GENERAL PROJECT NOTES

1. All work performed shall comply with these general notes unless otherwise noted on the drawings and specifications. The general contractor shall coordinate the general notes with the work of all trades, including but not limited to the mechanical and electrical trades.
2. The contractor shall visit the site and be knowledgeable of conditions thereof. The contractor shall investigate verify and be responsible for all conditions of the project and shall notify the owner/architect of conditions requiring modification before proceeding with the work.
3. The contractor shall be responsible for accurate placement of the new building additions on the site.
4. Where discrepancies exist between drawings by various disciplines the contractor shall consult the architect before proceeding with the work.
5. Conditions which are not detailed shall be assumed to be similar in character to those which are. Where specific dimensions, details or design cannot be determined the contractor shall notify the architect prior to proceeding with the work.
6. Construction of work indicated on drawings as NIC is not in contract. The contractor shall coordinate all trades of his work, whether directly or indirectly involved, with NIC work.
7. All work shall conform to the requirements of all applicable codes and governing authorities and shall be of best practice of each trade.
8. All dimensions shall take precedence over scale.
9. All dimensions shall be verified in the field prior to proceeding with the work. The contractor is to notify the architect of any discrepancies.
10. Finished floor elevations are top of concrete unless noted otherwise.
11. The flame spread rating for all materials shall conform to all applicable codes.
12. Any decorations on interior walls or ceilings shall be noncombustible or fire retardant treated to comply with flame spread and smoke development code requirements.
13. Refer to mechanical and electrical drawings and manufacturer's template drawings for mechanical and electrical equipment supports, bolt setting templates, spring and vibration isolators, or other equipment not shown on drawings.
14. Provide proper anchorage of all equipment in accordance with applicable codes.
15. All pipe ducts, buss ducts and conduits that penetrate floor slabs and/or rated walls shall be installed in a manner which will preserve the fire resistive and structural integrity of the building.
16. Coordinate placement of all ceiling elements with mechanical, electrical and ceiling installer. Where discrepancies exist between drawings and installation the general contractor shall consult with the architect prior to proceeding with the work.
17. The contractor shall provide and install all stiffeners, bracings, back-up plates and supporting brackets required for the installation of all toilet room accessories and partitions and all wall mounted or suspended items including hardware, mechanical, electrical, and miscellaneous equipment.
18. The contractor shall verify all concrete and masonry openings in the field prior to fabrication of doors and frames.
19. All dissimilar metals shall be effectively isolated from each other to prevent molecular breakdown and galvanic action.
20. The building may be open to the public during construction. Contractor shall protect the public from work and staging areas at all times. Co-ordinnate with the Owner concerning access and work hours. Secure construction areas at the end of each workday.
21. Use of tobacco products and controlled substances are prohibited on school property by state law.

PROJECT DESCRIPTION

Project includes demolition of southern portion of existing building at 200 Sleater-Kinney Rd NE and remodel of approximately 5,000 sf of additional space in the remaining portion. An approximately 30,000 square foot two story addition will be constructed within the previous building's footprint . The new addition houses administrative spaces, classrooms, and ancillary support / accessory spaces to support North Thurston Public School functions. New mechanical and electrical systems will serve these areas. A tenant improvement within the remaining space will include a new shipping and receiving area and storage for district records and books. These spaces will connect to the existing mechanical and electrical systems. Site work includes grading of South lot and new access lane to connect to existing West parking lot, relocation and extension of existing site utilities, restoration and extension of existing sidewalks.

PROJECT INFORMATION

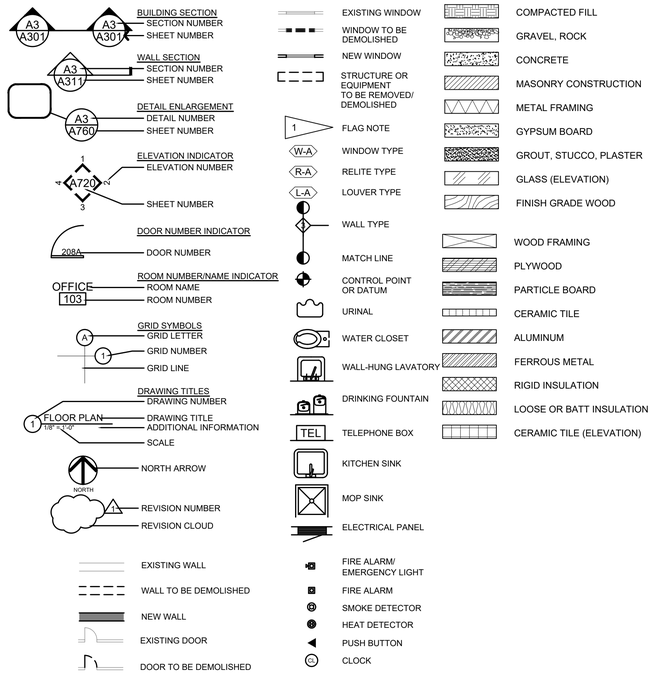
Project Address:	200 Sleater Kinney Rd. NE Olympia, WA 98506	
Parcel No.:	11817130200	
Legal Description:	Section 17 Township 18 Range 1W Quarter SW NE BLA150021OL TR A Document 4437623	
Parcel Area:	3.54 Acres (158,558 SF)	
Zoning:	HDC-4 High Density Corridor 4	
Codes:	2018 IEBC 2018 IBC ICC/ANSI A117.1 - 2009 ADA 2018 Washington State Energy Code	
Occupancy:	B, S, E	
Landscape Area:	19,516 SF	
Impervious Surfaces:	128,806 SF	
Hard Surfaces:	128,806 SF	
Construction type:	Type II-B (sprinklered)	
Stories:	2	
Existing Building Areas:	First Floor Existing	65,790 sf
	Second Floor Existing (not used)	10,042 sf
	Gross Existing Area	75,832 sf
New Building Areas:	First Floor	52,063 sf
	Second Floor	18,519 sf
	Gross New Area	70,582 sf
Tenant Improvement Area:		5,002 sf

Parking spaces provided:		104 on parcel
		- including 6 ADA
		- including 4 EV
		218 adjacent
		322 available
		255 required
Adjacent spaces are located across Kasey Keller st. on the NTHS campus (same owner)		
Bicycle spaces provided:	Long Term	14 provided
		13 required
	Short Term	36 provided
		35 required

ABBREVIATIONS

AB	Anchor Bolt	ELEV	Elevation or Elevator	INV	Invert	PW	Plywood
AC	Asphaltic Concrete	ENAM	Enamel			PNT	Paint
A/C	Air Conditioner	EP	Epoxy	JAN	Janitor	PR	Pair
ACT	Acoustical Ceiling Tile	EQ	Equal	JNT	Joint	PSF	Pounds Per Square Foot
ADD'L	Additional	EQUIP	Equipment	JST	Joist	PSI	Pounds Per Square Inch
ADJ	Adjustable	ES	Each Side or			PT	Pressure Treated
AFF	Above Finish Floor		Each Opposite	K	Kips or 1000 Pounds	PTD	Paper Towel Dispenser
AGG	Aggregate		Exposed Structure	KD	Knock Down or Kiln Dried	PTD/R	Paper Towel Dispenser
ALT	Alternate	EW	Each Way	KIT	Kitchen		W/ Receptacle
ALUM	Aluminum	EXH	Exhaust	KO	Knock Out	PTR	Paper Towel Receptacle
ANOD	Anodized	EXIST	Existing	KP	Kick plate or King Post	PVC	Polyvinyl Chloride
APPROX	Approximate	(E)		KSI	Kips per Sq. Inch		
ARCH	Architect(ural)	EXP	Exposed			QT	Quarry Tile
		EXT	Exterior	L	Length of Span or Structural Angle	QTY	Quantity
BD	Board			LAV	Lavatory	R	Radius or Riser
BLDG	Building	FB	Flat Bar	LB	Pound or LAG Bolt	RB	Rubber Base
BLKG	Blocking	FD	Floor Drain	LBS	Pounds	RCP	Reflected Ceiling Plan
BM	Beam	FE	Fire Extinguisher	LF	Linear Foot	RD	Roof Drain
BO	Bottom Of or By Owner	FEC	Fire Extinguisher Bracket	LH	Left Hand	RECPT	Receptacle or Reception
BTM	Bottom		Fire Extinguisher Cabinet	LKR	Locker	REF	Reference or Refrigerator
BRG	Bearing	FEM	Feminine	LL	Live Load	RF	Rubber Flooring
BTWN	Between	FF	Factory Finish or	LOC	Location	RJ	Rafter Joist
BU	Built-Up		Finish Floor	LP	Light Pole	RR	Roof Rafter
		FG	Fiberglass	LS	Landscaping	REINF	Reinforcing
CAB	Cabinet	FH	Fire Hydrant			REQD	Required
CB	Catch Basin	FIO	Furnished & Installed by Owner	LSD	Liquid Soap Dispenser	RESIL	Resilient
C/C	Center to Center	FJ	Floor Joist			RFG	Roofing
CG	Corner Guard	FLR	Floor	MAT	Material	RH	Right Hand
CHAMF	Chamfer	FND	Foundation	MAX	Maximum	RL	Rain Leader
CJ	Ceiling Joist or Control Joint	FNTD	Feminine Napkin Disposal	MBR	Member	RM	Room
			Fem. Napkin Tampon Dispenser	MB	Marker Board	RO	Rough Opening
CLG	Ceiling	FOC	Face of Concrete or	MBM	Metal Building Manufacturer	ROW	Right of Way
CLR	Clear		Face of Column	MDO	Medium Density Overlay	RUBB	Rubber
CMU	Concrete Masonry Unit	FOIC	Furnished By Owner	M/E	Mechanical/Electrical		
CO	Clean out		Installed by Contractor	MECH	Mechanical or Mechanically	S	South or Structural
COL	Column	FOS	Face of Stud	MED	Medium	SAF	Self Adhered Flashing
CONC	Concrete	FOW	Face of Wall	MFG	Manufacturing	SC	Solid Core
CONF	Conference	FR	Frame		Manufacturer	SCB	Self-Coved Base
CONST	Construction	FRG	Framing	MH	Manhole	SCHED	Schedule
CONT	Continuous	FRP	Fiber Reinforced Panels	MIN	Minimum	SD	Soap Dispenser or Storm Drain
	Contractor(ing)	FRT	Fire Retardant Treated	MIR	Mirror		
CP	Cement Plaster	FT	Feet or Foot	MISC	Miscellaneous	SF	Square Foot or Storefront
CPT	Carpet	FTG	Footing	MOD	Modular	SG	Safety Glass
CPT-T	Carpet Tile	FUR	Furred or Furring	MTG	Mounting or Meeting	SHT	Sheet
CRS	Cold Rolled Steel	FV	Field Verify	MTL	Metal	SHTG	Sheeting or Sheathing
CT	Ceramic Tile or Porcelain Tile			MULL	Mullion	SIM	Similar
CTR	Center	GA	Gauge			SLR	Sealer
CS	Cultured Stone	GALV	Galvanized	N	North	SOG	Slab on Grade
CVG	Clear Vertical Grain	GB	Grab Bar	NIC	Not in Contract	SPECS	Specification
CWT	Ceramic Wall Tile	GC	General Contractor	NO	Number	SQ	Square
		GEN	General	NOM	Nominal	S/S	Stainless Steel
D	Depth	GL	Glass or Glazed	NTS	Not to Scale	SSD	See Structural Drawings
DBL	Double	GLB	Glue-Laminated Beam			ST	Stain
DEMO	Demolition	GR	Grading	O/	Over	STD	Standard
DET	Detail	GWB	Gypsum Wallboard	OC	On Center	STOR	Storage
DF	Douglas Fir or Drinking Fountain	GYP	Gypsum	OD	Overflow Drain or Outside Diameter	STL	Steel
DIAG	Diagonal	H	Height	OFF or OFC	Office	STRUCT	Structural
DIA	Diameter	HB	Hose Bibb	OFOI	Owner Furnish Owner Install	SUS	Suspended
DIM	Dimension	HBD	Hardboard	OH	Overhead	SV	Sheet Vinyl
DISP	Dispenser	HC	Hollow Core	OPNG	Opening	SYS	System
DL	Dead Load	HDCP	Handicap(ped)	OPH	Opposite Hand		
DN	Down	HDR	Header	OPP	Opposite	T	Tread or Top or Trimmer or Tempered
DR	Door	HDW	Hardware			TB	Tackboard
DS	Downspout	HDWR	Hardwood	P	Polished	TEL	Telephone
DW	Dish Washer	HF	Hem-Fir	PAV	Paving	TEMP	Temporary or Tempered
DWG	Drawing	HM	Hollow Metal	PAR	Parallel	T&G	Tongue & Groove
		HORIZ	Horizontal	PART	Partition or Partial	TH	Thickness
E	East	HT	Height	PBD	Particle Board	TK	Tight Knot
EA	Each	HVAC	Heating/Ventilation/ Air Conditioning	PERF	Perforate(d)	TO	Top Of
EB	Expansion Bolt			PERIM	Perimeter	TOB	Top of Beam
EIFS	Exterior Insulation and Finish System	HW	Hot Water	PJ	Panel Joint	TOC	Top of Concrete or Top of Column or Top of Curb
				PL	Property Line or Plate	TOP	Top of Parapet or Top of Pavement
EJ	Expansion Joint	ID	Inside Diameter	PLAM	Plastic Laminate	TOPL	Top of Plate
EL	Elevation	INSUL or I	Insulation or Insulated	PLAS	Plastic	TOS	Top of Slab
ELEC	Electrical	INT	Interior			TPD	Toilet Paper Dispenser
						TS	Tube Steel
						TSD	Toilet Seat Dispenser
						TV	Television
						TOW or TW	Top of Wall
						TYP	Typical
						UNO	Unless Noted Otherwise
						VB	Vapor Barrier
						VCT	Vinyl Composition Tile
						VERT	Vertical
						VG	Vertical Grain
						VIN	Vinyl
						VP	Veneer Plaster
						W	West, Wide or Width
						W/	With
						WC	Water Closet
						WD	Wood
						WF	Wide Flange
						WG	Wire Glass
						WH	Water Heater
						W/O	Without
						WOM	Walk-off Mat
						WP	Waterproof
						WRB	Weather Resistant Barrier
						WT	Weight
						WWM	Welded Wire Mesh
						℄	Center Line
						℗	Property Line
						±	Plus or Minus
						Ø	Round, Diameter

SYMBOLS



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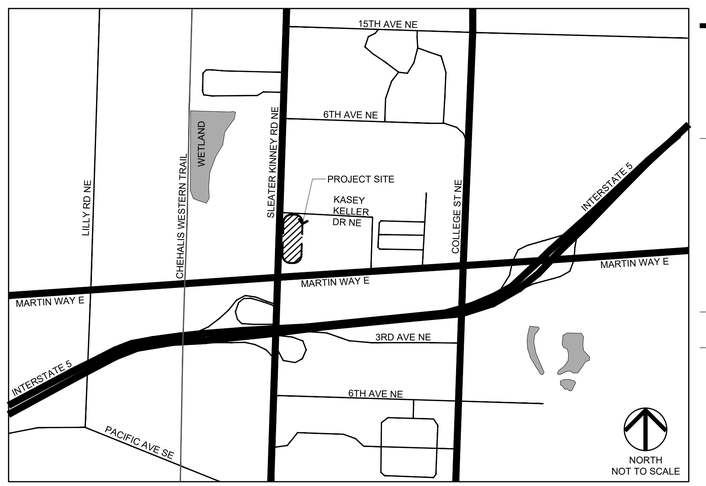
DRAWING INDEX

VICINITY MAP



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NORTH THURSTON PUBLIC SCHOOLS

RMAC SOUTH

200 Sleater Kinney Rd NE
Olympia, WA 98506

NOT FOR CONSTRUCTION

JOB NO.
2022-012

DRAWN BY
KNF

DATE
09.30.2022

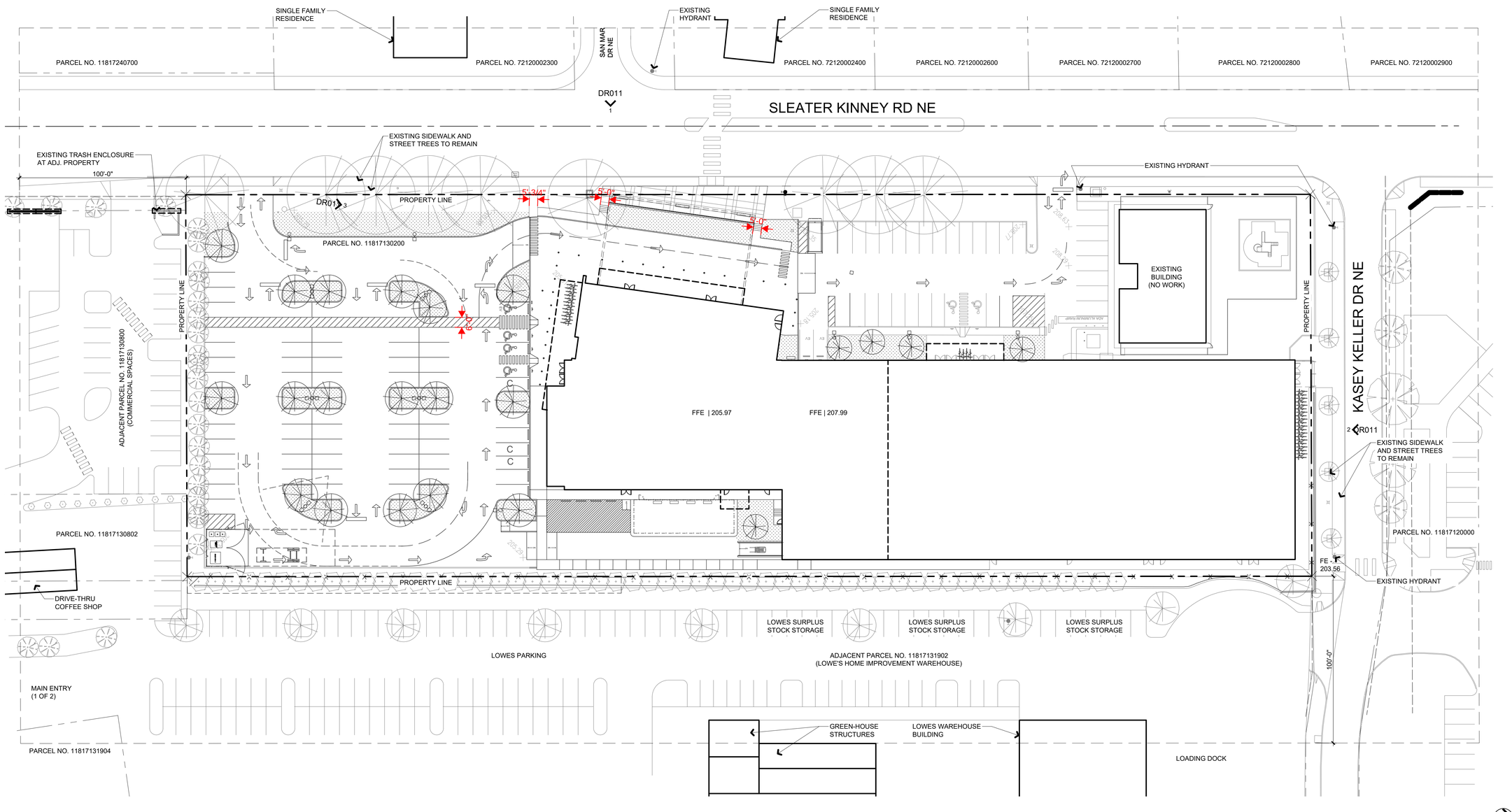
REVISIONS

DESIGN DEVELOPMENT

DESIGN REVIEW COVER SHEET

DR000

Print date: 9/27/22



1 SITE CONTEXT PLAN
1" = 30'

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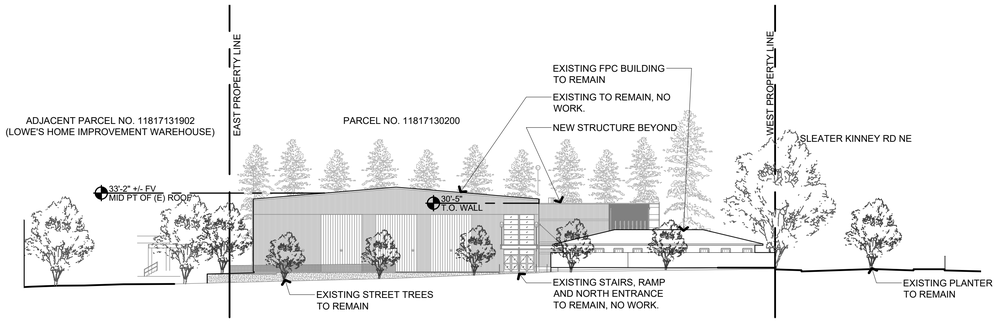
DESIGN DEVELOPMENT

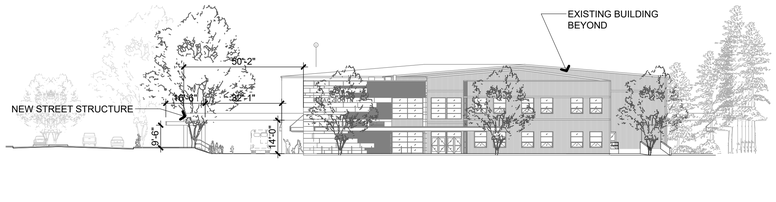
SITE CONTEXT PLAN

DR001

Print date: 9/27/22



2 NORTH CONTEXT ELEVATION
1" = 30'



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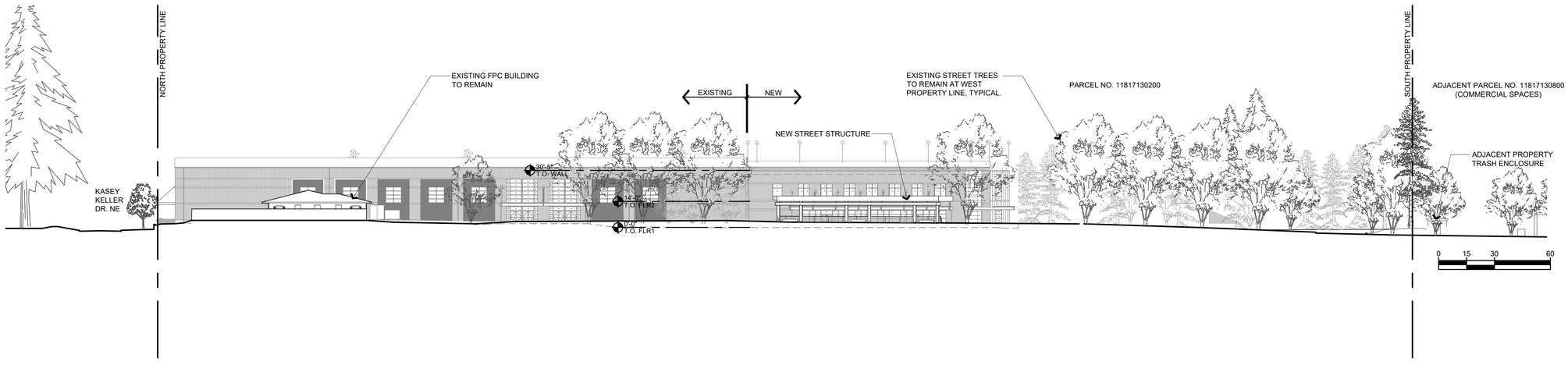
1" = 30'



1 WEST CONTEXT ELEVATION
1" = 30'

Print date: 9/27/22

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SITE CONTEXT ELEVATIONS

DR011

PROJECT DESCRIPTION

Project includes demolition of southern portion of existing building at 200 Sleater-Kinney Rd NE and remodel of approximately 5,000 sf of additional space in the remaining portion. An approximately 30,000 square foot two story addition will be constructed within the previous building's footprint . The new addition houses administrative spaces, classrooms, and ancillary support / accessory spaces to support North Thurston Public School functions. New mechanical and electrical systems will serve these areas. A tenant improvement within the remaining space will include a new shipping and receiving area and storage for district records and books. These spaces will connect to the existing mechanical and electrical systems. Site work includes grading of South lot and new access lane to connect to existing West parking lot, relocation and extension of existing site utilities, restoration and extension of existing sidewalks.

SITE PLAN LEGEND

- NEW IMPERVIOUS SURFACE (SOUTH PARKING LOT)
- NEW IMPERVIOUS SURFACE (PLAZA & WALKS)
- NEW LANDSCAPE AREA (PERVIOUS SURFACE)
- EXISTING 2 HOUR WALL
- ACCESSIBLE PEDESTRIAN ACCESS

PROJECT INFORMATION

Project Address:	200 Sleater Kinney Rd. NE Olympia, WA 98506	
Parcel No.:	11817130200	
Legal Description:	Section 17 Township 18 Range 1W Quarter SW NE BLA150021OL TR A Document 4437623	
Acres:	3.54	
Zoning:	HDC-4 High Density Corridor 4	
Codes:	2018 IEBC	
	2018 IBC	
	ICC/ANSI A117.1 - 2009 ADA	
	2018 Washington State Energy Code	
Occupancy:	B, S, E	
Construction type:	Type II-B (sprinklered)	
Stories:	2	
Existing Building Areas:	First Floor Existing	65,790 sf
	Second Floor Existing (not used)	10,042 sf
	Gross Existing Area	75,832 sf
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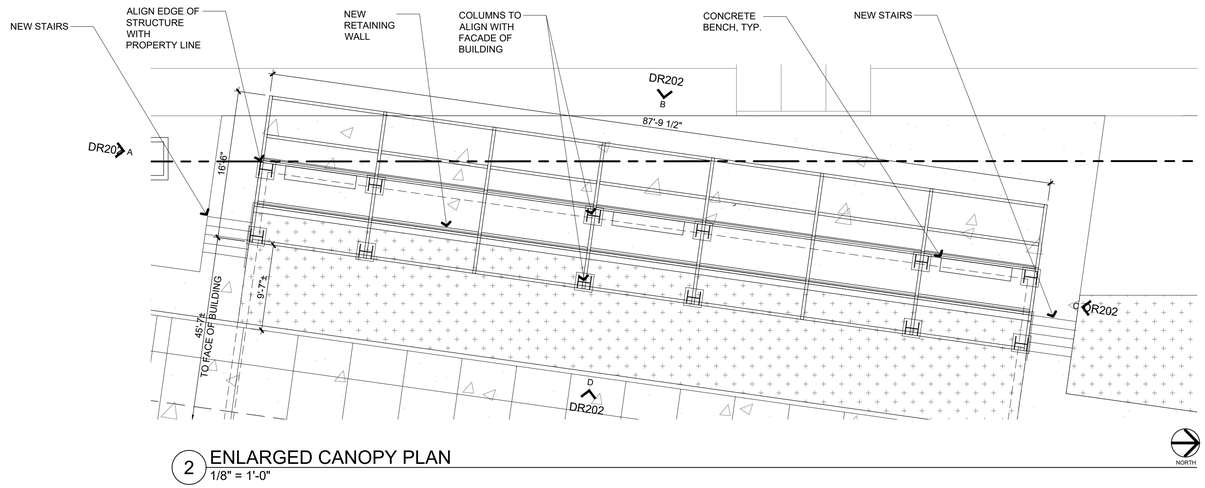
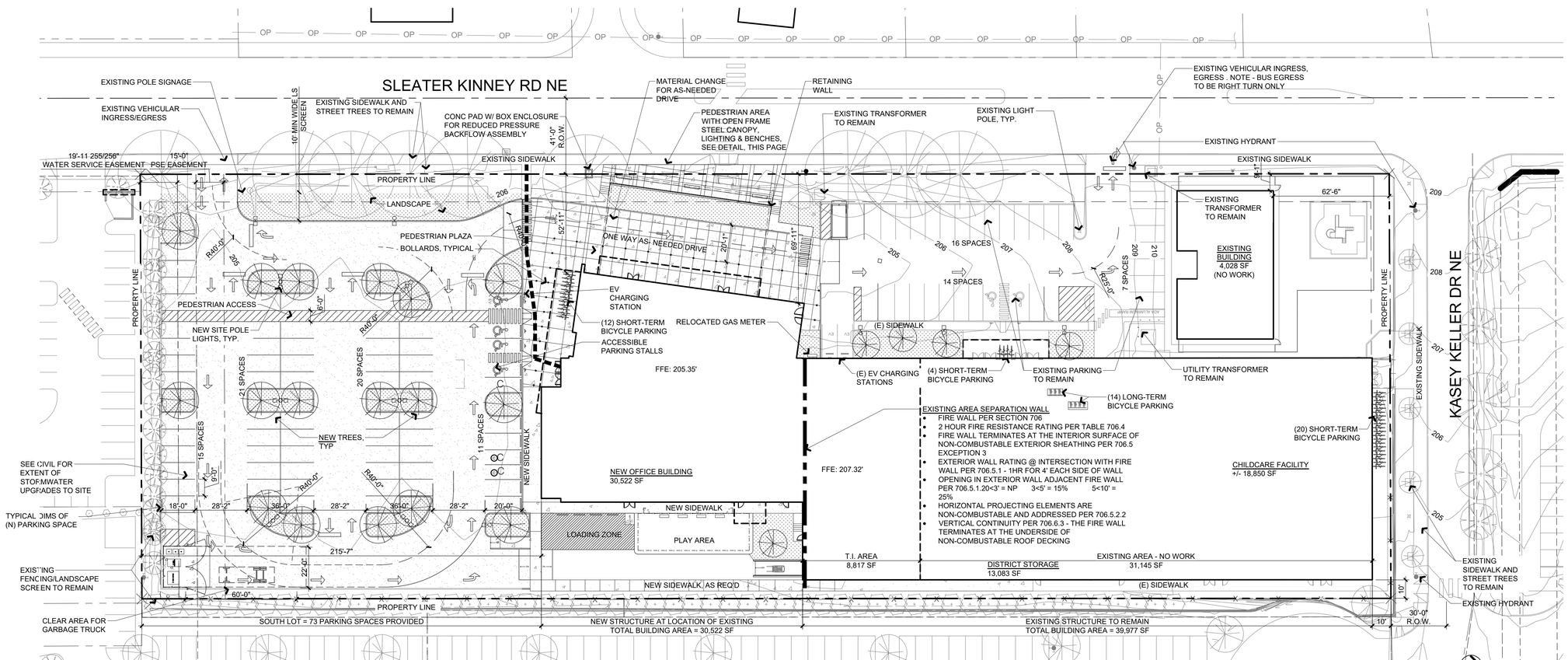
Tenant Improvement Area:		5,002 sf
Parking spaces provided:		104 on parcel - including 6 ADA - including 4 EV 218 adjacent **322 available** **255 required**
	Adjacent spaces are located across Kasey Keller st. on the NTHS campus (same owner)	
Bicycle spaces provided:	Long Term	14 provided 13 required
	Short Term	36 provided 35 required



2 ENLARGED CANOPY PLAN
1/8" = 1'-0"



1 SITE PLAN
1" = 30'

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NORTH THURSTON PUBLIC SCHOOLS
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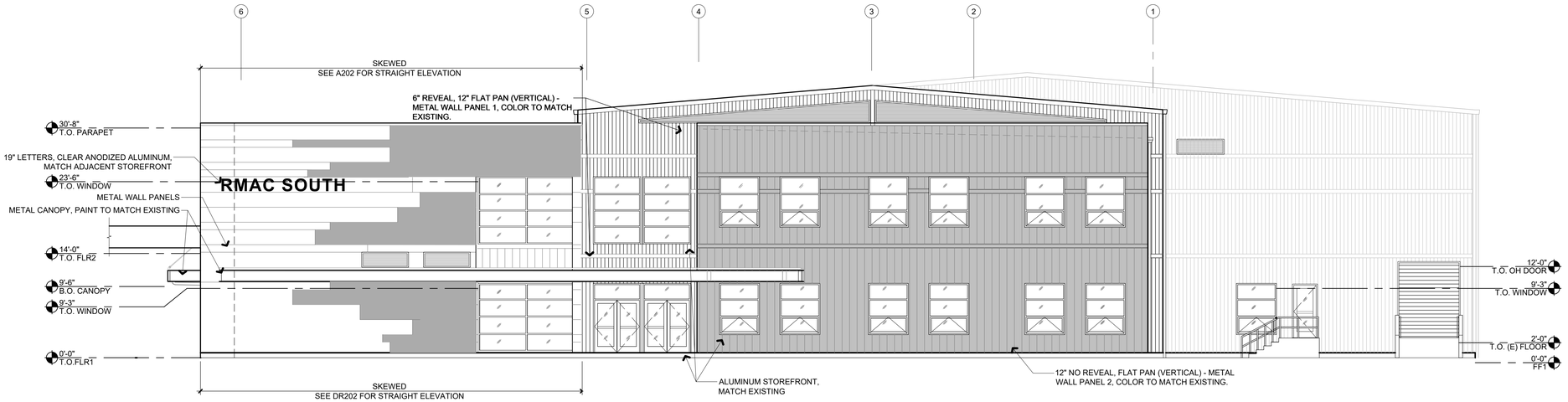
DESIGN DEVELOPMENT

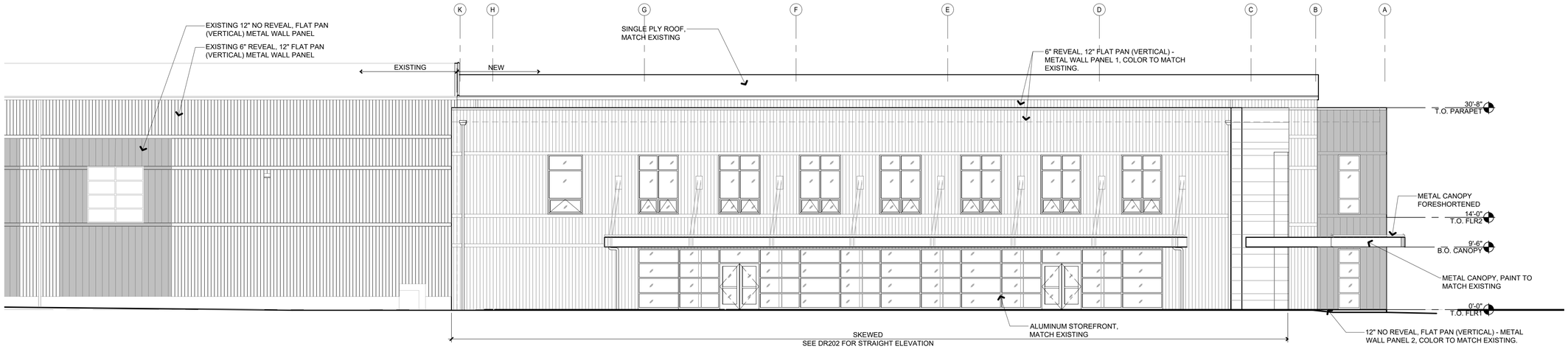
DESIGN REVIEW SITE PLAN

DR010

Print date: 9/27/22



2 OVERALL SOUTH ELEVATION
1/8" = 1'-0"



1 PARTIAL WEST ELEVATION
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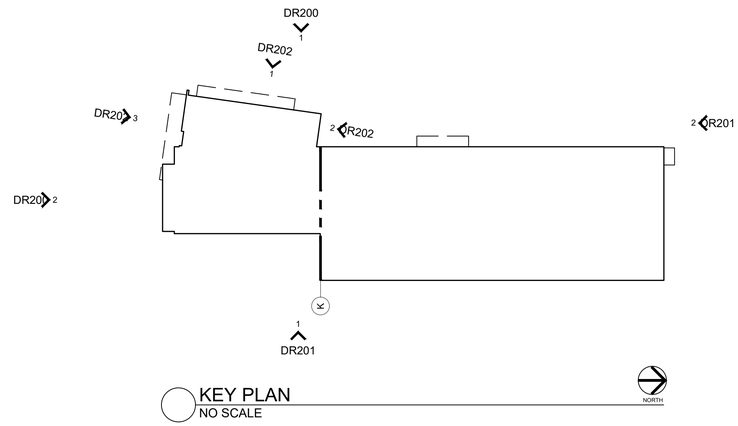

KEY PLAN
NO SCALE

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PUBLIC SCHOOLS

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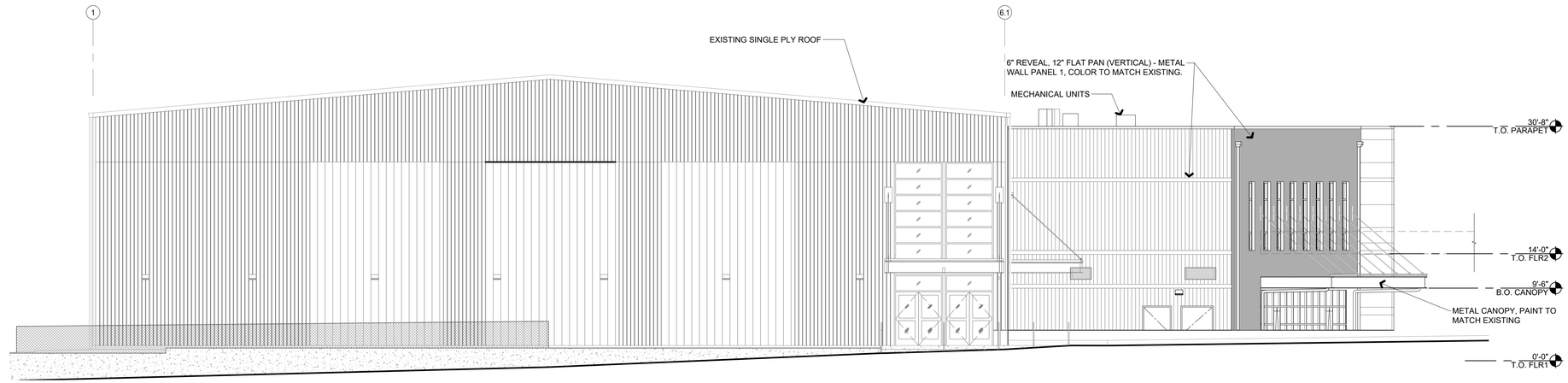
DESIGN DEVELOPMENT

DESIGN REVIEW ELEVATIONS

DR200

Print date: 9/27/22



2 OVERALL NORTH ELEVATION
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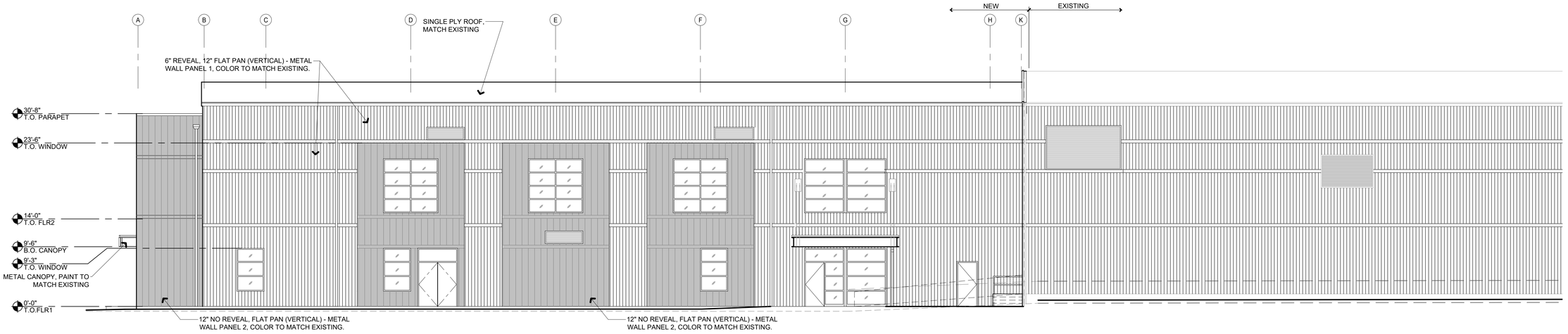

1 PARTIAL EAST ELEVATION
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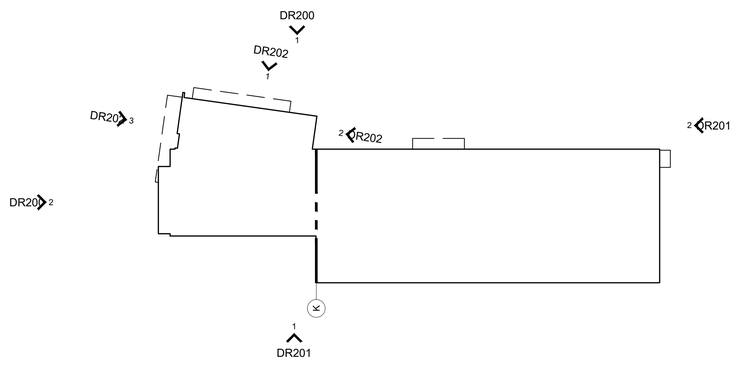

KEY PLAN
NO SCALE

Print date: 9/27/22

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NORTH THURSTON PUBLIC SCHOOLS
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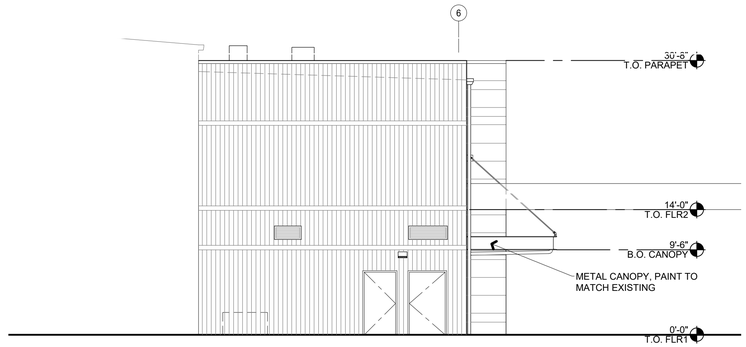
DESIGN DEVELOPMENT

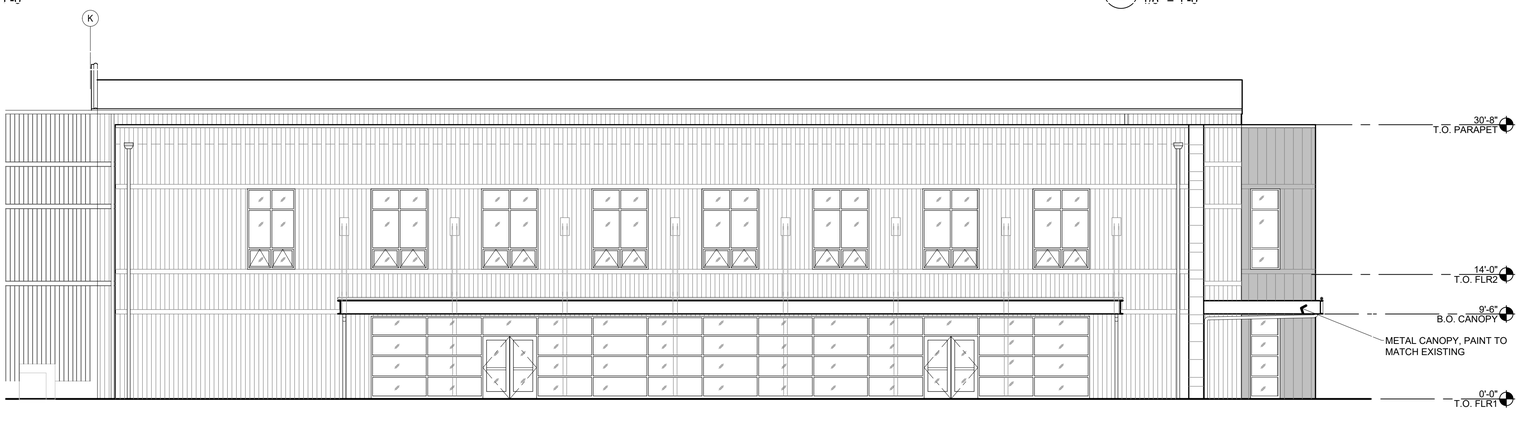
DESIGN REVIEW ELEVATIONS

DR201

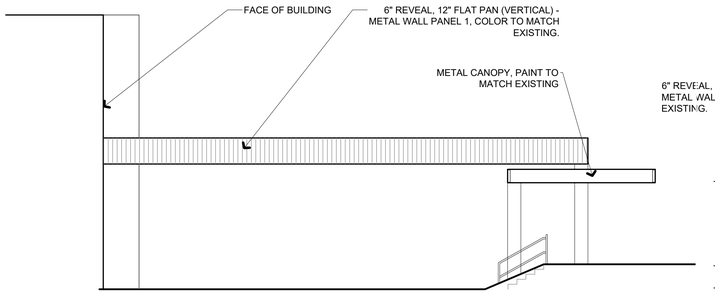
3 SOUTH STRAIGHT ELEVATION
1/8" = 1'-0"



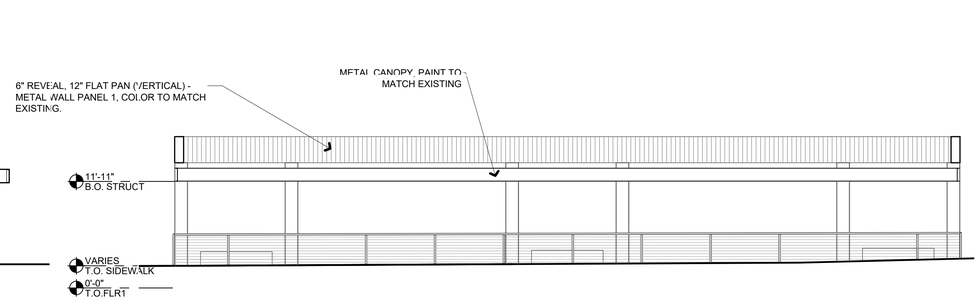
2 NORTH STRAIGHT ELEVATION
1/8" = 1'-0"



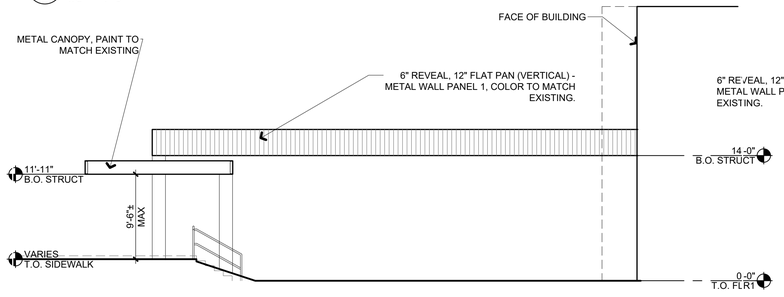
1 WEST STRAIGHT ELEVATION
1/8" = 1'-0"



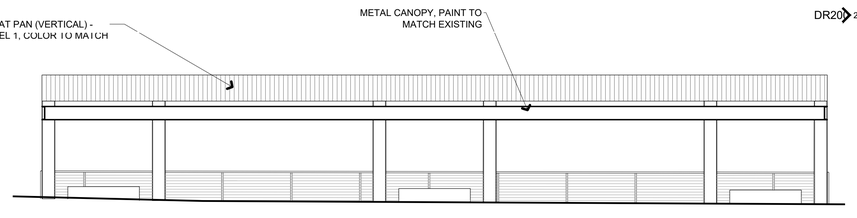
C NORTH CANOPY ELEVATION
1/8" = 1'-0"



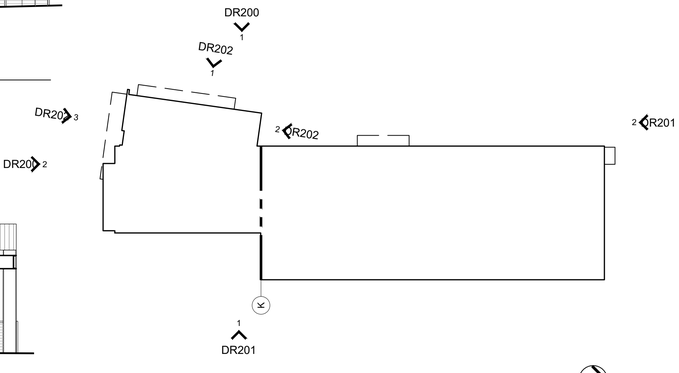
D EAST CANOPY ELEVATION
1/8" = 1'-0"



A SOUTH CANOPY ELEVATION
1/8" = 1'-0"



B WEST CANOPY ELEVATION
1/8" = 1'-0"



KEY PLAN
NO SCALE

NORTH

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NOT FOR CONSTRUCTION

JOB NO.
2022-012
DRAWN BY
KNF
DATE
09.30.2022
REVISIONS

DESIGN DEVELOPMENT

DESIGN REVIEW ELEVATIONS

DR202

Print date: 9/27/22