

Project Name: Olympia Courtyard HotelMaster File: #14-0157☐ Concept Design ReviewDate: November 12, 2015☒ Detail Design ReviewDate: July 27, 2017

**CITY OF OLYMPIA
BASIC COMMERCIAL DESIGN CRITERIA
Chapter 18.110**

NOTE TO DESIGN REVIEW BOARD MEMBERS: THE FOLLOWING DETAIL DESIGN REVIEW STAFF RESPONSES AND RECOMMENDATIONS WITHIN THIS CHECKLIST ARE SHADED

18.110.020 - Frontage			
A. REQUIREMENT:			Buildings must abut at least fifty percent (50%) of the street frontage. Gaps in frontage between buildings on a single project may not exceed eighty (80) feet in length.
Complies	Conflicts	N/A	
		<input checked="" type="checkbox"/>	
18.110.030 - Connections			
A. REQUIREMENT:			Provide driveway and sidewalk connections to and through the development to adjoining streets, bus stops, designated urban trails, and properties, where access exists or reasonable connections are possible. If a parking lot lies between the building entry and an adjacent public street, a pedestrian walkway at least six (6) feet wide shall be provided between them. In all other cases, on-site sidewalks shall have a passable width of at least four (4) feet. All crossings of vehicular travel lanes shall be clearly marked.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:**CONCEPT DESIGN REVIEW****STAFF RESPONSE:**

The proposal includes the following pedestrian connections:

- *A 6-foot walkway between Henderson Park Lane to the building entrance;*
- *5-foot walkways around the building; and*
- *Extension of the Olympia Woodland Trail through the parking lot.*

Additional pedestrian elements are needed to comply with this requirement, including:

1. *Pedestrian walkway from the north parking lot to the building. This can be accomplished with the use of pavement markings;*
2. *Clearly marked pedestrian crossings across drive aisles within the parking lot; and*
3. *Pedestrian connection to Hillside Drive (required of the Henderson Binding Site Plan).*

These connections have been included as a condition of approval in the staff report. Site lighting will also be evaluated during land use approval to ensure adequate illumination for pedestrian safety.

On-site directional signage will be important for on-site users hauling luggage, finding parking, and walking from the outer perimeter of the parking lot. A condition of approval has been included in the staff report for the provision of **directional signage** such as “to lobby”, “main entrance”, “bicycle storage”, etc.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

Connections to the building from parking areas are easiest to distinguish on Sheet SP1.1, the Lighting Plan.

Items 1-3 above, required by the Board at the concept stage of review and as part of final project approval, are now shown in the Architectural Plan Set (Attachment 3). However, wayfinding signage and on-sight directional signage, such as the type mentioned above, do not appear in the plan set, and will be required prior to Certificate of Occupancy.

Recommendation:

- Provide on-site directional signage. Examples include “main entrance”, “guest parking”, and “bike parking”.

18.110.040 - Fences and Walls			
A. REQUIREMENT:			Minimize the use of fences that inhibit pedestrian movement or separate the project from the neighborhood and adjoining streets. Front yards shall be visually open to the street. Where fencing is necessary, maintain a human scale along the street by providing pedestrian connections through use of gates or openings at frequent intervals.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<i>Fences are not proposed.</i>			

18.110.050 - Pedestrian Amenities			
A. REQUIREMENT:			Provide pedestrian amenities in places where people typically gather, including but not limited to, transit stops, building entrances, or street corners. These spaces must include seating, landscaping, and at least two of the following: <ol style="list-style-type: none"> 1. Patterned materials on walkways; 2. Shelters; 3. Trash receptacles; 4. Drinking fountains; 5. Pedestrian lighting, light bollards, or alley lighting; 6. Fountains, sculptures, mobiles, kiosks, or
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

	banners; 7. Street trees, flower boxes, or container landscaping in alleys; 8. Street vendor stations where appropriate; or 9. Bike racks.
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CONCEPT DESIGN REVIEW

STAFF RESPONSE:

Proposed pedestrian amenities include bike parking near the main entry and a courtyard on the west side of the building. Landscaping is proposed around the perimeter of the courtyard. To fully comply with this requirement, at least one more amenity is needed, such as outdoor seating in the courtyard and/or pedestrian lighting along walkways. This has been included as condition of approval in the staff report.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

Pedestrian amenities now incorporated in the building design include:

1. Benches near the east and west building entrances - front door and courtyard area;
2. Covered short term bicycle parking located near the front building entrance;
3. Pedestrian scale lighting near walkways (bell-shaped luminaire), building mounted lighting, and parking lot lighting; and
4. Substantial landscaping around the building and site that includes trellises, flowering vines, and special pavements.

This requirement is met.

18.110.060 - View Preservation			
A. REQUIREMENT:			In order to protect the existing outstanding scenic views which significant numbers of the general public have from public rights-of-way, applicants for development must consider the impact their proposal will have on views of Mt. Rainier, the Olympic Mountains, Budd Inlet, the Black Hills, the Capitol Building, and Capitol Lake or its surrounding hillsides. All development must reserve a reasonable portion of such territorial and immediate views of these features for significant numbers of people from public rights-of-way, and shall provide lookouts, viewpoints, or view corridors so that visual access to existing outstanding scenic vistas is maintained. Refer to the Scenic Vista overlay zoning maps available at the Community Planning and Development Department.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18.110.070 - Building Location and Design

A. REQUIREMENT:			
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Place commercial buildings on the street edge and locate parking on the side or behind the building. Parking lots shall not be located on corners. Exceptions may be made where an alternative building location would provide as good or better pedestrian access. Exceptions may be made in the Auto Oriented Design District and in the HDC-4 Capital Mall area (see Section 18.130.060. 2. Entrances to buildings shall be clearly articulated and obvious from the street. 3. Commercial and public buildings over three (3) stories must have a clearly defined base at street level that is no more than two stories high.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

The proposed project is unable to meet Requirement #1 due to an existing sanitary sewer line. As allowed under OMC 18.100.100, creative solutions are encouraged as long as they achieve a superior result. One solution would be to provide significant landscaping at the building entry, site entrance, and street frontage. This has been included as a condition of approval in the staff report.

Requirement #2 is met with the use of a porte cochere, which provides an articulated entrance.

Requirement #3 is partially met with the use of stone at the base of the rounded front façade on the east elevation and on a portion of the west façade. To fully meet this requirement, a clearly defined base around the building is needed (also addresses the requirement for consistency under 18.110.140). This has been included as a condition of approval in the staff report.

DETAIL DESIGN REVIEW

STAFF REVIEW:

The form of the building is no longer curvilinear but angled and modulated as expressed in the craftsman style.

Wall sections in combination with materials and design features (i.e., railings and decks, exposed beams) do not appear to be entirely consistent around the building. Materials such as the cultured stone are not consistently used. Upper level decks that appear in the black and white elevations are not depicted on the site plan, in the first floor plan, or on the lighting plan.

Recommendation:

- Roof forms, design features, decks and porches shall be designed to integrate as a whole, and shall be uniform and consistent around the building envelope. Exterior finish materials, modulation and articulation shall be coordinated to exhibit a coherent architectural style. OMC 18.110.070, 18.110.120, 18.110.140.

18.110.080 - Maintaining Human Scale			
A. REQUIREMENT:			Use design elements to maintain a human scale at the street. Projects requiring a conditional use permit in a residential zone must incorporate elements that relate to existing buildings in the neighborhood.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Where there is a strong sense of human scale neighborhood identity, use building modulation, roof forms, windows, materials, and details that are similar to the neighborhood buildings.
- ☐ Articulate façade design features to reduce the apparent size of large buildings. Design elements may include, but are not limited to: facade modulation, cornices, window patterns, plazas, porches, patios, decks, covered entries, balconies, bay windows, dormers, stepped roofs, gables or other roof elements, a variety of cladding materials, lighting fixtures, trellises, trees or other landscape features, and multiple paint colors and building materials.
- ☐ Locate retail shops with display windows at the street level around the exterior of larger commercial buildings.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

The proposed building partially meets this requirement through the use of modulation, use of one story elements (porte cochere and one-story element on west elevation), glazing at the building entrance, and exterior courtyard. To fully meet this requirement and guidelines, other design measures are needed such as greater modulation on the west elevation, use of additional building materials, colors, trellises, lighting, and other methods noted above. This has been included as a condition of approval in the staff report.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

The new building design reduces massing and scale impacts. The angles and modulation, the use of four distinct types of building material (hardi siding, hardi-plank, hardi-board and batten siding, cultured stone), and windows and fenestration pattern on the ground floor all contribute to a sense of human-pedestrian scale.

Additionally, four to six-foot-wide sidewalks surround the building providing ease of access. Wheel stops in parking spaces adjacent to the building provide adequate circulation and comfort, and entrances to the building are easily identifiable.

This requirement is met.

18.110.090 - Street Walls			
A. REQUIREMENT:			Use a high proportion of clear or lightly tinted glass at the street level for displays or to reveal services available where appropriate. This glass shall cover or comprise at least sixty (60) percent of the building face between two (2) and eight (8) feet in elevation above the sidewalk. If glass is not possible, at least one (1) of the following, or an equivalent, shall be substituted for glazing on the building walls fronting on a street, sidewalk, or other pedestrian walkway visible to pedestrians. The following guidelines are listed in order of preference. Wall segments without such treatments should not exceed thirty (30) feet in length:
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18.110.100 - Windows			
A. REQUIREMENT:			Windows shall provide relief, detail, and variation to building facades and shall be in harmony with the character of the structure.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Provide variation in rhythm both horizontally and vertically.
- ☐ Use windows that are recessed or protruding such as bay windows.
- ☐ Use visually significant window elements, including lintels, sills, casings, mullions, and frame dimensions.
- ☐ Provide more glazing area on the ground floor than on the upper floors.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

A greater amount of glazing is provided on the east and west elevations than on the north and south elevations. Windows are uniform in size and placement. It is unknown if windows are recessed or what level of fenestration is proposed (this information is not required for concept-level design review).

To meet this design requirement and guidelines, the following will need to be provided at the time of detail design review and has been included as a condition of approval in the staff report:

- *Greater variation in rhythm;*
- *Use of recessed windows; and*
- *Visually significant window elements.*

Use of these elements will be similar to those used on Hilton Garden Inn, also satisfying 18.110.080.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

Windows are shown in the black and white elevations (Sheets A2.0 and A2.1) with details shown in the Site Details (Sheet SP2.0). The windows appear to be well proportioned around the building with ample glazing on the ground floor. However upper story room windows do not appear to have 'significant window elements' such as sills, muntins, rails, and do not express depth in the façade.

Recommendation:

- Windows on upper floors of the hotel shall be recessed or protruding, and exhibit distinction in the façade.

18.110.110 - Projections into the Right-of-Way			
A. REQUIREMENT:			In order to create a positive visual experience for the pedestrian moving along the street, add interest and variety to building facades by using projections into the right-of-way.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18.110.120 - Roofs			
A. REQUIREMENT:			Provide relief, detail and variation to rooflines.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Use cornices at upper edge of façades or soffit overhangs on rooflines that abut the street.
- ☐ Use landscaped roof terraces and gardens on buildings that are stepped back from the street.

CONCEPT DESIGN REVIEW

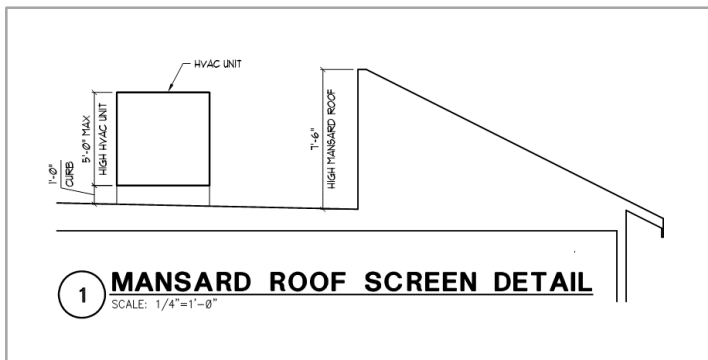
STAFF RESPONSE:

Except for the rounded façade on the west elevation and stair towers at the north and south ends of the building, a uniform roofline is proposed. The west elevation, visible from the I-5 corridor, has a uniform roof line. In order to meet this standard, additional relief, variation, and detailing is needed. Inclusion of such elements will be similar to the approach taken on the Hilton Garden Inn, also satisfying 18.110.080 above.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

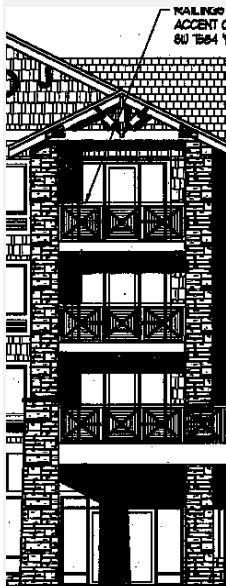
The Roof Plan shows a 7 foot in height primarily gabled parapet surrounding a flat interior roof, effectively screening the rooftop mechanical equipment (Roof Plan, Sheet A3.0).



Gable hip and cross-hipped roof forms surround the entire building, including the west elevation, visible from I-5. New roof details include gable end beams with exposed fasteners, located at wall section bump-outs with hardi-shake siding.



The articulation of the building along the east façade includes a vertical cultured stone section that appears disconnected from the remainder of the building. Modulation and articulation - building sections - should be consistent around the building.



Recommendation:

- Roof forms, design features, decks and porches shall integrate as a whole, and shall be uniform and consistent around the building envelope. Exterior finish materials, modulation and articulation shall be coordinated to exhibit a coherent architectural style.

18.110.130 - Corners			
A. REQUIREMENT:			Create pedestrian friendly building elements at intersections and alley entrances.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18.110.140 - Consistency			
A. REQUIREMENT:			Buildings shall have a consistent visual identity from all sides visible to the general public; except, building walls adjacent to alleys in the downtown design district.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☒ Use consistent exterior materials, architectural detailing, and color schemes.
- ☐ Buildings should present a comparable level of quality of materials, detailing and fenestration.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

The building provides a consistent level of design on the east and west elevations, but less so on the north and south elevations, which will also be visible to the general public. In order to meet this requirement and guidelines, additional detailing, windows, materials/colors, etc., will need to be provided and have been included as a condition of approval in the staff report.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

- Refer to sections 18.110.070 and 18.110.120 above.

18.110.150 - Colors and Materials			
A. REQUIREMENT:			Use building materials with texture and pattern (such as brick) on exterior building walls and large surfaces. Reserve brightly saturated colors for trim or accents.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Avoid large expanses of highly tinted or mirrored glass.
- ☐ Do not use highly reflective exterior materials (except glazing) where glare would affect nearby buildings or traffic.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

The design proposal includes EIFS (Exterior Insulation and Finish Systems) for the building exterior. In staff's opinion, this material by itself does not provide the required texture and pattern. In addition, EIFS does not weather well in the Pacific Northwest and is known to have a significant number of failures.

This was raised as an issue on the Hilton Garden Inn, and the Design Review Board required that the use of EIFS be minimized, and at a minimum, replaced on the ground floor with other materials. The applicant of that project modified the materials to include brick on the lower building level and stucco on the upper levels. While use of the same materials is not required, a condition to minimize the amount of EIFS has been included in the staff report.

Samples of building colors will be provided at the time of detail design review.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

Building materials include:

Hardi-plank siding - 'Felted Wool'

Hardi-shake siding - 'Nuthatch'

Board and Batten siding - 'Anonymous'

Cultured stone - 'Chardonnay Country LedgeStone'

Roofing material - Owen's Corning 'Aspen Gray'

'Black Fox' trim around doors and first floor windows

Colors and materials express the intended style of 'Northwest Lodge'; EIFS is no longer included in the list of exterior building materials.

This requirement is met.

18.110.160 - Lighting				
A. REQUIREMENT:				Use lighting to emphasize the building and landscaping, and to provide visibility and general security. Lighting shall not shine off-site or into adjacent buildings.
Complies	Conflicts	N/A		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

B. GUIDELINES:

- ☐ Use lighting to emphasize key architectural elements and landscape features.
- ☐ Use adequate lighting along sidewalks and alleys to provide well-lit pedestrian walkways.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

At this stage of review, only pole lighting in the parking lot and lighting over ingress/egress doors is proposed. To better comply with this requirement, additional lighting is required, in particular along walkways and drive aisle crossings for pedestrian safety. This has been included as a condition of approval in the staff report.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

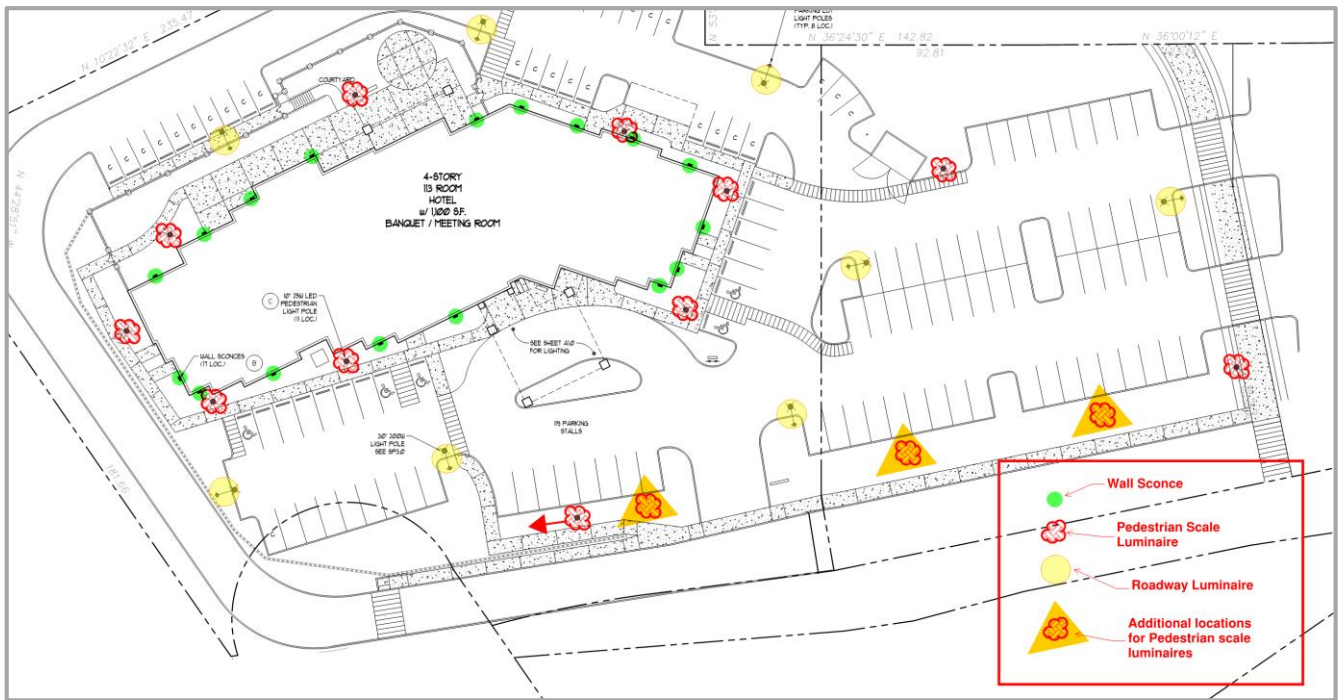
The Lighting Plan, Sheet SP1.1 now includes four types of building mounted and freestanding lighting (also shown on the Site Plan, Sheet SP1.0).

- Sconce lighting on the building, suitable for wet conditions and dark-sky compliant, pedestrian scale lighting.
- Bell-shaped luminaire lighting emits a 5-foot pool of light on the ground with no glare, height dimension in the specifications states a 22-foot height, but the plans show a height of 10 feet...? The manufacturers cut sheets suggests 8-10 foot spacing.
- Can recessed lighting under the Porte Cochere and under the patio cover near the rear courtyard, 600 lumens or approximately equivalent to a 60W bulb.
- Eight (8) Roadway luminaires heights of 25 feet and 30 feet. Explain the difference in heights - may be an oversight, may have 25-foot-tall lamps on the west side of the site along the Freeway...

The length of the walkway from the north property line, between the two hotels, and the southeast corner of the development (parking lot) is approximately 200 feet on the northeast side of the entrance, and approximately 135 feet south of the driveway entrance. However, only two pedestrian scale luminaires are located along this expanse of walkway - not entirely safe or comfortable for pedestrians at night.

Recommendation:

- Provide more bell-shaped lighting along the Henderson Park Lane SE sidewalk, on both sides of the main driveway entrance (refer to the graphic below).
- Direct parking lot roadway luminaires away from I-5 and expressly on-site.



18.110.170 - Parking Structures			
A. REQUIREMENT:			
Complies	Conflicts	N/A	Vehicle entries to garages shall be recessed at least six (6) feet from the street facade plane. At least sixty (60) percent of the street facade between two (2) and eight (8) feet above the sidewalk, shall have at least one (1) of the treatments listed below.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18.110.180 - Plant Selection			
A. REQUIREMENT:			
Complies	Conflicts	N/A	Select plants that are compatible with planting conditions and existing landscaping. Plant trees that at their mature, natural size will be well-suited to the planting location. Avoid use of invasive species adjacent to critical areas. Do not plant noxious weeds, as defined by the Thurston County Noxious Weed Control Program (lists are on file with Thurston County or the City's Community Planning & Development Department).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☒ Provide visual continuity with the existing streetscape by coordinating tree and shrub species with established, healthy landscaping.
- ☒ Consider mature tree size in relation to planting area dimensions and soil type.
- ☐ Avoid a haphazard appearance by using a limited number of plant species.

- ❑ Choose native plant species for primary landscaping; limit use of exotic plant species to areas of interest or effect.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

*A variety of trees, shrubs, and ground cover are identified on the landscape plan. All are generally suited to local conditions and provide visual continuity throughout the project and with landscaping to be installed on the Hilton Garden Inn site. Given the site's proximity to forested areas, consideration should be given to plants that are **deer resistant**.*

At the time this checklist was prepared, staff was still reviewing the landscape plan for consistency with landscape standards in OMC 18.36. Some issues that have been identified include:

- *Tupelo (Nyssa Sylvatica) may not be the best selection for parking lot landscape islands because of their root systems;*
- *Conflicts between lights, hydrants, meters, utility lines, and trees;*
- *Landscape islands widths adjacent to the trash enclosure are not wide enough and do not include canopy trees;*
- *Soil conditions and amendments to support long term plant health; and*
- *Adequate soil depth over the stormwater vault in the north parking lot to support plant growth.*

The staff report includes a condition of approval for these issues to be addressed in conjunction with the final landscape plan.

DETAIL DESIGN REVIEW

STAFF RESPONSE

The Board conditioned the concept design review to consider plants that are deer resistant plantings. The landscape plan does not call out which plants are deer resistant.

Trellises shown on the black and white elevations shown on sheets A2.0 and A2.1 - extend 18" from the building wall - should be integrated with the Landscape Plan Sheets LS-01 and LS-02. South, southeast, east, north, northwest façade trellis' are not shown on the Landscape Plan.

Over 60 different plant species are depicted in the Landscape Plan, only 16% of which are shown to be native plants (Sheet LS-02). The condition at concept design review: Incorporate more native species in the plant palette.

Recommendation:

- **Add deer resistant plants to the Landscape Plan, call out the plants in the Plant Material List.**
- **Depict the trellis features in the Landscape Plan and select plants that will thrive, grow vertically, and fill the trellis.**
- **Incorporate more native plants in the Landscape Plan.**

18.110.190 - Screening Site Services			
A. REQUIREMENT:			Show the location of all mechanical equipment and utility vaults on both site and landscape plans early in the design process. Provide visual screening so that mechanical equipment and utility vaults are not visible from adjacent public rights-of-way, or adjacent dwelling units. Screen roof-top mechanical and communications equipment on all sides.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Locate mechanical equipment and utility vaults on the least visible side of the building and/or site.
- ☐ Screen at-grade locations with vertical plants such as trees, shrubs or ornamental grasses.
- ☐ Screen or paint wall mounted mechanical equipment to match the building.

CONCEPT DESIGN REVIEW

STAFF RESPONSE:

The plans show some information regarding site services, such as the trash enclosure, electrical vaults, and meters. Roof-top mechanical equipment is not shown at this time. More detailed information will be provided during detail design review.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

Roof-top mechanical equipment is located on the roof and screened by a 7-foot-tall parapet. Site facilities such as the solid waste enclosure, are screened from view. Building mounted meters and piping should be painted to blend in with the colors of the building.

Recommendation:

- Screen or paint wall mounted mechanical equipment to match the building.

18.110.200 - Screening Blank Walls			
A. REQUIREMENT:			Use a variety of landscape materials along lengthy expanses of blank walls or fences.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Screen walls or fences with a combination of trees, shrubs and vines.
 - Use irrigated raised planter boxes for screening purposes.

- In narrow planting areas adjacent to walls or fences, use espaliered trees or shrubs and vines.

STAFF RESPONSE:

Blank walls occur on the west, north and south elevations. In addition to any design changes required under the Basic Commercial design standards, landscaping can be used to soften building elevations. This has been included as a condition of approval in the staff report.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

- Refer to section OMC 18.110.180 above.

**CITY OF OLYMPIA
COMMERCIAL DESIGN REVIEW - FREEWAY CORRIDOR DISTRICT
Chapter 18.145**

18.145.020 - Landscape screening adjacent to freeways			
A. REQUIREMENT:			Provide landscape screening adjacent to the freeways where development is visible to motorists passing through the City of Olympia. All properties adjacent to the freeway shall provide a sight-obscurating hedge and/or a sound-absorbing wall measuring between four (4) feet and six (6) feet in height.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Landscape screening may include plant materials, fences, berms, and walls.

STAFF RESPONSE:

A mix of evergreen and deciduous trees and evergreen shrubs is proposed along the western property line adjacent to I-5. With the exception of two areas, one 5 feet in width and the other, 3 feet in width, the average width exceeds 10 feet.

The southern 230 feet of the site is separated from I-5 by a railroad line but will still be visible to passing motorists. Additional landscaping will be needed to provide greater screening along this property line. This has been included as a condition of approval in the staff report.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

- This requirement is met and illustrated in the detailed landscape plan.

18.145.030 - Security and site lighting			
A. REQUIREMENT:			Eliminate glare onto the freeways from security lighting and site lighting.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

Use the following techniques to prevent spillover lighting glare:

- ☐ Use cut-off lenses to prevent light from shining off site.
- ☐ Locate light fixtures to avoid spillover lighting onto freeways.

STAFF RESPONSE:

The only lighting shown at this time is in the parking lot. Details regarding the use of cut-off fixtures and building-mounted lights will be provided at the time of detail design review.

DETAIL DESIGN REVIEW

STAFF RESPONSE

Pedestrian pole lights, Type C, suggest a typical spacing width of 8-10'. For nighttime pedestrian comfort and navigation, it appears that more lights would be needed along the sidewalk abutting Henderson Park Lane SE, on each side of the driveway entrance.

Recommendation:

- Refer to section OMC

18.145.040 - Signs adjacent to freeways			
A. REQUIREMENT:			To reduce visual sign clutter, signage shall be distinct and minimal. Signs along the freeways are limited to identification of the multifamily complex, shopping center, or industrial complex adjacent to the freeway. Signs must conform to the Olympia Sign Code.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ The identification sign should be located flush on the primary building wall facing the freeway or freestanding in the landscape area no closer than five (5) feet to the freeway rights-of-way.
- ☐ Freestanding signs should not exceed twenty-five (25) feet in height nor two hundred (200) square feet in sign surface area (total of all sign faces of the sign).
- ☐ Signs mounted flush on the building may not exceed one (1) square foot of sign surface area per one linear foot of wall it is mounted on up to two hundred (200)

square feet of sign surface area, (a twenty (20) foot long wall may have up to a twenty (20) square foot sign) in accordance with Chapter 18.42, Signs.

STAFF RESPONSE:

Signage is shown on the east elevation, facing away from the freeway.

DETAIL DESIGN REVIEW

STAFF RESPONSE:

The Courtyard Marriott Hotel building mounted sign appears on the east and west building facades. There are no other indications of signage, such as freestanding monument, doorway signage, wayfinding signage. Signage is submitted under separate permit application and will be reviewed for compliance with OMC 18.42, Signs, at the time of building permit review.