match the color of roof mounted equipment with the exposed color of the roof to minimize visual impacts when equipment is visible from higher elevations nearby.



*Figure 18.120.260.B.1: Examples of how to screen roof-mounted mechanical equipment.*

- g. Locate and screen utility meters, electrical conduit, and other service and utilities apparatus so they are not visible from adjacent properties and streets.
- h. All service connections and on-site utilities including wires and pipes must be located underground unless there is a compelling public purpose to the contrary. Meters may be attached to buildings and screened. Project proponents are required to coordinate with the local electric utility provider to locate electrical service facilities in the least obtrusive way.
- i. Show the locations of all mechanical equipment and utility vaults on both site plan and landscape plans early in the process.



*Figure 18.120.260.B.2: Place utility meters in less visible locations. Note that this example is acceptable on a service alley but not near a street or residential walkway.*

## C. REQUIREMENTS FOR SOLID WASTE STORAGE AND REMOVAL FACILITIES

For location and configuration of solid waste storage, refer to the Engineering Department Development Standards (EDDS).

**18.120.270 MULTIFAMILY OPEN SPACE****A. INTENT**

1. To promote the health and well-being of downtown residents.
2. To create usable space that is suitable for leisure or recreational activities for residents.
3. To create open space that contributes to Downtown's residential setting.
4. To provide open spaces for new developments with five or more residential units.

**B. REQUIREMENTS**

1. Amount of required residential open space. All new multifamily buildings with five or more residential units shall provide on-site open space of at least 100 SF per dwelling unit or 10% of residential unit floor area, excluding hallways and common areas that provides functional leisure or recreational activities. The lesser amount of the two calculations is acceptable. Required setback areas may count as part of the required open space requirement if they meet the requirements in OMC 18.120.270.B, as determined by the City.

Exceptions: This provision does not apply to remodeling of existing residential units or additions to existing residential structures.

- a. Common open space. "Common outdoor open space" includes landscaped courtyards or decks, entrance plazas, gardens with pathways, children's play areas, pools, water features, accessible areas used for storm water retention, or other multipurpose recreational and/or green spaces. Special requirements for common open spaces include the following:

- i. Only spaces with a minimum dimension of at least 15 feet in depth will count toward common open space. This is to ensure that area can provide space for – functional leisure or recreational activity.

Exception: The City may exempt special purpose recreation facilities such as bocce or tetherball courts, play areas, and vegetable gardens from this dimensional requirement provided the space is appropriate and configured with appurtenances/equipment for the use.

- ii. The space shall feature paths or walkable lawns, landscaping, seating, lighting, play structures, sports courts, raised garden beds,

or other pedestrian amenities to make the area more functional and enjoyable for a range of uses.

- iii. The space must be oriented to receive sunlight by facing east, west, or preferably south, when possible.
- iv. Landscaped internal pathways may be counted as “common open space” if they meet the other criteria within this subsection.
- v. Common open space shall be separated from ground level windows, streets, service areas, and parking lots with landscaping, low-level fencing, and/or other treatments as approved by the City that enhance safety and privacy for both the common open space and dwelling units.
- vi. The space shall be accessible to all residents and must be oriented to encourage activity from local residents.



*Figure 18.120.270.B.1: The privacy and identity of these ground related residences are achieved by the fencing, landscaping, and slight elevation of the porches.*



*Figure 18.120.270.B.2: Good examples of common open space including a pedestrian corridor, street level courtyards, and a children's play area.*

- b. Balconies. To qualify as open space, balconies or patios shall be at least 35 square feet, with no horizontal dimension less than 5 feet.
- c. Rooftop decks and terraces. Decks and terraces accessible to all residents

may be used to meet open space requirements, provided the following conditions are met for the space:

- i. Accessible to residents of all dwelling units.
- ii. Provides amenities such as, but not limited to, seating areas, landscaping, and/or other features that encourage use.
- iii. Features surfacing which enables residents to walk on and use the open space.
- iv. Incorporates features that provide for the safety of residents such as enclosures and appropriate lighting levels.



*Figure 18.120.270.B.3: An attractive roof deck.*

- d. On-site indoor recreation areas such as exercise studios, lounges, and play areas may be used to meet the required open space provided the following conditions are met:
  - i. Space must be accessible and walkable to all dwelling units.
  - ii. The space is designed for and includes equipment for a recreational use (e.g., exercise or group functions).





*Figure 18.120.270.B.4: An indoor recreation space. Other less intensive spaces are also appropriate provided they are primarily for leisure, social, physical, or recreational activities.*

## **18.120.280 SECURITY**

### **A. INTENT**

Crime Prevention through Environmental Design (CPTED) principles address elements of the built environment ranging from small scale elements such as the strategic use of shrubbery and other vegetation to larger scale considerations such as the configuration of buildings, open spaces, and human experience of an entire urban neighborhood. This section incorporates CPTED principles with the intent to:

1. Increase personal safety and property security.
2. Assist law enforcement within the Downtown.
3. Provide an indication that unlawful and uncivil behavior is not permitted.

### **B. REQUIREMENTS**

1. Entrapment areas. Ensure that the development does not include “entrapment areas,” where a person could become trapped with no exit route. Provide two means of egress from all outdoor spaces or a wide and visible exit to allow a person to avoid a threat. Ensure entrapment conditions are minimized in the design of rooftop decks, parking areas, waste recycling stations, and other areas frequented by residents and workers.

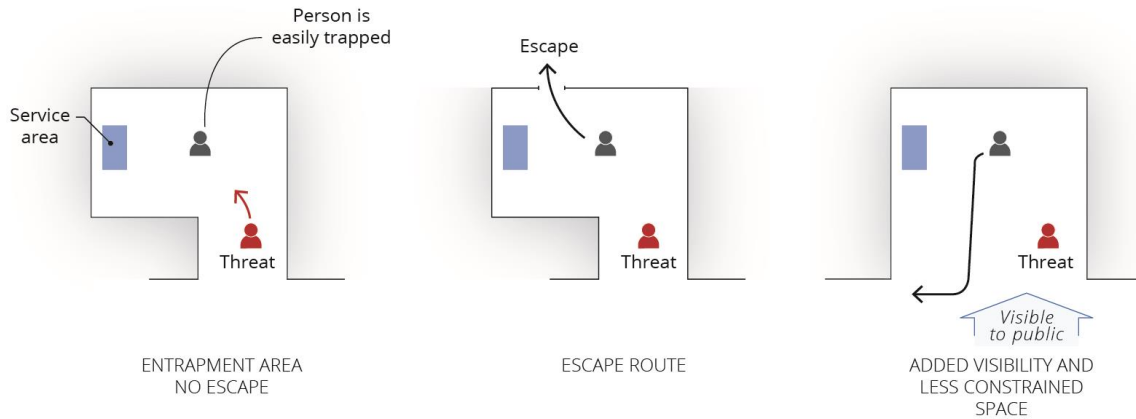


Figure 18.120.280.B.1: Measures to avoid entrapment areas.

2. Visibility. Ensure that all physically accessible areas are well lit and/or visible from a publicly owned space or public right of way. Provide lighting per OMC 18.120.360 Site Lighting.
3. Visual obstruction. Size vegetation and fences to allow visibility into open space, pathways, and building entries. Avoid the inclusion of buildings, vegetation, opaque fences, or other objects (e.g. a storage enclosure) that block visibility into a space or provide places to hide.



Figure 18.120.280.B.2: Fences that prevent visibility from public right of way and open spaces can decrease security.

4. Motorists' view. Ensure that screening or landscaping does not block motorists' views of pedestrians crossing streets, driveways, and vehicular circulation areas. Where visibility is necessary to avoid creating an unsecure area and to reduce the potential for pedestrian/vehicle collisions, select vegetation that will not obstruct views between 3' and 8' above the ground. (See Figure 18.120.020.H.2.c.)

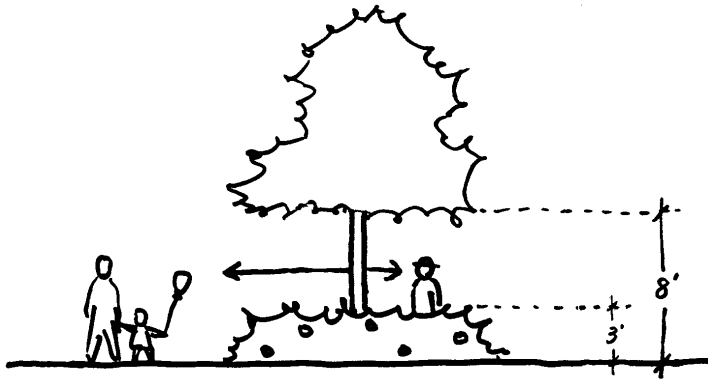


Figure 18.120.280.B.3: Keep landscaping open between 3 feet and 8 feet above grade where there is the need for visibility.

5. Passive surveillance. Design structures and site elements to provide for “passive surveillance,” the ability of people occupying buildings and public spaces to view all parts of accessible spaces.

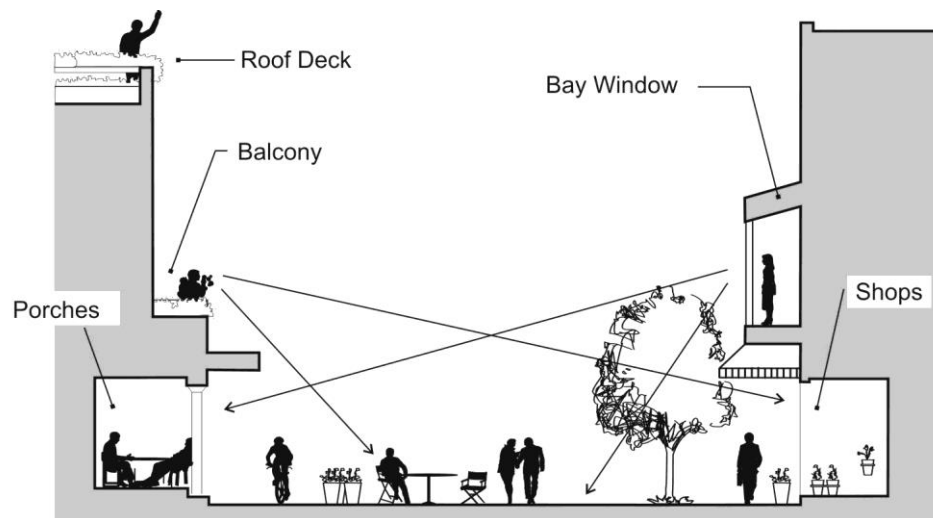


Figure 18.120.280.B.4: Passive surveillance, or the ability of people in buildings or traveling along roadways to see outdoor spaces, increases security.

6. Access control. Provide appropriate natural access control. Employ features, as necessary, that delineate where the general public should not enter without an invitation. For example, a low fence or hedge can indicate that people should not enter a yard or open space except through a gate or opening. Access control should not limit visibility or passive surveillance.
7. Territorial definition. Clearly indicate through site planning and design measures what parts of the site are open to the public and what parts are not. See Figure 18.120.280.B.5 below for an example of this technique.





*Figure 18.120.280.B.5: Note the use of both territorial definition in the foreground seating area and access control in the gate towards the rear of this picture. The gate, even if unlocked, indicates that the courtyard in the background is private while the benches indicate that people are welcome to use the courtyard in the foreground.*

8. Maintainability. Incorporate easily maintained and vandal resistant elements. See also OMC 18.120.450.B.2 that addresses durable building materials.



*Figure 18.120.280.B.6: This residential complex incorporates passive surveillance, territorial definition, and good visibility and lighting to provide a more secure pathway and open space.*

## **18.120.300 SITE ELEMENTS AND DESIGN**

### **CONTENTS**

18.120.310	INTRODUCTION
18.120.320	PARKING AREAS
18.120.330	PEDESTRIAN ORIENTED OPEN SPACE
18.120.340	LANDSCAPING
18.120.350	WALKWAYS AND CIRCULATION ELEMENTS
18.120.360	LIGHTING
18.120.370	OTHER SITE FEATURES

### **18.120.310 INTRODUCTION**

This Section addresses the size and design of site elements such as landscaping, parking areas, walkways, open spaces, site furniture, and fences. Whereas OMC 18.120.200 (Site Planning) addresses the location and configuration of such elements within the framework of site planning, this chapter adds provisions for their physical characteristics. This section does not apply to site features in the public right of way.

### **18.120.320 PARKING AREAS**

#### **A. INTENT**

1. To reduce the visual presence of parking on Downtown streets, public spaces, and adjacent development.
2. To increase pedestrian access.

#### **B. REQUIREMENTS**

1. Parking lot design standards. These guidelines are in addition to OMC 18.38.220 (parking design standards) and 18.36.180 (parking lot landscaping and screening.) See also Section 18.120.220 on Specially Designated Streets for parking lot location guidelines.
2. Walkways through parking areas. Developments shall provide specially marked or paved walkways through parking areas. Generally, walkways shall be provided at least every four rows or at least every 180 feet, whichever will yield more walkways. Align the walkways to connect with major building entries or other sidewalks, walkways, and destinations. Walkway shall be a minimum of 4 feet wide (unobstructed clear width excluding vehicle overhang.)



Figure 18.120.320.B.1: Parking area walkway examples. Note that clear walkway width must account for vehicle overhang.

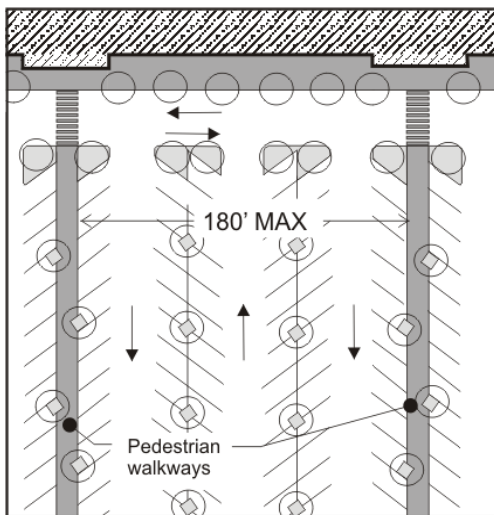


Figure 18.120.320.B.2: Example parking area walkway configuration.

3. Bumper overhang next to walkways and landscaping. Where angle or perpendicular parking abuts a landscape strip or walkway, provide a 2 feet wide paved area to prevent the vehicle's overhang from infringing on the walkway or landscaping. Wheel stops may be approved, for example in locations when a walkway is at the same grade as the adjacent parking stalls.

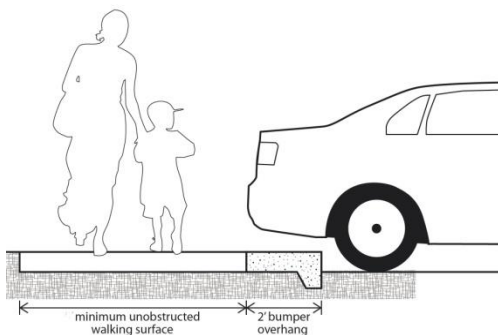


Figure 18.120.320.B.3. Concrete extension to accommodate bumper overhang.

**18.120.330 PEDESTRIAN ORIENTED OPEN SPACE****A. INTENT**

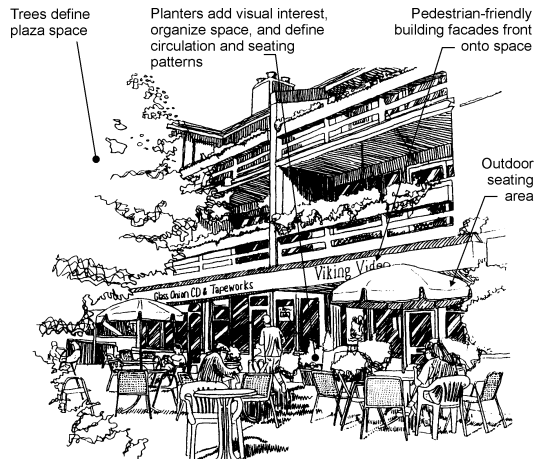
1. To ensure that accessible open spaces, whether public or private, are safe, comfortable, usable, and attractive.
2. To provide spaces for informal activities such as picnicking, relaxing, meeting friends, and, as appropriate, children's play.
3. To establish the minimum standards for how pedestrian oriented open space will be developed when it is proposed to satisfy provisions of 18.120.230 C, D, and E or when it is proposed as part of a new development or redevelopment project.

**B. REQUIREMENTS**

1. Pedestrian oriented space elements. Providing "Pedestrian Oriented Open Space" is an option for satisfying some requirements in sections 18.120.230.C, D, and E. (Allows buildings on Type A, B, and C streets to be set back from a public right of way if the setback area meets pedestrian oriented open space standards.) When ~~P~~pedestrian oriented open space is used to satisfy these requirements, it shall meet the following standards ~~in subsections a. and b.:~~
  - a. Pedestrian Oriented Open Space shall feature:
    - i. Location: Pedestrian areas are to be located adjacent to areas with significant pedestrian traffic to provide interest and security, such as adjacent to, or visible from, a building entry. Such areas are to provide visual and pedestrian access into the site from a street, private access road, or non-vehicular courtyard.
    - ii. Surface: Paved walking surfaces of either concrete, walkable crushed rock, or approved unit paving.
    - iii. Seating: At least 2 feet of seating area (a bench or ledge at least 16 inches deep and appropriate seating height) or one individual seat per 60 SF of plaza area or open space.
    - iv. Landscaping: Provide components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both.
  - b. A Pedestrian Oriented Open Space shall not have:
    - i. Unscreened adjacent (immediately next to or adjoining) parking areas or service areas (e.g., trash areas). Such features must be separated with Type 1 screening as described in OMC 18.36.060.



- ii. Cannot be immediately next to or adjoining chain-link fences.
- iii. Cannot be immediately next to or adjoining "blank walls" without "blank wall treatment." (See 18.120.480).
- iv. Cannot include vehicle travel through the area, except for emergency vehicles, approved woonerfs that meet design principles for shared spaces, and those related to open space activities such as food trucks.



*Figure 18.120.330.B.1. Illustration of favorable elements of a Pedestrian Oriented Open Space and example of a successful space on the right.*

## 18.120.340 LANDSCAPING

### A. INTENT

These guidelines do not supersede Chapter 18.36 OMC which establishes development standards for landscaping as part of site development. They augment those standards with design requirements specific to the Downtown. Where there is a conflict between the provisions of this section and OMC 18.36, the City will determine which provisions apply based on which best meets the intent of the design guidelines as follows. These guidelines do not apply to public projects within the public right of way. For the purpose of this section, "landscaping" and "landscape elements" include plant materials and their beds, pavements, walls and fences, water features (except shorelines covered by the City's Shoreline Master Program), site furnishings, trellises, planter boxes, "green walls," and related elements. The intent is to:

1. Support the provisions of Chapter 18.36 OMC: Landscaping and Screening.
2. Create landscaping, including plantings, ground forms, natural elements paving and hardscape, site furniture, and other site features an integral part of the overall site and community design.
3. Complement the architecture, other site elements and the visual appearance of the

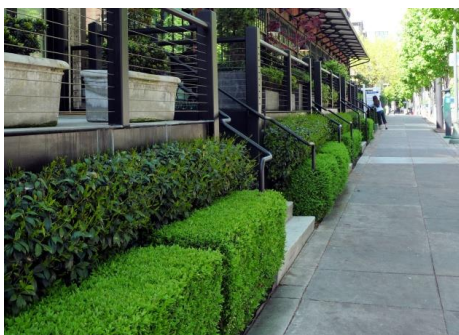
neighborhood, as well as the Northwest environment.

4. Encourage compositions of plant materials and site features that create an appropriate visual character such as formal, informal, or natural.
5. Use landscape design to help define a distinctive design character that distinguishes different Downtown Design Sub-Districts and Downtown Olympia as a whole.
6. Reduce the summertime heat and glare buildup within, and adjacent to, parking lots.
7. Reduce landscape maintenance requirements and help ensure that the landscape elements are attractive and healthy over time.

## B. REQUIREMENTS

### 1. The Core, Business Corridor, and North Capitol Way Sub-Districts:

- a. General Character and Intent: This area is envisioned to be intensively developed, therefore landscaped areas are likely to be limited. Incorporate landscape elements to enhance building forms and provide smaller scale visual interest. Emphasize uniform plantings in a linear or geometric pattern, with plants pruned into regular shapes and symmetric landscape layouts with straight walkways rather than naturalistic landscape layouts.
- b. Plant Materials: Use durable, well suited ornamental trees and shrubs to complement building. Plantings may be structural, space defining features.
- c. Pavements: Use high quality pavements such as concrete and pavers. Asphalt and gravel are prohibited.
- d. Furniture and Site Furnishings: Provide site fixtures to complement the materials and character of the development's building. Select furniture and lighting that reflects the historic character of the Core and Capitol Way Corridor.



*Figure 18.340.B.1: Relatively formal space defining landscaping is appropriate where there is*



room in the Core and along Capitol Way.



*Figure 18.120.340.B.2: Small scale landscape enhancements are appropriate if maintained.*



*Figure 18.120340.B.3: Landscaping can be effective in enhancing and softening formal building elements, especially in more intense areas such as the Core and along Capitol Way.*

## **2. Waterfront Sub-District**

- a. General Character and Intent: The waterfront, especially in the Percival Landing segment, features a variety of landscape characters ranging from naturalistic compositions of grasses and driftwood to lawn areas with floral edges. Seasonal displays that enhance specific areas (typically outdoor dining areas) add color. Emphasize naturalistic plantings and, as an option, add seasonal displays in landscape improvements.



*Figure 18.120.340.B.4: Existing landscaping in the Waterfront Sub-District features a wide variety of plantings and characteristics. Note the mix of seasonal floral and naturalistic plantings, and the backdrop of large evergreen trees.*

- b. **Plant Materials:** For properties along West Bay and Percival Landing, a wide range of landscape character may be incorporated depending on the available space, pedestrian activities, and adjacent buildings. On sites facing East Bay, select plant materials to reinforce streetscape design and provide screening of unsightly areas. All plants on Waterfront sites must be salt and ground water hardy.
- c. **Pavements:** Pavements along the esplanade must conform to the standards established by the City. Other pedestrian walking surfaces must continue the esplanade standards or feature decorative pavement to accentuate special areas, unless site constraints warrant departure in which case the applicant will need to demonstrate that the alternative will achieve the design intent.
- d. **Furniture and Site Furnishings:** Site furniture shall be functional and weather resistant. If a more specialized design is desired, reflect a maritime character.

### **3. Art/Tech Sub-District**

- a. **General Character and Intent:** The Art/Tech Sub-District is intended to provide for a mix of robust activities that may require frequent deliveries and outdoor work space. The character should reflect that quality, so landscape features should be hardy and limited to those areas not needed



for active uses. The visual character of the area can be greatly enhanced with compact landscape screening and plantings in areas where people will pass or congregate such as building entrances and outdoor seating areas. Because of the envisioned variety of site uses and conditions, individual, site-specific landscape solutions may be necessary and desirable.

Some developments in the Art/Tech Sub-District, such as those shown below in Figure 18.120.440.B.5, include extensive garden areas in an otherwise industrial setting. Such gardens with plantings, special features, and art are encouraged where they do not conflict with site activities.



*Figure 18.120.340.B.5: Some informal landscaping treatments that would be appropriate in the Art/Tech area but not necessarily in other Sub-Districts.*

The guidance below is primarily for sites with more intensive industrial activities.



*Figure 18.120.340.B.6: Attractive gardens that provide excellent examples of oases within an otherwise light industrial setting. This intimate juxtaposition of workshop and garden experiences is quite unique to Downtown Olympia and a major asset.*

- b. **Plant Materials:** Plant materials must be maintainable in the areas they are planted. Large scale trees, used to soften the “semi-industrial” character of this area, may be planted where there is room for the crown and the root system. On sites where vehicle traffic is expected, plantings and their root systems must be protected with measures such as raised beds, bollards, and special soil treatments.
- c. **Pavements:** Emphasize utilitarian pavements such as asphalt and concrete,

but artistic pavements and details are encouraged, especially if they relate to on-site activities.

- d. **Furniture and Site Furnishings:** Select site furnishings that reflect the activities and conditions on the site. For example, do not use delicate, residential quality furniture near industrial activities. Artwork installations are acceptable. Lighting can be utilitarian or industrial in character but shall not produce glare, especially onto adjacent properties.

#### 4. Entertainment Sub-District

- a. **General Character and Intent:** There is generally very little space for substantial landscaping in the Entertainment Sub-District because most buildings front directly on the street. There are exceptions, such as City Hall, which does feature a small plaza with landscaping and site furniture. The intent of the guidelines for the Entertainment Sub-District is to create an especially vibrant, colorful day and nighttime pedestrian environment with interesting details. Where possible, emphasize small scale landscape features such as baskets and planters to enhance the pedestrian experience.



*Figure 18.120.340.B.7: Plant beds in front of City Hall. Note the raised beds that enable easy maintenance and the bands of ornamental pavement.*

- b. **Plant Materials:** Where possible, provide and maintain small scale ornamental plants to add color and texture to the area.



*Figure 18.120.340.B.8. Small scale plantings that add pedestrian interest. Note how the simple planter with grass defines the space and makes it more inviting.*

- c. Pavements: Standard concrete pavements are acceptable. Where space allows, such as in entryways, add small areas of unique and high quality pavements such as tile and terrazzo to add pedestrian interest.
- d. Furniture and Site Furnishings: Furniture and site features, such as lighting, shall be easily maintainable and made of durable materials and relate to the character of the building's architecture.

## 5. Residential Neighborhood Sub-District

- a. General Character and Intent: The Residential Neighborhood Sub-District includes two distinct types of land uses: 1) single and multifamily residences and 2) office buildings, often associated with the Capitol Campus. Additionally, small retail is encouraged in some areas.

For residences and mixed-use projects, employ a mix of trees, shrubs, ground cover, and some lawn to both frame and enhance new development. Storefronts shall feature pedestrian oriented façades so there may not be opportunities for landscaping if small retail shops are developed. Where appropriate, add landscape screens to enhance privacy and reduce impacts on adjacent properties. Dense screens over 4 feet in height that prevent views from the street into front yards are prohibited as they present a security hazard. Landscape layouts can either be formal with symmetric, space-defining plantings, or can be informal with irregular plantings in a more “natural” composition.



*Figure 18.120.340B.9: Formal residential landscaping (left) and more informal landscaping (right).*

New office buildings may either feature one of the residential options described above, or if there is sufficient open space on the site, new developments may emulate the Campus's Olmsted landscape character, which is typified by a layering of plant materials from lawn to low shrubs to trees around open areas, to create room-like spaces. Within these spaces, passive, palliative use is encouraged with curving pathways, furnishings, and



features that take advantage of the site's natural assets such as view corridors, landforms, or specimen plants. If the Olmsted design character is chosen, the design should feature asymmetric plantings of large (at maturity) trees, ample lawn areas, some ornamental shrubs or beds, and curvilinear walkways.



*Figure 18.120.340.B.10. The Capitol Campus reflects the Olmsted Firm's design character with informal groupings of large trees, curvilinear walkways, and lawn areas.*

- b. **Plant Materials:** A wide range of plant materials is appropriate for residential development. Residential lots may feature formal or informal gardens, lawn areas, or more naturalistic landscaping emphasizing native species. Landscaping in residential development shall avoid large paved areas except for small plazas designed for relaxing that feature ornamental plantings and furniture.

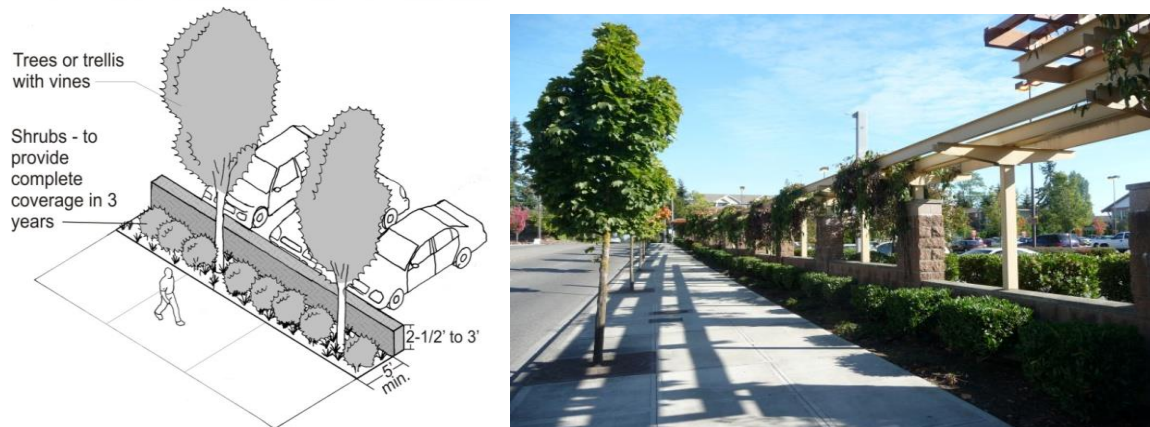
For non-residential development, if the Olmsted landscape character is selected, large (signature) trees and curving lawn areas shall predominate with shrubs and planting beds used as building enhancements and space-defining elements. Residentially scaled landscaping described above is appropriate for small spaces. The use of landscaping to facilitate the transition between large and small buildings or between residential and commercial development is encouraged.



*Figure 18.120.340.B.11: An Olmsted-style landscape design approach applied to an urban setting.*



- c. Pavements: Paving shall consist of concrete pavements, unit pavers, or decorative elements such as tile.
  - d. Furniture and Site Furnishings: Site furniture is not necessary in residential development, although trellises, canopies, attractive gateways, and other site features can enhance a residential complex. All site lighting, including parking lot lighting, should be pedestrian scaled with luminaires generally less than 15 feet above grade.
6. **Perimeter parking lot landscaping.** Adhere to standards in OMC 18.36.180 (which requires a 10 foot wide landscape buffer in the front façade, or 5 feet on the side) or as an alternative, parking lot perimeter screening may consist of the following (interior parking lot landscaping is still required): ~~NOTE: May move these provisions to Landscaping Chapter, OMC 18.36.~~
- a. Provide a planting bed, at least 5 feet wide that incorporates a low masonry wall, 2-1/2 feet to 3 feet tall with landscaping and/or trellis as described below. When parking is adjacent to a right of way, the planting bed shall be on the street-side between the parking area and street facing front of the wall. The planting bed shall feature the following plantings:
    - i. Deciduous and/or evergreen trees spaced to create a continuous canopy (approximately 30 feet on center or as directed by the City). Alternatively, a trellis and shrubs, as in Figure 18.120.340.B.13 may be substituted for the trees.
    - ii. Shrubs provided at the rate to provide complete coverage of the planting strip within three years of planting.
    - iii. The wall shall be constructed of brick, stone, decorative concrete or concrete block, or other permanent material that provides visual interest and helps to define the street edge as determined by the City. (See Figure 18.120.340.B.10 for an example). The wall and bed should be relatively continuous but may feature breaks at key points for pedestrian access.
    - iv. The City may require breaks in the wall and planter strip to facilitate pedestrians entering the site.



*Figure 18.120.340.B.12: Parking area planting buffer with low wall and landscaping. Illustration with trees (left) and example with trellis (right).*

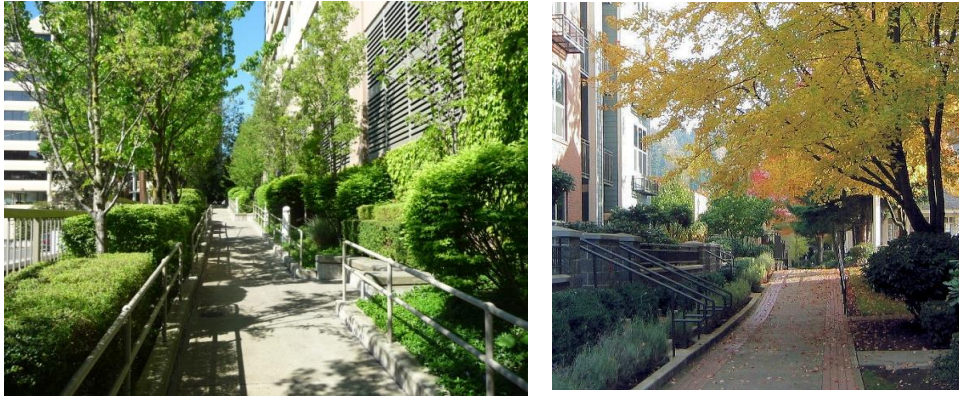
7. **Green walls.** Green walls are acceptable and may be used in all Sub-Districts and on designated historic properties, when approved, if the City determines that it does not detract from the site's historic character. Green walls shall be properly irrigated and maintained.
8. **Stormwater management techniques.** Rain gardens and other landscape techniques to reduce stormwater runoff are encouraged in the South Capitol Way and Residential Neighborhood Sub-Districts.

## **18.120.350 WALKWAYS AND CIRCULATION ELEMENTS**

### **A. INTENT**

1. To provide safe and direct pedestrian access that accommodates pedestrians of all ages and abilities, minimizes conflicts between pedestrians and vehicular traffic, and provides pedestrian connections to neighborhoods.
2. To accommodate bicyclists.
3. To provide attractive internal pedestrian routes, promote walking, and enhance the character of the area.

Notes: The provisions of this Section do not apply to the areas added to sidewalks to meet the setback requirements to achieve a 12-foot or 10-foot wide sidewalk in 18.120.240 C, D, and E.

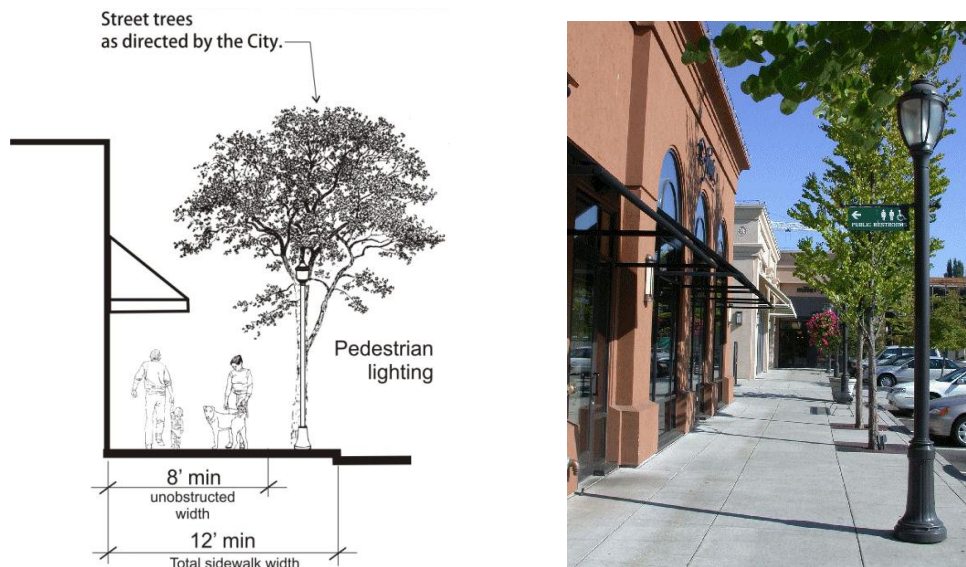


*Figure 18.120.350.A: Well-designed pedestrian ways are important in urban areas.*

## B. REQUIREMENTS

1. Walkway widths. Walkways in developments (not within the public right of way) shall be sufficiently wide to serve their intended purpose and level of use. All required walkway width dimensions ~~above~~ are to be clear of permanent obstructions.
  - a. All walkways shall be at least 4 feet wide with widened areas for two wheel-chairs to pass, except for walkways for very occasional use such as paths to a service area serving a single residential unit.
  - b. Walkways to main entrances to commercial businesses shall be at least 6 feet wide.
  - c. Walkways to assembly type spaces such as theatres and auditoriums where heavy pedestrian traffic is anticipated shall be at least 10 feet wide.
  - d. Walkways where bicycle traffic is anticipated shall be at least 10 feet wide with a 2 foot wide shoulder (12 feet total width) and signed and configured for safe pedestrian traffic as well as bicycle movement.
2. Walkway safety. Provide clear visibility along the walkway in developments (outside the public right of way). For safety and wayfinding, landscaping shall not block visibility to and from a path in a way that conflicts with the guidelines in OMC 18.120.280. Maximize visibility where paths cross vehicle routes such as alleys and driveways so that pedestrians and drivers can clearly see each other.
3. Walkway enhancements. Where walkways in developments (outside the public right of way) are within 5 feet of a “blank wall” measured perpendicularly to the wall (see section 18.120.480), at least one of the following measures must be incorporated:
  - a. Blank wall treatment per Section 18.120.480, or

- b. A landscaped strip, at least 3 feet wide between the wall and the walkway featuring shrubs, trees, and/or vines as approved by the City.
4. Pedestrian circulation where façades face parking areas. Where a building's main entrance or a walkway to a primary entrance faces an off-street parking area rather than the street, provide wide walkways with street trees and pedestrian lighting adjacent to the façades of retail and mixed-use buildings. Walkways shall be at least 12 feet wide to allow for 8 feet minimum unobstructed width and landscaping and include the following:
  - a. Trees, as approved by the City, shall be spaced as directed by the City dependent on the size of the tree at maturity. Trees shall be placed in grates or landscaped planting beds. Breaks in the tree coverage will be allowed near major building entries to enhance visibility. However, no less than one tree per 60 lineal feet of building façade shall be provided.
  - b. Pedestrian oriented lights spaced no more than 40 feet on center (average).



*Figure 18.120.350.B.1: Left: Illustration of requirements for a building front facing a parking area. Right: Example of a successful pedestrian sidewalk between parking lot and storefront.*

5. Separation between internal walkway and ground related residential units. For residents' privacy and to maintain a comfortable transition between the walkway and the interior of the residence, residences with ground floor living spaces facing a walkway shall be set back at least 10 feet from the walkway and/or raised at least 3 feet above grade. The area between the residence and the path must be either landscaped, stairs/an entry, or feature a deck, porch, or other space for outdoor living.





*Figure 18.120.350.B.2: The raised floors and setbacks from a walkway provide privacy for the residents and an inviting transition from the public realm to the private living space.*

## **18.120.360 LIGHTING**

### **A. INTENT**

1. To encourage the use of lighting as an integral design component to enhance buildings, landscaping, or other site features.
2. To increase personal safety and security.
3. To increase night sky visibility and to reduce the general illumination of the sky.
4. To reduce horizontal light glare and vertical light trespass from a development onto adjacent parcels and natural features.
5. To enhance the night time pedestrian environment, especially in the Entertainment Sub-District.
6. To increase design consistency within the development.

### **B. REQUIREMENTS**

1. Site lighting levels. All publicly accessible areas shall be lighted with levels as follows:

Condition	Lighting levels in foot-candles on the ground		
	Minimum	Maximum	Preferred
Low or non-pedestrian and vehicular traffic areas, private parking lots, secure storage areas, etc.	.5	2	1
Moderate pedestrian areas and building entries, most walkways, some pedestrian oriented open spaces, etc.	1	4	2
High pedestrian areas such as building entries and areas where personal security is a concern	2	4	3
Public parking lots	1	2	1

The maximum exterior light level anywhere is 5 foot candles, measured on the ground. Lighting shall be provided at consistent levels, with an average lighting level to minimum lighting level uniformity ratio no less than 3:1, to create gradual transitions between varying levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.

2. Light quality, height, and shielding. Adhere to the following unless there is a compelling reason to the contrary:
  - a. Parking area lighting fixtures shall be fully shielded; dark sky rated and mounted no more than 20 feet above the ground (15 feet high maximum in the Residential Neighborhood Sub-District), with lower fixtures preferable so as to maintain a human scale.
  - b. Exterior lighting shall not spill onto adjacent properties.
  - c. Pedestrian lighting shall have a maximum height of 15 feet.
3. Architectural lighting. Steady, non-flashing lighting of building features, artwork, and special landscape elements may be allowed, subject to the findings of the City that the light causes no significant adverse impact.
4. Character of light fixtures and mounting. The design character of site and building mounted lighting must be consistent with the site's architecture. Alternatively, the design of site and building mounted lighting may be unobtrusive without embellishment or specific character, provided the lighting fixture's visibility is minimized.



## 18.120.370 OTHER SITE FEATURES

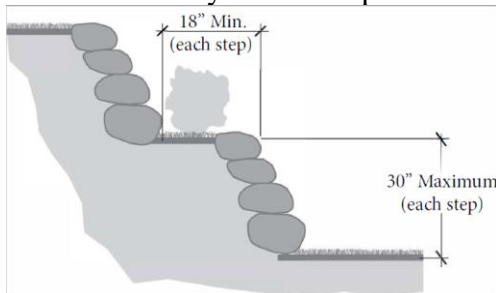
### A. INTENT

1. To ensure that site features such as walls, fences, poles, gates, and screens are well constructed and easily maintainable.
2. To enhance the pedestrian environment and the general appearance of Downtown.

### B. REQUIREMENTS

1. Fences and walls.
  - a. Except where full screening of service areas, utilities, mechanical equipment, or other facilities are placed, fences shall not obscure building fronts or site features.
  - b. Fences and walls shall be made of durable, easily maintainable, and vandal resistant materials.
  - c. Except in the Art/Tech Design Sub-District and for Port of Olympia properties, chain link fences are prohibited along the street facing fronts of properties in the Downtown. Chain link fences may be used for temporary purposes such as construction or short-term security. Where permanent chain link fences are employed, they must be black vinyl coated.
  - d. Wooden fences are prohibited in the Core, Entertainment, and South Capitol Way Sub-Districts as they are less permanent and do not contribute to the historic and urban character desired there.

Where a retaining wall adjacent to a public sidewalk is necessary for development, step the wall back so that the top of the wall surface closest to the sidewalk is no more than 30 inches high. If greater height is required, construct terraces no more than 30 inches high with at least 18 inches horizontal steps between each terrace riser. See Figure 18.120.360.B.1. The City may allow other configurations, such as a higher wall set back from the sidewalk and landscaped, provided such a wall is necessary for development and the objectives of this section are achieved.



*Figure 18.120.370.B.1: Allowable terrace configuration for wall or rockery adjacent to a public sidewalk. Note that this illustration shows a stone wall but other masonry and concrete walls are acceptable as well.*

2. Poles and other vertical elements outside of the public right of way. Minimize vertical site elements on property outside of a public right of way except for those intended specifically to add to the pedestrian environment.

- a. Wires and other hanging features are prohibited except for otherwise allowed temporary features such as permitted signs.
- b. See also guidelines for service areas and mechanical equipment, OMC 18.120.170.

Exception: This guideline does not apply to desirable vertical elements intended to enhance the pedestrian environment such as weather protection, flag poles, banners, art installations, artistic lighting, supports for hanging flower baskets, trellises, and supports for green walls.

3. Alcove (recessed entry) gates

- a. Alcove gates should be made of durable, easily maintainable and vandal resistant materials. To reduce the likelihood of graffiti, avoid gates with smooth surfaces unless they can easily be repainted or cleaned.
- b. Chain link or wooden alcove gates are prohibited along the front of properties. The City may make exceptions for creative applications.
- c. Alcove gates shall be installed in a manner that can be easily removed in the future with minimal damage to the building.
- d. For historically designated properties or properties within the Downtown Historic District, see OMC 18.105, Historic Structures and Buildings within Historic Districts, and 18.12.090, Historic Preservation.

## **18.120.400 BUILDING DESIGN**

### **CONTENTS**

18.120.410	INTENT AND EXEMPTIONS
18.120.420	BUILDING CHARACTER
18.120.430	REGISTERED HISTORIC DISTRICT AND SITES
18.120.440	ARCHITECTURAL COMPOSITION, MASSING, AND ARTICULATION
18.120.450	HUMAN SCALE BUILDING ELEMENTS AND DETAILS
18.120.460	PEDESTRIAN ORIENTED FAÇADES AND WEATHER PROTECTION
18.120.470	MATERIALS AND COLORS
18.120.480	BLANK WALL TREATMENTS
18.120.490	ABOVE GRADE STRUCTURED PARKING

### **18.120.410 INTENT AND EXEMPTIONS**

#### **A. INTENT**

This section addresses the function, quality, and character of building exteriors. Its purpose is to:

1. Improve the pedestrian environment.
2. Increase the distinctiveness and individuality of the Downtown Design Sub-District.
3. Retain and preserve historic resources.
4. Produce buildings that are more durable, easily maintainable, vandal resistant, and compliment the history of Olympia and its historic resources that give the city a unique sense of place.
5. Enhance buildings' functionality, especially as it relates to the function of façades and entries.
6. Add to Downtown's overall visual quality.

#### **B. EXEMPTIONS**

Structures within the Downtown Historic District and any properties individually registered as historic sites within the Downtown Design District are subject to requirements found in Section 18.120.430 and are exempt from all other requirements found in Section 18.120.400 - Building Design.

### **18.120.420 BUILDING CHARACTER**

#### **A. INTENT**

1. To reinforce a distinct building design character for each of Downtown's

character areas.

2. To retain Downtown's diversity of design character, and retain and preserve historic resources.
3. To create more design continuity and compatibility between nearby building façades.
4. To support preferred uses in each of the Sub-Districts.
5. To coordinate with street design measures to create attractive and functional streetscapes.
6. To allow for creativity in the design of new buildings.

## B. REQUIREMENTS




1. Design character of building elements and details. The building elements and details must be consistent with the building's architectural style and character. Avoid ornate historic elements on a contemporary styled building. Single family residential details on large buildings are not allowed.



*Figure 18.120.420.B.1: While emphasizing the entry is laudable, the classical arch and columns clash with the other more contemporary façade elements.*

2. Compatibility with the architectural character of individual Design Sub-Districts. The applicant must identify which Design Sub-District (Sub-District) identified in 18.120.010.C with which the project is consistent ~~with~~. That Sub-District will be the basis for all the requirements in this section. The project shall incorporate the architectural design elements and characteristics described in (a) through (g) for the applicable Sub-District. The City will require revision of an application if it does not substantially address the criteria in the guideline.

Exception: If the project application is for a building remodel or addition to an existing structure, the applicant may either demonstrate that the proposal reflects the desired characteristics of the applicable Sub-District or that the new building elements positively relate to the architectural character of the existing building.

Existing Character Defining Buildings	Buildings with Desired Characteristics
	
<p>Classic styled building with regular patterns of vertically oriented windows</p>	<p>Contemporary styled buildings with vertical façade with top, middle, and base</p>
	
<p>Nicely detailed commercial building with modulation and window groupings</p>	<p>Traditionally styled buildings with brick on the front facade</p>







*Figure 18.120.420B.2: Desired building characteristics in the Core Sub-District.*

- a. Core Sub-District: The early 20th century architecture of the historic retail core sets the design foundation of this Design Sub-District. The architectural design objective for the Core Sub-District is to reinforce its historic character which features excellent examples of classically detailed buildings and early 20th century storefronts (see Olympia Downtown Historic District National Register Listing, available online or at City Hall). Buildings may be modern in appearance, materials, and detailing but shall reflect the historic qualities by incorporating at least two of the following design characteristics:
  - i. A vertical façade composition with a top, middle, and base.
  - ii. Building modulation and/or upper story setbacks.
  - iii. Groupings or regular patterns of vertically oriented windows.
  - iv. Traditional materials such as brick, tile, and concrete in the front façade.
- b. Business Corridor. The architectural design objectives for development along South Capitol Way and other Business Corridor Sub-District buildings is to enhance the visual connection between the State Capitol Campus and the Core. Capitol Way is a Type A Pedestrian Oriented Street



(See OMC18.120.130). Similarly, the objective along Plum Street (which is a Downtown Entry Street as described in OMC 18.120.130) is to encourage high quality buildings and an attractive streetscape as an entry into Downtown. Since the building design emphasis for both streets is placed on substantial, high quality buildings, the South Capitol Way design character is an option on sections of Plum Street. These objectives shall be addressed by including at least two of the design characteristics and elements below.






- i. Welcoming entries or plazas with landscaping or special features.
- ii. Artwork or other qualifying pedestrian amenities.
- iii. Ground floor pedestrian activities, especially on Capitol Way.
- iv. Building modulation and/or upper story setbacks.
- v. Special corner treatment (e.g. corner entry or building element) at intersections.

Existing Character Defining Buildings	Buildings with Desired Characteristics
	
New mixed-use building	Hotel with corner feature
	
	Mixed-use building
	
	Mixed-use building with corner feature

*Figure 18.120.420.B.3: Desired building characteristics in the Business Corridor Sub-District. Note that high visibility corners, as noted in Figure 18.120.140.A.1 are also subject to provisions in section 18.120.450.B.5.*



- c. North Capitol Way. This area is an important pedestrian connection that has significant development opportunities. Currently there is a wide variety of building types in the area with the industrial vernacular of the new market buildings standing out. The architectural design objective of the North Capitol Way Sub-District is to enhance pedestrian connections between the Core and the Market. To accomplish this, buildings shall include at least two of the following characteristics:
- i. Ground floor materials with texture (such as brick or wood siding).
  - ii. Relatively high level of transparency at the ground floor. (See OMC 18.120.220.C and D) Buildings with residences on the ground floor can address this issue by satisfying OMC 18.120.240.
  - iii. Comply with Type A Pedestrian Oriented Street requirements as described in OMC 18.120.220.B.
  - iv. Building modulation and/or upper story setbacks.

Existing Character Defining Buildings	Buildings with Desired Characteristics
 <p>Market – Utilitarian with nice detailing</p>	 <p>Small office with <del>good materials</del><u>ground floor building materials with texture</u>, building modulation, and upper story setbacks</p>
 <p>Industrial vernacular adapted to pedestrian-oriented commercial, ground floor materials with texture</p>	 <p>Mixed use with storefronts with high transparency at the ground floor</p>
	 <p>Ground floor residential</p>

*Figure 18.120.420.B.4: Desired building characteristics in the North Capitol Way Sub-District.*

- d. Art/Tech. The architectural design objectives of the Art-Tech Sub-District is to create new or rehabilitate existing buildings that are functional for commercial, light manufacturing, and artisanal activities. The incorporation of “warm industrial” materials—weathered wood, metal, etc.—and design elements—garage doors or large entryways that engage the street, parklets, etc.—are encouraged. Buildings in this Sub-District shall incorporate at least three of the following:
- i. An eclectic character that accommodates “workshop” (e.g., light manufacturing, commercial kitchens, technical, art, and artisan studios) as well as other similar activities.
  - ii. Adaptive reuse of existing structurally sound building(s).
  - iii. Buildings with simple architectural elements, loading areas, and minimal detailing that echo the character of existing, older warehouse stock: solid massing conveying perimeter walls to the lot line, and expansive interior volumes; roof systems designed to span large volumes including barrel vault and truss form roofs often with prominent front parapets.
  - iv. Industrial fixtures and materials that are durable including metal and wood siding, masonry, and durable panel systems.
  - v. Views into the building so that people can observe the enclosed activities.
  - vi. Water and energy efficient architecture.
  - vii. Unique and/or colorful lighting









Existing Character Defining Buildings	Buildings with Desired Characteristics
	
<p>Repurposed warehouse space – an example of adaptive reuse of a structurally sound building</p>	<p>Expanded older building with industrial fixtures and durable materials</p>
	
<p>Industrial building with mural – an example of eclectic character</p>	<p>New mixed use building with simple architectural elements and minimal detailing</p>
	
<p>Adaptive use</p>	<p>New office building with views into the building</p>

Figure 18.120.420.B.5: Desired characteristics of buildings in the Art-Tech Sub-District.

- e. Waterfront. The architectural design objective of the Waterfront Sub-District is to better connect Downtown to its waterfront location—visually, physically, and symbolically. Design elements found at Percival Landing like furnishings, light fixtures, marine hardware, wood pilings, boardwalks, and rope should be incorporated into new developments to help draw the aesthetics of the waterfront deeper into Downtown. Designs and materials might reflect additional waterfront themes of shoreline ecology, Northwest Native American history, historic industrial uses, sailing and boating, fishing and aquaculture, and commercial trading at the Port. To reinforce the maritime character, incorporate at least two of the following into the building:
  - i. Wide (over 6 feet) overhangs facing the shoreline for weather protection.

- ii. Large windows (6 feet wide or wider) on the ground floor facing the water. Windows may be multi-paned.
- iii. Simple building forms with sloped roofs.
- iv. A simple palette of façade materials. Materials with texture such as wood or metal siding are encouraged.

Existing Character Defining Buildings	Buildings with Desired Characteristics
 <p>Waterfront restaurant with maritime character with large windows on ground floor facing the water</p>  <p>Hands-on Children's Museum, a building with a simple palette of façade materials with texture</p>  <p><u>Simple building forms with sloped roofs</u></p>	 <p>Wide esplanade with shelter with wide overhangs providing weather protection</p>  <p>Building assemblage with maritime elements</p>  <p>Traditional maritime industrial buildings with simple building forms and sloped roofs</p>

*Figure 18.120.420.B.6: Desired building characteristics in the Waterfront Sub-District.*

- f. Entertainment. The architectural design objectives for Entertainment Sub-District is to foster artistic and creative expression and create a hub of dining, nightlife, and the performing arts. Architectural elements here may focus on art, theatricality, imagination, with decorative night lighting and expressive detailing. Buildings (and streetscapes) should support entertainment and pedestrian activities, intimate but safe pedestrian



spaces, consistent and inviting lighting, windows that put “eyes on the street,” and clear wayfinding. Architectural design shall feature at least three of the following characteristics:

- i. Expressive architectural styles.
- ii. Artwork placed at the street level or the exterior of the building.
- iii. Pedestrian amenities in excess of what is required in Section 040.E.
- iv. Human scaled elements with colorful accents.
- v. Unique and/or colorful lighting.
- vi. Transparency into ground floor activities in excess of what is required by other sections of the design standards.









Existing Character Defining Buildings	Buildings with Desired Characteristics
	
<p>Landmark sign and ornate architecture with unique and colorful lighting</p>	<p>Contemporary building with human scaled elements</p>
	
<p>Ornate style with excellent street presence, providing transparency into ground floor activities</p>	<p>New storefront block with human scaled elements and colorful flower displays</p>
	
<p><u>Transparency into ground floor activities</u></p>	<p>Well maintained renovated buildings with pedestrian amenities</p>

Figure 18.120.420.B.7: Desired characteristics of buildings in the Entertainment Sub-District.

- g. Residential Neighborhood. The architectural design objective for this Sub-District is to create an urban residential neighborhood featuring a variety of different residential types and building sizes. While architectural variety is important, emphasis is placed on ensuring the compatibility between old and new structures. Where permitted, new commercial and institutional buildings are to be located and designed to minimize conflict with the area's residential emphasis. All new multi-family projects with 5 or more units and commercial buildings shall emphasize a pleasant human scaled character by providing at least 3 of the following characteristics:
- i. Residential building elements, such as porches, balconies, and enhanced entries.
  - ii. Design elements that show ~~a clear emphasis on providing~~ compatibility between old and new buildings. Plans must identify potential impacts to existing residences and the design elements intended to mitigate such impacts. Side yard setbacks and step backs of upper stories may be necessary to protect the privacy of neighbors.
  - iii. Front yard setbacks with landscaping.
  - iv. A variety of materials, building elements, and roof forms.
  - v. Human scaled elements beyond those required in OMC 18.120.450.B.1.
  - vi. Permanent façade materials such as brick, tile or highly finished concrete. (This is most applicable to commercial buildings but is also appropriated for some residential structures.)



Existing Character Defining Buildings	Buildings with Desired Characteristics
 <p>Older house with a variety of building elements and roof forms</p>  <p>Institutional building with front yard setbacks and landscaping</p>  <p><u>Brick façade materials with porches and front yard landscaping</u></p>	 <p>5-6 story multifamily building with design elements such as upper story setbacks</p>  <p>3 story multifamily building with residential building elements such as balconies and varied roof forms</p>  <p>Ground-related multifamily residences with a variety of materials and elements</p>

*Figure 18.120.420.B.8: Desired building characteristics in the Residential Sub-District.*

3. Exceptions and opportunities for flexibility. The City may allow a building with a special civic purpose (such as a public building, assembly building, museum, or facility built for public activities) that does not meet the criteria in OMC 18.120.420.B.2 but contrasts with its neighbors to create a distinctive and high quality landmark.

## **18.120.430 REGISTERED HISTORIC DISTRICT AND SITES**

### **A. INTENT**

1. To support the provisions of OMC 18.12 and the Secretary of the Interior's

Standards for the Treatment of Historic Properties (as amended).

2. To reinforce the historic character and pedestrian orientation of the Core Downtown Design Sub-District.
3. To maintain the Downtown Historic District as the “heart” of the community.
4. To allow new development with a contemporary design character provided the new building does not detract from the overall historic character of the Downtown.
5. To honor the historic scale and massing of downtown buildings, new construction should follow original parcel size and dimensions within the historic district.

## B. REQUIREMENTS

1. Properties within the Downtown Historic District shall be subject to review detailed in Table 120.01 of this section.
2. For the purposes of this section, a substantial alteration is defined as:
  - a. Adding building stories. Except adding one story (e.g.: penthouse) that is setback at least fifteen feet from all building facades facing a public street (not an alley) is considered a minor addition.
  - b. Adding new rooms, structures, or spaces to an existing building (not including an existing or former single-family residence) that are visible from a public street (not an alley).
  - c. Adding structural building elements to the building façade facing a public street (not an alley) that alter the building’s exterior appearance such as new alcoves, entries, storefronts, porches, balconies, windows, siding, etc.
  - d. Any other added element to a building visible from a public street (not an alley) that the City may identify as a substantial addition that is not identified as a “minor alteration” below.
3. For the purposes of this section, a minor alteration is defined as:
  - a. Adding new rooms, structures, or spaces to an existing building that are not visible from a public street (not an alley).
  - b. Adding new rooms, structures, or spaces to an existing or former single-family residence.
  - c. One added story (e.g., penthouse) that is setback at least fifteen feet from

all building facades facing a public street (not an alley).

- d. Added weather protection such as a canopy, awning, or marquee, provided it meets all other applicable guidelines and regulations and when removed does not have altered the exterior façade.
4. This section of Chapter 18.120 applies design guidelines to properties that are individually designated historic properties or within a designated historic register district. The process for review of these properties is shown in Table 120.01. If there is any inconsistency or conflict between the provisions in this chapter and OMC 18.105 or 18.12.090, the provisions of OMC 18.105 and 18.12.090 shall apply.

Table 120.01: Review Process for Downtown Historic District. Review Authority includes the Olympia Heritage Commission (OHC) and the Joint Review Committee (JRC). For JRC standards see OMC 18.76.180.

Historic Property Designation	Type of Development	Secretary of the Interior's Standards for Rehabilitation (18.105)	Downtown Design Guidelines—Criteria (18.120)	Review Authority
Individually Designated Register Property	Rehabilitation or Minor Alternation	✓		OHC
	Substantial Alteration	✓	✓	JRC
“Contributing” Property in Historic District	Rehabilitation or Minor Alternation	✓		OHC
	Substantial Alteration	✓	✓	JRC
“Non-Contributing” Property in Historic District		✓	✓	JRC
New Construction in Historic District		✓	✓	JRC

## 18.120.440 ARCHITECTURAL COMPOSITION, MASSING, AND ARTICULATION

### A. INTENT

1. To employ façade articulation techniques to reduce the perceived scale of large buildings and add visual interest from all observable scales.
2. To encourage development that is compatible with buildings on the same block in terms of “architectural scale.” A building's apparent height and bulk may be reduced by articulating or modulating façades and other means as described as follows.
3. To create a skyline that is visually interesting.
4. To create clear and welcoming building entries.
- ~~5.~~ 5. To add visual interest to buildings.

5.6. To protect designated landmark views and to maintain light and air circulation.

B. REQUIREMENTS

Note: Building elements or features used to address guidelines in this Section (OMC 18.120.4440) may also be used to concurrently satisfy requirements in OMC 18.120.450 (Human Scale Building Elements and Details) and/or OMC 18.120.460 (Pedestrian Oriented Façades and Weather Protection) and vice versa, provided the elements or features are named as options in the applicable sections.

1. Façade articulation for commercial and mixed-use buildings and uses. In order to reflect the original plat divisions and to provide visual interest and variety for a pedestrian walking down a block, at least fourthree of the following elements shall be included on the ground floor of non-residential building façades facing Type A and B Pedestrian Oriented Streets and all above grade parking garages at intervals no greater than 530 feet. Exceptions: Façade articulation is not required in the Waterfront or Art/Tech Sub-Districts.
  - a. Window fenestration patterns and/or entries.
  - b. Use of non-continuous weather protection features.
  - c. Use of vertical piers, pilasters, or columns.
  - d. Change in building material or siding style.
  - e. Vertical elements such as a trellis with plants, green wall, or art element.
  - f. Providing vertical building modulation of at least 12” in depth combined with a change in roofline modulation pursuant to OMC 18.120.440.B.4 or a change in building material, siding style, or color. (The top right example of Figure 18.120.440.B.1 illustrates this option.)
  - g. Built in pedestrian amenities such as planters or seating.
  - h. Other design techniques that effectively reinforce a pattern of small storefronts, individual businesses, or uses.
  - i. Building modulation
  - j. Roofline modulation pursuant to OMC 18.120.440.B.4.





*Figure 18.120.440.B.1. Façade articulation examples: Upper buildings use substantial modulation, separate awnings, change in façade materials, and a window fenestration pattern. The lower left building features vertical piers, and a strong window fenestration pattern (note the articulated entry). The lower right image incorporates a roofline change, façade details, and vertical piers with ornamentation to effectively articulate the façade.*

2. Façade articulation for residential buildings and residential portions of mixed-use buildings. Residential portions of new buildings shall include articulation features at intervals no more than every 530 feet) to break up the massing of the building and add visual interest and compatibility to the surrounding context. At least three of the following features shall be used at intervals no greater than the width of the residential unit, facing the street, (typically 25-35 feet wide).
  - a. Use of window patterns and/or entries.
  - b. Change in roofline per OMC 18.120.440.B.4.
  - c. Change in building material, siding style, and/or window fenestration pattern. (This option may not be used as an articulation option in the Core Sub-District. Such changes are allowed there but not encouraged.)
  - d. Providing vertical building modulation of at least 12 inches in depth. Balconies may be used to qualify for this option if they are recessed or projected from the façade by at least 2 feet. “Juliet balconies” (balconies that are so shallow that they cannot be occupied) or other balconies that appear to be tacked on to the façade will not qualify. The depth of the modulation must be at least 3 feet if not accompanied by roof modulation or a change in materials.



- e. Vertical elements such as a trellis with plants, green wall, or art element.
- f. Other design techniques that effectively break up the massing at no more than ~~40-30 feet-foot~~ intervals.

Exceptions: Façade articulation is not required in the Waterfront or Art/Tech Sub-Districts, regardless of use.



*Figure 18.120.440.B.2. Examples of articulation of residential building façades. All examples use window fenestration and vertical building modulation elements. The upper examples use a mixture of material changes and detail components to further articulate the façades. In the lower left example, the balcony element's mix of color, material, and projection are effective. The lower middle and right examples show a combination of materials, color changes, and building modulation.*

- 3. Maximum façade width. Building façades wider than 120 feet that face a public street or park shall include at least one of the following measures (a-c) to break up the massing of the building and add visual interest.

Exceptions: The City may exempt buildings in the Art/Tech Sub-District from the maximum façade width guideline where the applicant can demonstrate that they require large spaces for fabrication, storage, industrial, or other special activities. Office and retail uses do not qualify for this exemption. Parking structures are exempt from this section ~~(3)~~but are subject to 18.120.490.

- a. Provide vertical building indentation at least 15 feet deep and 30 feet wide. For multi-story buildings, the modulation shall extend through more

than ½ of the building floors.



*Figure 18.120.440.B.3: Example of vertical indentation to visually break up the scale of a large building.*

- b. Use a contrasting vertical modulated design element such as a turret, glazed area, or set of columns or pilasters featuring all of the following:
  - i. Element extends through all floors above the first floor fronting on the street. Exception: upper floors that are set back more than 10 feet horizontally from the façade.
  - ii. Utilizes a change in building materials that contrasts from the rest of the façade.
  - iii. Element is designed to include roofline modulation per OMC 18.120.040.D.2.d.
- c. A building façade that includes different sections with contrasting articulation that make it appear like two or more distinct buildings. To qualify for this option, these contrasting façades shall employ at least two of the following:
  - i. Different building materials and/or configuration of building materials.
  - ii. Contrasting window design (sizes or configurations).
  - iii. Different ground floor articulation, entry features, and store front design.
  - iv. Other measure approved by the City.



*Figure 18.120.440.B.4. Examples of architecturally dividing a façade into sections that give the impression of a composition of smaller buildings.*

4. Roofline modulation. In order to qualify as a façade articulation feature in OMC 18.120.040.D.2.b and OMC 18.120.440.B.3, rooflines shall employ one or more of the following:
  - a. Different roof heights. For flat roofs or façades with horizontal eave, fascia, or parapet, the minimum difference between the two sections of roofline or cornice is 3 feet for one and two story buildings and 5 feet for buildings with more than two stories.
  - b. A pitched roofline or gabled roofline segment. The pitched or gable roof shall be at least 20 feet in width with a minimum slope of 4:12.
  - c. An arched roof line or a roof with a special geometry or an unusual or distinctive roof element such as an arch, tower, clock, or similar feature as an articulating feature.



*Figure 18.120.440.B.5. Three local examples meeting the criteria for roofline modulation.*

5. New buildings in the Residential Neighborhood. Minimize shading and impacts to privacy for neighboring residences and to create a harmonious relationship between adjacent buildings and an attractive street front. The City may require a proposed building design to:
  - a. Step back stories four and above up to 15 feet (dependent upon the shade study submitted) from the allowed side and rear yard building wall in order to minimize shading to adjacent properties.

This requirement will be most important if the new building's shadow extends 10 feet onto an adjacent property to the north or east when the sun's angle is at 45 degrees from the horizontal.

- b. Replicate or approximate roof forms and pitch found on existing residential structures in the neighborhood.
- c. Employ window patterns and proportions similar to those on existing residential structures in the neighborhood, provided they also meet OMC 18.120450.B.4.
- d. Employ building façade materials similar to those featured on existing buildings in the neighborhood. Such materials may be secondary or accent materials and need not cover the whole façade.
- e. Maintain a relationship to the street that reflects other buildings on the block. This may be done by:
  - i. Setting the building back a distance between the setbacks of buildings on either side of the project site.
  - ii. Employing landscaping as described in OMC 18.120.300D.
  - iii. Featuring similar entry configurations (e.g. walks, porches, etc.) as found on adjacent properties.
  - iv. Other similar method approved by the City.

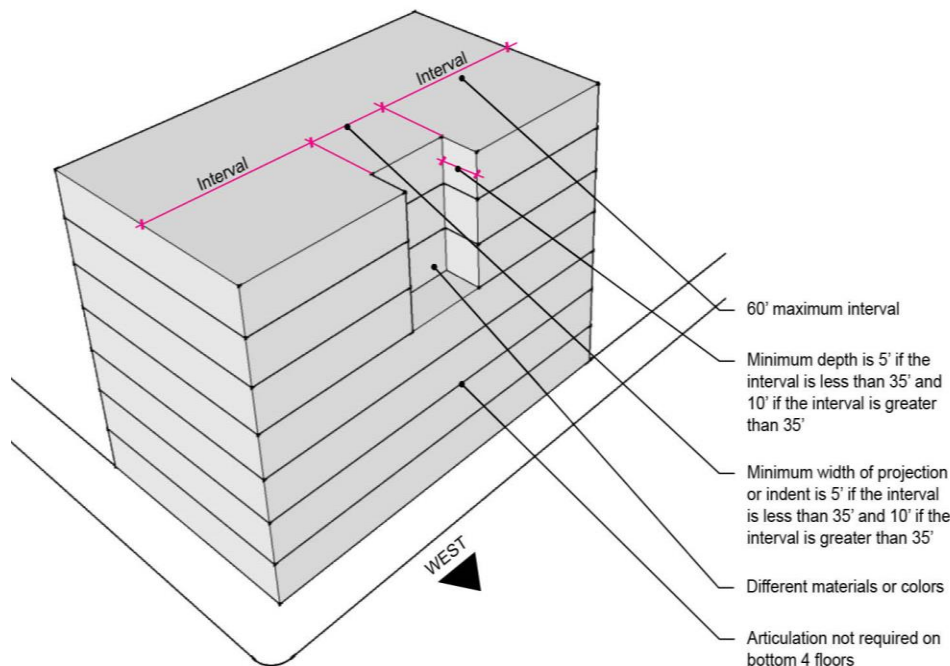
- 6. Modulation required to enhance views. In order to enhance the quality of adopted landmark views from designated observation ~~view~~points, vertical modulation is required on the west face of new buildings over four stories on the properties in the following blocks (modulation is not required on the bottom four stories):

- a. The block bound by Capitol Way, Washington Street, 8th Avenue, and 9th Avenue.
- b. The block bound by Franklin Street, Washington Street, 8th Avenue, and 9th Avenue.
- c. The block bound by Franklin Street, Washington Street, 9th Avenue, and 10th Avenue.

- 7. If vertical modulation is required as outlined in the criteria above (OMC18.120.440.B.6), the vertical modulation shall conform to the following:



- a. Articulated at intervals not greater than 60 feet measured horizontally.
  - b. Project out or in from the building face at least 5 feet in depth if the interval is 35 feet or less and 10 feet in depth if the interval is greater than 35 feet.
  - c. The modulation must be accompanied by roof modulation or the projection must feature a change in materials or colors.
8. Buildings on sites designated as requiring modulation (OMC 18.120.440.B.6) with west facing façades over 120 feet in length measured horizontally must feature modulation projection of indentation at least 15 feet deep and 30 feet wide to break the building face into intervals of no more than 60 feet in width.



*Figure 18.120.440.B.6. Modulation dimensional relationships for specific properties to enhance views. This diagram is for illustrative purposes. Refer to OMC 18.120.440.B.6, 7 and 8 for stated requirements.*

9. **Multiple sided buildings.** Buildings shall have a consistent visual identity from all sides visible to the general public, except building walls adjacent to the alleys and walls immediately abutting neighboring properties (such as firewalls). Buildings shall present a comparable level of quality of materials, detailing, color schemes and fenestration on all sides visible to the general public.



## 18.120.450 HUMAN SCALE BUILDING ELEMENTS AND DETAILS

### A. INTENT

Generally, buildings attain a good human scale when they feature elements or characteristics that are sized to fit human activities such as doors, porches, and balconies. This section emphasizes use of building elements which are larger building features seen from a distance, and building details which are smaller human scaled elements (see definitions for more info). The intent is to enhance the human scale by:

1. Providing attractive and welcoming building façades and pedestrian environments.
2. Increasing the design quality of buildings when viewed close up (roughly within 80 feet of the building).
3. Enhancing the quality of building façades.
4. Providing the building with an appropriate human scale that adds interest and a sense of well-crafted quality.
5. Adding interest to the streetscape, ~~both~~ for those travelling in vehicles, bicycles, and those on foot.

### B. REQUIREMENTS

Note: Building elements or features used to address guidelines in this Section (OMC 18.120.450) may also be used to concurrently satisfy requirements in OMC 18.120.440 (Articulation, Massing, and Composition) and OMC 18.120.460 (Pedestrian Oriented Façades and Weather Protection) and vice versa, provided the elements or features are named as options in the applicable sections.

1. Human scaled elements. Buildings on Type A and B Pedestrian Oriented Streets, buildings facing Capitol Way, a water body or public park, and buildings in the Core, Waterfront, and Residential Neighborhood Sub-Districts shall incorporate a minimum of four of the human scale building elements as follows into new buildings and structures.

Other buildings for which the above paragraph does not apply shall use at least two of the human scale measures below. Human scale measures include:

- a. Balconies or decks in upper stories, provided there is at least one balcony or deck per upper floor on the façades facing streets. (Alleys are not counted as streets.)
- b. Bay windows or other window treatments that extend out from visible

building faces.

- c. At least 100 SF of pedestrian oriented space, as described in OMC 18.120.330, for each 100 lineal feet of building façade.
- d. Individual windows on the ground floor. Windows shall be less than 32 SF per pane with molding or trim around each window. Windows shall not be in the same plane as the wall above or adjacent to them.
- e. A porch or covered entry on the façade facing a street or public space.
- f. Provide spatially defining building elements such as a trellis, overhang, canopy, or other element that defines space that can be occupied on the façade facing a street or public space.
- g. Upper story setbacks provided one or more of the upper stories are set back from the face of the building at a depth of at least 6 feet.
- h. Placement of smaller building elements near the entry of Pedestrian Oriented Street Fronts of large buildings. Figure 18.120.040.E.2.a illustrates how human scale can be achieved using elements such as multiple canopies, an extended café area, and upper deck.
- i. Landscaping components that meet the requirements of OMC 18.120.340.
- j. Public art, hand crafted, or detailed ornamental sign that incorporates elements of a human scale (e.g., life size sculpture).
- k. Upper story windows with molding at least 4-inches wide or clusters of adjacent windows separated by molding (ribbon windows and curtain walls do not apply).
- l. Other elements the City determines meets the intent of this section.



*Figure 18.120.450.B.1: Examples of elements that provide a human scale. Human scale elements include outdoor seating and furniture, landscaping, multi-paned windows, canopies, trellises, a porch, lighting fixtures, and traditional materials.*

2. Building entries. Building entries must feature all of the following:
  - a. All buildings shall have a primary building entrance facing the street or open onto a courtyard directly facing the street. (Exception: buildings that are situated immediately on a shoreline esplanade or public walkway are required to include a primary building entrance facing the shoreline.)
  - b. All primary building entries shall be covered with weather protection at least 6 feet wide and 5 feet in depth.
  - c. All primary building entries shall feature lighting for visibility and security.
  - d. Primary building entries within the Core, North Capitol Way, Business Corridor, Waterfront, and Entertainment Sub-Districts shall be enhanced with at least two of the façade details noted in OMC 18.120.450.B.
3. Façade details – non-residential and mixed-use buildings. All new buildings and additions that change the character of the building or site shall employ at least one detail element from each of the three categories below, as follows on all façades facing a street or public space.

Exception: Ground floor residences in mixed-use buildings are exempt from these requirements.

- a. Entry treatment such as:
- i. Display windows divided into a grid of multiple panes.
  - ii. Transom windows.
  - iii. Roll-up windows or doors that promote outdoor activities.
  - iv. Decorative entry door(s) or a recessed entry.
  - v. Etched or stained decorative glass.
  - vi. Multi-paned windows on upper stories (at least four panes per window).
  - vii. Other decorative or specially designed window or entry treatment the City determines that meets the intent of this section.



*Figure 18.120.450.B.2: Examples of special window treatments. Note transom windows in the lower right image's façade.*

- b. At least one of the following building façade details such as:
- i. Custom-designed weather protection element such as a steel canopy, cloth, or retractable awning.
  - ii. Decorative, custom sign(s) with bottom edge no more than 12 feet above grade.
  - iii. Custom, decorative or hand crafted artwork.
  - iv. Decorative building-mounted light fixtures.



- v. Bay windows, trellises, towers, and similar elements.
- vi. Other details or elements that the City determines meet the intent of this section.



*Figure 18.120.450.B.3: Examples of attractive building details including artwork, special lighting, interesting window patterns, special features, and pedestrian oriented signs.*

- c. At least one of the following materials that provide a decorative or textural enhancement to the building façade, such as:
  - i. Use of decorative or textural building materials such as, decorative use of brick, tile, or stonework.
  - ii. Artwork on the building (such as a mural or mosaic).
  - iii. Decorative kick-plate), pilaster, masonry beltcourse (a horizontal line of distinctive masonry), or other similar feature.
  - iv. Hand-crafted material such as special wrought iron or carved wood.
  - v. Etched or stained decorative glass.
  - vi. Other details that the City determines meet the intent of this section.





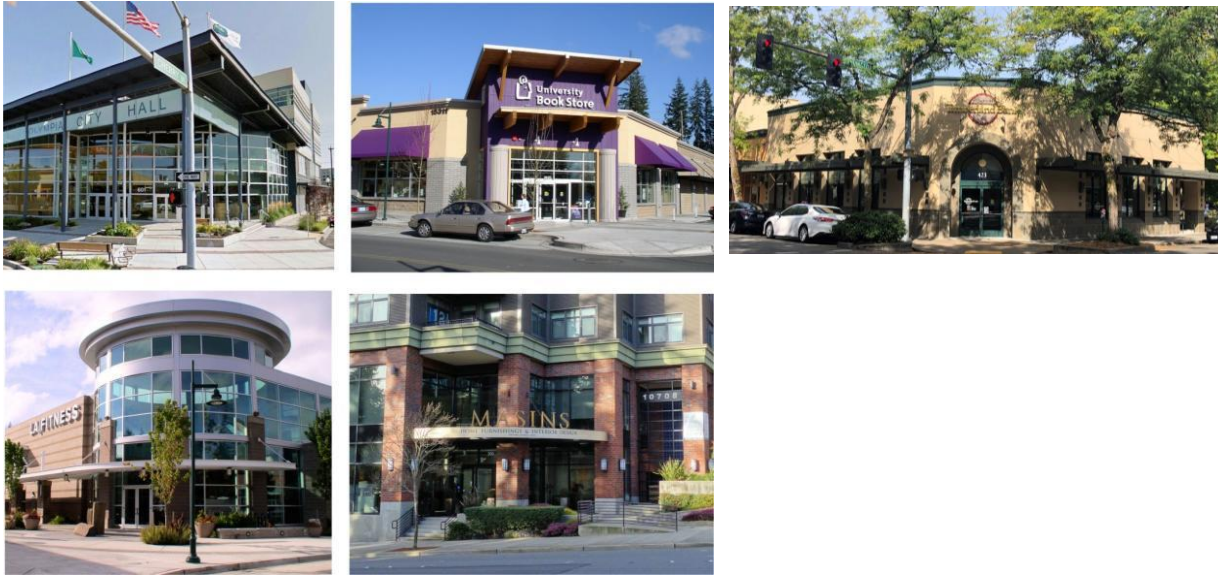
*Figure 18.120.450.B.4. Examples of unique use of materials that add façade interest. High quality materials are most important at the ground floor, particularly for commercial and mixed-use buildings in the Core, Waterfront, North, Business Corridor, and Entertainment Sub-Districts where façades are near sidewalks and more exposed to damage and vandalism.*

4. Window design. Buildings in all Sub-Districts except the Art/Tech Sub-District shall employ techniques to add quality and interest to fenestration on building facades. Whereas OMC 18.120.440 Human Scaled Elements is focused on storefronts, this guideline applies to upper story windows. At least one of the following is required:
  - a. Recess or project individual windows above the ground floor at least 2 inches from the façade or incorporate other design treatments that add depth, richness, and visual interest to the façade.
  - b. Arrange the grouping of windows in a distinctive pattern.
  - c. Multi-paned windows (more than four panes per window).
  - d. Visually significant window trim or shading elements such as wider frames, lintels, or casings.
  - e. Other method approved by the City that meet the intent of these guidelines.
5. High Visibility Street Corners. All development proposals located at designated High Visibility Street Corners as listed below and as identified

on the map at Figure 18.120.140.A.1 shall locate a building or structure within 15 feet of the street corner and include design features approved by the City that accentuate the street corner. Alternatively, the building can be configured with a corner plaza. Corner design features can include a cropped building corner with a special entry feature, decorative use of building materials at the corner, distinctive façade articulation, sculptural architectural element, or other decorative elements that the City determine meet the intent of the standards. The following are Designated High Visibility Street Corners:

- a. Intersection of Plum Street and Union Avenue – NE, NW, & SW corners.
- b. Intersection of Plum Street and 4th Avenue – NE, NW, & SW corners.
- c. Intersection of Plum Street and State Avenue – NE, NW, & SW corners.
- d. Intersection of Plum Street and Olympia Avenue – NW, & SW corners.
- e. Intersection of Plum Street at 8<sup>th</sup> Avenue – SE corner
- f. Intersection of Union Avenue and Capitol Way – NE & NW corners.
- g. Intersection of 5th Avenue and Water Street – NE & SE corners.
- h. Intersection of 4th Avenue and Water Street – NE & SE corners.

Note: Figure 18.120.450.B.5 illustrates acceptable examples.



*Figure 18.120.450.B.5: Examples of acceptable corner treatments with large scale building elements. Olympia City Hall features a curved glass curtain wall and landscaping. The lower middle example breaks down the building massing to a human scale and adds a corner entrance and canopy*

## **18.120.460. PEDESTRIAN ORIENTED FAÇADES AND WEATHER PROTECTION**

### **A. BACKGROUND AND INTENT**

Guidelines in OMC18.120.220.C and D include provisions for “Pedestrian Oriented Façades” on designated Type A and Type B streets. This section establishes the requirements for such Pedestrian Oriented Façades. The intent is to:

1. Provide a consistently interesting pedestrian environment.
2. Encourage walking.
3. Strengthen retail activities in the Downtown.
4. Allow pedestrians to view the inside activities of businesses and associated non-residential uses.
5. Provide accessible ground floor space that is adaptable to a variety of uses
6. Increase safety by adding “eyes on the street.”

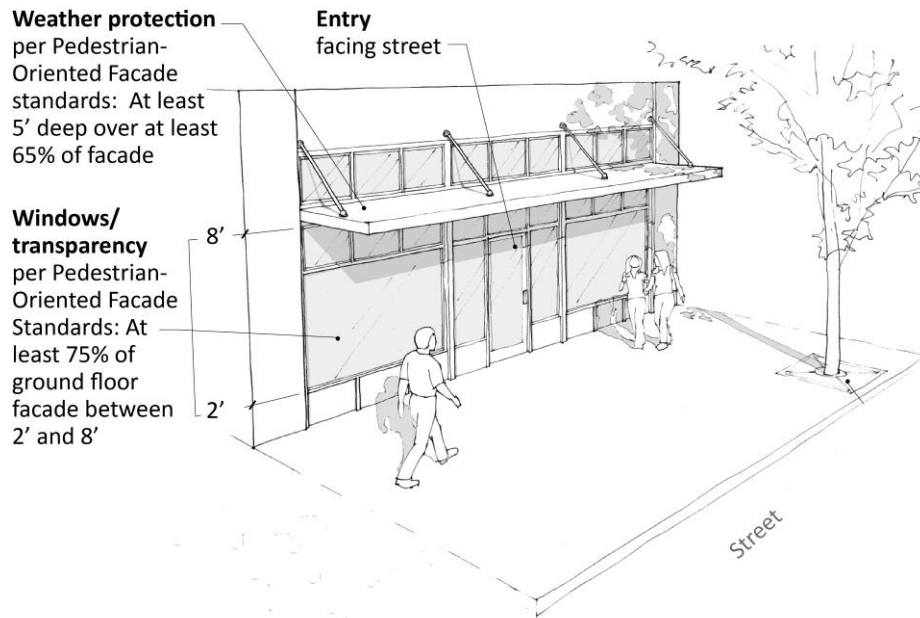
### **B. REQUIREMENTS**

1. Where Pedestrian Oriented Façades are required (pursuant to OMC18.120.220.C and D), the building shall meet all of the following:

- a. Transparent window areas or window displays over at least 75 percent of the ground floor façade between 2 feet and 8 feet above the sidewalk. The windows shall look into the building's interior or be configured as merchandise display windows. The building must be designed so that the windows satisfying the requirement for "pedestrian oriented façades" do not look into service or storage areas or other unsightly rooms.

Exception: Special purpose buildings such as theaters that do not sell merchandise may propose an alternate solution to providing an interesting pedestrian experience. (Offices, banks, and restaurants do not qualify for this exception because they can provide the required transparency without compromising their functions. If the applicant's proposal includes windows that are not fully transparent to satisfy this requirement, the alternative materials must be approved by the City.

- b. A primary building entry facing the street front. (See OMC 18.120.450.B.2 for entry enhancement requirements.)
- c. Weather protection (e.g. canopy, awning, or other cover from the rain) at least 5 feet wide over at least 65 percent of the front façade. The weather protection must be located between 8 feet and 15 feet above grade unless the City determines there is a compelling reason to the contrary.
- d. A floor to floor ground floor height of at least 15 feet. The City may waive this requirement if there are special conditions such as the provision of a mezzanine.
- e. Exceptions: The City may approve other methods for providing an attractive ground floor building front that meet the intent of this guideline.



*Figure 18.120.460.B.1. An example of a pedestrian oriented façade.*

## **18.120.470 MATERIALS AND COLORS**

### **A. INTENT:**

1. Encourage the use of durable, high quality, and urban building materials that minimize maintenance cost and provide visual interest from all observable vantage points.
2. Promote the use of a distinctive mix of materials that helps to articulate façades and lends a sense of depth and richness to the buildings.
3. Place the highest priority for the quality and detailing of materials on the first two to three building floors.

### **B. REQUIREMENTS**

1. Quality building materials. All building façades shall be constructed of high quality durable materials. At a minimum, stone, masonry, or architectural concrete shall be used (excluding window and door areas) for first floor building exterior cladding on all non-residential or mixed-use buildings.
2. Flood proofing. If there is an unavoidable conflict between the guidelines in OMC 18.120 and the City's requirements for flood proofing to address sea level rise, those flood proofing requirements shall apply.
3. Specific material limitations. The following conditions and limitations for the use of concrete block, metal siding, panel systems (e.g. Hardiplank or Hardie Board),



exterior insulation, and finish system (EIFS) cladding shall apply.

- a. Concrete block (a.k.a. CMU) may be used as indicated in the Permitted Materials Chart in OMC 18.120.470.B.4 provided special enhancements such as tile, special finishes and colors or some other approach approved by the City are included to add a combination of textures and/or colors.



*Figure 18.120.470.B.1. Tile used as an appropriate CMU enhancement. Combining split or rock-façade with other masonry of colored tile units with smooth blocks can create distinctive patterns.*



*Figure 18.120.470.B.2. The above façade illustrates an acceptable alternative example, as CMU is used as the primary cladding material. Note the use of split-façade CMU's above each of the awnings coupled with the use of smooth-façade CMU's on the vertical columns (which employ black accent tiles for added interest).*

- b. Metal siding may be used as noted in Permitted Materials Chart in OMC 18.120.470.B.4 if it is incorporated with other permitted materials and complies with the following:
  - i. It features visible corner molding and trim and does not extend to the ground level of non-residential and mixed-use buildings and extends no lower than 2 feet above grade for residential buildings. Masonry, concrete, or other durable material shall be incorporated between the metal siding and the ground plane.
  - ii. Metal siding shall be factory finished with a matte, non-reflective

surface.

- ii. Where metal siding is the primary or secondary siding material on upper floors, the layout of the panels must be coordinated with the location and patterns of windows, balconies, and modulated building surfaces to provide an integrated appearance.



*Figure 18.120.470B.3. Metal siding used appropriately in combination with other materials.*

- c. The use of Exterior Insulation and Finish System (EIFS) is prohibited in the Downtown.
- d. Cement board paneling/siding (e.g. Hardie Plank) may be used where indicated in the Permitted Materials Chart in OMC 18.120.470.B.4, provided where cement board paneling/siding is the primary or secondary material, the paneling joints must be arranged in a pattern that is consistent with windows, balconies, and modulated building surfaces and must be enhanced with façade details that add visual interest from the ground level and adjacent buildings.

Exception: this joint location requirement does not apply in the Art/Tech Sub-District.

- 4. Sub-District specific materials requirements. The following chart identifies where materials are permitted in each of the Downtown Design Sub-Districts according to the following markings:

- a. The color green indicates the material is generally acceptable in the Sub-District. Yellow indicates there are some conditions or limitations for using the material. Red indicates the material is not acceptable for that sub-District.
- b. Primary material means any single material that covers more than 35% of the façade.

- c. Secondary material means any single material that covers 35% or less of the façade.
- d. Accent material means any single material used for a small building element such as a door, canopy, weather protection, light fixtures cornice, trim (e.g. window trim), signs, or artwork.
- e. Legend:
  - P = Permitted as a primary, secondary, or accent material.
  - S = Permitted as a secondary or accent material.
  - A = Permitted as an accent material.
  - N = Not permitted
  - C = Conditional (see below)
- f. “C” means that the material may be permitted but the City may require added conditions in order to ensure the durability and quality of materials provide a high level of design, construction, finish, and increase consistency with the desired design character for Sub-Districts as described in OMC18.120.420.

Other materials not covered in this section will be evaluated by the City based on the intent statement of this section.

- g. The City may allow materials otherwise prohibited if the applicant can demonstrate to the City’s satisfaction that the material is durable, appropriate for the proposed purpose and application, and meets the objectives of this section.

### PERMITTED MATERIALS CHART

Materials	Core - bottom 2 floors	Core - above 2 floors	<del>Capitol</del> Business Corridor - bottom 2 floors	<del>Capitol</del> Business Corridor - above 2 floors	North Capitol - bottom 2 floors	North Capitol – above 2 floors	Waterfront	Art/Tech	<del>Residential</del> Neighborhood - ground floor	<del>Residential</del> Neighborhood - upper floors	Entertainment - ground floor	Entertainment upper floors
Brick, stone, masonry except for CMU	P	P	P	P	P	P	PC	P	P	P	P	P
CMU, Plain	N	N	SC	SC	SC	SC	SC	P	AC	AC	AC	PC
CMU with enhancements	SC	SC	SC	SC	P	P	S	P	P	P	P	P
EIFS	N	N	N	N	N	N	N	N	N	N	N	N
Metal siding	N	N	AC	N	PC	P	P	P	AC	SC	AC	P
Cement panels	N	PC	N	PC	SC	P	PC	P	AC	P	AC	P
Lap siding or similar	AC	N	AC	N	P	P	P	P	P	P	PC	PC
Wood panels with special finish and texture	AC	N	AC	N	P	P	P	P	P	P	PC	PC
Mirrored or highly reflective surfaces	N	N	N	PC	N	PC	N	PC	N	N	A	N
Plastic or sheet fiberglass	N	N	N	N	N	N	N	N	N	N	N	N
Chain link fence (site)	N	N	N	N	N	N	N	PC	N	N	N	N
Ceramic tile and similar	P	P	P	P	P	P	P	P	P	P	P	P
Concrete	C	C	C	C	C	C	P	P	C	C	C	C
Stucco	C	C	C	C	C	C	C	C	C	C	C	C
<u>Glass, when used as a curtain wall</u>												

5. Building color. Bright, highly saturated colors such as red, yellow, orange, bright green, bright blue, purple, and black must be limited to their use as accent colors on small architectural features such as a door, canopy, weather protection, light fixtures, cornice, trim (e.g. window trim), signs, or artwork.

#### 18.120.480 BLANK WALL TREATMENTS

##### A. INTENT

The intent of limiting blank walls is to:

1. Ensure that large expanses of uniform walls visible from a public roadway or park do not detract from the Downtown's appearance or the pedestrian environment.
2. Add interest to local streetscapes.

## B. REQUIREMENTS

1. New blank walls. Blank walls, as defined in 18.120.120.B, facing a public street, pedestrian oriented space, common usable open space, or pedestrian pathway are prohibited unless treated. For large visible blank walls, a variety of treatments may be required to meet the purpose of the standards. Acceptable methods to treat blank walls can include, but are not limited to:
  - a. Display windows at least 16 inches of depth to allow for changeable displays. "Tack-on" display cases shall not qualify as a blank wall treatment.
  - b. A vertical trellis in front of the wall with climbing vines or plant materials.
  - c. Building detailing that adds visual interest at a pedestrian scale. Such detailing shall use a variety of surfaces; monotonous designs will not meet the purpose of the standards.
  - d. Artwork.
  - e. Other method approved by the City.

### Exceptions:

- i. The City may waive or relax this provision in the Art/Tech Sub-District if the proposed wall is not on a designated Pedestrian Oriented Façade, if it is not visible, and not within 300' from Plum Street NE, Union Ave SE, Capitol Way, or 4th Ave SE.
- ii. Blank wall limitations do not apply to existing blank walls where improvements are not proposed.

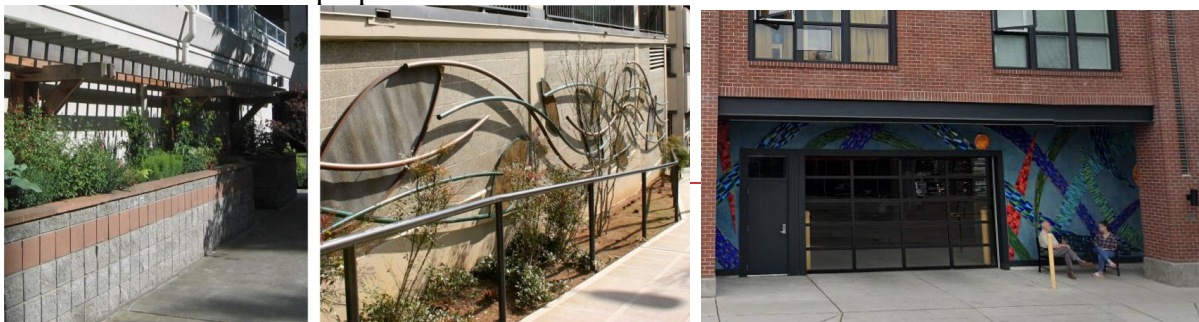


Figure 18.120.480.B.1. Examples of blank wall treatments *in smaller spaces.*



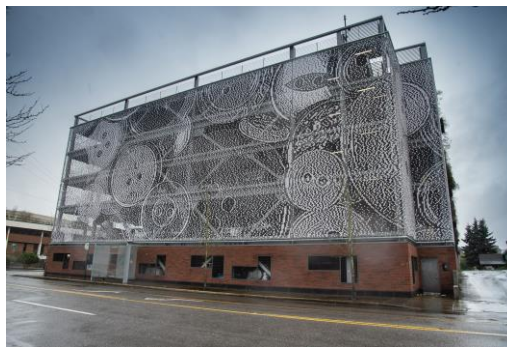
## 18.120.490 ABOVE GRADE STRUCTURED PARKING

### A. INTENT

To minimize negative visual impacts of parking garages or above grade structured parking in buildings. These guidelines apply to all above grade structured parking including above grade parking within buildings as well as stand-alone parking garages.

### B. REQUIREMENTS

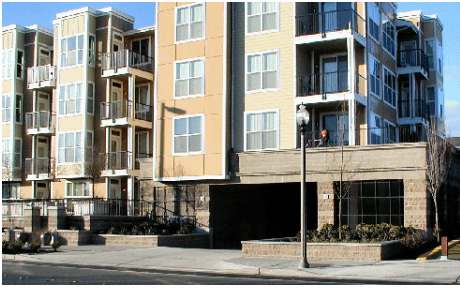
1. Above grade structured parking and parking garages must be designed to obscure the view of parked cars at the ground level. This does not require opaque screening that would create security issues in conflict with OMC 18.120.280 Site Planning for Security.
2. Where the structured parking or garage wall is built within 10 feet of the sidewalk edge, the grade level façade shall incorporate a combination of artwork, grillwork, special building material, treatment, design, or other treatments as approved by the City that enhance the pedestrian environment. Small setbacks with terraced landscaping elements can be effective in softening the appearance of a parking garage.
3. Above grade structured parking must use articulation treatments (not necessarily building modulation) that break up the massing of the parking structure and add visual interest as described in OMC 18.120.440.B.1.
4. Exception: Structured parking and parking garages screened from public roadways by a building (i.e. a building located between the garage and the public street) are not required to comply with these criteria.
5. Parking garage lighting must be shielded to minimize or prevent direct view of light bulbs from the street level or sidewalk.



*Figure 18.120.490.B.1. The sides of the parking garages includes decorative grillwork and raised brick planter landscaping to enhance the pedestrian environment. The photo on the right shows the use of artwork to obscure view of parked cars.*



*Figure 18.120.490.B.2. This building uses openings on its second level parking area to resemble windows.*



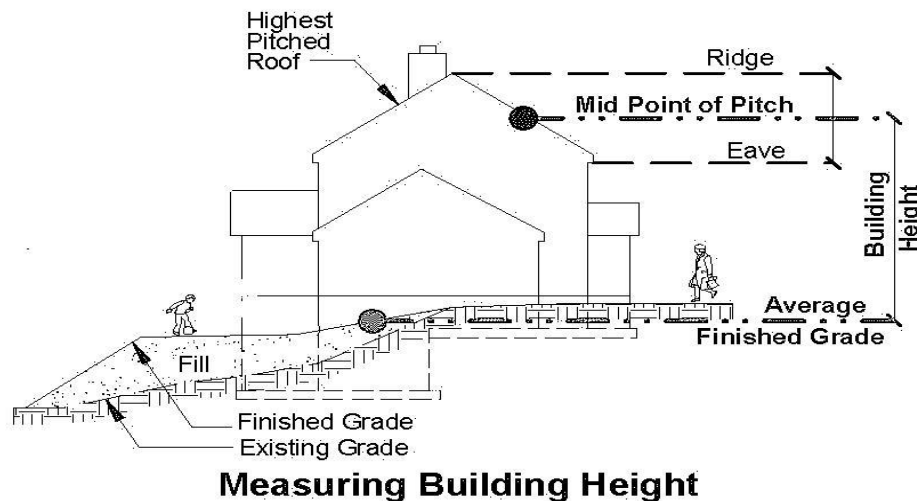
*Figure 18.120.490.B.3. Design parking garages to obscure the view of parked cars. Note the landscaping that separates the garage from pedestrians.*

### 18.04.080 Residential districts' development standards

Table 4.04 identifies the basic standards for development in each residential district contained in this chapter. The sections referenced in Table 4.04 refer to the list of additional regulations below.

#### I. Height.

1. Roof Projections. The following structures may exceed the height limits specified for the district in Table 4.04 by eighteen (18) feet, provided that such structures do not contain floor space: roof structures housing elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building; fire or parapet walls; skylights; towers; flagpoles; chimneys; smoke stacks; wireless masts; television antennas; steeples; and similar structures. Use of this provision shall be kept to the minimum amount of space needed to accommodate the allowed roof projection. For the UR zoning district, see view protection provisions in section 18.04.080.I.3 below for additional parameters-



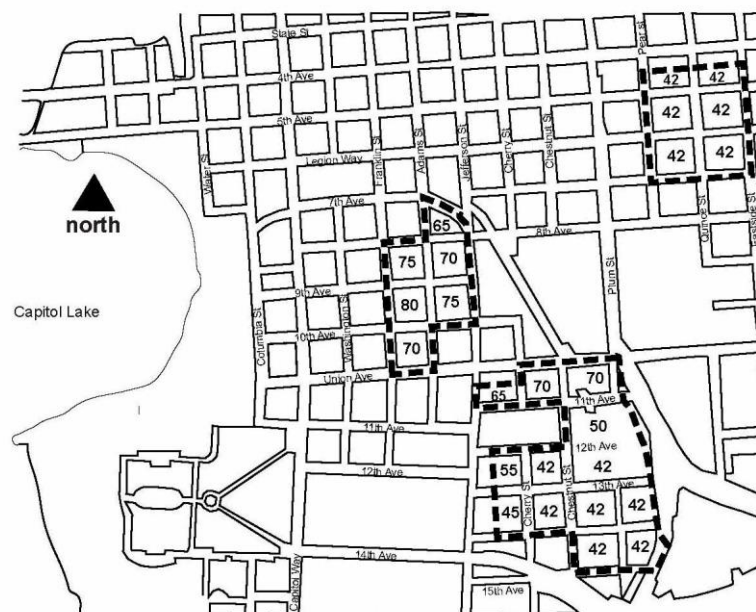
**FIGURE 4**

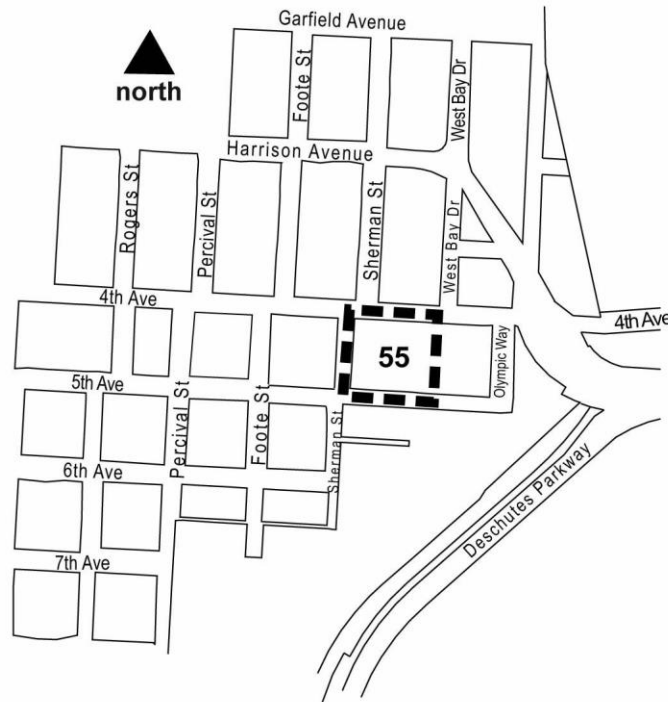
#### 2. RMU District Height Regulations.

- a. Base building heights. The base building heights allowed in the RMU District are specified in Figure 4-5.
- b. Sculptured building tops. The following sculptured building top regulations apply only where the permitted building height is sixty (60) feet. Buildings with sculptured tops may exceed the permitted height (60 feet) by two (2) building stories if they meet the following conditions:
  - i. The gross floor area of all of sculptured stories is at least one-third ( $1/3$ ) less than the gross floor area of the first floor of the building; and
  - ii. The roof form is sculptured (e.g., pitched roof, hip roof, dome, chateau roof, tower, turret, pediment, dormers, or other similar form); and
  - iii. The added two (2) stories are setback from the street wall at least eight (8) feet; and

- iv. The roof structure is designed to hide all mechanical and communications equipment located there.
3. UR District Height Regulations. The building heights allowed in the UR District are specified in Figure 4-5 and 45-A. Also see 18.10.060, Capitol Height District.
    - a. Roof Projection Allowances: If the city determines that the proposed development is located on a site in the UR zone where use of the roof projection allowance is proposed and that it may impact a protected landmark view (as listed in Appendix B of the Land Use and Urban Design chapter of the Comprehensive Plan), a view analysis shall be submitted that demonstrates, as determined by the city, that the proposed roof projection will not block or substantially impact the protected view from its designated observation point in order to make use of the roof projection allowances of Section 18.04.080.I.
  4. R4-8 District Height Regulations. Existing State Community College Education Facilities. A maximum 60' building height is allowed with a 100' setback from adjacent residentially zoned property.
  5. Places of Worship. Places of worship may exceed the height limits specified in Table 4.04, except in the State Capitol Group Height District, provided that the side yard width equals at least fifty (50) percent of the building's proposed height (including spires and towers).
  6. Radio, Television and other Communication Towers. The height of radio, television, and other communication towers may exceed the maximum building height allowed in the district, subject to approval of the Hearing Examiner consistent with Sections [18.04.060\(W\)](#) and (X).
  7. Tall Buildings in the MR Districts. Buildings between thirty-five (35) and forty-five (45) feet in height are permitted in the MR 7-13 and MR 10-18 districts, subject to compliance with the following requirements:

Urban Residential and Residential Mixed Use District Heights



**FIGURE 4-5****FIGURE 4-5A**

a. The proposed building will not be located within one hundred (100) feet of the boundary of the property under development (this may include several parcels under a single development proposal). Exceptions to this requirement shall be granted where topography, stands of trees (deemed appropriate for retention by the City, consistent with Chapter [16.60](#), Tree Protection and Replacement), or other site features block the visibility of the section of the building above thirty-five (35) feet in height from existing or potential residential areas (zoned and available for residential use) adjoining the site; and

b. Existing evergreen trees, which the City deems are appropriate to the site (e.g., which do not pose significant risks for proposed site improvements or public safety, consistent with Chapter [16.60](#), Tree Protection and Replacement) are retained where possible to help screen the building from the view of residents of dwellings abutting the property.

8. Water Towers. Water towers may exceed the height limits specified in Table 4.04.

[NOTE: Refer to Article III, Height Overlay Districts, for additional restrictions.]

J. Private and Common Open Space.

1. Development of Open Space. Open space (e.g., private yard areas and common open space) required by Table 4.04 shall be devoted to undisturbed native vegetation, landscaping (consistent with Chapter [18.36](#), Landscaping and Screening), and/or outdoor recreational facilities. Driveways, loading areas, maneuvering space and parking lots shall not be considered open space. Required open space shall not be covered with impervious surfaces, except for stoops, porches, or balconies, walkways, tennis courts, swimming pools, or similar uses which require an impervious surface. Up to a five percent (5%) increase in impervious surface coverage may be allowed to accommodate such



hard surfaced facilities. Also see Chapter [16.60](#), Tree, Soil and Native Vegetation Protection and Replacement.

2. Cottage Housing Developments. Cottage housing developments shall provide open space as follows:

a. A minimum of two hundred (200) square feet of private, contiguous, usable, open space shall be provided adjacent to each dwelling unit. No dimension of this open space area shall be less than ten (10) feet provided that at least fifty percent (50%) of such open space may be combined with soil and vegetation protection area standards.

b. A minimum of fifteen hundred (1,500) square feet or two hundred (200) square feet per unit, whichever is more, shall be provided in common open space (i.e., available for the use of all residents of the development). This open space shall be contained in a contiguous area with no dimension less than thirty (30) feet. A substantial portion of such open space shall be sufficiently level (e.g., less than five percent (5%) slope) and well drained to enable active use in summer.

3. Mixed Density Districts. Parcels or sites accommodating multifamily housing (e.g., triplexes, fourplexes, and larger apartment buildings) in a MR 7-13 or MR 10-18 district shall contain at least thirty percent (30%) open space. At least fifty percent (50%) of such open space must be available for the common use of the residents of the multifamily housing. Such open space shall be developed consistent with Section [18.04.080\(J\)\(1\)](#) above. This open space requirement shall be reduced to twenty percent (20%) if the multifamily housing adjoins a park, school or open space site of at least ten thousand (10,000) square feet in size. Impervious surface coverage limits specified in Table 4.04 shall be adjusted accordingly.

4. Manufactured or Mobile Home Parks. At least five hundred (500) square feet of common open space shall be provided per dwelling unit (see Section [18.04.060\(P\)\(8\)](#)). At least fifty percent (50%) of such open space shall comply with soil and vegetation protection area standards.

5. Residential - 4 Chambers Basin District. Required open space for stormwater dispersion may be provided in a common area or within each individual private lot of a development. All required drainage dispersal areas shall be protected from filling and grading and all other activities which would decrease the ability of such areas to disperse and infiltrate stormwater. Side yard setback areas shall be designed to disperse roof runoff to the maximum extent practical. To qualify as a "drainage dispersal tract" (required to create lots of less than one acre) such area shall be held in common or deeded to homeowners association and otherwise conform with the requirements of stormwater tracts as set forth in the Olympia Stormwater Drainage Manual.

## Chapter 18.06 COMMERCIAL DISTRICTS

### 18.06.000 Chapter Contents

#### Sections:

<a href="#">18.06.020</a>	Purposes.
<a href="#">18.06.040</a>	Permitted, conditional, and prohibited uses.
<a href="#">18.06.060</a>	Commercial districts' use standards.
<a href="#">18.06.080</a>	Commercial districts' development standards (General).
<a href="#">18.06.100</a>	Commercial districts' development standards (Specific).
<a href="#">18.06.120</a>	Additional regulations.

### 18.06.060 Commercial districts' use standards

#### D. Banks.

1. High Density Corridor-3 (HDC-3) Requirements. Banks which offer only drive-through service (i.e., which serve customers exclusively in or on their vehicles) are not permitted.
2. Urban Waterfront (UW) and Downtown Business (DB) District Requirements. Drive-through banks may be permitted with a conditional use permit if the proposed project meets the Street Edge Development Standards of the Pedestrian Streets Overlay District, Chapter [18.16](#) OMC ~~if outside of the Downtown Design District or the Street Fronts standards of Chapter 18.120.220 for projects in the Downtown Design District. The proposed project may be exempted from the Pedestrian-Oriented Street Wall Requirement under the "Pedestrian Streets Overlay District Requirements" if it is found that:~~
  - ~~a. The proposed design meets the intent of the Pedestrian Streets Overlay District, "Pedestrian Streets Overlay District Requirements"; and~~
  - ~~b. The building site presents unusual conditions which require an alternative design to accomplish the intent of the Pedestrian Streets Overlay District, "Pedestrian Streets Overlay District Requirements."~~

#### BB. Wholesale Sales. The following Conditional Use Permit restrictions apply to wholesale uses:

1. Urban Waterfront (UW) District Requirements. Wholesale sales are a permitted use in those portions of the UW District ~~for~~ which ~~the use is~~ [are](#) not ~~within the Pedestrian Streets Overlay District (see Chapter 18.16).~~ [directly](#)

adjacent to a Type A or B Street (Street types are as shown in Section 18.120.140, OMC). In those portions of the UW District which are ~~within the Pedestrian Streets Overlay District~~ directly adjacent to a Type A or B street, wholesale sales may be allowed as a conditional use if the proposed project meets the ~~Street Edge Development~~ applicable Street Fronts s Standards of the ~~Pedestrian Streets Overlay District~~ Downtown Design Criteria, Chapter 18.120. The proposed project may be exempted from the ~~Pedestrian-Oriented Street Wall Requirement~~ Street Fronts standards in Chapter 18.120 if:

- a. The proposed design meets the intent of the Chapter; and
- b. The building site presents unusual conditions which require an alternative design to accomplish the intent.

2. Commercial Services - High Density (CS-H) District Requirements. Permitted uses include those which offer specialized products at wholesale to other uses permitted in this district, including, but not limited to, office machine sales and repair services, and office supply sales.

HH. Urban Waterfront Housing. Up to a maximum of 1 FAR (floor area ratio) can be made up of allowed uses other than residential. ~~(Refer to Pedestrian Street Overlay District 18.16.060(B) for amount and location of commercial uses in a predominantly residential project on "A" streets.)~~

### **18.06.080 Commercial districts' development standards (General)**

A. General Standards. The standards contained in Table 6.02 (Commercial Districts' Development Standards) relating to lot area, building setbacks, development coverage, building coverage, and building height apply to commercial districts as indicated. They may be a minimum requirement (e.g. minimum lot size), or a maximum allowance (e.g., maximum height). Many of the standards in Table 6.02 are summaries of more detailed information found in Section 18.06.100, Specific Development Standards.

**18.06.080 TABLES: Commercial Districts' Development Standards**

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
MINIMUM LOT SIZE	7,200 Sq. Ft.	No minimum, except 1,600 = cottage 3,000 = zero lot 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse 6,000 sq. ft. = duplex 7,200 sq. ft. = multifamily 4,000 = other	No minimum, except 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse	No minimum, except 1,600 = cottage 3,000 = zero lot 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse 6,000 sq. ft. = duplex 7,200 sq. ft. = multifamily 4,000 = other	No minimum, except 1,600 = cottage 3,000 = zero lot 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse 6,000 sq. ft. = duplex 7,200 sq. ft. = multifamily 4,000 = other	No minimum, except 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse	No minimum, except 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse	See also 18.06.100(D) for regulations on existing undersized lots of record.
FRONT YARD SETBACK	See Chapter <a href="#">18.110</a> , Basic Commercial Design Criteria	10' maximum, if located in a High Density Corridor; 10' minimum otherwise.	5' minimum for residential otherwise none.	0-10' See 18.130	0-10' See 18.130	0-10' See 18.130	0-10' See 18.130	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets.

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
								2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060(C)</a> . 3. Must comply with site design standards, Chapter <a href="#">18.100</a> .
REAR YARD SETBACK	15' minimum.	10' minimum; Except: 1. Next to an R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR 7-13, MR 10-18, RM-18, RM-24 or RMH	10' minimum; Except: 1. Next to single-family use or an R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR 7-13, MR 10-18, RM-18, RM-24 or RMH district	10' minimum; Except: 1. Next to an R4, R4-8, or R6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories; 10 ft. where an alley separates HDC-1 from the above residential district.	10' minimum; Except: 1. Next to an R4, R4-8, or R6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories; 10 ft. where an alley separates HDC-2 from the above residential district.	10' minimum; Except: 1. Next to single-family use or an R4, R4-8, or R6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-24 or RMH	10' minimum; Except: 1. Next to single-family use or an RLI, R4, R4-8, or R6-12 district - 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-24 or RMH	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with site design standards, Chapter <a href="#">18.100</a> .



**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
		district = 10' minimum + 5' for each bldg. floor above 2 stories.	(refer to 1 above if adjacent use is single-family) = 10' minimum + 5' for each bldg. floor above 2 stories.	2. Next to MR7-13, MR 10-18, RM-18, RM-24 or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories.	2. Next to MR7-13, MR 10-18, RM-18, RM-24, or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories.	district (refer to 1 above if adjacent use is single-family) = 10' minimum + 5' for each bldg. floor above 2 stories.	district (refer to 1 above if adjacent use is single-family) = 10' minimum + 5' for each bldg. floor above 2 stories.	
SIDE YARD SETBACK	15' minimum.	No minimum on interior, 10' minimum on flanking street; Except: 1. Next to R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR 7-13,	No Minimum; Except: 1. Next to R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR 7-13, MR 10-18, RM-18, RM-24 or RMH district = 10' minimum + 5' for each	No minimum on interior, 10' minimum on flanking street; Except: 1. Next to R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-	No minimum on interior, 10' minimum on flanking street; Except: 1. Next to R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-	No Minimum; Except: 1. Next to R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-24 or RMH district = 10' minimum + 5'	No Minimum; Except: 1. Next to RLI, R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-24 or RMH district = 10'	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060(C)</a> . 3. Residential side_yards can

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
		MR 10-18, RM-18, RM-24 or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	bldg. floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	24 or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	24 or RMH district = 10' minimum + 5' for each building floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures; 5' except 6' on one side of zero lot.	minimum + 5' for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures; 5' except 6' on one size of zero lot.	be reduced consistent with 18.04.080(H)(5). 4. Must comply with site design standards, Chapter <a href="#">18.100</a> .
MAXIMUM BUILDING HEIGHT	<del>Up to 35';</del> <del>whichever is less.</del>	Up to 35', if any portion of the building is within 100' of R 4, R 4-8, or R 6-12 district; Up to 60' otherwise.	Up to 35', if any portion of the building is within 100' of R 4, R 4-8, or R 6-12 district; Up to 60' otherwise; or up to 70', if at	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	1. Not to exceed height limit set by State Capitol Group Height District, 18.10.060, for properties near the State Capitol Campus.

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
			least 50% of the required parking is under the building; or up to 75', if at least one story is residential.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise. Provided that one additional story may be built for residential development only.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise. Provided that one additional story may be built for residential development only.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise; or up to 70', if at least 50% of the required parking is under the building; or up to 75', if at least one story is residential.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise; or up to 70', if at least 50% of the required parking is under the building; or up to 75', if at least one story is residential. See 18.130.060	2. Must comply with site design standards, Chapter <a href="#">18.100</a> . 3. HDC-1 and HDC-2 additional story must comply with OMC 18.06.100.A.6. <a href="#">4. In the Downtown Design District, see 18.120.220 and 18.120.440 for upper story step back requirements.</a>

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
							Significant Building Entry tower exemption (allows an additional 30' for a tower element at Capital Mall). Up to 75' for HDC-4 zoned properties where the proposed project provides for the development of replacement dwelling units in a development agreement and the project site is all or part of	

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
							an area of 40 acres or more that was in contiguous common ownership in 2009.	
MAXIMUM BUILDING COVERAGE	45%	70%, except 55% for residential only structures	70%; or 85% if at least 50% of the required parking is under the building.	70% for all structures	70% for all structures	70% for all structures, 85% if at least 50% of the required parking is under the building.	70% for all structures. 85% of the site if at least 50% of the required parking is under the building. On redeveloped sites, 85% if at least 50% of new required parking is under the building or in a structured parking form.	For projects in the GC and HDC-4 zones west of Yauger Way, limitations of building size per 18.06.100(C) and 18.130.020 apply.



**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
							85% for HDC-4 zoned properties where the proposed project provides for the development of replacement dwelling units in a development agreement and the project site is all or part of an area of 40 acres or more that was in contiguous common ownership in 2009.	
MAXIMUM IMPERVIOUS	50%	70%	85%	85% for all structures	85% for all structures	85% for all structures	85% for all structures	See OMC <a href="#">18.06.100</a> (D).

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
SURFACE COVERAGE								
MAXIMUM HARD SURFACE	60%	85%, except 75% for residential structures						
ADDITIONAL DISTRICT-WIDE DEVELOPMENT STANDARDS	Maximum building size (gross sq. ft.): 3,000 for single use; 6,000 for mixed use.	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B) and Figure 6-3). <a href="#">In the Downtown Design District, see Chapter 18.120 for</a>	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)). <a href="#">In the Downtown Design District, see Chapter 18.120 for upper story stepbacks.</a>	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	Building Floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	For properties in the vicinity of <del>the Downtown</del> <del>or</del> Kaiser Road and Harrison Ave NE, also see Pedestrian Streets Overlay District, Chapter <a href="#">18.16</a> . For retail uses over 25,000 square feet in gross floor area, see Section <a href="#">18.06.100(G)</a> Large Scale Retail Uses. EXCEPTION: Section

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
		<a href="#">upper story stepbacks.</a>						<a href="#">18.06.100(G)</a> shall not apply to motor vehicle sales. <a href="#">In the Downtown Design District, see Chapter 18.120.</a>

**LEGEND**

NR = Neighborhood Retail  
GC = General Commercial

PO/RM = Professional  
Office/Residential  
Multifamily

HDC-1=High Density  
Corridor-1  
HDC-2=High Density  
Corridor-2  
HDC-3=High Density  
Corridor-3  
HDC-4=High Density  
Corridor-4

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
MINIMUM LOT AREA	7,200 Sq. Ft.	No minimum.	No minimum.	No minimum.	7,200 Sq. Ft. if bldg. height is 35' or less. 12,500 Sq. Ft. if bldg. height is over 35'.	No minimum.	
FRONT YARD SETBACK	10' maximum.	No minimum; however, see Chapter <a href="#">18.100</a> for design guidelines for pedestrian access and view corridors. <a href="#">In the Downtown Design District: 12' from the curb on Type A and B Streets, 10' from curb for Type C Streets.</a>	No minimum. <a href="#">In the Downtown Design District: 12' from the curb on Type A and B Streets, 10' from curb for Type C Streets.</a>	No minimum. <a href="#">In the Downtown Design District: 12' from the curb on Type A and B Streets, 10' from curb for Type C Streets.</a>	No minimum.	30' minimum for buildings; 15' for other structures except signs	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060(C)</a> . 3. See Design Guidelines, Chapter <a href="#">18.100</a> .
REAR YARD SETBACK	15' minimum; If next to a residential	No minimum; however, see Chapter <a href="#">18.100</a> for	No minimum.	No minimum.	5' minimum if building has 1 or 2 stories.	15' minimum.	50' minimum from property line for

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
	zone, 15' minimum plus 5' for every story over 3 stories.	design guidelines for pedestrian access and view corridors.			10' minimum if building has 3 or more stories.		agriculture buildings (or structures) which house animals other than pets.
SIDE YARD SETBACK	10' minimum; 15' minimum plus 5' for every story over 3 stories if next to a residential zone.	No minimum; however, see Chapter <a href="#">18.100</a> for design guidelines for pedestrian access and view corridors.	No minimum.	No minimum.	5' minimum if building has 1 or 2 stories. 10' minimum if building has 3 or more stories; AND the sum of the 2 side yards shall be no less than 1/2 the building height.	5' minimum 30' minimum for buildings and 15' minimum for other structures from flanking streets.	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060(C)</a> . 3. See Design Guidelines, Chapter <a href="#">18.100</a> .
MAXIMUM BUILDING HEIGHT	75'; except hospitals, which may	See <a href="#">18.06.100(A)(2)</a> and Figure 6-2, Urban Waterfront	Refer to Figure 6-2 and 6-2B for specific	75'; PROVIDED, however, that two additional	75' Exception: Up to 100' may be allowed with conditional	40' accessory building	Not to exceed height limit set by State Capitol Group Height



**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
	exceed that height.	District Height Limits Exceptions: 1) In the portion of the area Downtown with a height limit of 65', two additional residential stories may be built. See 18.06.100(A)(2)(b). 2) In the portion of the area on West Bay Drive with a height limit of 42' to 65', the taller height limit is conditioned upon the provision of certain waterfront amenities. See 18.06.100(A)(2)(c).	height and building configurations required on specific blocks. <a href="#">In the Downtown Design District, see view protection measures in 18.06.100 and Chapter 18.120.</a>	stories may be built, if they are residential. There are also restrictions around Sylvester Park. For details, see 18.06.100(C)(6) <del>Height, Downtown Business District.</del> <a href="#">In the Downtown Design District, see view protection measures in 18.06.100 and Chapter 18.120.</a>	approval by the City Council, upon recommendation of the Hearing Examiner. For details, see 18.06.100(C)(5), Height, Commercial Services-High Density. <a href="#">In the Downtown Design District, see view protection measures in 18.06.100 and Chapter 18.120.</a>	limited to 20'.	District, 18.10.060, for properties near the State Capitol Campus.
MAXIMUM BUILDING COVERAGE	50%	60% for properties between the shoreline and the nearest upland street.	100%	No requirement.	No requirement.	85%	

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
		100% for properties not between the shoreline and the nearest upland street.					
MAXIMUM IMPERVIOUS SURFACE COVERAGE	60%	100% development coverage.	100%	100%	100%	85%	
MAXIMUM HARD SURFACE	65%						
ADDITIONAL DISTRICT-WIDE DEVELOPMENT STANDARDS	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(F)). Residential uses (Section 5 of Table	Street ends abutting the water shall be preserved to provide views of and public access to the water, pursuant to Section <a href="#">12.16.050(D)</a> OMC. <del>See also Chapter 18.100 for Downtown design guidelines for</del>	Street ends abutting the water shall be preserved to provide views of and public access to the water, pursuant to OMC Section <a href="#">12.16.050(D)</a> .		Residential uses must comply with High Rise Multi-family (RM-H) development standards.	6' of sight-screening buffer shall be provided along north, east, and west district boundaries. See Olympia Park Replat covenants for access,	For properties in the vicinity of the Downtown, also see <del>Pedestrian Streets Overlay District, Chapter 18.16 and the</del> <a href="#">Downtown Design Guidelines in 18.120</a> . For retail uses over 25,000

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
	6.01) may not be constructed within 600 feet of Lilly Road except in upper stories of mixed use building; all other development standards are the same as for commercial uses.	<del>Pedestrian Access and View Corridors and Waterfront Public Access;</del> <del>Chapter 18.100 for Port Peninsula design guidelines for Pedestrian Connections and View Corridors;</del> Section <a href="#">18.06.100</a> (A)(2)(c) for West Bay Drive building height and view blockage limits; and Chapter <a href="#">18.100</a> for West Bay Drive view corridors.				and other standards applicable to replat lots.	square feet in gross floor area, see Section <a href="#">18.06.100</a> (GC) Large Scale Retail Uses. EXCEPTION: Section <a href="#">18.06.100</a> (GC) shall not apply to motor vehicle sales.

**LEGEND**

MS = Medical Services  
DB = Downtown Business

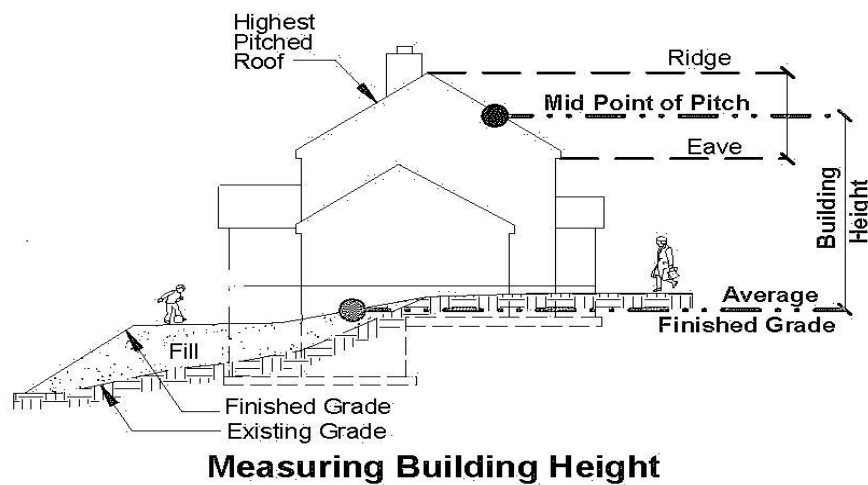
CS-H = Commercial  
Services - High Density

UW = Urban Waterfront  
UW-H = Urban Waterfront-  
Housing  
AS=Auto Services

## 18.06.100 Commercial districts' development standards--Specific

### A. Height.

1. Roof structures for the housing of elevators, stairways, tanks, ventilating fans and similar equipment required to operate and maintain the building, fire or parapet walls, skylights, towers, flagpoles, chimneys, smoke stacks, wireless masts, T.V. antennas, steeples and similar structures may be erected above the height limits prescribed in this Title, provided that no roof structure, feature or any other device above the prescribed height limit shall be allowed or used for the purpose of providing additional floor space. This height exception does not apply to the additional story provision for residential development described in OMC 18.06.100.A.6. Provided, further, that no roof structure or architectural feature shall be erected more than eighteen (18) feet above the height limit of the district, whether such structure is attached to it or free-standing.



**FIGURE 6-1A**

2. Urban Waterfront (UW) District.
  - a. Allowed building heights in the Urban Waterfront (UW) District are specified in Figure 6-2.
  - b. Bonus for residential development.
    - i. In the area labeled sixty-five (65) feet on Figure 6-2, up to two additional stories may be built (except as limited in subsection d below), if the project is located in the downtown, and if the added stories are stepped back from the street wall at least eight (8) feet, and if an equivalent floor area (equal to the amount from the added stories) is provided for residences, as follows:

- (a) In the same building--i.e., it is a residential or a mixed use building; or
  - (b) With commercial and residential uses in separate buildings on the same site; or
  - (c) With commercial and residential uses on separate sites within the Urban Waterfront (UW) district.
- ii. Occupancy. Housing provided under this bonus provision as part of a mixed use project must receive an occupancy permit at the same time as, or in advance of, issuance of an occupancy permit for non-residential portions of the project.
- iii. Conversion. Housing provided under this bonus provision shall not be converted to commercial use.
- iv. Source of housing units. Housing provided under this bonus provision may be:
  - (a) New construction,
  - (b) Adaptive reuse of a formerly non-residential structure, or
  - (c) Rehabilitation of existing housing.
- c. West Bay Drive building height and view blockage limits.
  - i. In order to retain public and private view access to Budd Inlet from hillside sites above West Bay Drive, the maximum building height in the West Bay Drive portion of the Urban Waterfront (UW) District labeled " 42'-65' " on Figure 6-2 shall be up to a maximum of 42 feet, except as provided in subsections (iii) and (iv) below.
  - ii. In order to retain public view access of Budd Inlet from street level in the West Bay Drive portion of the Urban Waterfront (UW) District labeled " 42'-65' " on Figure 6-2, view blockage shall be limited as follows:
    - (a) Views of the water will be defined as area without obstruction by buildings or major structures measured between 45 and 90 degrees to West Bay Drive, as illustrated in Figure 6-2A.



(b) Said view blockage shall be limited to 45 percent of the views of the water from West Bay Drive by buildings or major structures located between West Bay Drive and the mean high water line.

(c) Exceptions are provided in subsections (iii) and (iv) below.

iii. Development shall be subject to the alternate standards for building height and view blockage, if alternate waterfront view access is provided through public amenities as follows:

<b>Amenity Provided</b>	<b>Limits on Horizontal View Blockage and Height</b>
Waterfront Trail	70% up to 42 ft., OR 45% up to 65 ft.
Expanded Waterfront Trail Corridor Facility (or small waterfront park area).	50% up to 42 ft., OR 45% up to 50 ft.
Both	70% up to 65 ft.

Any development over 42 feet shall be required to include a minimum of 20% of the usable building area for residential purposes.

iv. Criteria for approval of alternate waterfront view access.

(a) Waterfront Trail.

(1) Trail right-of-way consistent with City trail standards shall be dedicated to the City.

(2) The trail shall be designed consistent with City standards and requirements, or as otherwise approved by the Olympia Parks, Arts and Recreation Department. Because the trail passes by different land uses, it may take a different character in different locations, for reasons of safety, privacy, or environmental protection.

(3) The developer shall design, build, and dedicate the facility to the City.

(4) An analysis of recreation needs shall be provided by the Olympia Parks, Arts and Recreation Department. An analysis of environmental impacts, hazardous waste risks, and engineering issues sufficient to determine the design and location for the trail facility shall be approved by the Olympia Parks, Arts and Recreation Department but provided by the developer. All analysis shall be complete prior to approval.

(b) Expanded Waterfront Trail Corridor Facility or Small Waterfront Park.

(1) The developer shall build and dedicate the facility and its site to the City.

(2) The expanded waterfront trail corridor facility or small park area shall be designed consistent with City and other applicable government standards and requirements, or as otherwise approved by the Olympia Parks, Arts and Recreation Department. The expanded waterfront trail corridor facility or small park may vary in size from City park standards and could include additional right-of-way for the expanded trail, landscaping, habitat enhancement, benches, lighting, parking, restrooms, garbage receptacles, telephones, interpretive signs and other park facilities.

(3) An analysis of environmental impacts, hazardous waste risks, trail improvements, and engineering issues sufficient to design the expanded waterfront trail corridor facility or small park area shall be approved by Olympia Parks, Arts and Recreation Department but provided by the developer. All analysis shall be complete prior to approval.

(4) The expanded waterfront trail corridor facility or small park shall have a publicly accessible connection to West Bay Drive, designed, constructed, and dedicated for public use by the developer.

v. The view blockage rules shall be applied on a project-wide basis and not for each lot or parcel in a project, thus allowing projects providing more views on some lots to have more view blockage on other lots as long as the overall project meets the view blockage requirements.

d. Landmark Views: In order to protect designated landmark views from public observation points, the height bonus allowed in subsection b, above, is limited as follows:

i. Block 14 Height Bonus: A view analysis of the proposed development shall be submitted that demonstrates the view of the Capitol Drum and Dome will remain visible from the East Bay Lookout after the development occurs. This may prohibit use of the height bonus, or restrict which portions of the block are eligible to use the bonus. Block 14 is bounded by Olympia Avenue, Adams Street, Thurston Avenue, and Jefferson Street.

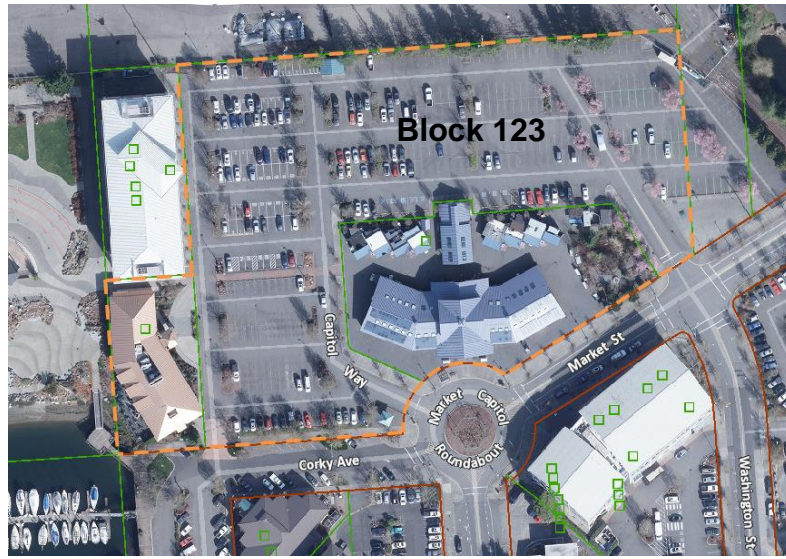


- ii. Block 122: Height bonus is limited to one additional story, up to a maximum height of 75 feet. Block 122 is bounded by Olympia Ave, Jefferson Street, and Marine Drive.

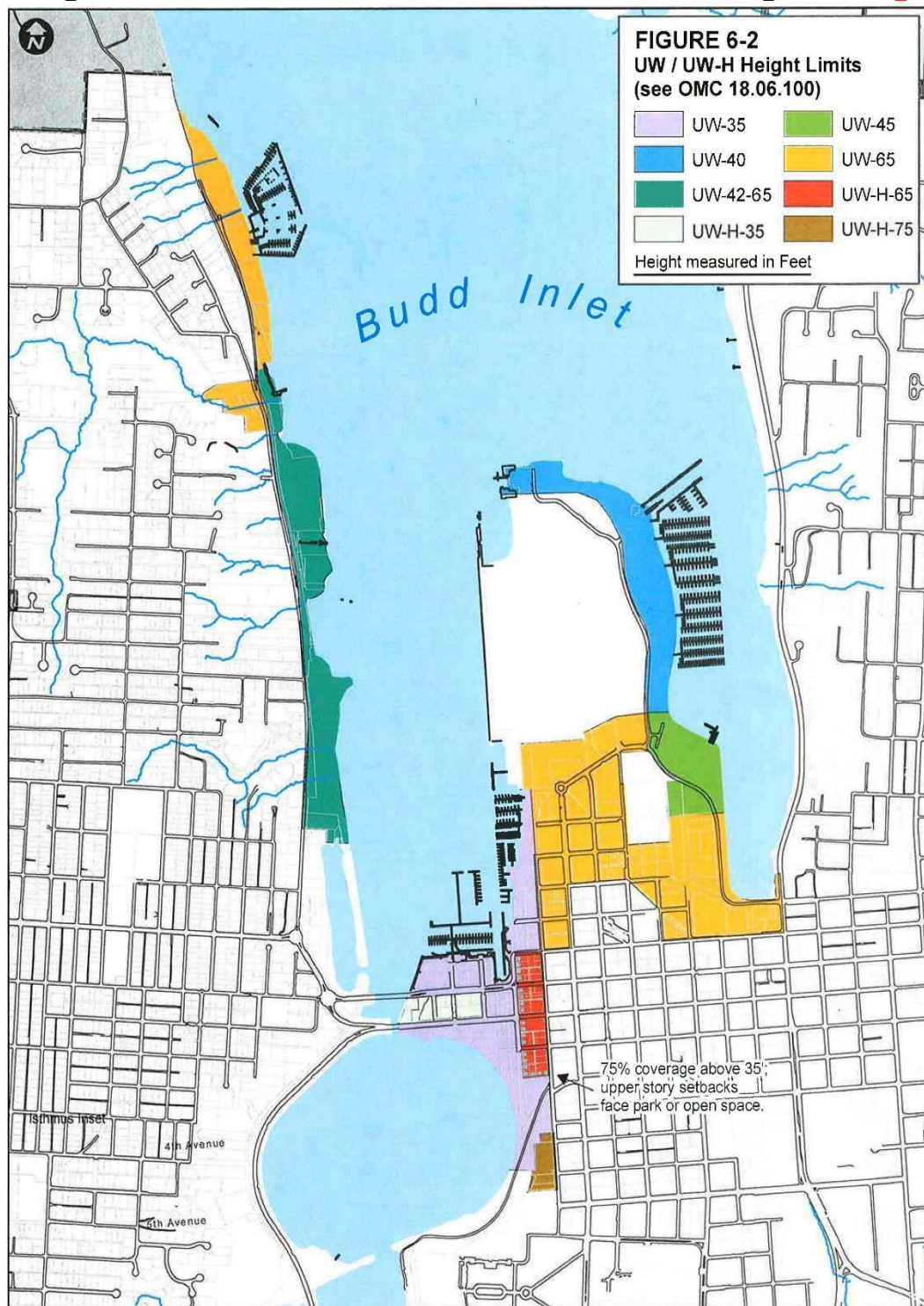


- iii. Block 123: The bonus height provision is not applicable in this location. Block 123 is bounded by Corky Avenue and Market Street to south and industrial uses to the north.



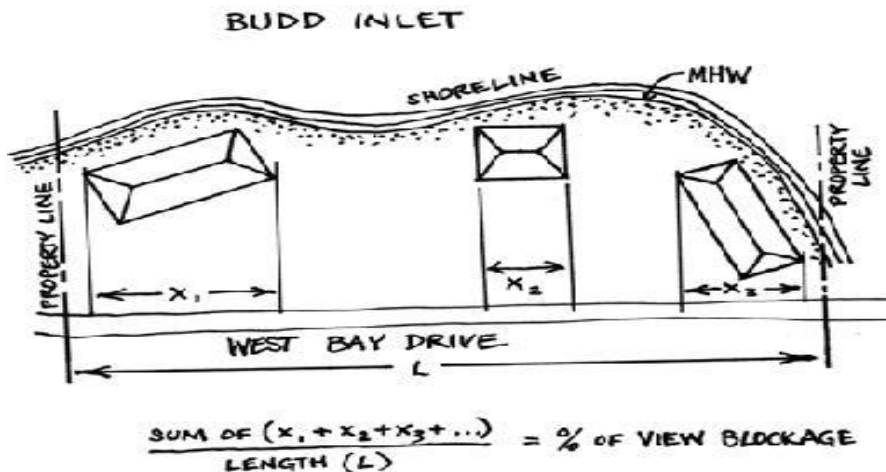




**Figure 6-2 Urban Waterfront and Urban Waterfront Height Limits\***

\*See 18.06.100(A)(2) for height limitations that apply to Blocks 14, 122, and 123 in order to protect adopted landmark views from specific observation points.



**FIGURE 6-2A**

**Calculating View Blockage in a portion of the Urban Waterfront District along West Bay Drive.**

3. Commercial Services-High Density. The maximum building height allowed is one hundred (100) feet. Provided, however, that no building or structure may exceed seventy-five (75) feet in height without conditional review and approval by the Hearing Examiner. Approval of structures exceeding seventy-five (75) feet in height shall meet the following criteria:

- a. The building design shall be compatible with or enhance the physical characteristics of the site, the appearance of buildings adjacent to the site and the character of the district.
- b. The site plan shall facilitate efficient and convenient circulation, shall include landscaping that creates a pleasing appearance from both within and off the site and shall be an asset to the community at large.
- c. Enhancement of public view access or direct public access to usable open space areas shall offset any potential upland view loss which may occur as a result of the proposal.

4. Downtown Business District.

- a. Building height allowed outright in the DB zone is seventy-five (75) feet.
- b. Bonus for residential development.
- c. Enhancement of public view access or direct public access to usable open space areas shall offset any potential upland view loss which may occur as a result of the proposal.

i. Buildings may exceed the height allowed outright (75 feet) by up to two (2) stories, if the added stories are stepped back from the street wall at least eight (8) feet, and if floor area equal to the amount from the added stories is provided for residences:

(a) In the same building--i.e., it is a residential or a mixed use building; or

(b) With commercial and residential uses in separate buildings on the same site; or

(c) With commercial and residential uses on separate sites within the Downtown Business (DB) zone.

ii. Occupancy. Housing provided under this bonus provision as part of a mixed use project must receive an occupancy permit at the same time as, or in advance of, issuance of an occupancy permit for non-residential portions of the project.

iii. Conversion. Housing provided under this bonus provision shall not be converted to commercial use.

iv. Source of housing units. Housing provided under this bonus provision may be:

(a) New construction,

(b) Adaptive reuse of a formerly non-residential structure, or

(c) Rehabilitation of existing housing.

5. Urban Waterfront - Housing.

a. Allowed building heights in the Urban Waterfront-Housing District are specified in Figure 6-2.

b. Required step backs and placement of step backs over 35 feet on specific blocks are specified in Figure 6-2.

6. High Density Corridor (HDC - 1 and HDC - 2).

a. Building height allowed outright in the HDC-1 and HDC-2 zones as outlined in OMC [18.06.080](#), Table 6.02.

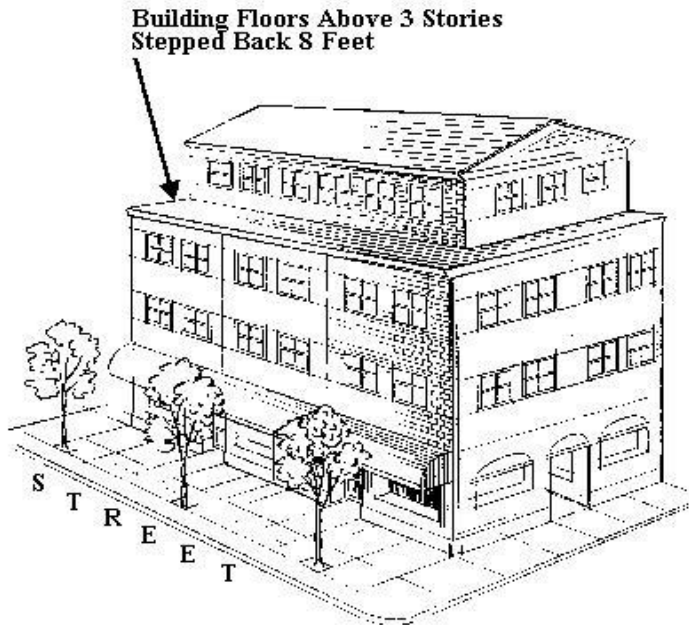
b. Additional story for residential development.

- i. Additional story can only be allowed for those development that do not provide a mechanical "penthouse" room as allowed under the provisions of OMC [18.06.100.A](#). However, the additional story can be occupied with both residential development and mechanical equipment.
- ii. Buildings may exceed the height allowed outright in OMC [18.06.080](#), Table 6.02, by one (1) story. The additional story cannot exceed fourteen (14) feet above the maximum allowable height requirement as specified in OMC [18.06.080](#), Table 6.02.
- iii. The additional story must be stepped back at least eight (8) feet from any abutting street or any abutting residential zoning district. See OMC 18.06.100.B.2.
- iv. Housing provided under this additional story as part of a mixed use project must receive an occupancy permit at the same time as, or in advance of, issuance of an occupancy permit for non-residential portions of the project.
- v. Housing provided under this additional story provision shall not be converted to commercial use. Except that the residential units may conduct business activities under the provision for home occupations. See OMC [18.04.060.I](#).
- vi. Housing provided under this bonus provision may be:
  - (a) New construction;
  - (b) Adaptive reuse of a formerly non-residential structure, or
  - (c) Rehabilitation of existing housing.
- vii. This additional story is not available and will not be approved within 100 feet of a designated historic district.

#### B. Upper Story StepBacks.

1. High Density Corridor-1 (HDC-1), Community Retail (CMR), High Density Corridor-2 (HDC-2), General Commercial (GC), High Density Corridor-4 (HDC-4), Medical Services (MS), and Professional Office/Residential Multifamily (PO/RM) District Requirements:

Building floors above three (3) stories which abut a street or residential district must be stepped back a minimum of eight (8) feet (see Figure 6-3).

**FIGURE 6-3**

2. Additional Story Provision for HDC-1 and HDC-2. Projects within the HDC-1 and HDC-2 zoning districts which use the additional story provisions for residential development as outlined in OMC 18.06.100.A.6, must step the additional story back by a minimum of eight (8) feet. The step back is required for the additional story which abuts a street or residential district.

C. Large Scale Retail Uses. Retail uses over twenty-five thousand (25,000) square feet in gross floor area under common ownership or use shall meet the design requirements of this section. For purposes of this section, a retail use under common ownership or use shall mean a single establishment which shares checkstands, management, a controlling ownership interest, or storage areas, e.g., a plant nursery or a grocery store associated with a general merchandise store, such as a home improvement store.

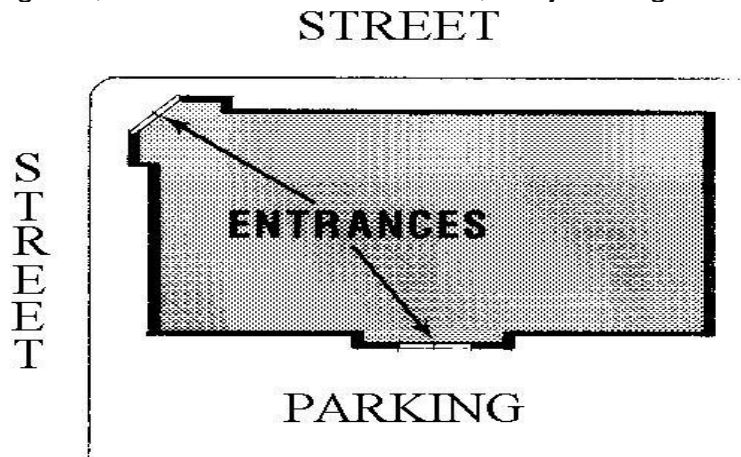
In General Commercial and HDC-4 zones west of Yauger Way, single story or single use commercial retail space shall not occupy more than 60,000 square feet of enclosed building space on the ground floor, unless a development agreement is approved. These buildings shall be designed and oriented to provide for pedestrian and bicycle circulation throughout the site and to adjacent buildings and properties. A building larger than 60,000 square feet can be allowed when it is not directly adjacent to a street designated as an "A" street in the Pedestrian Street Overlay and if a development agreement is approved that at a minimum addresses:

- 1) Building orientation, massing, and use of high quality materials
- 2) Parking is located to the rear or side of the building, or is separated from the street by additional retail buildings

3) Pedestrian, bicycle, and vehicular circulation on site and connections to adjacent properties

4) Community assets, such as the multi-use trail identified in the Kaiser Harrison Opportunity Area Plan

1. Customer entrances. Customer entrances shall be provided on each facade that faces an abutting street, customer parking, or a public park or plaza, up to a maximum requirement of three customer entrances per business occupancy. If there are two or more facades facing abutting streets, at least two such facades must provide a customer entrance. An entrance on a corner of the building may count as serving two facades. Such entrances shall provide both ingress and egress, and shall be double doors, not just single units. See Figure 6-4.



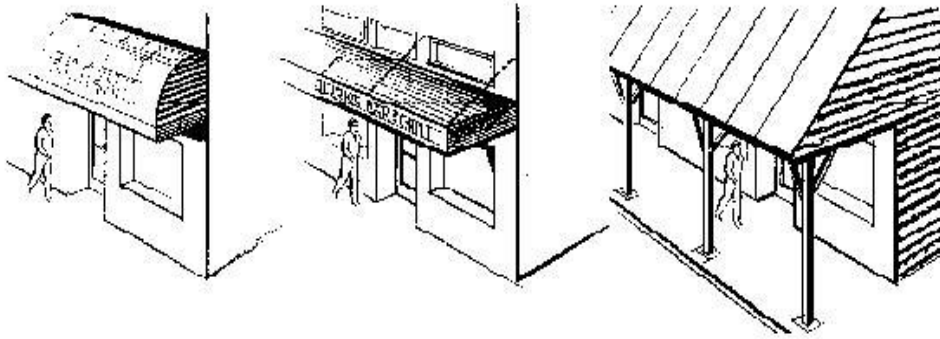
**Customer Entrances must be provided on facades facing abutting streets and parking. Example shows corner entrance serving two street facades, plus entrance serving parking.**

**FIGURE 6-4**

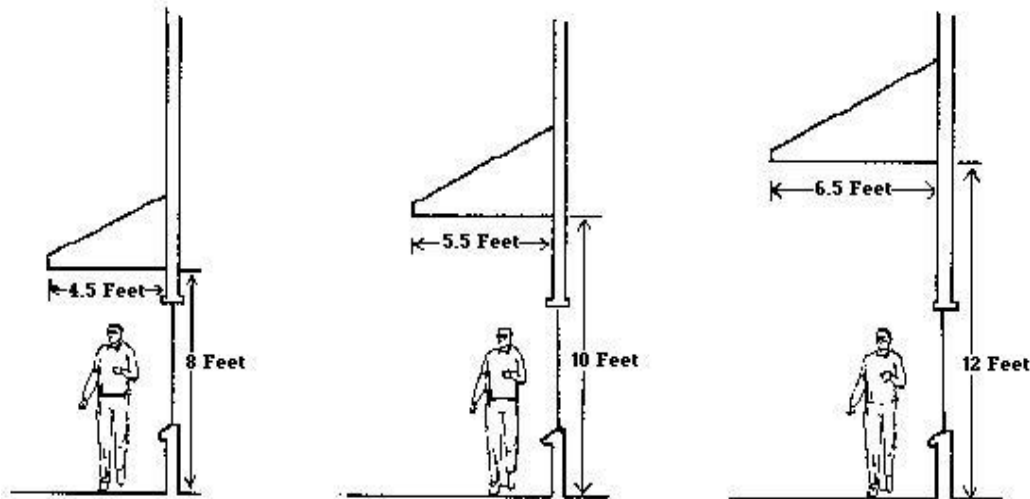
2. Rain protection. Awnings, canopies, marquees, arcades, building overhangs or similar forms of pedestrian weather protection, at least four and one half (4 1/2) feet wide, shall be provided over a pedestrian walkway along at least eighty (80) percent of any facade with a customer entrance. See Figure 6-5. Such weather protection shall be placed no less than eight (8) feet above the walkway. If placed more than eight (8) feet above the walkway, such weather protection shall be at least an additional six (6) inches in width for each additional foot of height, or portion thereof. See Figure 6-6.

Development in the HDC-4 Capital Mall Area shall use design standards established for this area instead of the above rain protection regulation. See 18.130.050 HDC 4-Capital Mall.





**Rain Protection (L to R): Awning, Marquee, Arcade**  
**FIGURE 6-5**



**Width of Rain Protection is determined by height above walkway.**  
**FIGURE 6-6**

3. Wall articulation. Facades greater than fifty (50) feet in length shall incorporate wall plane projections or recesses having a depth of at least three percent (3%) of the length of the facade and extending in the aggregate at least twenty percent (20%) of the length of the facade. No uninterrupted length of any such facade shall exceed fifty (50) horizontal feet. **EXCEPTION:** This requirement shall not apply to walls which:

- a. have no customer entrance; and
- b. are only visible from service areas, and not from nearby residences or from the customer parking lot or an abutting street.

Development in the HDC-4 Capital Mall Area shall use design standards established for this area instead of the above wall articulation regulation. See 18.130.050 HDC 4-Capital Mall.

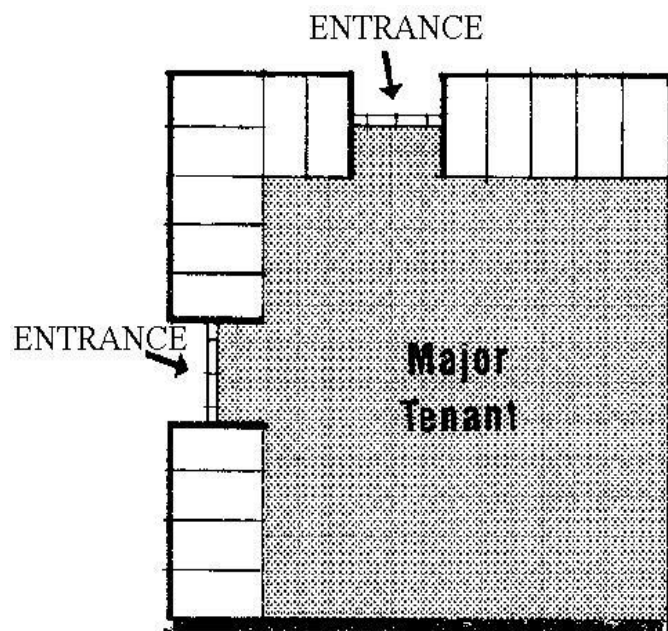
4. Frontage limit. The frontage per business occupancy shall be limited to one hundred (100) feet along any facade facing an abutting street, unless sixty percent (60%) or more of the facade between two (2) and eight (8) feet above the sidewalk is in transparent glazing; i.e., transparent windows, display windows, or transparent store doors (staff note: this would allow a major tenant to have lots of its own display windows, or to lease peripheral space to lots of small tenants, or to look like it was doing so, or to build added stories to get added floor area). See Figures 6-7 through 6-12. EXCEPTION: This requirement shall not apply to that portion of a facade where the average grade level of the sidewalk of the abutting street is 4 feet or more above or below the adjacent floor level of the building. See Figure 6-13.

Development in the HDC-4 Capital Mall Area shall use design standards established for this area instead of the above frontage limit. See 18.130.050 HDC 4-Capital Mall.



**Example of building with 100' frontage, hence exempt from transparent glazing requirement.**

**FIGURE 6-7**



**Frontage limited by placing small shops on periphery of building, plan view.**

**FIGURE 6-8**



Small shops on periphery of building, elevation view.  
FIGURE 6-9



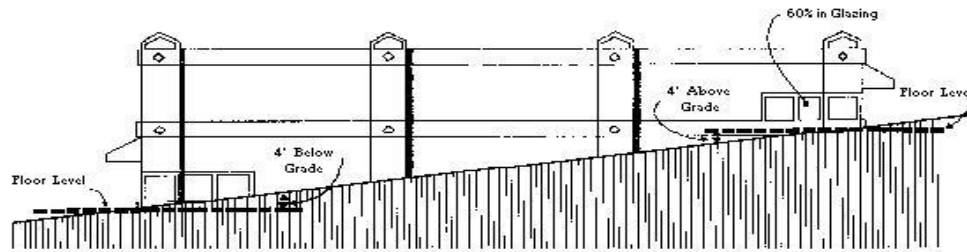
150-foot frontage with 60% of facade between 2' and 8' in transparent glazing.  
FIGURE 6-10



25,000 square foot 1-story building with 150 feet of frontage  
FIGURE 6-11



50,000 square foot building on 2 stories with 150 feet of frontage  
FIGURE 6-12



**Transparency requirement does not apply to the portion of a facade with a floor level over 4' above or below grade.**

**FIGURE 6-13**

5. Very Large Scale Retail Facilities. Retail uses under common ownership or use, which exceed size thresholds set forth in subsection (a) below for the zone in which the retail uses are proposed, shall meet the additional development and design requirements specified in subsections (a)(ii)-(iv). Those which exceed size thresholds set forth in subsection (b) below for the zone in which the retail uses are proposed shall be subject to the requirements for Conditional Use approval provided in subsection (b)(ii).

a. Added development and design requirements for Very Large Scale Retail Facilities

i. Thresholds for requirements

<b>District</b>	<b>Size (gross floor area)</b>
GC	60,000 sq. ft.
HDC-2	40,000 sq. ft.
HDC-3	50,000 sq. ft.
HDC-4, except Capital Mall Area	60,000 sq. ft.
UW	40,000 sq. ft.
UW-H	25,000 sq. ft.
DB	25,000 sq. ft.
UC	50,000 sq. ft.

ii. Adaptability for Reuse/Compartmentalization. The building design shall include specific elements that facilitate the structure's adaptation for multi-tenant reuse. Such elements may include but are not limited to compartmentalized construction, including plumbing, electrical service, heating, ventilation and air conditioning. The building design shall also allow for all of the following:

(1) Subdivision of the interior of structure into separate tenancies. The design for interior subdivision shall accommodate multiple potential tenancies, each no larger than fifty percent (50%) of the size threshold for the district defined in subsection (i) above. Example A: An applicant designs a 120,000 sq. ft. Very Large Scale Retail Use in the GC district to accommodate reuse by four potential tenancies of 30,000 sq. ft. each. Example B: An applicant designs the same building to accommodate two potential tenancies of 30,000 sq. ft., and four potential tenancies of 15,000 sq. ft.

(2) Facades that readily adapt to multiple entrances without compromising the structural integrity of the building, and adapt to entrances on at least two sides of the building; or, if the building is designed to have only one front facade, all potential tenancies shall be designed for access from the front facade.

(3) Parking lot designs that are shared by establishments or are linked by safe and functional pedestrian connections.

(4) Landscaping schemes that complement the multiple entrance design.

(5) Design and placement of loading docks/loading bays to accommodate multiple potential tenancies.

(6) Other elements of design which facilitate the multi-tenant reuse of the building and site.

### iii. Parking Design.

(1) Parking lots with over one acre in paving shall be designed for on-site infiltration of the stormwater generated on site. This may be accommodated by underground infiltration vaults, porous paving, or other techniques permitted by the City of Olympia Stormwater Drainage Manual, and subject to the approval of the Department of Public Works.

(2) Bicycle parking shall meet all requirements of the City's bicycle parking regulations, in particular Sections [18.38.100](#) Vehicular and Bicycle Parking Standards, and 18.38.220 Design Standards - General.

### iv. Site Design.

(1) The site design shall include a plan for pedestrian circulation with logical connections between buildings, between buildings and



adjacent streets, and from buildings to parking areas. (See also Sections [18.110.030](#), [18.120.110](#), and [18.150.030](#).)

(2) Pedestrian walkways within the development shall be differentiated from driving surfaces through a change in materials, and shall be designed to accommodate persons with disabilities, such as wheelchair users.

b. Conditional Use Approval

i. Thresholds for Conditional Use Approval

<b>District</b>	<b>Size (gross floor area)</b>
GC	125,000 sq. ft.
HDC-2	60,000 sq. ft.
HDC-3	75,000 sq. ft.
HDC-4, except Capital Mall Area	125,000 sq. ft.
UW	60,000 sq. ft.
UW-H	40,000 sq. ft.
DB	40,000 sq. ft.
UC	100,000 sq. ft.

ii. Conditions for Approval. The following requirements apply to all Very Large Scale Retail Facilities subject to conditional use approval.

(1) The Hearing Examiner shall determine that the proposed facilities meet the development and design requirements of subsection (a) above, and all other requirements of this Title.

(2) The Hearing Examiner shall determine that the proposed facilities will not be detrimental to the health, safety, or welfare of the general public, nor injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

(a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

(b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

(c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor; and

(d) The treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.

(e) The impact upon public facilities or public services.

6. Additional Regulations. Refer to the following Chapters for additional related regulations:

- a. Chapter [18.36](#), Landscaping and Screening
- b. Chapter [18.38](#), Parking and Loading
- c. Chapter [18.48](#), Conditional Uses
- d. Chapter [18.100](#), Design Review
- e. Chapter [18.110](#), Basic Commercial Design
- f. Chapter [18.120](#), ~~Commercial Design Criteria~~ Downtown [Design Criteria](#)
- g. Chapter [18.130](#), Commercial Design Criteria High Density Corridor (HDC)
- h. Chapter [18.150](#), Port Peninsula

#### D. Impervious Surface Coverage

On development sites incorporating 'vegetated roofs,' the impervious surface coverage limits of Neighborhood Retail, Professional Office/Residential Multifamily and Medical Service districts shall be increased one square foot for each square foot of vegetated roof area up to 5% of the total site area if adequate assurance is provided that the proposed vegetated roof will provide substantial stormwater management benefits for a period of at least 30 years.

#### **18.06.120 Additional regulations**

Refer to the following Chapters for additional related regulations.

Chapter 18.100- Design Guidelines

145

Chapter [18.36](#) Landscaping and Screening

Chapter [18.38](#) Parking and Loading  
Chapter [18.40](#) Property Development and Protection  
Standards  
Chapter 18.~~42~~[43](#) Signs  
Article III Overlay Districts

## Chapter 18.16 PEDESTRIAN STREET OVERLAY DISTRICT

### 18.16.000 Chapter Contents

#### Sections:

<a href="#">18.16.020</a>	Intent.
<a href="#">18.16.040</a>	Map.
<a href="#">18.16.060</a>	General requirements.
<a href="#">18.16.080</a>	Specific development standards.

### 18.16.020 Intent

This chapter will implement City and regional transportation plans by establishing a pedestrian street overlay district that results in a network of active, aesthetically pleasing, and interesting streets ~~that link the downtown retail core, the Capitol Campus, the waterfront, and residential neighborhoods~~. In the Kaiser-Harrison area, it will provide a highly integrated and pedestrian friendly mix of office, retail, and residential use. In these high quality, compact pedestrian-oriented environments people will be encouraged to work, shop, play, and live in an area that supports decreased dependence on motor vehicles, makes travel on foot pleasant and easy, and encourages around-the-clock activity to occur. The development should: 1) acknowledge the need to accommodate arrival by vehicle, 2) support increased arrival by transit, carpool, bike, and on foot, 3) create incentives to circulate within the area by non-auto modes (on foot, by shuttle or bus, or bicycle), 4) encourage employee Transportation Demand Management Program success.

In addition, development in the area should:

- A. Increase architectural and historic ~~continuity between the existing downtown retail core and the remainder of downtown, or provide for~~ continuity between new and existing uses, as appropriate in other mixed use areas.
- B. Provide a comfortable sense of enclosure along the street by providing strong, continuous edges which clearly define public open spaces and rights-of-way.
- C. Contribute to the streetscape by incorporating human-scaled elements into building design.
- D. Provide direct visual contact between activities occurring inside buildings and the street environment.
- E. Incorporate artistic elements and public art into the streetscape and buildings.
- F. Result in urban building patterns and curtail the construction of suburban building patterns.

### 18.16.040 Map

A. Relationship to Underlying Zoning. This overlay zone contains regulations that apply in addition to the regulations included within the underlying zoning district.

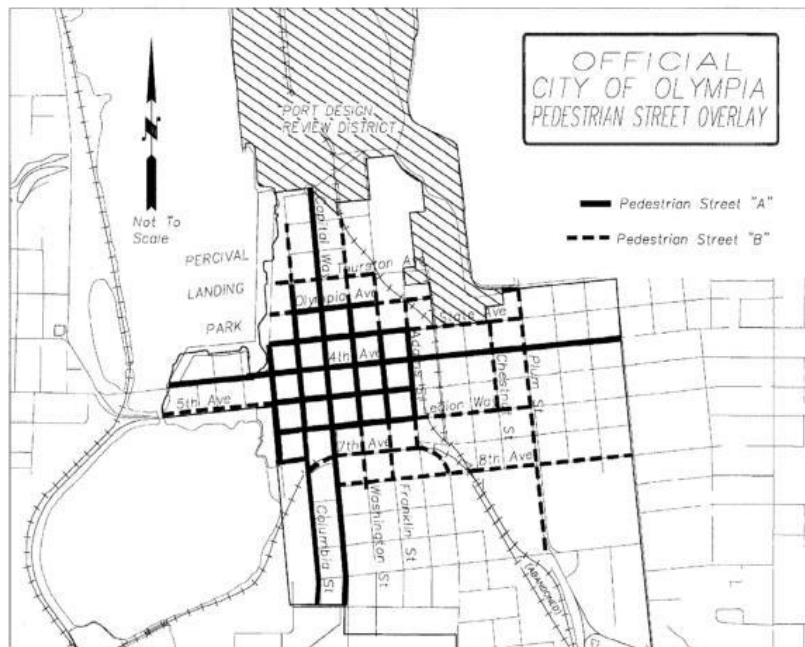
B. Areas Subject to Pedestrian Streets Regulations.

1. "A" Streets. All of the requirements of this Chapter apply to the "A" Streets identified in Figure 16-1.

2. "B" Streets. The following requirements of this Chapter apply to "B" Streets as identified in Figure 16-1:

- a. Blank Wall Limitations, Section [18.16.080\(F\)](#);
- b. Primary Building Entrance, Section [18.16.080\(G\)](#);
- c. Parking Structure Design, Section [18.16.080\(J\)](#).

3. The Pedestrian Streets Overlay District Map and this text regulate the Pedestrian Streets Overlay District. The Pedestrian Streets Overlay District regulates portions of the ~~DB, RMH, RMU, UR, UW-H, and UW districts in downtown Olympia, and in the~~ HDC-4, GC, and PO/RM districts west of Yauger Way. All properties which abut the Pedestrian Streets shown on Figure 16-1 are subject to the rules of this District.



**FIGURE 16-1**



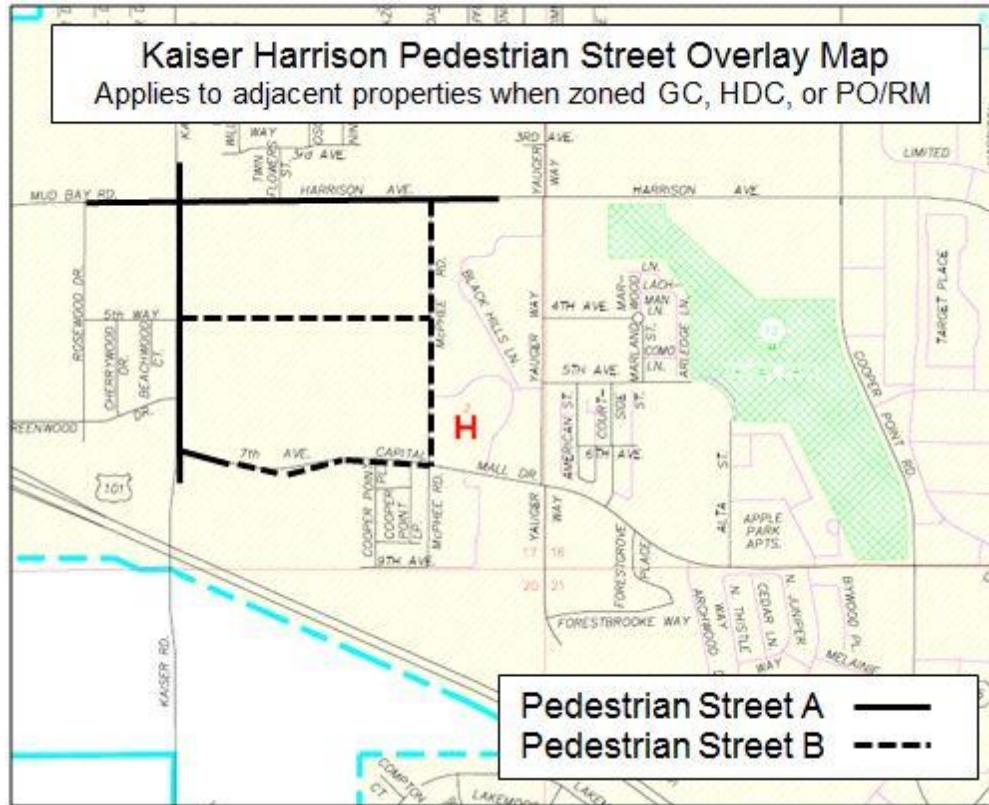


FIGURE 16-1b

### 18.16.060 General requirements

#### A. Types of Projects Regulated.

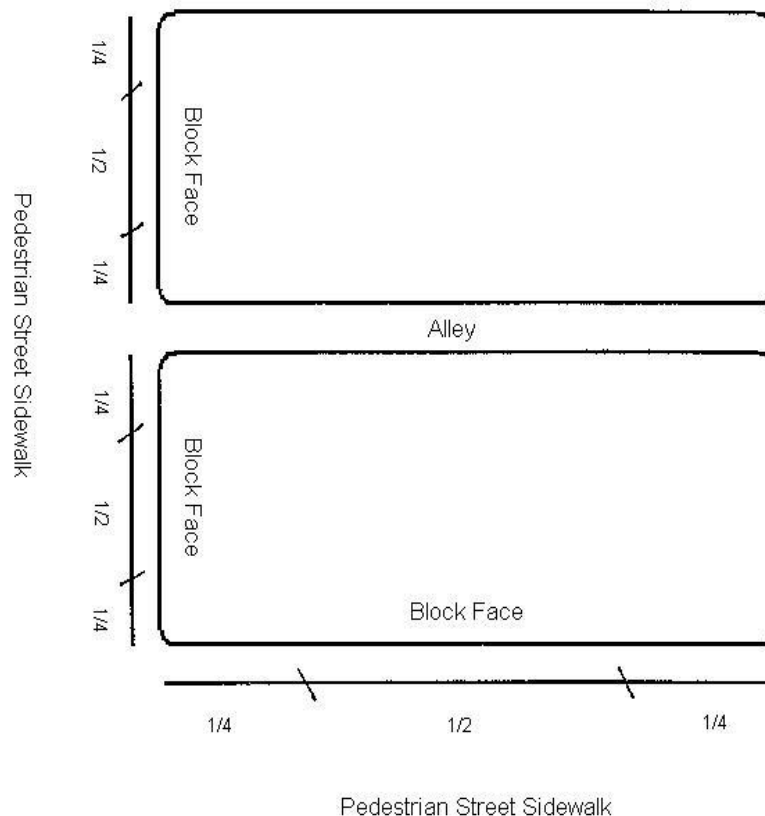
1. New Development. The regulations in this chapter apply to all commercially zoned properties which abut the Streets identified in Figure 16-1 ~~and Figure 16-4b~~ (both "A" and "B" Streets). The regulations of this Chapter apply to all new building construction in those commercial zones.

2. Existing Buildings. The regulations in this Chapter also apply to all remodel projects if both of the following conditions apply: (1) the value of the remodel project is greater than fifty (50) percent of the assessed value of the pre-remodeled building excluding land value, and (2) structural facade renovation will be done. (Painting and routine maintenance are not considered structural facade renovation).

#### B. Exemptions

1. Residential Exemption. Residential projects must comply with the applicable design criteria of Chapters [18.100](#) through [18.180](#). All or a portion of a residential project shall be exempt from the requirements of this Chapter as follows:

- a. In the event a residential project comprises the entire block face, 50% of the block face shall comply with this Chapter; provided, that the area of compliance must be evenly placed at each corner of the block face.
- b. In the event a residential project is proposed for a portion of a block face which block face has been partially developed in compliance with this Chapter, a portion of the project shall comply with this Chapter according to this formula. The amount of project compliance shall equal the difference between 50% and the percentage of existing improvements on the block which complies with this Chapter. For example, 15% of the project must comply with this Chapter where 35% of existing improvements on the block face meets the requirements of this Chapter. In the event the proposed project is located at a corner of a block face, that portion of the project which is required to comply with this Chapter shall be located at the corner.



**FIGURE 16-29**

2. **Historic Buildings.** All buildings on the Heritage Register at the time of application are exempt from the requirements of this District.
3. **Small Buildings.** Buildings with less than five thousand (5,000) square feet in gross floor area are exempt from the requirements of this District.

4. Existing Parking Lots in Front of Buildings. When the requirements of this Chapter are triggered by remodels or renovations, existing parking lots remain conforming as an exception to the "Maximum Setbacks Allowed" of this Chapter.

C. See applicable Design Review Chapters, Chapters [18.100](#) through [18.180](#).

### **18.16.080 Specific development standards**

The following requirements apply to "A and/or B" Streets.

Setbacks (A)

Pedestrian Plaza (A)

Minimum Street Wall Height (A)

Awnings, Marquees, and Canopies (A)

Blank Wall Limitations (A & B)

Primary Building Entrance (A & B)

Surface Parking (A)

Street Frontage - Retail and Service Use (A)

Parking Structure Design (A & B)

A. Maximum Setbacks ("A" Streets).

1. Intent. Enclose and define the street space. Place building, walls, and design height and massing that will:

- a. Provide human scaled street enclosure and building edge continuity on key pedestrian-oriented streets.
- b. Contribute to a continuous building edge on lots adjacent to designated pedestrian streets.
- c. Increase liveliness on the street by making physical and visual contact between interior building activities and the street.

2. Maximum Setback.

- a. The maximum street wall setback is ten (10) feet.
- b. Street wall setback areas (the area between the front property line and street wall):
  - i. May be used for landscaping and small commercial uses designed primarily to cater to pedestrians, including, but not limited to vendors, newsstands, flowers, and cafes.

ii. May not be used for fences, large trees and landscaping, or other features which form visual barriers or block views to street wall windows.

c. Exceptions to Maximum Setbacks.

i. The street wall may be set back ~~to retain water views and~~ to provide transition to residential neighborhoods, to allow privacy in residential development, to meet centerline setback requirements, for building entrances, for pedestrian plazas, and to allow existing setback buildings as conforming uses.

ii. Building Entrances Allowance. Large entryways which are integral to a building design may be set back more than ten (10) feet.

iii. Pedestrian Plazas.

B. Pedestrian Plazas ("A" Streets).

1. Intent. When proposed, plazas will provide small spaces which will attract concentrations of people to gather along the most intensively developed streets. Buildings will be grouped around small pedestrian plazas; will be carefully located and integrated into the streetscape or building; will make the most of light and sun exposure; and, when proposed, will integrate landscaping and/or public art into the design.

2. Pedestrian Plaza Requirements. Pedestrian plaza designs shall meet the following development standards:

a. Size and dimension. The maximum pedestrian plaza dimension shall be sixty (60) feet across (see Figure 16-~~23~~).

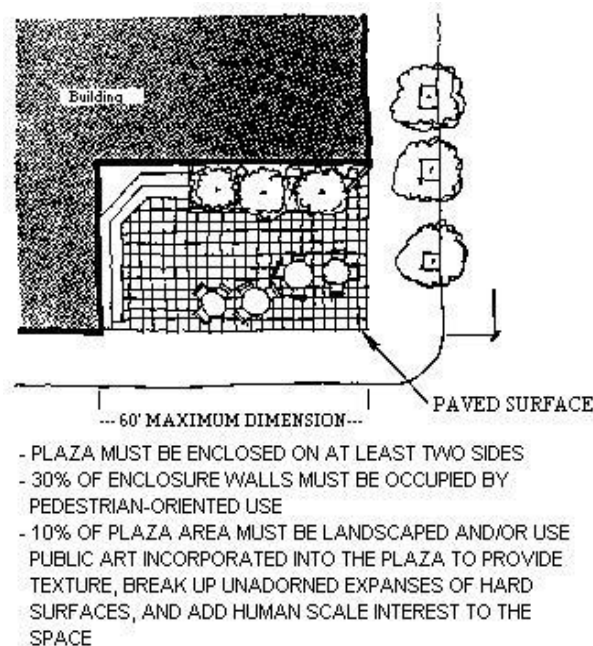
b. Access. The surface of all pedestrian plazas shall be visually and physically accessible from the public rights-of-way. Allowances may be made on sites with steep topography.

c. Surface. Paved walking surfaces shall be provided.

d. Landscaping and/or Public Art.

i. Required landscaping and/or public art. At least ten (10) percent of the plaza area shall be landscaped with living plants or use public art incorporated into the plaza to provide texture, breakup unadorned expanses of hard surfaces, and add human scale interest to the space.

- ii. Landscaping. The landscaping shall be planted and maintained according to the City of Olympia development standards (Section 18.38).
  - iii. Location of landscaping and/or public art. Landscaping and/or public art shall not block pedestrian views into the plaza.
- e. Seating.
  - i. Required seating. Seating shall be provided in all pedestrian plazas.
  - ii. Allowed seating walls and steps. Tops of walls and steps may be considered seating.
- f. Exposure to sunlight. Southern locations are encouraged to allow direct sunlight to enter the space and strike the plaza floor.
  - i. Required sunlight. Pedestrian plazas shall be designed to allow measurable direct sunlight to enter the plaza and shall not be blocked by landscaping or art.



### Required Pedestrian Plaza Conditions

**FIGURE 16-23**

- g. Plaza edges.
  - i. Plaza enclosure. All pedestrian plazas shall be enclosed on at least two sides by a structure or by landscaping and/or art which creates a wall-like effect.

ii. Prohibited edge conditions.

(a) Unscreened parking lots, chain link fences, barbed wire, and other inhibiting conditions are prohibited adjacent to pedestrian plazas.

(b) Blank walls in pedestrian plazas are subject to the blank wall limitation standards.

h. Uses in pedestrian plazas.

i. Permitted uses. The following uses are permitted: playground equipment, fountains, waterfalls, pools, sculptures, works of art, arbors, trellises, benches, trees, planting beds, trash receptacles, drinking fountains, bicycle racks, open air cafes, kiosks, vending carts, outdoor furniture, lighting, flagpoles, public telephones, temporary exhibits, canopies, awnings, and similar uses which encourage pedestrian use of these spaces.

ii. Allowed motor vehicle use. Motor vehicle use of pedestrian plazas for passenger drop off and pick up at a building entrance may be allowed. All other loading or motor vehicle access is prohibited.

i. Exceptions. The Director of Community Planning and Development or the Director of Community Planning and Development's delegate may grant exceptions to the Pedestrian Plaza Standards if the proposed design meets the intent of this Section and Subsection.

C. Minimum Street Wall Height Requirement ("A" Streets).

1. Intent. To ensure spatial enclosure on the street and achieve dense land use ~~in the downtown~~.

2. The minimum street wall height is sixteen (16) feet above the average sidewalk elevation.

D. Awnings, Marquees or Canopies, and Arcades ("A" Streets). Awnings, marquees, canopies, and other projections are allowed to project into the ROW. See Downtown ~~Building~~ Design Guidelines - Projections into the ROW. These provisions apply to all ~~P~~pedestrian-~~o~~Oriented ~~s~~Streets in the City, even when not located in the downtown.

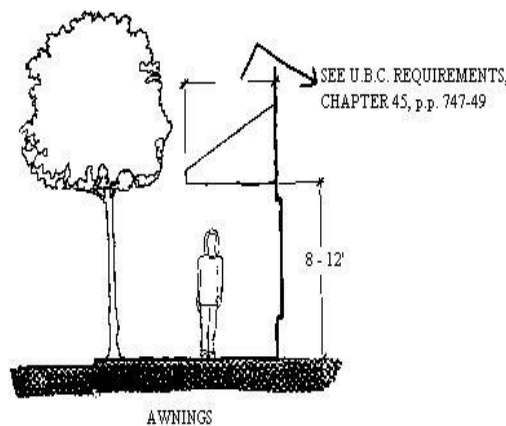
1. Intent. Provide pedestrians rain protection, contribute to overall integration of individual buildings within the streetscape, and help define the pedestrian zone. When awnings are used, they should cover the pedestrian clear zone.



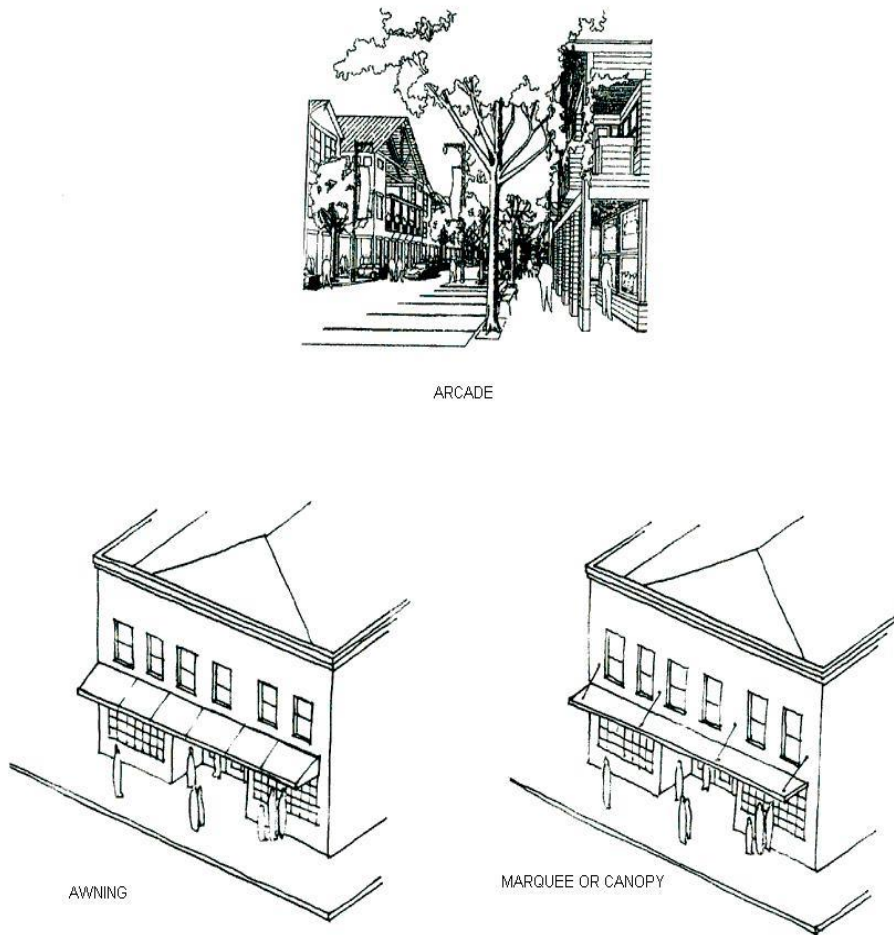
## 2. Awnings, Marquees or Canopies, and Arcade Requirements.

- a. Coverage allowed in public rights-of-way. Awnings, canopies, or marquees may project into the public rights-of-way ~~(see Downtown Building Design Guidelines - Projections Into the ROW)~~. Arcades must be on private property.
- b. Types of material allowed. Awnings, marquees, and canopies must be fabric on a retractable frame, metal, glass, or plexiglass. On historic buildings, wood may be used.
- c. Area and coverage requirements. Awnings, marquees, and arcades shall be provided along the street wall, or that portion of the street wall that abuts or is parallel to the sidewalk. The maximum depth (projection from street wall) for awnings and marquees or canopies is regulated in the applicable Section of the ~~Uniform~~ Building Codes ~~(Chapter 16.04, OMC)~~. Awnings, marquees, or canopies should extend to the maximum depth allowed by the ~~UBC~~ Building Codes, with allowance for street tree and street light clearance. (See Figure 16-4 of this Chapter.)
- d. Height requirements. Except valances, the lower edge of all awnings, marquees, canopies, and arcades must be between the heights of eight (8) and twelve (12) feet above finished grade. Every attempt should be made to make awnings of like heights on a given block.
- e. Historic buildings. Historic buildings may be reviewed for exceptions to these standards. Exceptions shall be jointly reviewed by the Design Review Board and Heritage Commission, called the Joint Review Committee or the Heritage Commission and Design Review staff. (See Chapter [18.12](#) OMC)

## 3. Prohibited Awnings. Back-lit awnings or canopies are prohibited.

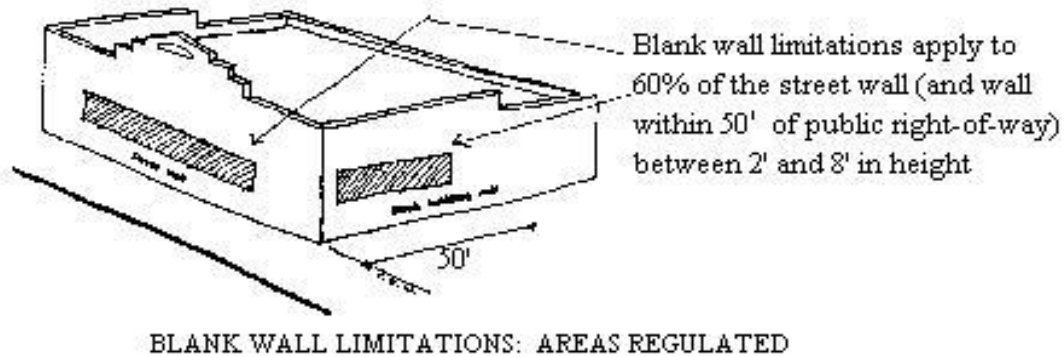


**FIGURE 16-4**

**FIGURE 16-5**

**F. Blank Wall Limitation ("A" and "B" Streets).**

1. **Intent.** Reduce blank wall impacts on the pedestrian and business district environment. Provide varied, pedestrian-friendly building facades and sidewalk activities. Avoid the creation of blank walls and dull facades that deaden the surrounding space and create an uninviting street environment.
2. **Development Standards.** Blank walls are not allowed adjacent to or within fifty (50) feet of a pedestrian street right-of-way or a public park. At least sixty percent (60%) of these walls between two (2) feet and eight (8) feet in height must be pedestrian friendly. Pedestrian-friendly facades shall have one or more of the following characteristics:

**FIGURE 16-6**

a. Transparent windows. Transparent window area or display windows which provide visibility into building interiors. The following transparency standards apply.

- i. Glass must be clear or lightly tinted in windows, doors, and displays. Because it does not provide visibility between the street and building interiors, reflective or opaque or painted glass is prohibited.
- ii. Doors and entry windows must be transparent to meet this requirement. If they are not, they shall be considered blank walls.

b. Art or architectural treatment. Sculpture, mosaic, glass block, opaque art glass as relief artwork, or similar features of visual interest. Structural architectural elements may be acceptable as an administrative waiver if the design meets the intent of this Section.

c. Vertical trellis. A permanent vertical trellis in front of the wall with climbing plants or plant materials.

d. Pedestrian plazas. Pedestrian plazas may meet this requirement if the design complies with Section [18.16.080\(A\)](#), Maximum Setbacks Allowed.

e. Display windows. Display windows may be used to meet this requirement.

3. Retaining Walls. Retaining walls on Pedestrian Streets shall be considered blank walls and are subject to the regulations in this Section.

4. Exceptions. Where this Section is in conflict with the ~~Uniform~~adopted Fire Code, the ~~Uniform~~ Fire Code shall govern.

5. Approval. All proposed blank wall treatments are subject to City approval. The applicant must submit architectural plans and elevations showing proposed treatments for approval.

G. Primary Building Entrance ("A" and "B" Streets).

1. Intent. Allow people to arrive on foot, by transit, or by other means (in addition to by car), and to increase pedestrian and street activity. Create a prominent entry that conveys a clear sense of arrival and that uses high quality products that contribute to the richness and detail of the facade.

2. Primary Building Entrance Requirements.

- a. The primary entrance to all buildings must face the street.
- b. All primary building entrances must be clearly visible from the sidewalk.
- c. Direct access shall be provided either:
  - i. From the sidewalk if the building facade is adjacent to the sidewalk; or
  - ii. From a pedestrian plaza if the building facade is not directly adjacent to the sidewalk.
- d. ~~For properties west of Yauger Way, the~~ Primary Building Entrance Requirements may be altered upon approval of a development agreement if it is determined that an entry from a location other than the wall facing a "B" street provides equal or better building orientation and human scaled design elements to integrate into the mixed use neighborhood.

H. Surface Parking Lots ("A" Streets).

1. Intent. Prohibit the disruption of the continuous building edge along the street.

2. Surface Parking Lot Requirements. Surface parking lots are limited to twenty (20) percent of the street frontage and additional surface parking may be prohibited on lots abutting pedestrian streets, except when they are located behind buildings.

~~3. Exception. Properties west of Water Street and east of Budd Inlet, and properties west of Yauger Way may have surface parking directly abutting twenty (20) percent of the street frontage.~~

I. Street Frontage - Active Street Edge Requirements ("A" Streets).

1. Intent. Provide interest and activity that contribute to the pedestrian streets, reinforce existing service business uses (retail, office, commercial), and establish new activity along ~~the main pedestrian links between downtown and the surrounding neighborhoods~~ and around the other pedestrian oriented streets designated west of Yauger Way (see Figure 16-1**b**).

2. Development Standards. Seventy-five (75) percent of the street frontage will look like a storefront by including one or more of the following: direct at-grade sidewalk entries, high ceilings, recessed doors, storefront windows, awnings, canopies, large room spaces, and similar features in the building. Building entries and lobbies along the street wall are exempt from the street level use requirement calculations;

3. Exemption.

a. Structured parking or that portion of a project used as structured parking are not subject to this requirement. See Section J below for structured parking requirements.

b. See 18.16.060(1)(B)(1) for residential experience.

#### J. Parking Structure Design ("A" and "B" Streets).

1. Intent. Design structured parking in a way that will fit the real and intended human scale of downtown and on other designated pedestrian oriented streets. Acknowledge that while structured parking provides convenient, less intrusive, less land consumptive parking than surface parking, the buildings themselves can be intrusive, since they are often large, monolithic structures with few refinements and little interest or activity.

2. Street Level Treatment. Retain the pedestrian oriented scale and character on structured parking and ground level covered parking facing a pedestrian street by breaking up horizontal openings and incorporating at least one of the following techniques:

a. Provide at least one (1) of the five (5) pedestrian-friendly facade techniques in Section [18.16.080\(F\)](#), Blank Wall Limitations. Transparent windows shall be permitted only where pedestrian-oriented uses or businesses are located in a parking structure.

b. Provide enclosed occupiable space for "pedestrian-oriented uses or businesses" at least ten (10) feet in depth along all of the building frontage facing the Pedestrian Street, excluding vehicle and pedestrian entries. If there are multiple pedestrian street frontages, this option should be used on the dominant pedestrian street frontage.

- c. Incorporate public art into the design or use decorative metal grille work or similar architectural detailing which provides texture and covers the parking structure opening. EXCEPTION: Parallel vertical bars (resembling a jail cell pattern or HVAC intake grilles) are prohibited, and do not meet the intent of this requirement.
- 3. Parking structures over one-half block in size must provide enclosed occupiable space for "pedestrian-oriented uses or businesses" at least ten (10) feet in depth along the dominant pedestrian street frontage of the building facing the pedestrian street, excluding vehicle and pedestrian entries.
- 4. Vehicle Entry. The width of garage doors shall be limited to the width of the driveway plus five (5) feet. Vehicular entries shall be recessed at least six (6) feet from the primary facade plane in order to minimize their prominence in the facade.
- 5. Upper Level Treatment. Assure that upper levels of parking structures remain compatible with pedestrian oriented scale and character. Break up horizontal openings by:
  - a. Providing relief, detail, and variation on the facade by employing well-proportioned openings that are designed to create shade and shadow detail.
  - b. Public art, decorative metal grille work or similar art or architectural detailing which provides texture and covers the opening in the facade.
    - i. Parallel vertical bars (resembling a jail cell pattern or HVAC intake grilles) are prohibited, and do not meet the intent of this requirement.

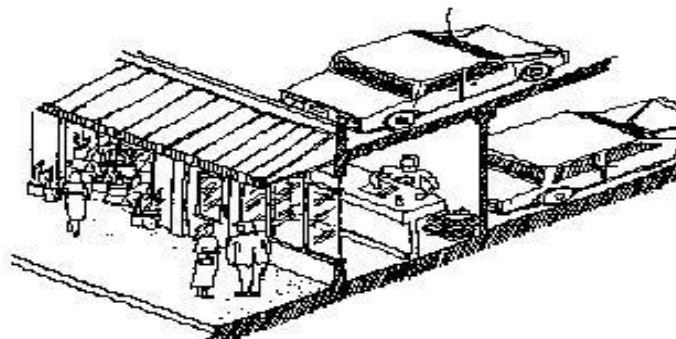
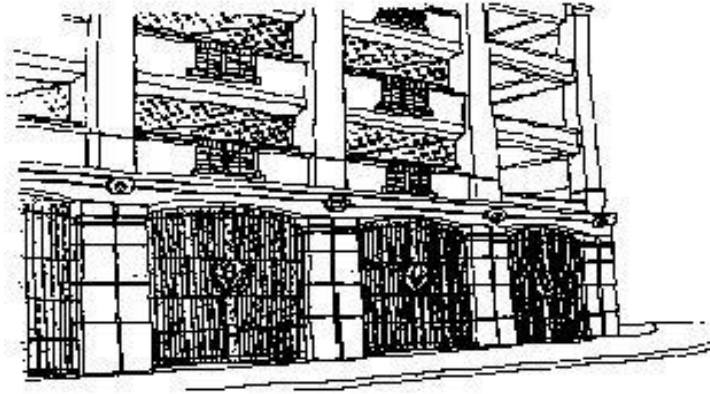


FIGURE 16-7





**Parking garage facade treated with decorative grill work.  
FIGURE 16-8**

### 18.38.240 District design standards

In addition to the parking design standards for various zone districts found below, also refer to Design Review, Chapter [18.100](#).

#### A. Structured Parking Design Requirements:

1. Structured parking adjacent to designated pedestrian oriented streets on properties located outside of the Downtown Design District shall meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter Section 18.16.080(J).
2. For projects in the Downtown Design District, all above ground structured parking must meet the Above-Grade Structured Parking Requirements in Chapter 18.120.490.

#### ~~A. URBAN WATERFRONT ZONE (UW):~~

- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~

#### ~~B. DOWNTOWN BUSINESS ZONE (DB):~~

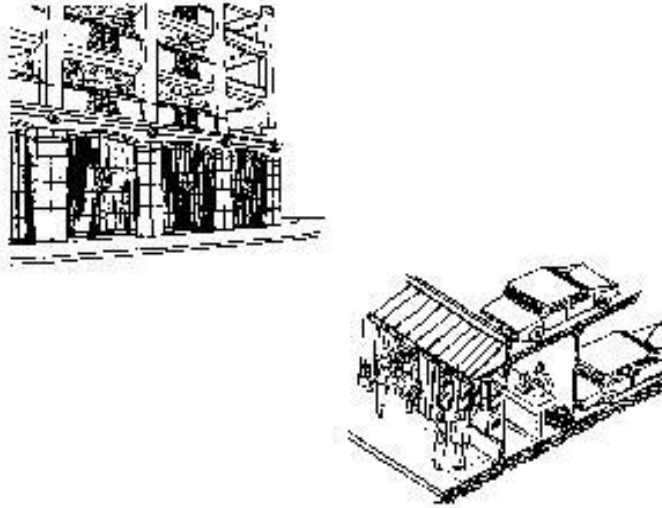
- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~

#### ~~C. RESIDENTIAL MIXED USE (RMU), RESIDENTIAL HIGH-RISE MULTIFAMILY (RMH) DISTRICT, URBAN RESIDENTIAL (UR):~~

- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~

#### ~~D. URBAN WATERFRONT – HOUSING (UW-H):~~

- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~



**Parking Garage facade treated with decorative grill work.  
FIGURE 38-8**

## Chapter 18.76 DESIGN REVIEW BOARD

### 18.76.000 Chapter Contents

#### Sections:

- [18.76.010](#) Established--Purpose.
- [18.76.020](#) Membership and Appointment.
- [18.76.160](#) Voting.
- [18.76.180](#) Joint Review Committee.
- [18.76.200](#) Staff Review.

### **18.76.010 Established--Purpose**

There is hereby established a Design Review Board (the Board) to promote those qualities in the natural environment which bring value to the community; foster the attractiveness and functional utility of the community as a place to live and work; preserve the special character and quality of Olympia by maintaining the integrity of those areas which have a discernible character or are of special historic significance; raise the level of community expectations for the quality of the built environment; encourage originality and creativity in site planning and architecture; communicate these purposes to applicants and assist applicants in achieving these purposes; preserve and enhance property value; ensure that new developments maintain or improve neighborhood character and livability; and consider applicants' needs and goals and the broader public impact of any proposal.

### **18.76.020 Membership and Appointment**

Design Review Board Created - Composition. The Board shall consist of nine (9) members, as follows: two (2) should be architects, seven (7) shall be citizens-at-large.

### **18.76.160 Voting**

The Board may recommend approval, approval with conditions, or denial of any application which comes before it. The Board shall provide its recommendation to the Director, the Hearing Examiner, or to the City Council for Master Planned Development applications. All recommendations shall be issued in writing stating the reasons for the recommendation. The recommendations of the Board shall be made by a majority vote of the quorum present at the time of the decision. A majority of the members shall constitute a quorum for the transaction of business; provided, that at least three (3) shall be required to constitute a quorum excluding any disqualifications. Action may be taken by a majority of those present when those present constitute a quorum at any regular or special meeting of the Board. Any number less than a quorum shall be authorized to convene a meeting at the time set for the purposes of adjournment, recess or continuation of a regular or special meeting to a date and time certain.

### **18.76.180 Joint Review Committee**

A. A Joint Review Committee comprised of five (5) members from the Design Review Board and ~~four~~ (4)five (5) members of the Heritage Commission shall act as the Design Review Board for all structures

within the design review areas which are listed on the Washington Heritage Register, the National Register of Historic Places or the Olympia Heritage Register.

B. Members will be appointed to the Joint Review Committee from the Design Review Board and Heritage Commission for a term of one (1) year by the chairs of each body. Members may be reappointed for subsequent one (1) year terms.

C. The provisions, standards and criteria of OMC [18.12](#), [18.105.020](#), [18.105.030](#) shall apply to any project considered by the Joint Review Committee provided that when a structure listed on a historic register is reviewed, the provisions of Section [18.12.090](#) of the Olympia Municipal Code shall also apply.

#### **18.76.200 Staff Review**

The Department shall be responsible for the administration of this chapter and for providing staff to the Design Review Board and Joint Review Committee. All projects which require design review action shall be coordinated with other affected City departments through the Director as established in Chapter [18.60](#).

## Chapter 18.100 DESIGN REVIEW

### 18.100.000 Chapter Contents

#### Sections:

- [18.100.020](#) Statement of Policy.
- [18.100.040](#) Purpose.
- [18.100.060](#) Projects Subject to Design Review.
- [18.100.080](#) Design Review Districts and Corridors.
- [18.100.090](#) Design Review Process.
- [18.100.100](#) How to Use Design Criteria.
- [18.100.110](#) Submission Requirements.

### **18.100.020 Statement of policy**

The City Council finds that new development can have a substantial impact on the character of the area in which it is located. Some harmful effects of one land use upon another can be prevented through zoning, subdivision regulations and building codes. Other aspects of development are more subtle and less amenable to exacting rules promulgated without regard to specific development proposals. Among these are: the general form of the land before and after development, the spatial relationships of the structures and open spaces on adjacent land uses, and the appearance of buildings, signs and open spaces. Such matters require the timely exercise of judgment in the public interest by people qualified to evaluate the design of a new development.

### **18.100.040 Purpose**

The purposes of design review are:

- A. To promote those qualities in the natural environment which bring value to the community;
- B. To foster the attractiveness and functional utility of the community as a place to live and work;
- C. To preserve the special character and quality of Olympia by maintaining the integrity of those areas which have a discernible character or are of special historic significance;
- D. To raise the level of community expectations for the quality of the built environment;
- E. To encourage originality and creativity in site planning and architecture;
- F. To communicate these purposes to the applicant and to assist the applicant in achieving these purposes;
- G. To preserve and enhance property value;
- H. To ensure that new developments maintain or improve neighborhood character and livability; and
- I. To consider the applicants' needs and goals and the broader public impact of any proposal.



**18.100.060 Projects Subject to Design Review**

A. The following projects are subject to design review:

1. Projects within designated design review districts and corridors, as shown on the Official Design Review Map (See OMC Section [18.100.080](#));
2. Commercial projects adjacent to residential zones;
3. Commercial or residential projects for Heritage Register properties or those within an historic district;
4. Projects with a building area greater than 5000 square feet that require a Conditional Use Permit in a residential zone;
5. Multifamily projects;
6. Single family housing, including designated manufactured homes, on lots less than 5000 square feet or on substandard lots;
7. Dwellings proposed on lots within the area depicted on Figure 4-2a, "Areas Subject to Infill Regulations";
8. Master Planned Developments;
9. Manufactured housing parks;
10. Duplexes, triplexes, fourplexes, townhouses, accessory dwelling units, and cottage housing;
11. All projects within scenic vistas as identified on the official maps of the City (See OMC Section [18.100.110](#)); and,
12. Signs within designated design review districts and corridors or associated with a project that is subject to design review.

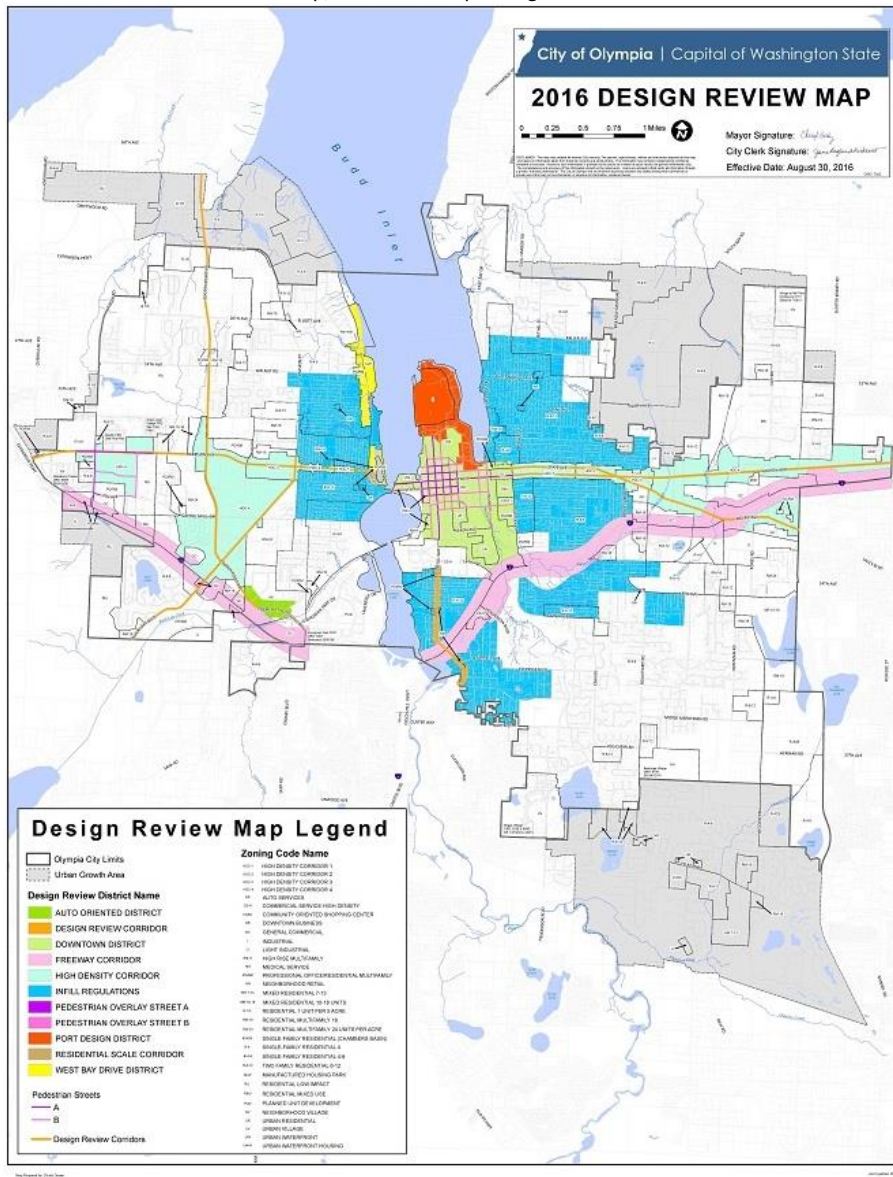
13. For the purpose of design review, projects within the Downtown Design District will be reviewed for consistency with the criteria in Chapter 18.120 only.

B. Exceptions: Evergreen Park PUD; interior work; and projects which do not affect the character, use, or development of the surrounding properties, or the architectural character of the structure, such as fences, parking lots with less than twenty (20) spaces or minor repair or renovation of, or minor additions to, existing structures.

**18.100.080 Design Review Districts and Corridors**

The following districts and corridors are hereby established as Design Review Districts and Corridors: Downtown, Port Peninsula, High Density Corridor 1, 2, 3, and 4 (HDC), High Density Corridor-4 Capital

Mall Area, Freeway Corridor, West Bay Drive, Residential Scale, Auto Oriented, and Infill Districts. Said districts and corridors are defined on the "Official Design Review Districts and Corridors Map," on file with the City Clerk and generally described in the illustration below. In the event of a conflict between this illustration and the official map, the official map shall govern.



**Commented [JP1]:** This map will be replaced once amended to match new Downtown Design District boundary.

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6306 §2, 2004).

#### **18.100.090 Design Review Process**

All projects subject to design review shall be reviewed either by the Design Review Board (DRB), the Joint Review Committee (JRC) or by staff as noted below. The DRB, JRC, or staff shall provide a recommendation to the review authority. The review authority shall give substantial weight to the recommendation of the DRB or JRC. (A project reviewed by the JRC shall not also be reviewed by the Heritage Review Committee.)

A. Projects subject to review by the Design Review Board or Joint Design Review Committee, as described in OMC [18.76.180](#):

1. Any proposed development project located within the following design districts:
    - a. Downtown District; and,
    - b. Residential Scale Design District.
  2. Any proposed building development over 5,000 square feet in gross floor area, located within the following design districts and corridors:
    - a. High Density Corridors;
    - b. West Bay Drive District;
    - c. Auto Mall District;
    - d. Port Peninsula District;
    - e. Freeway Corridor; and,
    - f. Design Review Corridors.
  3. Any multifamily building with five (5) units or more, any townhouse building with five (5) units or more, and any multifamily development with twenty (20) units or more.
  4. All Master Planned Developments.
  5. Projects with a building area greater than 5,000 square feet that require a Conditional Use Permit in a residential zone.
- B. Projects subject to review by Staff:
1. Single family dwellings on lots within the area depicted on Figure 4-2a.
  2. Minor additions or alterations to residential or commercial projects on a Heritage Register or within a Historic District.
  3. Any proposed development of 5,000 square feet or less in gross floor area, and signs in the following design districts and corridors:
    - a. High Density Corridors;

- b. West Bay Drive District;
  - c. Auto Mall District;
  - d. Port Peninsula District;
  - e. Freeway Corridor; and,
  - f. Design Review Corridors.
4. Any other project subject to design review not described in "A" above.

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6491 §12, 2007; Ord. 6408 §37, 2006; Ord. 6306 §2, 2004).

#### **18.100.100 How to Use Design Criteria**

A. Requirements and Guidelines. Each section of the design review chapters consists of a requirement and possibly several guidelines. Compliance with each requirement is necessary; the guidelines provide methods to achieve compliance with the requirement. Applicable guidelines must be incorporated into the project design except in cases where proposed design solutions are considered by the Board and/or staff to be equal to or better than the guidelines, and meet the intent of the requirement. If the project does not conform to the design criteria, the Board and/or staff will indicate the requirements that have not been met.

B. Illustrations. Illustrations contained within specific criteria sections are intended to be in harmony with the text of the same section. In the event of conflict between text and an illustration, the text shall govern.

C. Design Review Criteria Chapters. Design criteria are separated into chapters, depending on whether the development is commercial or residential, and the location or type of that development, as outlined below.

18.105 Historic Structures and Buildings within the Historic Districts. This Chapter applies to structures listed on the Olympia Heritage Register, Washington Heritage Register, and the National Register of Historic Places, and all structures within a Historic District.

18.110 Basic Commercial Design Criteria. This chapter applies to all commercial projects throughout the City that require design review, in addition to the district-specific requirements found in the following chapters, as applicable. It also applies to projects with a building area greater than 5,000 square feet in gross floor area that require a Conditional Use Permit in a residential zone, to commercial projects adjacent to residential buildings, to commercial or residential projects. The design districts are shown on the Official Design Review Districts and Corridors.

18.120 ~~Commercial-Downtown~~ Design Criteria—~~Downtown-District~~. This chapter applies to all commercial, ~~mixed use, and residential~~ projects that require design review that are located in the Downtown Design Review District. ~~In addition, commercial projects in the Downtown Design District may also be subject to the requirements of Chapter 18.16, Pedestrian Streets.~~

18.130 Commercial Design Criteria - High Density Corridors. This chapter applies to all projects that require design review that are located in the HDC districts.

18.135 Commercial Design Criteria - Residential Scale District. This chapter applies to all projects that require design review that are located in the Residential Scale District.

18.140 Commercial Design Criteria - Auto Oriented District. This chapter applies to all projects that require design review that are located in the Auto Oriented District.

18.145 Commercial Design Criteria - Freeway Corridor. This chapter applies to all projects that require design review that are located in the Freeway Corridor District.

18.150 Commercial Design Criteria - Port Peninsula. This chapter applies to all projects that require design review that are located in the Port Peninsula design review district. This chapter contains the only design criteria that apply to the Port Peninsula.

18.155 Commercial Design Criteria - West Bay Drive District. This chapter applies to all projects that require design review that are located in the West Bay Drive District.

18.170 Residential Design Criteria - Multifamily. Design criteria contained in this chapter (Sections [18.170.030](#) - 18.170.160) apply to all multifamily residential buildings with five or more units and any multifamily development with twenty (20) units or more throughout the city. Projects of this type and size are reviewed by the Design Review Board.

18.175 Residential Design Criteria - Infill and other residential. Sections [18.175.020](#) through [18.175.060](#) of this chapter apply to single-family dwellings, including designated manufactured housing, proposed on lots within the area depicted on Figure 4-2a, on lots less than 5000 square feet, or on substandard lots, duplexes, triplexes, fourplexes, and townhouse buildings of four (4) units or less throughout the city. Sections [18.175.080](#) and [18.175.090](#) apply to accessory dwelling units throughout the city. Section [18.175.100](#) applies to cottage development.

18.180 Residential Design Criteria - Manufactured home parks. This chapter applies only to manufactured home parks.

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6581 §8, 2008; Ord. 6491 §13, 2007; Ord. 6306 §2, 2004).

#### **18.100.110 Submission Requirements**

- A. Conceptual Design Review. Applications for review of the Conceptual Design shall be filed with the Department as part of a land use review application on forms provided by the Department.
- B. Detailed Design Review. Applications for review of the Detailed Design shall be submitted to the Department prior to or at the same time as a building permit application on forms provided by the Department.
- C. Combined Conceptual & Detailed Design Review. For those projects which have had a presubmission conference, do not have any apparent environmental issues, (such as those listed in the Critical Areas Ordinance, Title 14.10, or transportation issues), and which do not require a public hearing, upon request by the applicant and with the concurrence of staff, the Design Review Board may conduct both Conceptual and Detailed Design Review of a project at the time of Land Use Review.

D. Time Limitations. Except in cases where the applicant agrees to an extension of time, the Design Review Board shall have a public meeting on an application for a major project within thirty (30) days after an application is deemed complete pursuant to OMC [18.72](#).

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6306 §2, 2004).



Chapter 18.120  
~~COMMERCIAL DESIGN CRITERIA DOWNTOWN~~ Revised 3/19

~~18.120.000 Chapter Contents~~

~~Sections:~~

- ~~18.120.020 Setbacks.~~
- ~~18.120.030 Waterfront view corridors.~~
- ~~18.120.040 Parking lots.~~
- ~~18.120.050 Building design.~~
- ~~18.120.060 Building materials.~~
- ~~18.120.070 Building design Building rhythm.~~
- ~~18.120.080 Building orientation.~~
- ~~18.120.090 Awnings, canopies, and marquees.~~
- ~~18.120.100 Walkways.~~
- ~~18.120.110 Pedestrian access from parking areas.~~
- ~~18.120.120 Waterfront public access.~~
- ~~18.120.130 Visual context of streetscape.~~

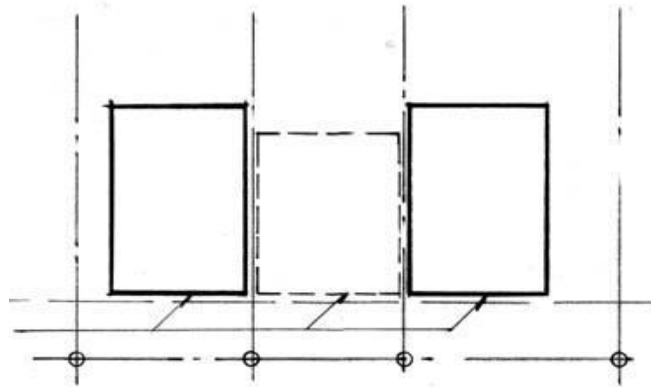
**~~18.120.020 Setbacks~~**

~~A. REQUIREMENT: Maintain the continuity of the streetscape with the setbacks of buildings.~~

~~B. GUIDELINES:~~

- ~~1. Align buildings according to the existing pattern.~~
- ~~2. Use walls, railings, planters, or other built and landscape elements at the property line if the building or a portion of it is set back from the property line.~~

~~(See Also Pedestrian Streets Overlay, Chapter 18.16.)~~



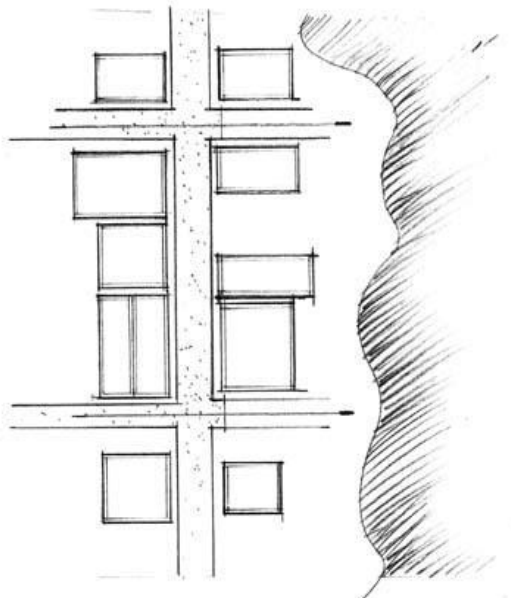
**FIGURE 18.120.020**

**~~18.120.030 Waterfront view corridors~~****~~A.— REQUIREMENT:~~**

~~On waterfront sites, provide for public view corridors of Capitol Lake and Budd Inlet. All development shall incorporate into the site and building design both territorial and immediate views for significant numbers of people from public rights-of-way. (EXCEPT: Intermittent or partial views of the water may not be deemed necessary to incorporate into the site and building design.) See Scenic Vista overlay zoning maps, which are available at the Community Planning and Development Department. (See also Pedestrian Streets Overlay, OMC 18.16)~~

**~~B.— GUIDELINES:~~**

- ~~1.— Locate buildings on the site and design roofs so that they do not interfere with views and vistas.~~
- ~~2.— Design and site waterfront buildings to avoid blocking view corridors on adjacent streets that point toward the water.~~

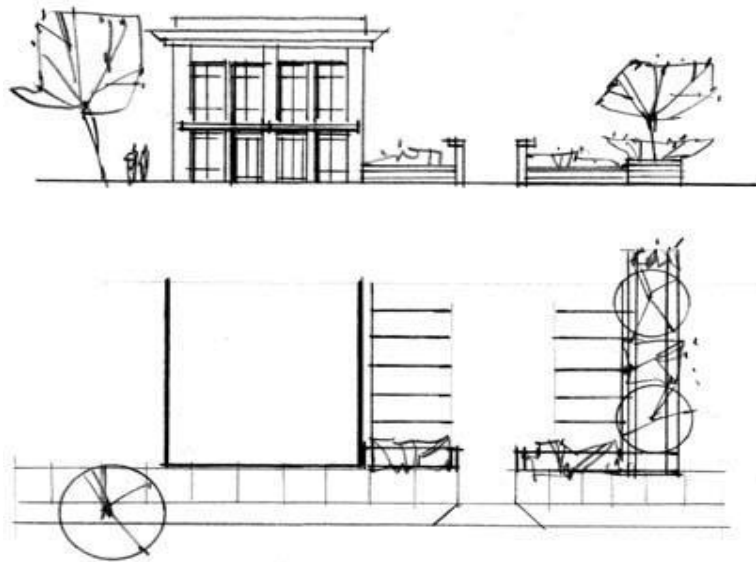
**FIGURE 18.120.030****~~18.120.040 Parking lots~~**

~~A.— REQUIREMENT: Locate and design parking lots which maintain the visual continuity of the street and do not create vacant space in the street pattern. Allow for both pedestrian and vehicular circulation, and provide clear access between parking and the principal building(s) on the site.~~

~~(See also Section 18.38.160, Specific Zone District Requirements, and Chapter 18.16, Pedestrian Streets Overlay.)~~

**~~B. GUIDELINES:~~**

- ~~1. Minimize the width of parking lots located adjacent to the street.~~
- ~~2. Screen parking lots which abut the street with hedges, fences, raised planters, or low walls combined with plantings. These screening materials shall not obscure vehicular sight lines as a safety requisite. (See Section 18.38.200, Parking Facility Location.)~~

**FIGURE 18.120.040****~~18.120.050 Building design~~**

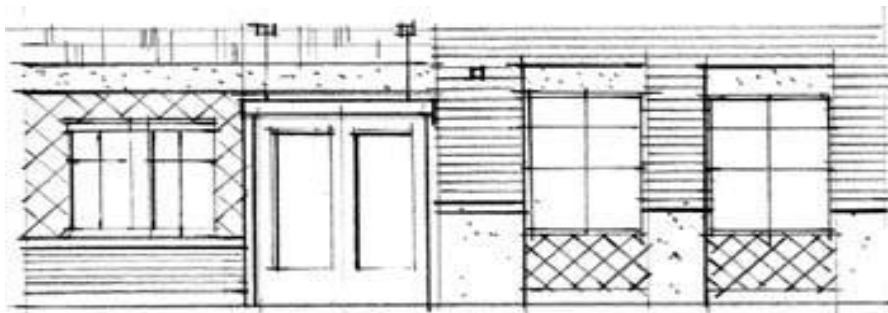
~~A. REQUIREMENT: Buildings must have streetscape characteristics, such as pedestrian-oriented businesses and/or shops, corner entries, and building edges abutting the sidewalk. For additional Building Design requirements please refer to:~~

- ~~1. Development Standards in the zoning district where the project is located, and,~~
- ~~2. Pedestrian Streets Overlay District (OMC 18.16).~~

**FIGURE 18.120.050****18.120.060 Building materials**

**A. REQUIREMENT:** Maintain the character of the existing downtown buildings by using similar enduring materials such as stone, brick, and stucco.

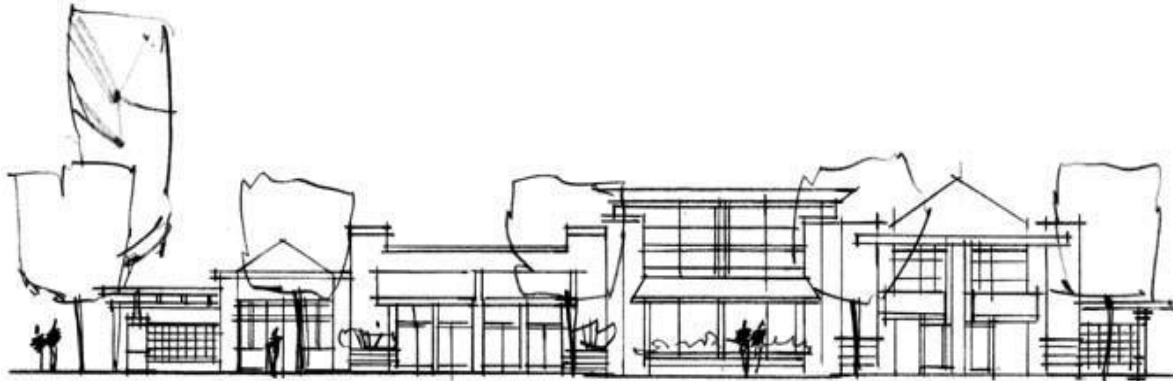
**B. GUIDELINE:** Applied brick tiles or exterior insulation finish system (EIFS) that attempt to give the appearance of genuine masonry or stucco are not preferred. Decorative ceramic tiles may be used as accent features.

**FIGURE 18.120.060-A****FIGURE 18.120.060-B**

### **~~18.120.070 Building design—Building rhythm~~**

~~A.— REQUIREMENT: Create visually interesting street walls with variations in horizontal and vertical wall surfaces. Use architectural elements that clearly define a base at street level.~~

~~B.— GUIDELINE: Provide variation in fenestration, architectural elements, building materials, and/or building planes at varying intervals. (See also Basic Commercial Design Criteria, 18.110.080 Maintaining Human Scale, for additional direction.)~~



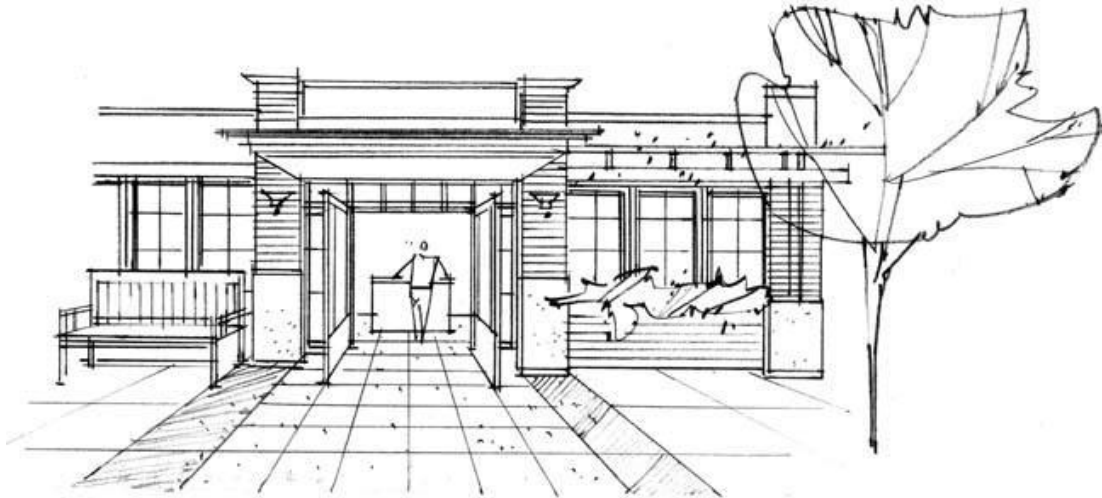
**~~FIGURE 18.120.070~~**

### **~~18.120.080 Building orientation~~**

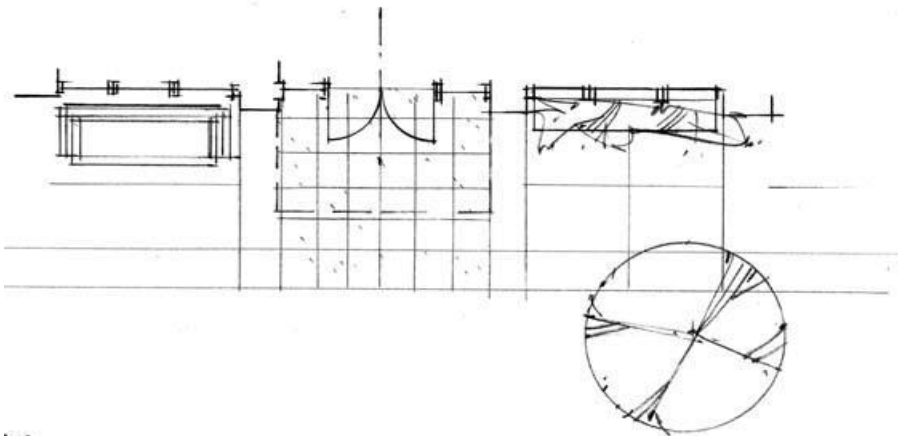
~~A.— REQUIREMENT: Orient the primary building entrance and active uses such as retail storefront window displays or restaurants to the street. (See also Chapter 18.16, Pedestrian Streets Overlay District.)~~

#### **~~B.— GUIDELINES:~~**

- ~~1.— Provide views and access into interior activities of the building from the street. Use a high proportion of glazing at the street level for displays or to reveal services available.~~
- ~~2.— Use landscaping, surface texture, or art work on buildings where revealing active uses is inappropriate.~~



**FIGURE 18.120.080-A**



**FIGURE 18.120.080-B**

### **~~18.120.090 Awnings, canopies, and marquees~~**

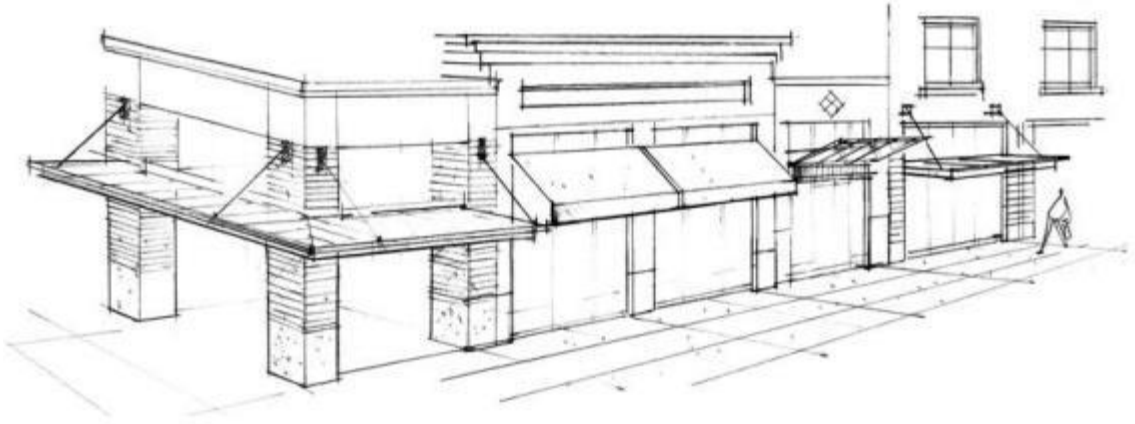
~~A.— REQUIREMENT: Provide awnings, canopies, and marquees on buildings that abut the sidewalk. (See also Chapter 18.16, Pedestrian Streets Overlay District.)~~

#### ~~B.— GUIDELINES:~~

- ~~1.— Maintain the visual and spatial horizontal plane of the street by employing a horizontal alignment of awnings, canopies, and marquees in areas where they are an existing element in the street pattern.~~
- ~~2.— Select awnings, canopies, and marquees which emphasize the architectural and/or historical character, color, and material of the building without covering or obscuring details of the facade.~~



~~3. Provide continuity of coverage on both sides and the corner when a building is located on a corner.~~



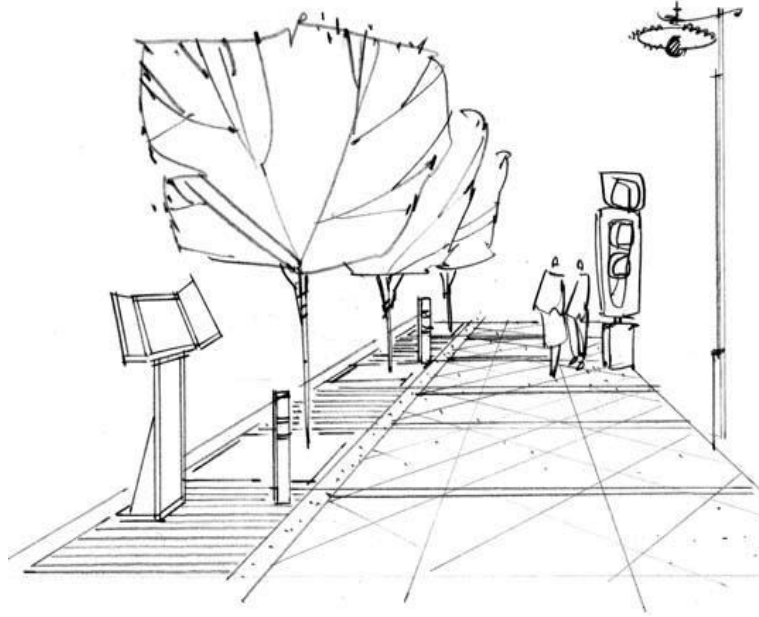
**FIGURE 18.120.090**

### **~~18.120.100 Walkways~~**

~~A. REQUIREMENT: Provide character and visual diversity to walkways.~~

~~B. GUIDELINES:~~

- ~~1. Vary sidewalk colors and materials by combining pavers, brick, stone, exposed aggregate and other materials set in geometric or free form patterns.~~
- ~~2. Identify street and driveway crossings through changes in colors, materials, or patterns.~~
- ~~3. Separate the pedestrian from the street by the use of planters, bollards, or similar elements at the street edge of the sidewalk.~~
- ~~4. Provide alleys with lighting, plantings, and paving materials in areas of the City where the alley is or may be used as a pedestrian link.~~
- ~~5. Incorporate information about historic events or structures into the walkway by use of plaques, signs, and art work.~~



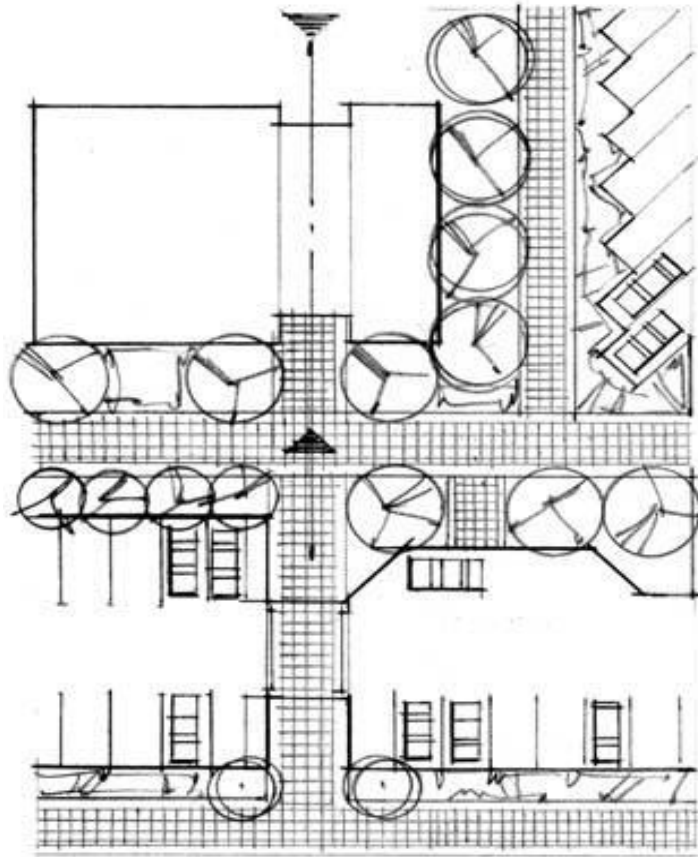
**FIGURE 18.120.100**

### **~~18.120.110 Pedestrian access from parking areas~~**

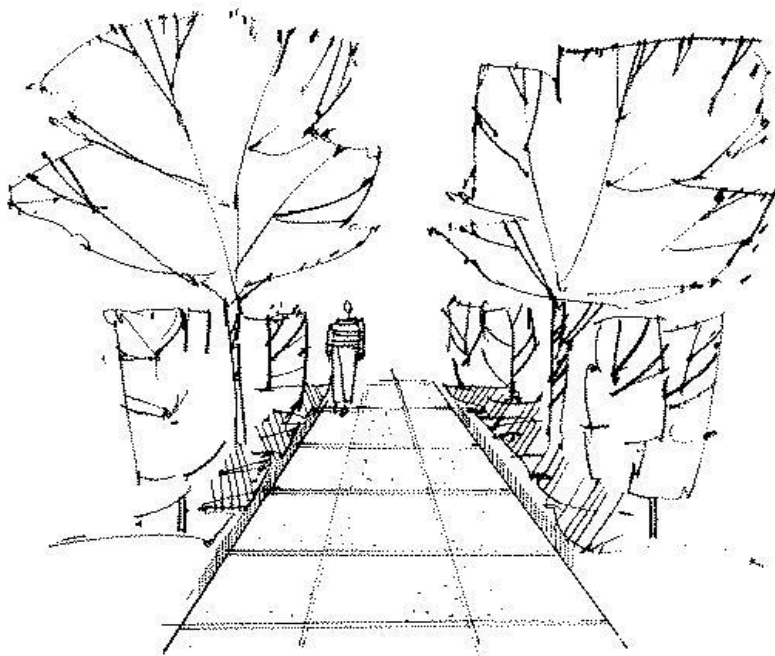
~~A.— REQUIREMENT: Provide direct and visible pedestrian access through parking areas to building entrances and to adjoining pedestrian ways. Minimize crossings of traffic lanes.~~

#### ~~B.— GUIDELINES:~~

- ~~1.— Provide sidewalks through parking bays.~~
- ~~2.— Define walkways with vertical plantings, such as trees or shrubs.~~
- ~~3.— Use materials, textures, patterns, or colors to differentiate pedestrian paths from parking areas. Use non-slip materials.~~
- ~~4.— Emphasize the entrance to the building by the use of paving materials and landscaping. Avoid locating parking spaces directly in front of the building entrance or in such a way as to interfere with entrance visibility and access.~~
- ~~5.— Use signs to direct customers to the building entrances and back to the parking areas.~~



**FIGURE 18.120.110-A**



**FIGURE 18.120.110-B**

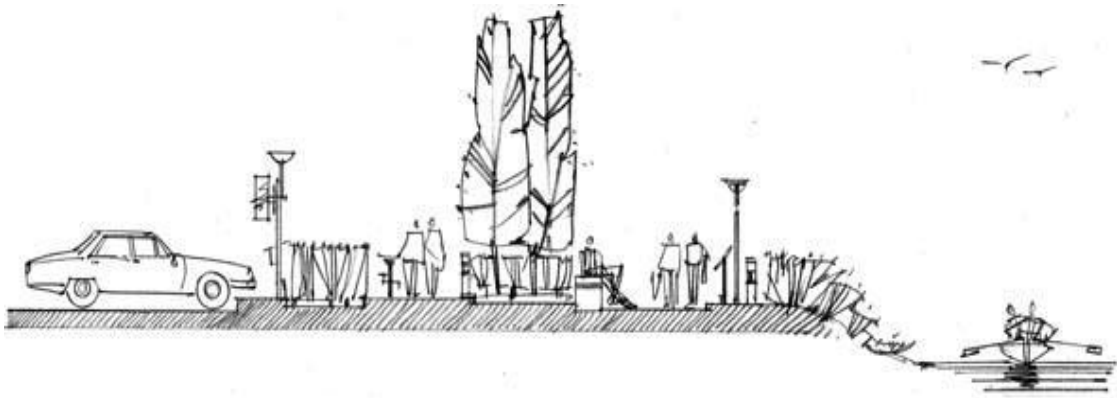
**~~18.120.120 Waterfront public access~~**

~~A.—REQUIREMENTS: On waterfront sites used for commercial, residential, or recreational uses, incorporate shoreline public access pursuant to the goals of the Shoreline Management Act in a manner roughly proportionate to the impact created by the development.~~

~~B.—GUIDELINES:~~

~~1.—Provide a water-edge trail and view corridors.~~

~~2.—Provide public access to the water-edge trail and/or view corridors.~~

~~3.—Provide necessary improvements appropriate to these facilities, such as signage, seating, and lighting.~~
**FIGURE 18.120.120****~~18.120.130 Visual context of streetscape~~**

~~A.—REQUIREMENT: Develop visual linkages between adjacent properties through building design, street trees, and streetscape improvements.~~

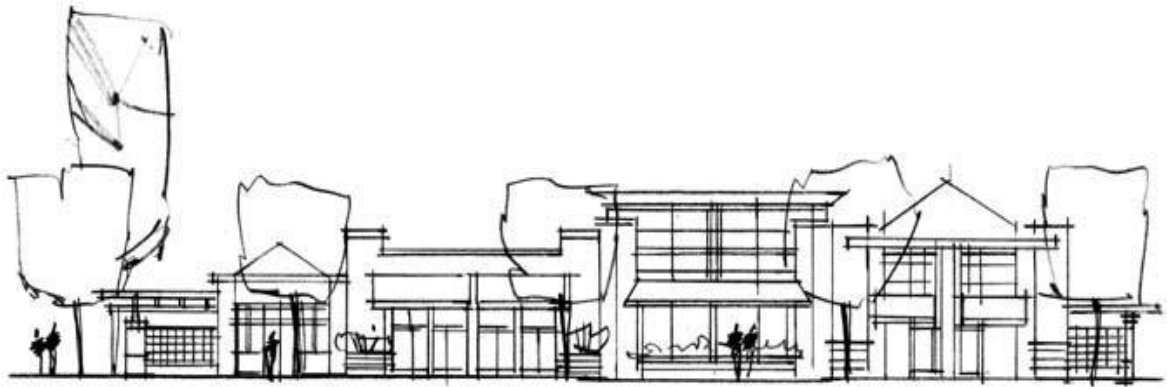
~~B.—GUIDELINES:~~

~~1.—Link dissimilar buildings by using common elements of existing development. Maintain setbacks from the street; repeat or incorporate similar proportions and scale of buildings; use similar exterior materials, paving materials, and lighting standards.~~

~~2.—Plant the same or similar street trees to maintain the continuity of the street.~~

~~3.—Continue walls, screening, and planters where they exist.~~

~~4.—Repeat common elements and/or materials of landscape design.~~



**FIGURE 18.120.130**

Chapter 18.150  
PORT PENINSULA Revised 3/19

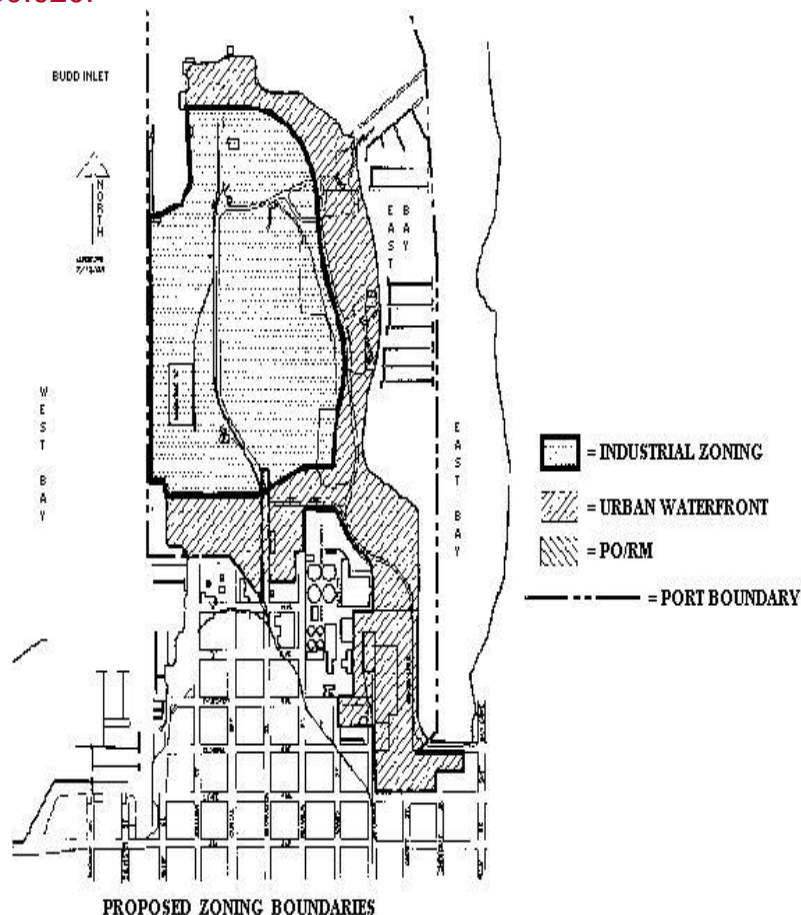
18.150.000 Chapter Contents

Sections:

- 18.150.020 Design guidelines.
- 18.150.030 Site design - Pedestrian connections.
- 18.150.040 Site design - Lighting.
- 18.150.050 Site design - View corridors.
- 18.150.060 Building design - Creation of human scale.
- 18.150.070 Building design - Color and materials.
- 18.150.080 Landscape design.
- 18.150.090 Building design - Landscape design - Suitability of materials.

**18.150.020 Design Guidelines**

The following guidelines apply to the Port of Olympia's Urban Waterfront-zoned properties on the Port Peninsula, and are the only City design guidelines which apply to the Port Peninsula. These guidelines were developed in a cooperative effort between the City and the Port. A map indicating the Urban Waterfront-zoned properties is shown on Figure 18.150.020.



**FIGURE 18.150.020**

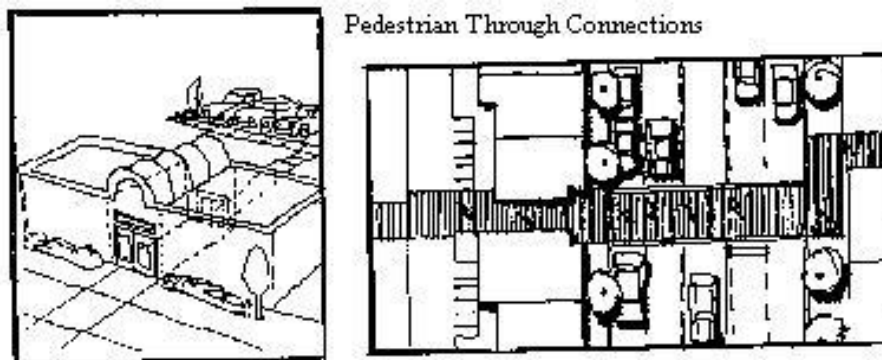


### **~~18.150.030 Site design—Pedestrian Connections~~**

~~A. REQUIREMENT: Incorporate pedestrian access into the site plan where pedestrian access exists and where site security is not in questions.~~

~~B. GUIDELINE:~~

- ~~1. Incorporate cross-site pedestrian connections within projects where feasible.~~
- ~~2. Coordinate signing to facilitate movement of pedestrians through the site and vehicles around the site.~~
- ~~3. Provide walkways through parking bays and adjacent to planters.~~
- ~~4. Define walkways with vertical plantings, such as trees or shrubs.~~



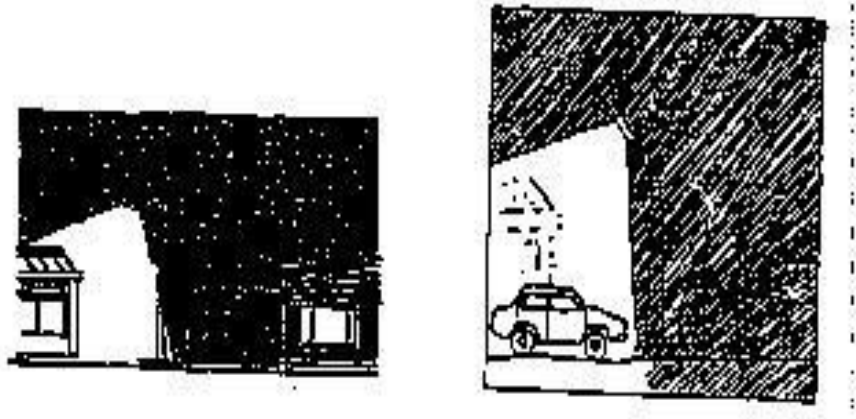
**FIGURE 18.150.030**

### **~~18.150.040 Site design—Lighting~~**

~~A. REQUIREMENT: Accent structures, as well as provide visibility, security, and conserve energy with lighting.~~

~~B. GUIDELINE:~~

- ~~1. Use lighting to accent key architectural elements or to emphasize landscape features.~~
- ~~2. Add adequate lighting to sidewalks and alleys, to provide for well lighted pedestrian walkways in accordance with Chapter 4 of the Engineering Design and Development Design Standards.~~
- ~~3. Locate lighting so as not to have a negative impact on adjacent properties such as shining off site into adjacent buildings.~~



**FIGURE 18.150.040**

### **~~18.150.050 Site Design—View Corridors~~**

**~~A. REQUIREMENT:~~** Provide for public view corridors of the Capitol Building, Olympic Mountains and Budd Inlet.

**~~B. GUIDELINE:~~**

~~1. Intermittent or partial views to the scenic vistas mentioned above may not be deemed necessary to incorporate into the site and building design.~~

~~2. Refer to the Scenic Vista overlay zoning maps available at the Community Planning and Development Department.~~

### **~~18.150.060 Building Design—Creation of Human Scale~~**

**~~A. REQUIREMENT:~~** Use design elements that result in buildings with a perceived size that maintains a human-scale street that is comfortable for pedestrians and attractive to them.

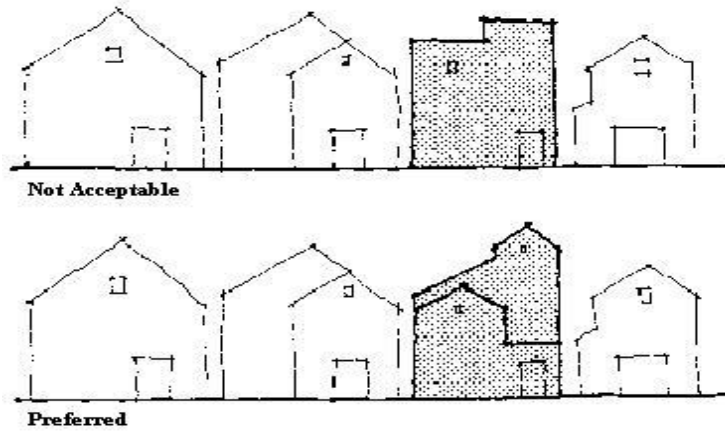
**~~B. GUIDELINE:~~**

~~1. Use articulation on building facades to achieve smaller building massing. Methods include:~~

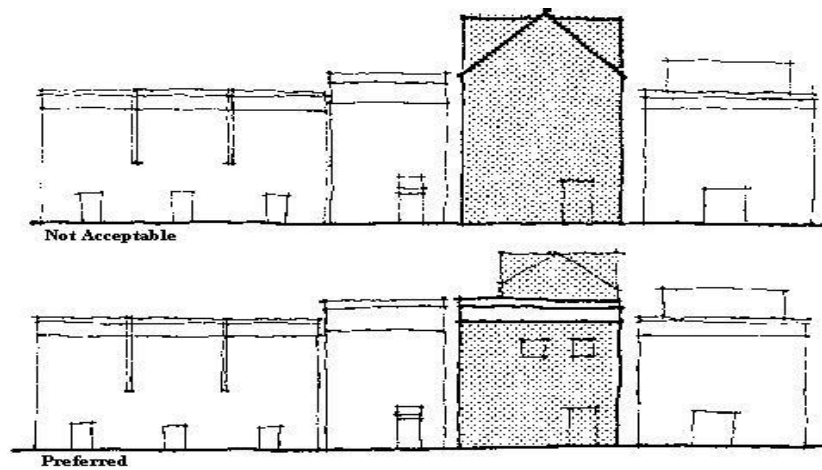
~~a. Modulation;~~

~~b. Broken rooflines; and~~

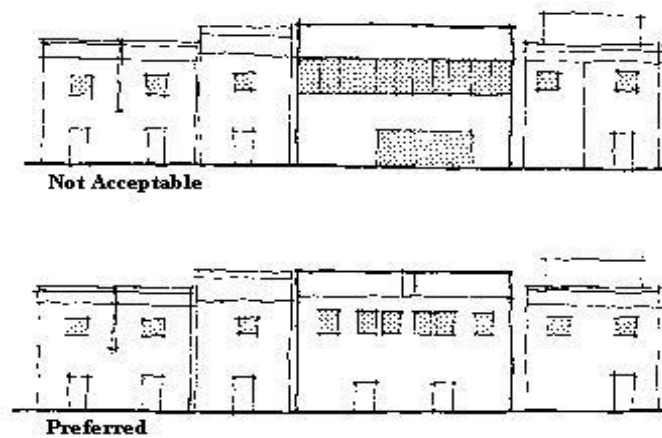
~~c. Building elements such as balconies, chimneys, porches or other entry details, and landscaping.~~



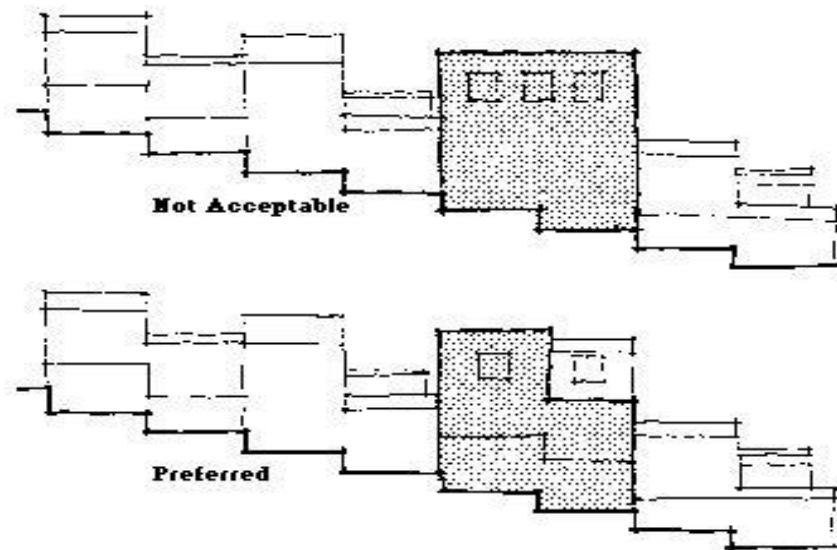
Rooflines can reinforce the architectural character of a street.  
**FIGURE 18.150.060-A**



Architectural features like cornices can relate to adjacent buildings, lowering the apparent, conflicting height of the building.  
**FIGURE 18.150.060-B**

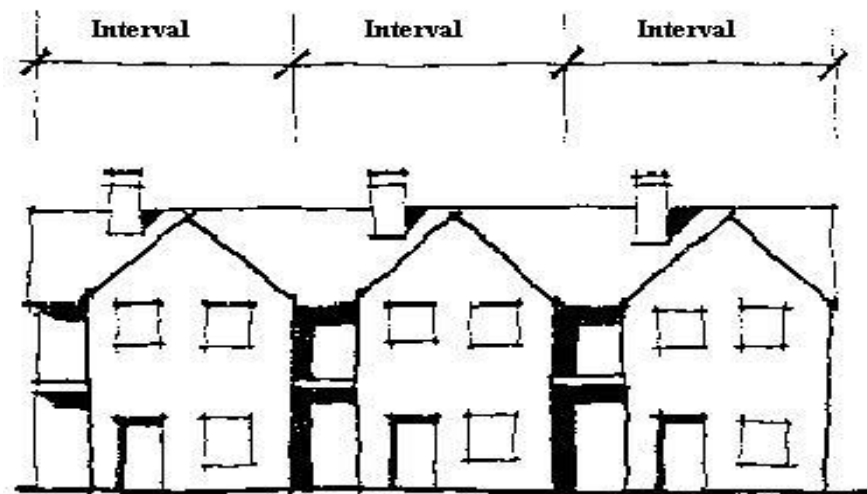


**FIGURE 18.150.060-C**



The pattern and proportion of windows, doors and other glazed areas (fenestration) is important in determining the building's architectural character. Following the proportion and pattern of neighboring buildings will increase the consistency of the overall streetscapes.

**FIGURE 18.150.060-D**



This building is articulated into intervals. Articulation methods include modulation, broken rooflines, building elements (chimneys, entries, etc.) and landscaping.

**FIGURE 18.150.060-E**

### **18.150.070 Building Design—Color and Materials**

A.—REQUIREMENT: Using appropriate color and material on new and remodeled buildings. Use subdued colors on exterior building walls and large surfaces.

**~~B.—GUIDELINE:~~**

- ~~1.—Reserve bright colors for trim or accents.~~
- ~~2.—Avoid large expanses of highly tinted or mirrored glass (except stained-glass windows). Use of tinted glass as an accent is acceptable.~~
- ~~3.—Avoid use of reflective exterior materials (except windows) where glare would shine into nearby buildings.~~

**~~18.150.080 Landscape Design~~**

~~A.—REQUIREMENT: Use plants as screening, canopy, and as space-defining elements.~~

**~~B.—GUIDELINE:~~**

- ~~1.—Plantings and paving can serve to define the appropriate location for pedestrian and vehicle traffic.~~
- ~~2.—Plantings such as street trees, hedges and screening hedgerows can be used to create and reinforce the functional definition of the site plan.~~
- ~~3.—Repeating landscape material throughout the project can unify the development.~~
- ~~4.—Parking lots can be divided into smaller lots with separations created by grouping landscaping and trees as buffers between parking areas. Where large planting areas are impractical or inefficient, canopy trees can be planted in protected planting locations.~~

**~~18.150.090 Building Design—Landscape Design—Suitability of Materials~~**

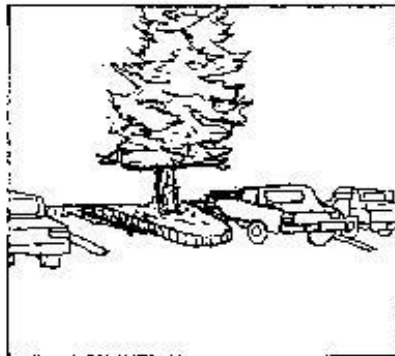
~~A.—REQUIREMENT: Plant materials shall be suited to the climate and at their mature, natural size, suitable for their planting location.~~

**~~B.—GUIDELINE:~~**

- ~~1.—Select trees for parking lots and sidewalk areas which do not interfere with the visibility and movement of vehicles or pedestrians.~~
- ~~2.—Avoid trees which may create problems by dropping fruit or seeds, have brittle wood, and/or cause pavement or other hard surfaces to heave.~~
- ~~3.—Use shrubs or vines trained to grow upright on wires or trellises (espaliers) next to blank walls with narrow planting areas.~~

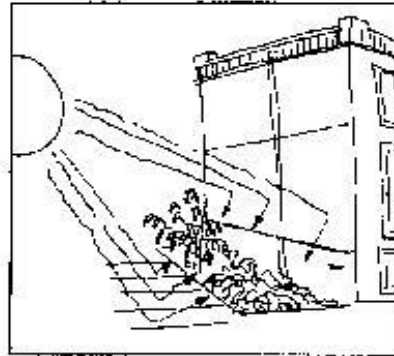
4.— Projects must also comply with the adopted Street Tree Plan, and the Landscaping and Screening Chapter of the Olympia Zoning Code 18.36 for more information on landscaping requirements.

5.— Choose hardy plant materials that can survive the effects of building or large paved areas (in terms of heat, shade, wind, etc.)



**Acceptable**

**Trees should not interfere with visibility for vehicles and pedestrians.**



**Not Acceptable**

**Plant choices should be suited to the site conditions.**

**FIGURE 18.150.090**



**From:** [Robert Hanlon](#)  
**To:** [Joyce Phillips](#)  
**Subject:** Downtown Design Guidelines Comments  
**Date:** Wednesday, November 13, 2019 8:52:18 AM

**External Email Alert!**

This email originated from a source outside of the City's network. Use caution before clicking on links or opening attachments.

Hello,

Just wanted to say that the Downtown Design Guidelines after a quick read through seem to be well developed and address several issues I have with typical new construction; mainly not creating inviting communal space, and not warranting adequate privacy (groundfloor dwellings).

One concern/comment I had pertains to a specific issue I see here in Ballard (Seattle): The rapid emergence of corporate / chain shopping and consumer stores in areas which seemingly have no need. Ballard has, within 1 sq. mile, Walgreens / Bartells / Ballard Market / Safeway / QFC / Trader Joes / Ross / Fred Meyers / Office Max + countless other retail stores when extending another mile or so. Now, with 2 new development projects, they just added a Target/CVS in the downtown area, and apparently a HomeGoods store.

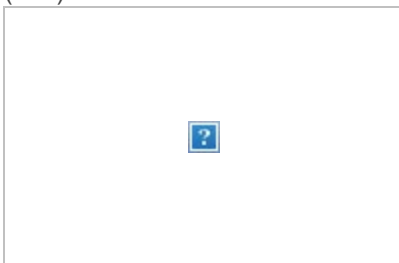
In an area with increasing homelessness, NO parking, and countless small businesses, how is this strategy of bringing more large stores sustainable, let alone equitable for the neighborhood? My super powers foresee a near future where many of the small businesses, especially boutique clothes / furniture / antiques and even the local Ballard Market could be adversely impacted and forced to close do to minions choosing to shop at Target and Home Goods...

Does Olympia have plans to consider limiting 'large' / corporate retail developments in growing areas similar to Ballard? OR plan these new retail developments closer to neighborhoods which do not presently have such an existing density?

Thanks for your amazing work in creating a more equitable development strategy!

--

**Robert Hanlon**  
*Curious Scientist & Passionate Engineer*  
 (440) 667-4529



“the Earth is all powerful; it wasn’t made *for* Human beings, it is that we are *part* of it...”

**From:** [Anna](#)  
**To:** [Joyce Phillips](#)  
**Subject:** RE: Draft Downtown Design Guidelines  
**Date:** Thursday, January 16, 2020 9:10:07 AM

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**External Email Alert!**

This email originated from a source outside of the City's network. Use caution before clicking on links or opening attachments.

I would really love to see the section on building color revisited. We live in a community that is gray and dreary much of the year. Allowing vibrant colors as primary options as opposed to just accents adds to the vibrancy of our downtown and makes folks feel cheerful during the dreary season.

I commute from the westside into downtown daily and the increase in large-scale buildings that are drab shades of brown or gray makes me feel incredibly depressed every time. We need to go the opposite direction of buildings like 1234, rather than having everything mimic those shades.

Think about other communities with similar climates, like Scandinavian countries where the use of color enhances their towns and cities. We also have an incredibly artistic community and allowing them to play with color should be encouraged.

Thank-you!  
-Anna



Candi Millar, Chair  
 Olympia Planning Commission  
 % City of Olympia  
 601 4th Ave E, Olympia, WA 98501

RE: Downtown Design Guidelines public comment

Dear Chair Millar, and members of the Planning Commission:

Thank you for the opportunity to comment on the Downtown Design Guidelines, I have reviewed the document and I attended the open house hosted by staff on January 23. While I appreciate the detail and thoroughness of the planning document, I have some serious concerns about what is missing from the Guidelines.

Specifically, Olympia and the world are in a Climate Emergency. I believe, and I think the City Council and majority of residents would agree, that Olympia should review *every* policy and decision through the lens of climate change mitigation and adaptation, and make appropriate changes to adapt to the crisis. As far as I can tell, climate change is not mentioned in the document anywhere; instead there should be a robust section describing the crisis and what it means for downtown building and infrastructure design.

Furthermore, the Guidelines themselves should be altered to reflect the growing threat posed by climate change.

The biggest concern I have is the focus on building modulation to achieve visual interest and reduce massing, without consideration of energy efficiency. One of the biggest factors affecting the energy efficiency of buildings is the surface to volume ratio, because lower surface to volume reduces exposure to cooler/hotter air outside thus preventing heat loss. Building modulation also increases the number of corners, edges, and windows, all of which increases framing, the number of details within the wall and most importantly opportunities for air leakage and heat loss. More framing lumber increases air infiltration and heat loss through gaps in insulation as well as thermal bridging through framing elements (conductive heat loss passing through wood which is more conductive than insulation). In residential buildings, building modulation (especially deeply recessed modulations, see 18.120.440.B.9) increases the number of windows which increases heat loss, since windows have far lower R-value (insulative quality) than walls.

Of course architectural interest, views and beauty are important goals which the guidelines should reflect. However, instead of relying heavily on modulation to create visual interest and enhance views, buildings should be required or encouraged to have a simple cubical form that minimizes the surface to volume ratio, the amount of corners and edges. Interesting visual articulation can be achieved in a number of other ways that do not compromise energy efficiency, such as balconies, walkways, porches, staircases, mechanical pods/chases that are extended outside of the building envelope, rather than intruding into it (thus increasing building complexity). The guidelines could lean more heavily on changes in materials, siding style, color, art, window patterns and styles, exterior vertical elements, *false* roofline modulation, and other design techniques.

Rather than saying “balconies that appear to be tacked on the facade will not qualify” (18.120.440.B.2), require balconies designed to appear as part of the facade, and allow them to qualify. Increase, rather than decrease maximum facade width, and reduce or eliminate requirements for modulation to break up building massing. Instead, require other architectural strategies mentioned in the previous paragraph to create a more varied visual appearance without compromising the simple cubical form ideal for energy efficiency.

A co-benefit of reducing or altering the requirements for building modulation/articulation would be decreased costs for builders and increased floor area, which could contribute to the financial viability of housing projects. With energy code requirements steadily increasing, forcing modulation that reduces energy efficiency will cause them to rely on more expensive measures to achieve the required levels of efficiency, such as more energy efficient windows and HVAC systems. While modulated buildings can be designed and built to very high levels of efficiency, it is more technically challenging for designers, contractors and workers, which increases services and labor costs to the builder (which are passed on to consumers). Money saved from reduced modulation could be spent instead on other ways of creating visual interest mentioned above.

I’m not saying we should eliminate building modulation entirely. You could provide three pathways for building designers to choose from, either:

- a) Simple cubical building form articulated with extended balconies, vertical features and variation in materials and facade patterning, which optimizes cost-effective energy efficiency
- b) Building modulation treatments. Be advised energy codes require effective airsealing, thermal breaks, insulation, high-performance windows and overall energy efficiency that will be significantly more costly than the previous pathway.
- c) A combination of the two that minimizes surface to volume ratio

There are a number of places in the guidelines where these principles should be applied, I will not attempt to enumerate them all. It’s the goal of enabling maximum energy efficiency that counts. By the way, other than enhancing views, more energy efficient buildings greatly

improve their healthfulness, as well as the comfort, productivity and satisfaction of people occupying those buildings.

Other design features that would contribute to greater energy efficiency:

- Reflective roofs
- Requiring “solar zones” on rooftops as reflected in 2015 International Residential Code, Appendix S - not adopted by City of Olympia but may be this year
- Passive solar design strategies to optimize solar gain in winter and minimize it in summer, by site orientation of buildings, use of shading overhangs over windows and balcony doors, use of clerestory
- Requiring buildings be designed to protect to the maximum extent practicable, the solar access of neighboring buildings.

Beyond energy efficiency, there are a number of other design guidelines which are missing or could be enhanced in the document that would improve overall environmental and public health outcomes of these buildings. I don't have time to detail them all prior to sending these comments to you, but I will continue to be engaged, bring more information forward, and support the process as it unfolds. These features include:

- Biophilic design (biomimicry and biomimetics) - incorporate living plants, natural elements (such as wood, stone and other natural materials), nature-inspired art, and green infrastructure into designs to improve. Another feature would be undulating (non-linear) articulation in building articulation, weather protection, walkways.
- Green roofs and rooftop gardens
- Require stormwater treatment on-site (See Low-Impact Development code) including pervious pavement on walkways, draining to bioretention cells or rain gardens, use of native drought tolerant plants in landscaping.
- Require bicycle parking and storage
- Incorporate food-growing capacity into multifamily and pedestrian open space

Some of these features could and should be addressed through the development code, but would be good to mention in the guidelines in order to reinforce the alignment with other codes.

Finally, the Downtown Design Guidelines should be considered and altered in relation to the principles and practices embodied in the EcoDistrict Protocol (see attached executive summary and visit [www.EcoDistricts.org/protocol](http://www.EcoDistricts.org/protocol) to download the full document). As you may know my organization and another non-profit, The Commons at Fertile Ground, have endorsed and are working to establish a Downtown Olympia EcoDistrict that would include the Downtown Core, Residential Neighborhoods and perhaps other areas of downtown into an overarching vision for a resilient, equitable, and climate-protective downtown area that achieves sustainability at a neighborhood scale through energy, water, transportation, open space, urban food production, and a number of other strategies. It would be ideal if the City were to officially endorse the Downtown EcoDistrict Initiative and incorporate the framework, imperatives and priorities into the Downtown Design Guidelines, development code and capital facilities plan.

Those are my comments for now. I will attend the February 10 Hearing on the Guidelines and offer additional comments and assistance at that time.

Thank you for your consideration,

Chris van Daalen, Chair  
South Sound Chapter  
NW EcoBuilding Guild  
(360) 789-9669  
[southsoundchapter@ecobuilding.org](mailto:southsoundchapter@ecobuilding.org)





# The EcoDistricts Protocol

## EXECUTIVE SUMMARY

June 2014





# Executive Summary



The district is the optimal scale to accelerate sustainability — small enough to innovate quickly and big enough to have a meaningful impact.

The EcoDistricts approach is a comprehensive strategy to accelerate sustainable development at the neighborhood<sup>1</sup> scale by integrating building and infrastructure projects with community and individual action. They are an important scale to accelerate sustainability — small enough to innovate quickly and big enough to have a meaningful impact.

District-scale projects, such as district energy, green streets, smart grid, demand management and resource sharing, are well known. However, the widespread deployment of these strategies has been slow to develop due to a lack of comprehensive policy or implementation frameworks at the municipal level.

EcoDistricts (formerly Portland Sustainability Institute) launched in 2009 as an initiative to help cities remove these implementation barriers and create an enabling strategy to accelerate neighborhood-scale sustainability.<sup>2</sup> Success requires a comprehensive approach that includes active community participation, assessment, new forms of capital and public policy support.

EcoDistricts include the following phases:

1. District Formation
2. District Assessment
3. District Projects
4. District Management

The EcoDistricts approach is a new model of public-private partnership that emphasizes innovation and deployment of district-scale best practices to create the neighborhoods of the future - resilient, vibrant, resource efficient and just.

The economic benefits of sustainability investments create significant competitive and livability advantages while providing long-term value for existing business communities and creative job opportunities for citizens. EcoDistricts bring together neighborhood stakeholders, property developers, utilities and municipalities. The goal is to achieve outcomes including improved environmental performance, deployment of emerging technologies, improved community participation, new patterns of behavior, economic development for local businesses and job creation.

Fundamentally, our approach is an effort to deploy high-impact, district-scale sustainable projects that drive experimentation and innovation. They are a replicable model for cities to accelerate neighborhood sustainability to achieve city-wide goals. Our work focuses on maximizing replicability through creating the following:

- A framework and implementation strategy
- Implementation toolkits with strategies for assessment, governance, finance and municipal policy support
- Training tools and services to promote widespread adoption of district- and neighborhood-scale sustainability
- A successful pilot program launched in the City of Portland in 2008, and extended across North America in 2014

To learn more visit [www.ecodistricts.org](http://www.ecodistricts.org)  
or contact [info@ecodistricts.org](mailto:info@ecodistricts.org)





# 1. Why

Global challenges like climate change, resource scarcity and urbanization threaten the stability of life in metropolitan regions. For the first time in history, the majority of the world's population lives in cities, and these urban regions anticipate even greater growth. This concentration of people and resources means that cities are increasingly critical in addressing these challenges, compelling the search for and adoption of urban sustainability solutions. Fortunately, the most powerful venues for transformative solutions are cities themselves. Cities contain the fundamental ingredients to enable innovation: talent, capital, technologies and networks.

As cities around the world grapple with these pressing issues, the question of scale becomes increasingly important — scale of change, scale of impact and scale of risk. While a large number of cities are adopting ambitious climate and energy reduction goals, most are struggling to bridge the gap between policy aspirations and practical investments that have significant on-the-ground impacts. Given the modest results to date, more ambitious performance-based planning, investment and monitoring strategies are essential. International precedents show that districts and neighborhoods provide the appropriate scale to test integrated sustainability strategies because they concentrate resources and make size and risk more manageable.

Districts like Western Harbor in Malmö, Sweden; Southeast False Creek in Vancouver, Canada; and Dockside Green in Victoria, Canada, are creating a new generation of integrated district-scale community investment strategies at a scale large enough to create significant social and environmental benefits, but small enough to support quick innovation cycles in public policy, governance, technology development and consumer behavior. Each of these districts is measuring a set of important sustainability indicators — local greenhouse gas emissions, vehicle miles traveled, transportation mode splits, stormwater quality, access to healthy local food, utility savings, job creation and access to services, among others.



However, most of these projects are not designed to be replicable. For sustainable neighborhoods to succeed and propagate over time, cities must align efforts in the following four areas:

1. Coordinating stakeholders across a neighborhood who bring disparate interests and scales of impact
2. Applying the EcoDistricts Approach, to determine project priorities
3. Developing finance tools and joint venture structures to attract private capital to neighborhood projects
4. Creating supportive public policy to encourage an EcoDistricts approach to implementation and institutionalization

#### Western Harbor Bo01:

This district in Malmö, Sweden is an international example of a sustainable urban community — a dense and bustling district that meets multiple environmental goals.



### WHY THE ECODISTRICTS APPROACH MATTERS

- **For Municipalities:** Supports a neighborhood sustainability assessment and investment strategy to help meet broader sustainability policy and economic development goals. EcoDistricts put demonstration projects on the ground, save local money and resources, and stimulate new business development.
- **For Utilities:** Creates a model for integrated infrastructure planning to guide the development of more cost-effective and resilient green infrastructure investments over time. EcoDistricts also provide a mechanism for scaling conservation and demand-side management goals by aggregating district-wide projects.
- **For Developers and Property Owners:** Creates a mechanism to reduce development and operating costs by linking individual building investments to neighborhood infrastructure.
- **For Businesses:** Provides a platform to deliver district-scale infrastructure and building products and services to market.
- **For Neighbors:** Provides a tangible way to get involved in improving and enhancing the neighborhood's economic vitality and sustainability, as well as a new form of organization.



## 2. What

EcoDistricts are neighborhoods or districts where neighbors, community institutions and businesses join with city leaders and utility providers to meet ambitious sustainability goals and co-develop innovative district-scale projects. EcoDistricts commit to self organizing, setting ambitious sustainability performance goals, implementing projects and tracking the results over time.

Technologies and strategies for enhancing neighborhood sustainability, such as district energy, green streets, smart grid, demand management and resource sharing, are well known. However, the widespread deployment of these strategies has been slow to develop due to lack of comprehensive policies or implementation frameworks at the municipal level. We have created an implementation strategy to accelerate neighborhood-scale sustainability with the understanding that it provides a platform for innovation and integration of sustainability strategies.



### OUTCOMES

- A framework and implementation strategy for cities to accelerate neighborhood sustainability
- Implementation tools and strategies for governance, assessment, project finance and municipal policy adoptions
- New business models and opportunities for neighborhood investment
- High-impact projects such as district energy, green streets, smart grid, demand management and resource sharing
- A municipal policy agenda with laws, incentives, and processes that support sustainable neighborhood development
- Neighborhoods as laboratories for sustainability innovation

Our approach is distinct from most green development strategies that focus on brownfield or greenfield development and are led primarily by master developers or public agencies. Instead, EcoDistricts focus on existing neighborhoods as well as traditional development through the powerful combination of public policy, catalytic investments from local municipalities and utilities, private development and the participation of neighbors who are motivated to improve the quality of life and environmental health of their communities. EcoDistricts help neighborhoods achieve ratings like LEED-ND with a comprehensive set of tools and supporting strategies for community engagement, integrated performance assessment and project implementation.

EcoDistricts create a foundation for a range of strategies that can be applied at several different scales. Within district-scale sustainable development projects, there will be catalytic strategies at the site and block scale, as well as larger-scale infrastructure investments.

We bring together neighborhood stakeholders, property developers, utilities and municipalities to create neighborhood sustainability innovation with a range of outcomes, including improved environmental performance, local examples of emerging technologies, equitable distribution of investments, community participation, new patterns of behavior, economic development for local businesses and job creation.

### ECODISTRICTS STRATEGIES

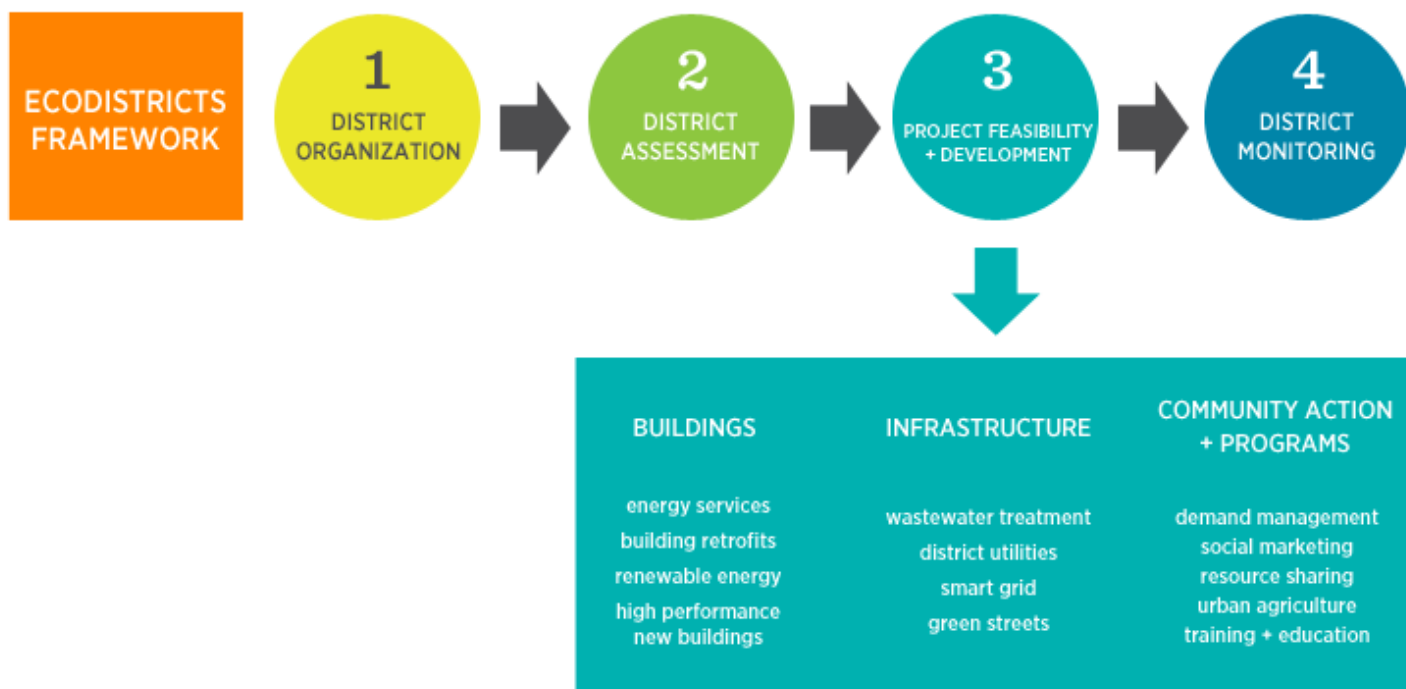
EcoDistrict strategies can take many forms, depending on the unique characteristics of a neighborhood and a community's priorities. Examples of potential strategies include:

- Smart grid
- District energy and water management
- Bike sharing
- Rainwater harvesting
- Green streets
- Zero waste programs
- District composting
- Waste to energy
- Safe routes to schools
- Tree planting campaigns
- Transportation demand management
- Car sharing
- Bike lanes
- Sidewalk improvements
- Urban agriculture
- Public art
- Green maps
- Multi-modal transit

# THE **EcoDistricts** APPROACH

POLICY

FUNDING



# Performance Areas

The EcoDistrict Performance Areas were developed through an exhaustive consultation process with sustainable development experts and informed by a range of international certification and rating systems. The eight Performance Areas each include a vision and a set of specific goals, targets and indicators. Note: The vision and goals described below are high-level; the EcoDistrict Performance and Assessment Method Toolkit, coming Fall 2014, provides specific targets, metrics and strategies to support these aspirations.



## 1 EQUITABLE DEVELOPMENT

Goal: Promote equity and opportunity and ensure fair distribution of benefits and burdens of investment and development.

Objectives:

1. Ensure neighborhood investments provide direct community benefit through job creation and investment opportunities
2. Provide quality and consistent local job opportunities through EcoDistrict projects
3. Mitigate the forced displacement of existing residents and businesses
4. Ensure diverse stakeholder involvement in all EcoDistrict activities and decision making

## 2 HEALTH & WELLBEING

Goal: Promote human health and community well being.

Objectives:

1. Provide access to safe and functional local recreation and natural areas
2. Provide access to healthy, local and affordable food
3. Ensure safe and connected streets
4. Expand economic opportunities to support a socially and economically diverse population
5. Improve indoor and outdoor air quality

### 3 COMMUNITY IDENTITY

Goal: Create cohesive neighborhood identity through the built environment and a culture of community.

Objectives:

1. Create beautiful, accessible and safe places that promote interaction and access
2. Foster social networks that are inclusive, flexible and cohesive
3. Develop local governance with the leadership and capacity to act on behalf of the neighborhood

### 4 ACCESS & MOBILITY

Goal: Provide access to clean and affordable transportation options

Objectives:

1. Provide accessible services through mixed-uses and improved street access
2. Prioritize active transportation
3. Reduce vehicle miles traveled
4. Use low and zero emission vehicles

### 5 ENERGY

Goal: Achieve net zero energy usage annually

Objectives:

1. Conserve energy use by minimizing demand and maximizing conservation
2. Optimize infrastructure performance at all scales
3. Use renewable energy







## 6 WATER

Goal: Meet both human and natural needs through reliable and affordable water management

Objectives:

1. Reduce water consumption through conservation
2. Reuse and recycle water resources wherever possible, using potable water only for potable needs
3. Manage stormwater and building water discharge within the district

## 7 HABITAT & ECOSYSTEM FUNCTION

Goal: Achieve healthy urban ecosystems that protect and regenerate habitat and ecosystem function.

Objectives:

1. Protect and enhance local watersheds
2. Prioritize native and structurally diverse vegetation
3. Create habitat connectivity within and beyond the district
4. Avoid human-made hazards to wildlife and promote nature-friendly urban design

## 8 MATERIALS MANAGEMENT

Goal: Zero waste and optimized materials management.

Objectives:

1. Eliminate practices that produce waste wherever possible
2. Minimize use of virgin materials and minimize toxic chemicals in new products
3. Optimize material reuse and salvage and encourage use of regionally manufactured products or parts
4. Where opportunities for waste prevention are limited, maximize use of products made with recycled content
5. Capture greatest residual value of organic wastes (including food) through energy recovery and/or composting



## 3. How

EcoDistricts has standardized a comprehensive approach for urban regeneration that includes the four phases illustrated below.



### 1 DISTRICT ORGANIZATION

District stakeholders organize to create a shared vision and governance structure to ensure that a neighborhood has the capacity and resources to implement its vision. Community engagement and active citizen participation are fundamental for ongoing district success. It includes the creation of a neighborhood governing entity with the explicit charge to manage district sustainability, and the next steps of district formation, over time.

### 2 DISTRICT ASSESSMENT

To achieve the ambitious goals for each performance area, a neighborhood assessment is essential to determine the most effective project priorities for a unique district. An assessment enables districts to determine strategies of greatest impact and prioritize the most appropriate projects.

### 3 DISTRICT PROJECTS

Successful district projects require careful alignment and coordination between district stakeholders, private developers, public agencies and utilities. Integrating infrastructure, building and behavior projects to meet ambitious performance goals may require new joint ventures, comprehensive financing, effective governance models and extensive community involvement.

### 4 DISTRICT MANAGEMENT

As district projects are planned and built, ongoing monitoring is essential to understand the full range of social, economic and environmental impacts. EcoDistrict performance standards can be used to regularly collect data to show the overall value of particular project interventions. In addition, qualitative documentation and lessons learned about EcoDistrict implementation will be essential to refining the EcoDistricts approach.



## 5. Tools for Implementation (Coming Fall 2014)

We are developing the following toolkits to support this Executive Summary:

- EcoDistrict Organization
- EcoDistrict Performance and Assessment
- EcoDistrict Financing
- EcoDistrict Policy Support

### ORGANIZATION

Community engagement and active citizen participation are fundamental for ongoing EcoDistrict success. EcoDistricts require an engaged community with a shared sustainability vision and a neighborhood governing structure with the explicit charge to meet ambitious performance goals, guide investments, and monitor and report results over time. The EcoDistrict Organization Toolkit outlines steps for neighborhood engagement and visioning, and offers potential models for district governance. It recommends creating a new governance entity, a Sustainability Management Association.



### PERFORMANCE & ASSESSMENT

In order to identify project priorities, an EcoDistrict must measure current performance and set clear goals. This toolkit guides EcoDistrict assessment, baselining and project identification that spans two areas:

- Performance Areas: a set of eight performance areas that include goals, targets and indicators
- EcoDistrict Assessment Method: a rigorous ten-step approach for baselining district performance and setting project priorities



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## FINANCING

The ability to finance EcoDistrict governance and secure funds for district-scale projects is essential to the success of EcoDistricts. There are three primary categories that require funding: district organization and staffing, feasibility and small-scale project development, and district utilities and large-scale project development. The EcoDistrict Financing Toolkit describes the range of financing options to support these three categories and offers related case studies. It catalogues public and private funding streams, explores potential new funding mechanisms and outlines strategies to blend various types of funding sources to finance projects.

## POLICY SUPPORT

Municipalities will play a central role in supporting the creation of EcoDistricts by providing direct support and by realigning existing policies to overcome barriers and encourage innovation. The EcoDistrict Policy Support Toolkit provides municipal policy recommendations for supporting pilot projects and targeted investments, and for integrating public policies and actions. Key areas of opportunity exist in regulations, public-private partnerships, financial incentives and assistance, technical assistance, shared ownership models, demand management programs, education, third-party certifications and infrastructure investments.



## 6. About Us

Around the world, more people live in cities than ever before. How we live in cities is one of the great challenges of our time.

Our name, EcoDistricts, sums up our shared vision for creating sustainable cities from the neighborhood up. Our larger scope is designed to better serve you, the growing number of innovative practitioners and policy makers who are making a demonstrable impact in your communities and helping to grow the global green neighborhood movement.

Urban development leaders of all stripes, from mayors to universities to affordable housing providers, see EcoDistricts as the key to solving many of their pressing challenges. In response, we're creating a powerful convening, advocacy, technical assistance and research platform to inform and drive EcoDistrict innovation - strategic in nature, collaborative in approach and practical in application.



At EcoDistricts you'll find people, tools, services and training to help cities and urban development practitioners create the neighborhoods of the future - resilient, vibrant, resource efficient and just.

- **Target Cities Program:**  
A two year program designed to help cities innovate, to embed performance metrics into projects, and to apply sustainability to a range of neighborhoods, including low income communities that are often left out of sustainable planning and development.
- **The EcoDistricts Incubator:**  
A three-day executive level training program for leaders who are revitalizing their cities from the neighborhood up. Through a mix of interactive plenary presentations and facilitated work sessions, the Incubator curates and presents the best ways to help cities work effectively with private, nonprofit and academic partners to implement sustainable neighborhood strategies for their community.
- **The EcoDistricts Summit:**  
The world's premier conference dedicated to big ideas and a worldwide movement to transform entire neighborhoods. The Summit is a three-day forum to catalyze the conversation on sustainable development at the district scale.
- **Tools and Services:**  
Our tools and services are designed specifically to help revitalize neighborhoods that feature the full complexity of modern urban reality: multiple landowners, aging infrastructure and building stock, inadequate transit, limited housing options for low- to moderate-income citizens and fragmented local leadership

# Appendix: Notes

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1. For the purposes of an EcoDistrict, the terms “district” and “neighborhood” are used interchangeably. Both refer to a particular scale that is the planning unit of modern cities with a spatially or community-defined geography. Boundaries may include neighborhood or business association boundaries, urban renewal areas, local and business improvement districts, major redevelopment sites, watersheds or geographic demarcations, as appropriate.
2. Sustainability means triple-bottom-line sustainability with environmentally driven projects that bring social and economic returns.
3. EcoDistricts worked with the City of Portland Mayor’s Office, Portland Development Commission and Bureau of Planning and Sustainability to identify the five pilot districts, which represent diverse neighborhood typologies and community assets. They include the South of Market District (PSU area), the Lloyd District, Gateway, Foster Green (Lents) and South Waterfront.
4. The EcoDistricts Performance Areas are available on our website: [www.ecodistricts.org](http://www.ecodistricts.org).
5. Unlike the other performance areas, Equitable Development is not focused on environmental factors. They are included with the recognition that their targets and metrics will be more challenging to grasp; as a result, they may become more of a filter to inform project decisions because ongoing data collection in these areas is challenging.
6. The performance area energy goal is defined as operational emissions including building energy consumption, transportation, waste generation and construction.
7. Active transportation refers to human-powered modes of transit such as biking, walking, or running.
8. A variety of green-district efforts include the C40 Cities Climate Positive program, LEED for Neighborhood Development, the Living Community Challenge and One Planet Living, all of which aim to reorient design, development and policy at the neighborhood scale.
9. Joe Cortright’s 2008 study “Portland’s Green Dividend” documents the economic benefits of land use and transportation investments. <http://www.ceosforcities.org/files/PGD%20FINAL.pdf>







## Planning Commission

### EPA Brownfields Grant Update

**Agenda Date:** 2/10/2020  
**Agenda Item Number:** 6.B  
**File Number:** 20-0135

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**Type:** report **Version:** 1 **Status:** In Committee

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#### **Title**

EPA Brownfields Grant Update

#### **Recommended Action**

Information only. No action requested.

#### **Report**

##### **Issue:**

Discussion on the EPA Brownfields Phase 1 strategy and potential scope of work

##### **Staff Contact:**

Mike Reid; Economic Development Director, CP&D; 360.753.8591

##### **Presenter(s):**

Mike Reid; Economic Development Director, CP&D; 360.753.8591

#### **Background and Analysis:**

On June 5, 2019, the City of Olympia was notified by the Environmental Protection Agency (EPA) that it had been selected to negotiate the terms of a Brownfield Assessment Grant. On September 30, 2019, the City of Olympia was notified that the submitted cooperative agreement had been accepted by the EPA, and the City would be awarded with the requested \$600,000 grant.

This agreement will provide funding for the City of Olympia to inventory, characterize, assess, conduct cleanup planning, and initiate community involvement related activities for brownfield sites in Olympia, Washington. The City in partnership with the Port of Olympia and the Olympia Metropolitan Parks District will primarily focus on properties on the Port Peninsula and West Bay Brownfields where the expansion, development or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant.

#### **Neighborhood/Community Interests (if known):**

Part of the grant process includes community outreach and holding a community meeting in which interested parties can learn more about how to identify and nominate sites in Olympia for environmental assessment. This meeting will be held on February 24<sup>th</sup> at 5:30 PM in Room 100 at the Olympia Center.

**Financial Impact:**

The City has been awarded \$600,000 for this grant

**Attachments:**

Interlocal Agreement between City of Olympia, Port of Olympia and Metropolitan Parks District

**INTERLOCAL AGREEMENT  
BETWEEN  
THE CITY OF OLYMPIA, THE OLYMPIA METROPLITAN PARK DISTRICT, and  
THE PORT OF OLYMPIA FOR ENVIRONMENTAL EVALUATION AND GRANT  
MANAGEMENT SERVICES**

**THIS INTERLOCAL AGREEMENT** ("Agreement") is made by and among the CITY OF OLYMPIA, WASHINGTON ("OLYMPIA"); the OLYMPIA METROPOLITAN PARK DISTRICT ("MPD"); and the PORT OF OLYMPIA ("PORT"). In this Agreement, the parties together will be referred to as the "Coalition Partners." This Agreement is effective on the effective date, as defined below; and

**WHEREAS**, RCW 39.34.010 permits public agencies, including units of local government, "to make the most efficient use of their powers by enabling them to cooperate with other localities on a basis of mutual advantage and thereby to provide services and facilities in a manner and pursuant to forms of governmental organization that will accord best with geographic, economic, population, and other factors influencing the needs and development of local communities;" and

**WHEREAS**, pursuant to RCW 39.34.080, a public agency is authorized to contract with any one or more other public agencies to perform any governmental service, activity, or undertaking which each public agency entering into the contract is authorized by law to perform: provided, that such contract must be authorized by the governing body of each party to the contract and must set forth its purposes, powers, rights, objectives, and responsibilities of the contracting parties; and

**WHEREAS**, the United States Environmental Protection Agency ("EPA") makes grants available to entities "to inventory, characterize, assess, conduct a range of planning activities, develop site-specific cleanup plans, and conduct community involvement related to brownfield sites." <https://www.epa.gov/brownfields/types-brownfields-grant-funding>. These assessment grants may be awarded to a coalition of three or more entities acting together under a cooperative agreement, known as an "Assessment Coalition." Assessment Coalitions are designed for one 'lead' eligible entity to partner with two or more eligible entities that have limited capacity to manage their own EPA cooperative agreement;" and

**WHEREAS**, each of the Coalition Partners wishes to cooperate with the other Coalition Partners in applying for and receiving funding from EPA for Brownfield Assessment activities as an Assessment Coalition; and

**WHEREAS**, OLYMPIA has the capacity and expertise to serve as Lead Coalition Partner and the Coalition Partners desire OLYMPIA to fulfill this role;

**NOW, THEREFORE, in consideration of the mutual promises contained in this Agreement, OLYMPIA, the PORT, and the MPD agree as follows:**

## **I. Purpose/Objective**

The Coalition Partners wish to apply for and receive funding from the EPA for Brownfield Assessment activities. The purpose of this Agreement is to create an Assessment Coalition and define the roles and responsibilities of the Coalition Partners acting as a Brownfields Assessment Coalition in order to carry out the activities outlined in the EPA application for the funding of Brownfield Assessment activities and subsequent grant agreement documentation.

## **II. Scope of Agreement/Work**

A. The Coalition Partners hereby form an Assessment Coalition for the purpose of applying for, receiving, and administering one or more EPA Brownfields Assessment Grants.

B. Activities undertaken under this Agreement may include inventory preparation, site selection criteria development, assessments, planning (including cleanup planning) relating to brownfield sites, and outreach materials and implementation, and other eligible activities. OLYMPIA, acting as Lead Coalition Partner, may retain a consultant(s) and contractor(s) to undertake various activities under this Agreement.

C. Obligations of OLYMPIA:

OLYMPIA shall serve as the Lead Coalition Partner. In that capacity, OLYMPIA shall:

1. Manage and administer this Agreement;
2. Prepare grant applications to EPA and other such agencies on behalf of the Coalition Partners;
3. Be responsible to EPA for management of this Agreement and compliance with the statutes, regulations, and terms and conditions of any grant awarded to the Coalition Partners by EPA;
4. Procure the consultant(s) in compliance with all Washington State statutes and the requirements of 2 CFR 200.317-326, if applicable; issue Requests for Proposals or Requests for Qualification; oversee receipt of the submitted proposals and selection and award of contracts; and negotiate the terms of agreements in consultation with the MPD and the PORT;
5. In consultation with MPD and the PORT, develop a site selection process based on agreed upon factors that ensure that minimum of 15 sites are assessed over the life of this Agreement;
6. For site plans for which EPA funding is sought, submit identified sites to the EPA for prior approval to ensure eligibility;

7. Upon designation of the specific sites, work with MPD and the PORT if the site is located outside the Olympia city limits, to finalize the scope of work for the consultant or contractor;
8. Insure that other activities as negotiated in the work plan, such as community outreach and involvement, are implemented in accordance with a schedule agreed upon by OLYMPIA, and if outside Olympia City Limits, MPD and the PORT;
9. Comply with the statutes, regulations, and terms and conditions of any grants received by the Coalition;
10. Administer grants received by the Coalition;
11. Insure MPD and the PORT comply with the terms and conditions of this Agreement; and
12. Provide timely information to MPD and the PORT regarding the management of this Agreement and any changes that may be made to this Agreement over the period of performance.

D. Obligations of MPD and the PORT:

The MPD and the Port each shall:

1. Appoint one (1) individual to be the point of contact for purposes of consulting with the other Coalition Partners in administering this Agreement;
2. Provide timely information to OLYMPIA as may be requested by OLYMPIA in performing OLYMPIA's duties under this Agreement;
3. Participate fully in the brownfields assessment process;
4. For sites located outside the Olympia City Limits but within the jurisdiction of the MPD or the PORT, obtain all required permits, easements, or access agreements as may be necessary to undertake assessments at the selected sites; provided however, if MPD or the PORT lack the capacity to perform these activities, OLYMPIA may assist in securing necessary site access agreements and permits;
5. Comply with all requirements in any grant agreements that may be entered into by the Coalition Partners, including an accounting of expenditures of grant funds made by MPD and the PORT; and



6. Comply with any other requests that may be made by OLYMPIA from time to time in performing its duties under this Agreement.

### **III. Financing and Budgeting**

The activities conducted under this Agreement are to be funded by grants received by the Coalition Partners. OLYMPIA, as Lead Coalition Partner, shall establish and maintain the budget for activities undertaken under this Agreement.

### **IV. Administration**

A. As provided in Section II C, above, OLYMPIA shall administer this Agreement in consultation with the MPD and the PORT.

B. This Agreement creates no Joint Board and no separate legal entity.

### **V. Duration of Agreement**

This Agreement is effective until September 6, 2022, unless terminated in the manner described under the termination section of this Agreement.

### **VI. No Joint Acquisition of Holding of Property**

The Coalition Partners will not jointly acquire or hold any real or personal property under this Agreement.

### **VII. Termination of Agreement**

A. This Agreement may be terminated upon sixty (60) days' notice to the other Coalition Partners using the method of notice provided for in this Agreement.

B. Upon termination of this Agreement, any property owned by one Coalition Partner that is in the possession of another Coalition Partner for purposes of this carrying out this Agreement must be returned to the owner.

### **VIII. Entire Agreement**

This Agreement contains all terms and conditions agreed upon by the Coalition Partners and supersedes any and all prior agreements oral or otherwise with respect to the subject matter addressed in this Agreement.

### **IX. Posting or Recording**

Prior to its entry into force, OLYMPIA shall post this Agreement on its website or OLYMPIA shall file this Agreement with the Thurston County Auditor's Office.

**X. Employment Relationship**

Employees of each of the Coalition Partners are at all times under the direction and control of their employing agency and the performance of work for any other Coalition Partner pursuant to this Agreement does not change that relationship for any purpose. None of the Coalition Partners is obligated to pay any other Coalition Partner's employees any wages or benefits afforded to its own employees. Further, each Coalition Partner's responsibilities to its own employees for work place injuries remains unchanged by this Agreement.

**XI. Notice**

Any notice required under this Agreement must be given to the Coalition Partners as follows and is effective three days following the date of deposit in the United States Postal Service:

For City of Olympia:  
Mike Reid, Director of Economic Development  
6014<sup>th</sup> Ave SE  
Olympia, WA 98501  
360-753-8591  
[mreid@ci.olympia.wa.us](mailto:mreid@ci.olympia.wa.us)

For Port of Olympia:  
Rachael Jamison  
Planning, Public Works & Environmental Director  
360-528-8020  
[rachaelj@portolympia.com](mailto:rachaelj@portolympia.com)

For Olympia Metropolitan Park District:  
Jonathon Turlove, Director of Parks Planning and Maintenance  
6014<sup>th</sup> Ave SE  
Olympia, WA 98501  
360-753-8068  
[jturlove@ci.olympia.wa.us](mailto:jturlove@ci.olympia.wa.us)

**XII. Records**

Each Coalition Partner shall maintain its own public records and is solely responsible for responding to records requests received about the subject matter of this Agreement. The Coalition Partners shall handle any public records request addressed to the group as a request received by each Coalition Partner individually. Each Coalition Partner shall respond separately, unless agreed to otherwise in writing and properly documented.

**XIII. Interpretation and Venue**

This Agreement is governed by the laws of the State of Washington as to interpretation and performance. Venue for enforcement of this agreement is the Thurston County Superior Court.


**XIV. Effective Date**

This Agreement takes effect as of the date of filing or posting as required by RCW 39.34.040 ("effective date").

**CITY OF OLYMPIA**

\_\_\_\_\_  
 Signature  
 Print Name \_\_\_\_\_  
 Title \_\_\_\_\_  
 Date: \_\_\_\_\_

Approved as to form:

  
 Deputy City Attorney


**PORT OF OLYMPIA**

\_\_\_\_\_  
 Signature  
 Print Name \_\_\_\_\_  
 Title \_\_\_\_\_  
 Date: \_\_\_\_\_

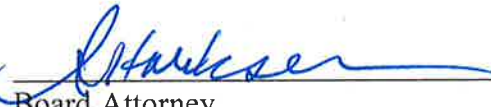
Approved as to form:

\_\_\_\_\_  
 Attorney

**OLYMPIA METROPOLITAN PARK DISTRICT**

  
 Signature  
 Print Name Jim Cooper  
 Title President OMPD  
 Date: 11-12-19

Approved as to form:

  
 Board Attorney



## Planning Commission

### Preliminary 2020-2021 Planning Commission Work Plan

**Agenda Date:** 2/10/2020  
**Agenda Item Number:** 6.C  
**File Number:** 20-0130

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**Type:** recommendation   **Version:** 2   **Status:** In Committee

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#### **Title**

Preliminary 2020-2021 Planning Commission Work Plan

#### **Recommended Action**

Move to approve the preliminary 2020-2021 Planning Commission Work Plan.

#### **Report**

##### **Issue:**

Whether or not to approve the preliminary 2020-2021 Planning Commission Work Plan.

#### **Staff Contact:**

Cari Hornbein, Senior Planner, Community Planning and Development, 360.753.8048

#### **Presenter(s):**

Cari Hornbein, Senior Planner, Community Planning and Development

#### **Background and Analysis:**

Each year the Planning Commission proposes an annual work plan. It is reviewed by the Council General Government Committee and ultimately approved by the City Council. The approved work plan will be effective from April 1, 2020 through March 31, 2021.

Items considered for inclusion can come from city staff or individual commissioners. Last year's work plan included items from the previous year that were not completed, items included in the upcoming work program of the Community Planning and Development Department, and related work of other City departments or Advisory Boards and Commissions.

Attachment A is a proposed work plan for the Commission to review and consider. Commissioners will be asked to refine the work plan and confirm a recommended draft to forward to the General Government Committee for consideration in March.

Once the work plan is approved by the City Council, Planning Commission officers will coordinate with the staff liaison to establish a general calendar and agendas for each meeting. Note that the during the course of the year, it is possible for City Council to add new items to the work plan.

Similarly, requests for zoning map and code amendments may be initiated by city staff or private parties.

**Neighborhood/Community Interests (if known):**

Much of the work of the Planning Commission is of interest to neighborhoods and community members. Other than comments regarding the public participation plan for the Housing Options Code, no other input has been received.

**Options:**

1. Approve the 2020-2021 Planning Commission Work Plan.
2. Modify and approve the 2020-2021 Planning Commission Work Plan.

**Financial Impact:**

None. This work is included in the base budget.

**Attachments:**

Draft 2020-2021 Work Plan

**DRAFT**

## Olympia Planning Commission - 2020-2021 Work Plan (April 1, 2020 to March 31, 2021)

The Olympia Planning Commission (OPC) is expected to hold approximately 22 regular meetings plus one optional “retreat” during this period. Special meetings may be held and subcommittees may be formed if necessary to more efficiently complete the work plan. The staff liaison to the OPC is Cari Hornbein, Senior Planner, CPD ([chornbei@ci.olympia.wa.us](mailto:chornbei@ci.olympia.wa.us); 360.753.8048).

<b>Section 1</b> <b>2019 Policy Issues – Will Include a Recommendation to City Council</b> Commission recommendations on these items would be forwarded to the City Council. Recommendations may be conveyed in writing, directly by the Commission chair or a delegate, or by City staff. Unless otherwise noted, staff estimates there is sufficient professional and administrative staff time to support Section #1 in 2019. In general these work items are tasks that State law or local rules require the Commission to perform. Approximately 75% of overall commission effort.						
<b>Title and Description</b>	<b>Estimated Commission Meeting Time</b>	<b>Estimated Staff Commitment to Supporting the Commission</b>	<b>Estimated Start and Completion</b>	<b>Budget Implications</b>	<b>Commission Role</b>	<b>Source of Proposal</b>
<b>1.1 Review 6-year Capital Facilities Plan (CFP)</b> <a href="http://olympiawa.gov/city-government/budget-financial-reports.aspx">http://olympiawa.gov/city-government/budget-financial-reports.aspx</a>  Review the Preliminary CFP, hold a public hearing and identify whether proposals comply with the adopted Comprehensive Plan.  <b>Deliverable:</b> Public hearing and recommendation to City Council.	8 hours (4-5 meetings)	CP&D staff: 14-18 hours Other staff: 10 hours	August - November	Included in base budget	Review, public hearing, and recommendation	City Staff
<b>1.2 Housing Options Code – City Council Referral Request</b>  Review proposed code language prepared in accordance with ESHB 1923.  <b>Deliverable:</b> Public hearing and recommendation to City Council.	8 - 10 hours (4-5 meetings)	CP&D staff: 20 - 30 hours Other staff: 10	January – May/June	Included in base budget	Review, public hearing, and recommendation	City Staff



<b>1.3 Shoreline Master Program Periodic Update</b>  A review of the current Shoreline Master Program, including policies and regulations, to meet the state-mandated periodic update schedule of every eight years.  <b>Deliverable:</b> Public hearing and recommendation to City Council.	8 hours (3-4 meetings); optional sub-committee hours	CP&D: 10+ hours Other staff: 10 hours	February – August	Included in base budget; partially funded with Ecology Grant	Review, public hearing, and recommendation	City Staff
<b>1.4 Short Term Rentals</b>  Amendment of development code consistent with Comprehensive Plan – may include refinement or revision of zoning code and evaluation of issues related to short term housing rentals in residential zones.  <b>Deliverable:</b> Public hearing and recommendation to City Council.	6 hours (2-3 meetings)	CP&D staff: 10 hours	February – April/May	Included in base budget	Review, public hearing, and recommendation	City Staff
<b>1.5 Zoning Code Updates – Downtown</b> <a href="http://olympiawa.gov/community/downtown-olympia/downtown-strategy.aspx">http://olympiawa.gov/community/downtown-olympia/downtown-strategy.aspx</a>  Development code amendments for implementation of the downtown strategy.  <b>Deliverable:</b> Public hearing and recommendation to City Council.	6 hours (2-3 meetings)	CP&D staff: 10 hours	Early 2021	Included in base budget	Review, public hearing, and recommendation	City Staff
<b>1.6 Zoning Map and Development Code Text Amendments</b>  Review of any privately proposed, staff-initiated, or Council-initiated amendments to the City’s development regulations. Staff estimates that two to four will be considered in 2020 including updates to: <ul style="list-style-type: none"> <li>• Wireless code updates</li> <li>• RV/mobile home code updates</li> <li>• Restructure land use permit types</li> <li>• Housing affordability outcomes from LUEC, e.g., SEPA thresholds, parking standards</li> <li>• Housekeeping amendments</li> </ul> <b>Deliverables:</b> Public hearing and recommendation to City Council.	2-4 hours per proposal	CP&D staff: 4 to 10 hours per proposal	Dependent on timing of proposals	Included in base budget; private applicants pay a \$3,200 fee.	Review, public hearing, and recommendation	City Staff or Private Party

<b>1.7 Joint Plan Recommendations</b>  Review Thurston County Joint Plan for consistency with the City of Olympia's Comprehensive Plan.  <b>Deliverable:</b> Recommendation to City Council/Thurston County.	4-6 hours (2-3 meetings)	CP&D staff: 10+ hours	To Be Determined	Included in base budget	General review and recommendation	City/County Staff
<b>1.8 Neighborhood Center Code</b>  A review of current development code, including collaboration with stakeholders such as Coalition of Neighborhood Associations, business & development community.  <b>Deliverable:</b> Proposed development code update for consideration by the City in 2020.	8 hours (3-4 meetings); optional work group hours	CP&D: 8 to 12 hours	Spring – Winter May carry over into 2021	Included in base budget	Review, public hearing, and recommendation	Planning Commission -- continued item begun in 2014

**SECTION 2**  
**2019 Optional Program Implementation and/or Input to Council or Staff**

As programs are developed and implemented and code amendment proposals and administrative procedures refined, staff often consults with the Commission for their input and perspective. This work is secondary to the primary committee purpose of policy recommendations and advice to the City Council. Depending on scope, there may not be sufficient staff time/resource available in 2019 to accomplish or advance these items. These items comprise approximately 15% percent of the overall commission work plan.

Title and Description	Estimated Commission Meeting Time	Estimated Staff Commitment (Direct support for Commission role)	Schedule (Estimated start and completion)	Budget Implications	Commission Role	Source of Proposal
<b>2.1 Subarea/Neighborhood Plan</b>  Review of draft Subarea Plan  <b>Deliverable:</b> Comments to staff and neighborhood work group; optional recommendation to Council.	2 hours	CP&D staff: 4 hours	Dependent on requests from neighborhood associations.	Included in base budget	Optional advisor to staff, citizens and Council	City staff

**SECTION 3****2019 Administrative Activities and Informational Briefings**

In addition to their role in providing input on policy and program implementation, the Commission seeks to be a well-informed and effective advisory body. The activities below are intended to improve how the commission accomplishes their work plan each year and ensure they have information and knowledge necessary to fulfill their role. These items comprise approximately 10% percent of overall commission work effort. It is not atypical to not complete the informational briefings listed below, as they are the first items to be displaced when staff and commission time is needed for higher priority work items.

<b>Title and Description</b>	<b>Estimated Commission Meeting Time</b>	<b>Estimated Staff Commitment (Direct support for Commission role)</b>	<b>Schedule (Estimated Completion)</b>	<b>Budget Implications</b>	<b>Commission Role</b>	<b>Source of Proposal</b>
<b>3.1 Organizational Retreat</b>  Annual event focused on improving Commissioner relationships and procedures, and information-sharing and discussion on walkability and reducing the use of automobiles	10 hours (including retreat)	8 to 10 hours Other staff: Variable	May - June	Included in base budget	Led by Planning Commission	Customary practice
<b>3.2 Preparation of 2021 Work Plan</b>  Time allotted for proposing and discussing work items for following year  <b>Deliverable:</b> Recommendation to Council	2 hours	CP&D: 6 hours	December - January	Included in base budget	Led by Planning Commission	Customary practice
<b>3.3 Thurston Climate Mitigation Plan –</b> <a href="http://olympiawa.gov/community/climate-change-response.aspx">http://olympiawa.gov/community/climate-change-response.aspx</a>  Briefing regarding the development of the Thurston Climate Mitigation Plan.	2 hours	CP&D: 1 hour Other staff: 4 hours	Two briefings, one in April, the second later in the year	Included in base budget	Informational Briefing	City Staff
<b>3.4 Thurston Regional Planning Council</b>  Briefing by TRPC staff regarding their role in developing plans, providing data, and administering funds to CPD. Also of interest is how OPC could interact with TRPC, when appropriate,	1 hour	CP&D: 2 hours Other staff: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission

and participate in projects relevant to Olympia's Comprehensive Plan or regional planning projects.						
<b>3.5 Economic Development Briefing</b> Briefing on economic development opportunities and actions in the city.	1 hour	CP&D: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.6 Park Projects</b> Briefing on major park projects.	1 hour	CP&D: 1 hour Other staff: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.7 Transportation Master Plan</b> <a href="http://olympiawa.gov/city-services/transportation-services/plans-studies-and-data/Transportation%20Master%20Plan.aspx">http://olympiawa.gov/city-services/transportation-services/plans-studies-and-data/Transportation%20Master%20Plan.aspx</a> Briefing on progress of the TMP.	1 hour	CP&D: 1 hour Other staff: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.8 I-5 Corridor Study</b> <a href="https://www.wsdot.wa.gov/planning/studies/i5/tumwater-mounts-road/home">https://www.wsdot.wa.gov/planning/studies/i5/tumwater-mounts-road/home</a> Briefing on the I-5 Tumwater to Mounts Road Corridor Study	1 hour	CP&D: 1 hour Other staff: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.9 Growth and Development</b> Briefing on population growth and annual development activity within the City and Urban Growth Area.	1 hour	CP&D: 4 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.10 Coalition of Neighborhood Associations</b> Joint meeting between the Planning Commission and the Coalition of Neighborhood Associations (CNA).	2 hours	CP&D: 4 hours	To Be Determined	Included in base budget	Led by Planning Commission	Planning Commission
<b>3.11 Martin Way Corridor Study</b> Briefing on study regarding land use and transportation planning along the Martin Way Corridor; joint effort between Intercity Transit, Lacey, and Thurston County.	2 hours	CP&D: 2 hour Other staff: 2 hours	To Be Determined	Included in base budget; partial funding from the Federal Surface Transportation Block Grant Program	Informational Briefing	City Staff

<b>3.12 Affordable Housing</b>  Briefing regarding strategies to increase Olympia’s affordable housing units, including existing and possible tools and incentives.	1 hour	CP&D: 1 hour Other staff: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.13 Homelessness Response Plan Briefing</b> <a href="http://olympiawa.gov/community/homelessness/Response-Plan.aspx">http://olympiawa.gov/community/homelessness/Response-Plan.aspx</a>  Briefing on the City’s strategies to respond to homelessness	1 hour	CP&D: 1 hour Other staff: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.14 Legislative Briefing</b>  Briefing on the 2019 Legislative session, with an emphasis on the City’s legislative agenda and outcomes with impacts on local government and priority issues for the City	1 hour	CP&D: 2 hours Other staff: 2 hours	Summer	Included in base budget	Informational Briefing	Planning Commission
<b>3.15 Downtown Strategy Briefing</b> <a href="http://olympiawa.gov/community/downtown-olympia/downtown-strategy.aspx">http://olympiawa.gov/community/downtown-olympia/downtown-strategy.aspx</a>  Briefing on implementation of the Downtown Strategy and an update on the Port of Olympia Vision 2050 planning process	1 hour	CP&D: 2 hours Other staff: 2 hours	To Be Determined	Included in base budget	Informational Briefing	Planning Commission
<b>3.16 Housing Action Plan</b>  Briefing on the development of the City’s Housing Action Plan.	1 hour	CP&D: 2 hours Other staff: 2 hours	To Be Determined	Included in base budget; partially grant funded	Informational Briefing	City Staff
<b>3.17 Greenprint</b>  Tool for natural resource/open space conservation.	To Be Determined	To Be Determined	To Be Determined	To Be Determined	Led by Planning Commission?	Planning Commission



<b>3.18 Development Patterns</b>  Explore development patterns and their impact on walkability and density.	To Be Determined	To Be Determined	To Be Determined	To Be Determined	Led by Planning Commission?	Planning Commission
<b>3.19 Solar Access</b>  Develop solar access regulations for inclusion in the zoning code.	To Be Determined	To Be Determined	To Be Determined	To Be Determined	To Be Determined	Planning Commission
<b>3.20 Priorities, Performance, and Investment (PPI) Cycle</b> <a href="http://olympiawa.gov/city-government/codes-plans-and-standards/action-plan.aspx">http://olympiawa.gov/city-government/codes-plans-and-standards/action-plan.aspx</a>  Briefing on the Community Indicator Dashboard and Action Plan, and provide input on the Commission's role in the annual Priorities, Performance, and Investment (PPI) cycle for implementing the Comprehensive Plan.	2 hours	5-7 hours	To Be Determined	Included in base budget	Advisor to staff and Council	Comprehensive Plan