  
mwa architects  
70 NW COUCH STREET  
SUITE 401  
PORTLAND, OR 97209  
P 503 973 5151  
F 503 973 5060  
MWAARCHITECTS.COM



REVISION NO	DATE

OC-III  
APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW  
DATE  
10/01/2021  
SCALE

PROJECT NUMBER  
202010.00  
DRAWN BY

DRAWING TITLE  
RENDERING

SHEET NUMBER  
COVER

# OLYMPIA CREST III APARTMENTS

## ABBREVIATIONS

ABV	ABOVE	LAV	LAVATORY
ACT	ACOUSTICAL CEILING TILE	MAX	MAXIMUM
ADJ	ADJACENT	MECH	MECHANICAL
ADJUST	ADJUSTABLE	MFR	MANUFACTURER
AFF	ABOVE FINISH FLOOR	MIN	MINIMUM
ALUM	ALUMINUM	MTL	METAL
APT	APARTMENT		
ARCH	ARCHITECT(URAL)	NIC	NOT IN CONTRACT
AV	AUDIO VISUAL	NTS	NOT TO SCALE
BD	BOARD	OC	ON CENTER
BLDG	BUILDING	OH	OPPOSITE HAND
BO	BOTTOM OF	OPP	OPPOSITE
		OSOI	OWNER SUPPLIED & OWNER INSTALLED
CG	CORNER GUARD	OSCI	OWNER SUPPLIED & CONTRACTOR INSTALLED
CH	CLOTHES HOOK		
CJ	CONTROL JOINT	PNT	PAINT
CL	CENTER LINE	PL	PLATE
CLG	CEILING	P-LAM	PLASTIC LAMINATE
CLR	CLEAR	PLYWD	PLYWOOD
CNU	CONCRETE MASONRY UNIT	PNL	PANEL
CONC	CONCRETE	PREFIN	PREFINISHED
CONT	CONTINUOUS	PT	PRESSURE TREATED
CONST	CONSTRUCTION	PTD	PAPER TOWEL DISPENSER
CPT	CARPET		
CSCI	CONTRACTOR SUPPLIED & CONTRACTOR INSTALLED	R	RADIUS
		RB	RUBBER BASE
DBL	DOUBLE	REF	REFRIGERATOR
DEMO	DEMOLITION	REINF	REINFORCE
DIA	DIAMETER	REQ'D	REQUIRED
DIM	DIMENSION	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DS	DOWNSPOUT		
DR	DOOR	SAM	SELF ADHESIVE MEMBRANE
DTL	DETAIL	SC	SOLID CORE
DWG	DRAWING	SCHED	SCHEDULE
DWR	DRAWER	SD	SMOKE DETECTOR
		SF	SQUARE FEET
EXIST	EXISTING	SHT	SHEET
EA	EACH	SHTG	SHEATHING
ELECT	ELECTRICAL	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	SPECS	SPECIFICATIONS
EL/ELEV	ELEVATION	SS	STAINLESS STEEL
EXT	EXTERIOR	STD	STANDARD
		STL	STEEL
FACT	FACTORY FINISH	STRUCT	STRUCTURAL
FEC	FIRE EXTINGUISHER CABINET		
FD	FLOOR DRAIN	T/TEMP	TEMPERED GLASS
FDC	FIRE DEPARTMENT CONNECTION	TO	TOP OF
FF	FINISH FLOOR	TOC	TOP OF CONCRETE
FIN	FINISH	TOSR	TOP OF SINK RIM
FLR	FLOOR	TOLS	TOP OF LOWER SHELF
FO	FACE OF	TOW	TOP OF WALL
FOC	FACE OF CONCRETE	TS	TUBE STEEL
FOS	FACE OF STRUCTURE	TYP	TYPICAL
FT	FEET		
		UNO	UNLESS NOTED OTHERWISE
GA	GAUGE		
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	VIF	VERIFY IN FIELD
GL	GLASS	VERT	VERTICAL
GYP BD	GYPSUM BOARD		
		W	WASHER
HB	HOSE BIBB	W/	WITH
HC	HOLLOW CORE	WC	WATER CLOSET
HM	HOLLOW METAL	WD	WOOD
HOR	HORIZONTAL	WDW	WINDOW
HT	HEIGHT	W/O	WITHOUT
		WO	WHERE OCCURS
INT	INTERIOR	WRB	WEATHER RESISTIVE BARRIER/ AIR BARRIER
INSUL	INSULATION		

## SYMBOLS

	<b>VIEW NAME</b> SCALE: 1/8" = 1'-0"	DRAWING TITLE
	DETAIL NO. SHEET NO.	EXTERIOR ELEVATION
	SHEET NO. DETAIL NO.	INTERIOR ELEVATION
	DETAIL NO. SHEET NO.	BUILDING SECTION
	DETAIL NO. SHEET NO.	WALL SECTION
	DETAIL NO. SHEET NO.	DETAIL KEY
	ROOM NAME	ROOM NAME/NUMBER
		DOOR MARK
		WINDOW MARK
		KEYNOTE
		ASSEMBLY TYPE
	ALIGN	FINISH TO BE FLUSH
		SLOPE TO DRAIN
		CENTERLINE
		AREA/FLOOR DRAIN
		FIRE EXTINGUISHER CABINET
		INTERNATIONAL SYMBOL OF ACCESSIBILITY
		NORTH ARROW
		GRID BUBBLE
		CEILING HEIGHT
		FLOOR TRANSITION
		ELEVATION HEIGHT
		WORK POINT, CONTROL POINT, OR DATUM POINT
		REVISION MARK AND CLOUD

## PROJECT TEAM

OWNER	ARCHITECTURAL	CIVIL	LANDSCAPE	STRUCTURAL	MEP
Housing Authority of Thurston County 1206 12th Avenue SE Olympia, WA 98501 Contact: Bob Ricks, Deputy Director T: 360-918-5819 E: bobr@hatac.org	MWA Architects 70 NW Couch Street, Suite 401 Portland, Oregon 97209 Contact: Chad Sanderson, AIA T: 503-416-8002 E: csanderson@mwaarchitects.com	Gibbs & Olson 1157 3rd Avenue #219 Longview, WA 98632 Contact: Carol Ruiz, PE T: 360-425-0991 E: cruiz@gibbs-olson.com	MacDonald Environmental Planning 9020 SW Washington Square Road #410 Portland, OR 97223 Contact: Laurel Macdonald Bonnell, ASLA T: 503-224-1225 E: lmacdonald@mep-pc.com	Waypoint Engineering 601 Main Street #400 Vancouver, WA 98660 Contact: Jared Fischer, PE T: 360-635-6611 E: jared@waypointwa.com	Interface Engineering 100 SW Main Street #1600 Portland, OR 97204 Contact: Thomas Phuong, PE T: 503-382-2732 E: thomasp@interfaceeng.com

## GENERAL

G1.00	COVER SHEET
G3.00	ASSEMBLIES
DRA1.00	ARCHITECTURAL SITE PLAN
DRA1.10	SITE CONTEXT PLAN

## CIVIL

C0.0	LEGENDS, ABBREVIATIONS, & SHEET INDEX
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS PLAN
C1.1	EXISTING CONDITIONS PLAN
C2.0	SITE PREPARATION PLAN
C2.1	SITE PREPARATION DETAILS
C3.0	SITE & UTILITIES PLAN
C3.1	SITE DETAILS
C3.2	SITE DETAILS
C3.3	SEWER & WATER DETAILS
C3.4	WATER DETAILS
C3.5	WATER DETAILS
C4.0	STORM DRAINAGE PLAN
C4.1	STORM DRAINAGE DETAILS
C4.2	STORM DRAINAGE DETAILS
C4.3	STORM DRAINAGE DETAILS
C5.0	GRADING PLAN
C6.0	CHANNELIZATION PLAN
C6.1	CHANNELIZATION DETAILS

## LANDSCAPE

L0.01	TREE PRESERVATION PLAN
L0.02	TREE TABLE
L1.00	HARDSCAPE PLAN
L1.01	DIMENSION PLAN
L1.02	SITE DETAILS
L1.03	SITE DETAILS
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION DETAILS
L3.00	PLANTING PLAN
L3.01	PLANTING DETAILS
L3.02	STORMWATER PLANTING PLANS

## ARCHITECTURAL

A1.50	SITE DETAILS
A1.51	SITE DETAILS
DRA2.11	BUILDING S GROUND/SECOND FLOOR PLANS
DRA2.21	BUILDING T GROUND/SECOND FLOOR PLANS
DRA2.31	BUILDING U GROUND/SECOND FLOOR PLANS
DRA4.11	BUILDING S ELEVATIONS
DRA4.12	BUILDING T ELEVATIONS
DRA4.13	BUILDING U ELEVATIONS
DRAB.11	ROOF DETAILS
DRAB.12	DOOR AND WINDOW DETAILS
DRAB.13	EXTERIOR DETAILS

## MECHANICAL

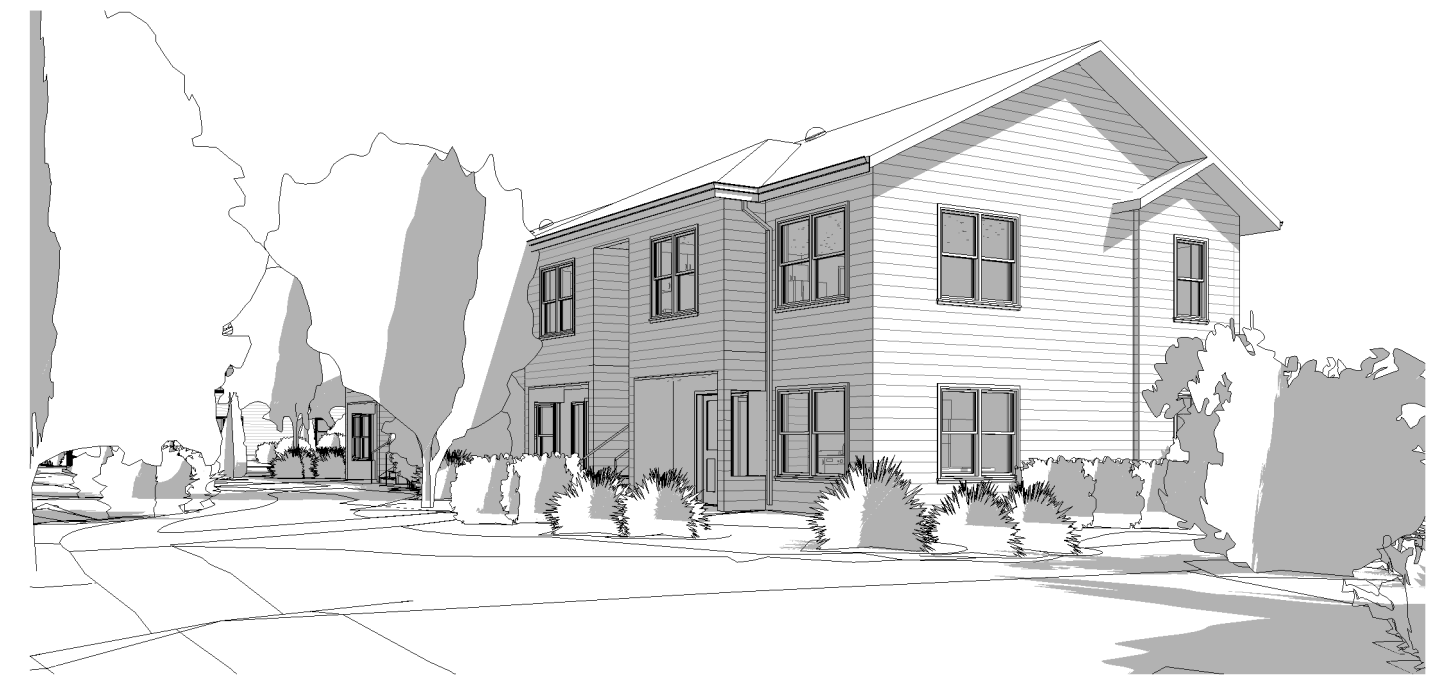
DESIGN-BUILD

## ELECTRICAL

DESIGN-BUILD

## PLUMBING

DESIGN-BUILD



## NARRATIVE

OLYMPIA CREST III APARTMENTS IS THE DEVELOPMENT OF 28 UNITS OF MULTI-FAMILY AFFORDABLE HOUSING FOR THE HOUSING AUTHORITY OF THURSTON COUNTY. THIS PROJECT IS A CONTINUATION OF OLYMPIA CREST I, COMPLETED IN 1978, AND OLYMPIA CREST II, COMPLETED IN 2010, ON THE NEIGHBORING PROPERTY.

PHASE III CONSISTS OF 20 ONE-BEDROOM UNITS AND 8 TWO-BEDROOM UNITS IN A TOTAL OF THREE BUILDINGS ON A 1.43-ACRE SITE THAT BORDERS LILLY RD. THIS PROPERTY FALLS UNDER MS ZONING, BUT HAS BEEN REVISED VIA TEXT AMENDMENT TO PROVIDE MULTI-FAMILY AFFORDABLE HOUSING.

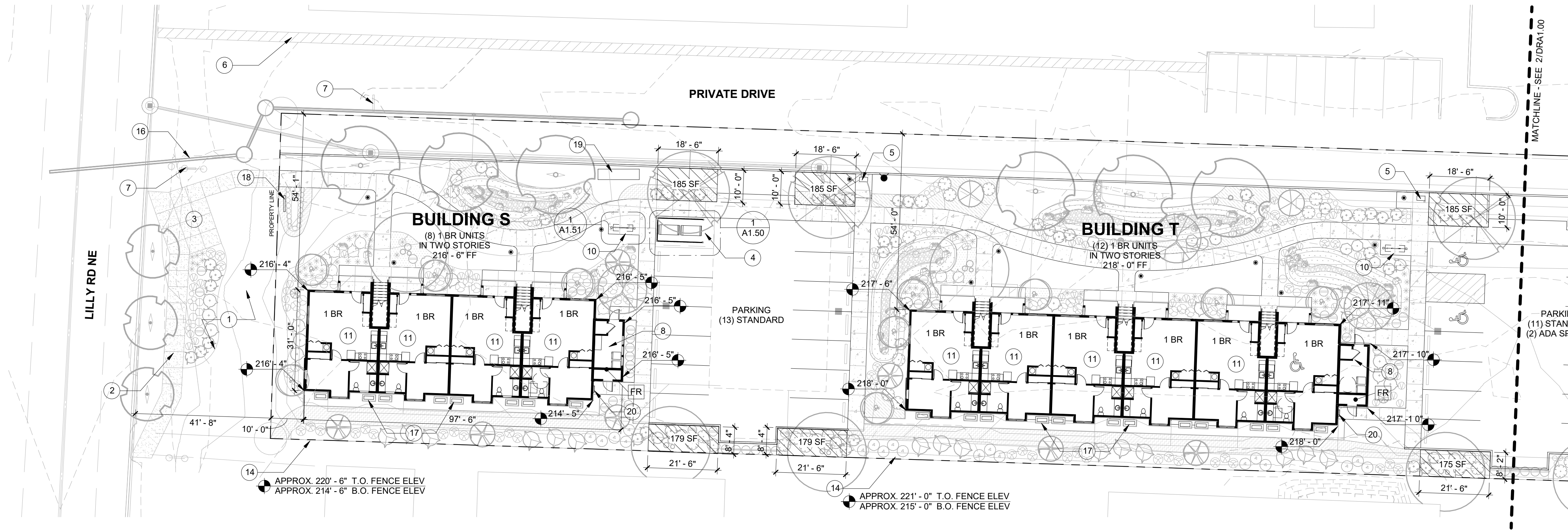
## VICINITY MAP



206 LILLY RD NE  
OLYMPIA, WA 98506

N.T.S.

CITY STAMP



## SHEET GENERAL NOTES

- PROPERTY LINE BASED ON SURVEY PROVIDED BY OWNER.
- SEE CIVIL DRAWINGS FOR UTILITY EASEMENT, SITE DIMENSIONS AT PARKING, SITE UTILITIES, GRADING, EROSION CONTROL, BUILDING PAD ELEVATIONS, AND RELATED DETAILS.
- SEE LANDSCAPE DRAWINGS FOR HARDSCAPE DIMENSIONS, PLANTING, AND IRRIGATION INFORMATION.
- SEE CIVIL DRAWINGS FOR ACCESSIBILITY SITE RELATED DETAILS.
- SITE LIGHTING AND SERVICE DISTRIBUTION TO BE BIDDER DESIGNED.
- SEE CIVIL DRAWINGS FOR FIRE HYDRANT AND FDC LOCATIONS.
- DIMENSIONS AT BUILDINGS ARE TO FACE OF STUD.

## KEYNOTES

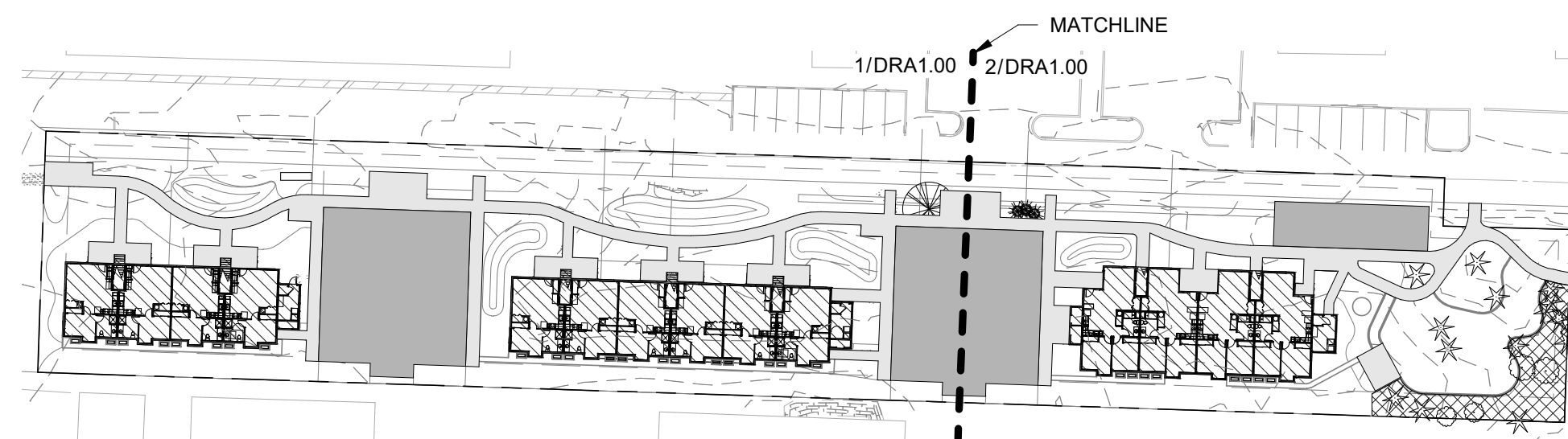
- LANDSCAPING AND GRADING TO BE PROVIDED IN THE CITY RIGHT OF WAY
- ROW IMPROVEMENTS, SEE CIVIL
- SCHOOL BUS WAITING ZONE
- FENCED TRASH ENCLOSURE
- MAILBOXES AND RECYCLING
- EXISTING WALK PATH TO LILLY RD
- EXISTING SIGNAGE, COORDINATE RELOCATION WITH THE CITY IF REQUIRED
- SHARED LAUNDRY ROOM
- PROVIDE ELECTRIC VEHICLE CHARGING INFRASTRUCTURE
- COVERED AREA FOR SHORT-TERM BIKE PARKING
- STORAGE FOR LONG-TERM BIKE PARKING
- PLAY AREA, SEE LANDSCAPE
- SVPA, SEE LANDSCAPE FOR SPLIT RAIL FENCE
- EXISTING 6" CHAIN LINK TO 4.5' WOOD FENCE TO REMAIN
- TEMPORARY PROTECTION FENCE DURING CONSTRUCTION, SEE LANDSCAPE
- EXISTING 1" WIDE BLOCK RETAINING WALL
- MECHANICAL UNIT, MINI SPLIT ON CONCRETE PAD
- NEW SIGNAGE LOCATION, PROVIDE POWER AND COORDINATE WITH CIVIL AND LANDSCAPE
- SPACE FOR (3) RECYCLING BINS
- PROPOSED ELECTRICAL PANEL LOCATION, SEE ELEVATIONS

## LEGEND

- PROPERTY LINE
- CONTEXT LINE 100' FROM PROPERTY LINE
- KEYNOTE
- LOCATION OF ACCESSIBLE PARKING SPACE/UNIT
- FIRE RISER ROOM
- TRASH LOCATION
- RECYCLING LOCATION
- EXISTING TREE TO REMAIN
- STORM DRAIN LOCATION PER CIVIL
- FIRE HYDRANT LOCATION PER CIVIL
- BOLLARD

## 1 ARCHITECTURAL SITE PLAN - WEST

SCALE: 1" = 20'-0"



## 3 AREA KEY

SCALE: 1/64" = 1'-0"

IMPERVIOUS AREA	28,012 SF
PARKING AREA	9,187 SF
BUILDING AREAS	11,081 SF
LANDSCAPE AREA	17,546 SF
PROTECTION AREA	1,547 SF

## PARKING SUMMARY

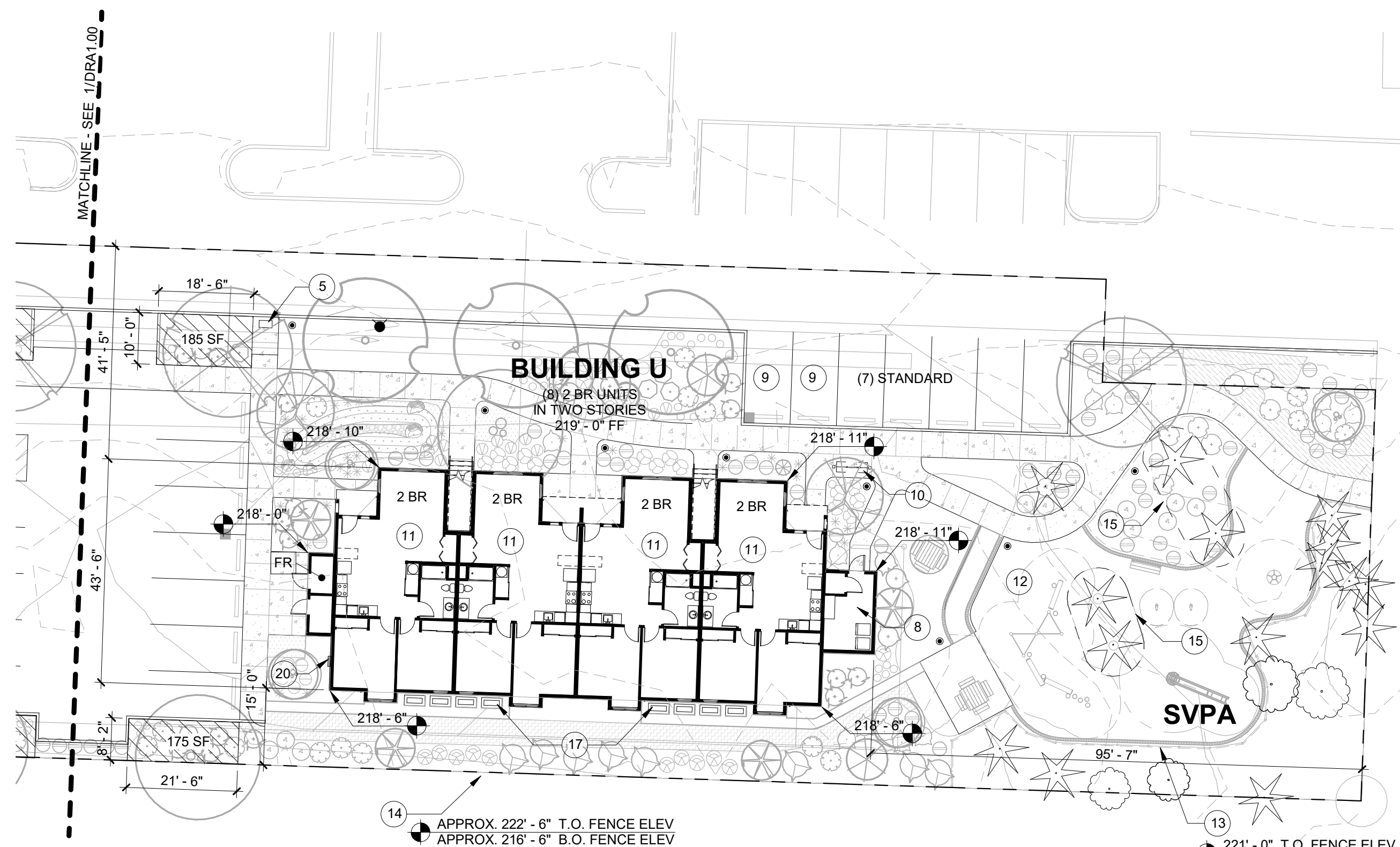
	REQUIRED	NEW
		OC-III PROVIDED
NUMBER OF UNITS		28 UNITS
NUMBER OF SPACES	38 SPACES*	
STANDARD SPACES		31
ACCESSIBLE SPACES		2
COMPACT SPACES		0
TOTAL SPACES		33 SPACES

\*A 1.5 : 1 RATIO IS REQUIRED, BUT A 10% REDUCTION IS ACCEPTABLE. REDUCTIONS GREATER THAN 10% AND UP TO 40% MAY BE REVIEWED ADMINISTRATIVELY.

## TREES FOR RETENTION

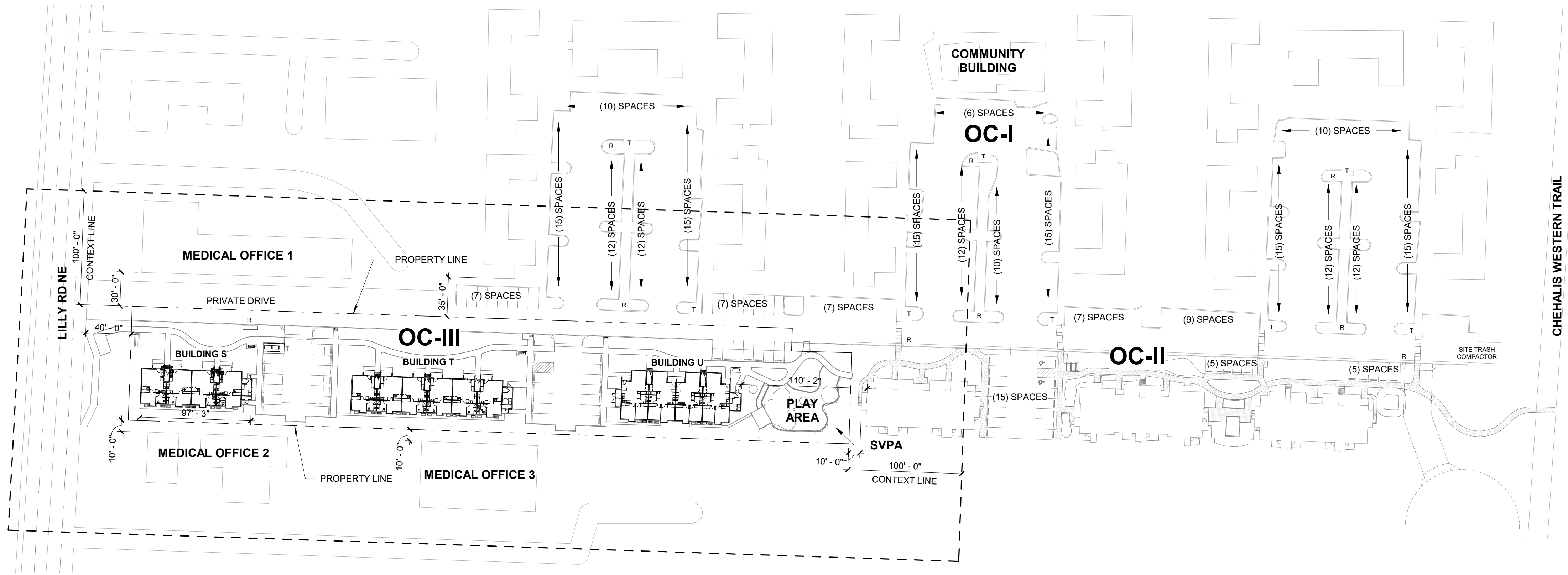
SPECIES	DIAMETER	NUMBER OF TREES	POTENTIAL TREE UNITS
PACIFIC MADRONE	4"	1	1
	6"	2	2
DOUGLAS FIR	12"	3	4.5
	14"	2	4
	18"	1	3
	20"	3	15
	22"	2	12
	24"	2	14
BIG LEAF MAPLE	4"	1	1
WILLOW	6"	1	1
WESTERN RED CEDAR	14"	1	2
TOTALS		19 TREES	59.5 UNITS

SITE IS 1.43 ACRES - A MINIMUM OF 43 UNITS MUST BE RETAINED



## 2 ARCHITECTURAL SITE PLAN - EAST

SCALE: 1" = 20'-0"



1 OVERALL SITE PLAN  
SCALE: 1" = 60'-0"

SHEET GENERAL NOTES

- 1. PROPERTY LINE BASED ON SURVEY PROVIDED BY OWNER.
- 2. SEE CIVIL DRAWINGS FOR UTILITY EASEMENT, SITE DIMENSIONS AT PARKING, SITE UTILITIES, GRADING, EROSION CONTROL, BUILDING PAD ELEVATIONS, AND RELATED DETAILS.
- 3. SEE LANDSCAPE DRAWINGS FOR HARDSCAPE DIMENSIONS, PLANTING, AND IRRIGATION INFORMATION.
- 4. SEE CIVIL DRAWINGS FOR ACCESSIBILITY SITE RELATED DETAILS.
- 5. SITE LIGHTING AND SERVICE DISTRIBUTION TO BE BIDDER DESIGNED.
- 6. SEE CIVIL DRAWINGS FOR FIRE HYDRANT AND FDC LOCATIONS.
- 7. DIMENSIONS AT BUILDINGS ARE TO FACE OF STUD.

LEGEND

- PROPERTY LINE
- - - - - CONTEXT LINE 100' FROM PROPERTY LINE
- ① KEYNOTE
- ♿ LOCATION OF ACCESIBLE PARKING SPACE/UNIT
- FR FIRE RISER ROOM
- T TRASH LOCATION
- R RECYCLING LOCATION
- ⊙ EXISTING TREE TO REMAIN
- STORM DRAIN LOCATION PER CIVIL
- FIRE HYDRANT LOCATION PER CIVIL

REVISION NO	DATE

OC-III  
APARTMENTS

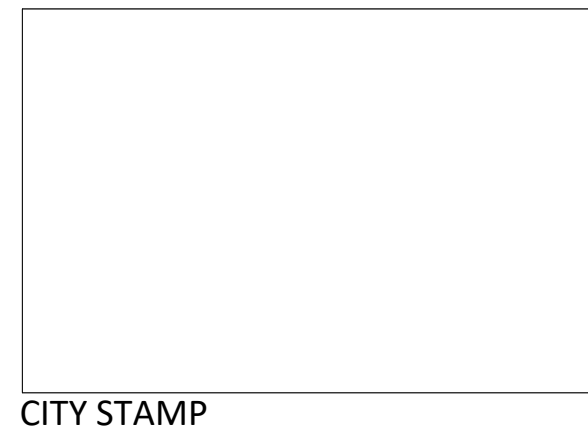
204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW  
DATE  
10/01/2021  
SCALE  
As indicated  
PROJECT NUMBER  
202010.00  
DRAWN BY  
OS  
DRAWING TITLE

SITE CONTEXT  
PLAN

SHEET NUMBER

DRA1.10

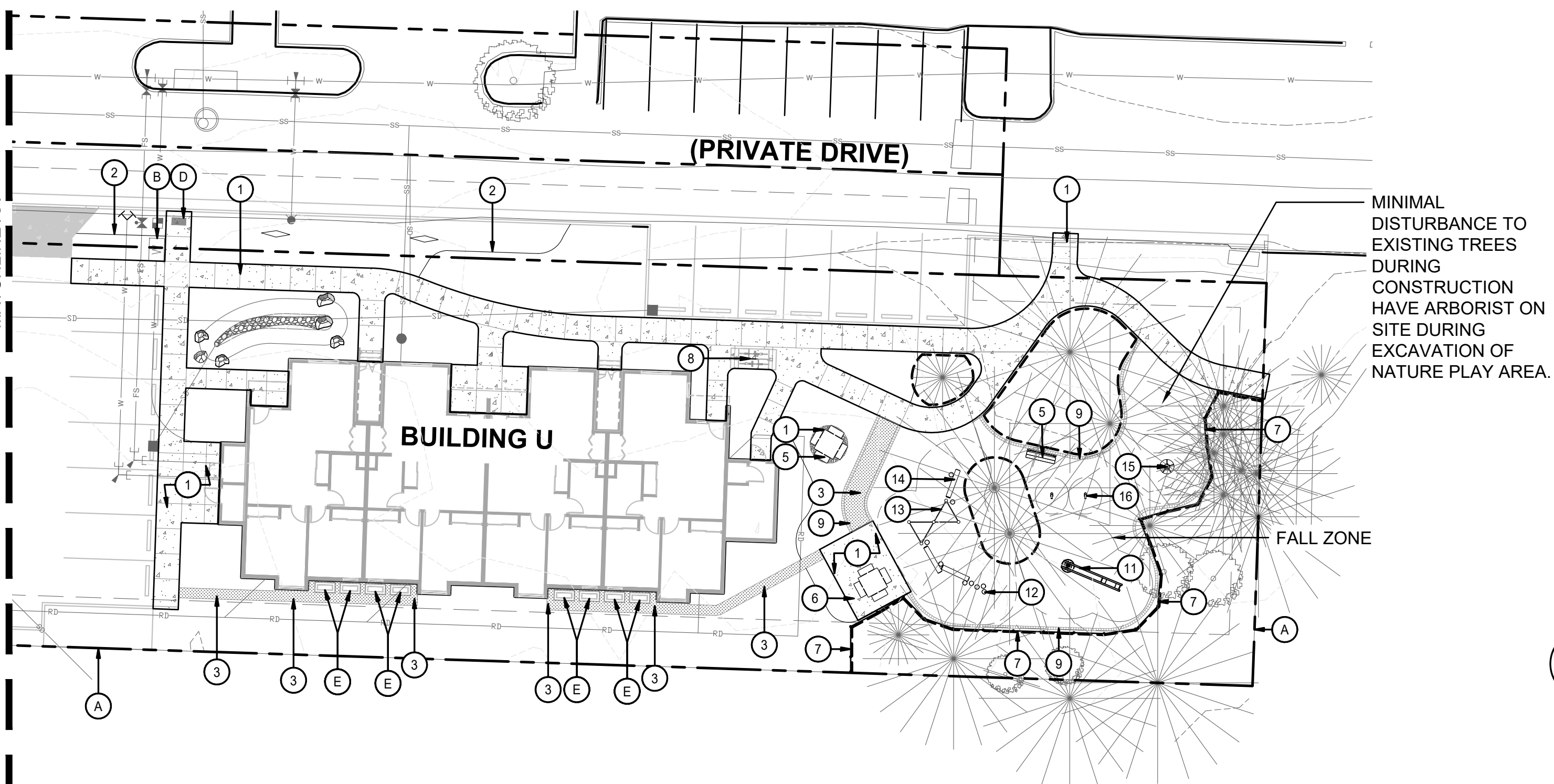
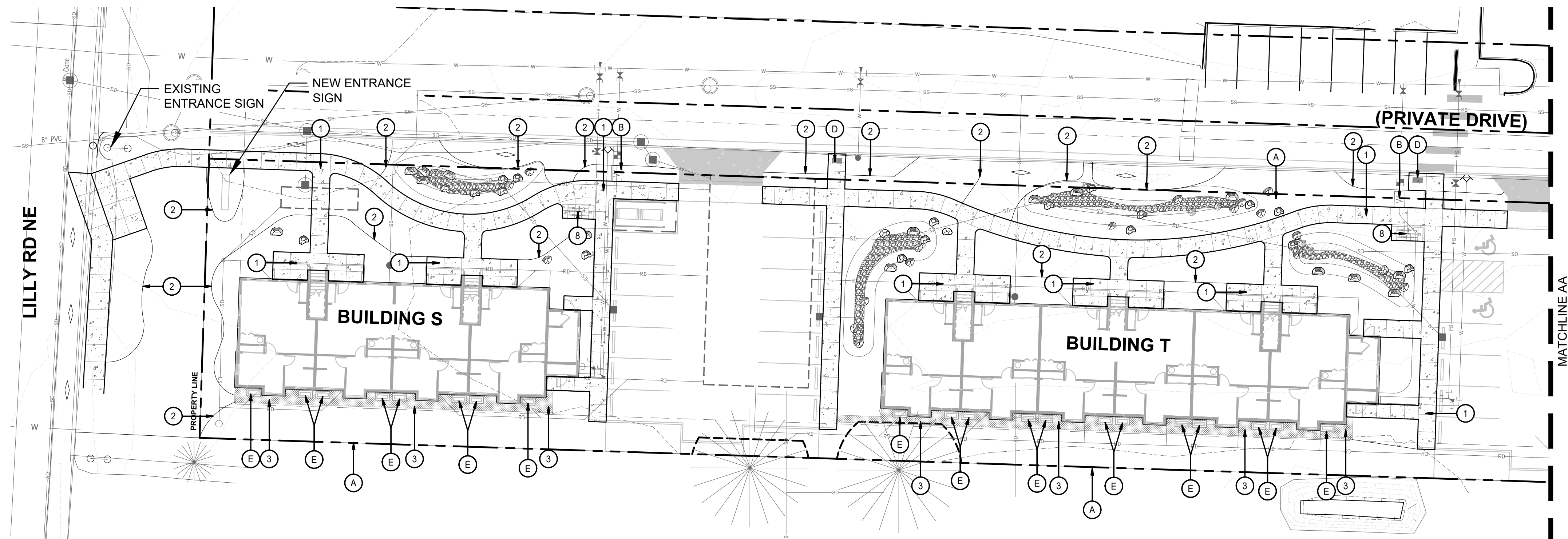


OC-I (1978)

OC-II (2010)

2 EXISTING SITE ADJACENCIES  
SCALE: 12" = 1'-0"

10/13/2020 3:36:43 PM



#### BOULDER LEGEND:

TOTAL QUANTITY: 43

Rock Size <sup>1</sup>	Approximate Size
One Man	12" - 18"
Two Man	18" - 28"
Three Man	28" - 36"
Four Man	36" - 48"
Five Man	48" - 54"
Six Man	54" - 60"

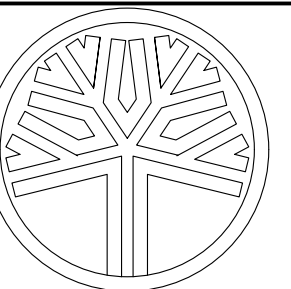
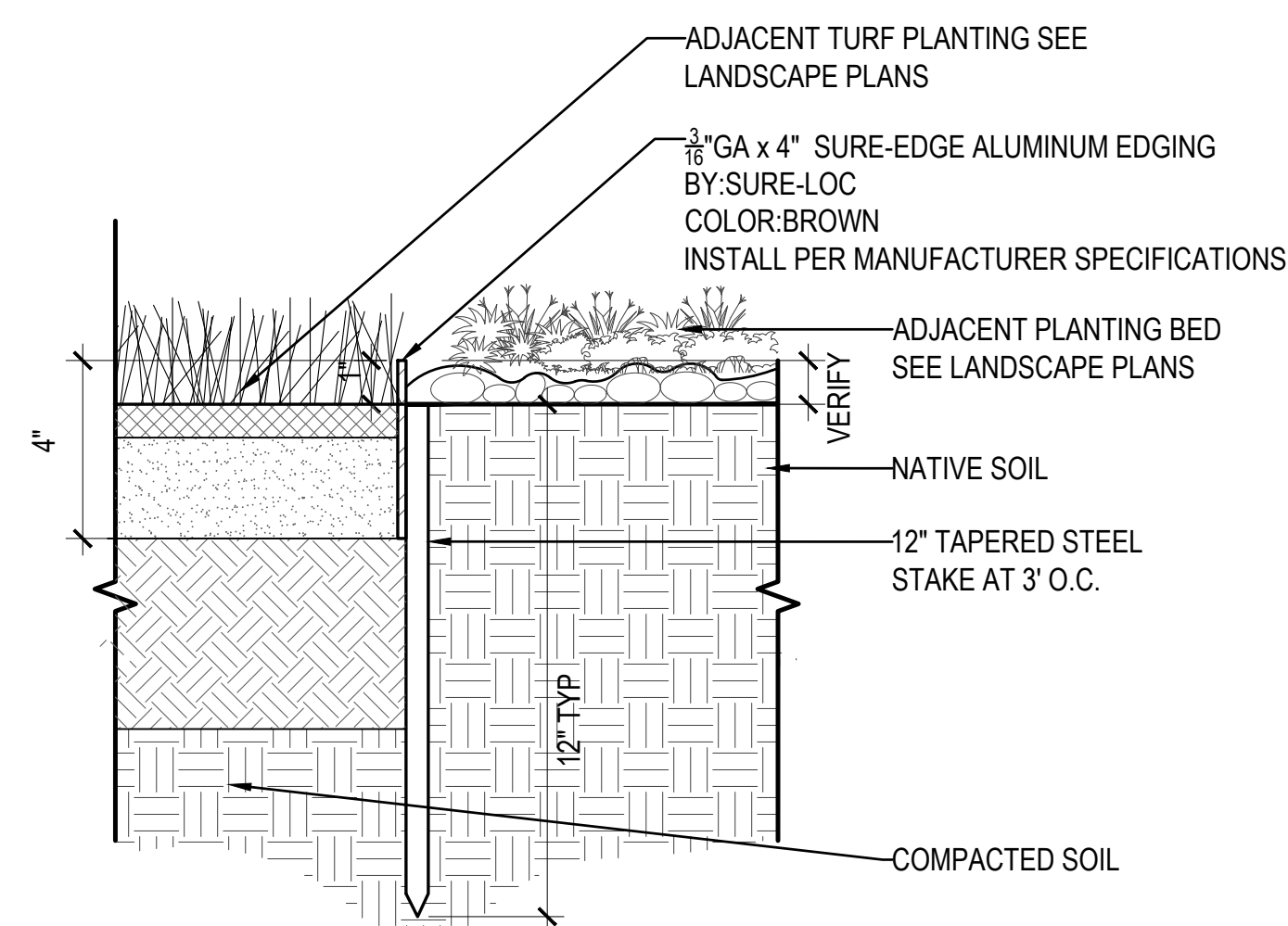
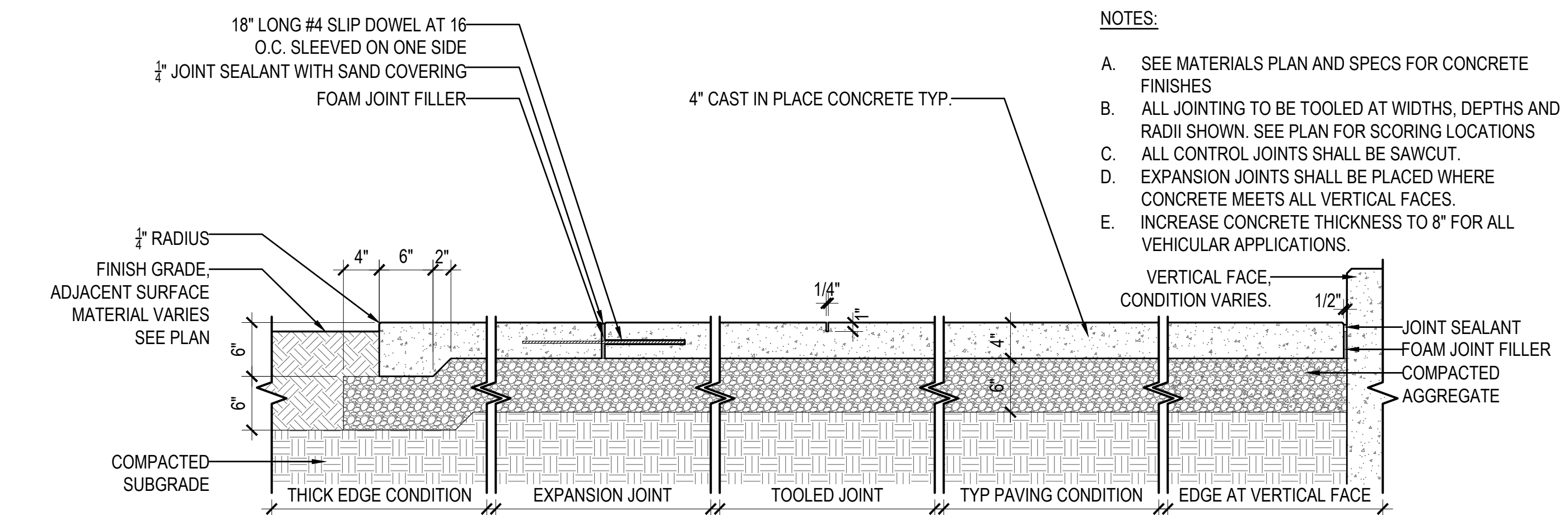
<sup>1</sup>Approximate Size can be determined by taking the average dimension of the three axes of the rock, Length, Width, and Thickness, by use of the following calculation:

$$\frac{\text{Length} + \text{Width} + \text{Thickness}}{3} = \text{Approximate Size}$$

Length is the longest axis, width is the second longest axis, and thickness is the shortest axis.

#### KEY NOTES:

- 1 CONCRETE PAVING SEE DETAIL 3 / L1.00
- 2 LANDSCAPE EDGING SEE DETAIL 4 / L1.00
- 3 DECOMPOSED GRANITE AND EDGING SEE DETAIL 3 / L1.01
- 4 BOULDER INSTALLATION SEE DETAIL 4 / L1.01
- 5 6' PARKWAY BENCH SEE DETAIL 5 / L1.01
- 6 PICNIC TABLE SEE DETAIL 6 / L1.01, 1/L1.02
- 7 6' SIGHT SPLIT RAIL FENCE SEE DETAIL 2 / L1.02
- 8 BIKE RACK SEE DETAIL 3 / L1.02
- 9 PAVER EDGING SEE DETAIL 4 / L1.02
- 10 ENGINEERED WOOD FIBERS SEE DETAIL 5 / L1.02
- 11 CANTILEVER TYRESWING 6 / L1.02
- 12 TIMBER COLUMNS 7 / L1.02
- 13 POLE CLIMBER 8 / L1.02
- 14 LOG SCRAMBLE 9 / L1.02
- 15 CLIMBING TREE 1 / L1.03
- 16 LOGGIE SPRING RIDER 2 / L1.03
- A PROPERTY LINE
- B WATER METER BY CIVIL
- C BUILDING OVERHANG
- D MAIL BOXES BY CIVIL
- E MINI SPLITS BY MECHANICAL



STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT  
Laurel A. Macdonald  
CERTIFICATE NO. 350



REVISION NO DATE

#### OC-III APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW

DATE  
10/01/2021

SCALE  
1:20

PROJECT NUMBER  
202010.00

DRAWN BY  
SF

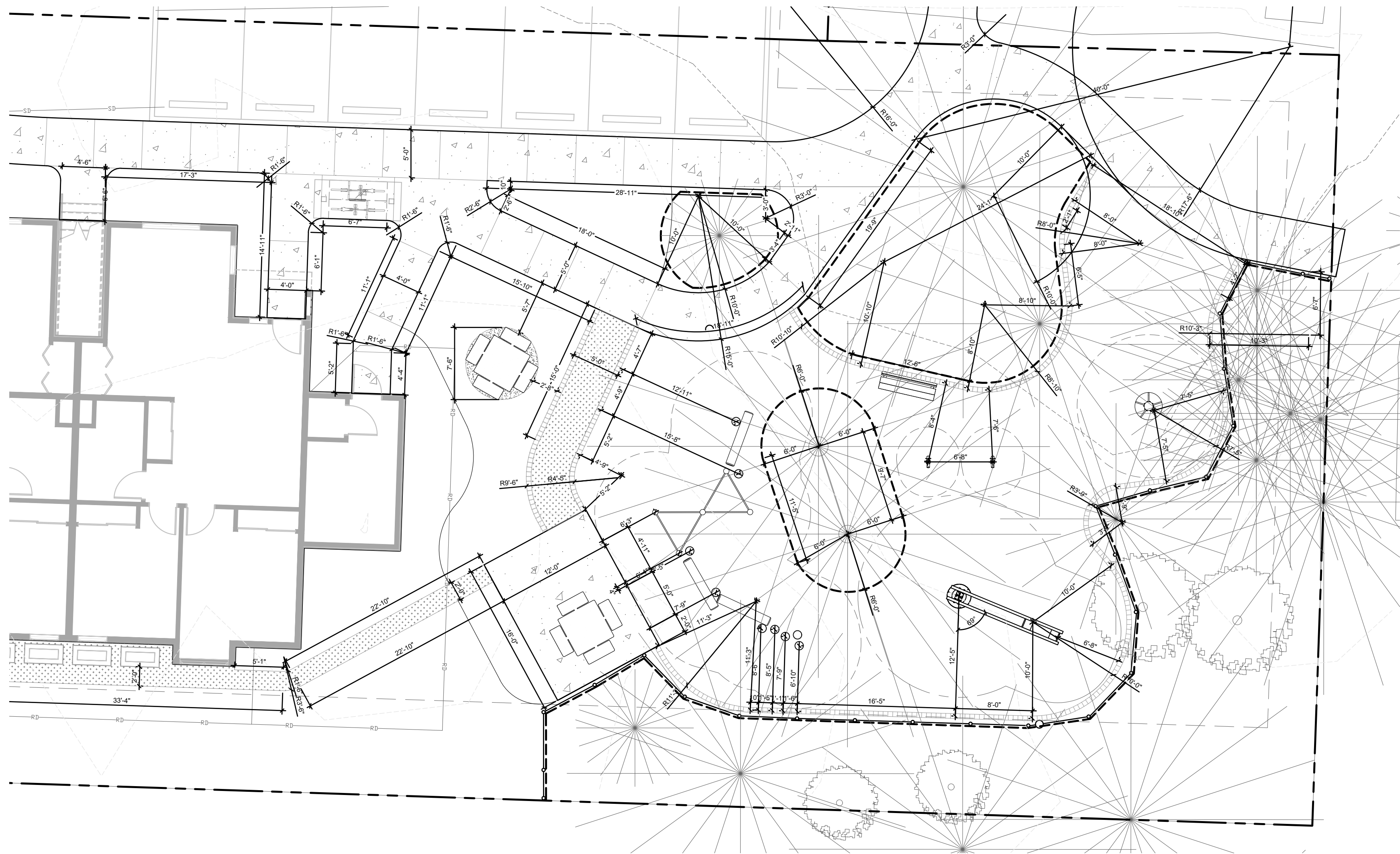
DRAWING TITLE

HARDSCAPE  
PLAN

SHEET NUMBER

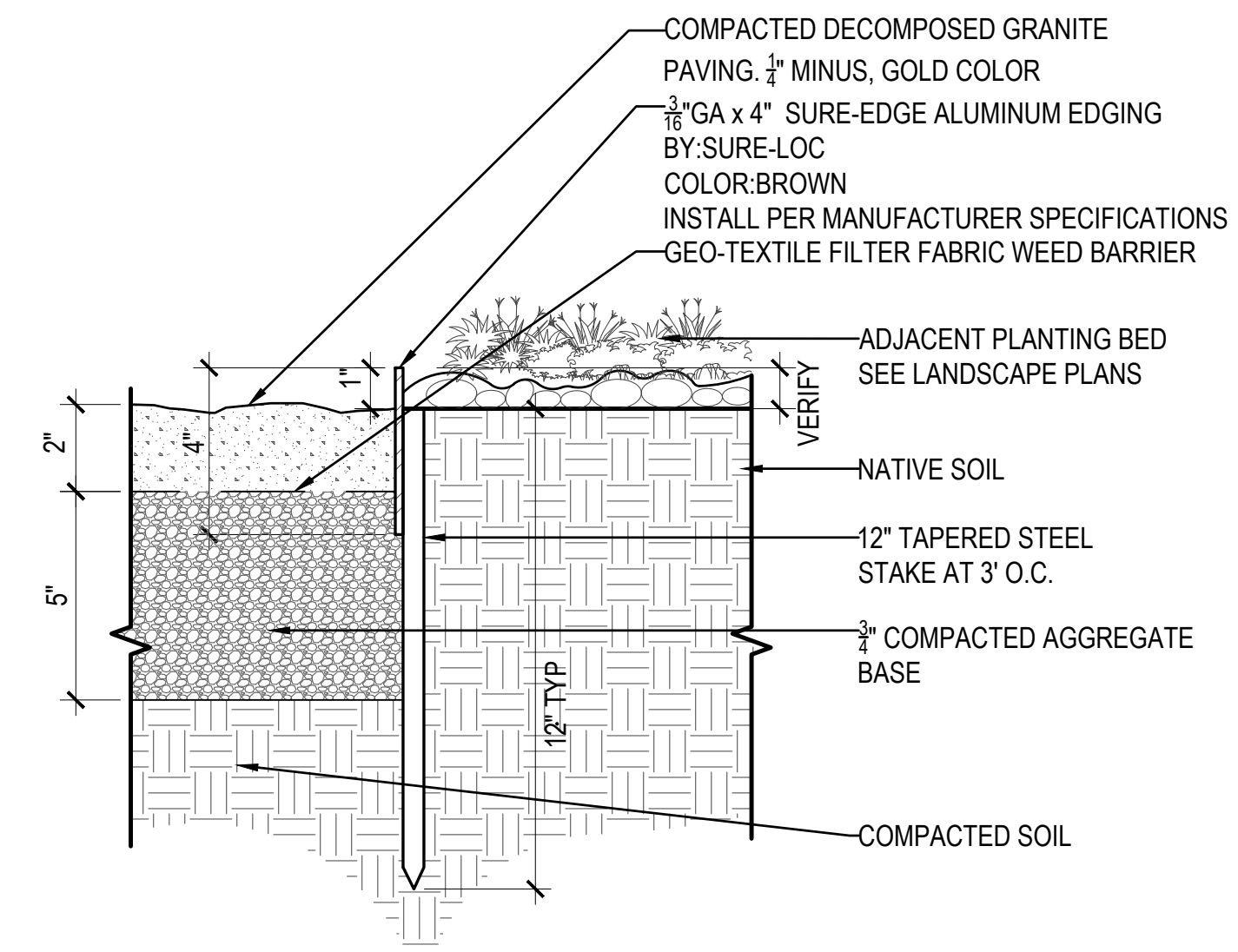
L1.00

10/13/2020 3:36:43 PM



### KEY NOTES:

- ALL DIMS AND LAYOUT INFORMATION IS TO FACE OF WALL OR CURB, UNLESS NOTED OTHERWISE.
- PROVIDE ADDITIONAL EXPANSION JOINTS BETWEEN SLABS AND COLUMNS, WALLS AND FOOTINGS, AND AT JUNCTIONS OF DRIVEWAYS WITH WALKS, CURBS OR OTHER OBSTRUCTIONS.
- INSTALL EVERY 30' OF LINEAR SIDEWALKS
- EJ REPRESENTS LOCATION OF A EXPANSION JOINT. ALL OTHER SCORING ARE CONTROL JOINTS.
- CONTRACTOR SHALL ADD ADDITIONAL EXPANSION JOINTS AS NEEDED.
- SEE CONTROL JOINT AND EXPANSION JOINT 3 / L1.00 FOR ADDITIONAL INFORMATION.
- P.O.B. POINT OF BEGINNING. KNOWN REFERENCE POINT FOR DIMENSIONS.
- ALL PLAY EQUIPMENT FALL ZONES SHALL BE CLEAR OF ALL OBJECTS. ONLY LOG CLIMBERS MAY SHARE FALL ZONES WITH EACH OTHER.



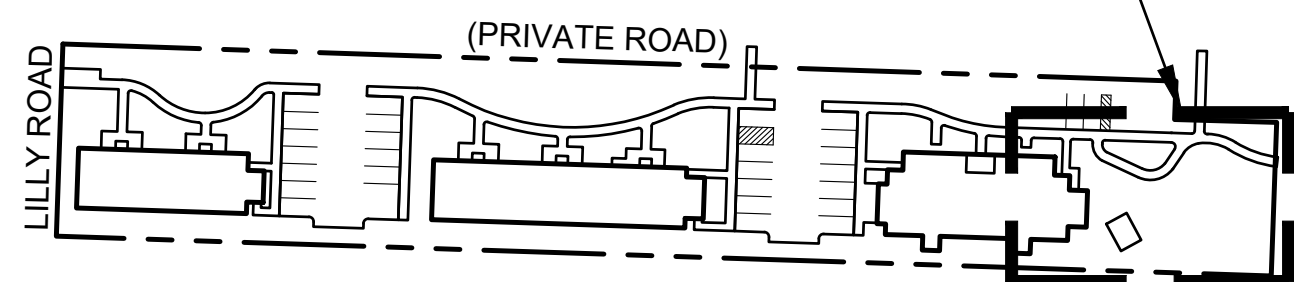
### 3 DECOMPOSED GRANITE & EDGING

SCALE: 3"=1'-0"

### 1 DIMENSION PLAN ENLARGEMENT

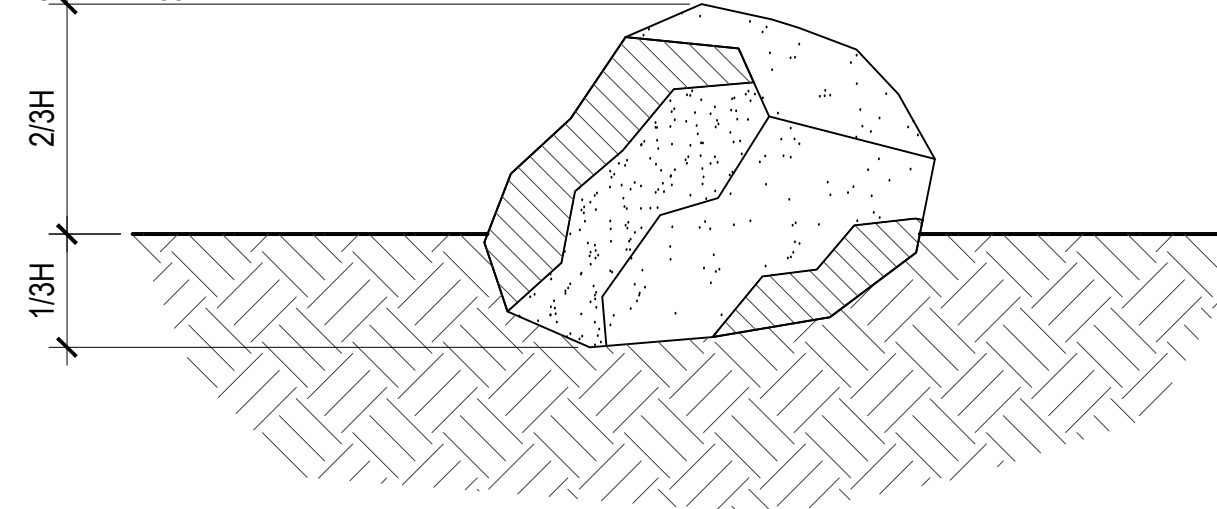
SCALE: 1/8"=1'

DIMENSION PLAN ENLARGMENT



### 2 KEY MAP

SCALE: 1:100



#### NOTES:

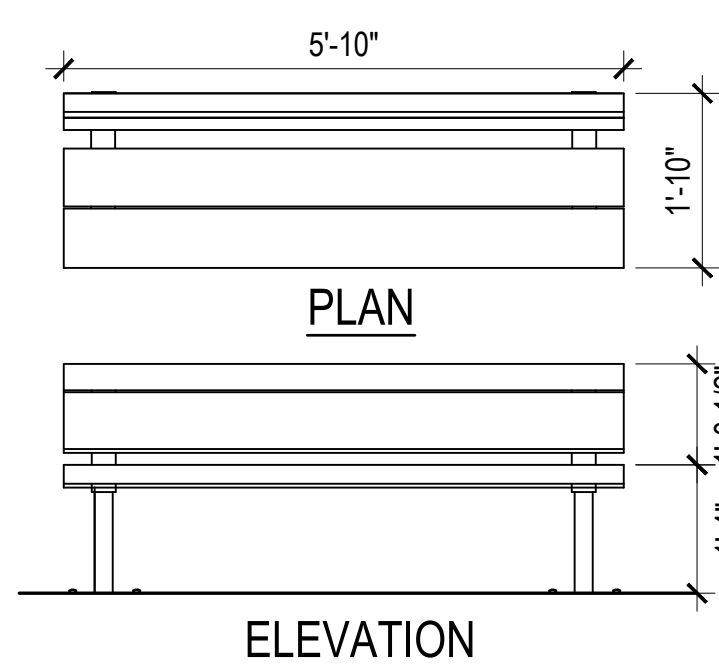
- H = HEIGHT OF BOULDER.
- BOULDERS:  
A. WASHED, CLEAN, DURABLE AND UNBROKEN.  
B. SIZE RANGE: 1/2 MAN TO 5 MAN, SEE NOTE 6 SHEET L1.1, TO BE SOURCED LOCALLY.  
C. MATERIAL: COLUMBIA RIVER BASALT
- USE CARE IN LOADING AND UNLOADING BOULDERS. AVOID CHIPPING, ABRASIONS, CRACKING OR OTHER DEFECTS.
- PREPARE BOULDER FOOTING BY EXCAVATION AS INDICATED IN DETAIL TO NEST BOULDERS AND CREATE A FIRM, UNYIELDING SUB-BASE. BOULDERS SHOULD NOT ROCK OR TIP IN ANY WAY AFTER INSTALLATION. VERIFY LOCATIONS PRIOR TO INSTALLATION.

### 4 BOULDER BURIAL, TYP.

SCALE: 1"=1'-0"

### 5 6' PARKWAY BENCH

SCALE: 1/2"=1'-0"

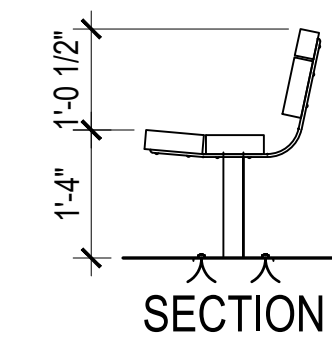


#### NOTES:

PARKWAY BENCH BY TIMBERFORM  
MODEL NUMBER: 2016-6 (WOOD SLATS)  
OPTIONS: 6' LENGTH, SURFACE MOUNT SEE BENCH CONCRETE PAD DETAIL  
MATERIALS: POWDER COATED STEEL, DOUGLAS FIR WOOD  
COLORS: POWDER COATED STEEL BLACK  
CONTACT: DAVID GASTON  
Outdoorcathedral@gmail.com  
INSTALL PER MANUFACTURES SPECIFICATIONS



CHARACTER IMAGE



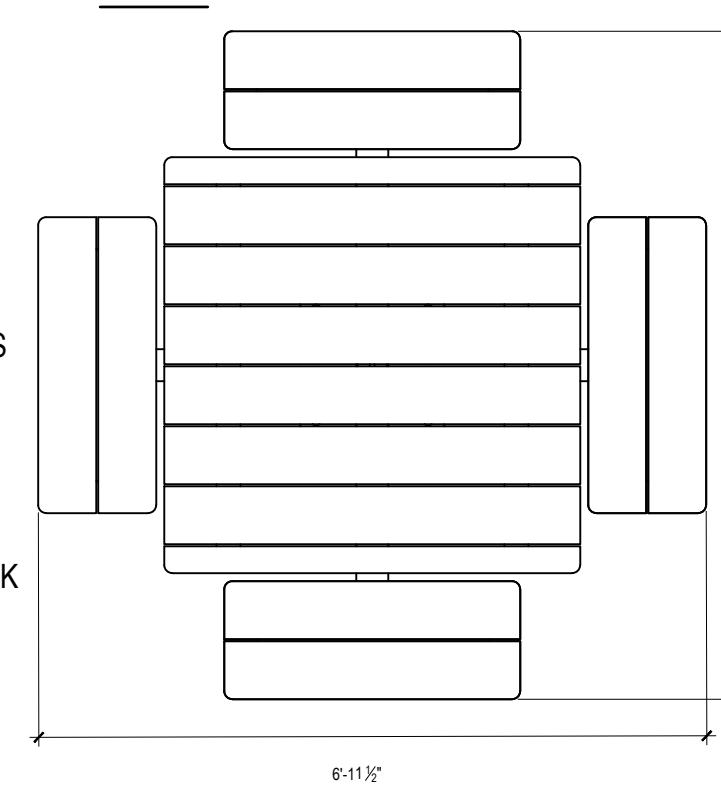
SECTION



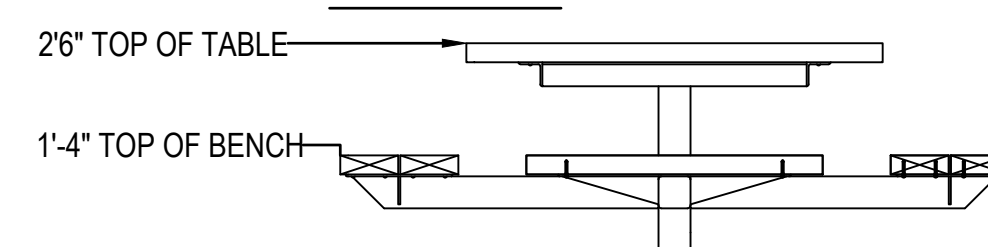
CHARACTER IMAGE

DESCRIPTION: INTEGRAL TABLE & SEATS (WOOD SLATS)  
MODEL NUMBER: 2056-8484  
QUANTITY: 1  
MATERIALS: POWDER COATED STEEL, DOUGLAS FIR WOOD  
COLORS: POWDER COATED STEEL BLACK  
BY: TIMBERFORM  
CONTACT: DAVID GASTON  
David@timberform.com  
INSTALL PER MANUFACTURE SPECIFICATIONS

#### PLAN

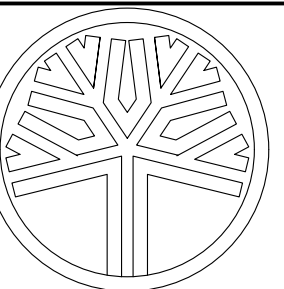


#### ELEVATION



### 6 PARKWAY TABLE

SCALE: 1/2"=1'-0"



STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT  
*Laurel A. Macdonald*  
Laurel A. Macdonald  
CERTIFICATE NO. 350



REVISION NO. DATE

### OC-III APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW

DATE  
10/01/2021

SCALE  
1/8"=1'

PROJECT NUMBER  
202010.00

DRAWN BY  
SF

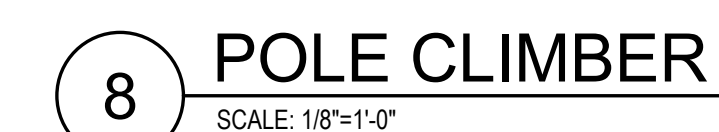
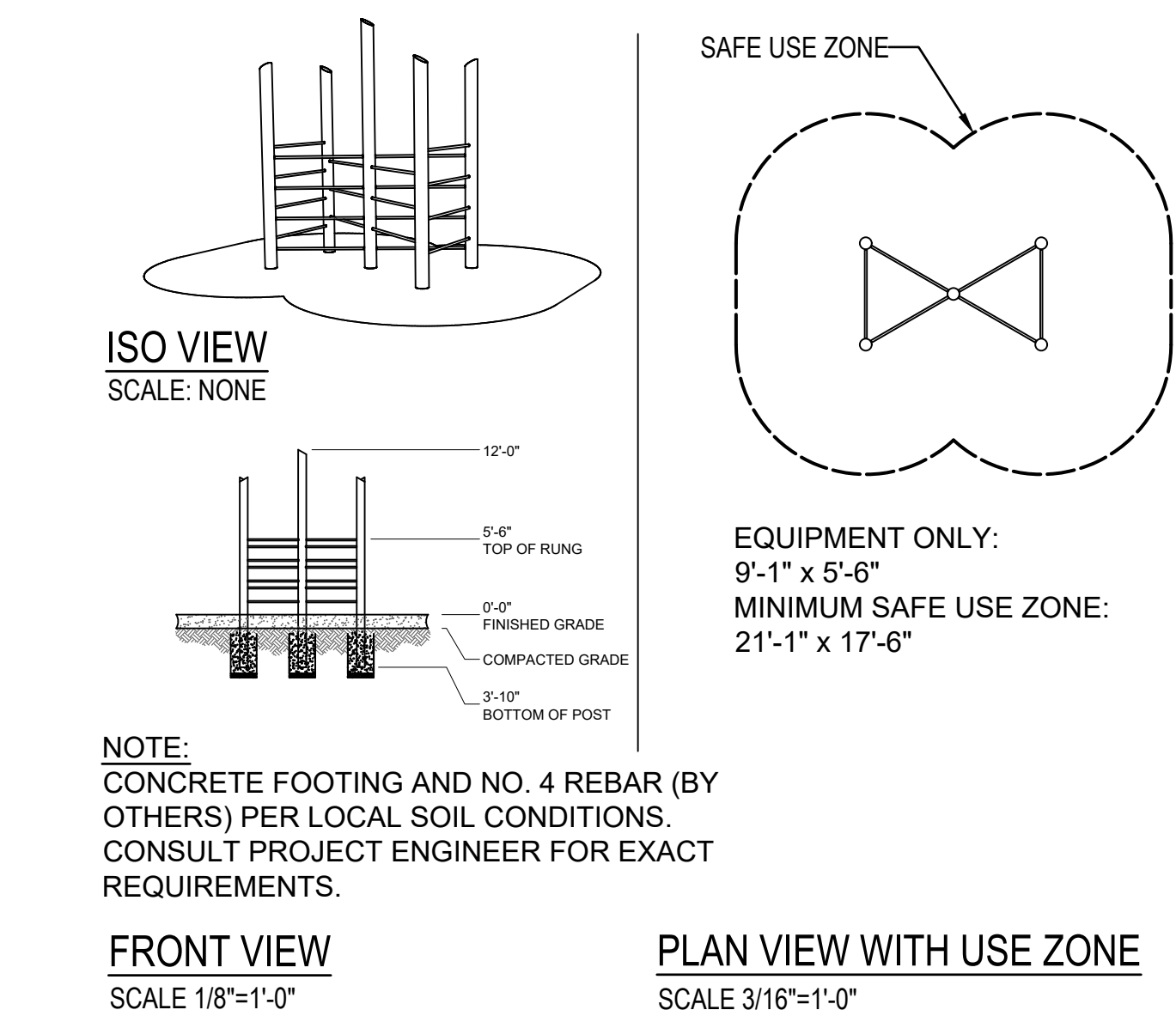
DRAWING TITLE

### DIMENSION PLAN

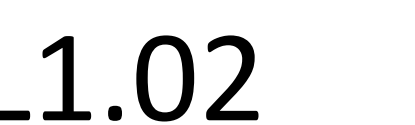
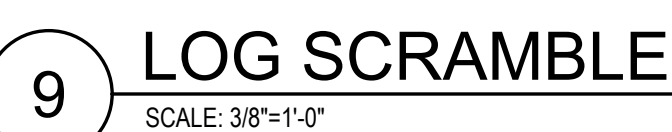
SHEET NUMBER

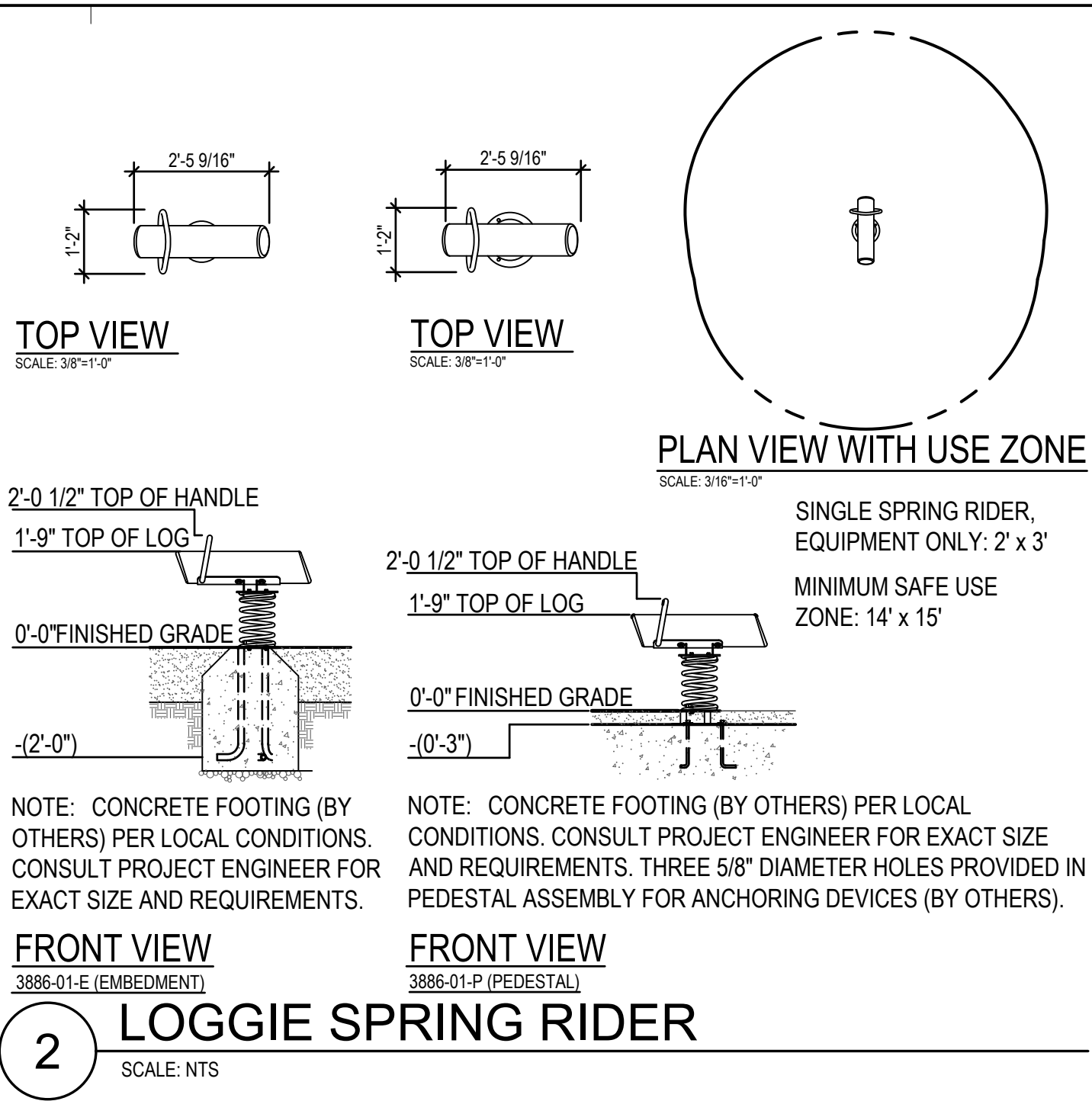
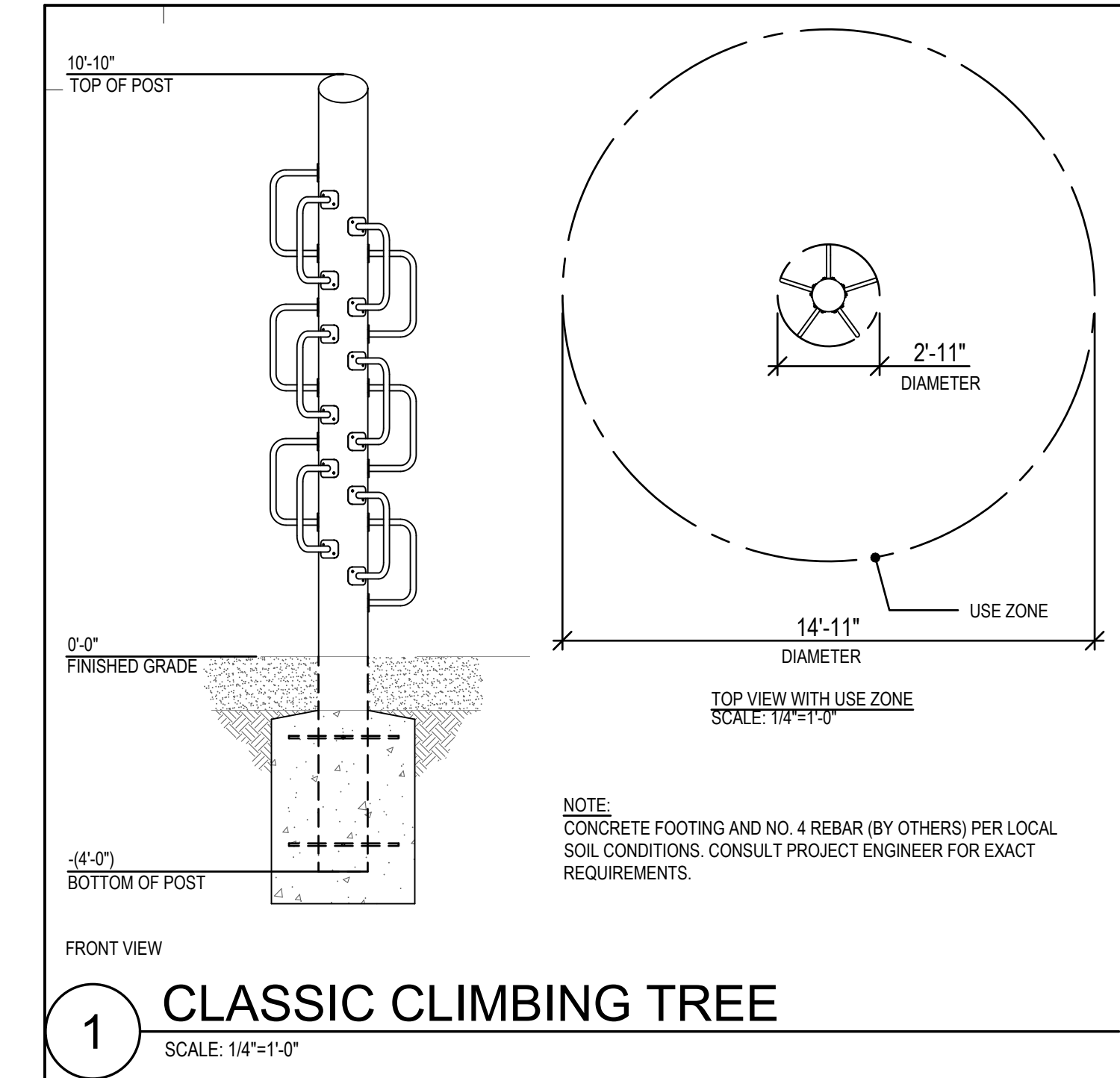
**L1.01**

CITY STAMP



## 5 ENGINEERED WOOD FIBERS





REVISION NO	DATE

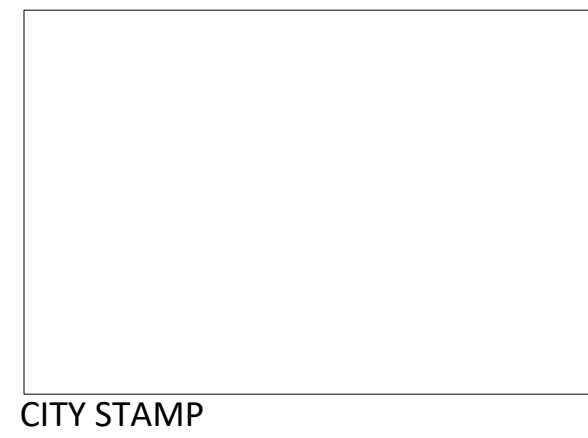
OC-III  
APARTMENTS

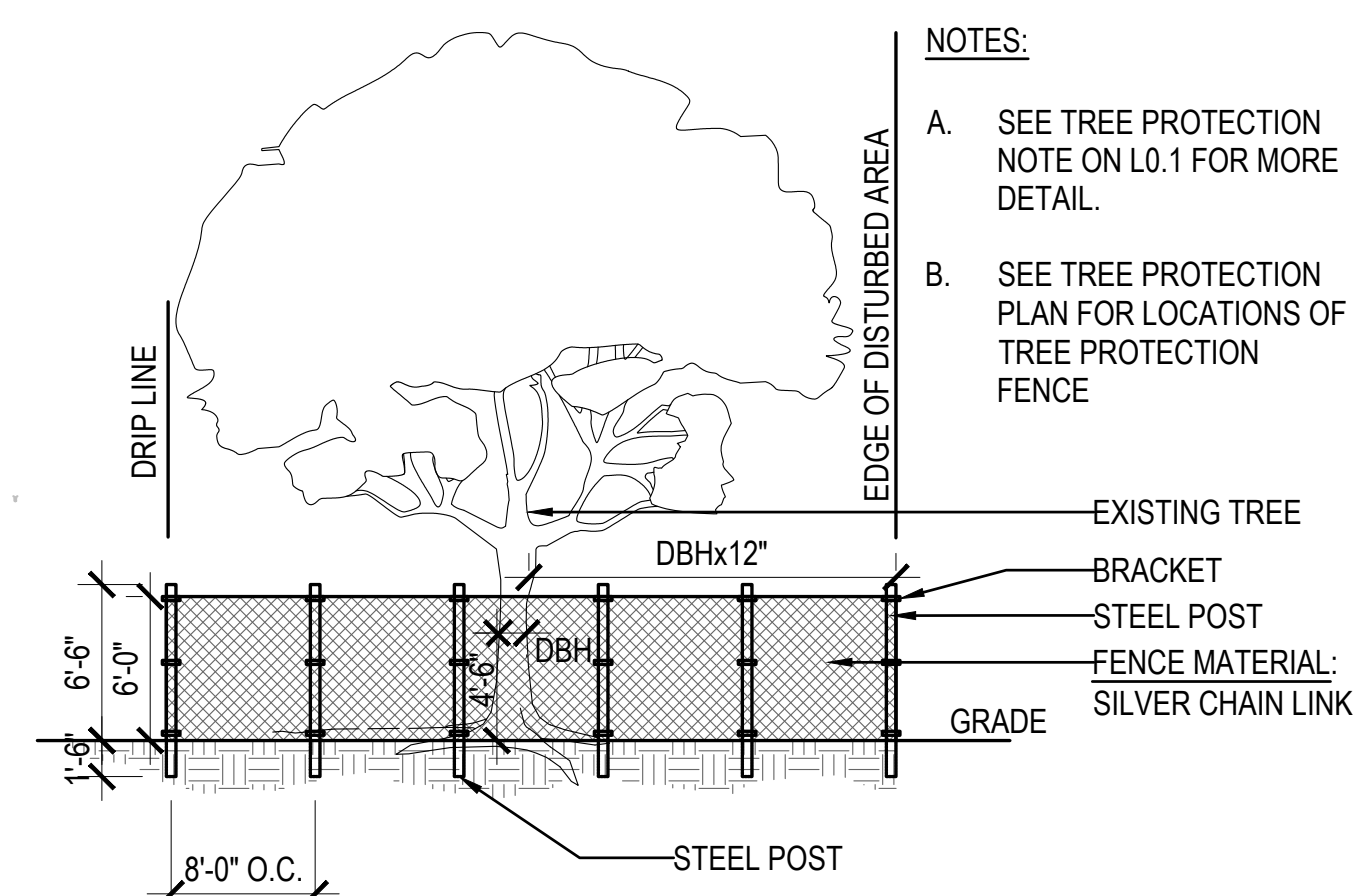
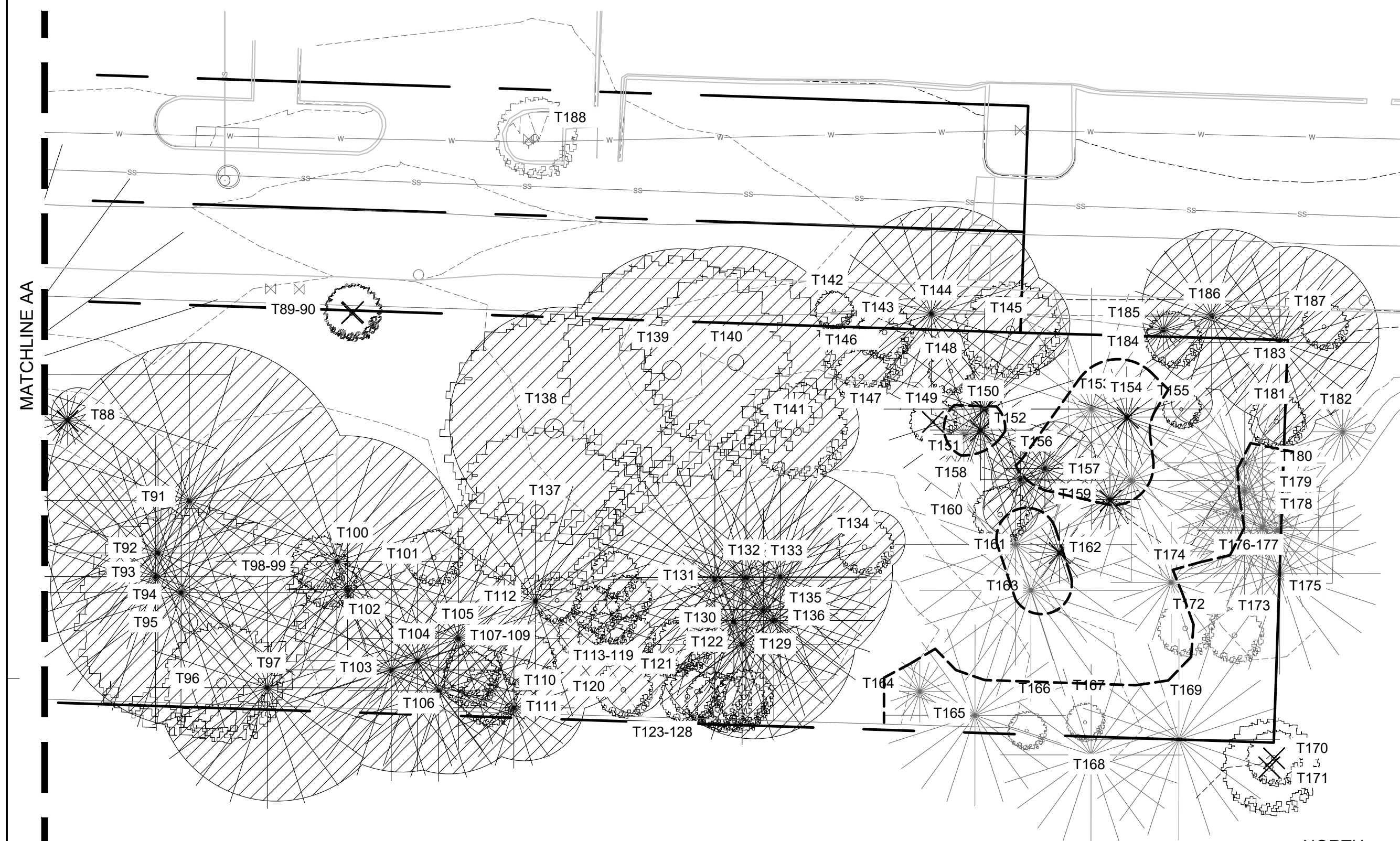
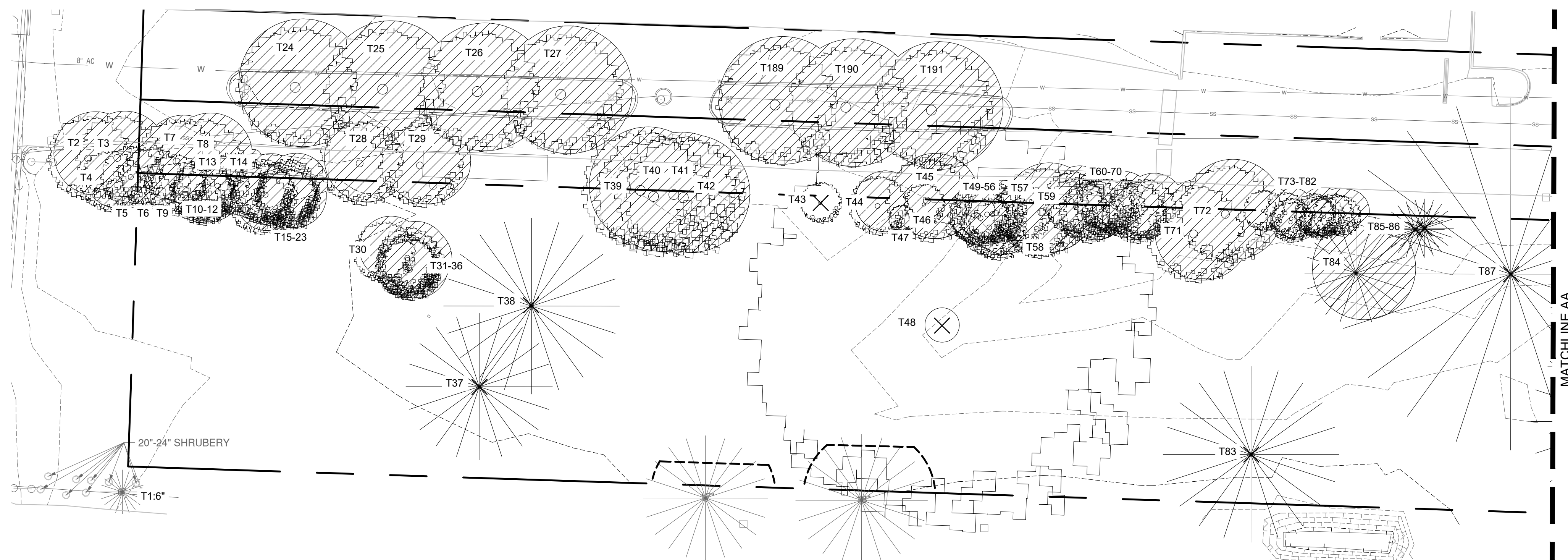
204 LILLY RD NE  
OLYMPIA, WA  
95806

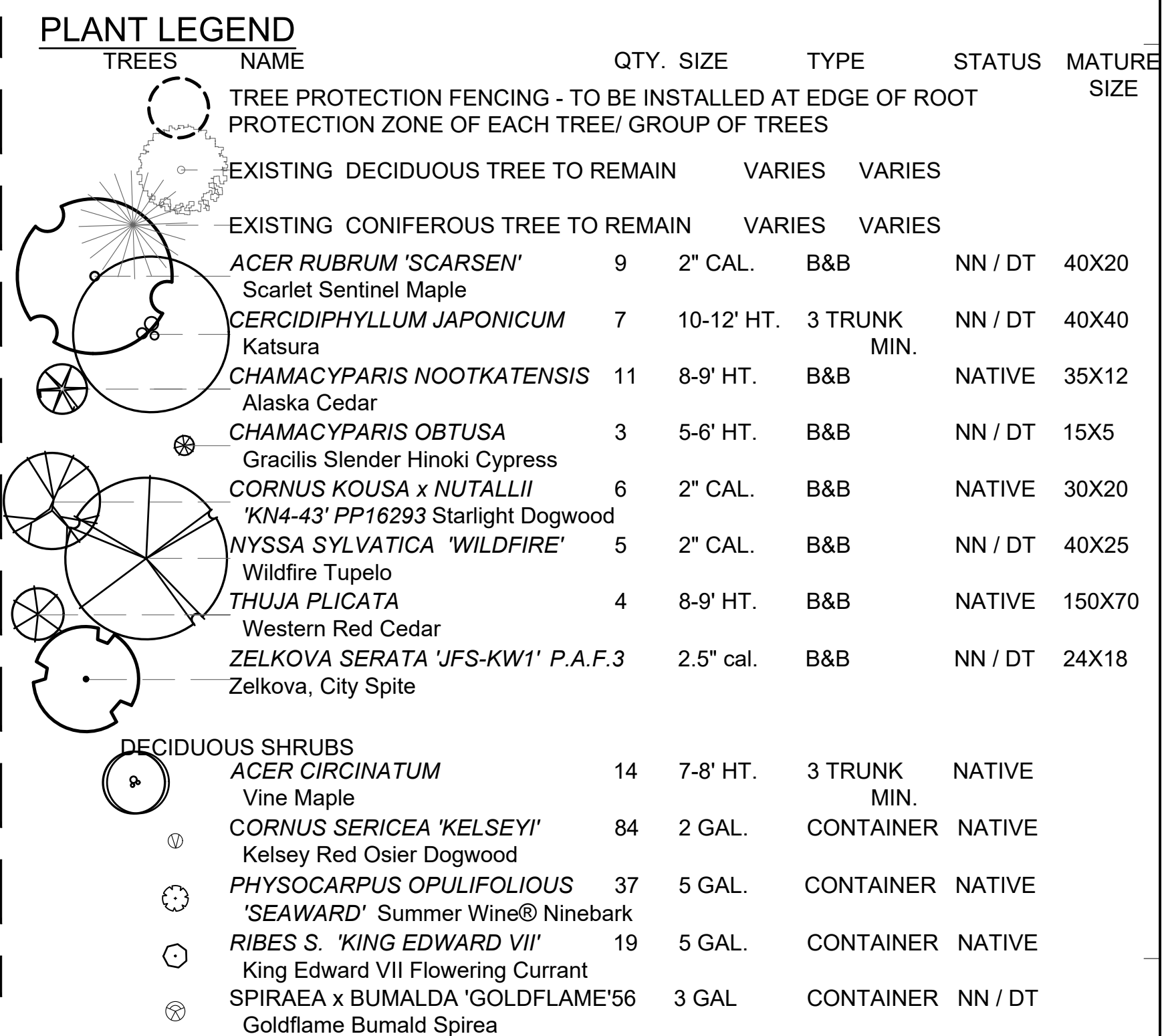
ISSUANCE
DETAIL DESIGN REVIEW
DATE 10/01/2021
SCALE PER PLAN
PROJECT NUMBER 202010.00
DRAWN BY SF
DRAWING TITLE

SITE  
DETAILS

















SHEET NUMBER  
L1.03







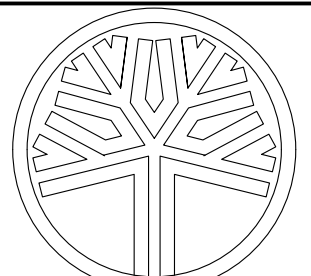
- |     |   |     |  |
|-----|---|-----|--|
| 1.  | LANDSCAPE CONTRACTOR SHALL SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.  | 14. | MAXIMUM HARDSCAPE AREA = 80%<br>Site area is 62,291sf<br>80% of site= 49,833sf maximum<br>Hardscape area provided = 28,012sf (45%)   |
| 2.  | ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED BEST INDUSTRY STANDARDS FOR PLANTING PROCEDURES.   | 15. | 30 TREE UNITS PER ACRE = 43 REQUIRED TREES<br>TREES FOR RETENTION = 59 UNITS (REFER TO A1.00)  |
| 3.  | PLANT MATERIALS SHALL BE OF HIGH GRADE, AND SHALL MEET THE QUALITY AND SIZE STANDARDS FOR NURSERY STOCK.  | 16. | SOUTH BOUNDARY - TYPE II BUFFER<br>12 PROPOSED TREES & 10 EXISTING TREE UNITS<br>60% EVERGREEN REQUIRED = 13 TREES<br>60% EVERGREEN PROPOSED = 8<br>PROPOSED TREES & 10 EXISTING TREES UNITS = 18 EVERGREEN TREE UNITS   |
| 4.  | PLANTINGS SHALL BE MULCHED TO A MINIMUM DEPTH OF 4 INCHES AND 18 INCHES IN DIAMETER.  | 17. | THE SOILS ON SITE CONSIST OF TWO SOIL TYPES. ALDERWOOD GRAVELLY SANDY LOAM WITH 8-15% SLOPES AND YELM FINE SANDY LOAM WITH 3-15% SLOPES. SEE GEOTECH REPORT FOR ADDITIONAL DETAIL. SOILS WILL BE AMENDED TO SOIL SPECIFICATIONS SEE SECTION 32 91 13 IN THE SPEC BOOK. STORMWATER FACILITIES WILL BE AMENDED TO MEET BIORETENTION SOIL MIX IN THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON SEE CIVIL PLANS. |
| 5.  | PLANT QUANTITIES SHOWN IN PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN LEGEND.   | 18. | THE SITE PREP AND INSTALLATION OF PLANT MATERIALS WILL OCCUR WITHIN THE LAST TWO MONTHS OF CONSTRUCTION. THE CONSTRUCTION DURATION IS ANTICIPATED TO BE 10 MONTHS LONG AND THE GOAL IS FOR THE PROJECT TO START CONSTRUCTION FEBRUARY 2022.  |
| 6.  | PLANTS INDICATED AS SPECIMEN ARE TO BE HAND SELECTED BY LANDSCAPE ARCHITECT.  | 19. | THE ESTIMATED COST FOR PURCHASE, INSTALLATION AND 3 YEARS OF MAINTENANCE OF LANDSCAPING IS \$215,750   |
| 7.  | NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT / OWNER AND THE CITY OF OLYMPIA.  | 20. | NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT / OWNER AND CITY OF OLYMPIA.   |
| 8.  | PRIOR TO PLANT INSTALLATION, AN INSPECTION OF THE SOIL AMENDMENT AND PLANTS TO BE INSTALLED WILL BE SCHEDULED BY THE APPLICANT AND PERFORMED BY THE CITY.   | 21. | PRIOR TO PLANT INSTALLATION, AN INSPECTION OF THE SOIL AMENDMENT AND PLANTS TO BE INSTALLED WILL BE SCHEDULED BY THE APPLICANT AND PERFORMED BY THE CITY.  |
| 9.  | ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT / OWNER AND FINAL INSPECTION APPROVAL BY THE CITY OF OLYMPIA.  | 22. | ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT / OWNER AND FINAL INSPECTION APPROVAL BY THE CITY OF OLYMPIA.   |
| 10. | THE LANDSCAPE PLAN SHALL BE UPDATED SHOWING ACCURATE PLANTING MATERIALS PRIOR TO BUILDING OCCUPANCY.  | 23. | THE LANDSCAPE PLAN SHALL BE UPDATED SHOWING ACCURATE PLANTING MATERIALS PRIOR TO BUILDING OCCUPANCY.   |
| 11. | LANDSCAPE SHALL COMPLY WITH CITY OF OLYMPIA CODE TITLE 18 AND CHAPTERS 18.36 AND 18.38 AT TIME OF BUILDING PERMIT.  |     |  |
| 12. | PARKING INTERIOR LANDSCAPING (18.36.180.C1):<br>Parking Spaces Provided: 33<br>31sf of landscaping per parking standard space<br>31*33=1,023 SF required<br>1,962 SF provided   |     |  |
| 13. | LANDSCAPE ISLAND DESIGN (18.36.180.C2)<br>A: All islands exceed 144sf and all trees are either over 6' from any hardscape or have structural soils.<br>B: Landscape islands are at all ends of parking rows and 10 parking islands for 33 spaces<br>C: Curbs are installed around all landscape areas within the parking lot. |     |  |

- | EVERGREEN SHRUBS  |  |          |        |           |         |  |
|---|--|----------|--------|-----------|---------|--|
|    | <i>GAULTHERIA SHALLON</i><br>Salal                           | 31       | 5 GAL. | CONTAINER | NATIVE  |  |
|    | <i>ESCALLONIA 'COMPAKTA'</i><br>Compact Escallonia           | 33       | 3 GAL. | CONTAINER | NATIVE  |  |
|    | <i>MAHONIA AQUIFOLIUM</i><br>Tall Oregon Grape               | 73       | 5 GAL. | CONTAINER | NATIVE  |  |
|    | <i>MYRICA CALIFORNICA</i><br>California Wax Myrtle           | 23       | 7 GAL. | CONTAINER | NATIVE  |  |
|   | <i>PIERIS JAPONICA 'MT. FIRE'</i><br>Mountain Fire Andromeda | 15       | 24-30" | CONTAINER | NN / DT |  |
|  | <i>RHODODENDRON 'ELIZABETH'</i><br>Elizabeth Rhododendron    | 44       | 21-24" | CONTAINER | NN / DT |  |
|  | <i>RHODODENDRON MACROPHYLLUM</i><br>Pacific Rhododendron     | 10       | 5 GAL. | CONTAINER | NATIVE  |  |
|  | <i>VACCINIUM OVATUM</i><br>Evergreen Huckleberry             | 22       | 5 GAL. | CONTAINER | NATIVE  |  |
| GROUND COVERS & FERN  |  |          |        |           |         |  |
|  | <i>ARCHTOSTAPHYLOS UVA URSI</i><br>Kinnikinnick              | 1,072    | 1 GAL  | 18" O.C.  | NATIVE  |  |
|  | <i>CAREX MORROWII</i><br>Aurea Variegata Sedge               | 97       | 2 GAL. | CONTAINER | NATIVE  |  |
|  | <i>FRAGERIA CHILOENSIS</i><br>Coast Strawberry               | 413      | 1 GAL. | 18" O.C.  | NATIVE  |  |
|  | <i>HEMEROCALIS 'STELLA D'ORRO'</i><br>Day Lilly              | 49       | 1 GAL. | CONTAINER | NN / DT |  |
|  | <i>OPHIOPOGON PLANISCAPUS</i><br>Green Mondo Grass           | 488      | 1 GAL  | 12" O.C.  | NN / DT |  |
|  | <i>POLYSTICHUM MUNITUM</i><br>Western Sword Fern             | 98       | 2 GAL. | CONTAINER | NATIVE  |  |
|  | <i>RUDBECKI FULGIDA 'SULLIVANTII'</i><br>Goldstrum           | 51       | 1 GAL. | CONTAINER | NATIVE  |  |
| STORMWATER PLANTING   |  |          |        |           |         |  |
| SEED MIXES  |  |          |        |           |         |  |
|  | <i>SL Rough and Ready seeded lawn</i>                        | 7,300 SF |        |           |         |  |



**mwa architects**

70 NW COUCH STREET  
SUITE 401  
PORTLAND, OR 97209  
P 503 973 5151  
F 503 973 5060  
[MWAARCHITECTS.COM](http://MWAARCHITECTS.COM)



STATE OF  
WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT



Laurel A. Macdonald  
CERTIFICATE NO. 350



REVISION NO	DATE
-------------	------

OC-III  
APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW

DATE  
10/01/2021

SCALE  
1:20

PROJECT NUMBER  
202010.00

DRAWN BY  
SE

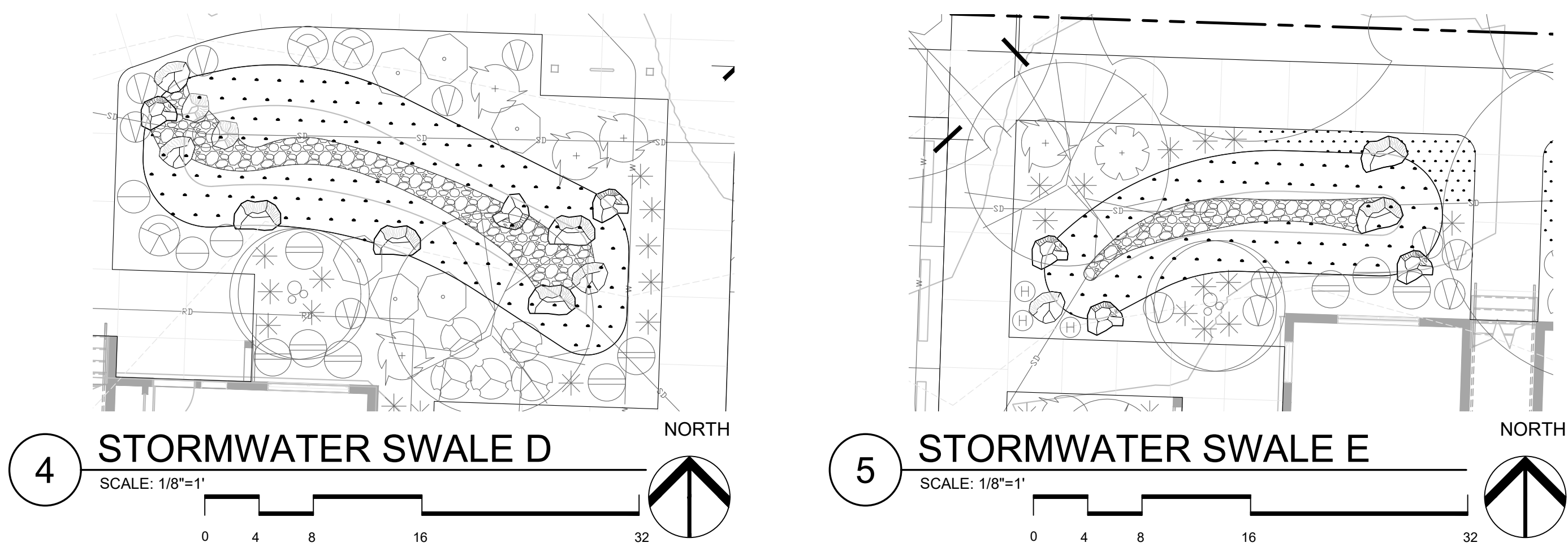
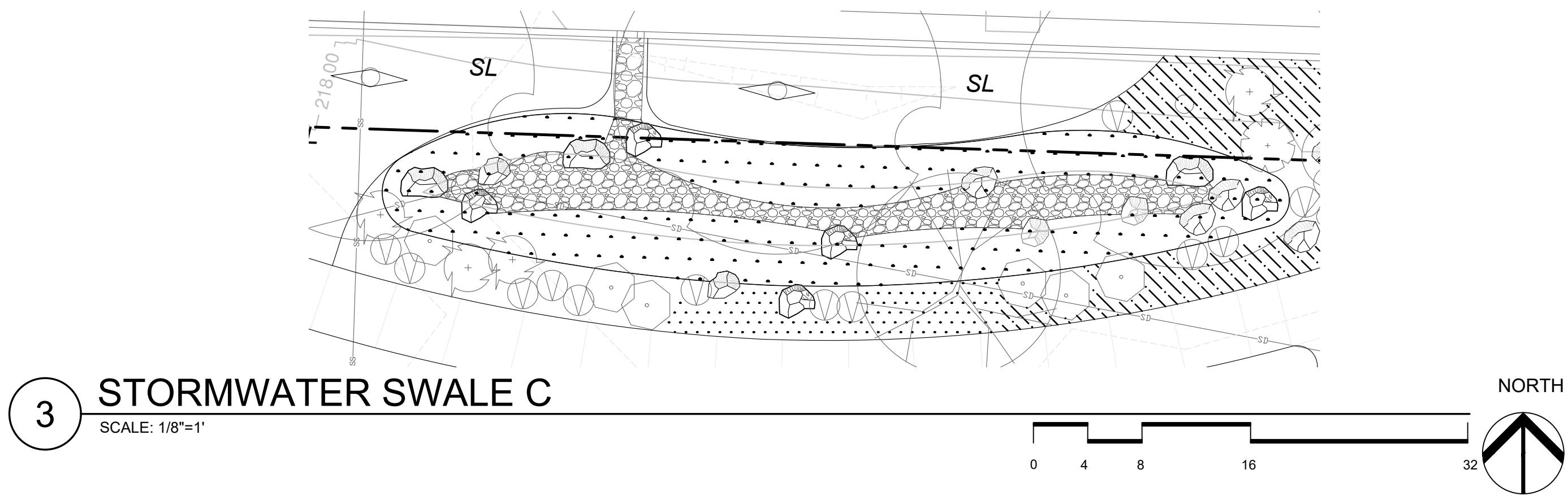
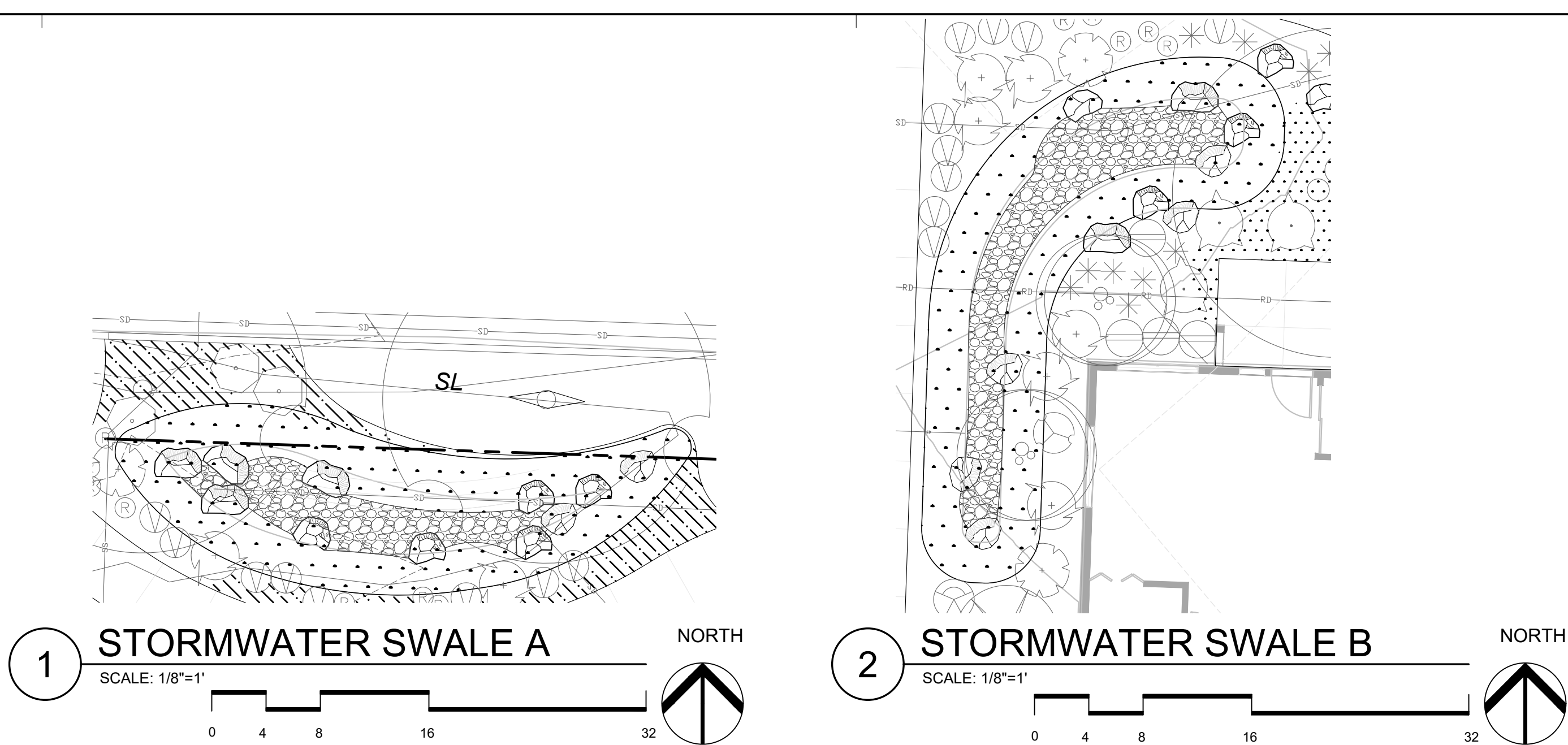
DRAWING TITLE

## PLANTING PLAN

SHEET NUMBER

L3.00

10/13/2020 3:36:43 PM



STORM WATER SWALES PLANT TABLES

SWALE A - PLANTER - 313sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	91	1 GAL	12"O.C.
	CAREX STIPATA Sawbeak Sedge	90	1 GAL	12"O.C.
	JUNCUS TENUIS Slender Rush	90	1 GAL	12" O.C.
	SCRIPTUS AMERICANUS American Bulrush	90	1 GAL	12"O.C.
SWALE A - TOTAL PLANTS =361				

SWALE B - PLANTER - 317sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	92	1 GAL	12"O.C.
	CAREX STIPATA Sawbeak Sedge	92	1 GAL	12"O.C.
	JUNCUS TENUIS Slender Rush	91	1 GAL	12" O.C.
	SCRIPTUS AMERICANUS American Bulrush	91	1 GAL	12"O.C.
SWALE B - TOTAL PLANTS =366				

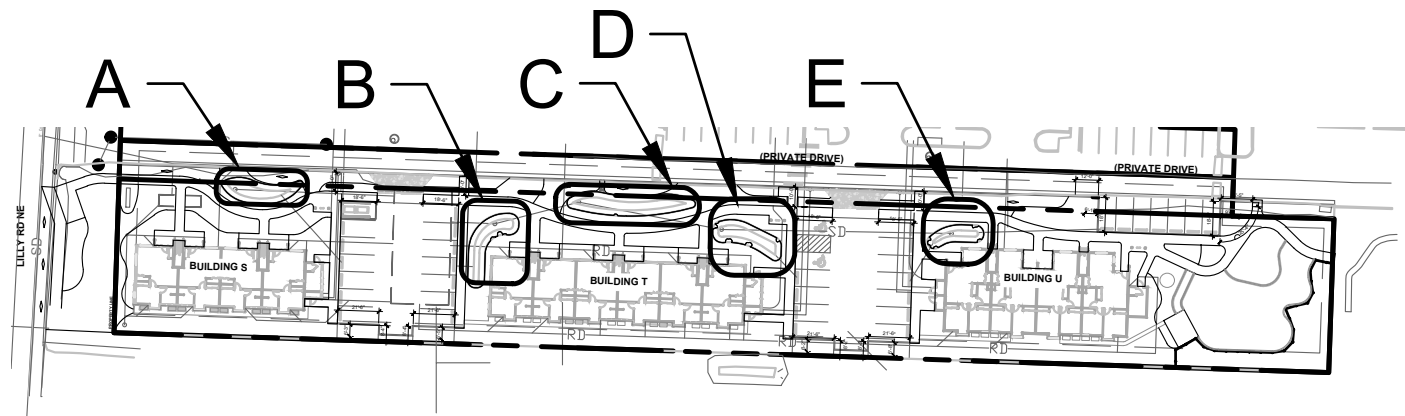
SWALE C - PLANTER - 472sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	137	1 GAL	12"O.C.
	CAREX STIPATA Sawbeak Sedge	136	1 GAL	12"O.C.
	JUNCUS TENUIS Slender Rush	136	1 GAL	12" O.C.
	SCRIPTUS AMERICANUS American Bulrush	136	1 GAL	12"O.C.
SWALE C - TOTAL PLANTS =545				

SWALE D - PLANTER - 310sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	90	1 GAL	12"O.C.
	CAREX STIPATA Sawbeak Sedge	89	1 GAL	12"O.C.
	JUNCUS TENUIS Slender Rush	89	1 GAL	12" O.C.
	SCRIPTUS AMERICANUS American Bulrush	89	1 GAL	12"O.C.
SWALE D - TOTAL PLANTS = 357				

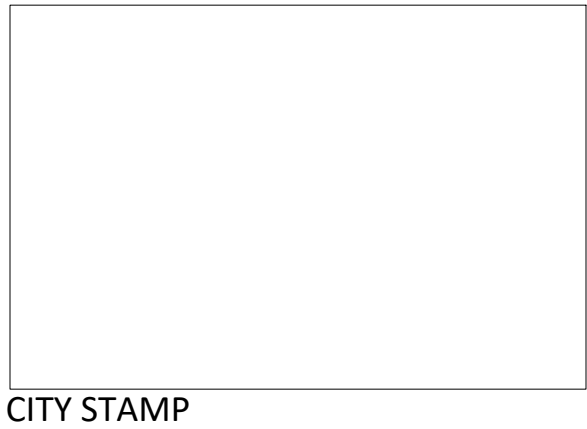
SWALE E - PLANTER - 191sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	55	1 GAL	12"O.C.
	CAREX STIPATA Sawbeak Sedge	55	1 GAL	12"O.C.
	JUNCUS TENUIS Slender Rush	55	1 GAL	12" O.C.
	SCRIPTUS AMERICANUS American Bulrush	55	1 GAL	12"O.C.
SWALE E - TOTAL PLANTS = 220				

STORMWATER PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL SEE CIVIL DRAWINGS FOR STORMWATER CATCHMENTS CONSTRUCTION DETAILS AND NOTES.
2. PLANT MATERIALS SHALL BE OF HIGH GRADE, AND SHALL MEET THE QUALITY AND SIZE STANDARDS FOR NURSERY STOCK.
3. STORMWATER FACILITIES SHALL BE INSTALLED, PLANTED AND MAINTAINED TO COMPLY WITH LID TECHNICAL GUIDANCE MANUAL FOR PUGET SOUND
4. ALL STORMWATER FACILITY PLANTING SHALL HAVE A 90% SURVIVAL RATE AT 2 YEARS FROM PLANTING. FACILITIES NOT IN COMPLIANCE AT THE 2 YEAR MARK SHALL BE REPLANTED TO COMPLY.



KEY MAP



REVISION NO	DATE

OC-III  
APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE DETAIL DESIGN REVIEW
DATE 10/01/2021
SCALE 1/8"=1'
PROJECT NUMBER 202010.00
DRAWN BY SF
DRAWING TITLE <b>STORMWATER PLANTING PLANS</b>

SHEET NUMBER  
**L3.02**

1 TREES



ZELKOVA SERATA



SCARLET SENTINEL MAPLE



KATSURA TREE



ALASKA CEDAR



SLENDER HINOKI CYPRESS



STARLIGHT DOGWOOD



WILDFIRE TUPELO



WSTERN RED CEDAR

1 DECIDUOUS SHRUBS



VINE MAPLE



KELSEY RED TWIG DOGWOOD



SUMMER WINE NINEBARK



RED FLOWERING CURRENT



GOLD FLAME SPIRAEA

2 EVERGREEN SHRUBS



SALAL



EVERGREEN HUCKLEBERRY



TALL OREGON GRAPE



CALIFORNIA WAX MYRTLE



MOUNTAIN FIRE ANDROMEDIA



ELIZABETH RHODODENDRON



MACROPHYLLUM RHODODENDRON



COMPACT ESCALLONIA

3 GROUND COVERS AND PERENNIALS



KINNIKINNICK



VARIEGATA SEDGE



COAST STRAWBERRY



DAY LILLY



GOLDSTRUM

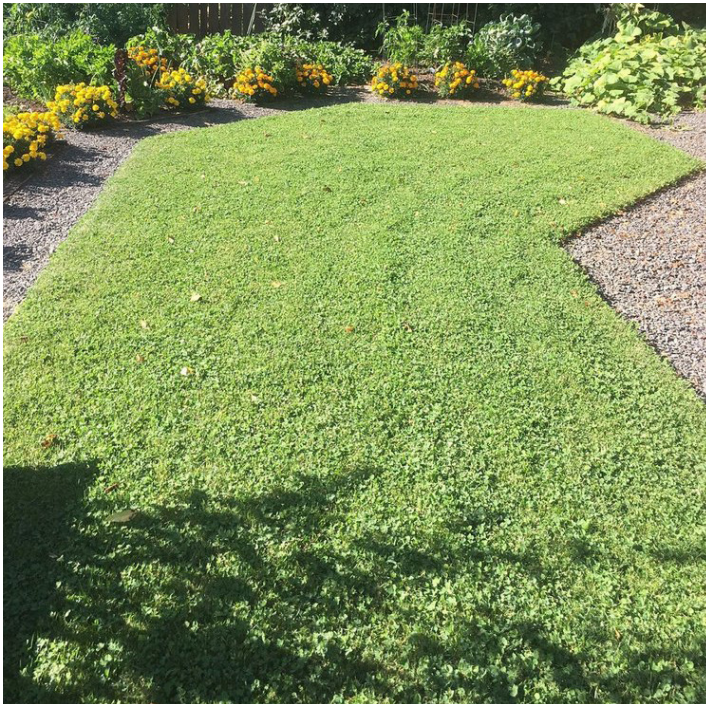


GREEN MONDO GRASS

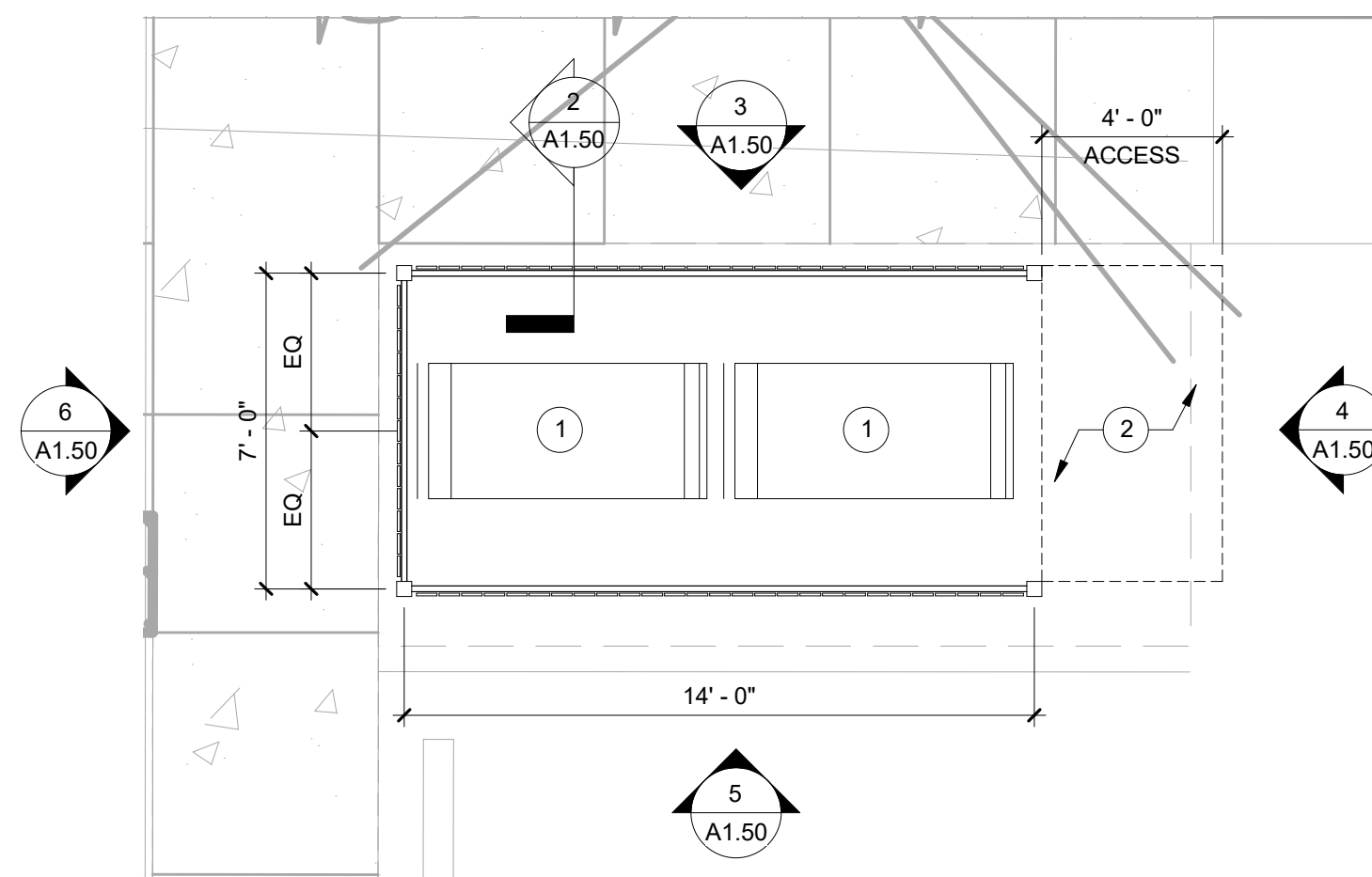


WESTERN SWORD FERN

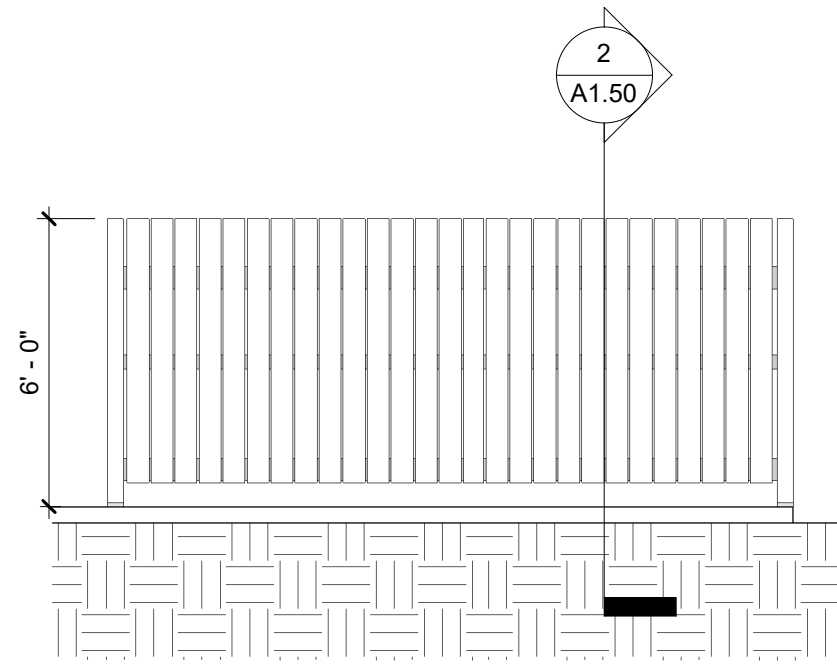
4 SEEDED LAWN



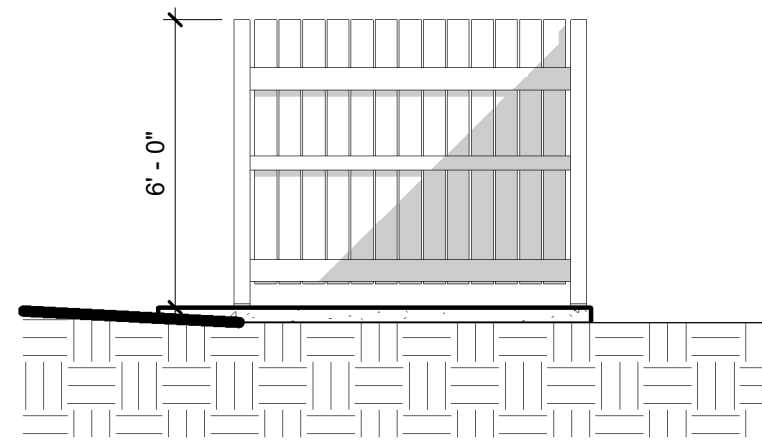
ROUGH AND READY SEEDED TURF



1 TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



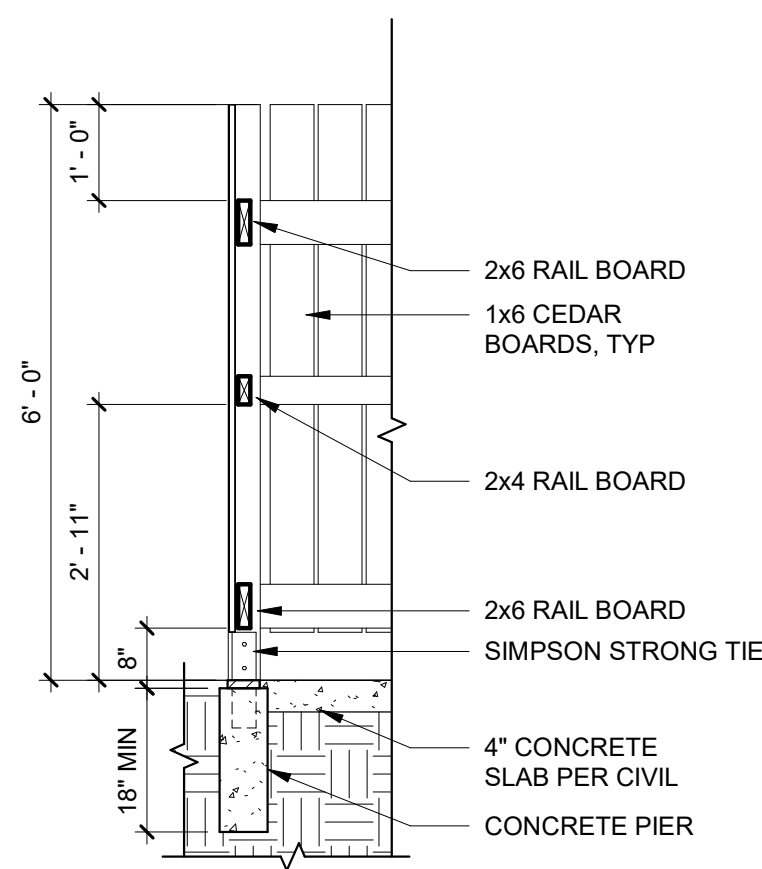
3 TRASH ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



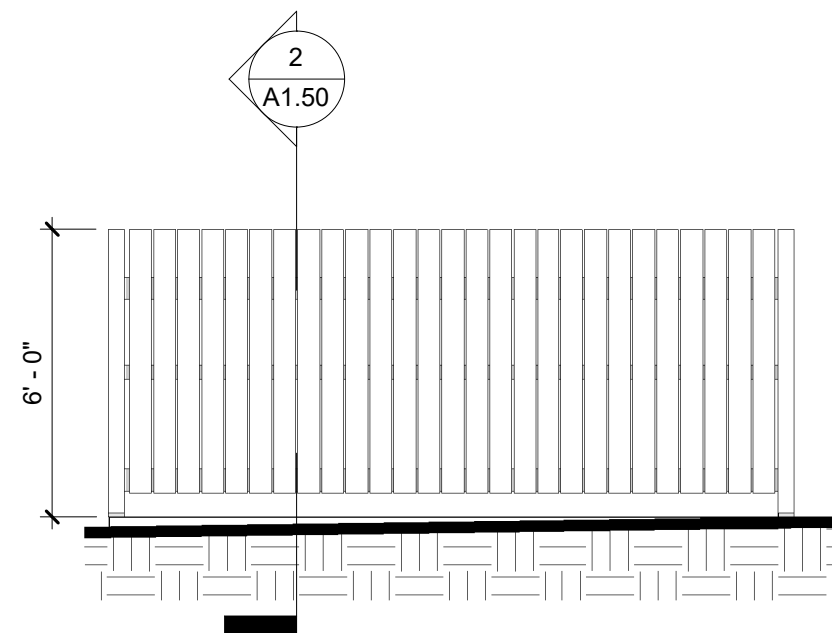
4 TRASH ELEVATION - EAST  
SCALE: 1/4" = 1'-0"



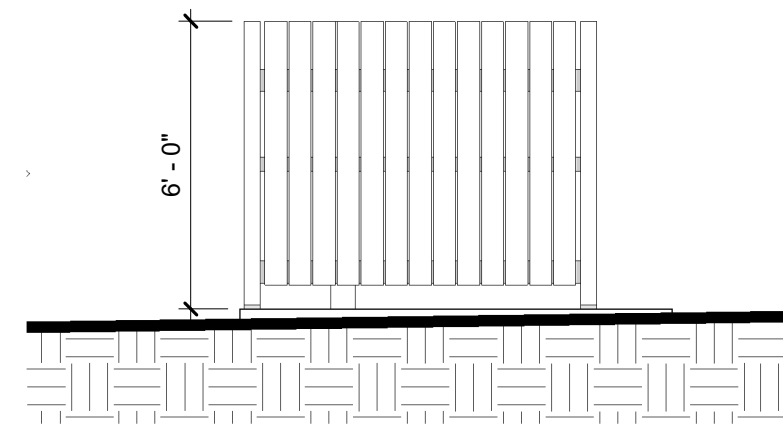
EXISTING 63" X 36" DUMPSTERS AND 7' X 7' TRASH ENCLOSURES ON SITE, SEE DRA1.10 FOR ALL LOCATIONS.



2 TRASH SECTION  
SCALE: 1/2" = 1'-0"



5 TRASH ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



6 TRASH ELEVATION - WEST  
SCALE: 1/4" = 1'-0"



EXISTING RECYCLING LOCATIONS ON SITE, SEE DRA1.10 FOR LOCATIONS.

## SHEET GENERAL NOTES

1. PROPERTY LINE BASED ON SURVEY PROVIDED BY OWNER.
2. SEE CIVIL DRAWINGS FOR UTILITY EASEMENT, SITE DIMENSIONS AT PARKING, SITE UTILITIES, GRADING, EROSION CONTROL, BUILDING PAD ELEVATIONS, AND RELATED DETAILS.
3. SEE LANDSCAPE DRAWINGS FOR HARDSCAPE DIMENSIONS, PLANTING, AND IRRIGATION INFORMATION.
4. SEE CIVIL DRAWINGS FOR ACCESSIBILITY SITE RELATED DETAILS.
5. SITE LIGHTING AND SERVICE DISTRIBUTION TO BE BIDDER DESIGNED.
6. SEE CIVIL DRAWINGS FOR FIRE HYDRANT AND FDC LOCATIONS.
7. DIMENSIONS AT BUILDINGS ARE TO FACE OF STUD.

## KEYNOTES

- 1 36" X 62" WHEELED DUMPSTER TO MATCH EXISTING
- 2 SLAB GRADING PER CIVIL
- 3 PIPE BIKE RACK

## LEGEND

- PROPERTY LINE
- - - - - CONTEXT LINE 100' FROM PROPERTY LINE
- 1 KEYNOTE
- LOCATION OF ACCESSIBLE PARKING SPACE/UNIT
- FR FIRE RISER ROOM
- T TRASH LOCATION
- R RECYCLING LOCATION
- EXISTING TREE TO REMAIN
- STORM DRAIN LOCATION PER CIVIL
- FIRE HYDRANT LOCATION PER CIVIL
- BOLLARD

CITY STAMP

REVISION NO DATE

## OC-III APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW

DATE  
10/01/2021

SCALE  
As indicated

PROJECT NUMBER  
202010.00

DRAWN BY  
OS

DRAWING TITLE

SITE DETAILS

SHEET NUMBER

A1.50

SHEET GENERAL NOTES

- 1. PROPERTY LINE BASED ON SURVEY PROVIDED BY OWNER.
- 2. SEE CIVIL DRAWINGS FOR UTILITY EASEMENT, SITE DIMENSIONS AT PARKING, SITE UTILITIES, GRADING, EROSION CONTROL, BUILDING PAD ELEVATIONS, AND RELATED DETAILS.
- 3. SEE LANDSCAPE DRAWINGS FOR HARDSCAPE DIMENSIONS, PLANTING, AND IRRIGATION INFORMATION.
- 4. SEE CIVIL DRAWINGS FOR ACCESSIBILITY SITE RELATED DETAILS.
- 5. SITE LIGHTING AND SERVICE DISTRIBUTION TO BE BIDDER DESIGNED.
- 6. SEE CIVIL DRAWINGS FOR FIRE HYDRANT AND FDC LOCATIONS.
- 7. DIMENSIONS AT BUILDINGS ARE TO FACE OF STUD.

KEYNOTES

- 1 36" X 62" WHEELED DUMPSTER TO MATCH EXISTING
- 2 SLAB GRADING PER CIVIL
- 3 PIPE BIKE RACK

LEGEND

- PROPERTY LINE
- - - - - CONTEXT LINE 100' FROM PROPERTY LINE
- ① KEYNOTE
- ♿ LOCATION OF ACCESIBLE PARKING SPACE/UNIT
- FR FIRE RISER ROOM
- T TRASH LOCATION
- R RECYCLING LOCATION
- ⊙ EXISTING TREE TO REMAIN
- STORM DRAIN LOCATION PER CIVIL
- FIRE HYDRANT LOCATION PER CIVIL
- BOLLARD

REVISION NO	DATE

OC-III  
APARTMENTS

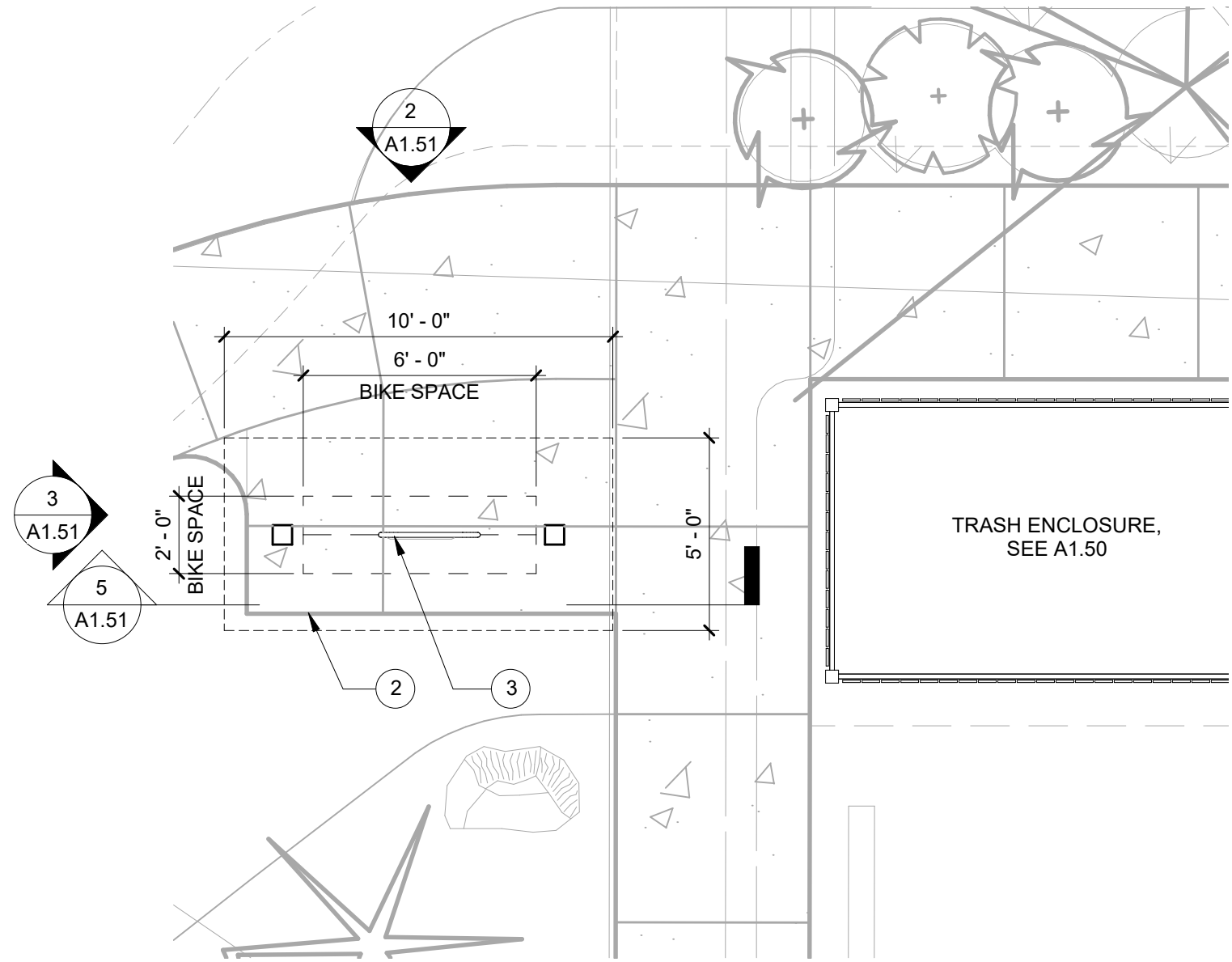
204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW  
DATE  
10/01/2021  
SCALE  
As indicated  
PROJECT NUMBER  
202010.00  
DRAWN BY  
OS  
DRAWING TITLE

SITE DETAILS

SHEET NUMBER

A1.51

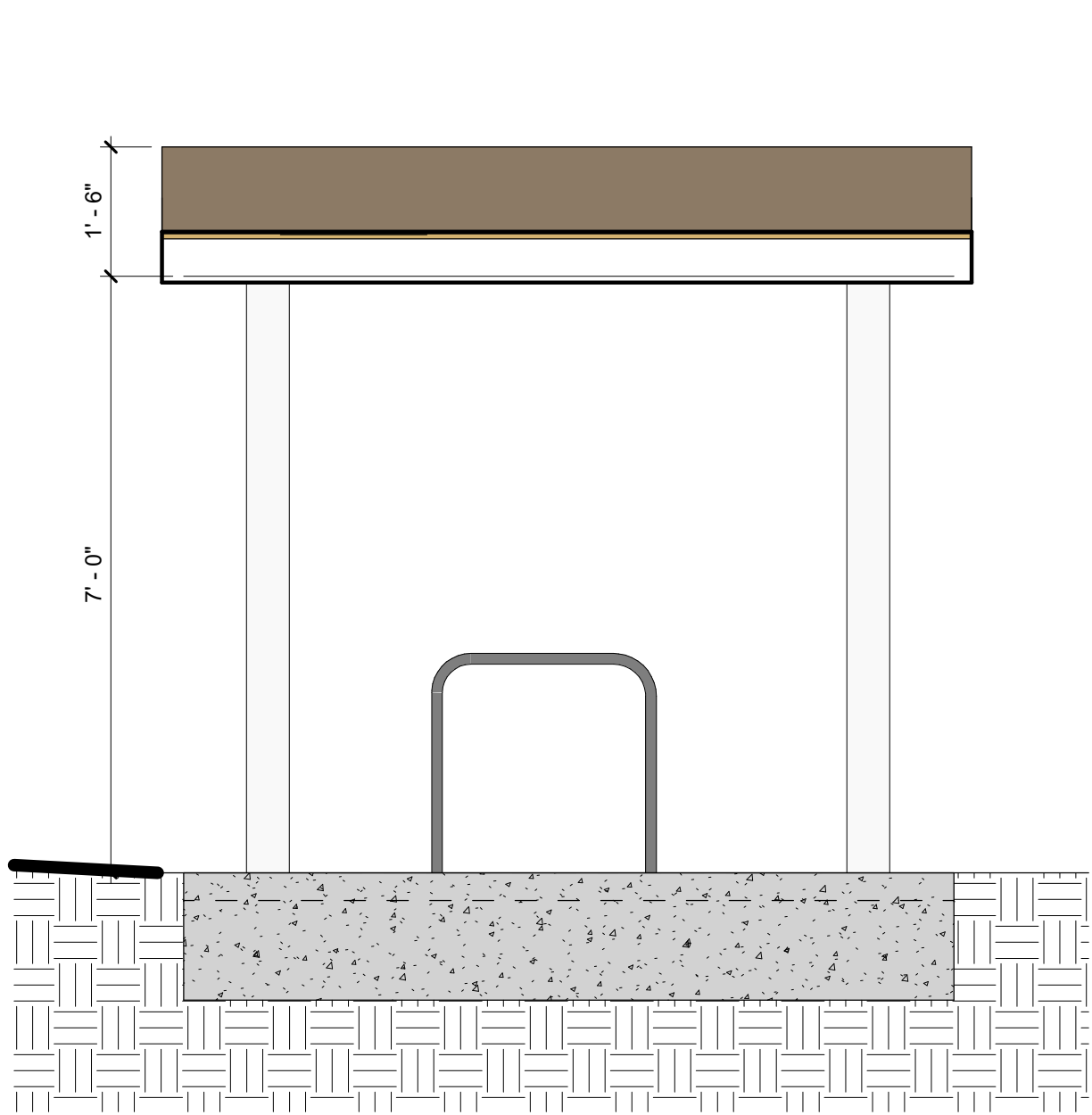


1 BIKE PLAN  
SCALE: 1/4" = 1'-0"

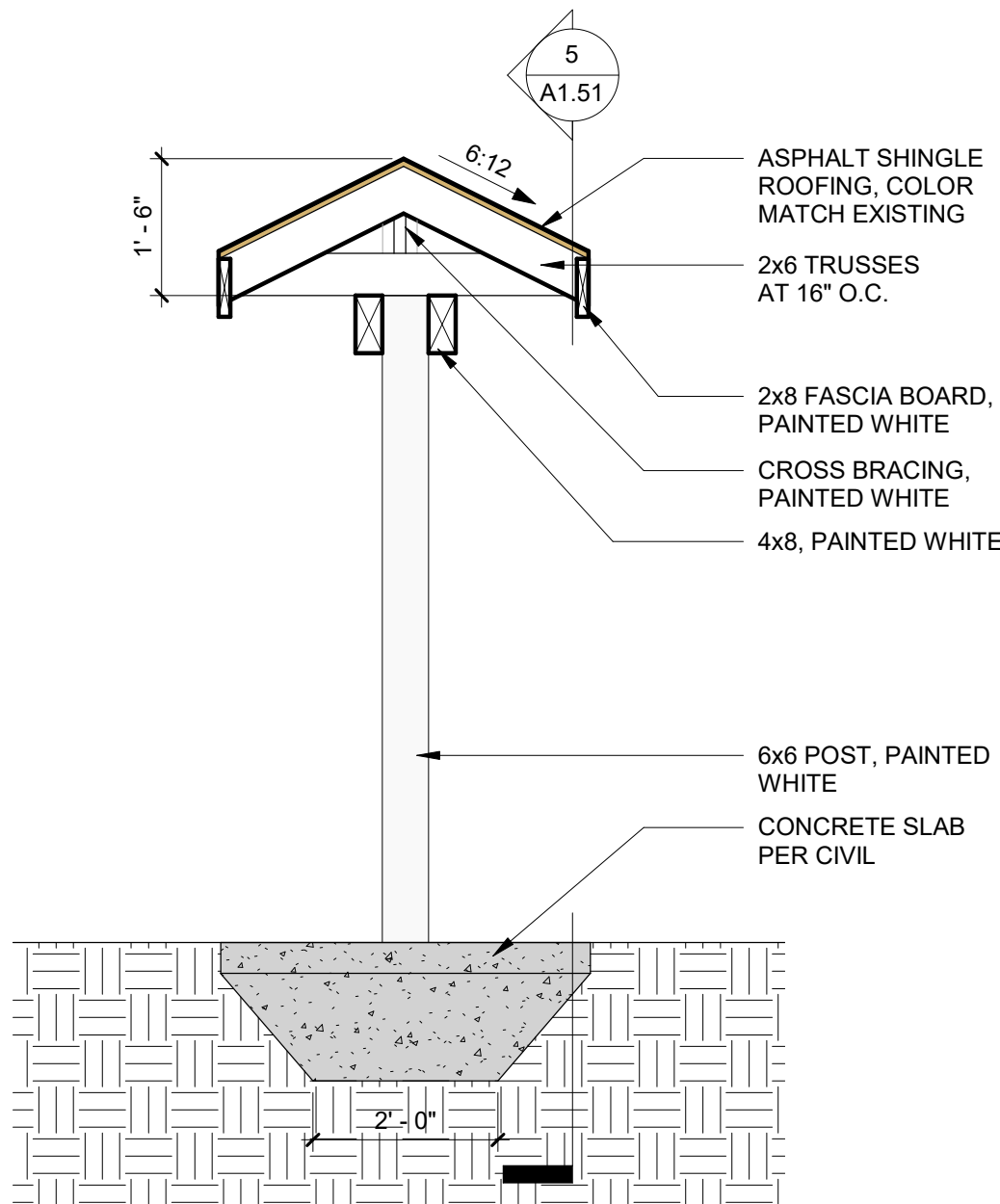


EXISTING SHORT-TERM BIKE PARKING STRUCTURES ON SITE.

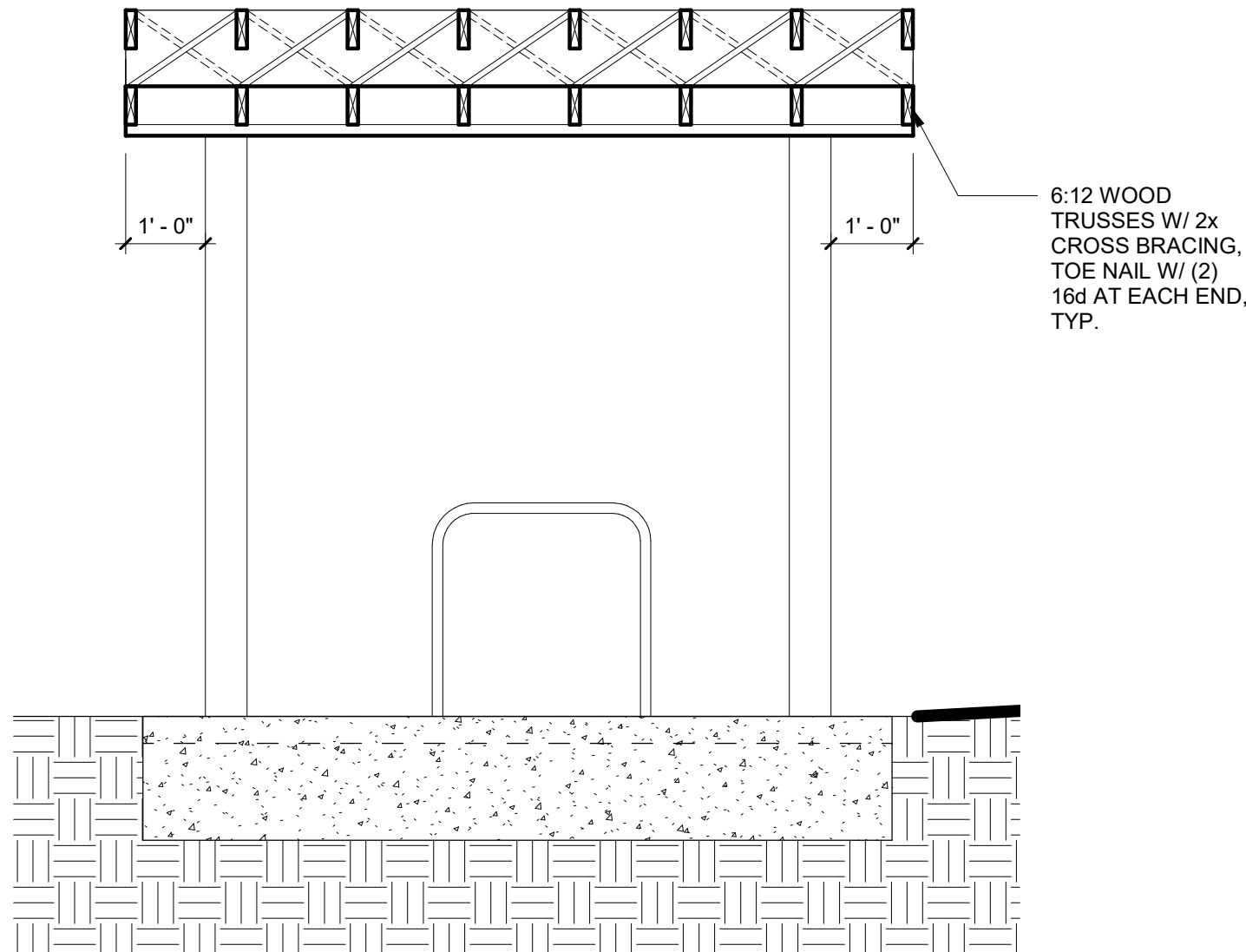
4 EXISTING BIKE STRUCTURES  
SCALE: 12" = 1'-0"



2 BIKE ELEVATION - NORTH  
SCALE: 1/2" = 1'-0"

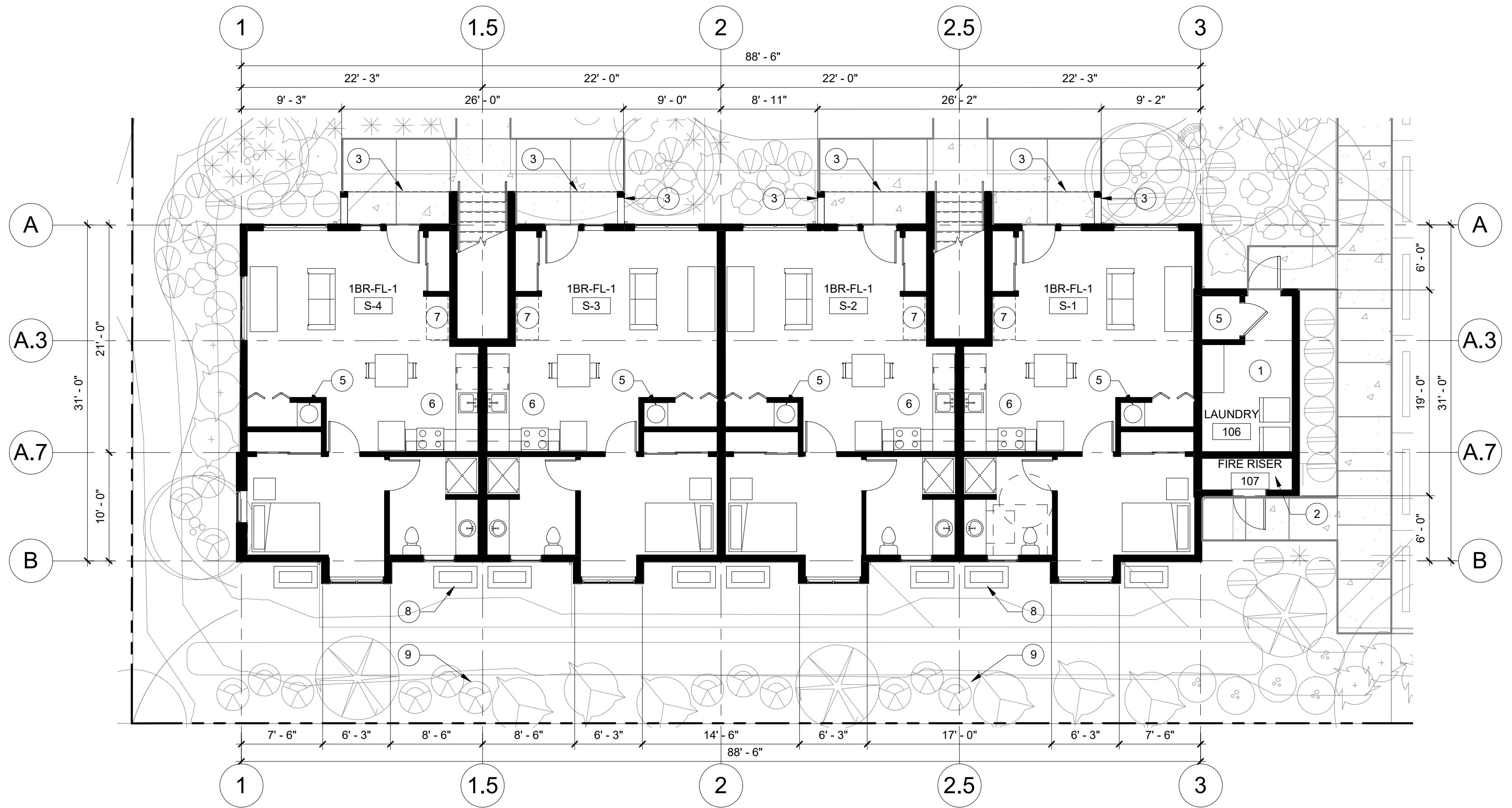


3 BIKE ELEVATION - WEST  
SCALE: 1/2" = 1'-0"

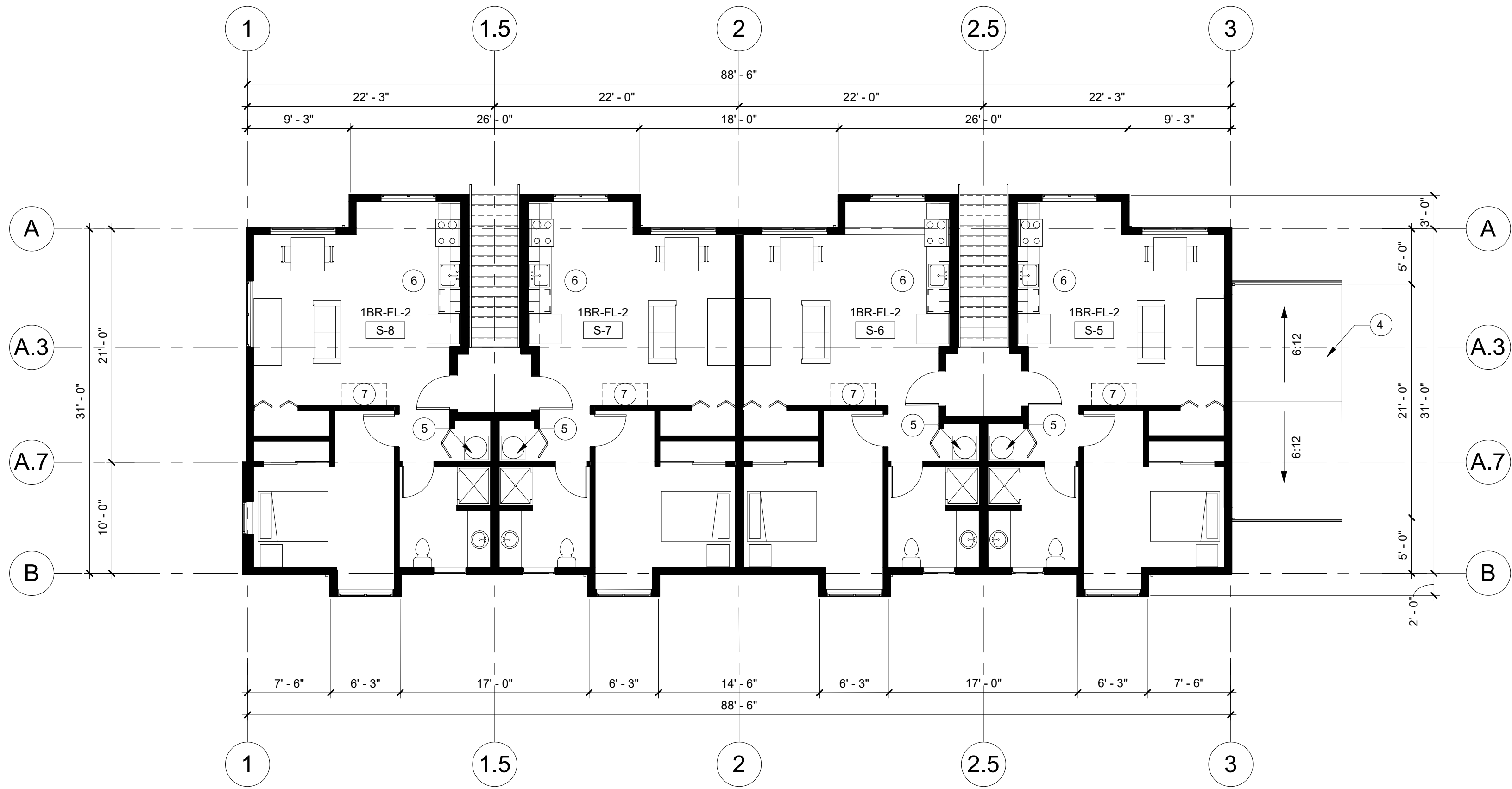


5 BIKE SECTION  
SCALE: 1/2" = 1'-0"

CITY STAMP



1 BUILDING S - GROUND FLOOR  
SCALE: 1/8" = 1'-0"



2 BUILDING S - SECOND FLOOR  
SCALE: 1/8" = 1'-0"

### SHEET GENERAL NOTES

1. DIMENSIONS ARE TO GRID, FACE OF STUD, AND CENTERLINE OF PARTY WALLS, U.N.O.
2. SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
3. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

### KEYNOTES

- 1 SHARED LAUNDRY ROOM. MACHINES LEASED BY OWNER
- 2 FIRE RISER ROOM
- 3 LINE OF SOFFIT ABOVE
- 4 ROOF BELOW
- 5 WATER HEATER
- 6 OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- 7 LONG-TERM BIKE STORAGE
- 8 OUTDOOR MINISPLIT ON CONCRETE PAD, TYP.
- 9 MECHANICAL SCREENING PER LANDSCAPE

### LEGEND

- 1 KEYNOTE

REVISION NO	DATE

### OC-III APARTMENTS

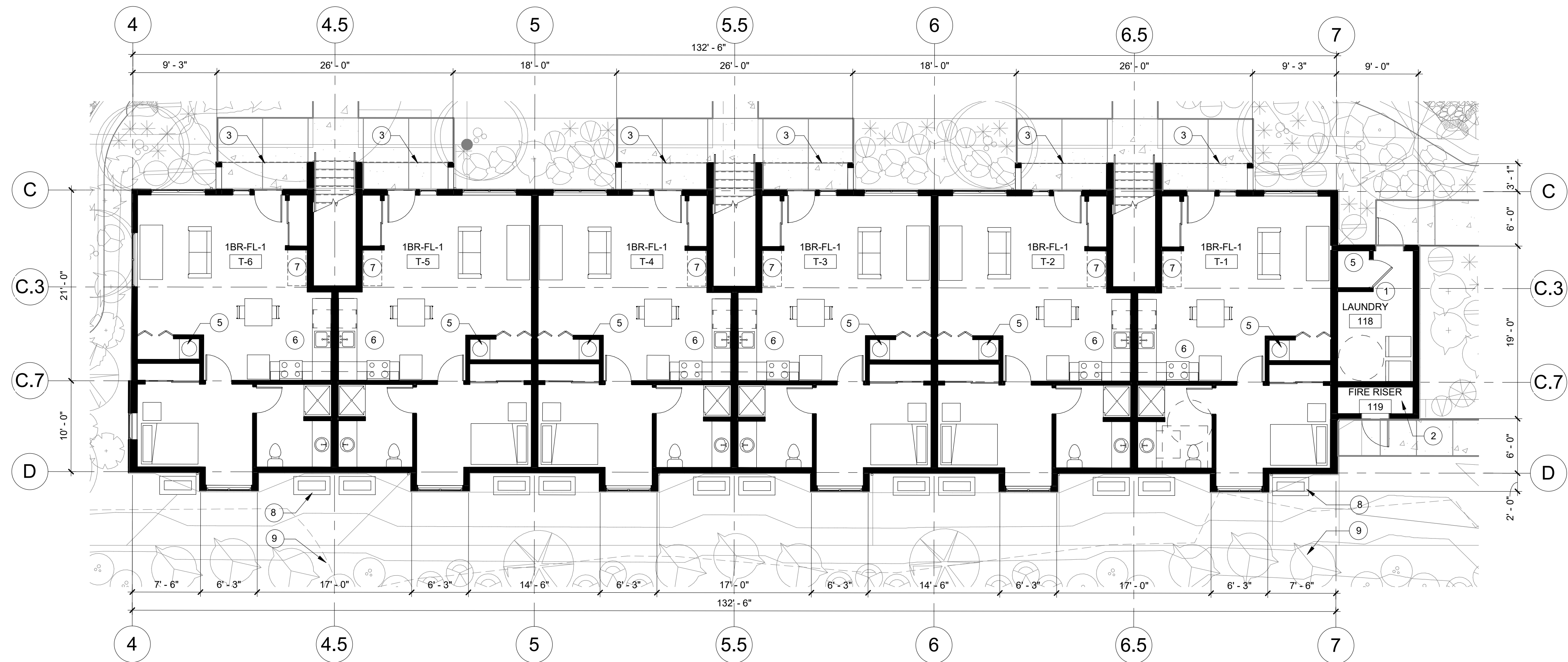
204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE
DETAIL DESIGN REVIEW
DATE
10/01/2021
SCALE
As indicated
PROJECT NUMBER
202010.00
DRAWN BY
OS
DRAWING TITLE

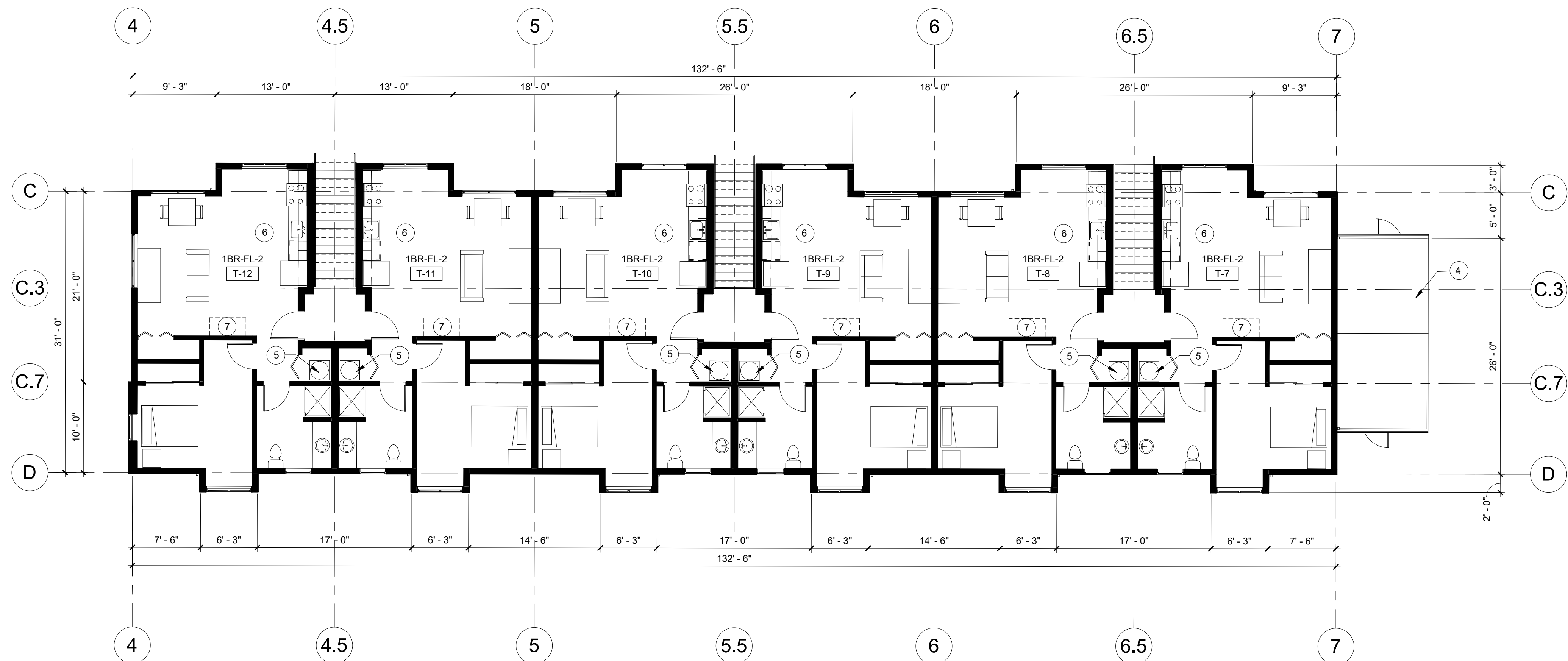
### BUILDING S GROUND/SECOND FLOOR PLANS

SHEET NUMBER

**DRA2.11**



1 BUILDING T - GROUND FLOOR  
SCALE: 1/8" = 1'-0"



2 BUILDING T - SECOND FLOOR  
SCALE: 1/8" = 1'-0"

## SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, AND CENTERLINE OF PARTY WALLS, U.N.O.
- SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

## KEYNOTES

- SHARED LAUNDRY ROOM. MACHINES LEASED BY OWNER
- FIRE RISER ROOM
- LINE OF SOFFIT ABOVE
- ROOF BELOW
- WATER HEATER
- OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- LONG-TERM BIKE STORAGE
- OUTDOOR MINISPLIT ON CONCRETE PAD, TYP.
- MECHANICAL SCREENING PER LANDSCAPE

## LEGEND

- 1 KEYNOTE

CITY STAMP



mwa architects

70 NW COUCH STREET  
SUITE 401  
PORTLAND, OR 97209  
P 503 973 5151  
F 503 973 5060  
MWAARCHITECTS.COM



REVISION NO DATE

## OC-III APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW

DATE  
10/01/2021

SCALE  
As indicated

PROJECT NUMBER  
202010.00

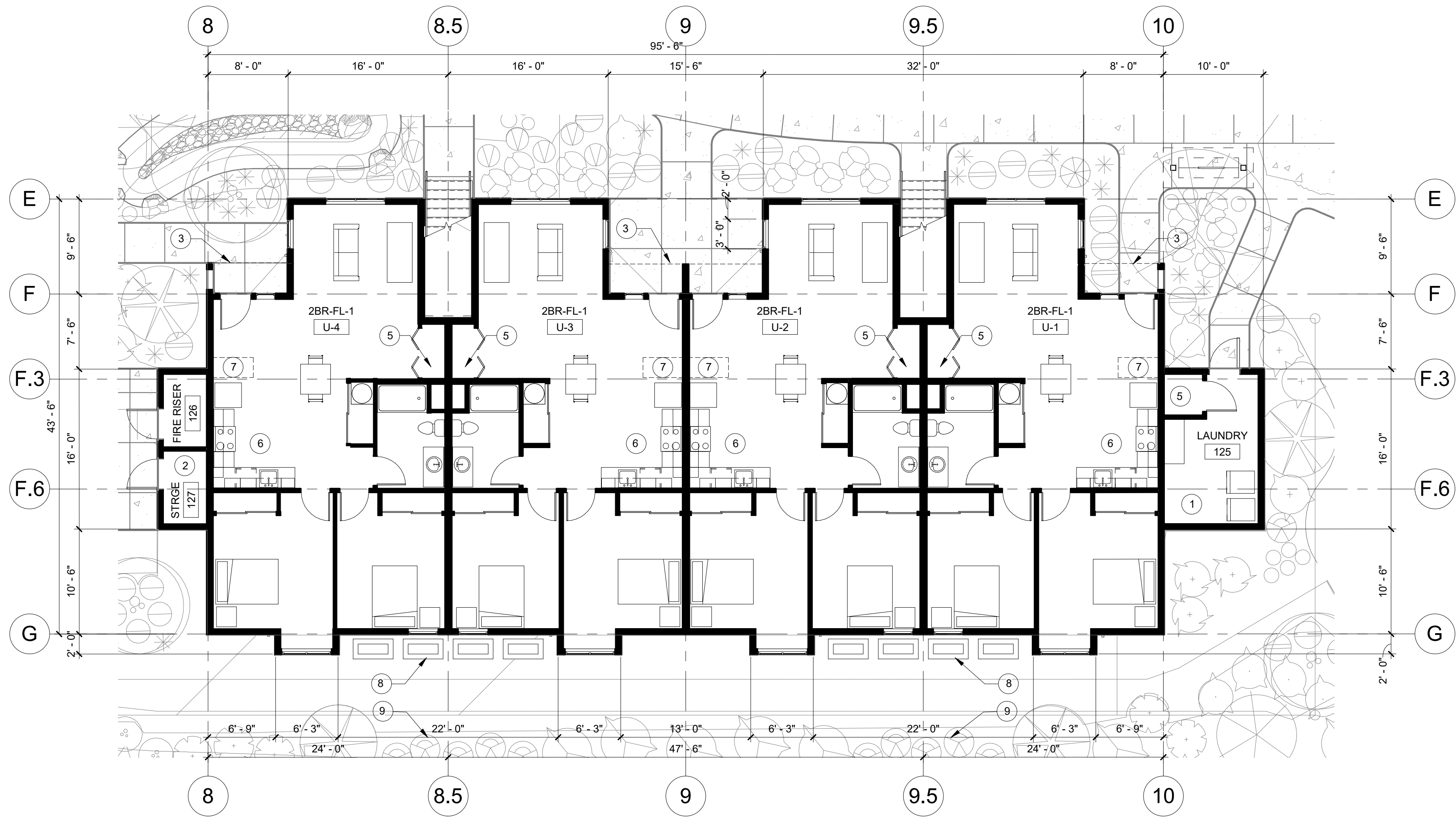
DRAWN BY  
OS

DRAWING TITLE

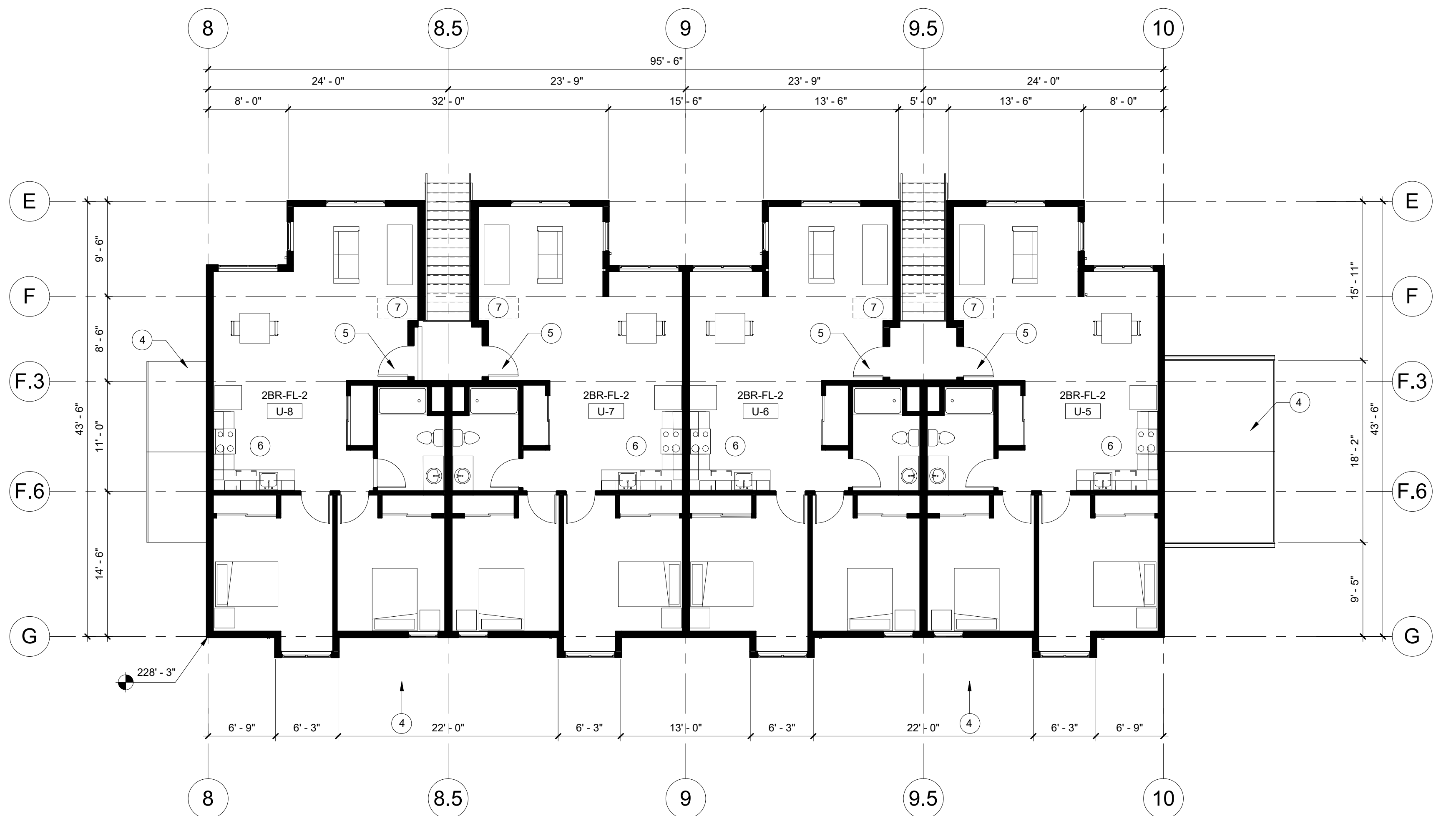
BUILDING T  
GROUND/SECOND  
FLOOR PLANS

SHEET NUMBER

DRA2.21



1 BUILDING U - GROUND FLOOR  
SCALE: 1/8" = 1'-0"



2 BUILDING U - SECOND FLOOR  
SCALE: 1/8" = 1'-0"

## SHEET GENERAL NOTES

1. DIMENSIONS ARE TO GRID, FACE OF STUD, AND CENTERLINE OF PARTY WALLS, U.N.O.
2. SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
3. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

## KEYNOTES

- 1 SHARED LAUNDRY ROOM. MACHINES LEASED BY OWNER
- 2 FIRE RISER ROOM
- 3 LINE OF SOFFIT ABOVE
- 4 ROOF BELOW
- 5 WATER HEATER
- 6 OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- 7 LONG-TERM BIKE STORAGE
- 8 OUTDOOR MINISPLIT ON CONCRETE PAD, TYP.
- 9 MECHANICAL SCREENING PER LANDSCAPE

## LEGEND

- 1 KEYNOTE

REVISION NO	DATE

## OC-III APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

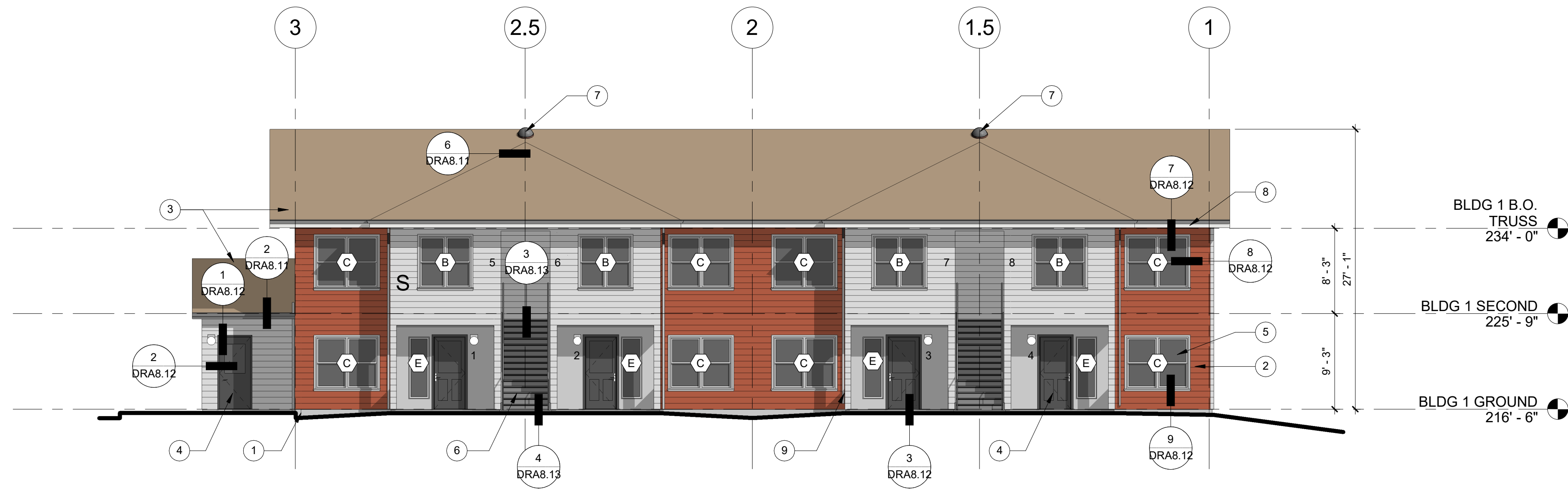
ISSUANCE
DETAIL DESIGN REVIEW
DATE
10/01/2021
SCALE
As indicated
PROJECT NUMBER
202010.00
DRAWN BY
OS
DRAWING TITLE

## BUILDING U GROUND/SECOND FLOOR PLANS

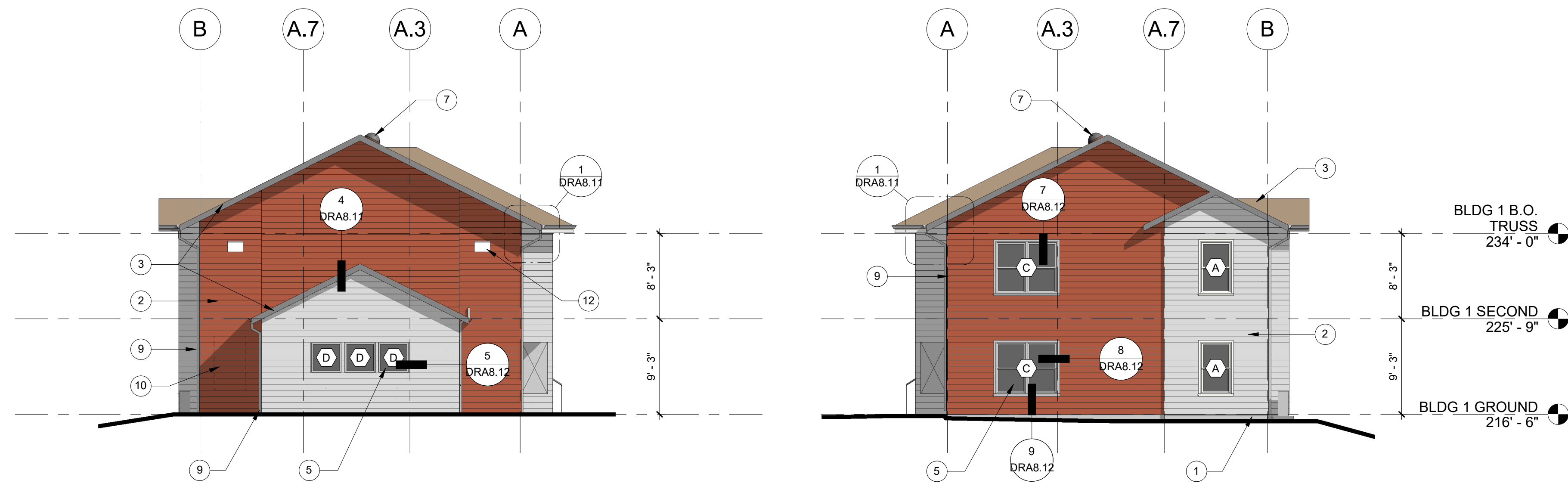
SHEET NUMBER

**DRA2.31**

10/22/2021 1:42:25 PM

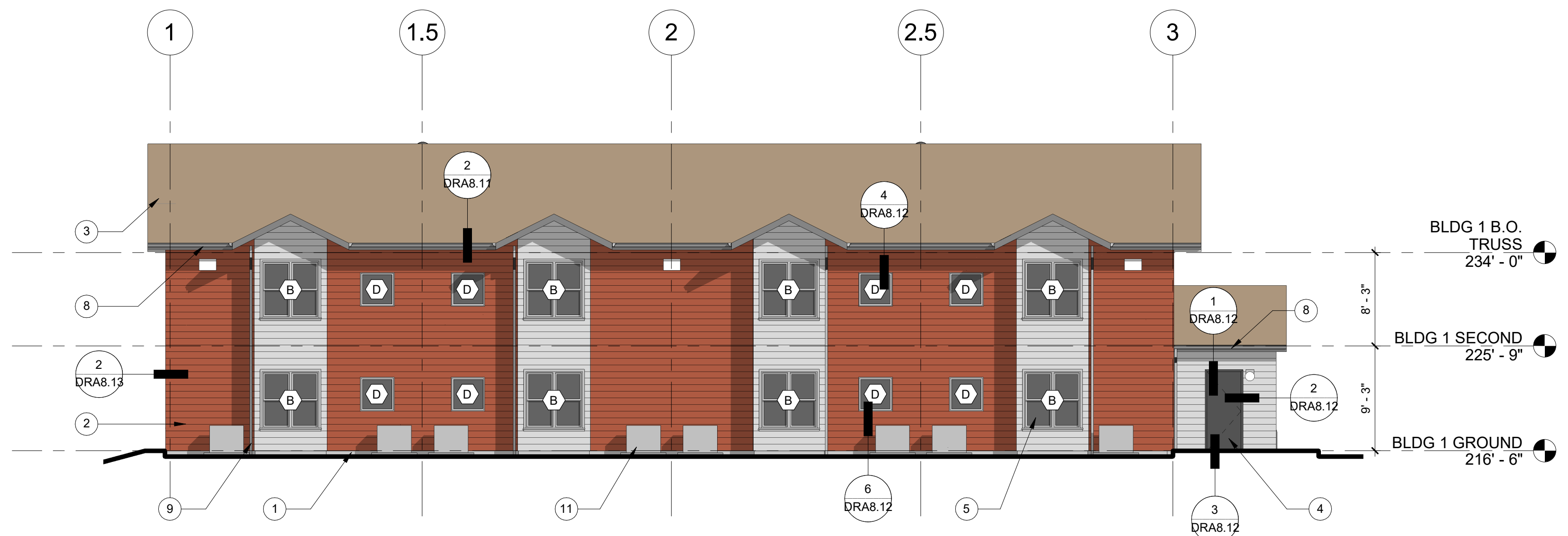


1 BUILDING S - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 BUILDING S - EAST ELEVATION  
SCALE: 1/8" = 1'-0"

3 BUILDING S - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 BUILDING S - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

### EXTERIOR FINISH LEGEND

EXTERIOR MATERIAL	COLOR	MANUFACTURER
FIBER CEMENT 7" LAP SIDING	SILVER FOX	BENJAMIN MOORE
FIBER CEMENT SMOOTH PANEL SIDING	CHELSEA GRAY	BENJAMIN MOORE
FIBER CEMENT 7" LAP SIDING - ACCENT COLOR	CINNAMON	BENJAMIN MOORE
PAINTED WOOD TRIM - SIDING TRIM, WINDOW, & DOOR	WHITE OR CHELSEA GRAY	BENJAMIN MOORE
DECK GUARDRAILS	--	ALUMINUM
PAINTED METAL DOWNSPOUTS	TBD	BENJAMIN MOORE

### SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

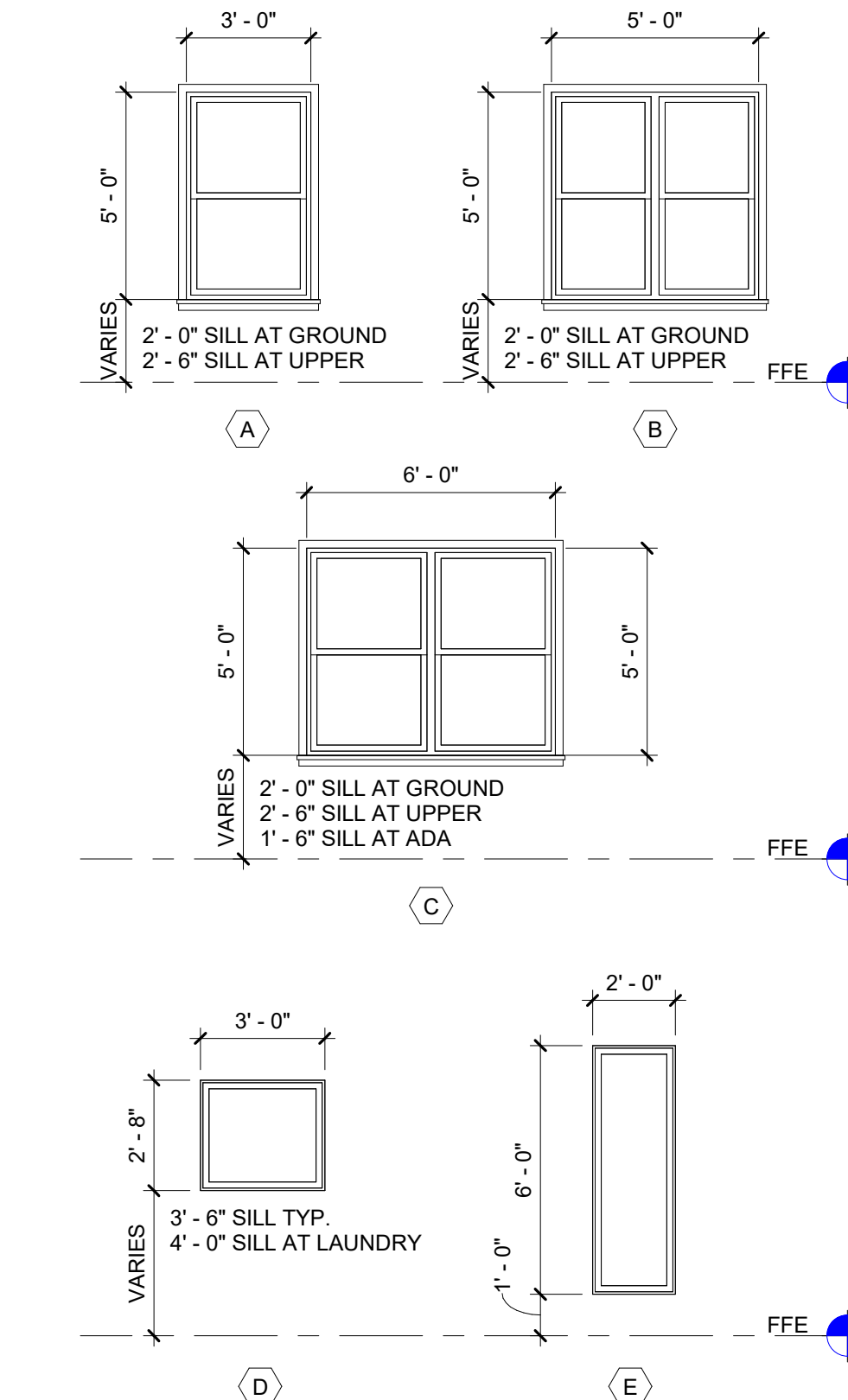
### KEYNOTES

- CONCRETE BASE WALL TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRE-CAST TREADS AND METAL RAILINGS
- SOLAR TUBE
- GUTTER
- DOWNSPOUT
- PROPOSED ELECTRICAL PANEL LOCATION, COORDINATE W/ MEP DESIGN-BUILD
- MECHANICAL UNIT, MINI SPLIT ON CONCRETE PAD, TYP.
- LIGHTING FOR ADJACENT PARKING LOT
- LIGHTING FOR ADJACENT PLAY AREA

### LEGEND

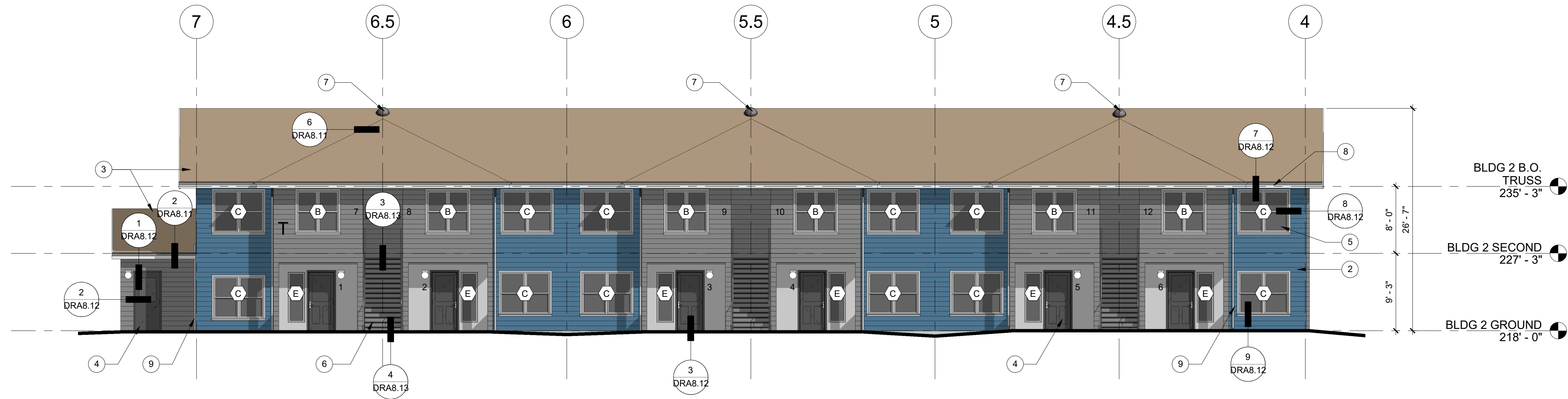
- 1 KEYNOTE
- X WINDOW TAG
- EXTERIOR LIGHT FIXTURES
- X 1 EXTERIOR BUILDING SIGNAGE

### WINDOW SCHEDULE

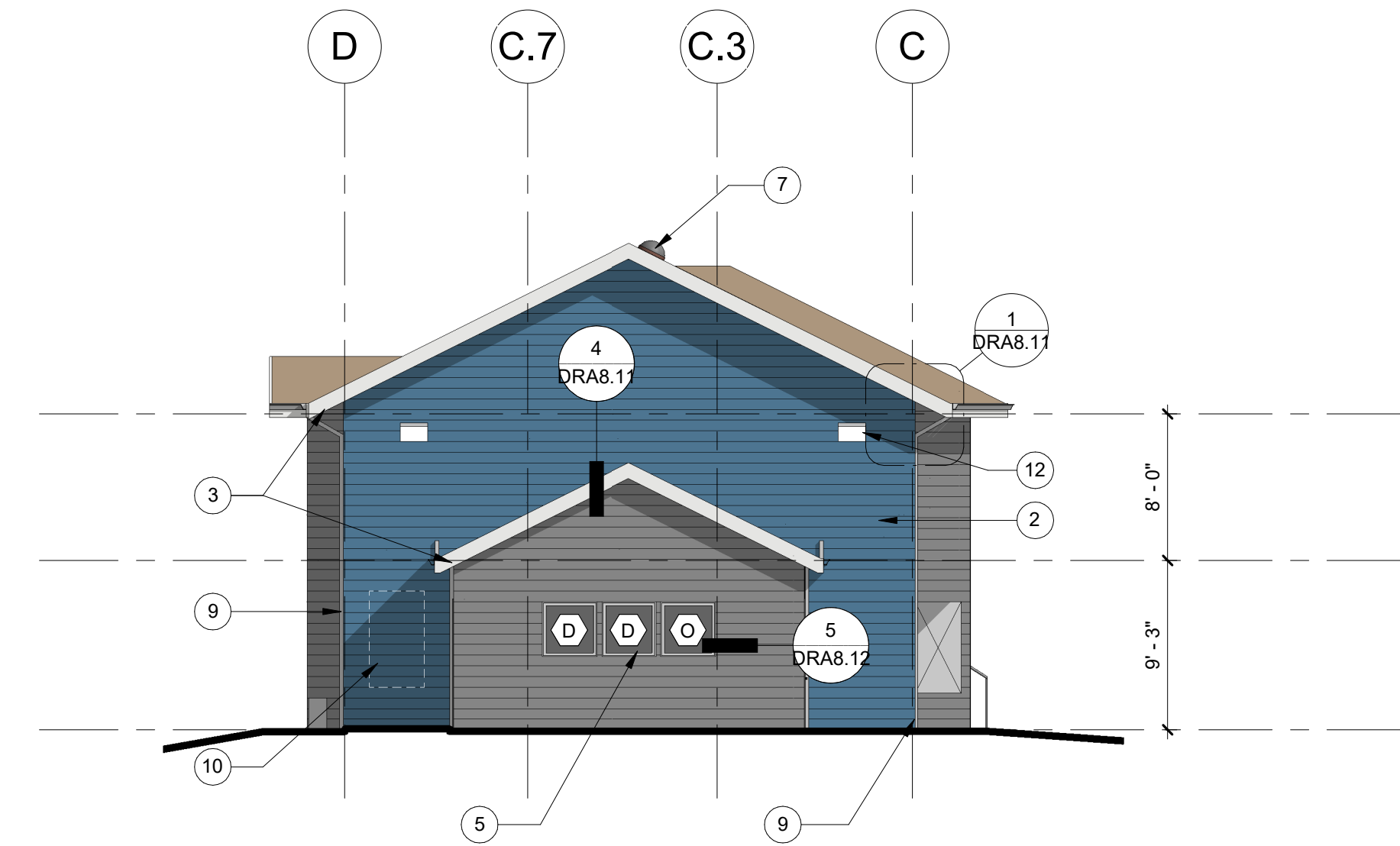


CITY STAMP

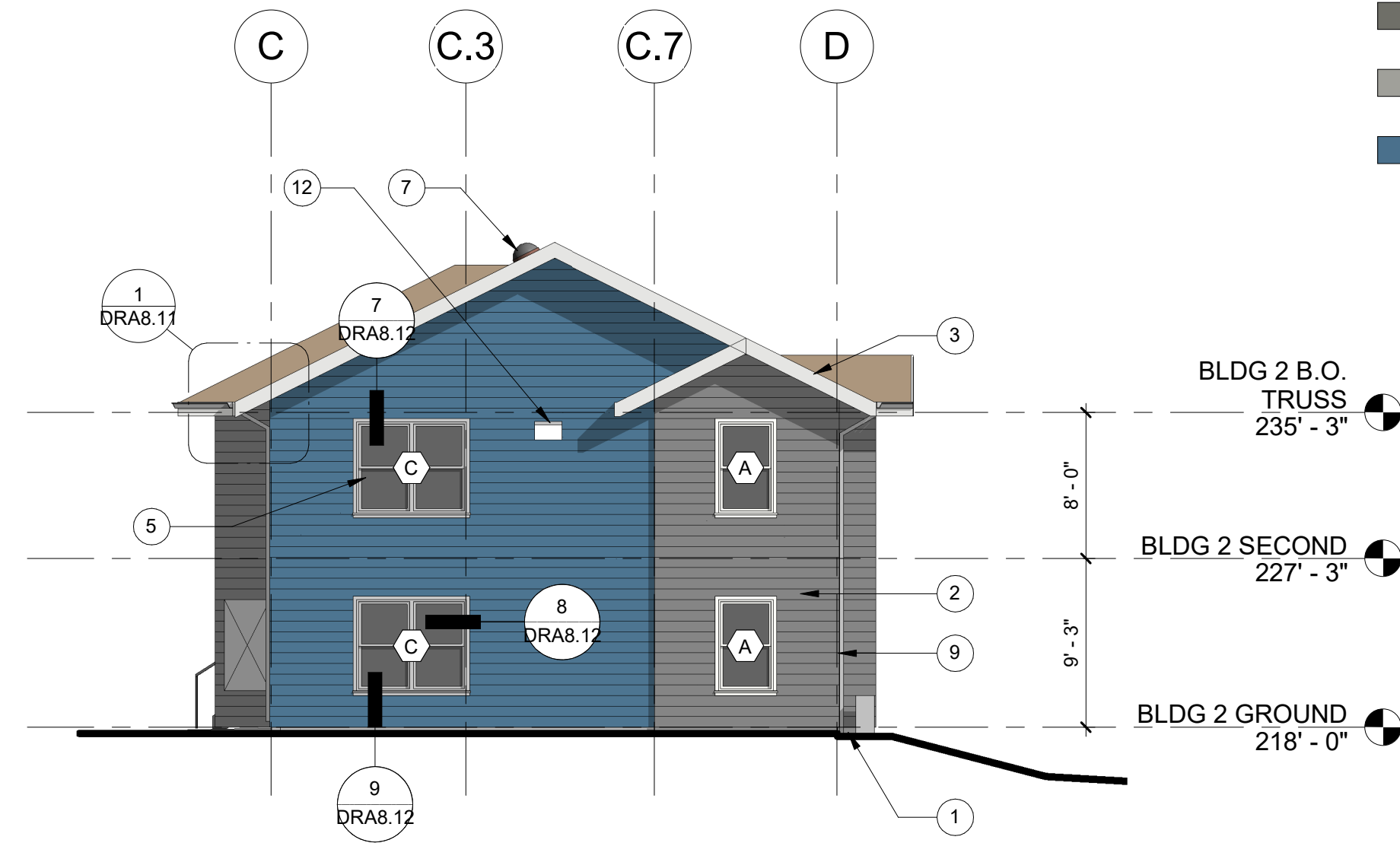
10/22/2021 1:42:31 PM



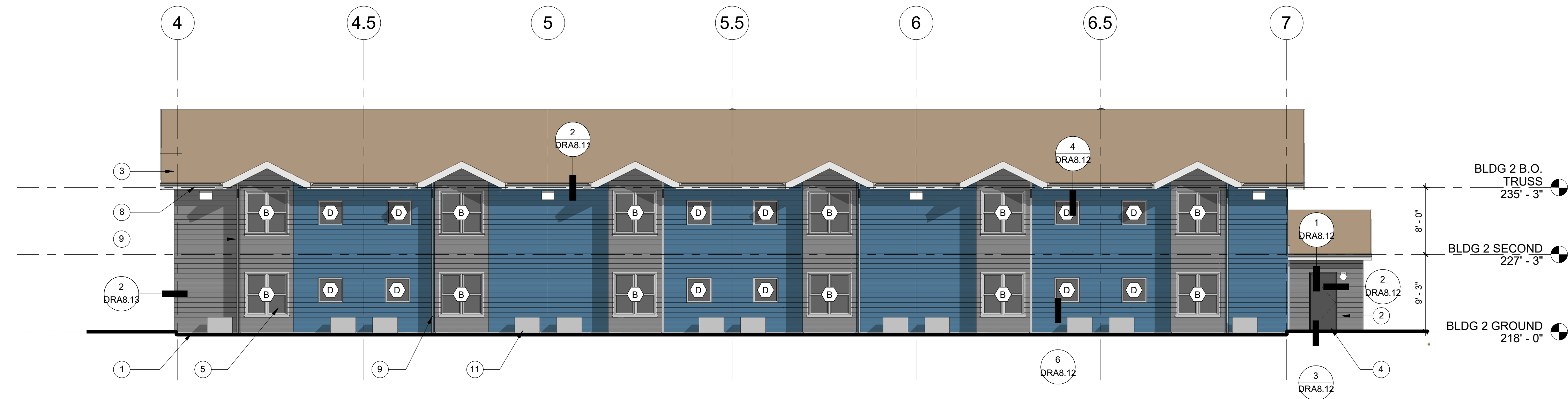
1 BUILDING T - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 BUILDING T - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 BUILDING T - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 BUILDING T - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

#### EXTERIOR FINISH LEGEND

EXTERIOR MATERIAL	COLOR	MANUFACTURER
FIBER CEMENT 7" LAP SIDING	KENDALL CHARCOAL	BENJAMIN MOORE
FIBER CEMENT SMOOTH PANEL SIDING	CHELSEA GRAY	BENJAMIN MOORE
FIBER CEMENT 7" LAP SIDING - ACCENT COLOR	MOZART BLUE	BENJAMIN MOORE
PAINTED WOOD TRIM - SIDING TRIM, WINDOW, & DOOR	WHITE OR CHELSEA GRAY	BENJAMIN MOORE
STAIR RAILINGS	--	ALUMINUM
PAINTED METAL DOWNSPOUTS & FLASHING	TBD	BENJAMIN MOORE

#### SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

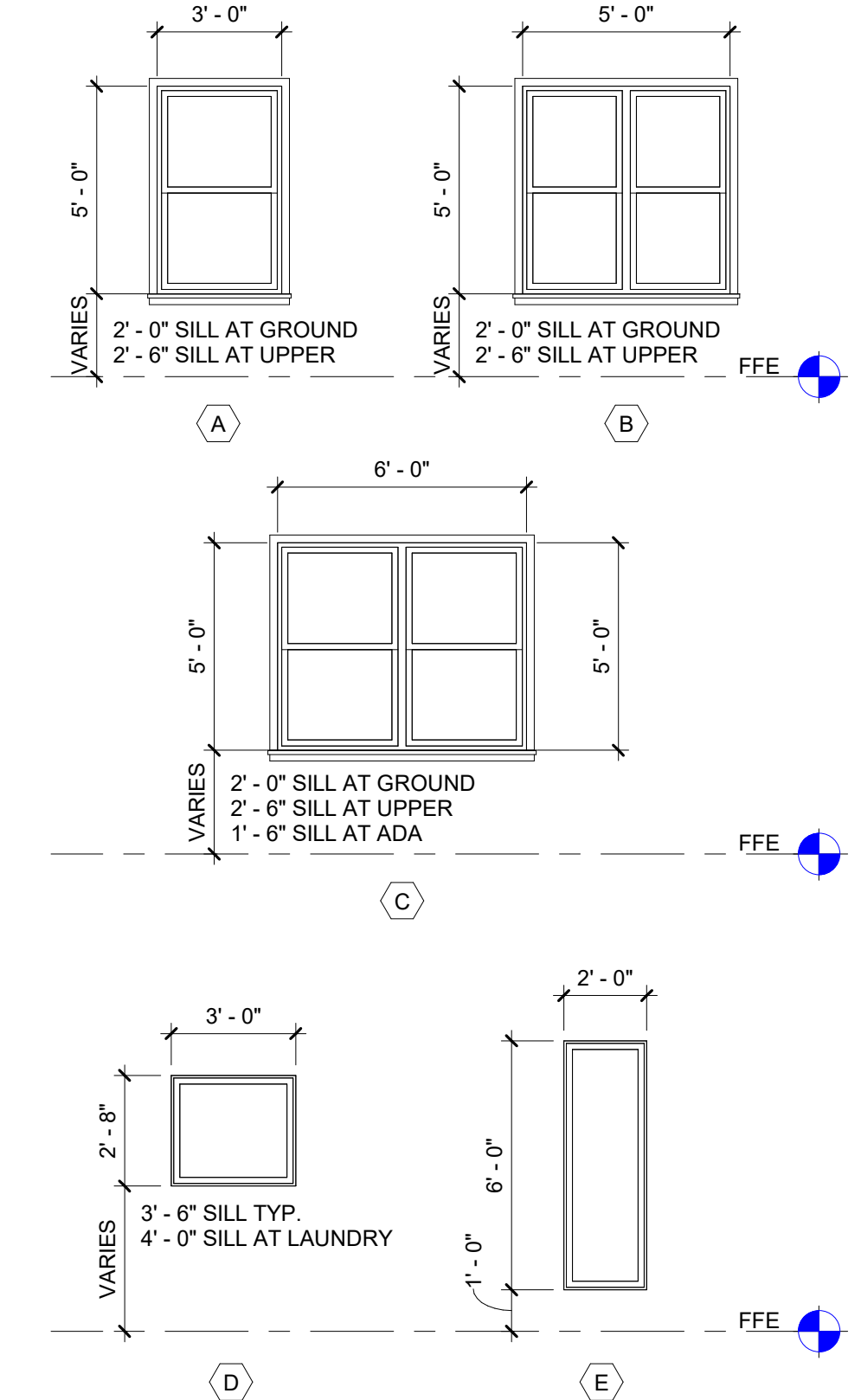
#### KEYNOTES

- CONCRETE BASE WALL TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRE-CAST TREADS AND METAL RAILINGS
- SOLAR TUBE
- GUTTER
- DOWNSPOUT
- PROPOSED ELECTRICAL PANEL LOCATION, COORDINATE W/ MEP DESIGN-BUILD
- MECHANICAL UNIT, MINI SPLIT ON CONCRETE PAD, TYP.
- LIGHTING FOR ADJACENT PARKING LOT
- LIGHTING FOR ADJACENT PLAY AREA

#### LEGEND

- 1 KEYNOTE
- X WINDOW TAG
- EXTERIOR LIGHT FIXTURES
- X 1 EXTERIOR BUILDING SIGNAGE

#### WINDOW SCHEDULE



CITY STAMP

REVISION NO. DATE

#### OC-III APARTMENTS

204 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
DETAIL DESIGN REVIEW

DATE  
10/01/2021

SCALE  
As indicated

PROJECT NUMBER  
202010.00

DRAWN BY  
OS

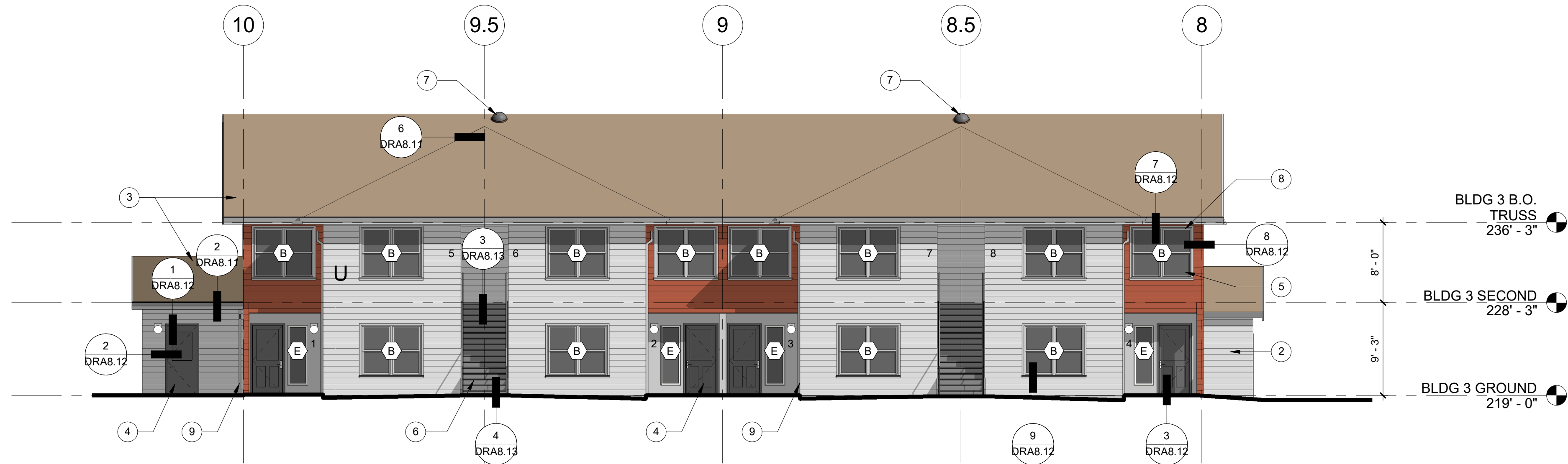
DRAWING TITLE

**BUILDING T  
ELEVATIONS**

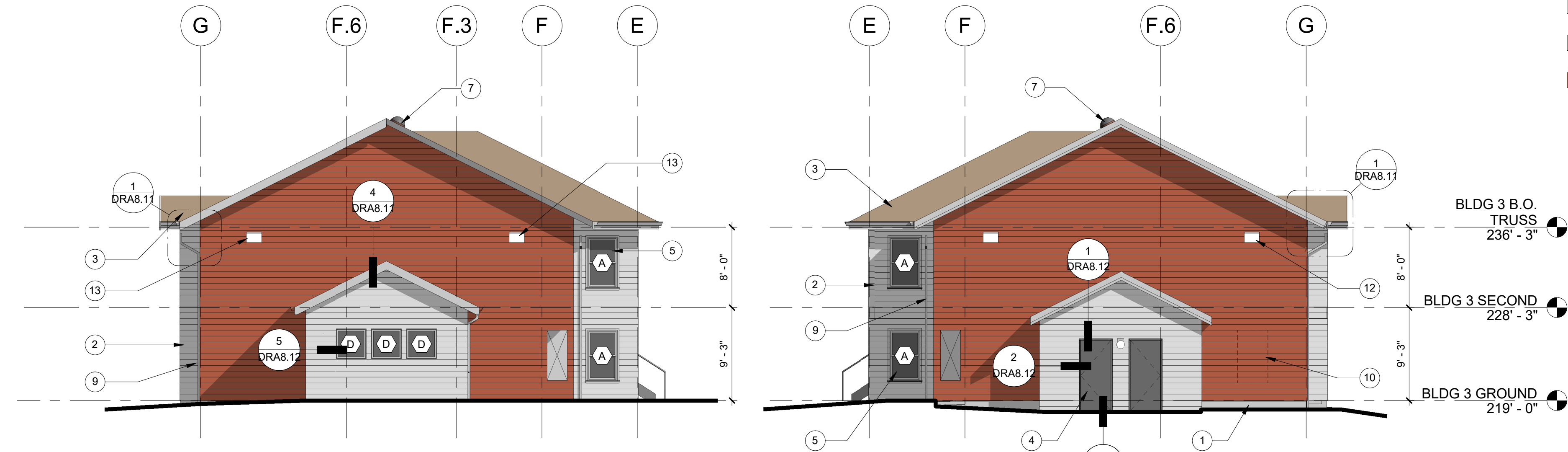
SHEET NUMBER

**DRA4.12**

10/22/2021 1:42:35 PM

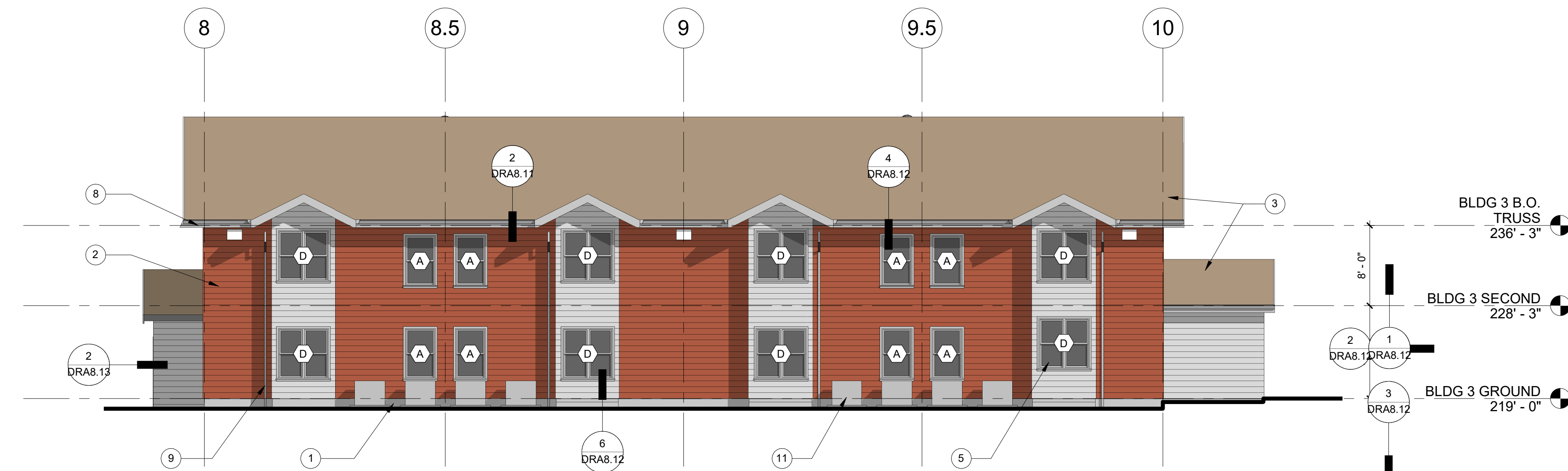


1 BUILDING U - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 BUILDING U - EAST ELEVATION  
SCALE: 1/8" = 1'-0"

3 BUILDING U - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 BUILDING U - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

#### EXTERIOR FINISH LEGEND

EXTERIOR MATERIAL	COLOR	MANUFACTURER
FIBER CEMENT 7" LAP SIDING	SILVER FOX	BENJAMIN MOORE
FIBER CEMENT SMOOTH PANEL SIDING	CHELSEA GRAY	BENJAMIN MOORE
FIBER CEMENT 7" LAP SIDING - ACCENT COLOR	CINNAMON	BENJAMIN MOORE
PAINTED WOOD TRIM - SIDING TRIM, WINDOW, & DOOR	WHITE OR CHELSEA GRAY	BENJAMIN MOORE
DECK GUARDRAILS	--	ALUMINUM
PAINTED METAL DOWNSPOUTS	TBD	BENJAMIN MOORE

#### SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

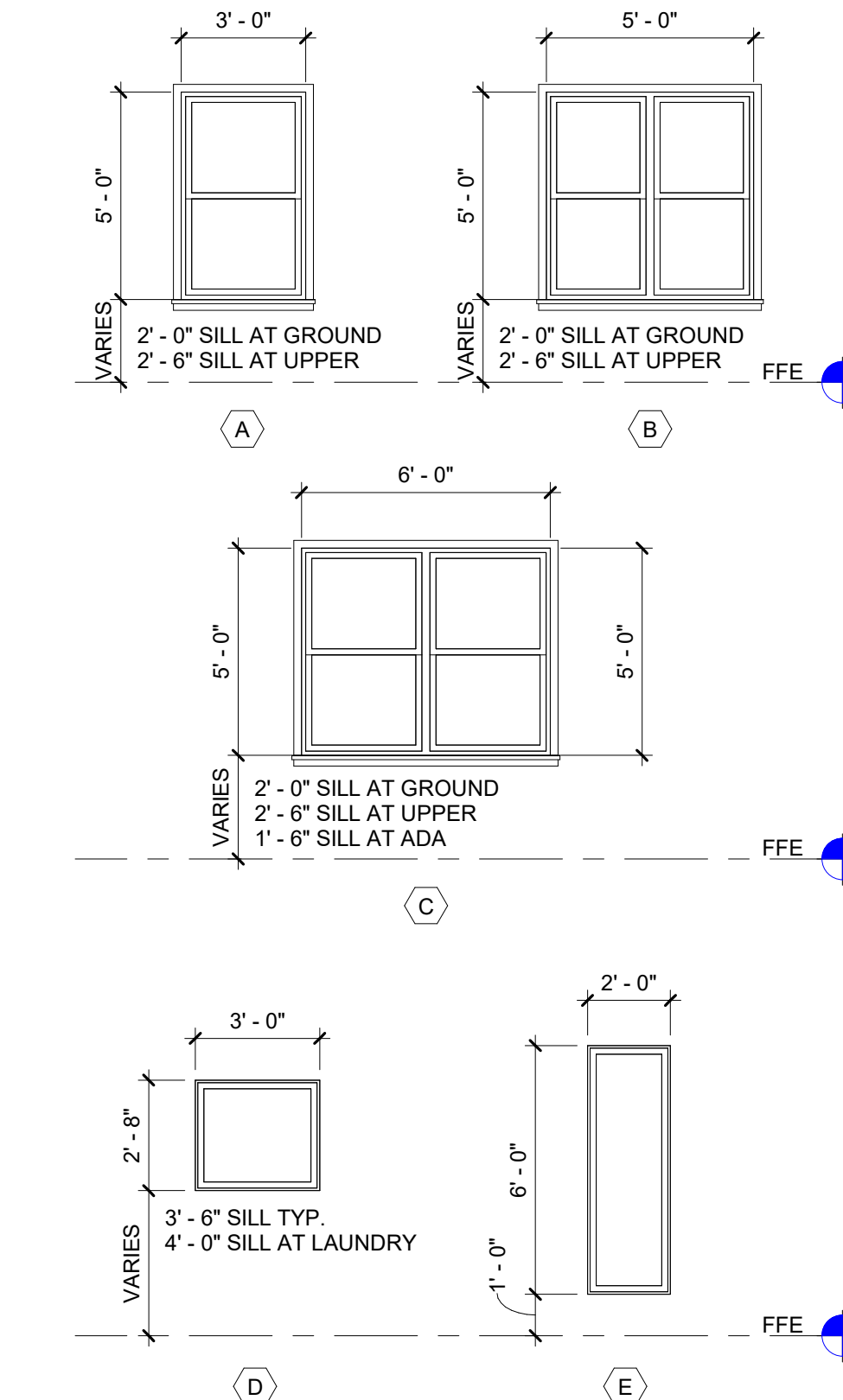
#### KEYNOTES

- CONCRETE BASE WALL TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRE-CAST TREADS AND METAL RAILINGS
- SOLAR TUBE
- GUTTER
- DOWNSPOUT
- PROPOSED ELECTRICAL PANEL LOCATION, COORDINATE W/ MEP DESIGN-BUILD
- MECHANICAL UNIT, MINI SPLIT ON CONCRETE PAD, TYP.
- LIGHTING FOR ADJACENT PARKING LOT
- LIGHTING FOR ADJACENT PLAY AREA

#### LEGEND

- 1 KEYNOTE  
X WINDOW TAG  
EXTERIOR LIGHT FIXTURES  
X 1 EXTERIOR BUILDING SIGNAGE

#### WINDOW SCHEDULE





# KBR8 LED

## LED Specification Bollard



Catalog  
Number

Notes

Type

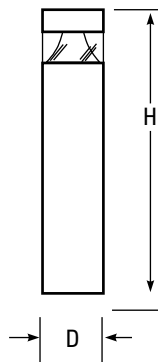
Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

8" Round  
(20.3 cm)

**Height:** 40"  
(101.6 cm)

**Weight  
(max):** 27 lbs  
(12.25 kg)



### Introduction

The KBR8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBR8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

### Ordering Information

**EXAMPLE:** KBR8 LED 16C 700 40K SYM MVOLT DDBXD

KBR8 LED																			
Series	LEDs	Drive current		Color temperature		Distribution		Voltage	Control options		Other options		Finish <i>(required)</i>						
KBR8 LED	Asymmetric 12C 12 LEDs <sup>1</sup>	350	350 mA	30K	3000 K	ASY Asymmetric <sup>1</sup>	SYM Symmetric <sup>2</sup>	MVOLT <sup>5</sup>	Shipped installed		Shipped installed		DWHXD	White					
		450	450 mA <sup>3,4</sup>	40K	4000 K			120 <sup>5</sup>					PE	Photoelectric cell, button type	SF	Single fuse (120, 277, 347V) <sup>4,7</sup>	DNAXD	Natural aluminum	
		530	530 mA	50K	5000 K			208 <sup>5</sup>					DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	DF	Double fuse (208, 240V) <sup>4,7</sup>	DDBXD	Dark bronze	
	Symmetric 16C 16 LEDs <sup>2</sup>	700	700 mA	AMBPC	Amber phosphor converted			240 <sup>5</sup>	H24	24" overall height	DBLXD	Black							
																			AMBLW
													347 <sup>4</sup>	H36	36" overall height	DBLBXD	Textured black		
	ELCW	Emergency battery backup, CA Title 20 Noncompliant <sup>6</sup>	L/AB	Without anchor bolts (3 bolt base)	DNATXD	Textured natural aluminum													
							L/AB4	4 bolt retrofit base without anchor bolts <sup>8</sup>	DWHGXD	Textured white									

### Accessories

Ordered and shipped separately.

MRAB U Anchor bolts for KBR8 LED<sup>3</sup>

### NOTES

- 1 Only available in the 12C, ASY version.
- 2 Only available in the 16C, SYM version.
- 3 Only available with 450 AMBLW version.
- 4 Not available with ELCW.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- 6 Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- 7 Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- 8 MRAB U not available with L/AB4 option.



Project Name

Location

Prepared By



## NUVO 65-133

LED 27W SMALL WALLPACK

### Notes

[www] 08-03-2020 02:34:40

### General

Status	Active
Fixture Type	Wall Pack
Finish	Bronze
Wattage	27
Lumen Output	3315
CCT (Kelvin)	5000
Temperature	Natural Light

### Specifications

Technology	LED
CRI	70+
Voltage	120V-277V
Rated Hours	100000
Dimmable	Non-Dimmable

### Dimensions

Height (in.)	7.60
Width (in.)	8.63
Extension (in.)	5.10

### Compliance

Safety Listing	cULus
Location Rating	Wet
UL Application	Outdoor
Energy Star	No
DLC Approved	Yes
DLC ID	PLWYJ1AN9JSZ;PLNDC5Y4KUCA
CEC Status	California T24 Compliant
CA Prop 65	Lead
RoHS Compliant	Yes

### Additional Information

Additional Information	Type II Lighting Distribution
Warranty	5 Year Limited

Project Name

Location

Prepared By



## NUVO 65-234

LED WALL PACK 60 WATT/5000K

### Notes

[www] 08-03-2020 02:34:40

### General

Status	Active
Fixture Type	Wall Pack
Finish	Bronze
Wattage	60
Lumen Output	7680
CCT (Kelvin)	5000
Temperature	Natural Light
IP Rating	IP65

### Specifications

Technology	LED
CRI	75
Voltage	100V-277V
Rated Hours	50000
Operating Temperature	-30C (-22F) to a maximum of +50C (+122F)
Dimmable	0-10V Dimming Only
Photocell	Multiple Optional Sensors Available
Lens Material	Glass
Weight (lb.)	7.28
Material	Die Cast Aluminum

### Dimensions

Height (in.)	9.00
Width (in.)	14.50
Extension (in.)	7.50

### Compliance

Safety Listing	cETLus
Location Rating	Wet
Energy Star	No
DLC Approved	Yes
DLC ID	PL6DJYYCI25P
CEC Status	California T24 Compliant
CA Prop 65	Lead
RoHS Compliant	Yes
FCC Compliant	Yes

### Additional Information

Warranty	5 Year Limited
----------	----------------



## THE STAPLE

The ever-classic "Staple" style bike rack is Portland City Code approved. Lock it up!

### CONSTRUCTION/MATERIAL OPTIONS

- ☐ 2" Sch. 40 Round Steel Pipe (shown)
- ☐ 1.5" Sch. 40 Round Steel Pipe
- ☐ 2" x 2" Square Steel Tubing (Pipecutter Proof)
- ☐ 5/8" x 2 1/2" Steel Flat Bar (Pipecutter Proof)
- Steel Flanges (Varies)

### DIMENSIONS

- 30" Length
- 5.5" Width
- 36" Height
- ☐ Custom Size Height/Length

### MOUNTING OPTIONS

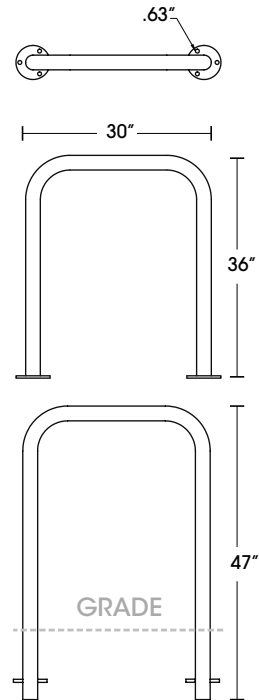
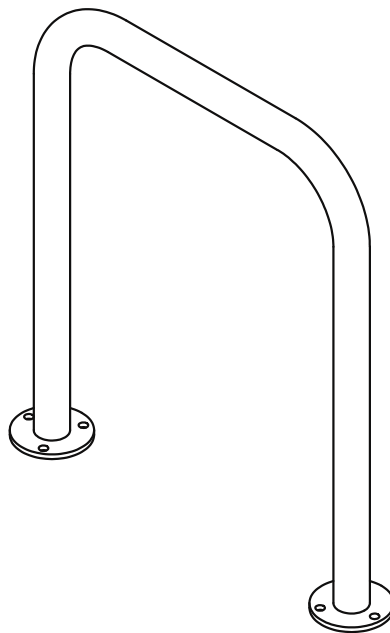
- ☐ Flange Mount (Shown)
  - (6) .63" Mounting Holes
- ☐ In-Ground
  - 11" Leg Extensions

### FINISH OPTIONS

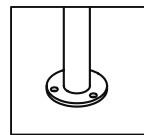
- ☐ T304 Stainless Steel #4 Satin Finish
- ☐ 316 Stainless Steel #4 Satin Finish (available at additional cost)
- ☐ Hot Dipped Galvanized
- ☐ Powder Coating
  - # \_\_\_\_\_
- ☐ Thermoplastic Coating
  - # \_\_\_\_\_

### ADDITIONAL OPTIONS

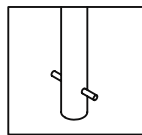
- ☐ Flange Cover (available at addtl. cost, round pipe only)



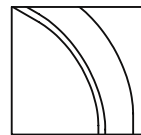
Flange



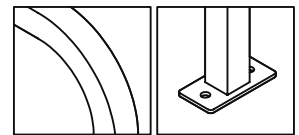
In-Ground



Flat Bar & Flange



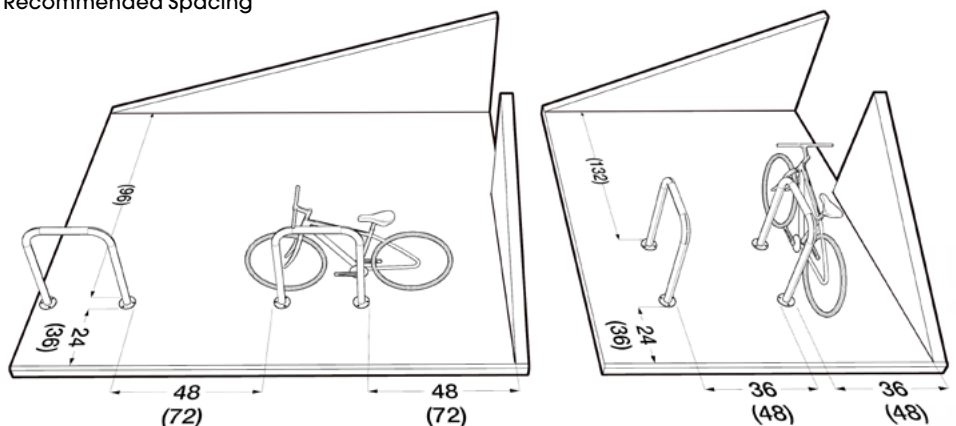
Square Tubing & Flange



### RECOMMENDED LAYOUT

#### NOTES:

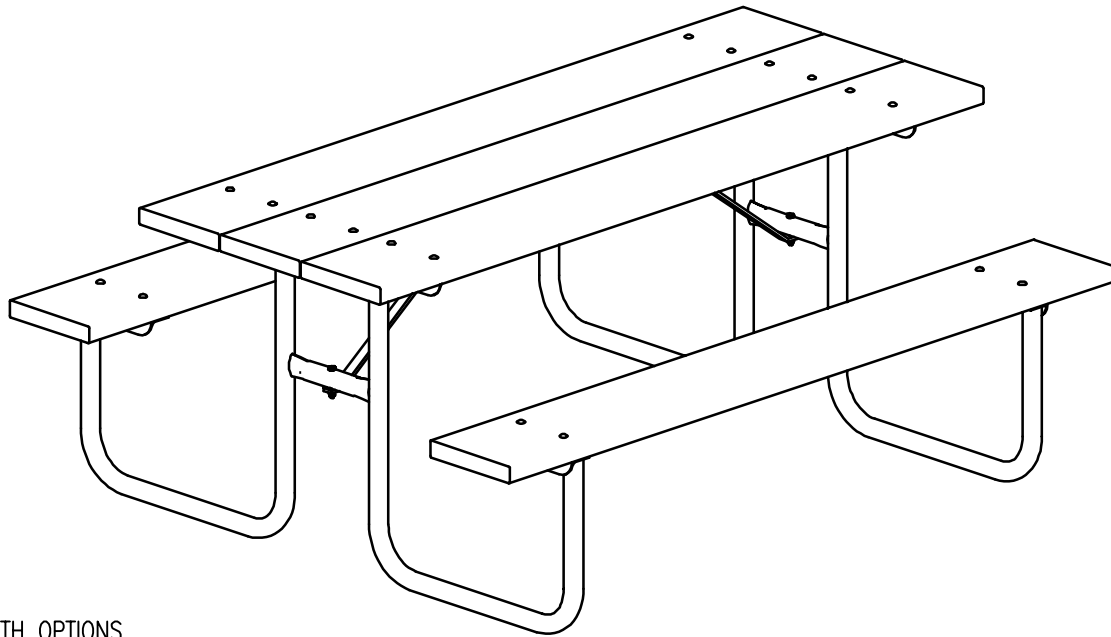
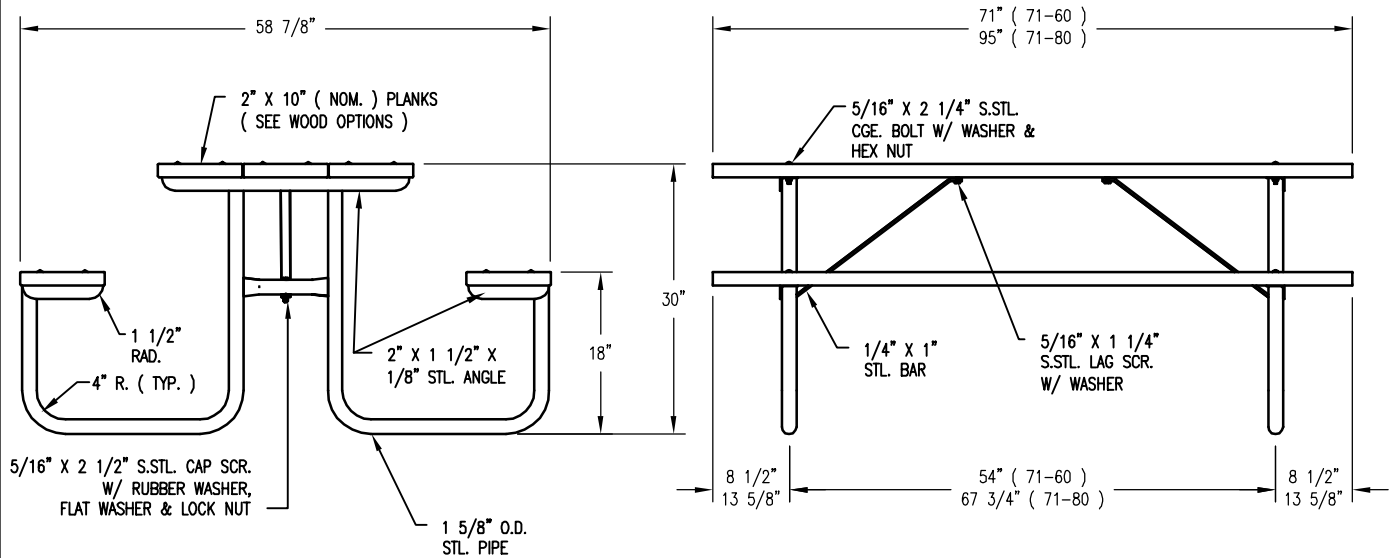
- "Bike" is 70"
- # Minimum Spacing
- (#) Recommended Spacing



#### CONTRACTOR:

#### JOB:

#### NOTES:



#### LENGTH OPTIONS

- ☐ 6' TABLE
- ☐ 8' TABLE

#### NOTE:

1. ) ALL DOUGLAS FIR WOOD MEMBERS TREATED  
WITH CLEAR PRESERVATIVE.

#### STEEL OPTIONS:

- ☐ ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN  
FINISHED W/ POLYESTER POWDER COATING.
- ☐ HOT DIP GALV. AFTER FABRICATION.

#### WOOD OPTIONS

- ☐ 'C' & BTR. DOUGLAS FIR KD S4S EE
- ☐ OTHER \_\_\_\_\_



PICNIC TABLE

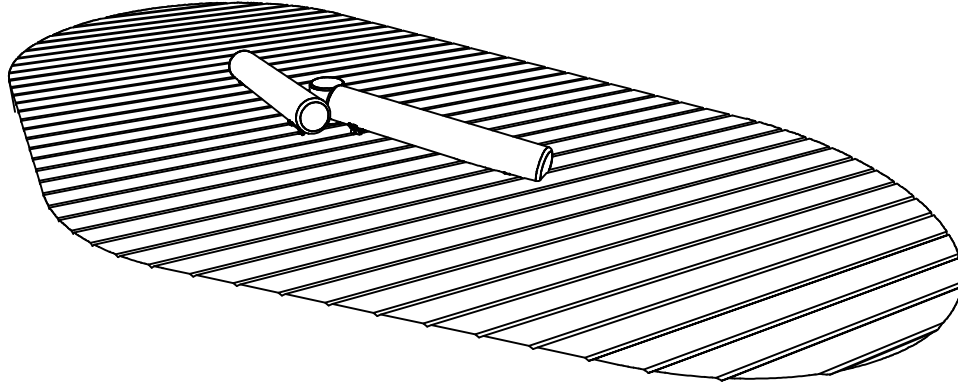
DATE DRAWN : 03/22/94  
DRAWN BY : CDC  
DATE REV. : 6/5/15  
REV. BY : JSB

REV.  
G

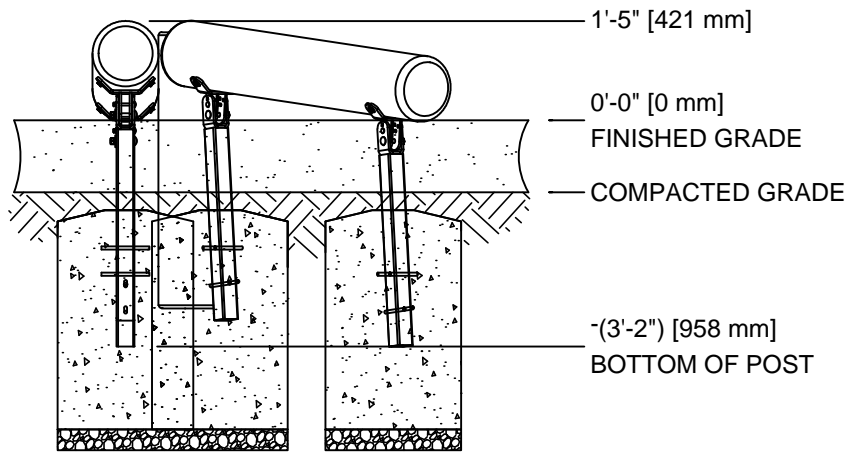
DRAWING  
NUMBER

71 SERIES

SHEET  
1 OF 2

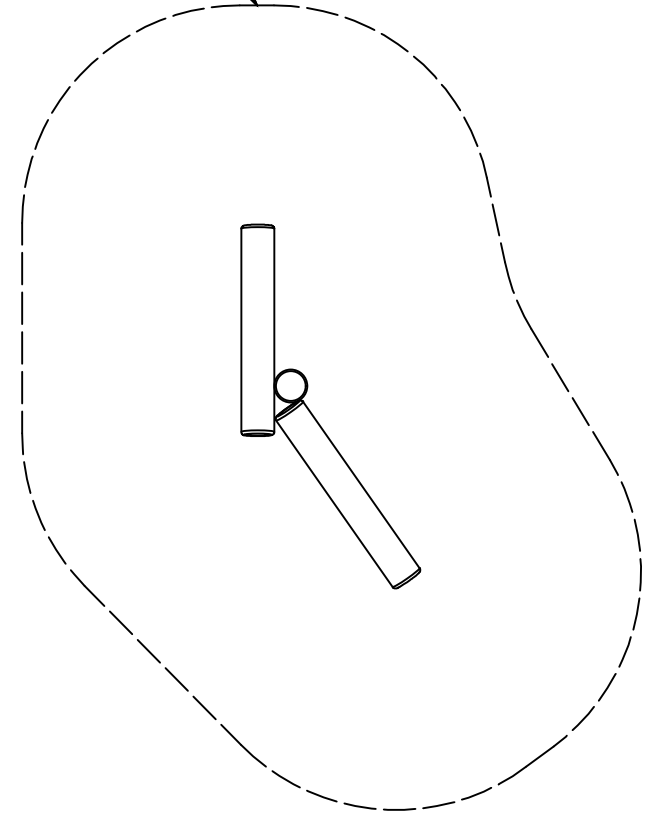


ISO VIEW  
SCALE: NONE



FRONT VIEW  
SCALE 3/8"=1'-0"

SAFE USE ZONE



EQUIPMENT ONLY:  
4'-11" x 10'-1" (1.5m x 3m)

MINIMUM SAFE USE ZONE:  
16'-11" x 22'-1" ( 5.2m x 6.8m)

PLAN VIEW WITH USE ZONE  
SCALE 3/16"=1'-0"



NOTE:  
CONCRETE FOOTING AND NO. 4  
REBAR (BY OTHERS) PER LOCAL  
SOIL CONDITIONS. CONSULT  
PROJECT ENGINEER FOR EXACT  
REQUIREMENTS.

Date	Revision	By
△		
△		
△		
△		
Scale	Drawn by: DGR	03-30-18
NOTED	Ck'd by: CL	03-30-18



**COLUMBIA CASCADE COMPANY**  
Makers of TimberForm®, PipeLine®, RePlay®

1300 S.W. Sixth Avenue, Suite 310  
Portland, Oregon 97201-3464  
U.S.A.

Telephone 503/223-1157  
Facsimile 503/223-4530

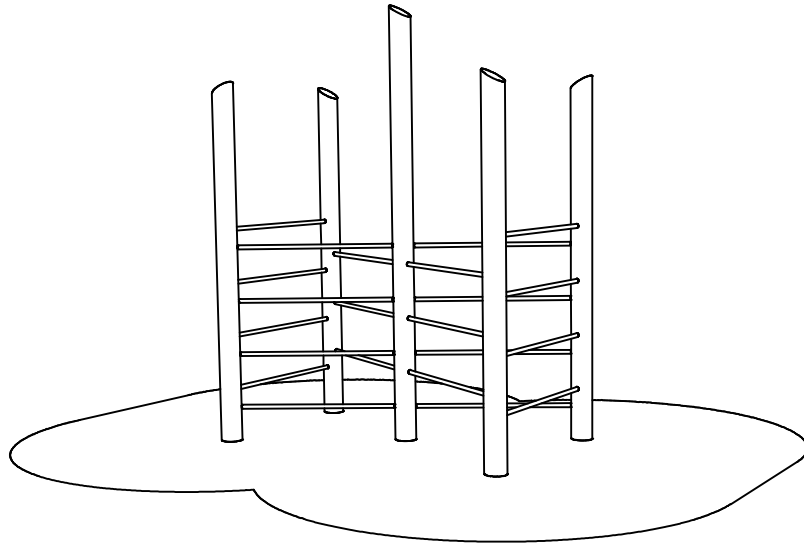
This drawing reveals the copyrighted intellectual property of Columbia Cascade Company. Not for use by others without our express, written authorization.

WWW.TIMBERFORM.COM

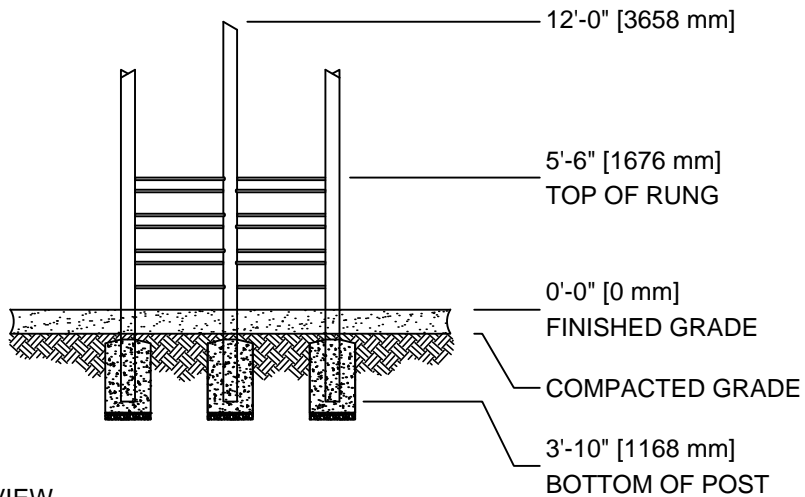
Title:  
**CLASSIC TIMBERFORM**  
**MODEL NO. 4500-304**  
**LOG SCRAMBLE**

Drawing No.  
**W-4500-304**

Sheet  
**1 of 1**

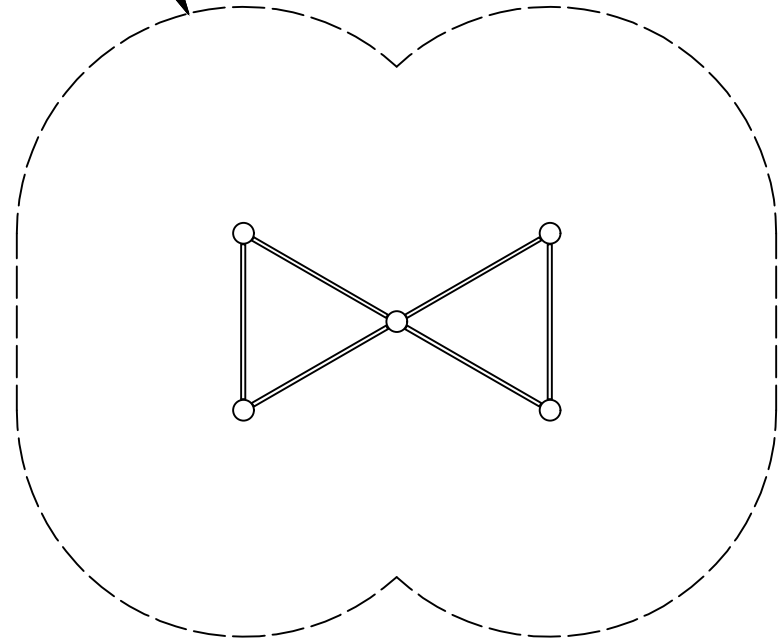


ISO VIEW  
SCALE: NONE



FRONT VIEW  
SCALE 1/8"=1'-0"

SAFE USE ZONE



EQUIPMENT ONLY:  
9'-1" x 5'-6" (2.8m x 1.7m)

MINIMUM SAFE USE ZONE:  
21'-1" x 17'-6" (6.4m x 5.3m)

PLAN VIEW WITH USE ZONE  
SCALE 3/16"=1'-0"



**NOTE:**  
CONCRETE FOOTING AND NO. 4 REBAR (BY OTHERS) PER LOCAL SOIL CONDITIONS. CONSULT PROJECT ENGINEER FOR EXACT REQUIREMENTS.

Date	Revision	By
△		
△		
△		
△		
Scale	Drawn by: DGR	03-30-18
NOTED	Ck'd by: CL	03-30-18



**COLUMBIA CASCADE COMPANY**  
Makers of TimberForm®, PipeLine®, RePlay®

1300 S.W. Sixth Avenue, Suite 310  
Portland, Oregon 97201-3464  
U.S.A.

Telephone 503/223-1157  
Facsimile 503/223-4530

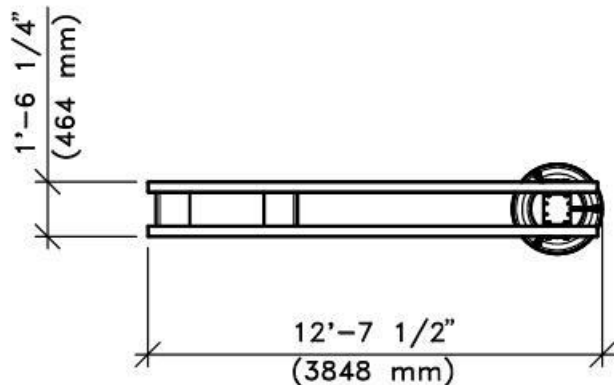
This drawing reveals the copyrighted intellectual property of Columbia Cascade Company. Not for use by others without our express, written authorization.

WWW.TIMBERFORM.COM

Title:  
**CLASSIC TIMBERFORM  
MODEL NO. 4500-209  
POLE CLIMBER**

Drawing No.  
**W-4500-209**

Sheet  
**1 of 1**



TOP VIEW

SCALE: 3/16" = 1'-0"

8'-10" [2692 mm]

TOP OF POST

8'-1" [2464 mm]

TOP OF POST

6'-7" [2007 mm]

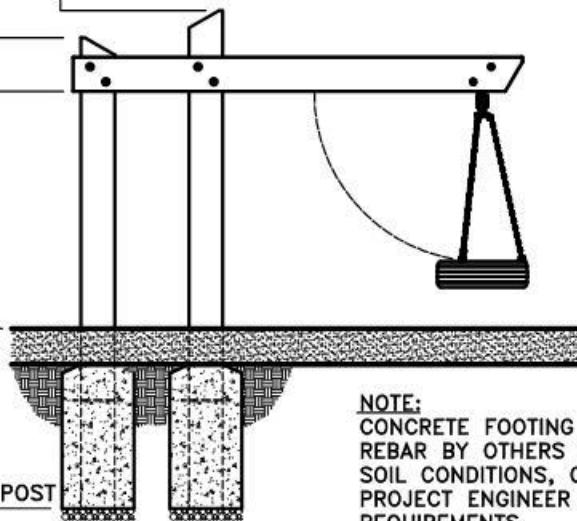
BOTTOM OF BEAM

0'-0" [0 mm]

FINISHED GRADE

-(5'-0") BOTTOM OF POST

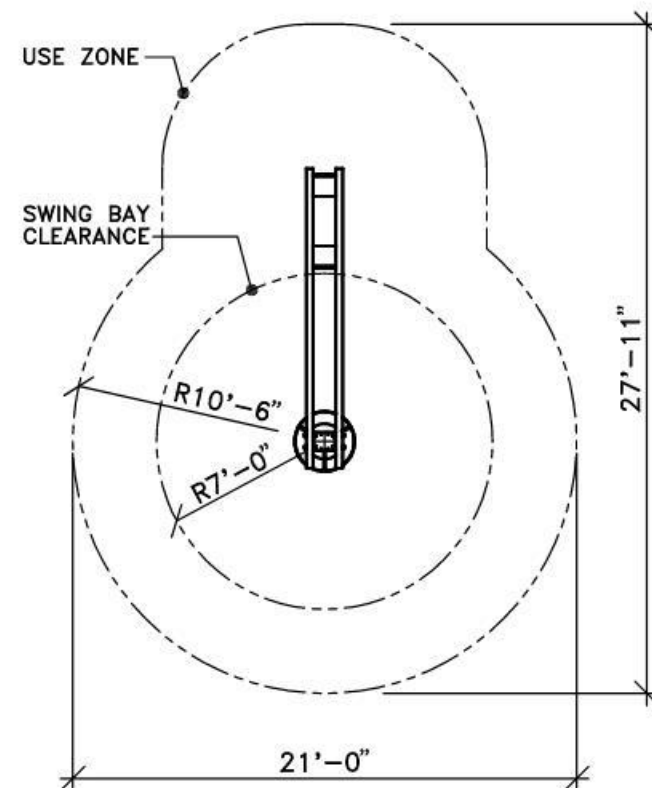
-[1524 mm]



**NOTE:**  
CONCRETE FOOTING AND NO. 4  
REBAR BY OTHERS PER LOCAL  
SOIL CONDITIONS, CONSULT  
PROJECT ENGINEER FOR EXACT  
REQUIREMENTS.

FRONT VIEW

SCALE: 3/16" = 1'-0"



PLAN VIEW WITH USE ZONE

SCALE: 1/8" = 1'-0"

This drawing reveals the copyrighted intellectual property of Columbia Cascade Company. Not for use by others without our express, written authorization.

Authorization for use is hereby granted to architects, landscape architects and similar design professionals solely for the purpose of specifying TimberForm products.



Scale	Drawn by: AT	05-02-17
NOTED	Ch'd by: CL	05-02-17



COLUMBIA CASCADE COMPANY

Makers of TimberForm®, PipeLine®

RePlay®, TimberForm®-2, InterPlay®

CycLoops® and CycLocker® Products.

1300 S.W. Sixth Avenue, Suite 310 Telephone 503/223-1157  
Portland, Oregon 97201-3464 Facsimile 503/223-4530  
U.S.A.

WWW.TIMBERFORM.COM

Title:

CLASSIC TIMBERFORM  
MODEL NO. 1554-01-TS  
TYRESWING

Drawing No.  
W-1554-01-TS

Sheet  
1 of 1