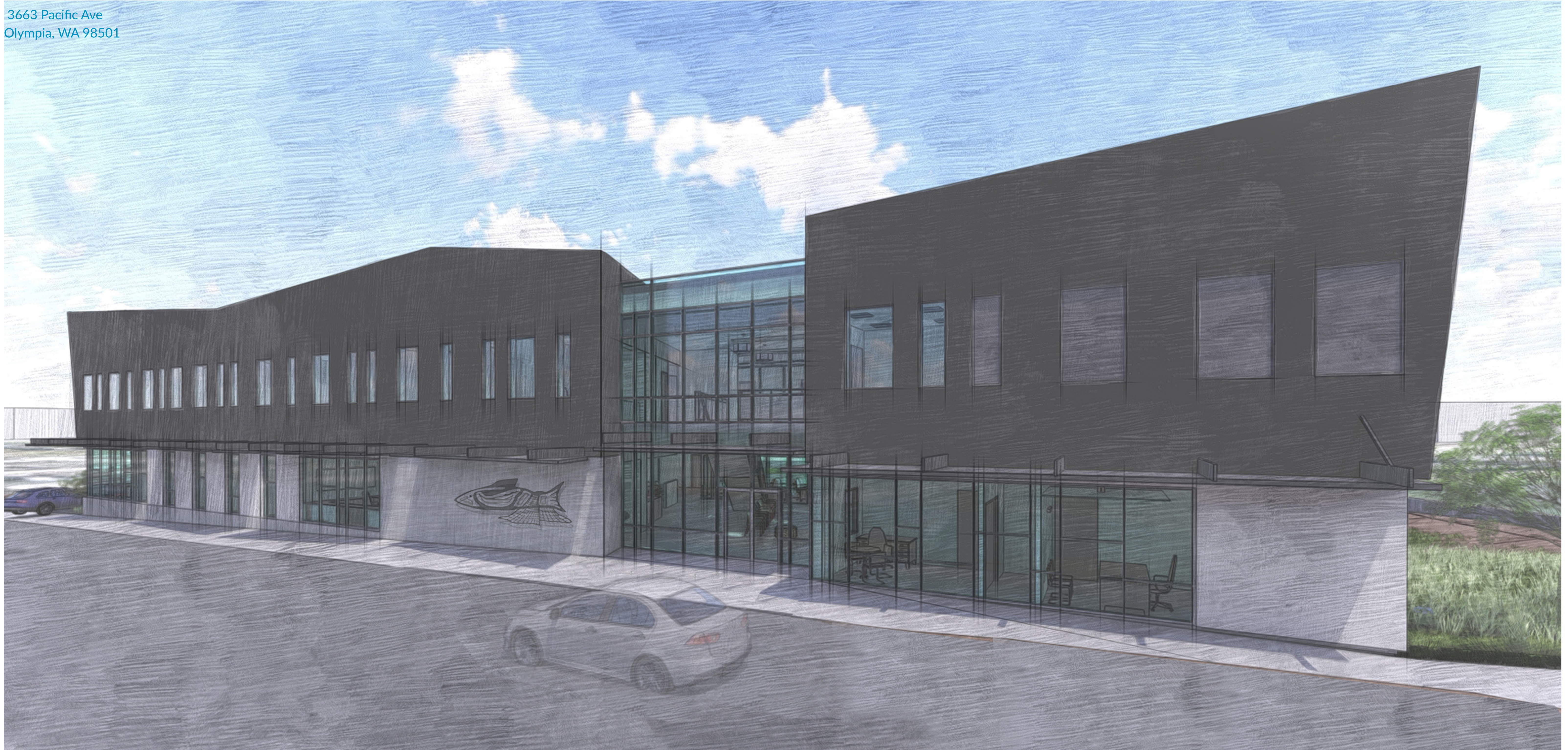


NISQUALLY HEALING CENTER

NISQUALLY INDIAN TRIBE

3663 Pacific Ave
Olympia, WA 98501



RICE *fergus* **MILLER**

ARCHITECTURE INTERIORS PLANNING VIZLAB

275 Fifth Street, Suite 100
Bremerton, WA 98337
360-377-8773

PROJECT INFORMATION

ADDRESS **Nisqually Healing Center**
 3663 Pacific Ave
 Olympia, WA 98501
 360-753-8314

PARCELS 65102900100

OWNER **Nisqually Tribe**
 4820 She-Nah-Num Dr. SE
 Olympia, WA 98513
 360-456-5221

ARCHITECT **Rice Fergus Miller**
 275 Fifth Street, Suite 100
 Bremerton, WA 98337
 360-377-8773

LANDSCAPE DESIGN **SCJ Alliance**
 2727 Hollycroft St, Suite 230
 Gig Harbor, WA 98335
 360-352-1465

DRAWING LIST

SITE OVERVIEW

SITE CONTEXT

FLOOR PLAN - LEVEL 1

FLOOR PLAN - LEVEL 2

ELEVATIONS

SITE PLAN

LANDSCAPE PLAN

GRADING PLAN

PROJECT DESCRIPTION

Project Story
 The Puget Sound region was sculpted by thick and extensive glaciers that moved across the landscape millions of years ago. Imagine the Nisqually glacier, from the peaks of Mt Rainier and the ancestral homeland of the Nisqually Tribe, brought with it pieces of the mountain down to the lowlands and across Olympia. A distinctive shaped glacial erratic deposited itself at the corner of Pacific and Poplar, carrying the legacy of the Nisqually, but bringing a unique energy and stories to a new home. Our Rock, symbolizes a solid foundation for community members experiencing substance abuse disorder to move towards healing. In the river of life, Our Rock is the essence of strength and permanence.

Overall Design Guide
 The exterior material palette is consistent with the commercial surroundings of Pacific Ave SE with design gestures resembling Nisqually's Our Rock form and materiality.

Cladding
 High-Density Fiber Cement Panel cladding comprises the second-floor mass. High-Density Fiber Cement Panel cladding also comprises a portion of the first floor. The lower mass on the south façade is smaller in scale and nods to tribal building materiality through composite wood veneer panel cladding. All façade panels will be part of a ventilated façade system. On the north and east facades to mitigate the change in elevation, a textured, specialty architectural concrete with an abstract pattern is incorporated.

Windows
 To maximize daylight on the interior while focusing specific views outward to nature and the sky, an aluminum storefront is used on the first floor. Openings on the second floor consist of aluminum punched openings strategically located to match the rhythm of the interior space. In the central two-story lobby area, a window wall system is utilized.

Other Openings
 Along the west façade and western portions of the north and south façade, metal screen panels comprise the openings, in lieu of punched windows. The metal screens have perforations in different sizes. Panels are painted stainless steel.

Roof
 The roof will assist in mitigating the effects of urban heat islands through a combination of TPO membrane on the two-story mass and cool standing seam metal. The section of roof over the Lobby will include four linear skylights.

Exterior Canopies
 Overhead canopies provide overhead protection along Pacific and over exterior doors around the perimeter. Components of the canopy include perforated metal and structural steel outriggers.

Sun Shading Devices
 Painted aluminum sunshades mitigate southern south exposure on the south window wall of the lobby. The sunshades will be integrated into the horizontal mullions of the window wall.

PROJECT DATA

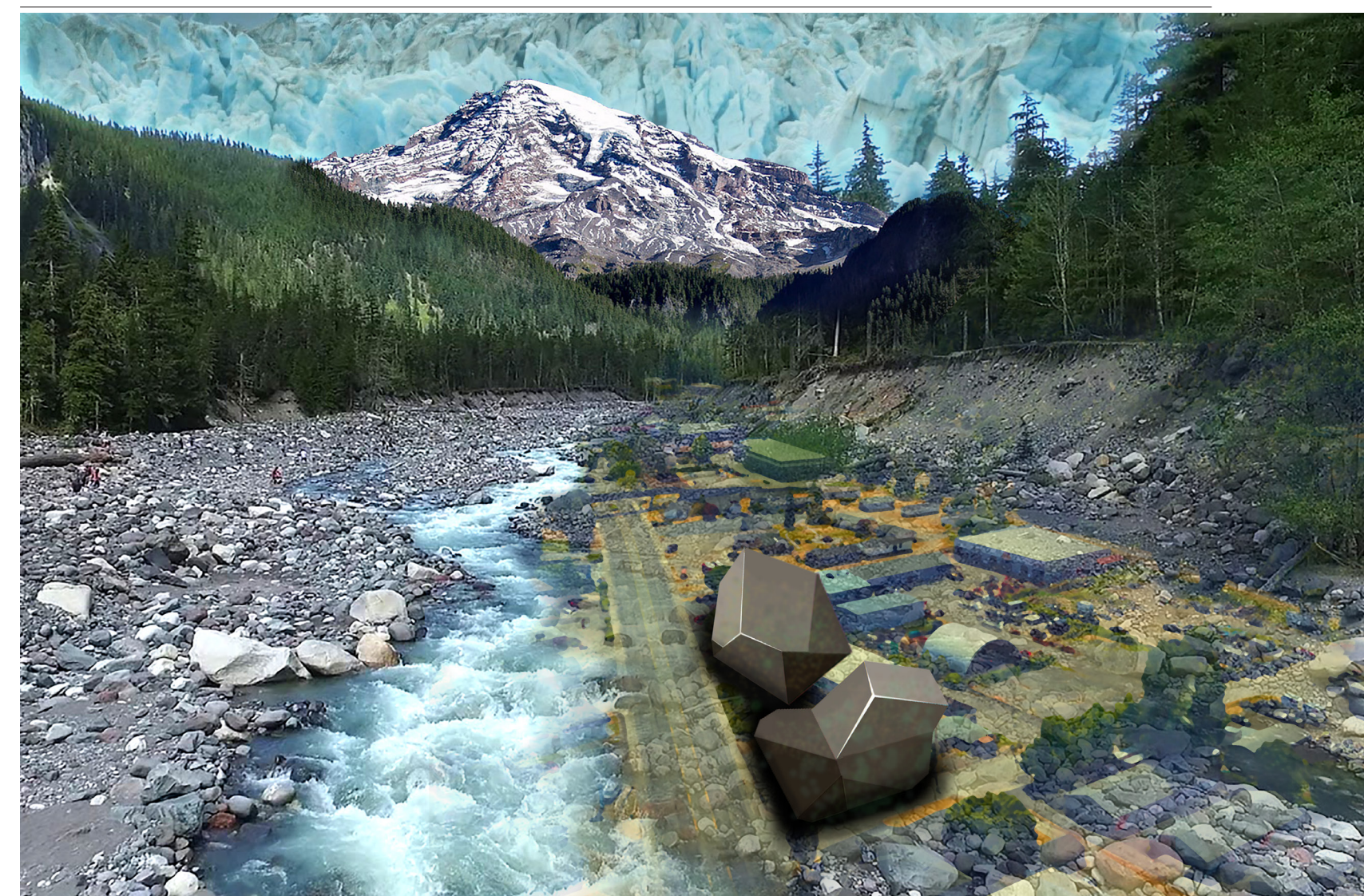
LANDSCAPE AREA
 7840 SF

PARKING
 58 Vehicle Spaces
 4 Bike Spaces
 (2 Long Term, 2 Short Term)

BUILDING DATA
 Gross Building Area: 21,750 GSF

BUILDING HEIGHT
 Max Building Height: 36'-1"

CONCEPT IMAGE

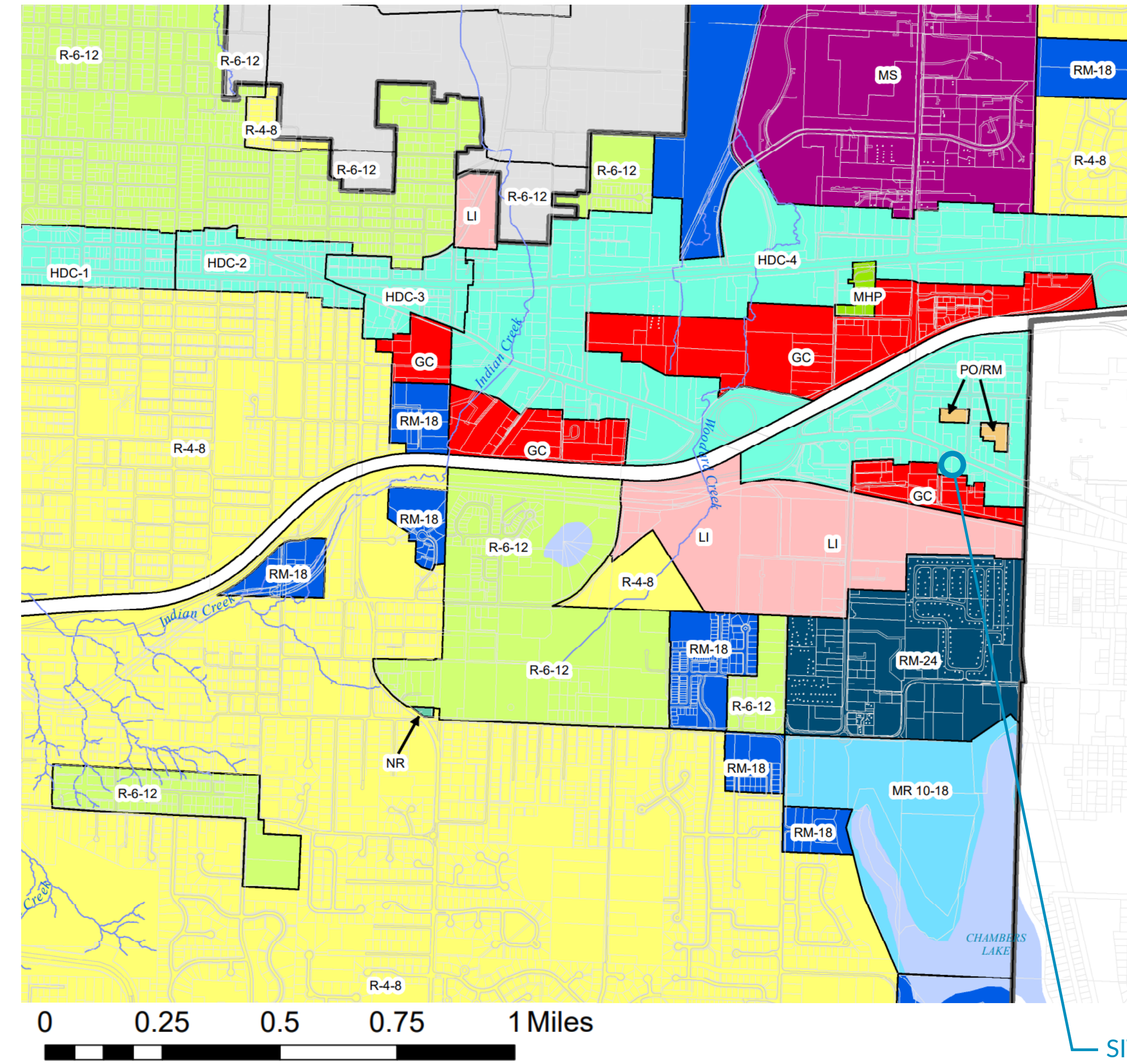


DESIGN REVIEW CHECKLIST

Code Section	Title	Requirement	Guidelines	Design Response
18.110.020	Frontage	Buildings must abut at least fifty percent (50%) of the street frontage. Gaps in frontage between buildings on a single project may not exceed eighty (80) feet in length.	None	50% street frontage met.
18.110.030	Connections	Provide driveway and sidewalk connections to and through the development to adjoining streets, bus stops, designated urban trails, and properties, where access exists or reasonable connections are possible. If a parking lot lies between the building entry and an adjacent public street, a pedestrian walkway at least six (6) feet wide shall be provided between them. In all other cases, on-site sidewalks shall have a passable width of at least four (4) feet. All crossings of vehicular travel lanes shall be clearly marked.	1. Provide clear pedestrian circulation routes on site. 2. Minimize curb cuts by sharing driveways and access from side streets whenever possible. 3. On large sites where no public streets exist, create a grid street system within the project. 4. Locate storm drainage ponds, swales, and other drainage system components so they do not unreasonably impede pedestrian access to or between buildings. 5. Provide a direct and clear visual connection through the buildings to the front street if parking is located behind the buildings. 6. Provide signs for pedestrians and vehicles within the site, if necessary. 7. Provide walkways through parking bays and adjacent to landscape islands.	Met
18.110.050	Pedestrian Amenities	Provide pedestrian amenities in places where people typically gather, including but not limited to, transit stops, building entrances, or street corners. These spaces must include seating, landscaping, and at least two of the following: 1. Patterned materials on walkways; 2. Shelters; 3. Trash receptacles; 4. Drinking fountains; 5. Pedestrian lighting, light bollards, or alley lighting; 6. Fountains, sculptures, mobiles, kiosks, or banners; 7. Street trees, flower boxes, or container landscaping in alleys; 8. Street vendor stations where appropriate; or 9. Bike racks.	None	Project will include: Patterned material on walkways, street trees, pedestrian lit bollards along sidewalk, trash cans, maybe bike rack
18.110.080	Building Location and Design	1. Place commercial buildings on the street edge and locate parking on the side or behind the building. Parking lots shall not be located in corners. Exceptions may be made: a. Where an alternative building location would provide a good or better pedestrian access. b. In the Auto Oriented Design District and in the HDC-4 Capital Mall area (see Section 18.130.060). c. When the Hearing Examiner approves the location of surface parking lots in the front and/or along the side of buildings, pursuant to Conditional Use Permit Hearing Examiner Approval (OMC 18.48.020(A)) and Parking Facility Location (OMC 18.38.200(B)(2)(a-j)). 2. Entrances to buildings shall be clearly articulated and obvious from the street. 3. Commercial and public buildings over three (3) stories must have a clearly defined base at street level that is no more than two stories high.	None	Building is located at street edge. Parking is in rear. Entrance is clearly articulated and obvious from the street
18.110.080	Maintaining Human Scale	Use design elements to maintain a human scale at the street. Projects requiring a conditional use permit in a residential zone must incorporate elements that relate to existing buildings in the neighborhood.	1. Where there is a strong sense of human scale neighborhood identity, use building modulation, roof forms, windows, materials, and details that are similar to the neighborhood buildings. 2. Articulate facade design features to reduce the apparent size of large buildings. Design elements may include, but are not limited to: facade modulation, cornices, window patterns, pilasters, porches, patios, decks, covered entries, balconies, bay windows, dormers, stepped roofs, gables or other roof elements, a variety of cladding materials, lighting fixtures, trellises, trees or other landscape features, and multiple paint colors and building materials. 3. Locate retail shops with display windows at the street level around the exterior of larger commercial buildings.	Window patterns, covered entries, balconies, angled roof elements, a variety of cladding materials, lighting fixtures, trees or other landscape features, and multiple paint colors and building materials are provided
18.110.090	Street Walls	Use a high proportion of clear or lightly tinted glass at the street level for displays or to reveal services available where appropriate. This glass shall cover or comprise at least sixty (60) percent of the building face between two (2) and eight (8) feet in elevation above the sidewalk if glass is not possible, at least one (1) of the following, or an equivalent, shall be substituted for glazing on the building walls fronting on a street, sidewalk, or other pedestrian walkway visible to pedestrians. The following guidelines are listed in order of preference. Wall segments without such treatments should not exceed thirty (30) feet in length.	1. Ornamental and structural architectural details that provide texture to the building surface; or 2. Climbing plants, vines, trees, or other vegetation that, within three (3) years of planting, can reasonably be expected to cover or screen the wall to the degree required to comply with this section; or 3. A pedestrian area, consistent with Section 18.06.100, Development Standards, located along the southern, eastern, or western exposure of a building face at a transit stop, intersection corner, or other location.	50% glazing provided between 2 and 8 feet. Additionally, a board form architectural concrete with plan change between materials
18.110.100	Windows	Windows shall provide relief, detail, and variation to building facades and shall be in harmony with the character of the structure.	1. Provide variation in rhythm both horizontally and vertically. 2. Use windows that are recessed or protruding such as bay windows. 3. Use visually significant window elements, including lintels, sills, casings, mullions, and frame dimensions. 4. Provide more glazing area on the ground floor than on the upper floors.	Rhythm both horizontally and vertically provided. Visually significant window elements provided. More glazing provided on ground floor.
18.110.110	Projections into the ROW	In order to create a positive visual experience for the pedestrian moving along the street, add interest and variety to building facades by using projections into the right-of-way.	Use any of a variety of projections such as awnings, trellises, planter boxes, bay windows, balconies, canopies and porticos. When awnings are used they should cover the pedestrian clear zone (the 42' of sidewalk immediately adjacent to the building). Also see Development Guidelines and Public Works Standards 12.24.020 as amended.	Canopies, recessed entries, and nicely detailed concrete at street level
18.110.120	Roofs	Provide relief, detail and variation to roof lines.	1. Use cornices at upper edge of facades or soffit overhangs on rooflines that abut the street. 2. Use landscaped roof terraces and gardens on buildings that are stepped back from the street.	varied roof line provided
18.110.130	Corners	Create pedestrian friendly building elements at intersections and alley entrances.	Incorporate features such as inset or angled corners and entrances, display windows, or corner roof features.	Met
18.110.140	Consistency	Buildings shall have a consistent visual identity from all sides visible to the general public, except, building walls adjacent to alleys in the downtown design district.	1. Use consistent exterior materials, architectural detailing, and color schemes. 2. Buildings should present a comparable level of quality of materials, detailing and fenestration.	Met
18.110.150	Colors and Materials	Use building materials with texture and pattern (such as brick) on exterior building walls and large surfaces. Reserve brightly saturated colors for trim or accents.	1. Avoid large expanses of highly tinted or mirrored glass. 2. Do not use highly reflective exterior materials (except glazing) where glare would affect nearby buildings or traffic.	Met
18.110.160	Lighting	Use lighting to emphasize the building and landscaping, and to provide visibility and general security. Lighting shall not shine off-site or into adjacent buildings.	1. Use lighting to emphasize key architectural elements and landscape features. 2. Use adequate lighting along sidewalks and alleys to provide well-lit pedestrian walkways. (Also see Section 18.40.060(D), lighting.)	façade lighting bollards lights porch area lights lighting charette for exterior
18.110.180	Plant Selection	Select plants that are compatible with planting conditions and existing landscaping. Plant trees that at their mature, natural size will be well-suited to the planting location. Avoid use of invasive species adjacent to critical areas. Do not plant noxious weeds, as defined by the Thurston County Noxious Weed Control Program (lists are on file with Thurston County or the City's Community Planning & Development Department).	1. Provide visual continuity with the existing streetscape by coordinating tree and shrub species with established, healthy landscaping. 2. Consider mature tree size in relation to planting area dimensions and soil type. 3. Avoid a haphazard appearance by using a limited number of plant species. 4. Choose native plant species for primary landscaping; limit use of exotic plant species to areas of interest or effect.	Met, see landscape plan.
18.110.190	Screening site services	Show the location of all mechanical equipment and utility vaults on both site and landscape plans early in the design process. Provide visual screening so that mechanical equipment and utility vaults are not visible from adjacent public rights-of-way, or adjacent dwelling units. Screen roof-top mechanical and communications equipment on all sides. (See Section 18.36.060(I), Screening - Trash and Open Storage.)	1. Locate mechanical equipment and utility vaults on the least visible side of the building and/or site. 2. Screen at-grade locations with vertical plants such as trees, shrubs or ornamental grasses. 3. Screen or paint wall mounted mechanical equipment to match the building.	Equipment has been located behind building to minimize visual impact. CMU wall will be provided at trash enclosure and wood slat screens will be provided at other equipment locations that can be seen from public ROW
18.110.200	Screening blank walls	Use a variety of landscape materials along lengthy expanses of blank walls or fences.	1. Screen walls or fences with a combination of trees, shrubs and vines. 2. Use irrigated raised planter boxes for screening purposes. 3. In narrow planting areas adjacent to walls or fences, use espaliered trees or shrubs and vines.	No blank walls on project.
18.130.020	Building Orientation	Primary building entries, storefront windows, and building facades shall face the street, create a continuous row of storefronts along the street frontage, and provide direct access from the street to the building with close pedestrian access to the nearest bus stop.	Locate service and delivery entries in the rear whenever possible.	Primary building entries, storefront windows, and building facades do face the street. Service entry is located at rear.
18.130.030	Building Design	REQUIREMENT: Where visible to pedestrians, walls over thirty (30) feet in length shall be modulated and building elements shall be articulated. Orient buildings and locate windows to provide privacy, to the extent practical, both within the project and to the adjacent residential neighborhood.	1. Provide vertical and horizontal modulation in the facade; 2. Provide features that identify a clear base to the building; 3. Provide recessed entries; 4. Provide awnings, canopies, marquees, building overhangs, or similar forms of pedestrian weather protection. Such elements should be at least four and one half (4-1/2) feet wide and cover at least eighty (80) percent of the length of buildings, including entries which abut a pedestrian walkway, subject to Section 18.06.080, Commercial Development Standards. 5. Use fenestration; 6. Vary roof lines; use dormers; 7. Provide porches or balconies.	Vertical and horizontal modulation in the facade provided. Concrete plinth identifies a clear base to the building. Entries are recessed. Canopies are provided for pedestrian weather protection. Canopies are 4.5' and cover eighty (80) percent of the length of the buildings. Fenestration used. Roof lines are varied Balcony provided at east facade
18.130.040	Surface Parking	REQUIREMENT: Locate parking behind or on the side of buildings. On corner lots, parking shall not be located on the corner. Minimize curb cuts and provide landscaping, berms and/or low walls for screening.	None	Parking located behind building. Landscaping provided.

SITE OVERVIEW

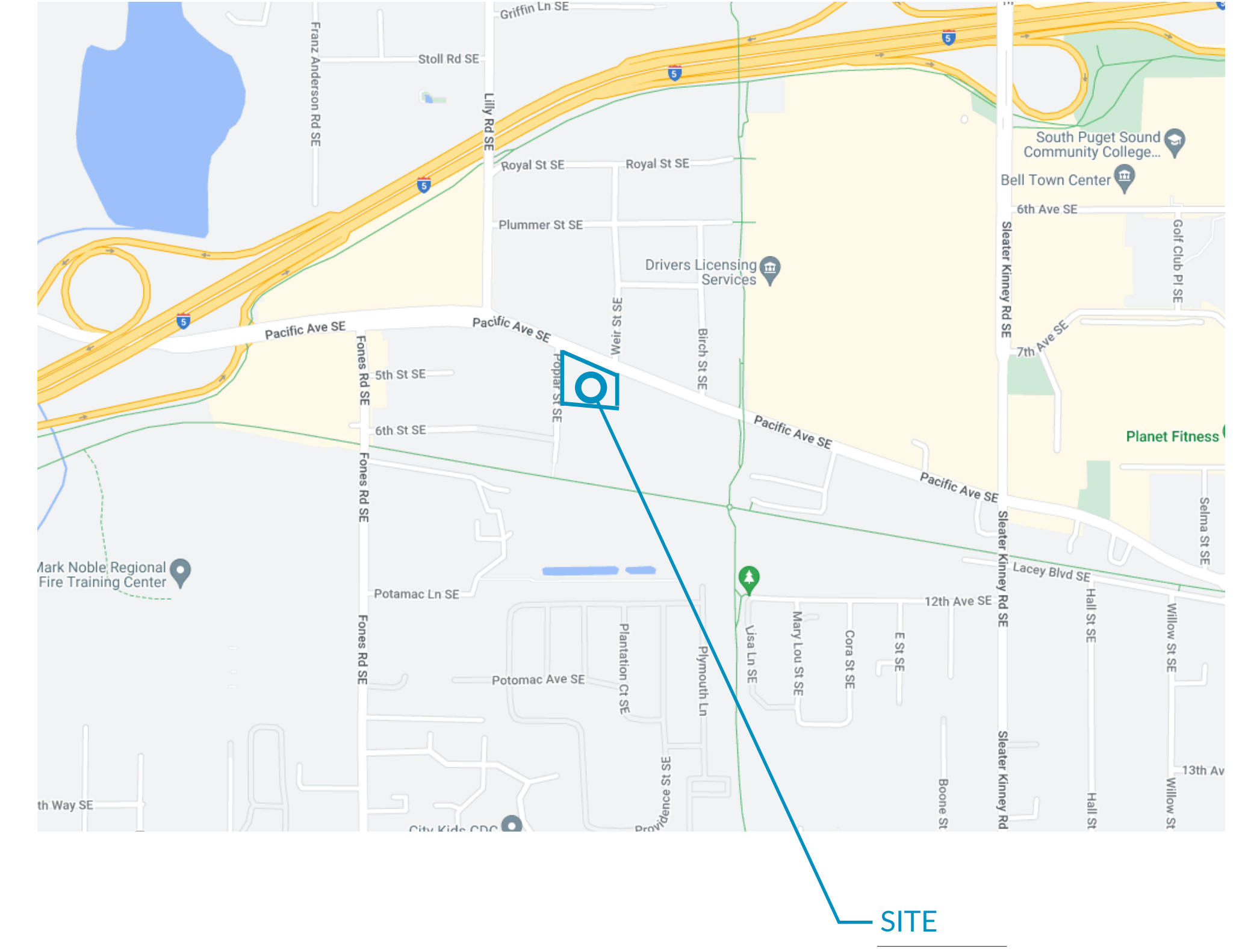
PROJECT ZONING



PROJECT LOCATION



PROJECT SITE



LEGEND

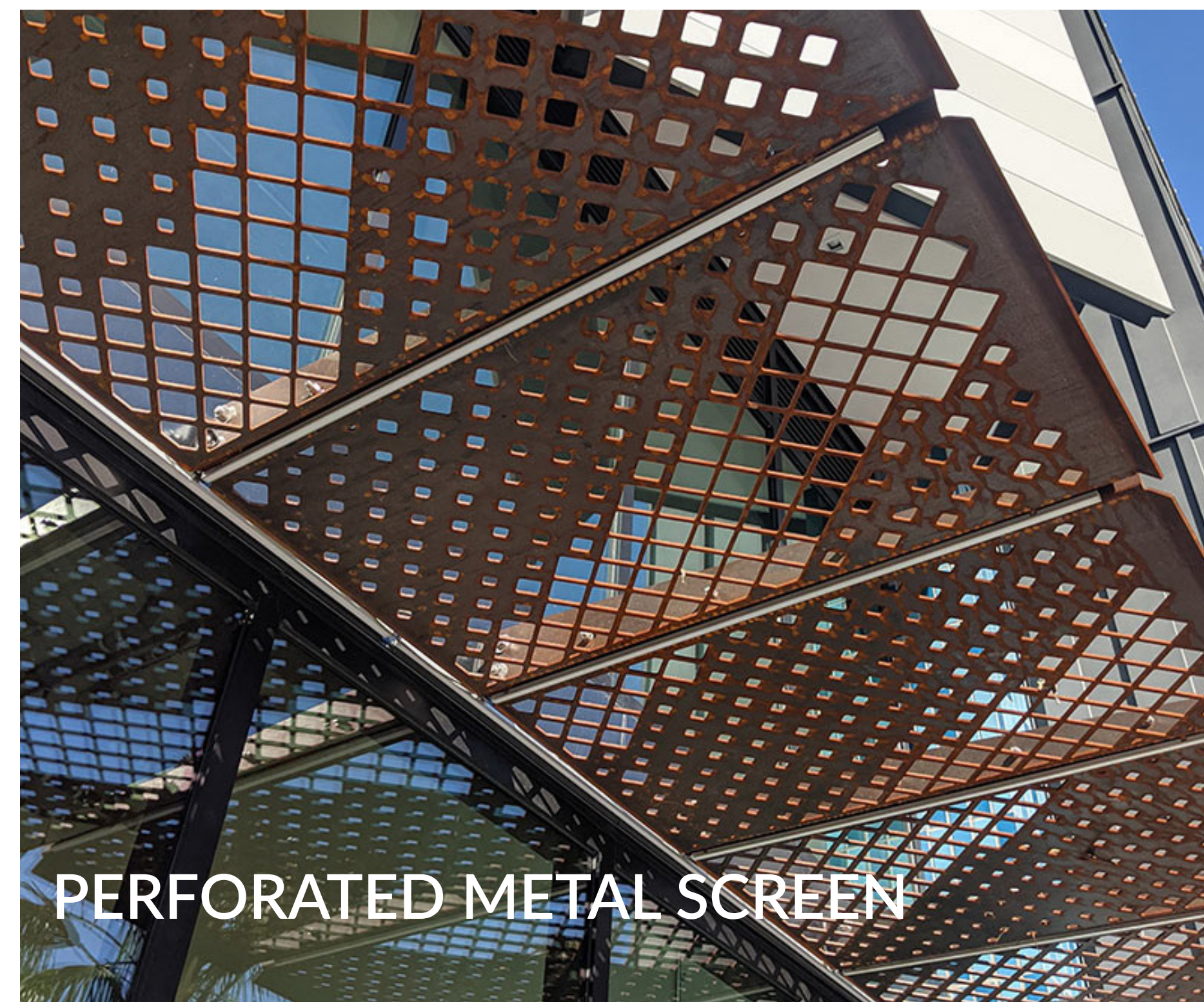
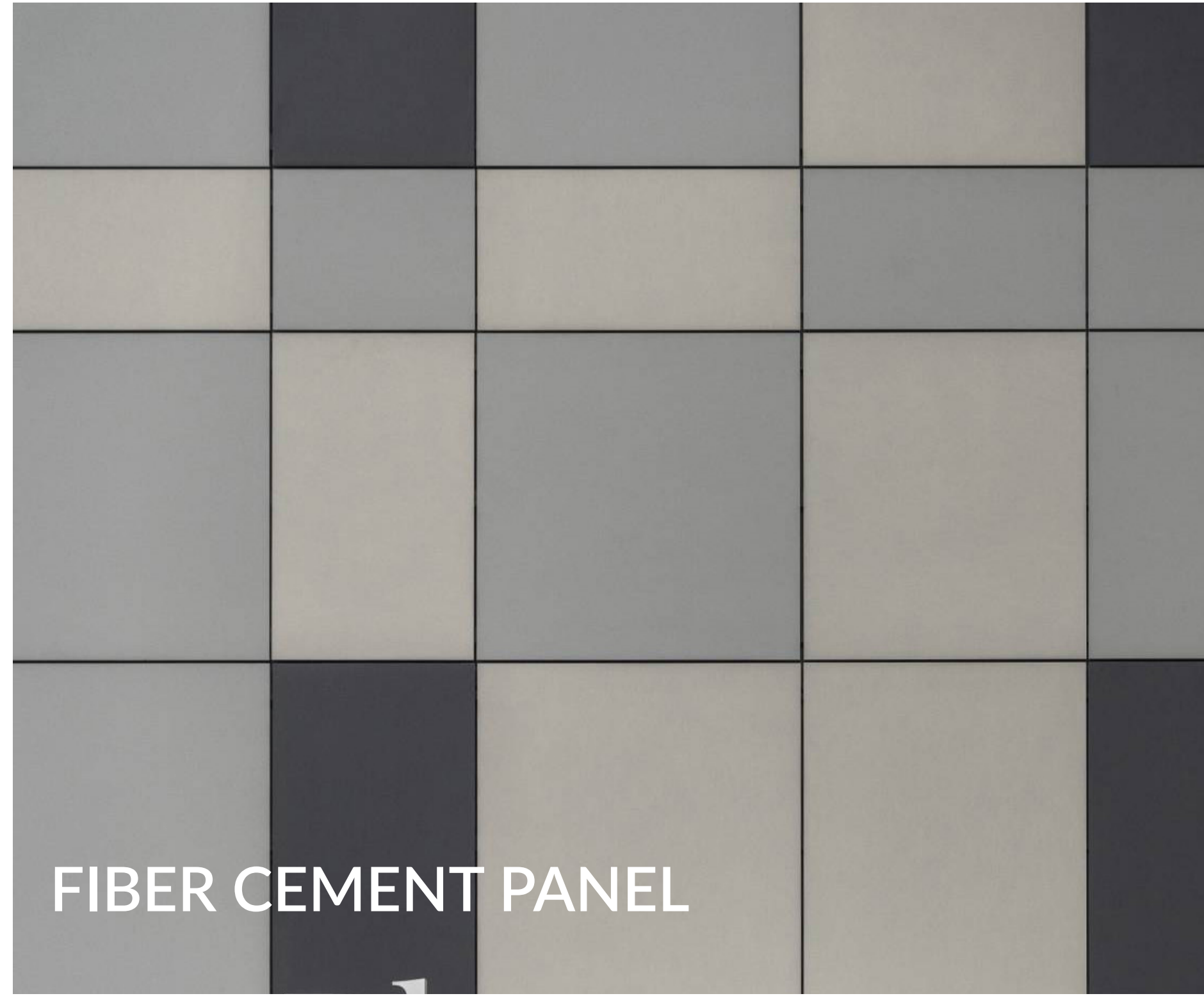
	Olympia City Limits		RESIDENTIAL 1 UNIT PER 5 ACRE
	Urban Growth Area		MIXED RESIDENTIAL 7-13 UNITS PER ACRE
	State Capitol Campus*		MIXED RESIDENTIAL 10-18 UNITS PER ACRE
<small>*The Washington State Capitol Commission alone has authority over land use for the State Capitol Campus.</small>			RESIDENTIAL MULTIFAMILY 18 UNITS PER ACRE
Zone Name			RESIDENTIAL MULTIFAMILY 24 UNITS PER ACRE
	HIGH DENSITY CORRIDOR 1		RESIDENTIAL 4 UNIT PER ACRE (CHAMBERS BASIN)
	HIGH DENSITY CORRIDOR 2		RESIDENTIAL 4 UNITS PER ACRE
	HIGH DENSITY CORRIDOR 3		RESIDENTIAL 4-8 UNITS PER ACRE
	HIGH DENSITY CORRIDOR 4		RESIDENTIAL 6-12 UNITS PER ACRE
	AUTO SERVICES		MANUFACTURED HOUSING PARK
	COMMERCIAL SERVICES HIGH DENSITY		RESIDENTIAL LOW IMPACT
	COMMUNITY ORIENTED SHOPPING CENTER		RESIDENTIAL MIXED USE
	DOWNTOWN BUSINESS		PLANNED UNIT DEVELOPMENT
	GENERAL COMMERCIAL		NEIGHBORHOOD VILLAGE
	INDUSTRIAL		URBAN RESIDENTIAL
	LIGHT INDUSTRIAL		URBAN VILLAGE
	RESIDENTIAL MULTIFAMILY HIGH RISE		URBAN WATERFRONT
	MEDICAL SERVICE		URBAN WATERFRONT HOUSING
	PROFESSIONAL OFFICE/RESIDENTIAL MULTIFAMILY		
	NEIGHBORHOOD RETAIL		

VICINITY MAPS

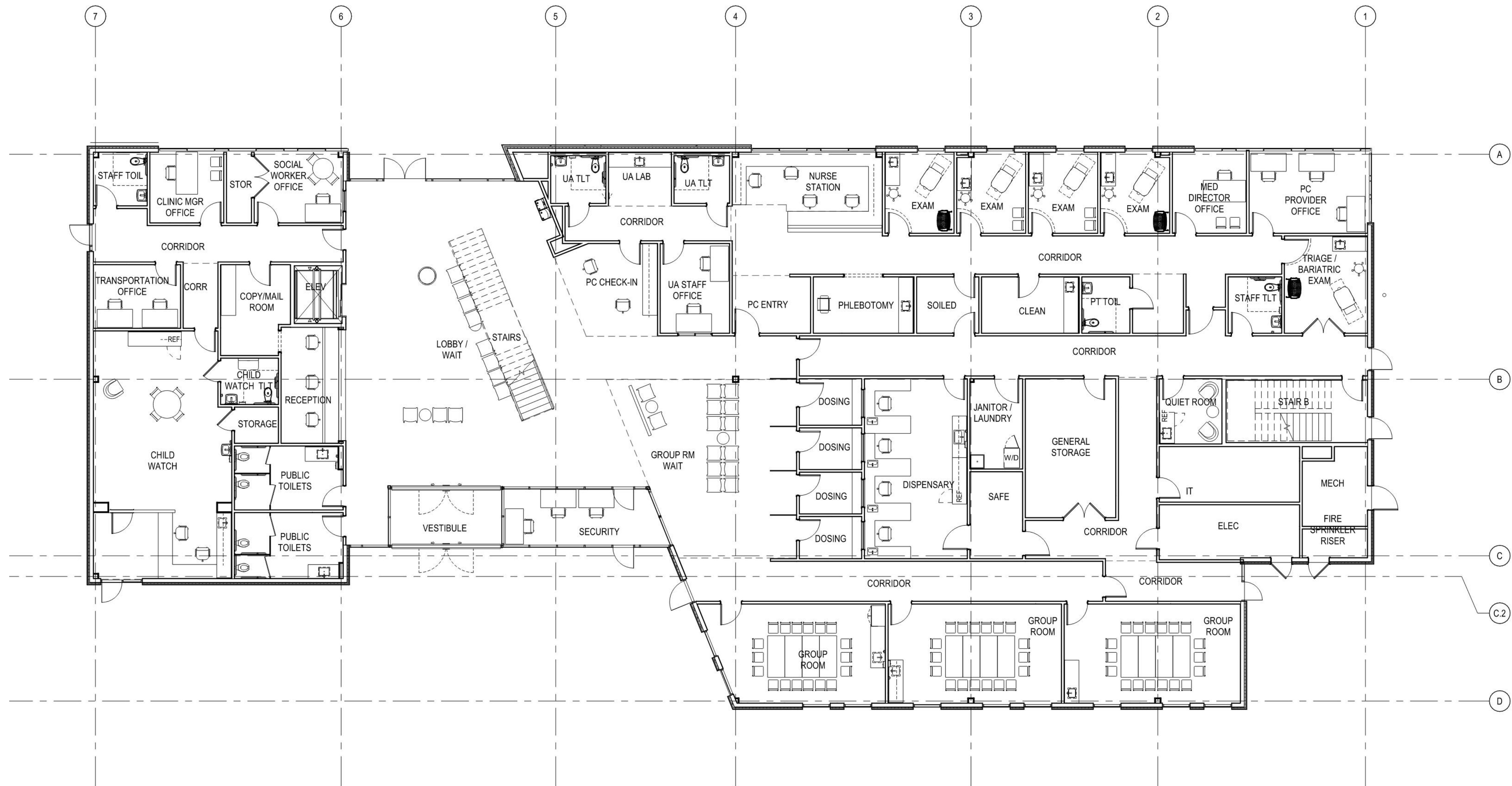
SITE CONTEXT



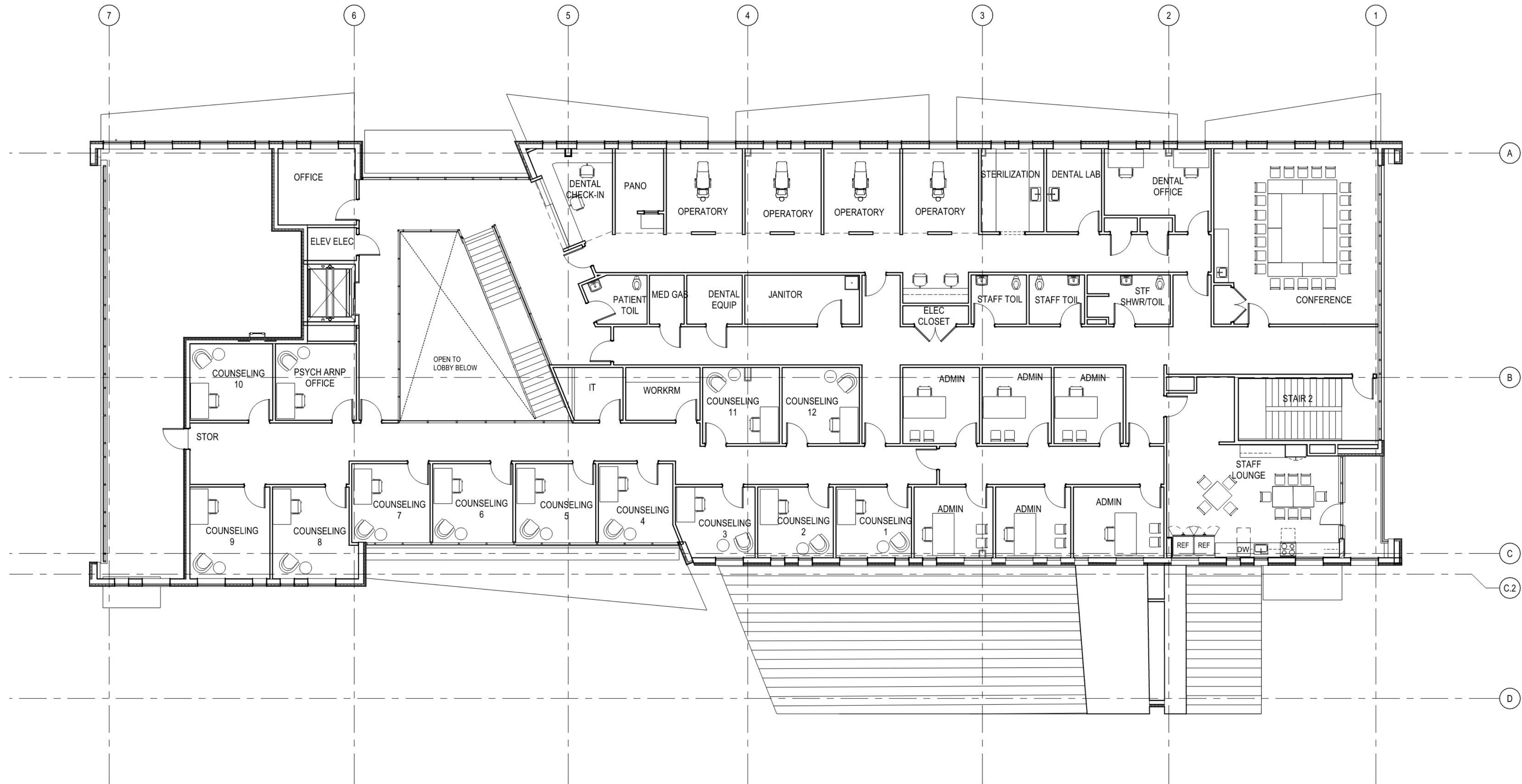
MATERIALS



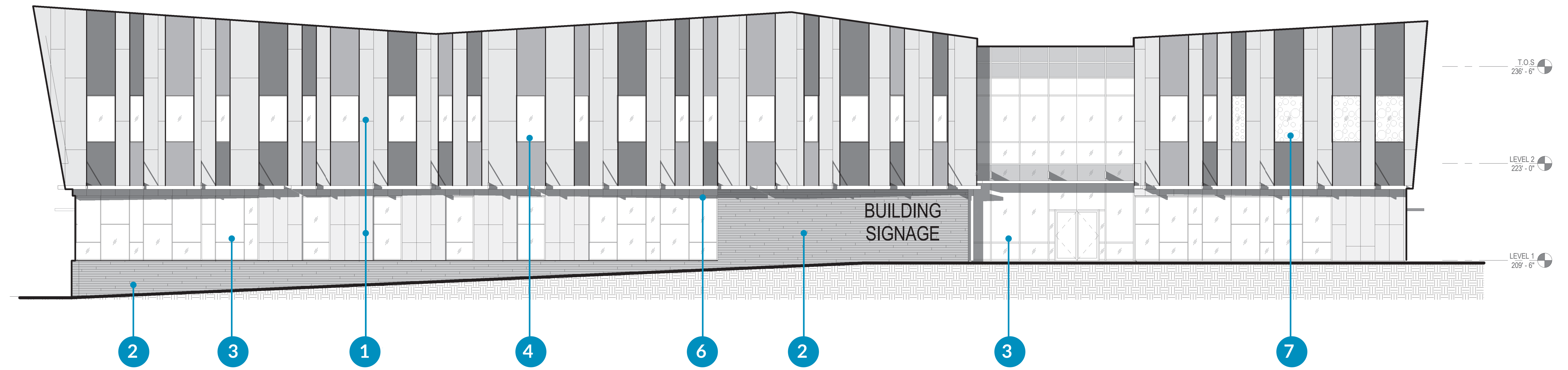
FLOOR PLAN - LEVEL 1



FLOOR PLAN - LEVEL 2



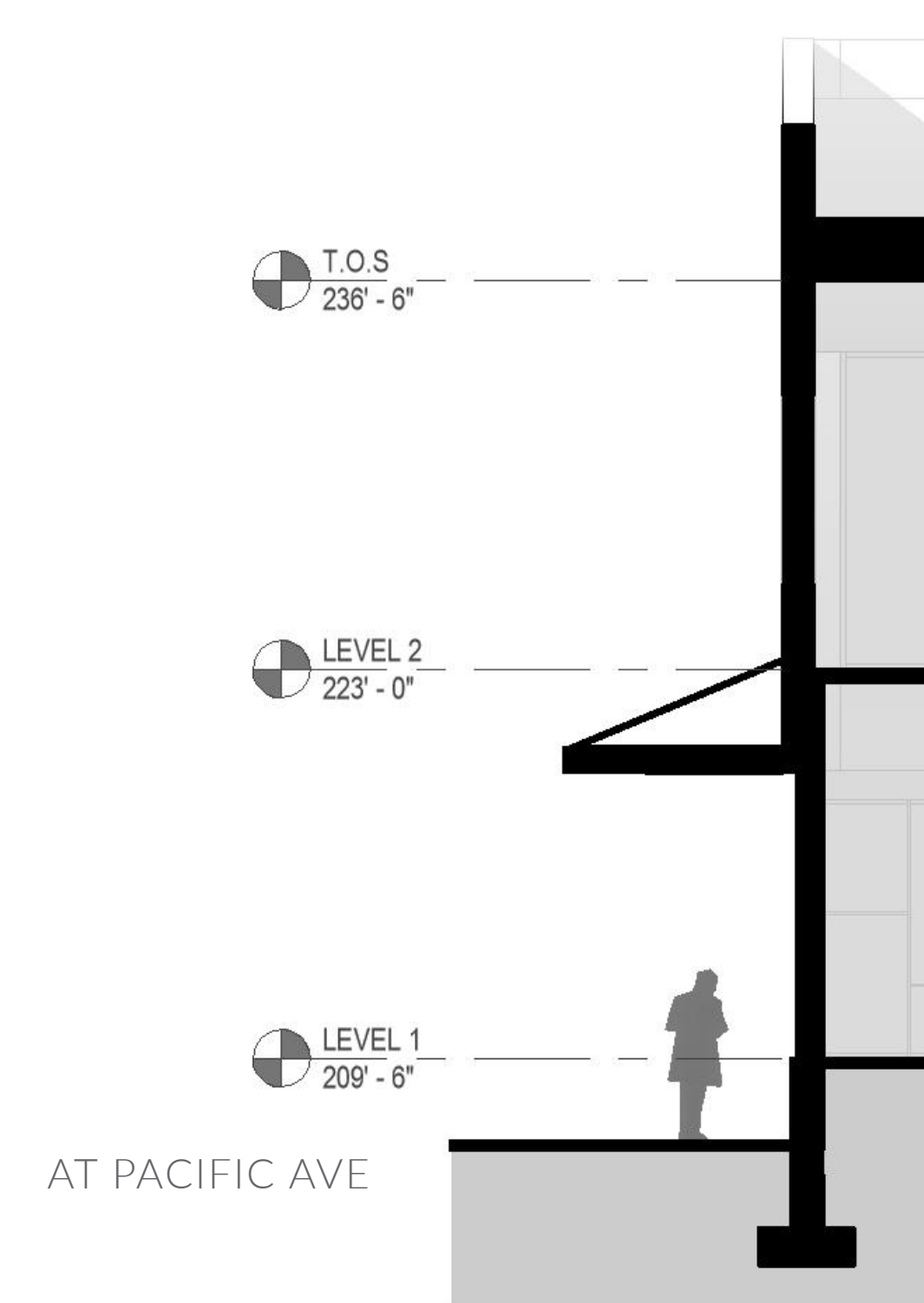
ELEVATIONS



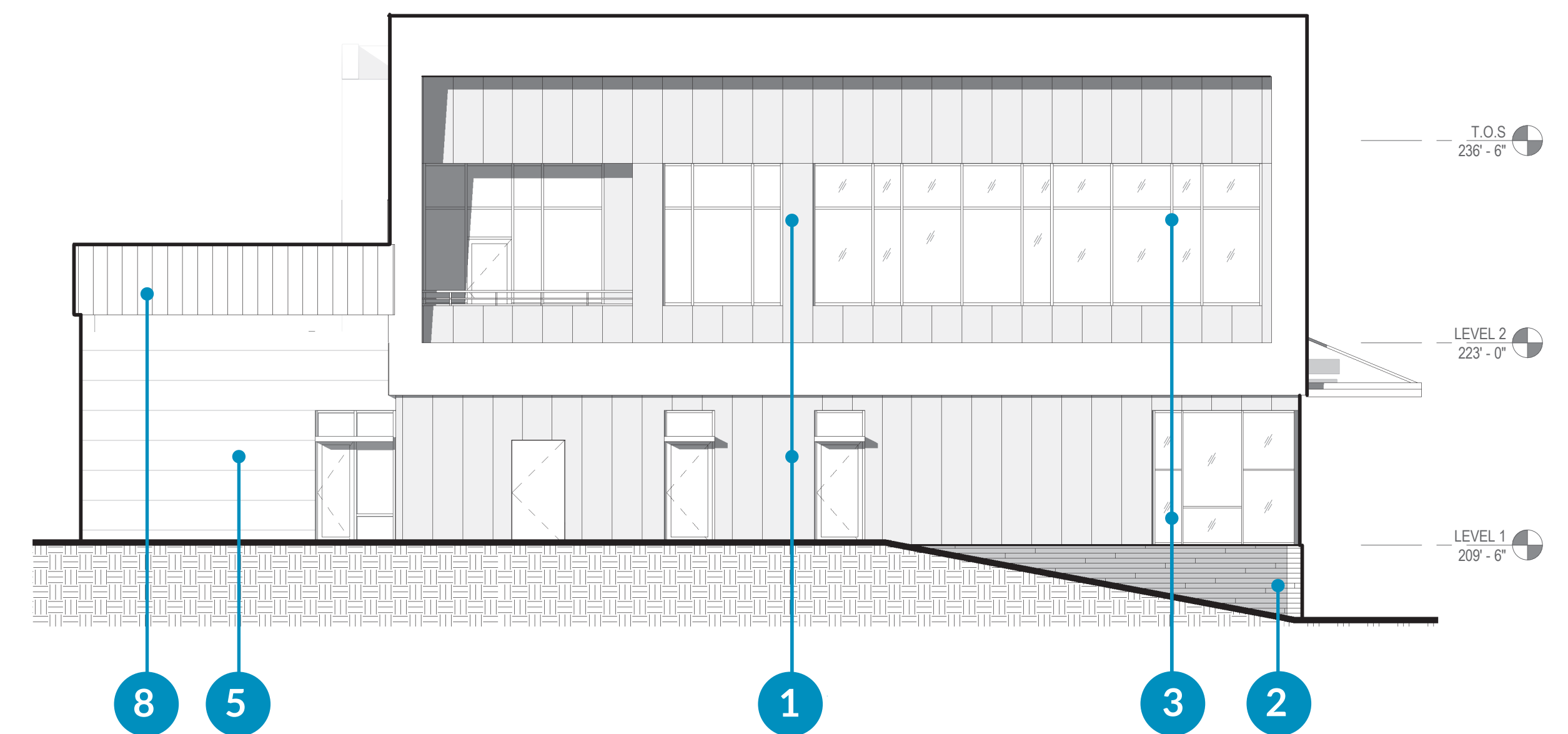
NORTH ELEVATION

LEGEND

- 1 Fiber Cement Panel
- 2 Specialty Concrete
- 3 Aluminum Storefront
- 4 Punched Aluminum Windows
- 5 Wood Veneer Panel
- 6 Canopy
- 7 Perforated Metal Screen
- 8 Standing Seam Metal Roof
- 9 Sun Shading Devices

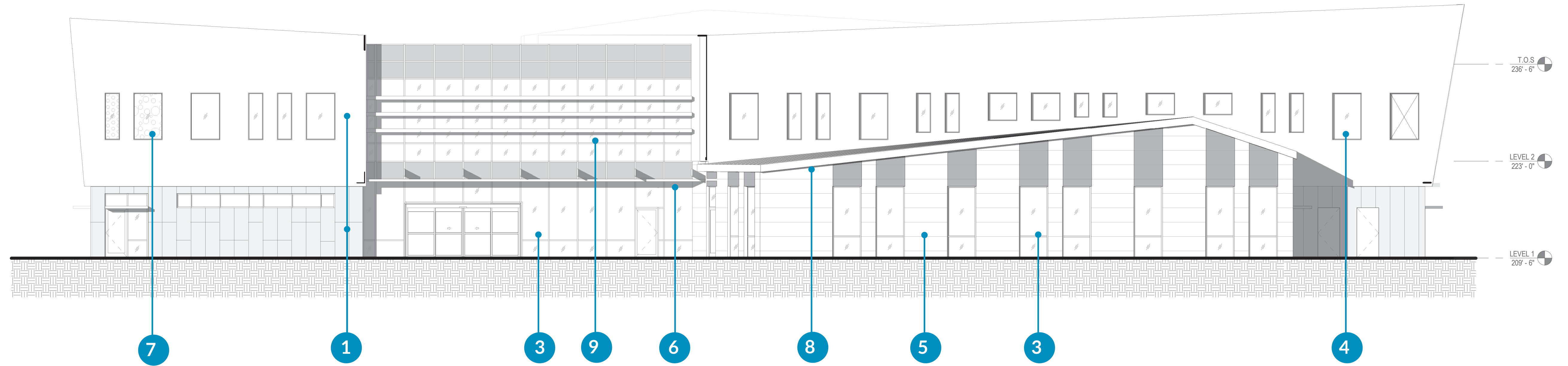


TYPICAL WALL SECTION



EAST ELEVATION

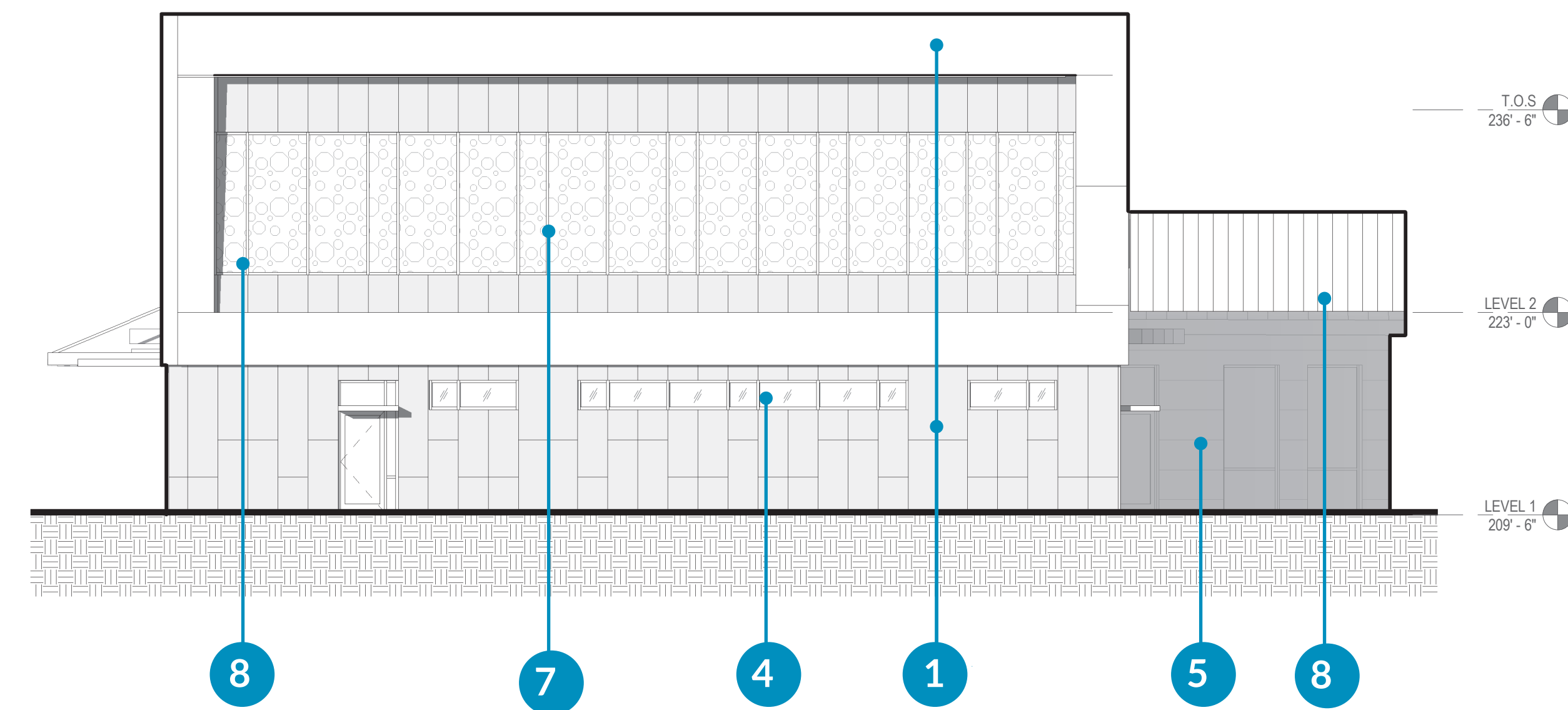
ELEVATIONS



SOUTH ELEVATION

LEGEND

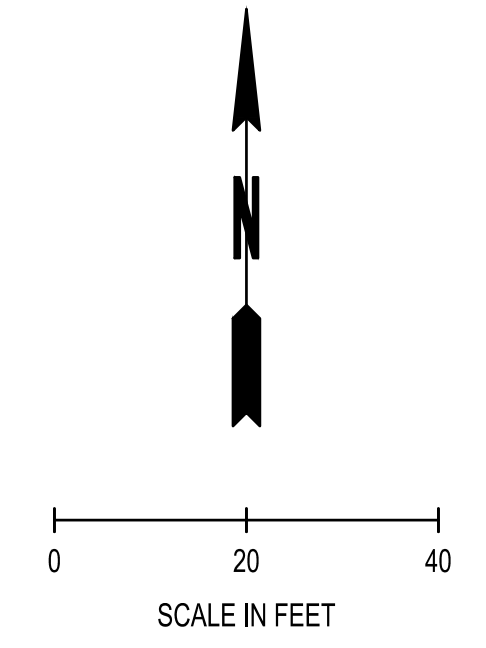
- 1 Fiber Cement Panel
- 2 Specialty Concrete
- 3 Aluminum Storefront
- 4 Punched Aluminum Windows
- 5 Wood Veneer Panel
- 6 Canopy
- 7 Perforated Metal Screen
- 8 Standing Seam Metal Roof
- 9 Sun Shading Devices



WEST ELEVATION

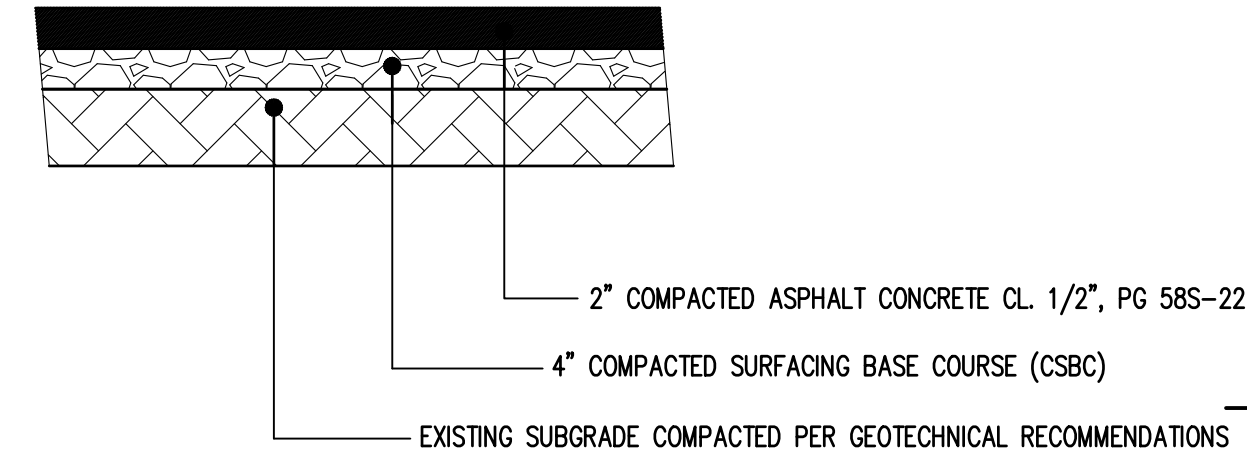
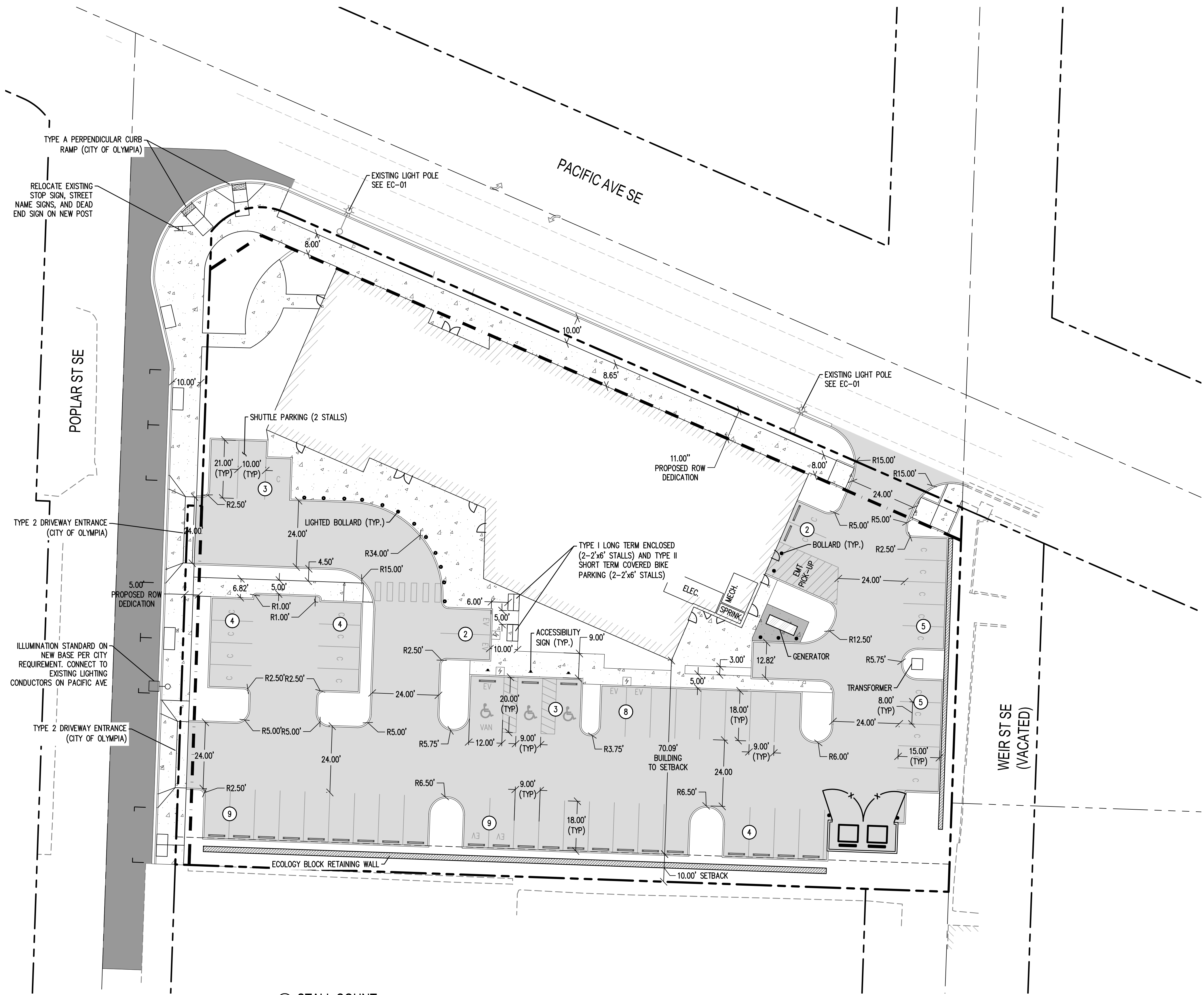
DRAFT NOT FOR
 CONSTRUCTION

NISQUALLY HEALING CENTER
NISQUALLY INDIAN TRIBE
 3663 PACIFIC AVE SE
 OLYMPIA, WA 98501

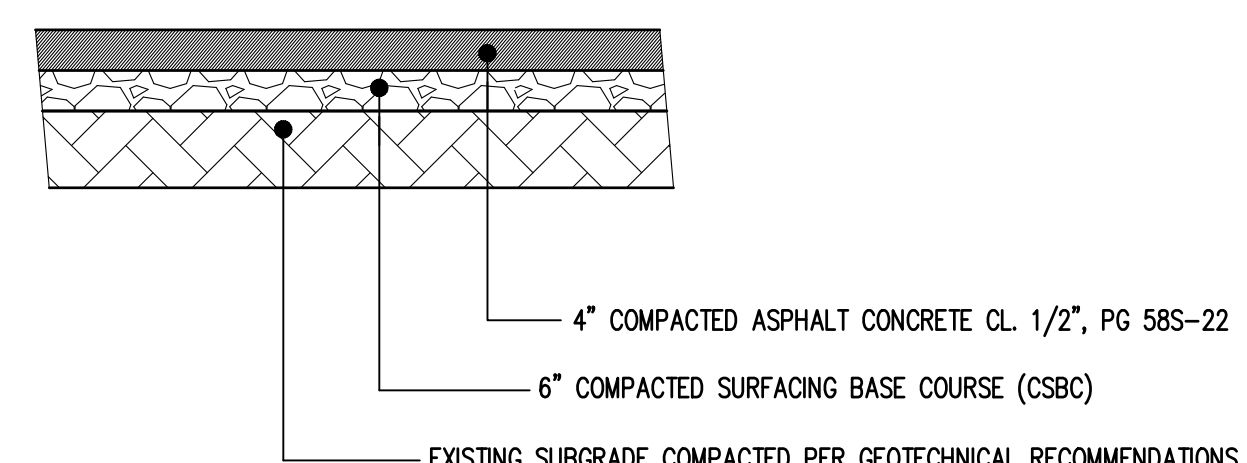


LEGEND

- EXISTING PROPERTY LINE
- PROPOSED ROW DEDICATION
- SETBACK LINE
- PROPOSED BUILDING
- CEMENT CONCRETE TRAFFIC CURB
- CEMENT CONCRETE CURB AND GUTTER
- CONCRETE SIDEWALK
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- ECOLOGY BLOCK RETAINING WALL
- WHEELSTOP
- BOLLARD
- LIGHTED BOLLARD
- SIGN
- STALL COUNT
- EV CHARGING STATION
- GENERATOR PAD
- GENERATOR AREA



STANDARD DUTY ASPHALT PAVEMENT
 NTS



HEAVY DUTY ASPHALT PAVEMENT
 NTS

PROJECT # 23-000255

DESIGN DEVELOPMENT

ISSUE DATE MAR 1, 2023

REVISION SCHEDULE	

AHJ APPROVAL STAMP

SITE IMPROVEMENT
 PLAN

SHEET #

SP-01

May 18, 2023 1:47:11pm - User: jacob.machlye
 S:\SHARED\GLOBAL\PROJECTS\NIST RICE FERGUS MILLER\23-000255 NISQUALLY HEALING CENTER PERMITTING AND CONSTRUCTION\CAD\3-000255 SP-01.DWG

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 OR 1.800.342.1585 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

ⓧ **STALL COUNT:**
 STANDARD STALLS: 34
 COMPACT STALLS: 21
 ADA STALLS: 3



NISQUALLY HEALING CENTER
NISQUALLY INDIAN TRIBE
 3663 PACIFIC AVE SE
 OLYMPIA, WA 98501

PROJECT # 23-000255

DESIGN DEVELOPMENT

ISSUE DATE MAR 1, 2023

REVISION SCHEDULE	
NO.	DESCRIPTION

AHJ APPROVAL STAMP

PRELIMINARY
 LANDSCAPE PLAN

SHEET #

LS-01

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	DESC.
	8	ACER GRANDIDENTATUM 'SCHMIDT' ROCKY MOUNTAIN GLOW MAPLE	2" CAL., 10' HT. MIN.	B&B/CONT., 5' MIN. BRNCH.
	7	CALOCEDRUS DECURRENS INCENSE CEDAR	7'-8' HT., B&B/CONT.	
	6	CARPINUS JAPONICA JAPANESE HORNBEAM	2" CAL., 10' HT. MIN.	B&B/ CONT.
	4	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' WEeping ALASKA CEDAR	7'-8' HT., B&B/CONT.	
	6	OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM	2" CAL. B&B/CONT., 12'-14' HT.	B&B/ CONT.
	12	PARROTIA PERSICA 'VANESSA' VANESSA PERSIAN PARROTIA	2" CAL., 10-12' HT.	
	2	PINUS CONTORTA SHORE PINE	7'-8' HT., B&B/CONT.	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	26	CORNUS STOLONIFERA 'KELSEY' KELSEY'S DWARF RED TWIG DOGWOOD	5 GAL	3.5' O.C.
	23	LONICERA NITIDA 'SILVER BEAUTY' BOXLEAF HONEYSUCKLE	5 GAL	5' O.C.
	32	MAHONIA AQUIFOLIUM OREGON GRAPE	5 GAL	5' O.C.
	2	RIBES SANGUINEUM RED FLOWERING CURRANT	5 GAL	5' O.C.
	10	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE' DEGROOT'S SPIRE ARBORVITAE	4' MIN. HT., B&B/CONT.	
	5	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	5 GAL	5' O.C.

CONCEPT PLANT SCHEDULE

	SHRUBS AND GROUNDCOVERS LOW ORNAMENTAL SHRUBS AND EVERGREEN GROUNDCOVERS. 1 - 3 GAL. CONTAINERS. 2-1/2 - 3-1/2' O.C. SPACING
	SOD LAWN

IRRIGATION NOTE

ALL NEW LANDSCAPE AREAS WILL BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM THAT UTILIZES A RAIN DELAY SENSOR.

TREE UNIT CALCULATIONS

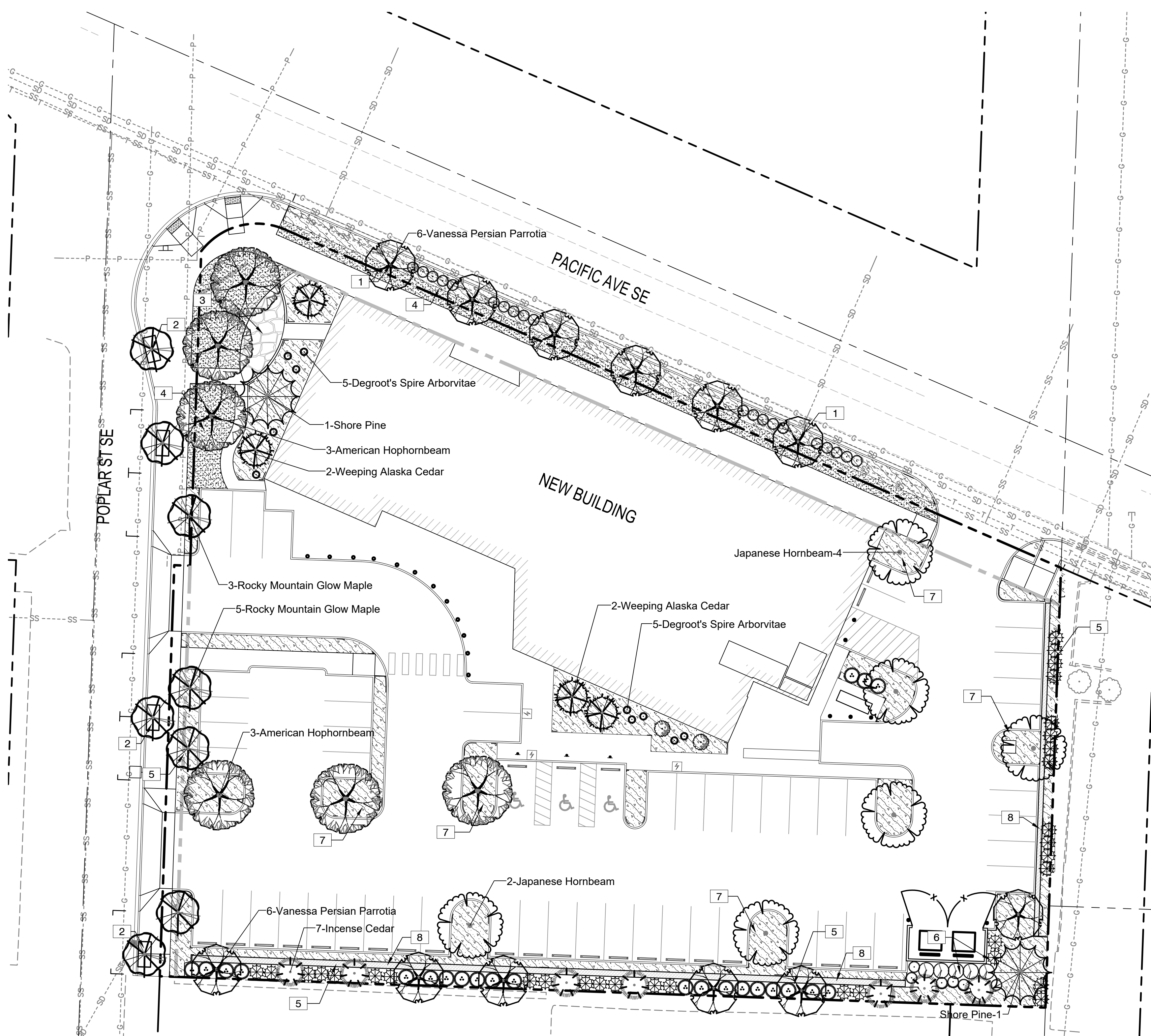
BUILDABLE SITE AREA	53,661 S.F. (1.23 AC)
REQUIRED TREE UNITS	37 TREE UNITS (30 UNITS PER ACRE, 1.23 AC X 30 = 37)
EXISTING TREE UNITS TO REMAIN	0
NEW TREE UNITS PROVIDED ON SITE (DOES NOT INCLUDE STREET TREES)	35
TOTAL SITE TREE UNITS	35
ADDITIONAL TREE UNITS TO ACCOUNT FOR	(2)

NOTES:

- STREET TREES DO NOT COUNT TOWARD SITE TREE CALCULATIONS.
- THE CITY PREFERS THAT THE REQUIRED 'PER ACRE' TREES BE ADDED TO THE SITE WITH THE DEVELOPMENT, BUT THE PROJECT MAY BE ALLOWED TO PAY A 'PER TREE' FEE IN LIEU OF PLANTING THE ADDITIONAL 'TREES PER ACRE' REQUIRED, IF THE CITY DETERMINES THAT MORE TREES CANNOT BE ADDED TO THE SITE IN A SAFE AND/OR SENSIBLE WAY.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	STREET TREES IN 10'-WIDTH LANDSCAPE AREA
	STREET TREES IN 4' X 8' TREE GRATES
SYMBOL	DESCRIPTION
	ACCENT PAVING
	TURF LAWN OR "ECO-LAWN", TYP.
	PARKING LOT SCREEN LANDSCAPE AREA
	EVERGREEN SCREENING OF TRASH STORAGE
	REQUIRED PARKING LOT ISLAND, TYP.
	RETAINING WALL, TYP. SEE CIVIL PLANS.



0 20 60 feet
 SCALE: 1" = 20'

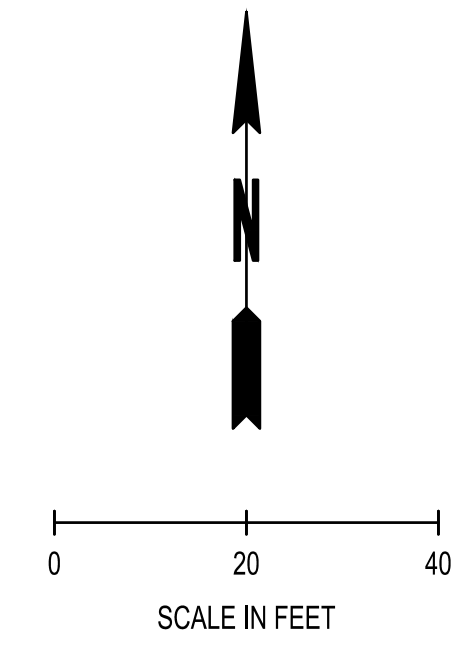
NOT FOR CONSTRUCTION

CALL BEFORE YOU DIG

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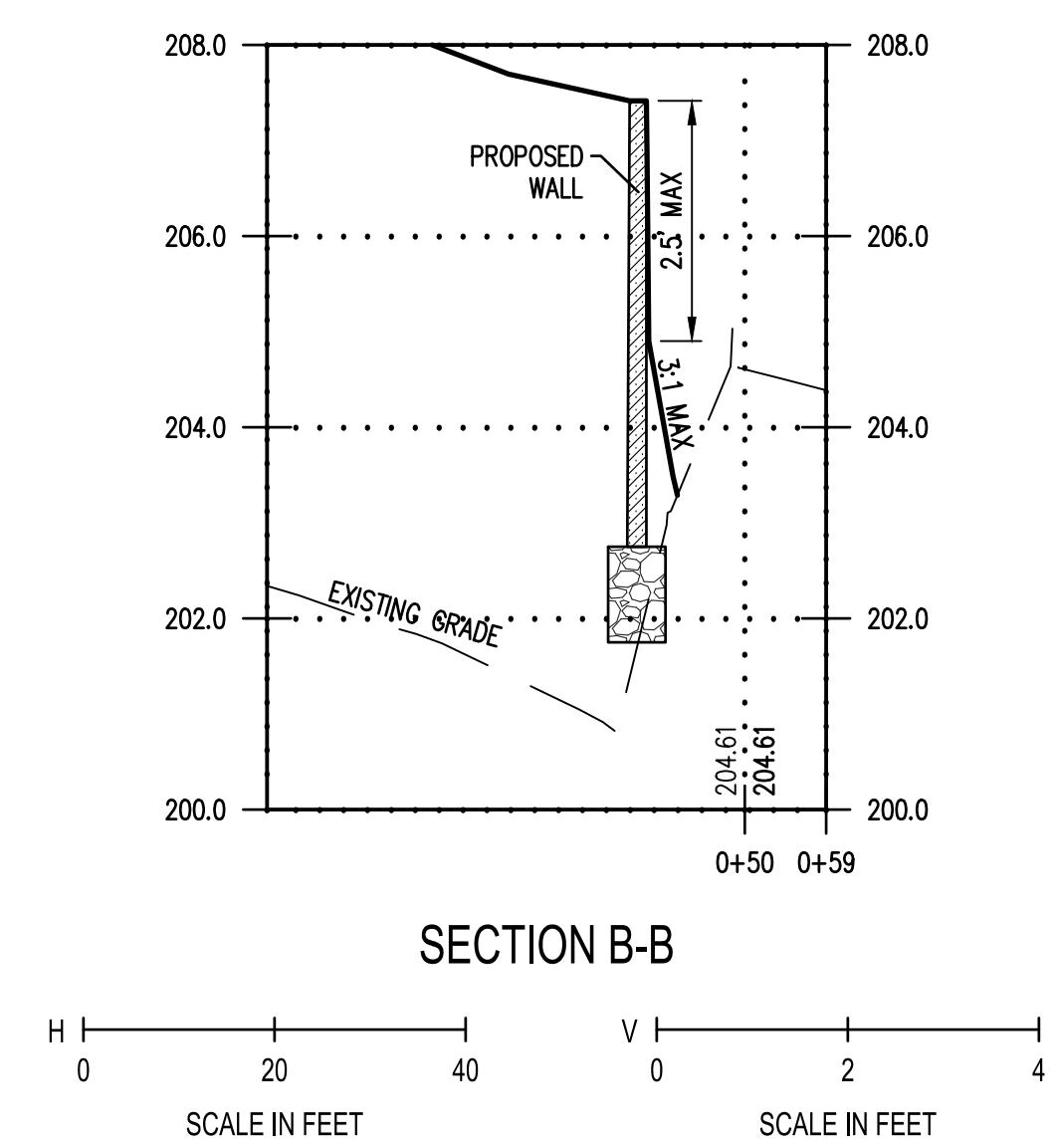
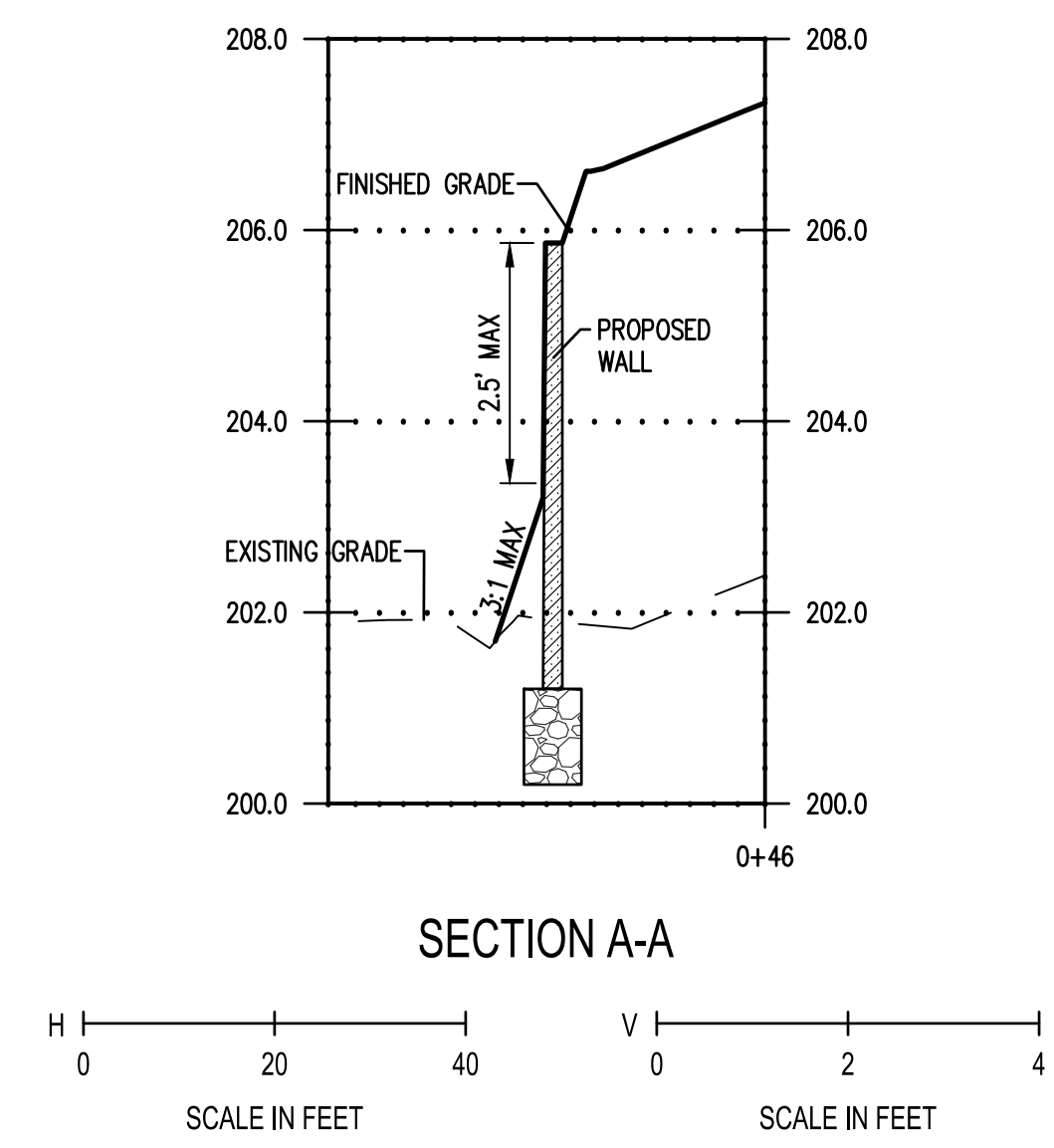
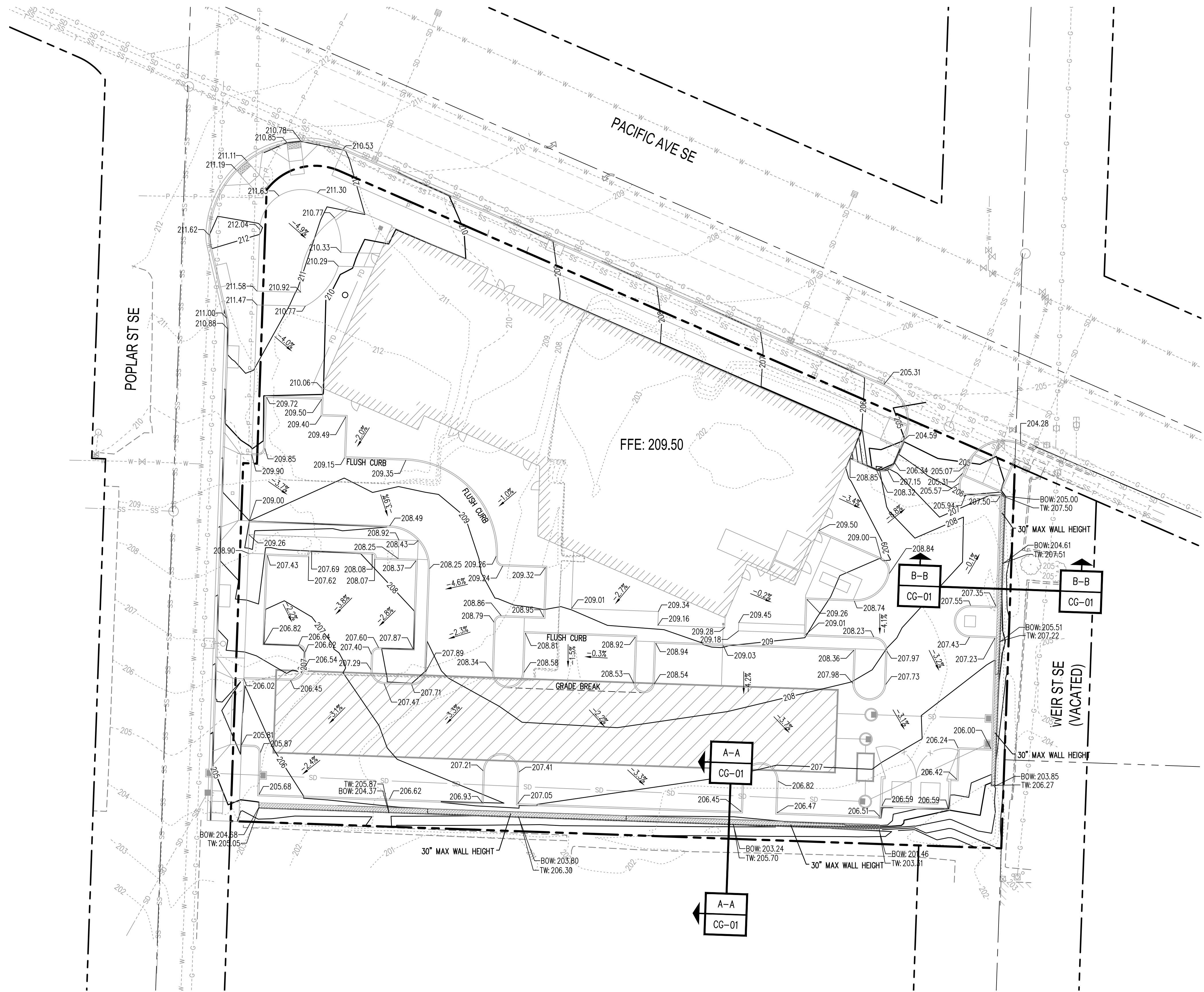
DRAFT NOT FOR
 CONSTRUCTION

NISQUALLY HEALING CENTER
NISQUALLY INDIAN TRIBE
 3663 PACIFIC AVE SE
 OLYMPIA, WA 98501



LEGEND

---XX---	EXISTING CONTOURS (MAJOR/MINOR)
---XX---	PROPOSED CONTOURS (MAJOR/MINOR)
---	GRADE BREAK
XXX.XX	SPOT ELEVATION
FL:XXX.XX	FLOW LINE ELEVATION
TBC:XXX.XX	TOP BACK OF CURB
TW:XXX.XX	TOP OF WALL
BOW:XXX.XX	BOTTOM OF WALL
HP:XXX.XX	HIGH POINT
LP:XXX.XX	LOW POINT
XX	SLOPE LABEL



PROJECT # 23-000255

DESIGN DEVELOPMENT

ISSUE DATE MAR 1, 2023

REVISION SCHEDULE	

AHJ APPROVAL STAMP

GRADING PLAN

SHEET #

CG-01

May 18, 2023 1:47:22pm - User: jacob.mchale
 S:\SHARED\GLOBAL\PROJECTS\NIST_RICE_FERGUS_MILLER\33-000255 NISQUALLY HEALING CENTER PERMITTING AND CONSTRUCTION\CA03-000255 CG-01.DWG

CALL BEFORE YOU DIG
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