



RESIDENTIAL BUILDING PERMIT APPLICATION

NEW CONSTRUCTION, ADDITIONS AND GARAGES

OFFICIAL USE ONLY

Engineering Permit #
Received By:

☐ Historical

Date:

Staff Contact:

☐ Design Review

SITE LOCATION

Project Name: Swantown Inn

Description of work to be done (be specific): Residential Addition

Site Address: 1431 11th Ave SE Olympia, WA 98501

Tax Parcel Number: _____ Zoning: R 4-8

PROJECT DESCRIPTION

Value of Construction: 396,453 # of Stories: 2.5 ☐ Retaining Wall: _____

Square Footage:

House: 3515 Garage: 587 Bonus Perch: 627

First Floor: 1146 Second Floor: 1742

Building Height: 37 ☐ Design Review (Lots < 5,000 sq. ft., ADU, Duplex, Town House, Plat Requirement)
Addition

☐ Historic (Needs separate review and application)

GENERAL CONTRACTOR INFORMATION

Company Name: Home Resource Company Inc. Contact Person: Sarah Clark/Dave Clark

Mailing Address: PMB 107 1910 East 4th Ave. Olympia, WA 98506 Phone: 360-493-1190

Email Address: hrhomebuilders@gmail.com Fax: 456-0959

State Contractor's License #: HOMERC*98588 Expiration Date: 1/31/17 State UBI #: 602166819

PROPERTY OWNER

Owner Name: Nathan Allan Phone: 360-753-9123

Mailing Address: 1431 11th Ave SE Olympia, WA 98501

CONTACT PERSON (This person is designated to receive all project communications)

Name: Sarah Clark Phone: 493-1190 Fax: 456-0959

Mailing Address: PMB 107 1910 East 4th Ave Oly, WA Email Address: hrhomebuilders@gmail.com

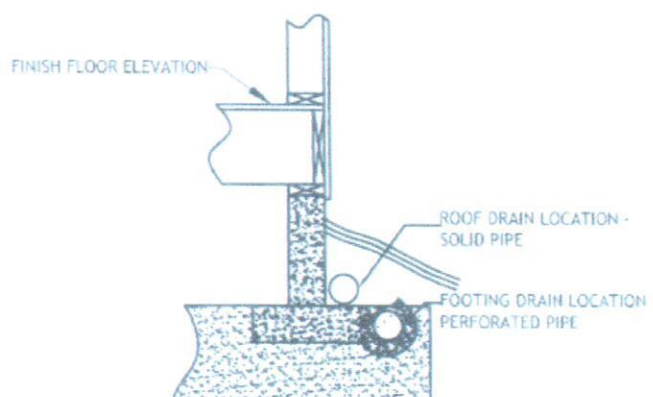
EXISTING AND PROPOSED CONDITIONS

Total of EXISTING AND PROPOSED:		Site Area:	<u>20,410</u>	(Total square feet of lot)
BUILDING FLOOR AREA:	Existing:	<u>2189</u>	Proposed:	<u>1631</u>
PROJECTED ROOF AREA:	Existing:	<u>2563</u>	Proposed:	<u>1741</u>
IMPERVIOUS AREA:	Existing:	<u>1755</u>	Proposed:	<u>1921</u>
TOTAL AREA OF PROPOSED PERMEABLE PAVERS:	Existing:	_____	Proposed:	_____
TOTAL AREA OF PREVIOUS LANDSCAPING OR UNDISTURBED VEGETATE AREAS:	Existing:	_____	Proposed:	_____

(INCLUDE EXISTING BUILDINGS, SIDEWALKS, AND DRIVEWAYS WHICH WILL REMAIN.)

MINIMUM REQUIREMENTS FOR SINGLE FAMILY RESIDENTIAL PLOT PLAN SUBMITTAL FOR BUILDING PERMITS

1. Utilities (water, sewer, storm, franchise)
2. Easements and tracts
3. Setbacks to property lines from building walls
4. Building footprint with roof overhangs and chimney/mechanical pop-outs
5. Driveway locations
6. Porches, patios and decks
7. Street names
8. Actual finish floor elevations, mean sea level
9. Proposed and existing contour lines
10. Drainage (swales, infiltration trenches, footing and roof drain, yard or perimeter drain line, areas of compost-amended soils, etc.)
11. Calculations for infiltration trenches, attach table
12. Indicate soil type (A, B, C or D)
13. Retaining walls with top and bottom wall elevations, retaining walls over 4' tall require separate building permit.
14. Existing drainage through site
15. North arrow
16. Scale/dimensions
17. Wells and septic onsite and on adjacent properties
18. Trees – preserved and new (see handout)
19. Directional arrows for proposed surface drainage flows
20. Show locations on plans of critical areas (steep slopes, creeks, wetlands)
21. Property corners and curbline elevations, mean sea level
22. Show all erosion control items (construction entrance, erosion control fence, sediment pond, etc.)



**SITE PLAN MUST REFLECT ACTUAL POSITION OF BUILDING
(NO REVERSE OR MIRROR PLANS)**

RESIDENTIAL APPLICATION CHECKLIST

Completed permit application(s): ☐ Building ☐ Electrical ☐ Mechanical ☐ Plumbing

- ☐ Two (2) sets of plans (architectural drawings and specifications)
- ☐ Foundation plans
- ☐ Two (2) sets of site plans/erosion control plan (use site plan checklist)
- ☐ Climatic and geographic design criteria (include soil-bearing capacity)
- ☐ Floor plans (all levels)
- ☐ Elevations (all sides)
- ☐ Floor framing plan (all levels)
- ☐ Roof framing plan
- ☐ Building/assembly cross section (components labeled)
- ☐ Construction details (referenced to plan)
- ☐ Stamped engineered structural drawings (required if not designed by prescriptive code)
- ☐ Stamped structural calculations report (required if not designed by prescriptive code)
- ☐ Two (2) copies of engineered truss drawings
- ☐ Two (2) copies engineered floor manufacturer's layout
- ☐ Washington State Residential Energy Code compliance worksheets and plan
- ☐ Whole-house mechanical ventilation compliance plan
- ☐ Construction Stormwater Pollution Prevention Plan (See Volume II, Chapter 3 of the City of Olympia Drainage Design and Erosion Control Manual)
- ☐ Abbreviated Drainage Plan (see the thresholds of Volume 1, Chapter 2 of the City of Olympia Drainage Design and Erosion Control Manual to determine if a drainage plan is required. Plans shall meet the requirement of Volume I, Chapter 3).

- ☐ If the property is listed on a Historic Register: Two additional copies of plans, exterior photographs if the proposal includes exterior changes, photographs of adjacent or abutting structures, statement of the date of construction of the structure, and description and basis of any code exceptions sought due to historic nature of structure.
- ☐ A Soil and Vegetation Plan Supplement, if required as outlined in OMC 16.60 and the Urban Forestry Manual.
- ☐ If within the Downtown area or Design Review Corridors, or if the project includes attached housing units, manufactured housing, single-family housing on a lot of less than 5,000 square feet, an accessory dwelling unit, cottage or co-housing, or abutting or across the street from a historic register building, a Detailed Design Review Supplement is required. (See OMC 18.50.080.)
- ☐ An environmental review supplement if within 500 feet of any critical area (wetland, stream, significant upland habitat area, seismic hazard area, landslide hazard area, frequently flooded area, or critical aquifer recharge area).
- Model Soil Management Plan**
- | | | |
|--|------------------------------|-----------------------------|
| <input type="checkbox"/> FEMA Flood Zone | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| <input type="checkbox"/> Sea Level Rise | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
- ☐ Permit fees and plan check fees are calculated based on ICC published actual construction cost per OMC 4.36.010.4.

BUILDING OWNER OR AUTHORIZED AGENT

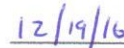
I hereby certify that I have read and examined this application and know the same to be true and correct, and I am authorized to apply for this permit.



Signature



Print Name



Date

This form has been approved for use by the Olympia Community Planning and Development (CPD) Department.



Keith Stahley, Director,
Community Planning and Development



Date

HISTORIC REVIEW SUPPLEMENTS:

- Two additional copies of plans included with application
- No Exterior Changes, just an ADDITION
- Photographs of adjacent/ abutting structures
- Statement of date of construction of structure: 1887
- Description and basis of any code exceptions sought due to historic nature of structure :

We have worked very diligently to insure the incorporation of new addition to existing structure preserves the historic nature of existing building.

Both Inn keeper and carpenter wish to have all existing structure to remain and have minimal impact due to addition. Seeking to not have to infiltrate existing structure, besides attachment of addition. Any code exceptions are requested to existing structure only so that preservation and historic nature remain intact.



Across 11th Ave from Swanton



View of project area off of Central St,



Properties across Central from project area



Property South of Swanton off central



11th Ave. View



STAFF DESIGN REVIEW RESIDENTIAL BUILDING APPLICATION SUPPLEMENT

OFFICIAL USE ONLY

Case #: _____

Master File #: _____

Date: _____

Received By: _____

Project Planner: _____

Related Cases: _____

- | | |
|--|---|
| <input checked="" type="checkbox"/> Single Family, including Townhomes (In-fill housing area / lots less than 5,000 square feet) | <input checked="" type="checkbox"/> Historic Register |
| <input type="checkbox"/> Duplex | <input type="checkbox"/> Historic District |
| <input type="checkbox"/> Triplex | <input type="checkbox"/> Cottage Housing |
| <input type="checkbox"/> Fourplex | |
| <input type="checkbox"/> Accessory Dwelling Unit (ADU) | |

Please refer to the Residential Design Criteria in 18.175, Olympia Municipal Code (OMC).

Include the following items with your **Residential Building Permit Application** form and building plans:

1. Elevation plans showing detail of exterior material to be used on all sides, window details.
2. Show graphically how the proposed residence is compatible with the existing neighborhood residences, both architecturally and in scale. Submitting photos of neighboring residences within 300 feet of the project site is optional.
3. Show graphically that there is a clearly defined building or courtyard entry from the primary street.
4. Provide window details that illustrate that the windows are well-proportioned and provide relief, detail, and visual rhythm.
5. Show graphically that the garage or carport does not dominate the façade of the dwelling.
6. Provide samples of building materials and colors.
7. For Accessory Dwelling Units (ADUs), show how the ADU reflects the architectural character of the primary residence. Photos of existing residence are an option.
8. For ADUs, show a clearly defined building entry, accessible from the street, with a well-lit paved walkway leading to it.

Swantown Staff Design Review: Parcel #:32700600005

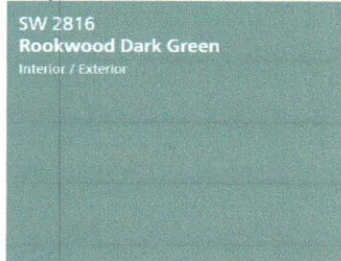
Supplement Items:

- 1: ELEVATION PLANS: Exterior material Hardiplank Lap Siding with a 7"/ Matching Reveal, Optional Decorative Gable Roof on North and East Elevations. Facia, Corner, Trim and Door/Window wrap to match existing (SEE A5 & A6 plan attachments)
- 2: Graphic Proof of compatibility with existing residences (see capture of Birdseye view for scale)
- 3: Entry from primary street: 11th Ave SE (see capture of Birdseye view)
- 4: Window detail: See placement on elevation plans that provide proof of relief, detail and visual rhythm
- 5: Garage/ Carport does not dominate the façade of dwelling. Incorporated into building, see lower floor plan detail on South Elevation.
- 6: Samples of Building materials and colors:

EXTERIOR: Hardi Plank Lap Siding with 7"/ Matching reveal

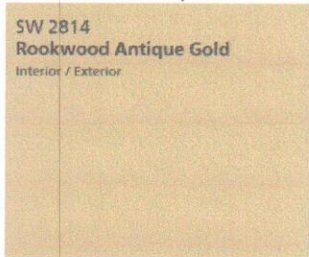
PAINT:

Body Color - Rookwood Dark Green SW 2816

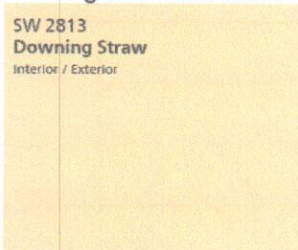


Trim

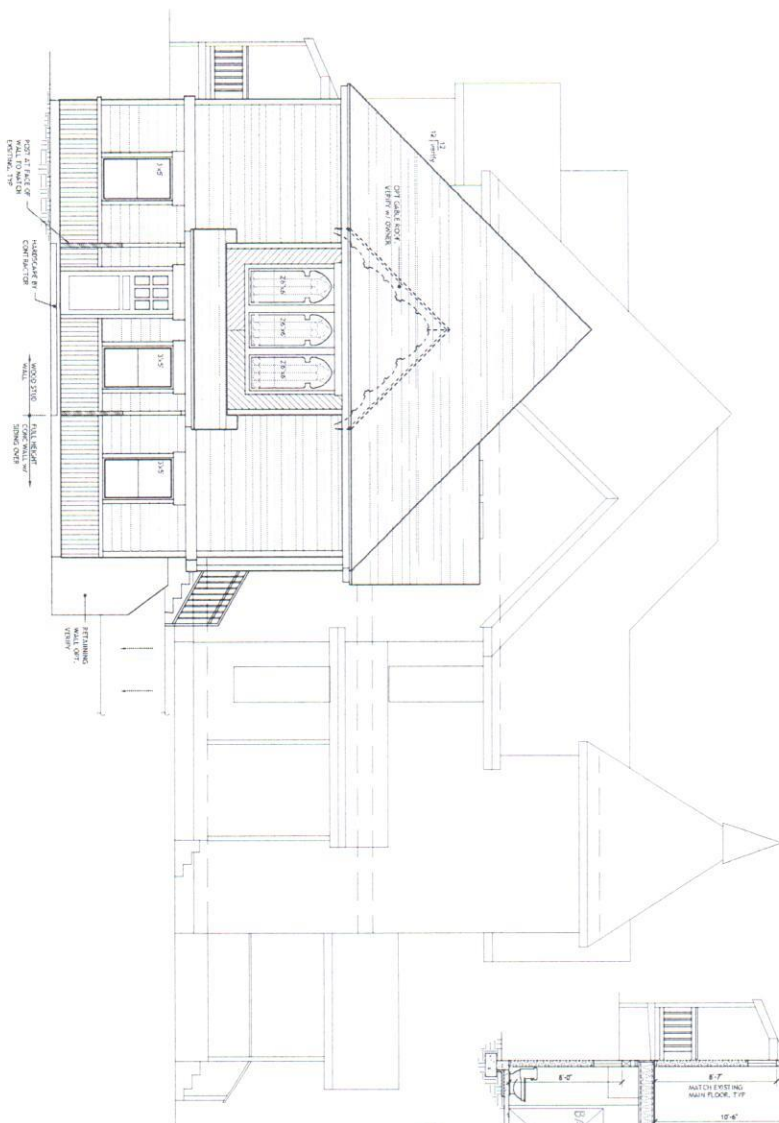
Rookwood Antique Gold SW 2814



Downing Straw SW 2813

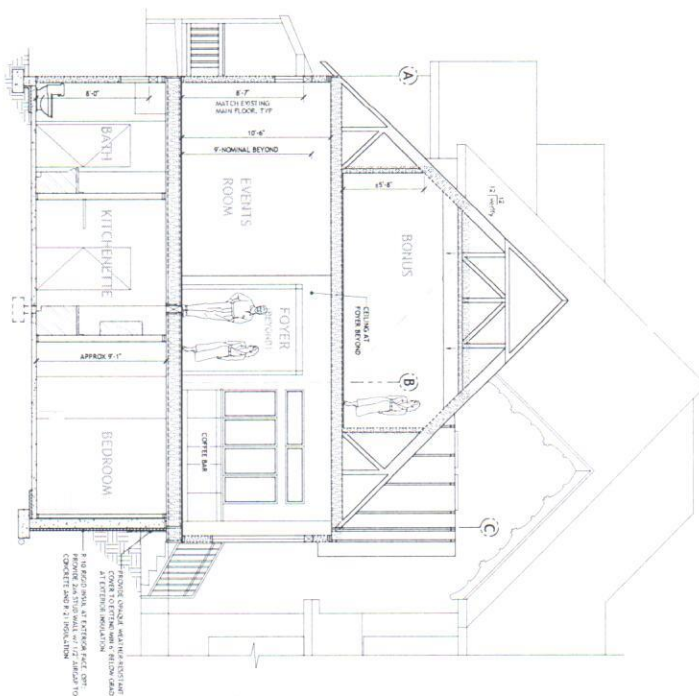


Manilla SW1394
Ironsides SW 2720



East Elevation
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



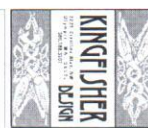
Section D
SCALE: 1/4" = 1'-0"

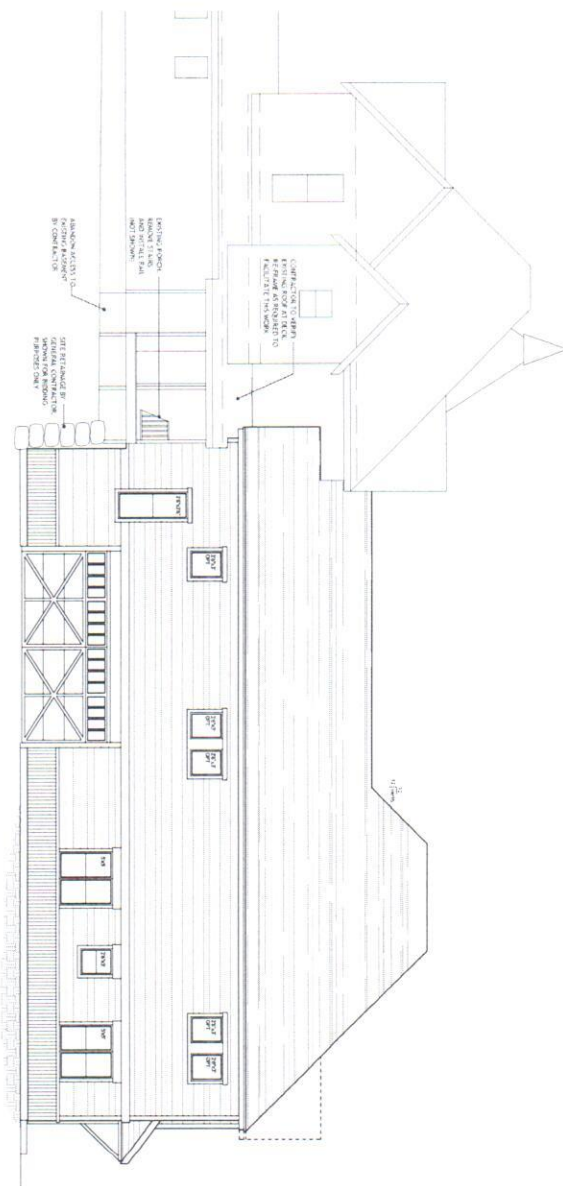
SCALE: 1/4" = 1'-0"

Sheet Title:
SWANTOWN INN & SPA ADDITION
Section/Elevation
1431 11TH AVENUE SE, OLYMPIA, WA
A Design Firm
ISLAND TIME ENTERPRISES LLC
360-753-9123

Drafted by:	C. H. S.
Designed by:	C. H. S.
Issue Date:	10/21/16

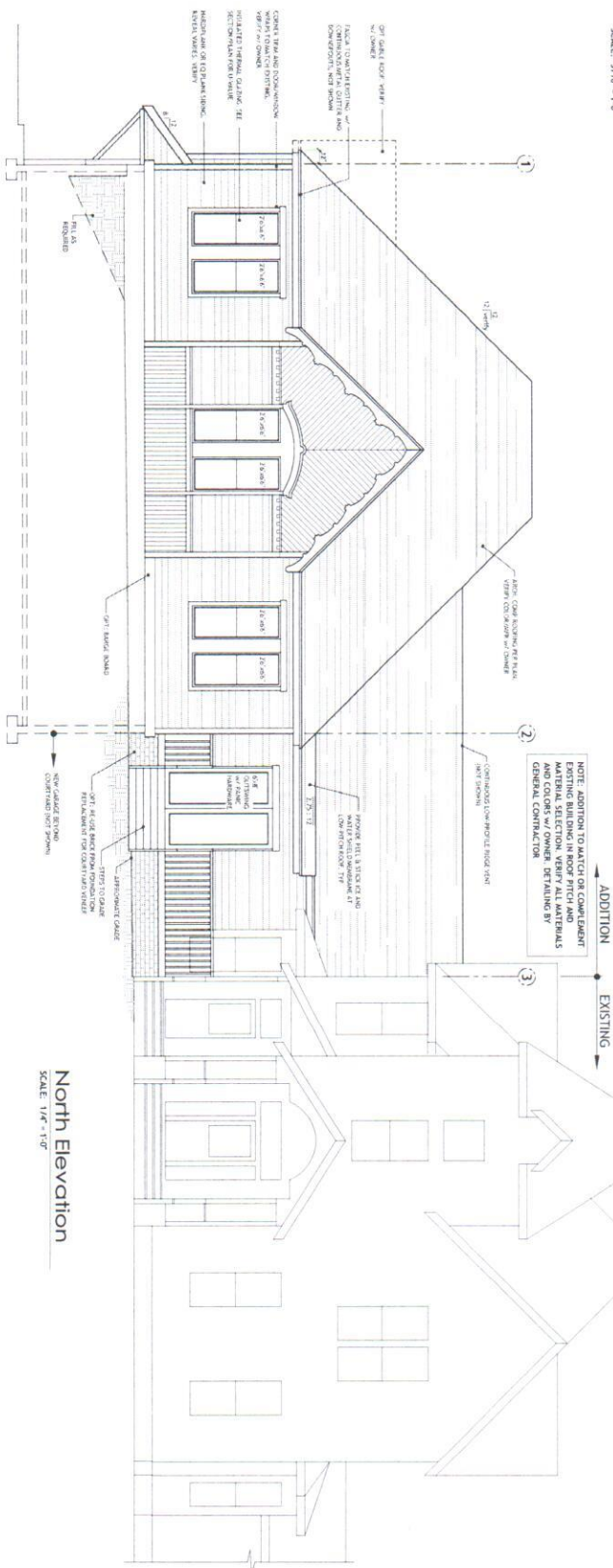
A5





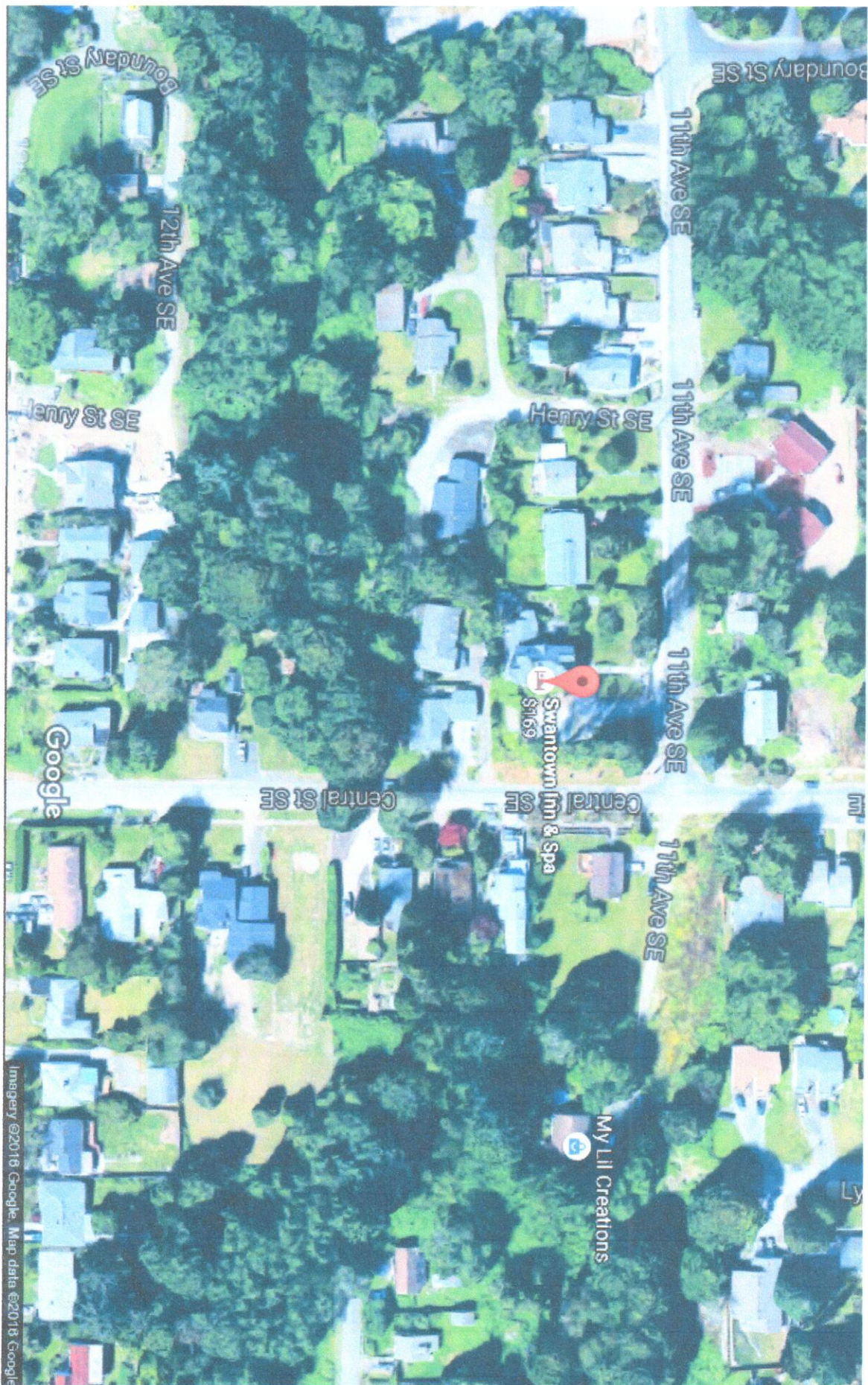
South Elevation

SCALE: 3/16" = 1'-0"



North Elevation
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



Site Plan: Swantown add.
1431 SE 11th Ave. Oly
Parcel # 32700600005
 $\frac{1}{2}" = 10'$ Scale North

Page 1.

Lot Size 29,410

Impervious Information:

Existing: SFR 2,307 #
256 porches
Drive 1,755
Shed 140
Exist Total 4,458 #

proposed:

New Add. 1,741 #
New walk 48 #
New Pad 140
New Total 1921

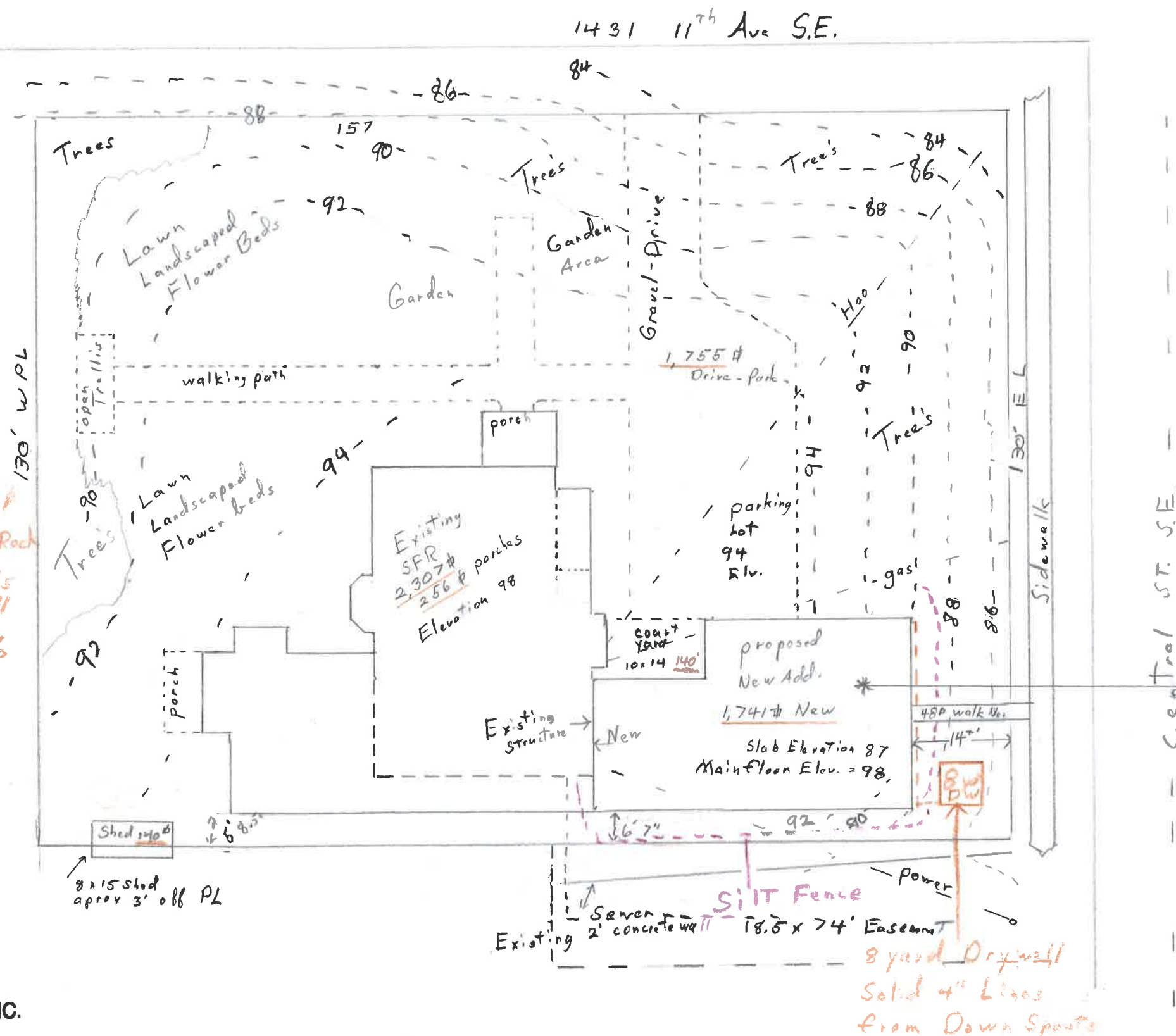
Soil Type **A** = 125 c.f. x 1,000 #
1741 # Rock = 218 C.F. Rock
= 22 x 8 yds
Dry well

Total Imp: 6,379 = 31%



Scale $\frac{1}{2}" = 10'$

HOME RESOURCE COMPANY, INC.
4817 FOXTRAIL DRIVE N.E.
OLYMPIA, WA 98516



Present Site: is clear of
Trees; brush + black burrs,
ground cover presently.



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