

**SITE AND PROJECT SUMMARY:**

Address: 924 State Avenue NE  
 Parcel No: 78202700700  
 Section: 214182W  
 Abbrev Legal: Section 14 Township 18 Range 2W Quarter NE SE Plat Swans Addition to Olympia Blk 27 LT 7 Document 001/037  
 Site dimensions: 60' x 105'; 6300 SF

Zoning: PO /RM = Professional Office/Residential Multi-Family  
 Design Review: Basic Commercial Design Criteria  
 Commercial Design Criteria Downtown  
 Multi-Family Residential

**Zoning Professional Office/residential Multifamily District (PO/RM).**

*This project meets the PO/RM intent to "provide a transitional area, buffering residential areas from more intensive commercial uses." This development is "compatible with residential uses and generates low vehicular traffic characteristic of less intrusive uses."  
 This mixed-use project "provides for a compatible mix of office, moderate- to high-density residential, and small-scale commercial uses, in order to provide opportunities for people to live, work, and recreate in a pedestrian-oriented area."*

PO/RM Setbacks: Front - 10' minimum  
 Rear - 10' minimum  
 Side - no minimum on interior

PO/RM Height: Maximum building height up to 35' if within 100' of R4, R4-8, R6-12 district.  
 Proposed building heights (above existing grade) 33'-3" to roof, 36'-9" at top of parapet, 47'-10" at elevator

PO/RM Coverage: Maximum building coverage 70%  
**Proposed building coverage 47%** [2931 SF/6300 SF]  
 Maximum development coverage 85%  
**Proposed development coverage 81%** [5087 SF/6300 SF]

**Chapter 18.38 Parking**

**Parking provided:**

- 3 stalls provided on street; credit for 60 linear feet of street parking
- 3 stalls provided in at-grade garage
- 4 stalls including (1) ADA stall, provided at parking area adjacent to alley

**TOTAL: (7) on site + (3) street = 10 stalls provided**

**Parking calculation:**

Business/General Office - 3035 Gross SF @ 1 stall per 300 SF = **10 stalls**

Residential - Duplex stalls - 2 per unit = **4 stalls**

Total Business + Residential: 10 + 4 = 14 maximum# required stalls

18.38.160 10% reduction for Downtown zone = (1.4) stalls; 14 - 1 = **13 stalls**

18.38.180 Shared Parking for two uses within building

**2. Allocation a. Shared parking.**

- i. When two (2) or more land uses, or uses within a building, have distinctly different hours of operation (e.g., office and church), such uses may qualify for a shared parking credit. **Required parking shall be based on the use that demands the greatest amount of parking.**

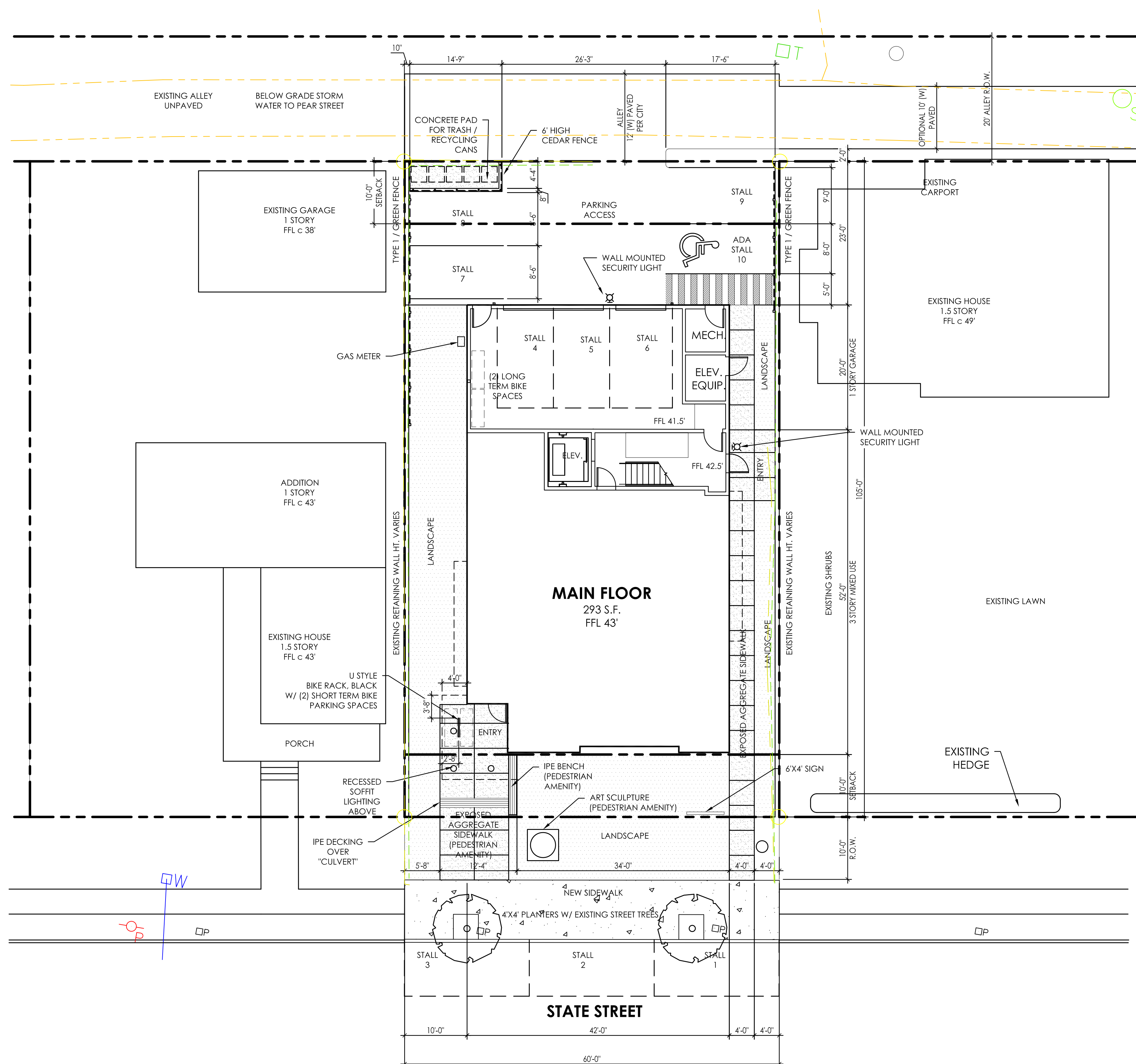
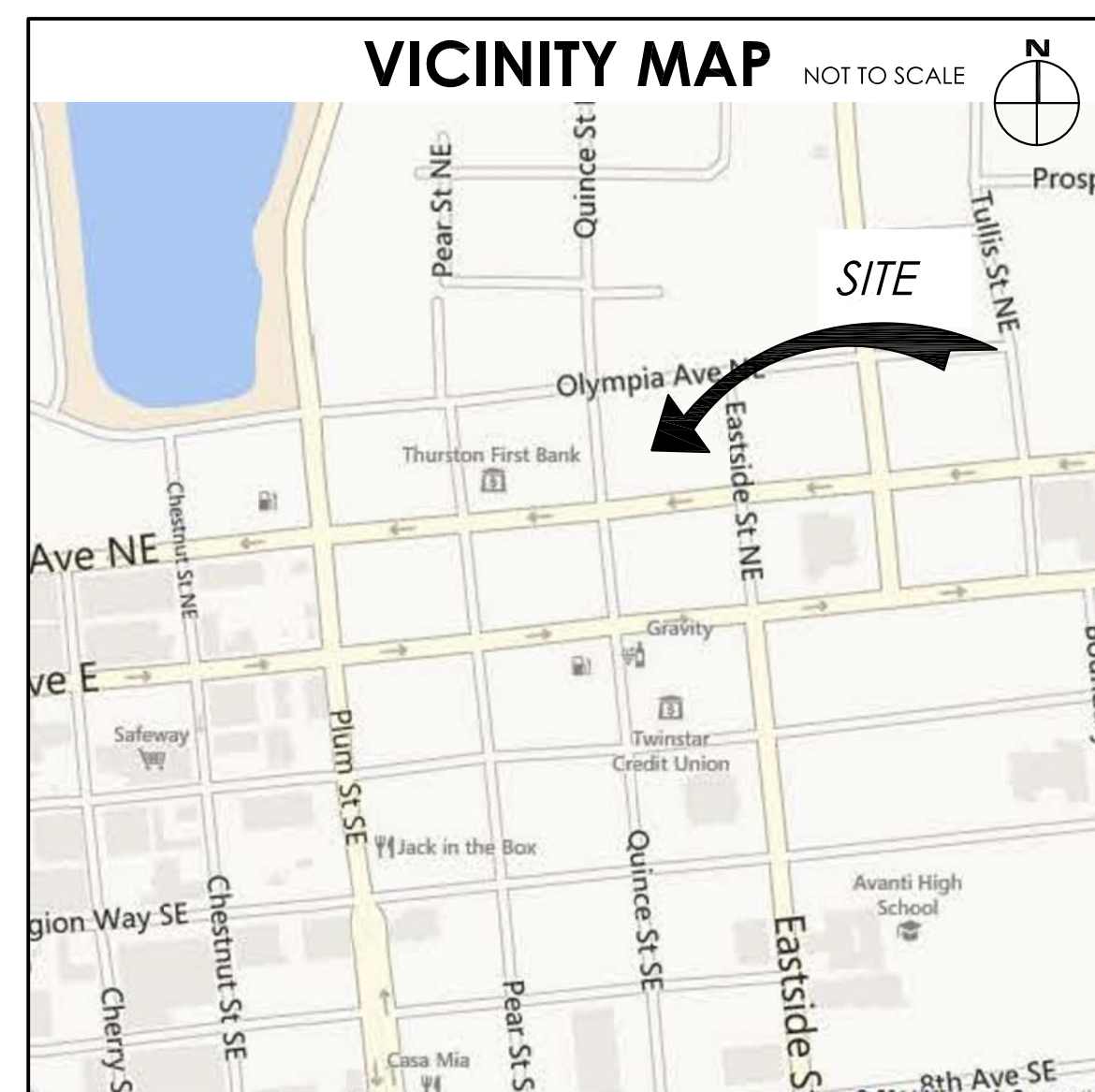
Two uses, residential and business, with different hours of operation comprise this mixed use project.

**Business need is higher at 10 stalls**

**Bicycle spaces: Table 38.01**

Long term: (2) - provided inside garage

Short term: (1) per 10,000 SF; (2) - provided adjacent to building entrance



**2 SITE PLAN**  
 A1.10 1" = 10'-0"

○ Keynotes

General Notes:

Legend

PERMIT SET APRIL 2014

Revisions Closing Date

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Sheet Title

**SITE PLAN**

Sheet No. **A1.10**

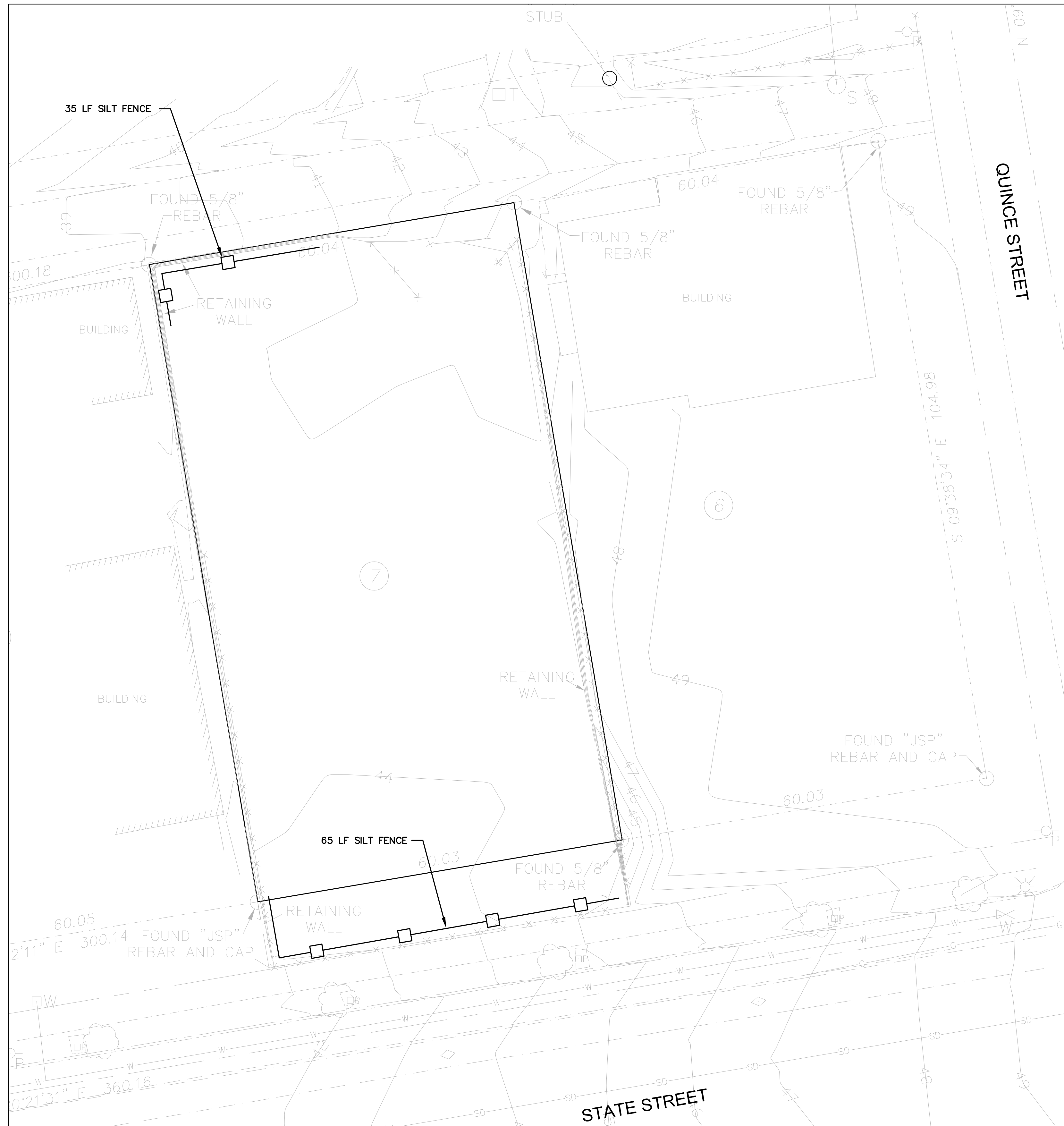
MSGS Project No. 14-103

14-103 - 14-103-A1.10 SITE PLAN.dwg - gormerm - 6/6/2014 11:30 AM

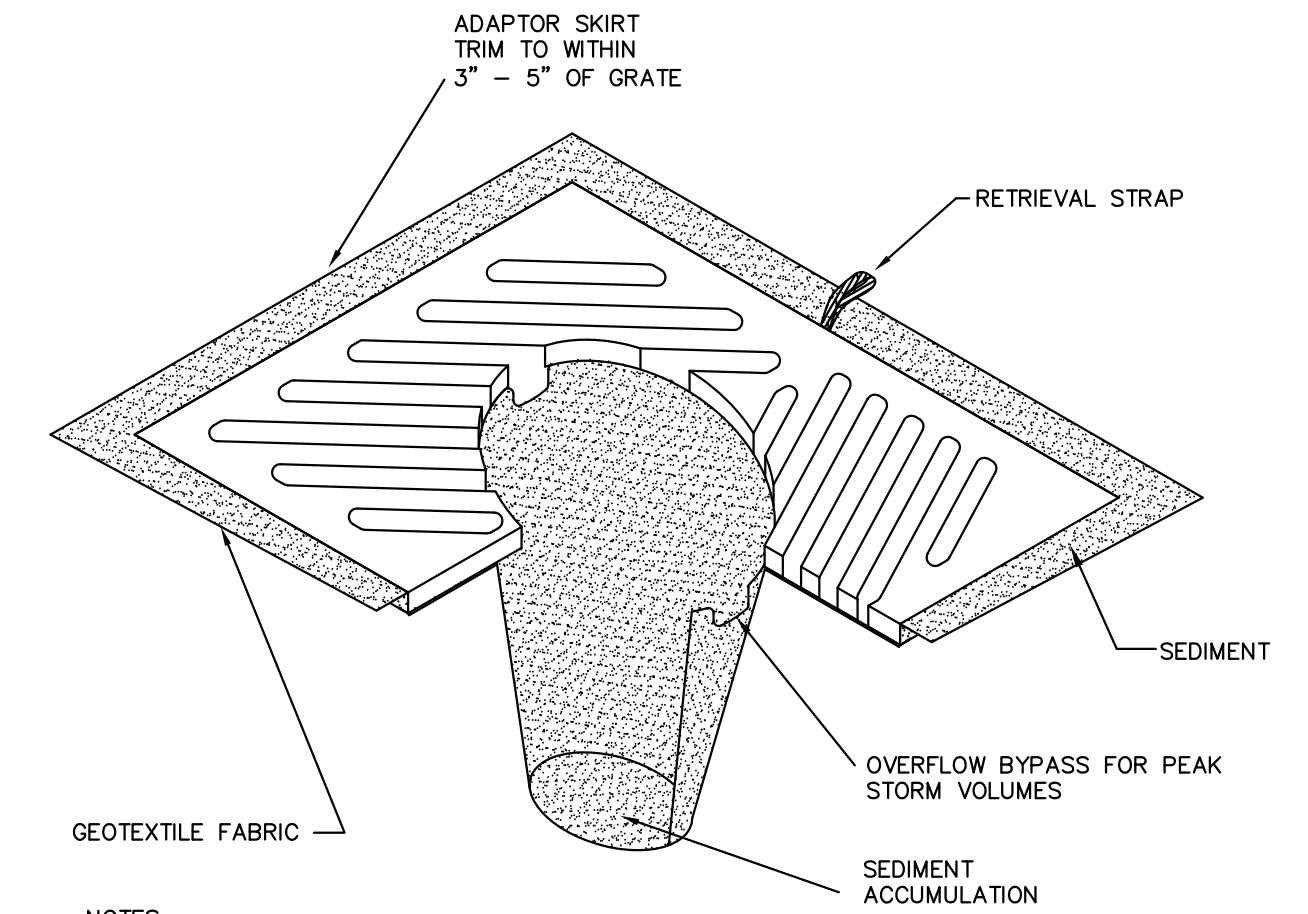


# TANASSE MIXED USE BUILDING

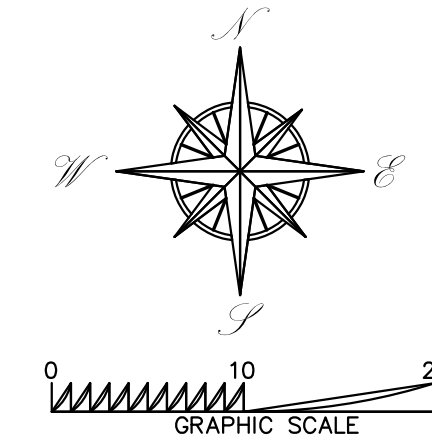
SEC 14, TW 18 N, RANGE 2 W, W.M.



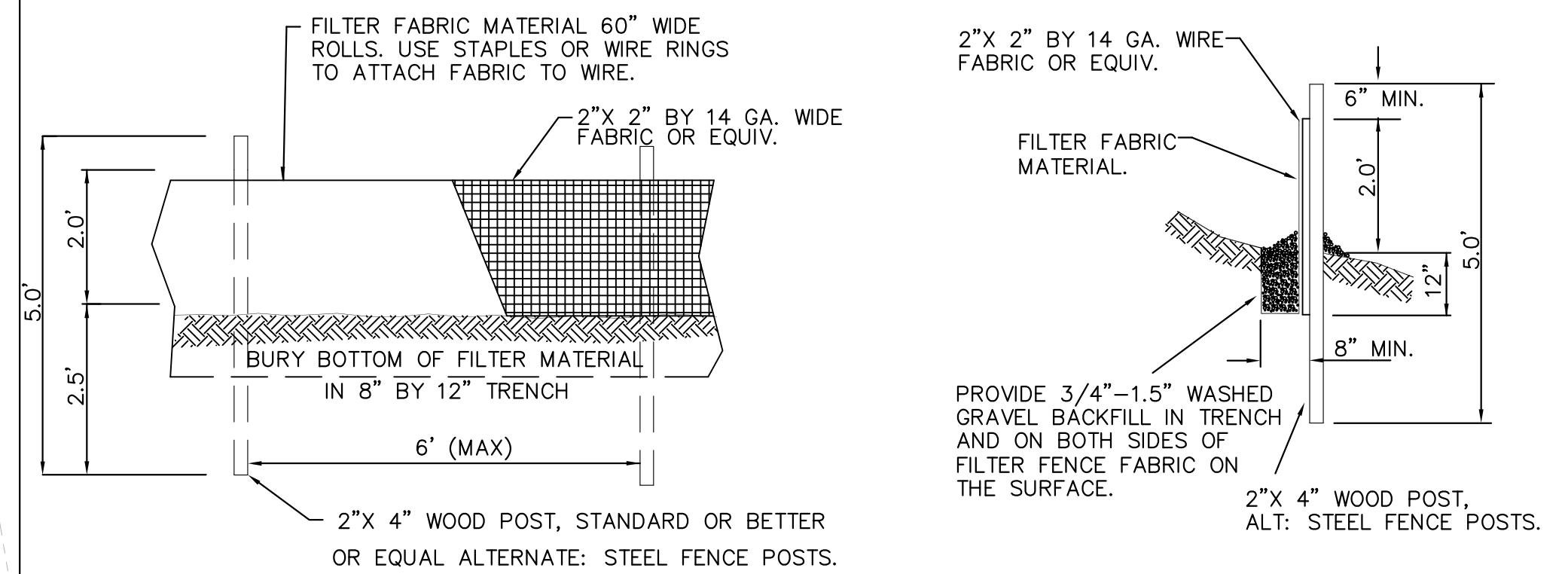
NOTES:  
1. CATCH BASIN INLET PROTECTION WILL BE INSTALLED AT DOWNSTREAM CATCHBASINS NOT SHOWN ON PEAR AND STATE.



- NOTES
1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
  2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
  3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.
  4. CATCH BASIN INSERTS SHALL BE "STREAMGUARD FOR SEDIMENT" BY FOSS ENVIRONMENTAL.



CATCH BASIN INLET PROTECTION  
N.T.S.



SILT FENCE DETAIL  
N.T.S.

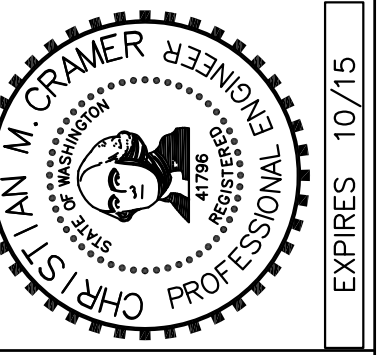


SPRC DATE JULY 7, 2014  
APPEAL PERIOD EXPIRES JULY 28, 2014  
APPROVAL FOR SITE PLAN ONLY  
ANY SITE REVISION MUST HAVE PRIOR SITE PLAN REVIEW.  
CONSTRUCTION PLANS REQUIRE SEPARATE REVIEW AND APPROVAL  
APPROVAL EXPIRATION DATE JULY 28, 2016

APPROVED FOR CONSTRUCTION  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ENGINEERING PLANS EXAMINER  
APPROVAL EXPIRES: \_\_\_\_\_

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 1-800-424-5555 OR 811 (CELL) A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

BY	DESCRIPTION	DATE	R#
	6/10/14 CITY REVISIONS		



## EROSION AND DEMO PLAN

**PATRICK HARRON & ASSOCIATES, LLC**  
Civil Engineering & Planning  
8270 28th Court NE, Suite 201, Lacey, WA 98516  
Phone: 360.459.1102 / Fax: 360.459.1013  
Web: patrickharron.com

PROJ. NO. 13509	DSN. BY: CMC
DRN. BY: CMC	CHK. BY: CMC

TANASSE  
924 STATE AVENUE

DATE: 2/6/14
SCALE: 1" = 10'
DRAWING NO. 1 OF 2

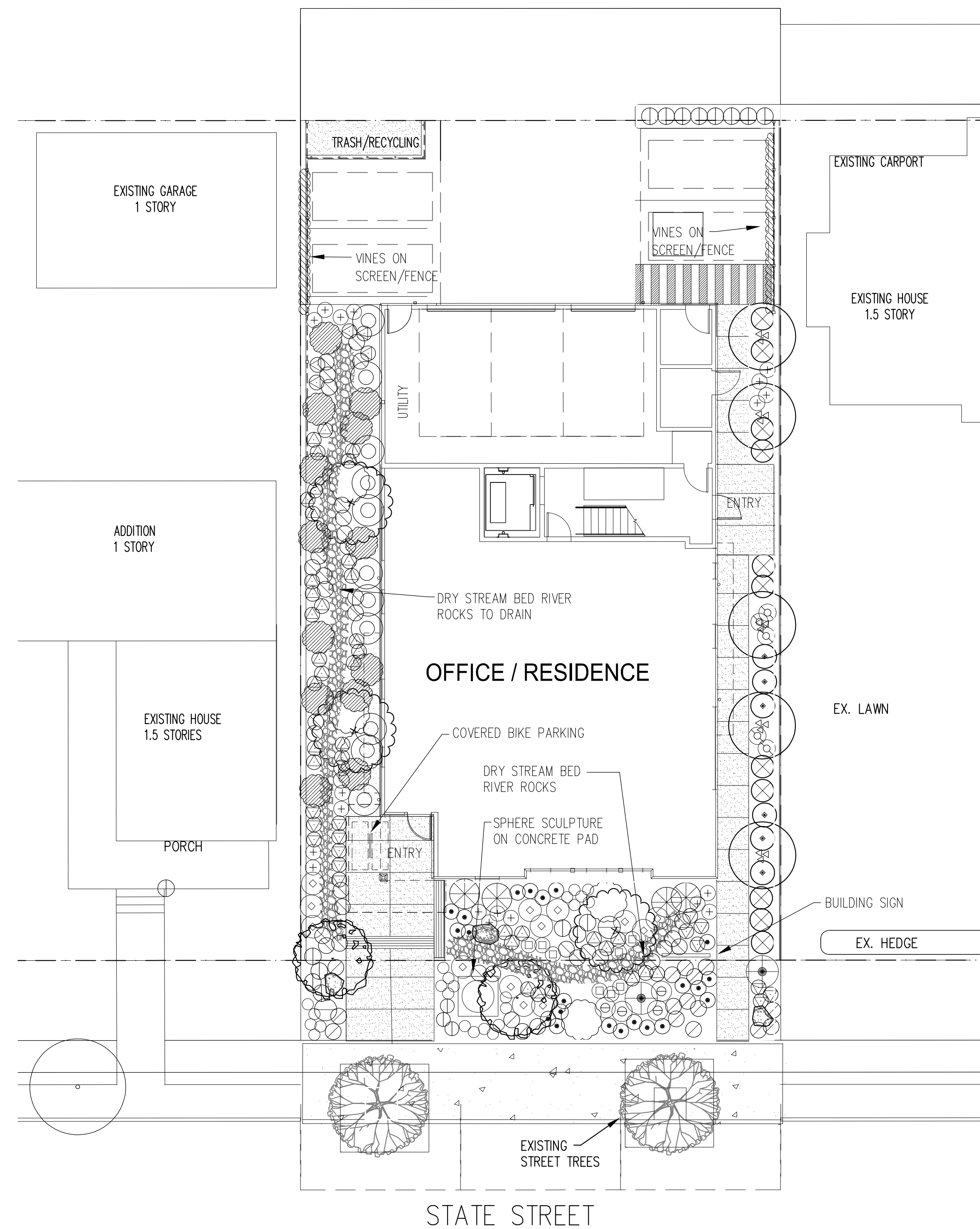
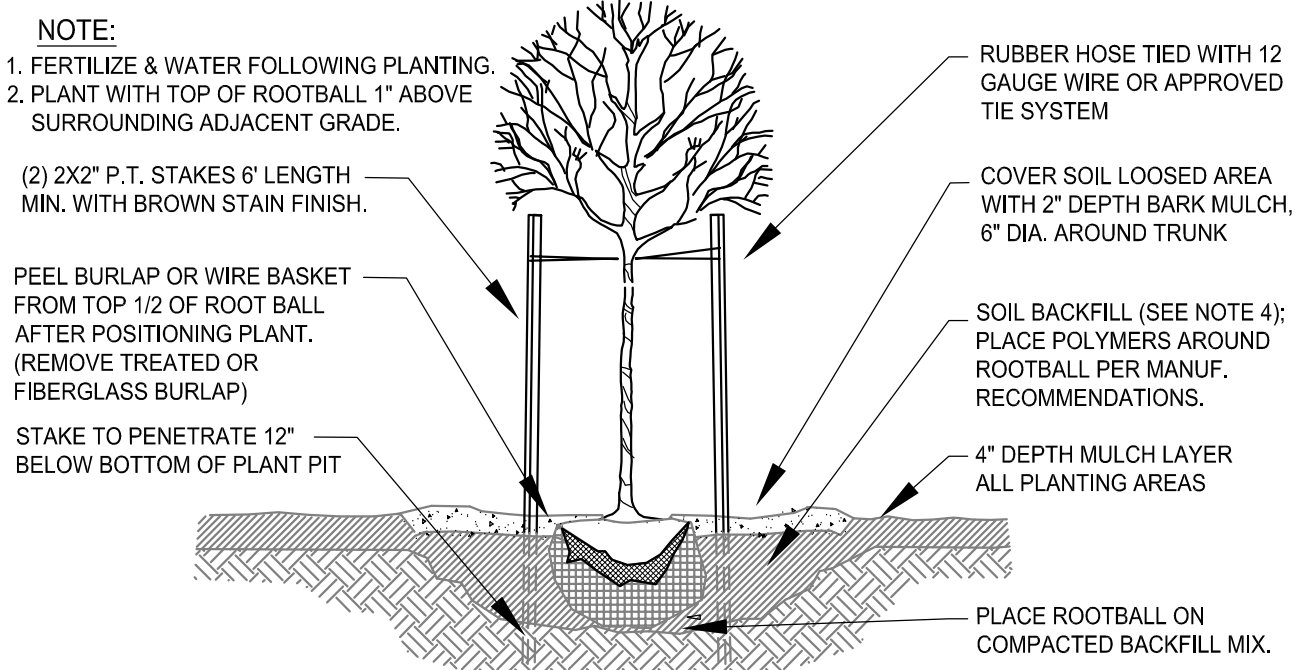
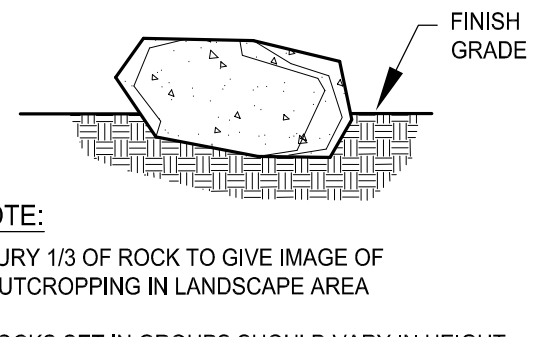
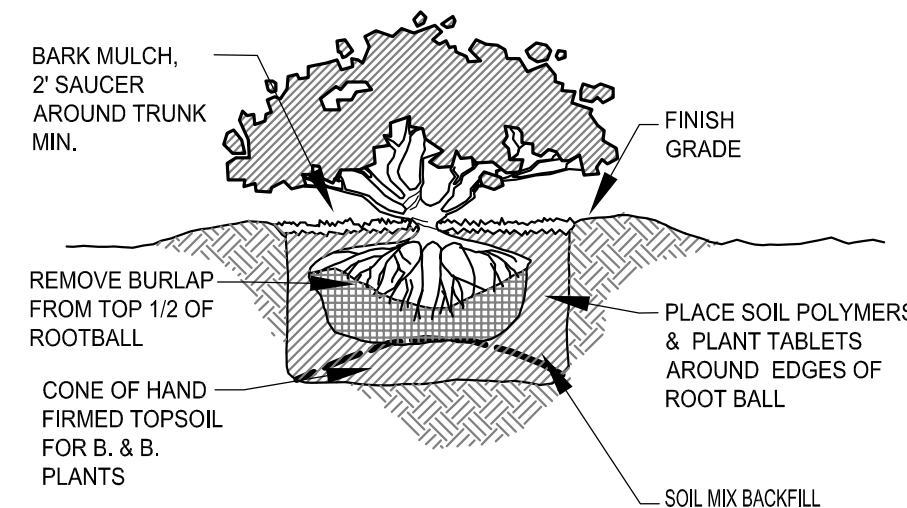






**PLANT NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR:
  - VERIFY EXISTING UTILITIES PRIOR TO BEGINNING WORK. PROTECT THEM THROUGHOUT CONSTRUCTION DURATION.
  - REPAIR ANY SITE UTILITIES DAMAGED BY HIS COMPANY'S WORK
  - VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK. REPORT TO OWNER'S REPRESENTATIVE DEVIATIONS OR CONFLICTS BETWEEN DRAWINGS AND SITE CONDITIONS.
  - KEEP ALL WORKING AREAS ORDERLY, SAFE AND CLEAN IN ACTIVE VEHICULAR AND PEDESTRIAN AREAS.
  - PROVIDE PLANTS AS SHOWN SYMBOLICALLY ON PLAN REGARDLESS OF QUANTITIES SHOWN IN THE LEGEND.
- PROVIDE PLANT MATERIAL THAT MEET SIZES AND TYPES NOTED IN THE PLANTING LIST WHICH ARE WELL BRANCHED AND SYMMETRICAL IN FORM AND HEIGHT. PLANT MATERIAL SHALL BE HEALTHY, WELL-BRANCHED AND MEET STANDARDS SET IN 1986 EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND MUST BE REPLACED UPON HIS REQUEST. PLANT MATERIAL SHOWING STRESS OR DYING SHALL BE REMOVED IMMEDIATELY AND REPLACED SAME VARIETY AND SIZE PLANT IN A TIMELY MANNER UNTIL PROJECT ACCEPTANCE. UPON PROJECT ACCEPTANCE, THE CONTRACTOR MUST PROVIDE WRITTEN ONE YEAR GUARANTEE ON ALL PLANT MATERIAL FROM DATE OF ACCEPTANCE OF PROJECT. DURING THE GUARANTEE PERIOD, THE CONTRACTOR SHALL MAKE REPLACEMENTS OF SICK OR DEAD PLANT MATERIAL UPON LANDSCAPE ARCHITECT'S REQUESTED UNTIL THE END OF THE GUARANTEE PERIOD.
- PROVIDE COMPLETE MAINTENANCE OF LANDSCAPE AND IRRIGATION WORK AFTER INSTALLATION UNTIL 90 DAYS FOLLOWING FINAL PROJECT ACCEPTANCE. THIS INCLUDES BUT IS NOT LIMITED TO WEEDING, DEBRIS CLEANUP, RESETTING OR RESTAKING TREES OR SHRUBS, SPRAYING FOR WEEDS, MULCHING, FERTILIZING, REPOSITIONING HEADS, FIXING LEAKS AND RESCHEDULING CONTROLLER. ALL WORK TO BE GUARANTEED FOR ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE.
- FOR PLANTING BEDS:
  - SPRAY OUT ALL WEEDS IN EXISTING LANDSCAPE AREAS NOTED FOR NEW PLANTINGS. PRIOR TO PLANTING, REMOVE ROCK & DEBRIS LARGER THAN 1" DIAMETER AND GRADE TO MAKE SMOOTH TRANSITIONS BACK TO ADJACENT EXISTING GRADES.
  - PIT PLANT TREES, SHRUBS AND GROUNDCOVER PER DETAIL.
- FOR ALL PLANTING AREAS REMOVE 12" OF EXISTING SOILS. LOOSEN SUBGRADE PRIOR TO INSTALLATION OF SOIL MIXTURE "LANDSCAPE MIX" AS SUPPLIED BY GREAT WESTERN SUPPLY OR OTHER SUPPLIER APPROVED BY LANDSCAPE ARCHITECT.
- KEEP SHRUB AND GROUNDCOVER PLANTING AWAY FROM TREE ROOTBALL.
- PROVIDE 4" LAYER FINE DARK BARK MULCH IN ALL PLANTED AREAS AFTER PLANTING.
- FOR SHRUB AND TREE PLANTING PITS, PROVIDE COMPOST AS SUPPLIED BY AS SUPPLIED BY CEDAR GROVE COMPOST, MAPLE VALLEY, WA. OR LANDSCAPE ARCHITECT APPROVED LOCAL SOURCE, MIXED THOROUGHLY, 50%-50% WITH EXISTING SOIL.
- PRIOR TO DELIVERY, PROVIDE SAMPLES AND WRITTEN DATA FOR BARK MULCH, COMPOST, SOILS & OTHER PRODUCTS USED ON THIS PROJECT.
- PROVIDE A TIMELINE FOR SITE PREPARATION, INSTALLATION, AND MAINTENANCE OF PLANT MATERIAL.
- PROVIDE A COST ESTIMATE FOR THE PURCHASE, INSTALLATION AND 3-YEAR MAINTENANCE OF TREES.
- ALL LANDSCAPE AREAS WILL BE ON AN AUTOMATIC IRRIGATION CONTROLLED SYSTEM PROVIDING COMPLETE COVERAGE.
- DRY STREAM BED HAVE LINER INSTALLED EDGE TO EDGE. STREAM STONES TO BE SUPPLIED BY GREAT WESTERN OR SUPPLIER APPROVED BY LANDSCAPE ARCHITECT, AND SHALL CONSIST OF RIVER ROCK 50% COBBLESTONE (6"-3" DIA.), 50% MEDIUM (1"-2" DIA.), MIXED TO LOOK NATURAL.



**PLANT LIST:** N = NATIVE  
D = DROUGHT TOLERANT AFTER ESTABLISHMENT

TREES			
N	5	VINE MAPLE	8' HT.; B&B
TA		ACER CIRCINATUM	WELL BRANCHED
D	2	'BLOODGOOD' JAPANESE MAPLE	2" CAL.; B&B
TB		ACER PALMATUM 'BLOODGOOD'	WELL BRANCHED
D	2	JAPANESE STEWARTIA	2" CAL.; B&B
TC		STEWARTIA PSEUDOCAMELLIA	WELL BRANCHED

SHRUBS			
D	2	'ADMIRATION' JAPANESE BARBERRY	3 GAL.; 3' O.C.
SA		BERBERIS THUN. 'ADMIRATION'	FULL & BUSHY
N	37	'ELK BLUE' RUSH	1 GAL.; 3' O.C.
SB		JUNCUS 'ELK BLUE'	FULL & BUSHY
D	2	'CRIMSON PIGMY' BARBERRY	3 GAL.; 5' O.C.
SC		BARBERIS THUNBERGI 'C. PIGMY'	FULL & BUSHY
D	14	SPRING TORCH HEATHER	1 GAL.; 4' O.C.
SD		CALLUNA VUL. 'SPRING TORCH'	FULL & BUSHY
N	3	'POINT REYES' CEANOTHUS	1 GAL.; 4' O.C.
SE		CEANOTHUS GLORIOSUS 'P.R.'	FULL & BUSHY
D	4	'SUNDANCE' MEXICAN ORANGE	3 GAL.; 3' O.C.
SF		CHOYSIA TERNATA 'SUNDANCE'	FULL & BUSHY
N	13	'MIDWINTER FIRE' DOGWOOD	3 GAL.; 30" O.C.
SG		CORNUS SANG. 'MIDWINTER FIRE'	FULL & BUSHY
N	37	'KELSEY' DOGWOOD	2 GAL.; 3' O.C.
SH		CORNUS STOLON. 'KELSEY'	FULL & BUSHY
D	11	COAST LEUCOTHOE	3 GAL.; 4' O.C.
SJ		LEUCOTHOE AXILLARIS	FULL & BUSHY
N	21	CASCADES MAHONIA	1 GAL.; 3' O.C.
SK		MAHONIA NERVOOSA	FULL & BUSHY
D	11	'GULF STREAM' HEAVENLY BAMBOO	3 GAL.; 3' O.C.
SL		NANDINA DOM. 'GULF STREAM'	FULL & BUSHY
N	6	SWORD FERN	2 GAL.; 3' O.C.
SM		POLYSTICHUM MUNITUM	FULL & BUSHY
D	16	MYRTIFOLIUM RHODODENDRON	3 GAL.; 3' O.C.
SN		RHODODENDRON MYRTIFOLIUM	FULL & BUSHY
D	5	DWARF SWEET BOX	2 GAL.; 2' O.C.
SO		SARCOCOCCA HOOKER. HUMILIS	FULL & BUSHY
D	17	'MAGIC CARPET' SPIREA	3 GAL.; 3' O.C.
SP		SPIREA J. 'MAGIC CARPET'	FULL & BUSHY

GRASSES			
D	4	NEW ZEALAND HAIR SEDGE	1 GAL.; 3' O.C.
GA		CAREX COMANS'	FULL & BUSHY
D	8	BOWLES GOLENE SEDGE	1 GAL.; 3' O.C.
GB		CAREX ELATA 'AUREA'	FULL & BUSHY
D	19	GOLDEN JAPANESE FOREST GRASS	1 GAL.; 3' O.C.
GC		HAKONECHLOA MACRA 'AUREOLA'	FULL & BUSHY
D	13	'HAMLIN' DWARF FOUNTAIN GRASS	1 GAL.; 3' O.C.
GD		PENNISETUM ALOP. 'HAMLIN'	FULL & BUSHY
D	25	'LITTLE BUNNY' DWARF FOUNTAIN GRASS	1 GAL.; 3' O.C.
GE		PENNISETUM ALOP. 'LITTLE BUNNY'	FULL & BUSHY

VINES			
D	2	FIVE LEAF AKEBIA	1 GAL.; 3' O.C.
VA		AKEBIA QUINATA	FULL & BUSHY

PROVIDE (7) THREE MAN ROCK IN LOCATIONS SHOWN ON PLAN

Olympia  
SITE PLAN REVIEW COMMITTEE  
**APPROVED**  
DATE JULY 7, 2014  
APPEAL PERIOD EXPIRES JULY 28, 2014  
APPROVAL FOR SITE PLAN ONLY  
ANY SITE REVISION MUST HAVE PRIOR SITE PLAN REVIEW  
CONSTRUCTION PLANS REQUIRE SEPARATE REVIEW AND APPROVAL  
APPROVAL EXPIRATION DATE JULY 28, 2016

**TREE DENSITY CALCULATIONS**

TOTAL BUILDABLE AREA:	6,265 S.F.	
TREES REQUIRED (6,000-7500sf)	=5	
TREES UNITS TO BE PLANTED ON SITE	=8	

**DUANE EDWARDS LANDSCAPE ARCHITECT**

3603 Holiday Dr SE  
Olympia, Washington 98501  
P 360.943.6636  
C 360.350.9691  
dj80.edwards@comcast.net

**Tanasse Mixed Use Building**  
924 State St.  
Olympia, WA

DETAIL DESIGN REVIEW

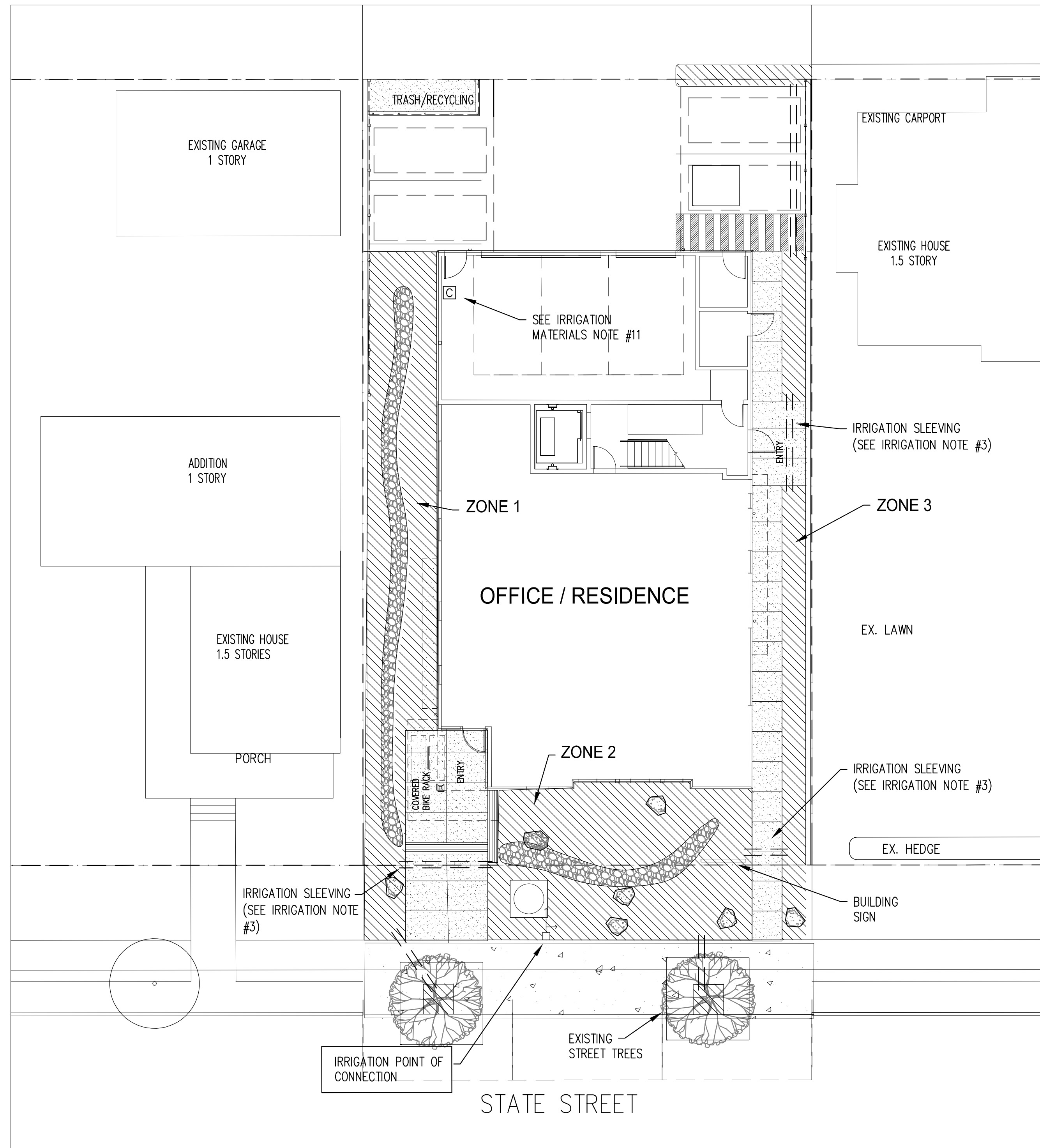
DATE 06.02.14  
REVISIONS



LANDSCAPE PLAN

L1





**IRRIGATION NOTES & SPECIFICATIONS**

**LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR:**

- A. VERIFY EXISTING UTILITIES LOCATION PRIOR TO BEGINNING WORK & PROTECTING THEM THROUGHOUT CONSTRUCTION DURATION & REPAIRING ANY SITE UTILITIES DAMAGED BY HIS COMPANY'S WORK.
- B. VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND REPORTING IN WRITING TO OWNER'S REPRESENTATIVE DEVIATIONS OR CONFLICTS BETWEEN DRAWINGS AND SITE CONDITIONS.
- C. KEEPING ALL WORKING AREAS ORDERLY, SAFE AND CLEAN IN ACTIVE VEHICULAR AND PEDESTRIAN AREAS.
- D. COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM INCLUDING POINT OF CONNECTION & CONTROLLER INSTALLATION.
- E. PAY FOR ELECTRICAL FEES INCURRED FOR IRRIGATION CONTROLLER INSTALLATION.
- F. PROVIDE ADEQUATE PRECIPITATION TO ALL LANDSCAPE PLANT MATERIAL PLANTED ON THIS PROJECT.
- G. FOLLOW RAINBIRD DRIPLINE DESIGN, INSTALLATION & MAINTENANCE GUIDE PROVIDED BY THE MANUFACTURER.
- H. IRRIGATION PIPE LOCATIONS ARE SHOWN SCHEMATICALLY. PLACE IN LANDSCAPE AREAS WHENEVER POSSIBLE.
- J. KEEP AN "AS BUILT" OF ALL MAINLINES AND LATERALS DURING CONSTRUCTION PROVIDING DIMENSIONS FROM FIXED OBJECTS SUCH AS BUILDING CORNERS, PAVED EDGES, FOR FUTURE DISCOVERY. DELIVER "AS BUILT" TO OWNER AT PROJECT COMPLETION.
- K. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS ON SYSTEM OPERATIONAL / WINTERIZATION PROCEDURES AND SPRING START UP PROCEDURES. MEET OWNER'S MAINTENANCE PERSONNEL TO GO THROUGH THE PROCEDURES STEP BY STEP IN THE FIELD.
- L. AT THE END OF PROJECT, DEMONSTRATE ENTIRE SYSTEM TO OWNER / MAINTENANCE PERSONNEL.

**MATERIALS:**

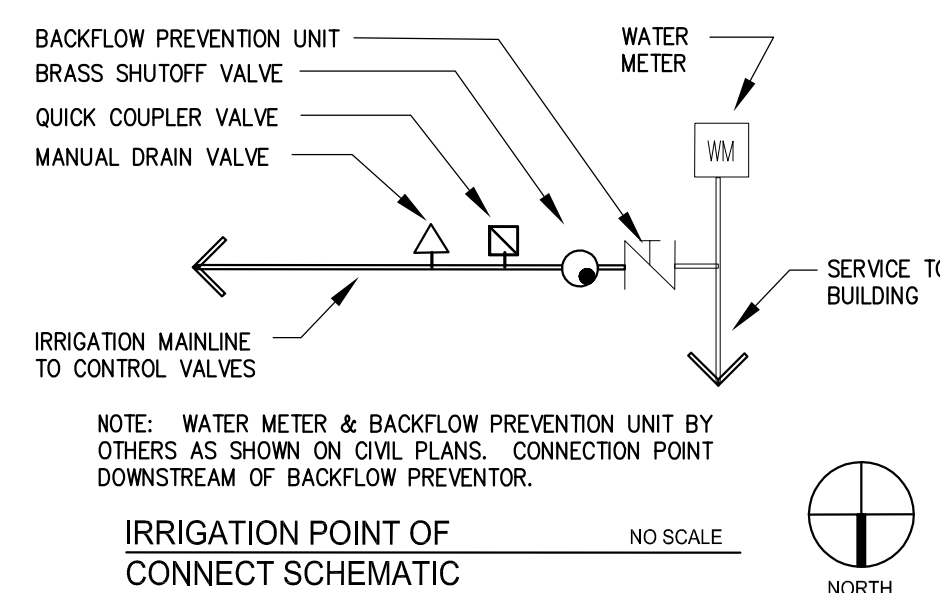
- 1. USE ONLY NEW MATERIALS WITHOUT FLAWS OR DEFECTS OF A QUALITY & PERFORMANCE SPECIFIED HEREIN.
- 2. MAINLINES SHALL BE CLASS 200 PVC WITH SOLVENT WELD FITTINGS MEETING ASTM 1785 BURIED AT AN 24" DEPTH. PROVIDE DETECTABLE UTILITY WARNING TAPE IN MAINLINE TRENCHES.
- 3. PROVIDE CLASS 200 PVC SLEEVES UNDER PAVEMENT SIZED TO ACCOMMODATE BOTH PIPE & WIRE. EXTEND SLEEVE 18" MINIMUM BEYOND PAVING INTO LANDSCAPE AREA.
- 4. LATERAL LINES SHALL BE CLASS 200 PVC WITH SOLVENT WELD FITTINGS MEETING ASTM D 2466 BURIED AT A 12" DEPTH.
- 5. PVC PIPE SHALL BE NEW, STANDARD WEIGHT PIPE MADE OF VIRGIN COMPONENTS, MARKED WITH MANUFACTURER'S NAME, PIPE SIZE, SCHEDULE, TYPE OF PIPE AND ASTM DESIGNATION.
- 6. PIPE CONNECTIONS SHALL BE PERMATIX TYPE II SOLVENT WELDED PER MANUFACTURER'S DIRECTIONS & RECOMMENDATIONS.
- 7. ALL SWING JOINTS SHALL HAVE SCH. 80 PVC FITTINGS (FROM SPEARS OR LASCO).
- 8. CONTROL VALVES SHALL BE RAINBIRD 1" LOW FLOW CONTROL ZONE KIT W/ PR FILTER IN CARSON VALVE BOXES.
- 9. VALVE BOXES SHALL BE CARSON STANDARD OR JUMBO BOXES SIZED TO PROVIDE EASY ACCESS FOR FUTURE MAINTENANCE.
- 10. PROVIDE BRASS GLOBE VALVE (SAME SIZE AS IRRIGATION LINE) FOR SYSTEM SHUT OFF IMMEDIATELY DOWN STREAM OF BACKFLOW PREVENTION UNIT AND WHERE ISOLATION OF ZONES ARE REQUIRED.
- 11. WALL MOUNT CONTROLLER AS DIRECTED BY ARCHITECT. LABEL ZONES WITH PLASTIC TAPE ON CHART INSIDE CONTROLLER. RUN PVC SLEEVED CONTROL VALVE WIRING AND GROUND WIRE FROM CONTROLLER TO JUNCTION BOX IN NEAREST LANDSCAPE AREA.
- 12. USE APPROPRIATELY SIZED CONTROL WIRES WITH DS-100 DRI-SPLICE CONNECTORS. PROVIDE VALVE BOXES WHEREEVER SPLICES OCCUR. RUN YELLOW SPARE WIRE FROM CONTROLLER TO EACH VALVE.
- 13. CORRECT IRRIGATION DEFICIENCIES NOTED BY OWNER'S REPRESENTATIVE DURING PROJECT AND FOR ONE YEAR AFTER PROJECT ACCEPTANCE. PROVIDE WRITTEN GUARANTEE OF ALL MATERIALS & WORKMANSHIP DONE UNDER THIS CONTRACT.

**IRRIGATION LEGEND**

SYM	CATALOG NUMBER	DESCRIPTION
[Symbol]		BACKFLOW PREVENTION BY OTHERS (SEE CIVIL PLANS)
[Symbol]	PGA SERIES	RAINBIRD SERIES 1" AUTOMATIC CONTROL VALVE IN CARSON VALVE BOX
[Symbol]		BK 1" BRASS BALL VALVE, LINE SIZE IN CARSON VALVE BOX
[Symbol]	ESP4-ME	RAINBIRD WALL MOUNT CONTROLLER & RSD RAIN SENSOR- COORDINATE LOCATION WITH ARCHITECT
[Symbol]	3 RC	RAINBIRD QUICK COUPLER VALVE DOWNSTREAM OF BACKFLOW PREVENTION UNIT FOR WINTERIZATION
[Symbol]	205	WILKINS MANUAL DRAIN VALVE - AT LOW POINT OF EACH ZONE & POINT OF CONNECTION.
[Symbol]	XCZ-LF-100-PRF	RAINBIRD 1" LOW FLOW CONTROL ZONE KIT W/ PR FILTER IN CARSON VALVE BOXES
[Symbol]		CLASS 200 PVC LATERAL LINE PIPING, SIZE AS NOTED
[Symbol]		CLASS 200 PVC MAINLINE PIPING, 1" TYP.
[Symbol]		CLASS 200 PVC SLEEVE FOR IRRIGATION LINES & CONTROL WIRES
[Symbol]		RAINBIRD XFD DRIPLINES SPACED 18" O.C., W/6 GPH EMITTERS SPACED 18" O.C.

**VALVE KEY**

VAL. NO.	1	2	3	4
GPM:	4.0	2.5	3.3	---
SIZE:	1"	1"	1"	---



**IRRIGATION PLAN**

1"=10'-0"



3603 Holiday Dr SE  
Olympia, Washington 98501

P 360.943.6636  
C 360.350.9691

dj80.edwards@comcast.net

DETAIL DESIGN REVIEW

DATE  
06.02.14  
REVISIONS

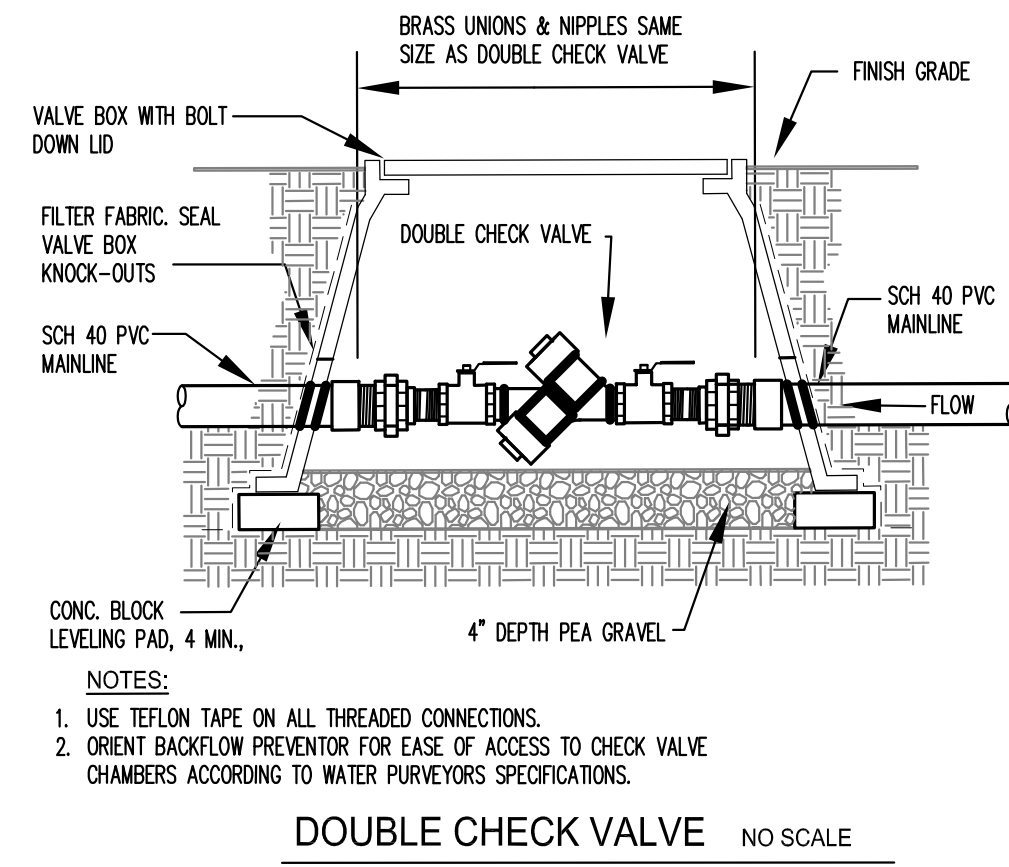


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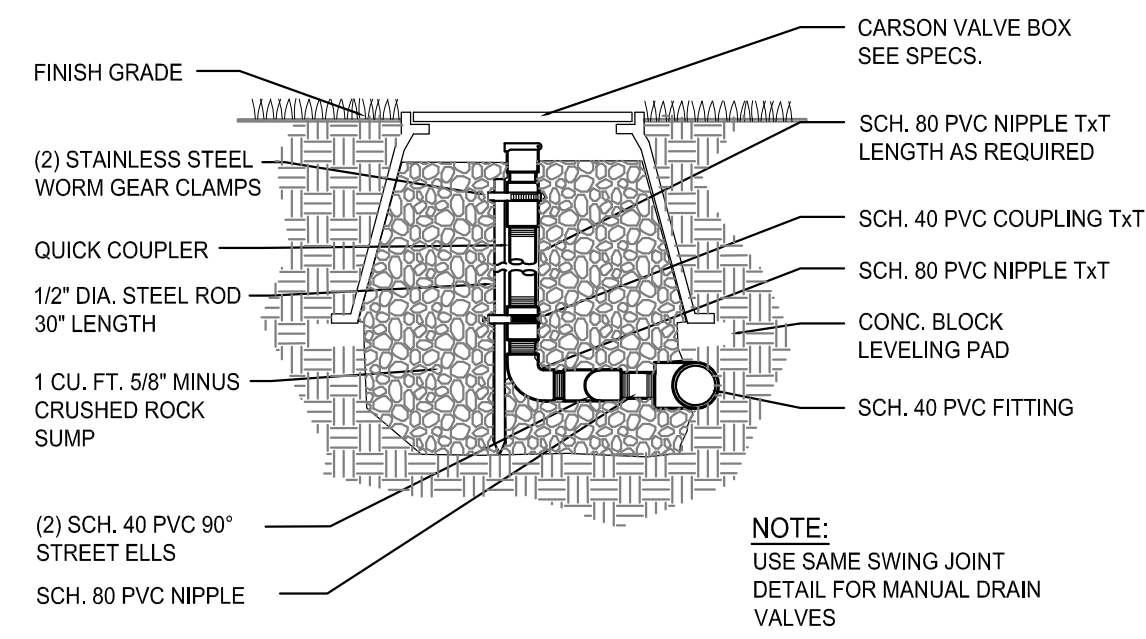
IRRIGATION PLAN

L2

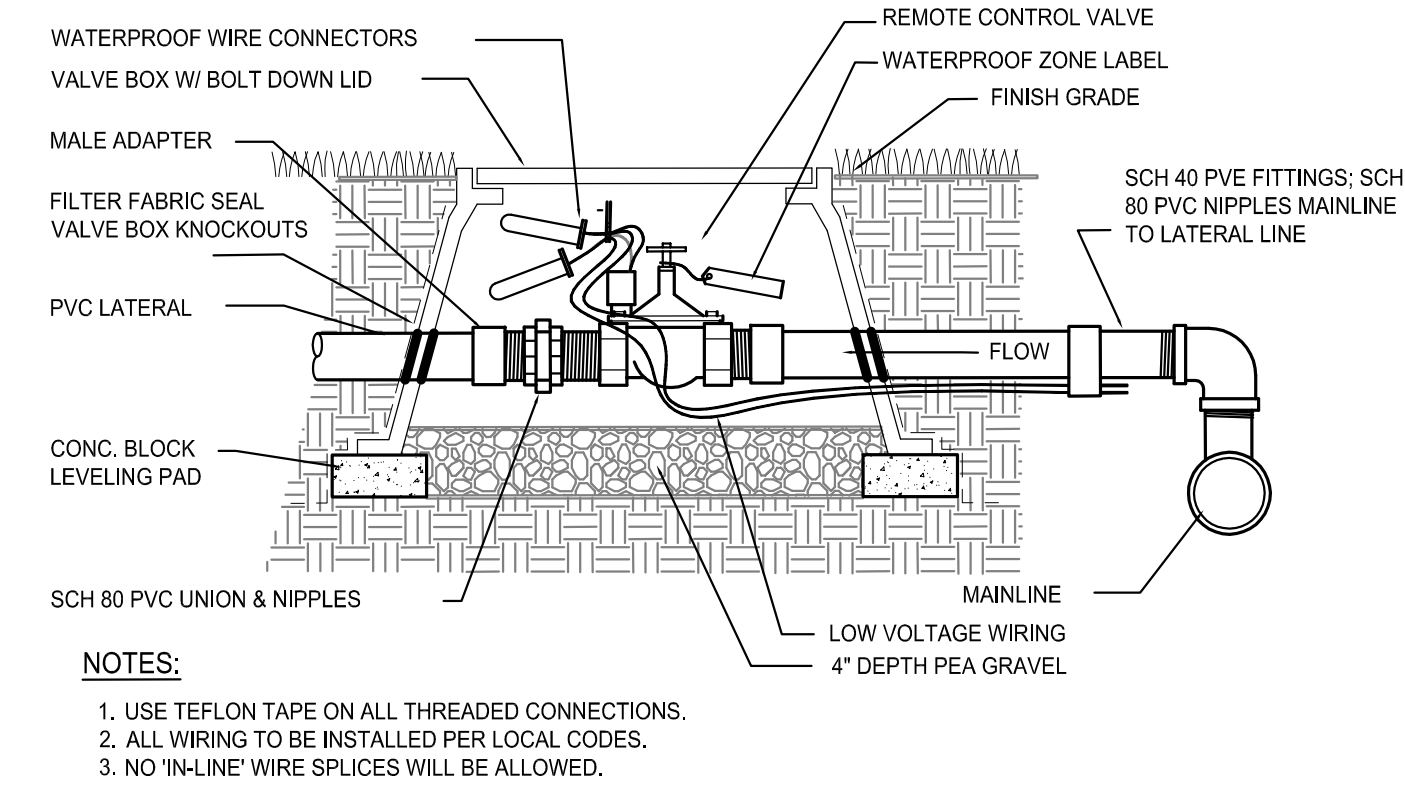




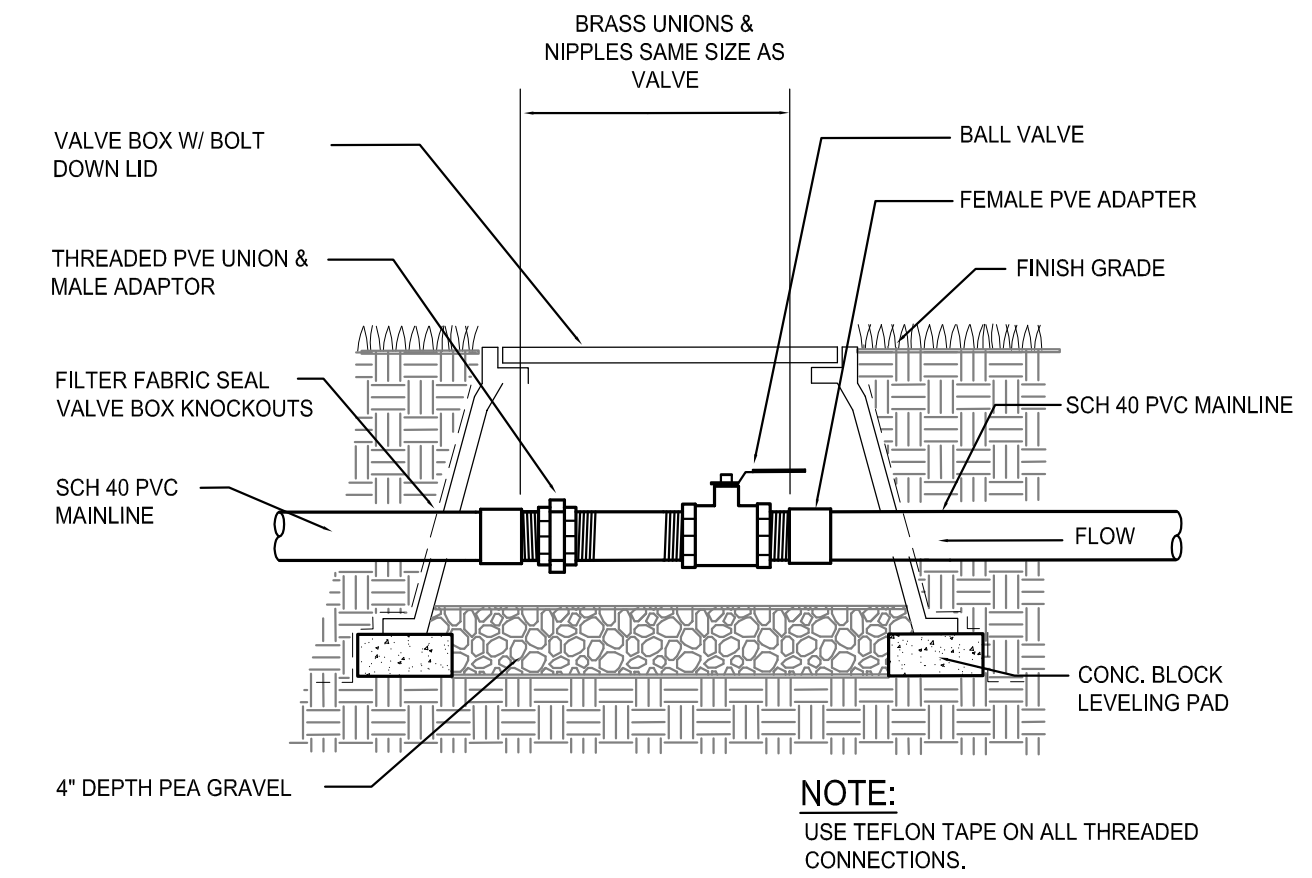
**DOUBLE CHECK VALVE** NO SCALE



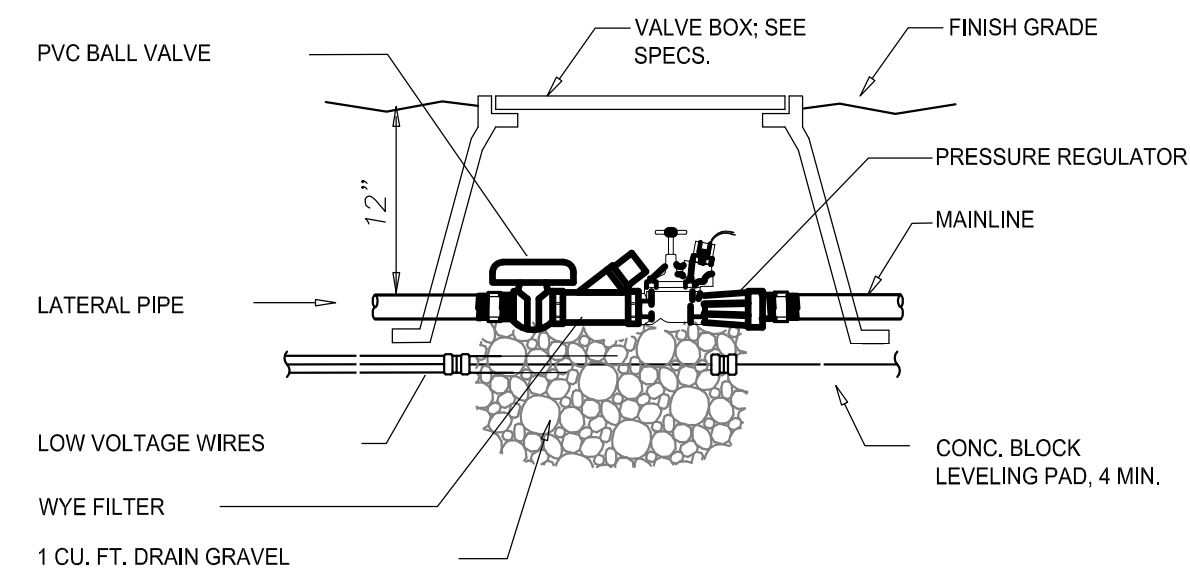
**QUICK COUPLING VALVE**



**AUTOMATIC CONTROL VALVE**  
NO SCALE

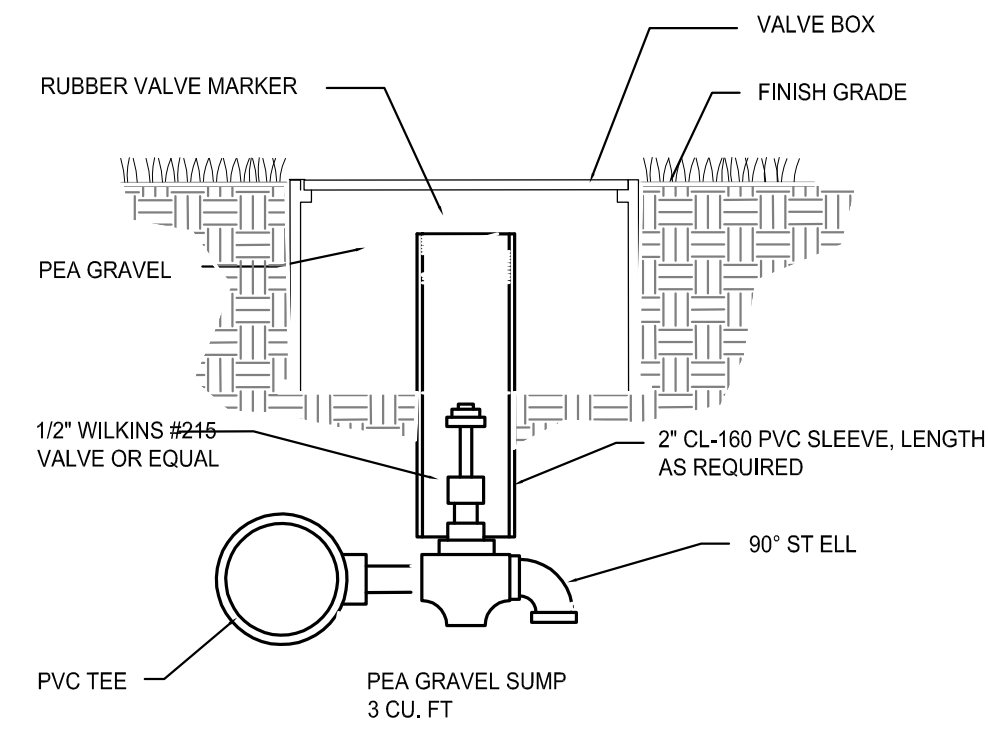


**MANUAL SHUT OFF VALVE**  
NO SCALE



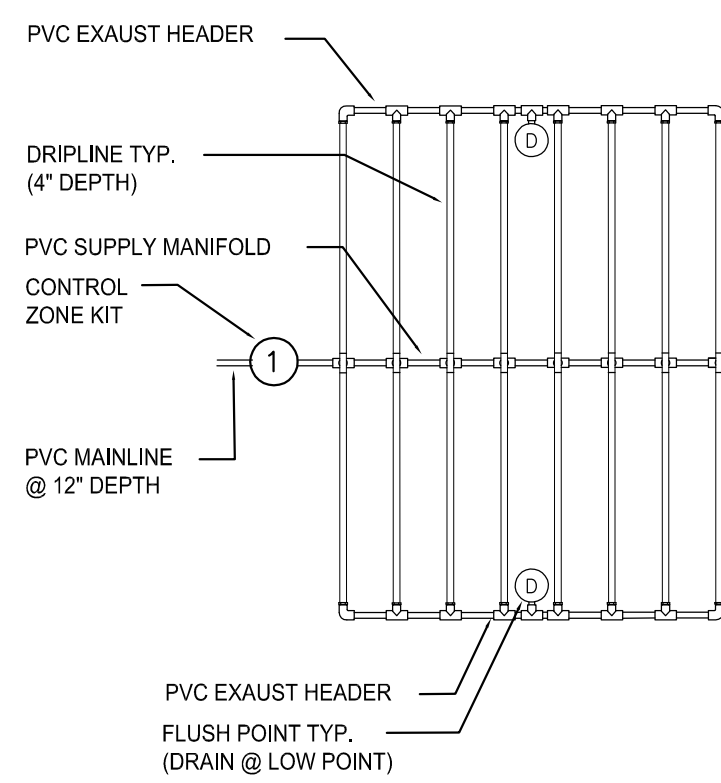
- NOTES:**
1. USE TEFLON TAPE FOR ALL THREADED PIPE CONNECTIONS.
  2. ALL WIRES TO BE INSTALLED PER LOCAL CODES WITH NO IN LINE WIRE SPLICES.

**DRIP SYSTEM CONTROL VALVE**  
NO SCALE

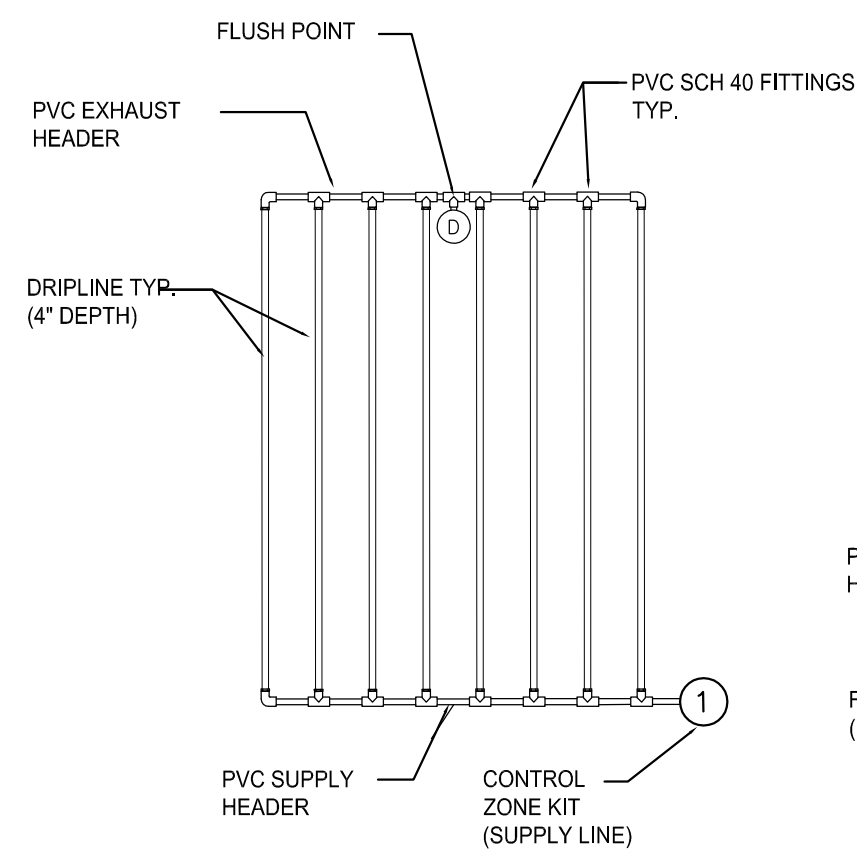


LOCATE DOWNSTREAM FROM BACKFLOW PREVENTOR & AT LOW POINTS OF EACH ZONE.

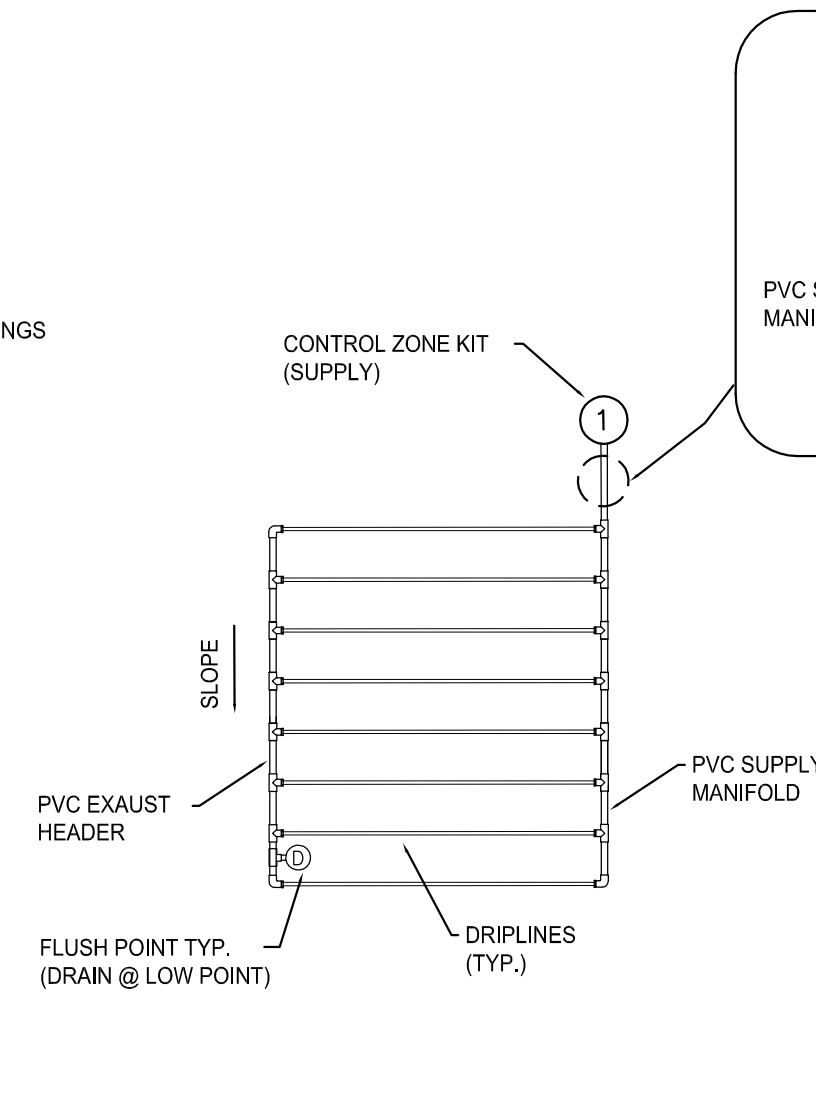
**MANUAL SHUT OFF VALVE**  
NO SCALE



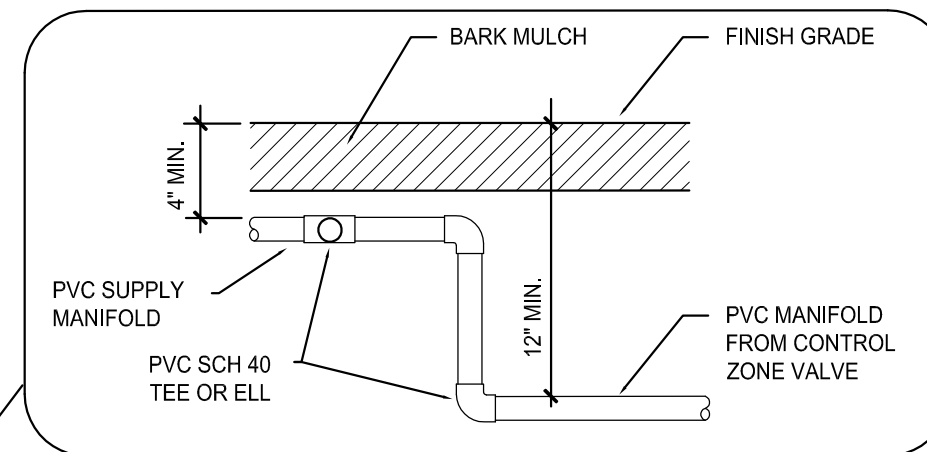
**CENTER FEED TYP.**  
NO SCALE



**END FEED TYP.**  
NO SCALE

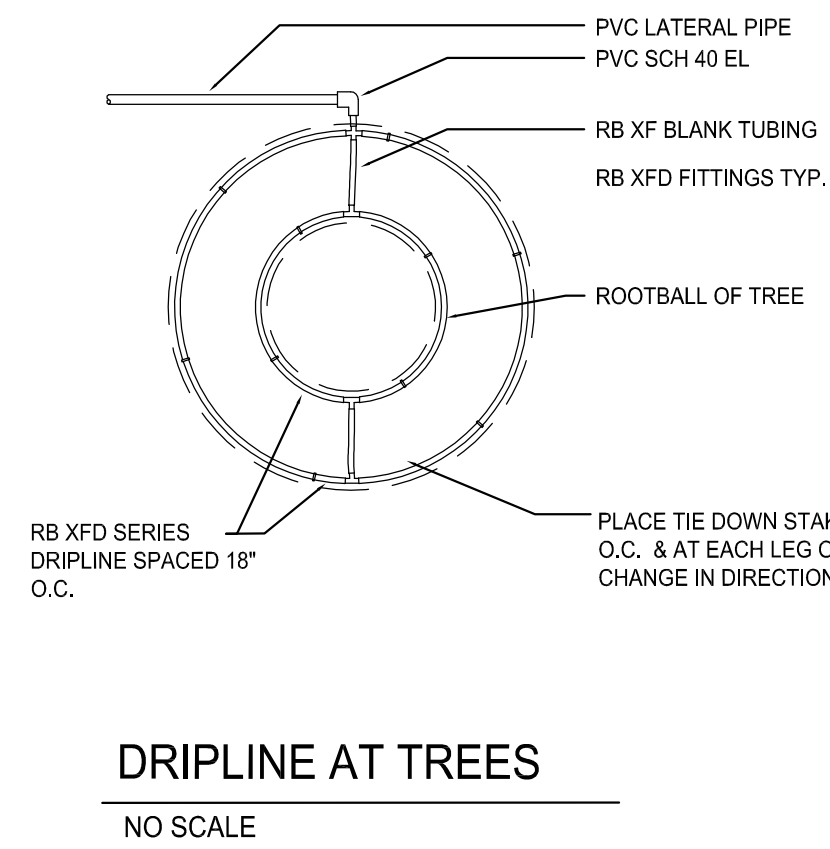


**DRIPLINE ON SLOPE**  
NO SCALE



XFD DRIPLINE MAXIMUM LATERAL LENGTHS (FEET)						
INLET PRESSURE P.S.I.	12" SPACING		18" SPACING		24" SPACING	
	FLOW (GPH)	FLOW (GPH)	FLOW (GPH)	FLOW (GPH)	FLOW (GPH)	FLOW (GPH)
0.6	0.9	0.6	0.9	0.6	0.9	
15	273	155	314	250	424	322
20	318	169	353	294	508	368
30	360	230	413	350	586	414
40	395	255	465	402	652	474
50	417	285	528	420	720	488
60	460	290	596	455	780	514

- NOTES:** (BOTH CENTER / END FEED / SLOPE)
1. KEEP PERIMETER DRIPLINE 2'-4" OFF PERIMETER (HARD SURFACES).
  2. DO NOT EXCEED MAXIMUM LENGTHS FOR DRIPLINE LATERALS.
  3. IF DESIGN PRESSURE IS OVER 50 PSI USE STAINLESS STEEL CLAMPS ON FITTINGS.
  4. CENTER FEED IS PREFERRED LAYOUT WHEREVER POSSIBLE.
  5. PLACE TIE DOWN STAKES 3' O.C. ON DRIPLINES.
  6. SLOPES LESS THAN 3% DO NOT REQUIRE SPECIAL DESIGN CONSIDERATION.



**DRIPLINE AT TREES**  
NO SCALE

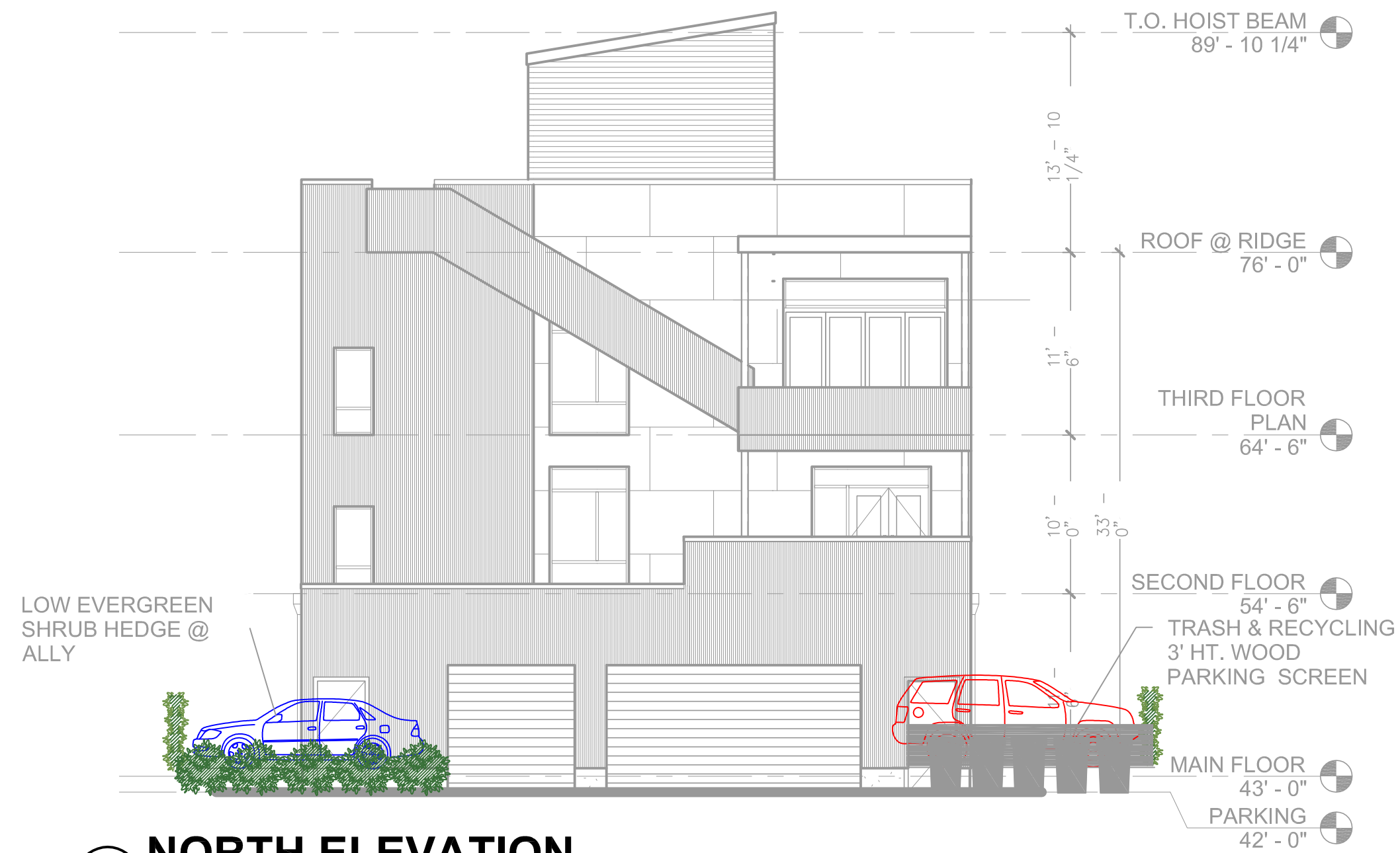
**Olympia**  
SITE PLAN REVIEW COMMITTEE

**APPROVED**

DATE JULY 7, 2014  
APPEAL PERIOD EXPIRES JULY 28, 2014  
APPROVAL FOR SITE PLAN ONLY  
ANY SITE REVISION MUST HAVE PRIOR SITE PLAN REVIEW.  
CONSTRUCTION PLANS REQUIRE SEPARATE REVIEW AND APPROVAL.  
APPROVAL EXPIRATION DATE JULY 28, 2016

**IRRIGATION DETAILS**





1 NORTH ELEVATION  
A3.10 1/8" = 1'-0"



2 EAST ELEVATION  
A3.10 1/8" = 1'-0"



3 SOUTH ELEVATION  
A3.10 1/8" = 1'-0"



4 WEST ELEVATION  
A3.10 1/8" = 1'-0"

Olympia  
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○ Keynotes

General Notes:

Legend

DESIGN DEV.	Issue Date
Revisions	Description Closing Date

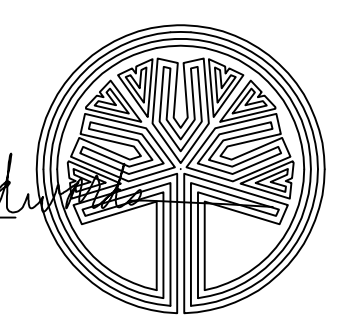
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Sheet Title

LANDSCAPE ELEVATIONS

Sheet No.

LA-E

14-103







**SOUTH ELEVATION**

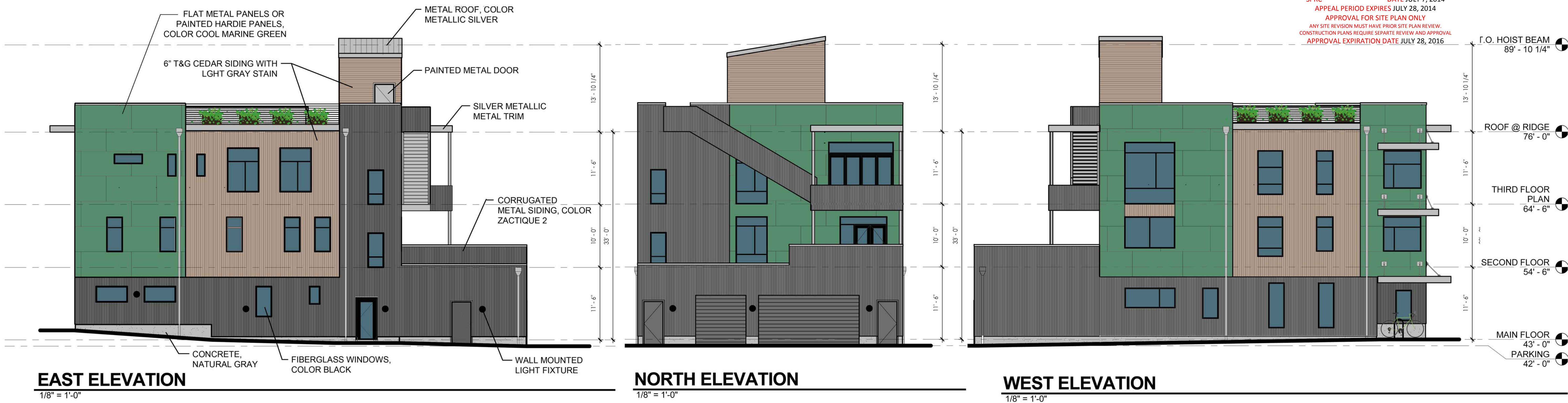
1/8" = 1'-0"



SITE PLAN REVIEW COMMITTEE

**APPROVED**

SPRC DATE JULY 7, 2014  
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**EAST ELEVATION**

1/8" = 1'-0"

**NORTH ELEVATION**

1/8" = 1'-0"

**WEST ELEVATION**

1/8" = 1'-0"

Revisions	Description	Closing Date
DESIGN DEV.	Issue Date	

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 Sheet Title

**EXTERIOR ELEVATIONS**

Sheet No.  
**A3.10**  
 Project No.  
 14-103

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