

# WESTMAN MILL - VICINITY MAP

510 State Ave NE, Olympia, WA 98501  
 PARCEL No. 66130000403



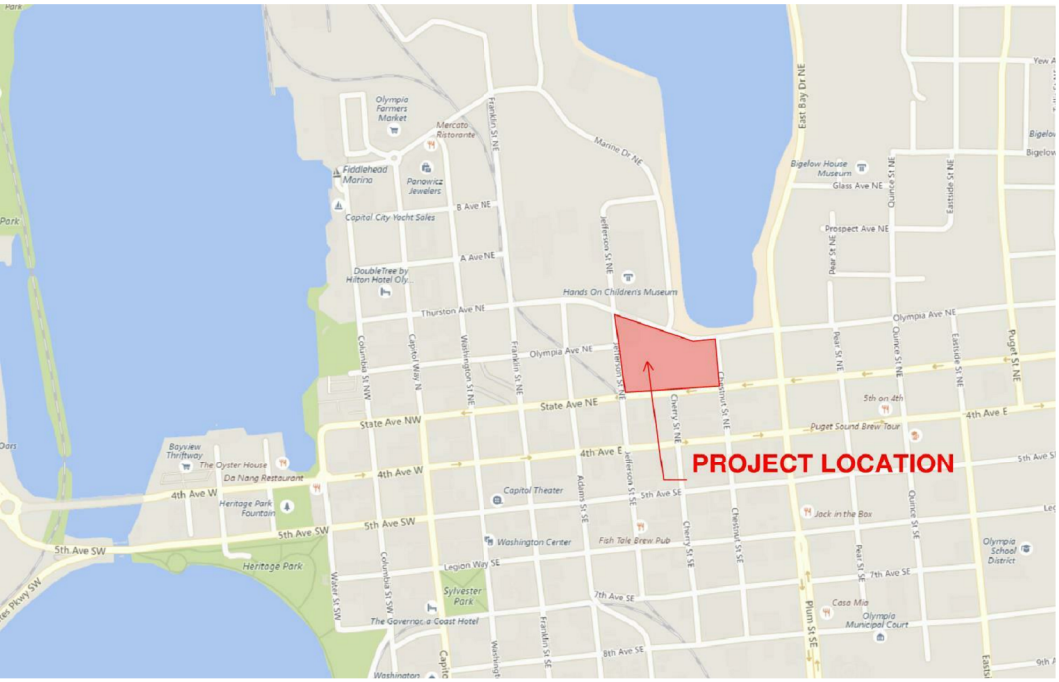
# WESTMAN MILL

## CONCEPT DESIGN REVIEW

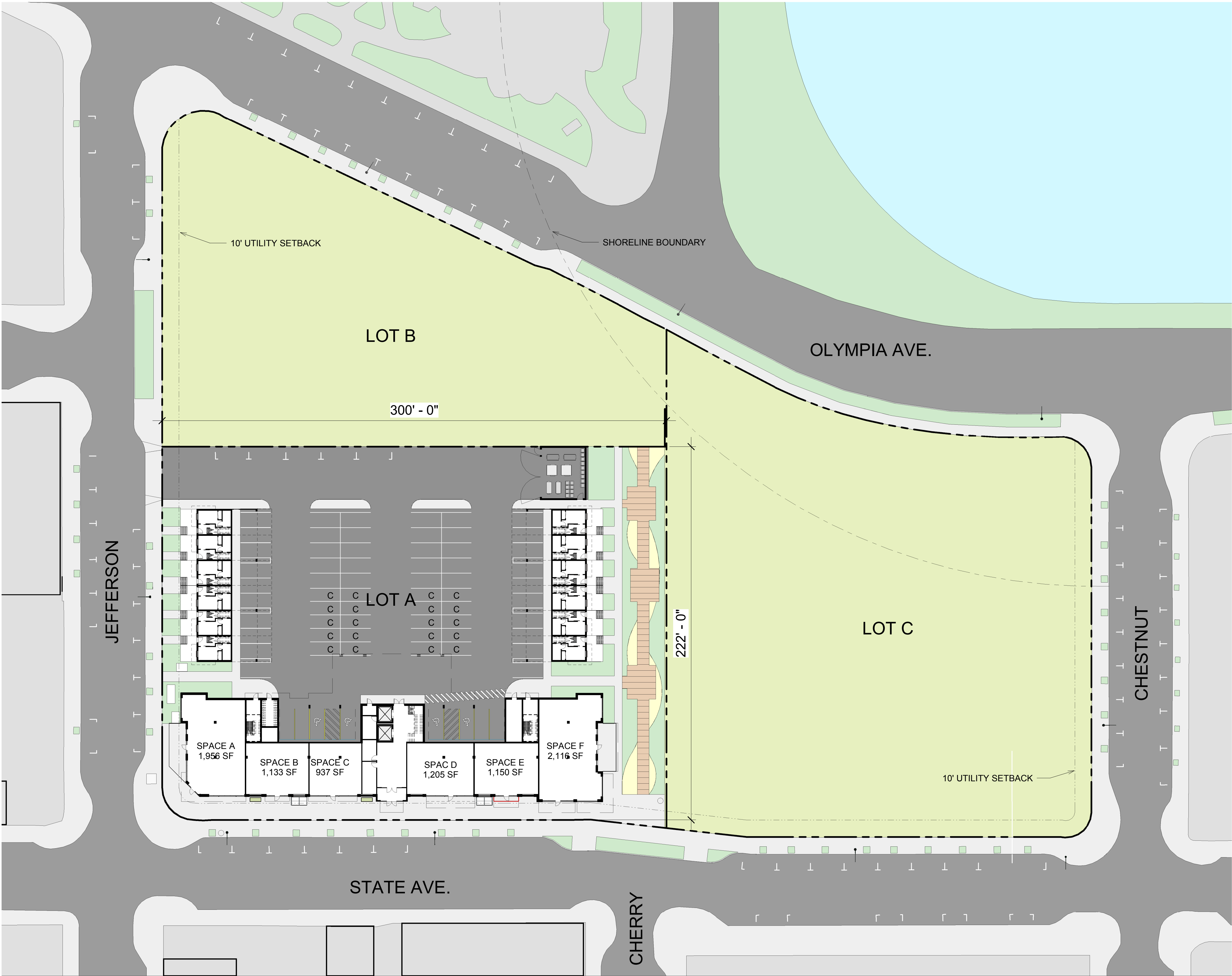
SEPTEMBER 14, 2017







CITY CONTEXT



1 SITE PLAN-CONTEXT  
1" = 30'-0"







③  
CONTEXT WEST ELEVATION - VIEW  
FROM JEFFERSON ST  
1/16" = 1'-0"



②  
CONTEXT EAST ELEVATION - VIEW  
FROM CHERRY ST  
1/16" = 1'-0"



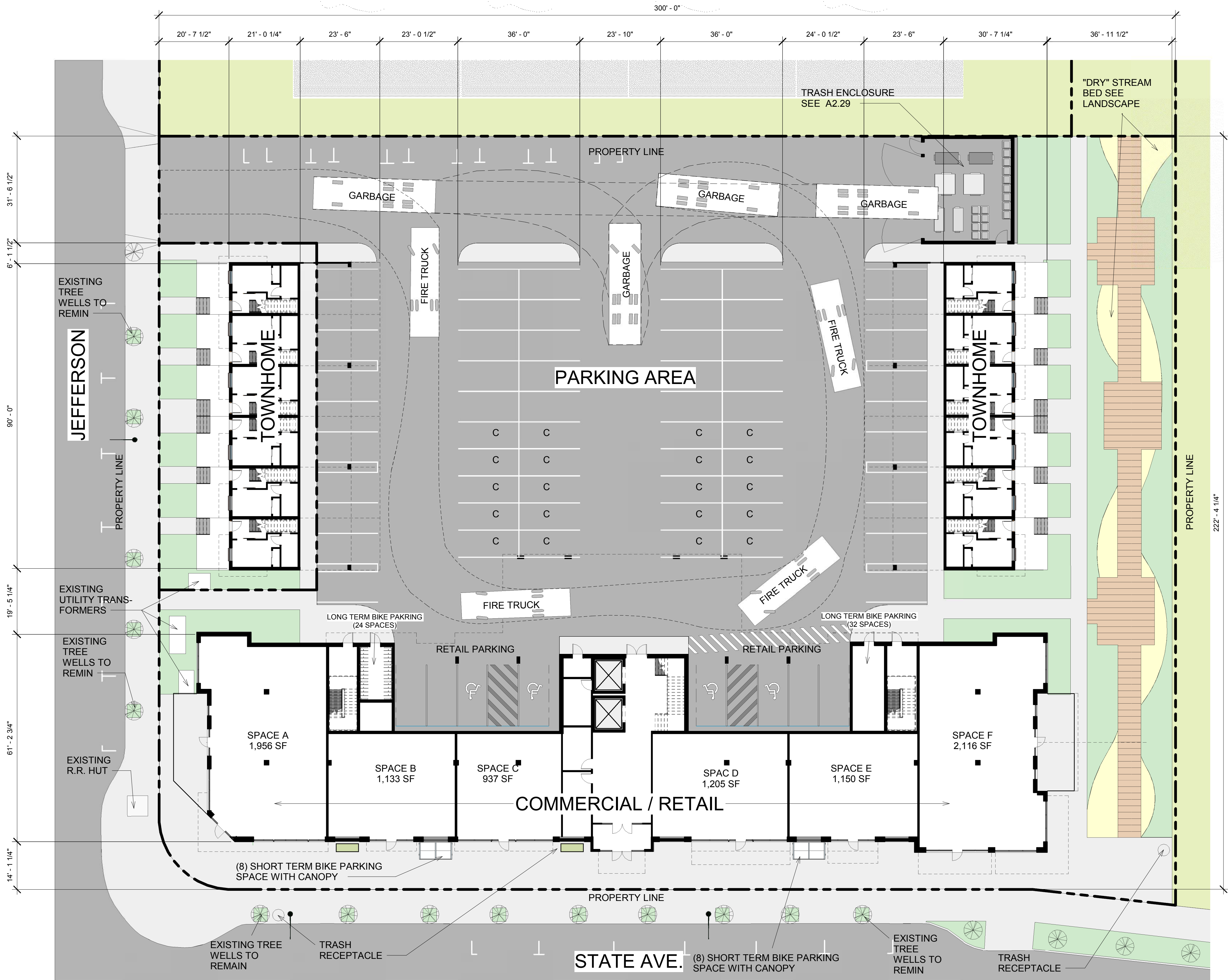
①  
CONTEXT SOUTH ELEVATION - VIEW  
FROM STATE AVE  
1/16" = 1'-0"





**CONTEXT IMAGES OF EXISTING**





1 SITE PLAN  
1/16" = 1'-0"



VICINITY MAP  
510 STATE AVE NE, OLYMPIA, WA 98501  
PARCEL # 66130000403

GENERAL SITE NOTES  
1. PARKING DESIGN MEETS REQUIREMENTS FOR DOWNTOWN  
STRUCTURED PARKING DIMENSIONS PER OMC 18.38.220.

SITE INFORMATION	
EXISTING SITE:	
SITE AREA=	67,017 SF
EXISTING PARCEL AREA=	67,017 SF
EXISTING LANDSCAPE(PERVIOUS)=	67,017 SF
EXISTING IMPERVIOUS COVERAGE	0%

NEW:	
BUILDING FOOTPRINT =	15,928 SF
TRASH ENCLOSURE FOOTPRINT =	878 SF
PAVED PARKING AREA(IMPERVIOUS) =	30,624 SF
HARDSCAPE =	11,185 SF
TOTAL IMPERVIOUS	58,615 SF

NEW LANDSCAPE AREA (PERVIOUS) =	8,402 SF
TOTAL PERVIOUS =	8,402 SF

UNIT COUNT SUMMARY	
MAIN BUILDING (SOUTH)	74 UNITS
TOWNHOME (EAST)	6 UNITS
TOWNHOME (WEST)	6 UNITS
TOTAL UNITS	86 UNITS

RETAIL AND COMMERCIAL COUNT SUMMARY	
SPACE A	1,956 SF
SPACE B	1,133 SF
SPACE C	937 SF
SPACE D	1,205 SF
SPACE E	1,150 SF
SPACE F	2,116 SF
TOTAL SF FOR RETAIL AND COMMERCIAL	8,497 SF

PARKING SUMMARY	
OFF-STREET PARKING (EXISTING) =	0 SPACES
OFF-STREET PARKING (NEW) =	73 SPACES
OFF-STREET PARKING TOTAL =	73 SPACES
38 COVERED SPACES	
35 UNCOVERED SPACES	

30% OF ALL SPACES CAN BE COMPACT = 20 COMPACT SPACES PROVIDED (NOTED W/ 'C')  
30% x 73 = 22 SPACES

OMC 18.38.060 PARKING & LOADING REGULATIONS  
RETAIL PARKING REQUIREMENT TABLE 38.01  
RETAIL: 3.5 SPACES PER 1,000 SF  
8,500 SF 3.5 = 8.5 X 3.5 = 29.75= (30) STALLS REQUIRED FOR RETAIL

J. ON STREET CREDIT (1) STALL PER 20 LF OF CURB  
205 LF OF CURB ON STATE + 140LF OF CURB ON JEFFERSON = (17) ON STREET STALLS FOR RETAIL PARKING  
(5) PARALLEL PARKING STALLS ALONG ACCESS DRIVE DEDICATED TO RETAIL.  
(8) PERPENDICULAR STALLS DEDICATED TO RETAIL PARKING  
TOTAL RETAIL PARKING REQUIRED: 30  
TOTAL RETAIL PARKING PROVIDED: 30

LONG TERM BICYCLE STORAGE REQUIREMENTS	
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/6,000 SF)	2 SPACES
MAIN BUILDING (54 RESIDENTIAL UNITS @ 1/UNITS)	54 SPACES
MAIN BUILDING (20 RESIDENTIAL STUDIO @ 0/UNITS)	0 SPACES

RESIDENTIAL TOWNHOME (EAST)	0 SPACES
RESIDENTIAL TOWNHOME (WEST)	0 SPACES

LONG TERM BICYCLE TOTAL REQUIRED =	56 SPACES
LONG TERM BICYCLE PROVIDED (NEW AT MAIN BUILDING) =	56 SPACES

SHORT TERM BICYCLE STORAGE REQUIREMENTS	
MAIN BUILDING (8,497 SF RETAIL / COMMERCIAL @ 1/1,000 SF)	9 SPACES
MAIN BUILDING (74 RESIDENTIAL UNITS @ 1/10 UNITS)	8 SPACES

RESIDENTIAL TOWNHOME (EAST)	0 SPACES
RESIDENTIAL TOWNHOME (WEST)	0 SPACES

SHORT TERM BICYCLE PARKING REQUIRED =	17 SPACES
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SHORT TERM BICYCLE PARKING EXISTING =	0 SPACES
SHORT TERM BICYCLE PARKING PROVIDED =	18 SPACES

- BUILDING AREA
- HARDSCAPE
- LANDSCAPE AREA
- BOARDWALK
- PAVEMENT



Jun 27, 2017 2:38:00pm - User: jll.mcfarland  
K:\PROJECTS\2417 AND GEN INVESTMENT GROUP, LLC\2417.01 URBAN OLYMPIA EASTBAY PARCEL 3 LOTS A&B\PHASE 1D - LANDSCAPE DESIGN\CAD\2417.01 X-LS.DWG

CHARACTER IMAGES FOR STREETScape



VINES GROWING ON GREEN SCREEN SUPPORTS



STREETSCAPE WITH TREES IN GRATES AND CONTRAST PAVING

SURETY BOND - OMC 16.60.100E.E

SURETY. For residential developments containing more than four units, commercial and industrial projects, the application will be required to post a surety. The surety shall be in the form approved by the city attorney. The surety document shall have a face amount equal to 125 percent of the estimated amount necessary to guarantee the maintenance and replacement of trees in conformance with the maintenance requirement and tree plan for a period of three years from the date the certificate of occupancy is issued by the City.

EXISTING SOIL TYPE NOTES

According to the 2007 report submitted by Landau Associates, the following soil types are found on the site:

The site is underlain by undocumented fill (sand, gravel, silt and wood deposits) and liquefiable recessional deposits. Due to previous site contamination, the Port of Olympia will remediate, cap and replace the top 12" of site soil.

Contractor shall take care to not disturb the cap unless required for planting trees. Excavation for trees and tree grates shall be coordinated with Owner's representative and Port of Olympia representative as needed.

TREE UNIT CALCULATIONS

Lot A Site

Buildable Site Area , Lot A	1.48 Acres
Required Tree Units/Acre	30 Units/Acre
Required Tree Units	44 Units
Existing Tree Units to Remain	0
New Tree Units Provided (Does not include street trees)	44
Total Site Tree Units	44

CHARACTER IMAGES FOR SWALE AND BOARDWALK



BOARDWALK



SWALE PLANTINGS



PLAZA, BENCH AND PLANTERS



BOARDWALK



DRY CREEKBED



PLAZA AND BENCH

INSTALLATION AND MAINTENANCE SCHEDULE

GENERAL CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF TREES TO REMAIN WITH OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION.

INSTALLATION & MAINTENANCE SCHEDULE - APPROXIMATE

OCT 2018 - DEC 2018	SOIL PREPARATION, IRRIGATION INSTALLATION, PLANTING, STAKING, WATERING. (INCLUDING STORM POND)
SUBSTANTIAL COMPLETION EXPECTED DECEMBER 2018.	
JAN 2019 - FEB 2019	60-DAY MAINTENANCE PERIOD. WEEKLY MAINTENANCE VISITS AND INSPECTION OF PLANT MATERIAL
MAR 2019	FINAL PUNCH LIST AND ACCEPTANCE OF PROJECT EXPECTED
MAR - SEPT 2019	WEEKLY MAINTENANCE VISITS
SEPT - NOV 2019	LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED
OCT 2019 - MARCH 2020	MONTHLY FERTILIZE AND PRUNING AS NEEDED
MARCH-SEPT 2010	WEEKLY MAINTENANCE VISITS
SEPT - NOV 2020	LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED
OCT 2020-MARCH 2021	MONTHLY FERTILIZE AND PRUNING AS NEEDED
MARCH-SEPT 2021	WEEKLY MAINTENANCE VISITS
SEPT - NOV 2021	LEAF AND TREE DEBRIS CLEAN-UP AS NEEDED
OCT 2021- JAN 2022	MONTHLY FERTILIZE AND PRUNING AS NEEDED



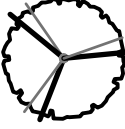
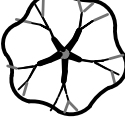
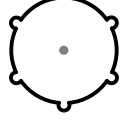














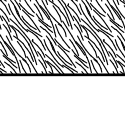
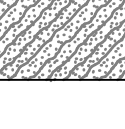


SHEET NOTES

- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER AND APPROVAL BY THE CITY OF OLYMPIA.
- ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
- CONTRACTOR SHALL PROVIDE IRRIGATION TO ALL NEW BEDS. IRRIGATION SHALL BE AUTOMATICALLY OPERATED WITH ELECTRIC CONTROL VALVES. HEADS SHALL BE PLACED TO PROVIDE 100% COVERAGE OF ALL AREAS.
- PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. ALL PLANTING BEDS ARE REQUIRED BY THE CITY OF OLYMPIA TO BE PLANTED TO A DENSITY THAT WILL ACHIEVE 80% COVERAGE WITHIN 2 YEARS. SHRUB AND GROUNDCOVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
- ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

LANDSCAPE COST ESTIMATE

Included in the below Plant Schedule is cost information. This encompasses the cost of the Tree, Shrub and Groundcover planting, including purchase, installation and maintenance for 3 years.

PLANT SCHEDULE

TREES	BOTANICAL NAME	CAL	DESC.	QTY	UNIT COST	TOTAL
	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' WEEPING ALASKA CEDAR	B&B/CONT.	7'-8' HT.	8	\$480	\$3,840
	EXISTING STREE TREE TREE TO REMAIN	EXISTING		18		
	FAGUS SYLVATICA 'DAWYCK PURPLE' 'DAWYCK PURPLE' BEECH	B&B/CONT.	2" CAL., 12-14' HT.	13	\$480	\$6,240
	PRUNUS SERRULATA 'AMANOGAWA' JAPANESE FLOWERING CHERRY	B&B/CONT.	2" CAL., 12-14' HT.	12	\$480	\$5,760
	ZELKOVA SERRATA 'MUSASHINO' SAWLEAF ZELKOVA	B&B/CONT.	2" CAL. 10-12' HT.	11	\$480	\$5,280
SHRUBS	BOTANICAL NAME	SIZE	SPACING	QTY	UNIT COST	TOTAL
	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' 'KALEIDOSCOPE' ABELIA	5 GAL	3-1/2' O.C.	15	\$70	\$1,050
	CAREX AUREA GOLDEN SEDGE	1 GAL	2-1/2' O.C.	35	\$24	\$840
	CORNUS STOLONIFERA 'KELSEY' KELSEY DOGWOOD	3 GAL	3-1/2' O.C.	62	\$60	\$3,720
	GAULTHERIA SHALLON SALAL	3 GAL	3' O.C.	49	\$60	\$2,940
	HELICTOTRICHON SEMPERVIRENS 'BLUE OATS' BLUE OAT GRASS	1 GAL	2-1/2' O.C.	17	\$24	\$408
	ILEX CRENATA 'SOFT TOUCH' SOFT TOUCH JAPANESE HOLLY	3 GAL	3' O.C.	69	\$60	\$4,140
	IRIS DOUGLASIANA 'PACIFIC COAST HYBRIDS' PACIFIC COAST IRIS	1 GAL	2' O.C.	37	\$24	\$888
	LAVANDULA ANGUSTIFOLIA ENGLISH LAVENDER	5 GAL	2-1/2' O.C.	12	\$70	\$840
	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	3 GAL	3-1/2' O.C.	10	\$60	\$600
	MISCANTHUS SINENSIS 'MORNING LIGHT' 'MORNING LIGHT' EULALIA GRASS	1 GAL	3-1/2' O.C.	29	\$24	\$696
	PARTHENOISSUS QUINQUEFOLIA VIRGINA CREEPER	5 GAL	TIE TO VINE SUPPORT, PER DETAIL	8	\$70	\$560
	POLYSTICHUM MUNITUM WESTERN SWORD FERN	3 GAL	3-1/2' O.C.	7	\$60	\$420
	SARCOCOCCA HOOKERIANA HUMILIS SWEET BOX	5 GAL	3' O.C.	34	\$70	\$2,380
	SPIRAEA JAPONICA 'MAGIC CARPET' MAGIC CARPET SPIREA	1 GAL	3' O.C.	38	\$24	\$912
SHRUB AREAS	BOTANICAL NAME	CONT	DESC.	QTY	UNIT COST	TOTAL
	CAREX/PENNISETUM MIX SEDGE AND GRASS MIX	1 GAL	2-1/2' O.C.	148	\$22	\$3,256
GROUND COVERS	BOTANICAL NAME	CONT	DESC.	QTY	UNIT COST	TOTAL
	EUONYMUS FORTUNEI WINTERCREEPER	1 GAL	2-1/2' O.C.	94	\$24	\$2,256
	HYPERICUM PERFORATUM ST. JOHN'S WORT	1 GAL	2-1/2' O.C.	65	\$5	\$325
	OPHIPOGON PLANISCAPUS 'NIGRESCENS' BLACK MONDO GRASS	1 GAL	1 1/2' O.C.	20	\$24	\$480
					TOTAL:	\$47,831

BY

DATE

REVISIONS

△

SCJ ALLIANCE  
CONSULTING SERVICES

8730 TAILOR LANE NE SUITE 200 LACEY, WA 98516  
P: 360-352-1465 F: 360-352-1509  
SCJALLIANCE.COM

LANDSCAPE IMAGES AND NOTES

PROJECT NAME:  
EASTBAY LOT A  
OLYMPIA, WA

SEAL:

STATE OF WASHINGTON

JEFFREY B. GLANDER

NO 405 EXP. 02/06/19

LICENSED LANDSCAPE ARCHITECT

DESIGNER:  
J. MCFARLAND

DRAWN BY:  
J.MCFARLAND

APPROVED BY:  
J. GLANDER

DATE:  
JUN 2017

JOB NO:  
2417.01

DRAWING FILE NO:  
2417.01 X-LS

DRAWING NO:  
L-1

SHEET NO:  
1 OF 4



Jun 27, 2017 2:38:04pm - User: jllmcfarland  
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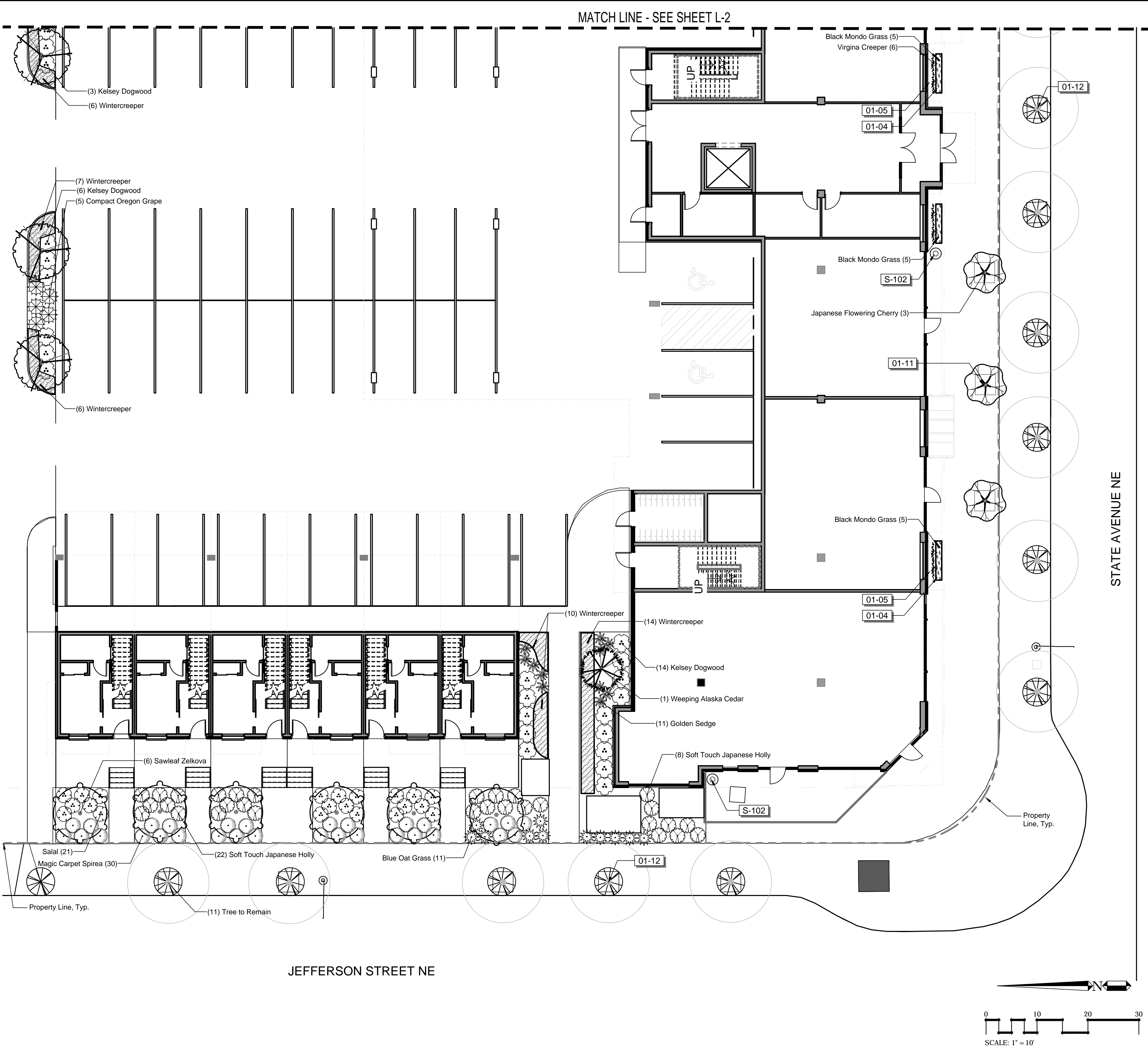
REFERENCE NOTES SCHEDULE L-2

SYMBOL	01 GENERAL DESCRIPTION
01-04	LANDSCAPE BED WITH GROUNDCOVER AND CLIMBING VINES FOR GREENSCREEN
01-05	GREENSCREEN VINE SUPPORT, TYP.
01-11	FLOWERING TREE IN 4' SQUARE TREE GRATE
01-12	EXISTING STREET TREE IN GRATE, TO REMAIN

SYMBOL	SITE FURNISHINGS DESCRIPTION
S-102	TRASH RECEPTACLE

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- ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



REVISIONS	DATE	BY

**SCJ ALLIANCE**  
CONSULTING SERVICES  
8730 TAILOR LANE NE, SUITE 200, LACEY, WA 98516  
P: 360-352-1465 F: 360-352-1509  
SCJALLIANCE.COM

SHEET TITLE: PRELIMINARY LANDSCAPE PLAN  
PROJECT NAME: EASTBAY LOT A  
OLYMPIA, WA

SEAL:

DESIGNER:	J. MCFARLAND
DRAWN BY:	J. MCFARLAND
APPROVED BY:	J. GLANDER
DATE:	JUN 2017
JOB NO:	2417.01
DRAWING FILE NO:	2417.01 X-LS
DRAWING NO:	L-2
SHEET NO:	2 OF 4



<u>SYMBOL</u>	<u>DESCRIPTION</u>
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01-03 RAISED FIBERGLASS PLANTER

01-05 GREENSCREEN VINE SUPPORT, TYP.

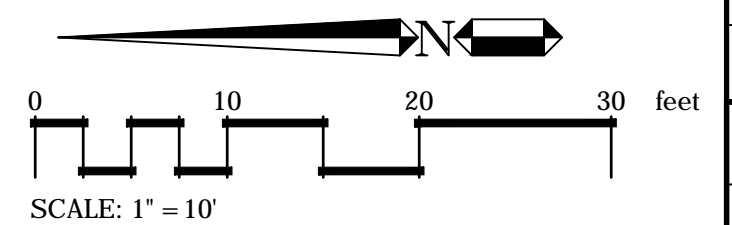
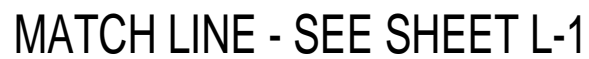
01-07 BOARDWALK NODE WITH BENCH AND/OR PUBLIC  
ART PLACEMENT, TYP.

01-11 FLOWERING TREE IN 4' SQUARE TREE GRATE

<u>SYMBOL</u>	<u>SITE FURNISHINGS</u> <u>DESCRIPTION</u>
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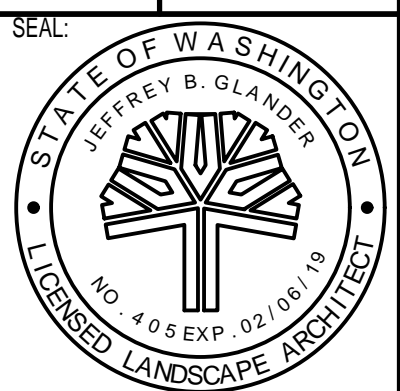
S-102 TRASH RECEPTACLE

1. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
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3. ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
4. PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLANT CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
5. ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

[illegible]

SHEET TITLE: PRELIMINARY LANDSCAPE PLAN

EASTBAY LOT A  
OLYMPIA, WA



DESIGNER:  
J. MCFARLAND

DRAWN BY:  
J.MCFARLAND

APPROVED BY:  
J. GLANDER

DATE: JUN 2017

JOB NO:  
2417.01

DRAWING FILE NO.  
2417.01 X-L

DRAWING NO:

SHEET NO: 3 OF 3



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LANDSCAPE SPECIFICATIONS

1. Refer to details for additional information.
  2. Chemically kill (chemicals must meet Well Head Protection Areas minimum mitigation standards-see Thurston County's Integrated Pest Management Program) and remove from site all existing weeds and vegetation not shown to remain on plans.
  3. Distribute imported sandy loam topsoil (approved by the Landscape Architect) in areas shown and at depths indicated for crowning and berming of landscape areas, and backfill of retaining walls (if required). Dotted lines indicate 1' contour intervals. All landscape areas shall receive topsoil, whether indicated on plans or not, so that finish grades of all shrub beds shall be 2" below tops of adjacent curbs and pavement, and lawn areas shall be 1/2" below tops of adjacent curbs and pavement. Structural fill areas: Any landscape areas occurring within structural fill zones shall have said structural fill materials excavated to a depth of 12" below finish grades in shrub areas and 6" below grade in lawn areas, and replaced with specified topsoil. Dispose of excavated material off site.
  4. Fine grade all landscape beds prior to planting operations. All non-compostable materials shall be removed by hand after application.
  5. No plant substitutions shall be permitted without prior approval of Landscape Architect/Owner. Any substitutions shall conform to OMC 18.32.225A.2(b).
  6. All plants shall conform to the latest edition of the American Standard for Nursery Stock.
  7. All plant materials and plant locations shall be approved by the Landscape Architect prior to installation. All plants shall be thoroughly watered immediately after planting with Alaska Fish Fertilizer solution.
  8. Root barrier shall be incorporated adjacent and parallel to paving, curb and sidewalk, a minimum of 15 linear feet (7.5' on either side of trunk), 24" deep, where any tree is within 8' of paving, curb or sidewalk. Root barrier shall be DeepRoot UB-24 as available from Ewing Irrigation Products, 2301 S Tacoma Way, Tacoma, WA 98409 (253) 476-9530 or approved equal.
  9. Soil amendment for soil preparation and planting backfill shall be a screened 5/8" minus nitrified wood residual compost equal to:  
A. "Top Grade Compost" brand compost as available from Silver Springs Organics, Rainier, WA (360) 446-7645.  
B. "Cedar Grove Compost" brand compost as available from Cedar Grove Compost, Maple Valley, WA (877) 764-5748.  
C. PREP/LRI compost as available from Randles Sand and Gravel, Inc., Puyallup, WA (253) 537-6828.
- ALL NON-COMPOSTABLE MATERIALS WILL BE REMOVED FROM SITE.

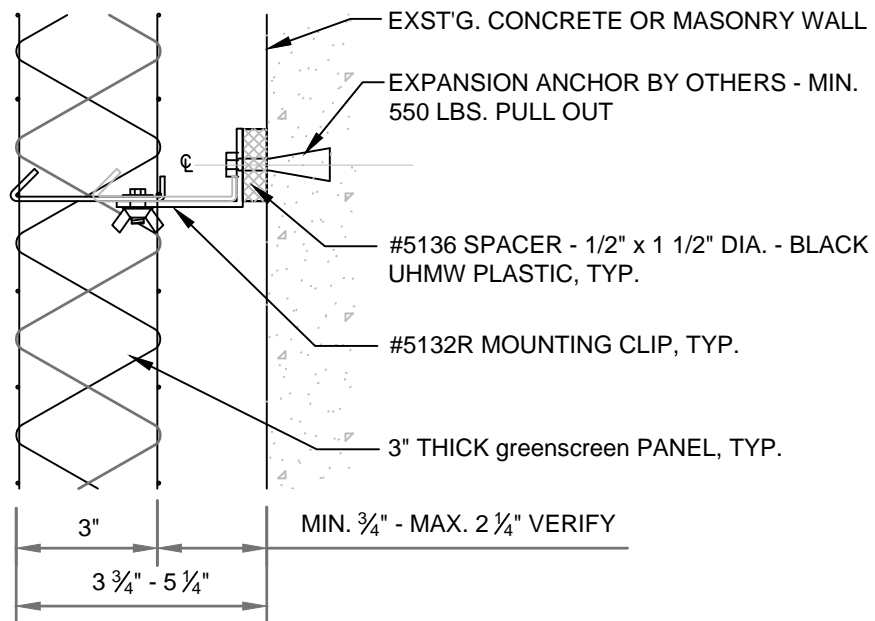
10. Soil Preparation - (all landscape areas) must meet Well Head Protection Areas minimum mitigation standards [OMC 18.32.225(A)(2)(a)]. For planting beds spread 9 c.y. of specified soil amendment per 1000 s.f. (approx. 3" depth) and amend to a settled depth of 8" (inches) or a topsoil mix containing 35-40% compost by volume. For lawn areas spread 5.4 c.y. of specified soil amendment per 1000 s.f. (approx. 1.75" depth) and amend to a settled depth of 8" (inches) or a topsoil mix containing 20-25% compost by volume. Spread 100 lbs./1000 s.f. of dolomite lime (in lawn areas only), 150 lbs./1000 s.f. of Agricultural Gypsum and 1 lbs./1000 s.f. of 16-8-8 commercial fertilizer over soil amendment. Roto-till all of the above to a 6"-8" depth and grade smooth, compacting as required and removing all rocks, clods and debris.
11. Lawn areas (seed or sod refer to plans) shall consist of one of the following turf types:  

60% Turf-Type Perennial Ryegrass Varieties 20% Bluegrass 20% Hard Fescue	60% Turf-Type Perennial Ryegrass Varieties 40% Turf-Type Fescue
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12. Seed and sod shall be equal to that as grown by Country Green Turf Farms, Olympia, WA or JB Instant Lawn, Redmond, WA. Seed shall be applied at 7 lbs/1000 s.f. and include 10 lbs/1000 s.f. of United Fertilculture 15-5-10 fertilizer in all lawn areas.
13. All trees in lawn areas shall be planted in a 3' diameter circle of bed mulch.
14. Backfill mix for all plants shall be a blend of 1/3 existing site soil, 1/3 coarse sand, and 1/3 soil amendment specified in No. 9.
15. Only slow release fertilizers shall be applied for the life of the development at a maximum amount of 4 lbs of nitrate as nitrogen annually and no more than 1 lb per application for every 1,000 square feet of turf grass. Only fertilizer formulas with a minimum of 50 percent water insoluble form of nitrogen are permitted for use. Approved water insoluble forms of nitrogen include sulfur and/or polymer coated fertilizers, Isobutylidene Diurea (IBDU), Methylene Urea and Ureaform, and organic fertilizers registered with Washington Department of Agriculture."
16. Apply Osmocote 18-6-12, 9 month slow release fertilizer over the surface of all plant pits at the following rates (no more than a maximum 4lbs. of Nitrate Nitrogen shall be used annually):

Trees Over 10' Height	2 Cups	Trees Under 10' Height:	1 Cup	All Shrubs Except 1 Gallons:
	1/2 Cup			
1 Gallon Plants:	1/4 Cup	Ground Covers:	1/4 Cup	
17. Fertilizer tablets for all plants shall be Agriform (20-10-5) 21 gram or 10 gram tablets distributed as follows: All trees: 4-21 gram tablets, all shrubs (except 1 gallons): 3-21 gram tablets, all 1 gallons: 1-21 gram tablet, all 2-1/4" and 4" pot ground covers: 1-10 gram tablet each. Set tablets directly next to rootball.
18. All shrub and ground cover beds shall receive a 4" depth "medium/ fine grind" hem/fir bark mulch as top dressing.
19. Apply a granular pre-emergent herbicide to all shrub and groundcover beds at the conclusion of the maintenance period. Do not use Casaron or Norasac Brands. All fertilizer must comply to meet Well Head Protection Areas minimum mitigation standards [OMC 18.32.225(A)(2)(a)]
20. All work shall be performed to the satisfaction of the Landscape Architect/Owner.
21. All plants shall be guaranteed for ONE (1) year from date of project acceptance. All replaced plants shall be re-guaranteed. All replacements shall be made within 21 days of receiving written notice from the Owner. Contractor shall not be responsible for plants dying due to Owner neglect or vandalism, after the maintenance period.
22. Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover and/or mass shrub quantities shall be adjusted as required for field conditions at the specified spacing.
23. Final inspection shall occur at the conclusion of a 60-day maintenance period. Maintenance period shall commence upon completion of all landscape installation activities and shall include the following:  
A. Mow lawns once per week.  
B. Remove all weeds over 1" in height, refer to the Thurston County's IPMP for additional requirements.  
C. Replace dead or unhealthy plants.  
D. Ensure proper function of irrigation system, see OMC 18.32.225.A.2(c) for additional requirements.  
E. Ensure adequate moisture is delivered to all landscape beds including non-irrigated areas.  
F. Fertilize all lawns at conclusion of maintenance period, See OMC 18.32.225.A.2(a) for additional requirements.
24. All applications of fertilizers and chemicals shall be re-evaluated prior to actual landscape installation and maintenance.

Trees Over 10' Height	2 Cups	Trees Under 10' Height:	1 Cup	All Shrubs Except 1 Gallons:
	1/2 Cup			
1 Gallon Plants:	1/4 Cup	Ground Covers:	1/4 Cup	

17. Fertilizer tablets for all plants shall be Agriform (20-10-5) 21 gram or 10 gram tablets distributed as follows: All trees: 4-21 gram tablets, all shrubs (except 1 gallons): 3-21 gram tablets, all 1 gallons: 1-21 gram tablet, all 2-1/4" and 4" pot ground covers: 1-10 gram tablet each. Set tablets directly next to rootball.
18. All shrub and ground cover beds shall receive a 4" depth "medium/ fine grind" hem/fir bark mulch as top dressing.
19. Apply a granular pre-emergent herbicide to all shrub and groundcover beds at the conclusion of the maintenance period. Do not use Casaron or Norasac Brands. All fertilizer must comply to meet Well Head Protection Areas minimum mitigation standards [OMC 18.32.225(A)(2)(a)]
20. All work shall be performed to the satisfaction of the Landscape Architect/Owner.
21. All plants shall be guaranteed for ONE (1) year from date of project acceptance. All replaced plants shall be re-guaranteed. All replacements shall be made within 21 days of receiving written notice from the Owner. Contractor shall not be responsible for plants dying due to Owner neglect or vandalism, after the maintenance period.
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E. Ensure adequate moisture is delivered to all landscape beds including non-irrigated areas.  
F. Fertilize all lawns at conclusion of maintenance period, See OMC 18.32.225.A.2(a) for additional requirements.
24. All applications of fertilizers and chemicals shall be re-evaluated prior to actual landscape installation and maintenance.



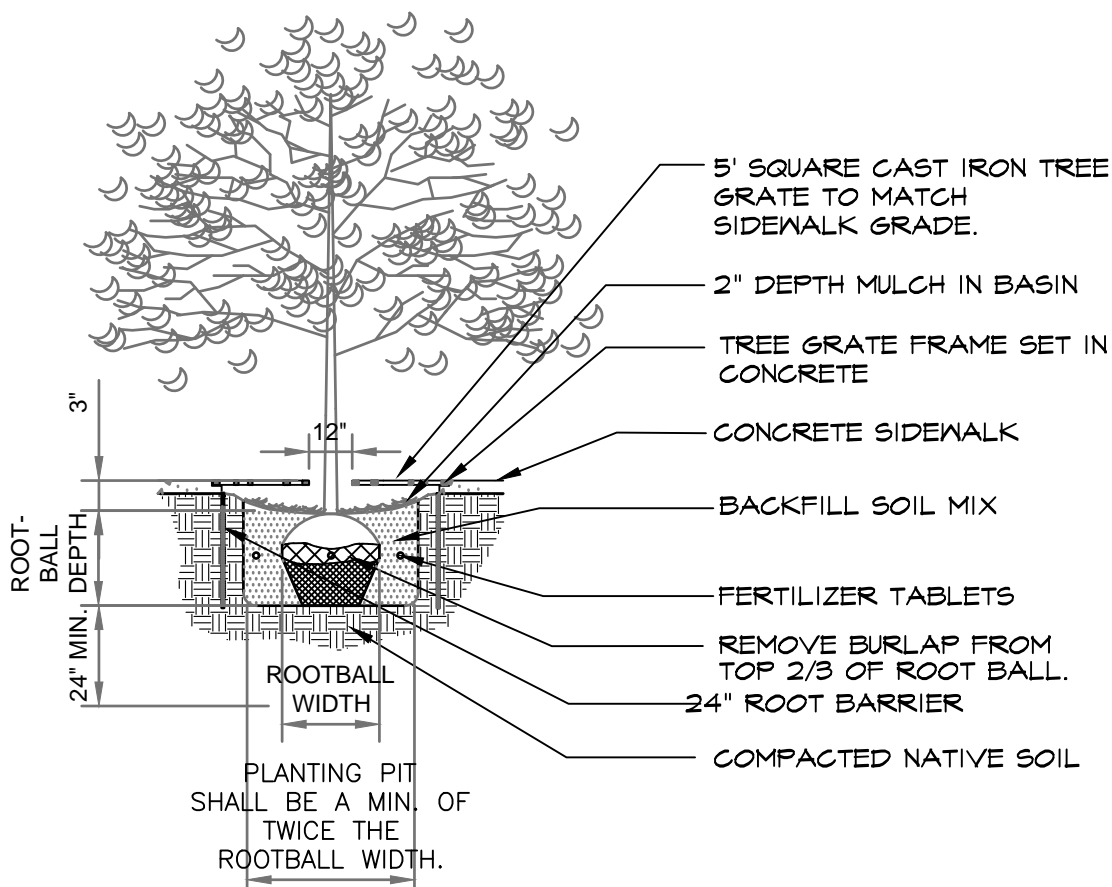
SECTION

3" = 1'-0"

P-CO-EAS-16

8

GREENSCREEN WALL MOUNT WITH MOUNTING CLIP



NOTES:

1. REMOVE TREATED OR SYNTHETIC BURLAP COMPLETELY.
2. ALL TREE GRATES SHALL BE 5' SQUARE CHINOOK 2000 GRATES, AS AVAILABLE FROM URBAN ACCESSORIES, INC. TACOMA, WA (877)487-0488.

TREE GRATE & PLANTING DETAIL

NTS

P-CO-EAS-18

3

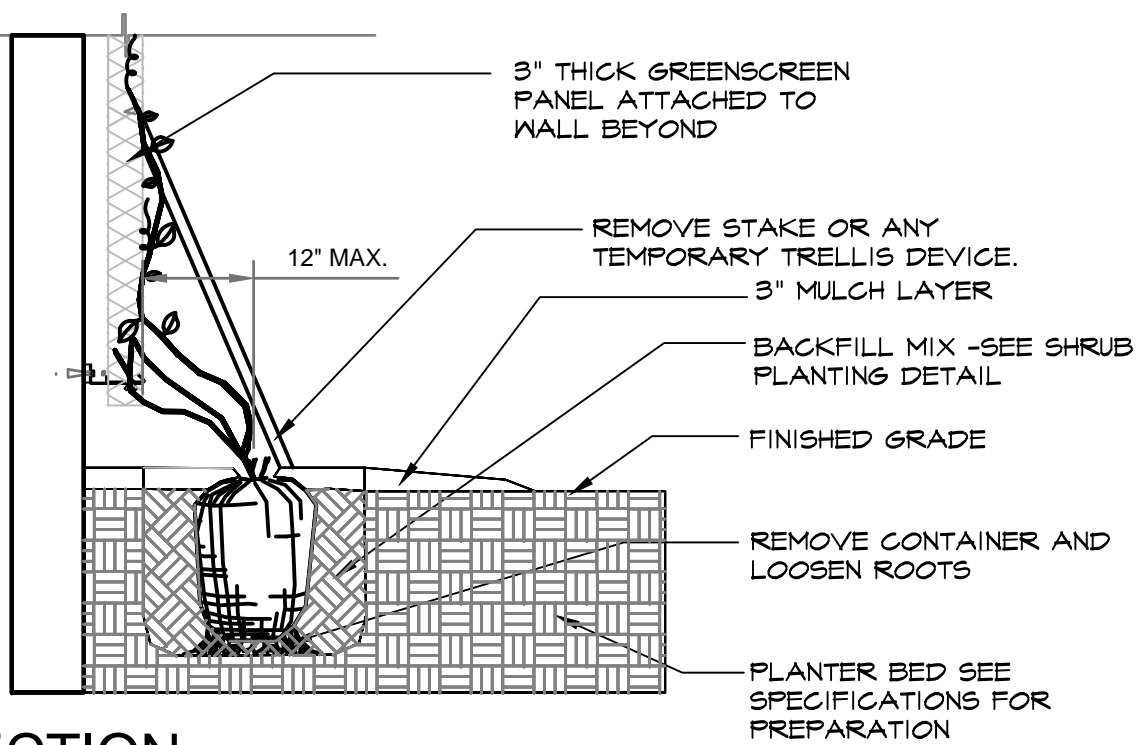
SHRUB PLANTING DETAIL (B&B OR CONT.)

NTS

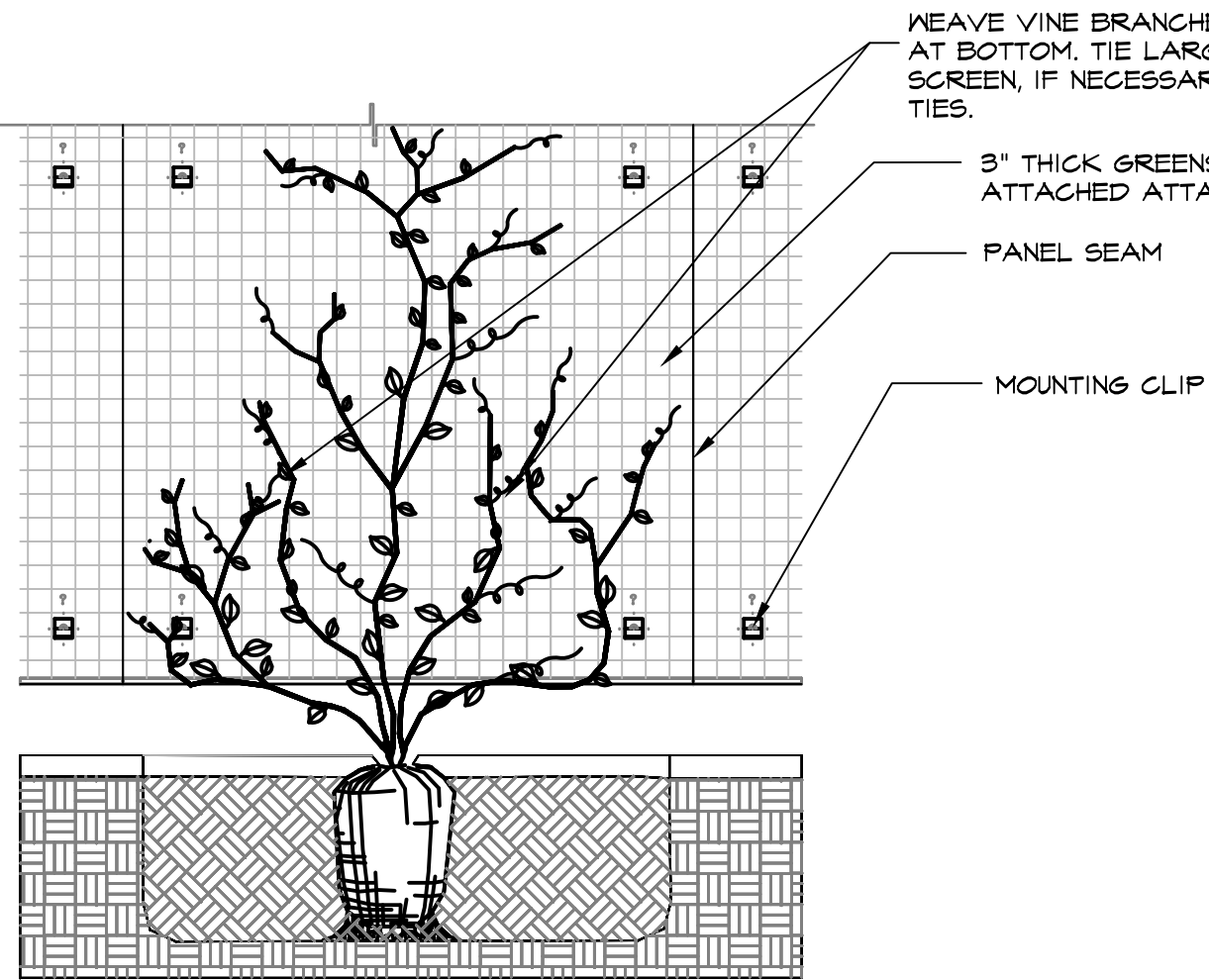
P-CO-EAS-10

GENERAL NOTES:

1. PLANT VINES PER LANDSCAPE PLANS. TYPICAL SPACING VARIES FROM 1' TO 4' O.C. DEPENDING UPON VINE SPECIES AND CONTAINER SIZE, SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
2. ENSURE IRRIGATION IS ADEQUATELY WATERING PLANTS ALONG WALLS. SUPPLEMENT BY HAND WATERING IF NECESSARY.
3. INSTALL PER LANDSCAPE PLANS. GREENSCREEN DOES NOT SUPPLY PLANT MATERIAL.



SECTION



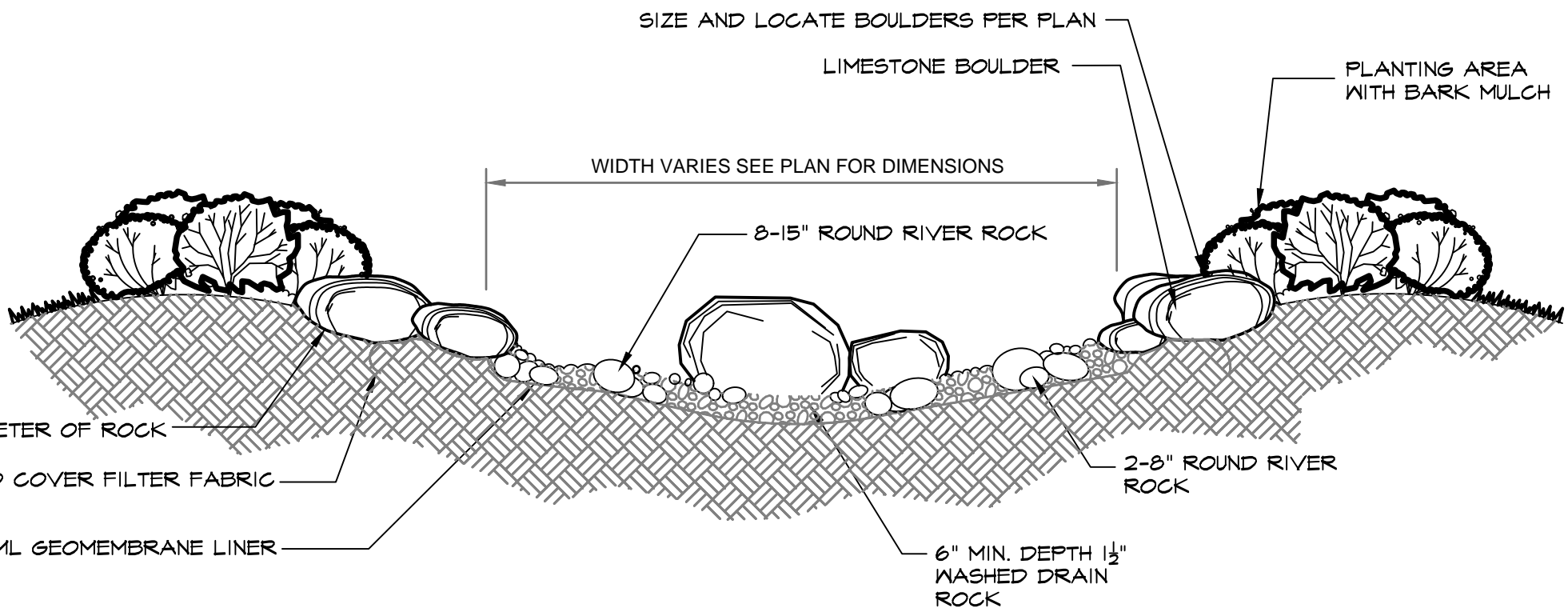
ELEVATION

5

VINE PLANTING DETAIL

3/4" = 1'-0"

P-CO-EAS-12



NOTES:

1. ROCK MULCH SHALL BE CLEAN, WASHED ONE-THIRD 3/4" SONOMA GOLD, ONE-THIRD BROWN COBBLES. ROCK SHALL BE AS AVAILABLE FROM VIC HANNAN OR APPROVED EQUAL.
2. BOULDERS SHALL BE LIMESTONE AS AVAILABLE FROM VIC HANNAN LANDSCAPE MATERIALS (530) 214-3060 OR APPROVED EQUAL.

7

DRY STREAM BED

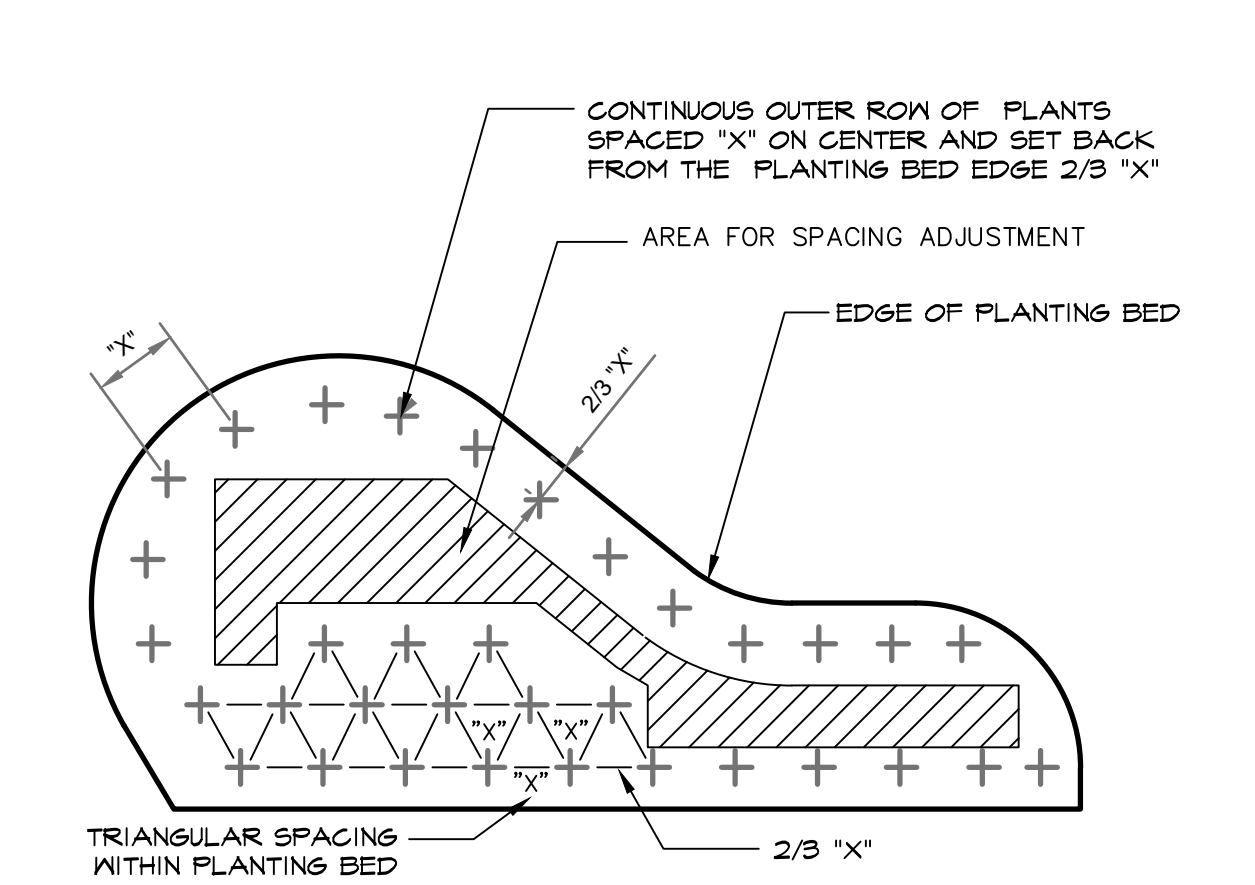
1" = 1"

P-CO-EAS-15

TREE PLANTING & STAKING DETAIL

NTS

P-CO-EAS-14



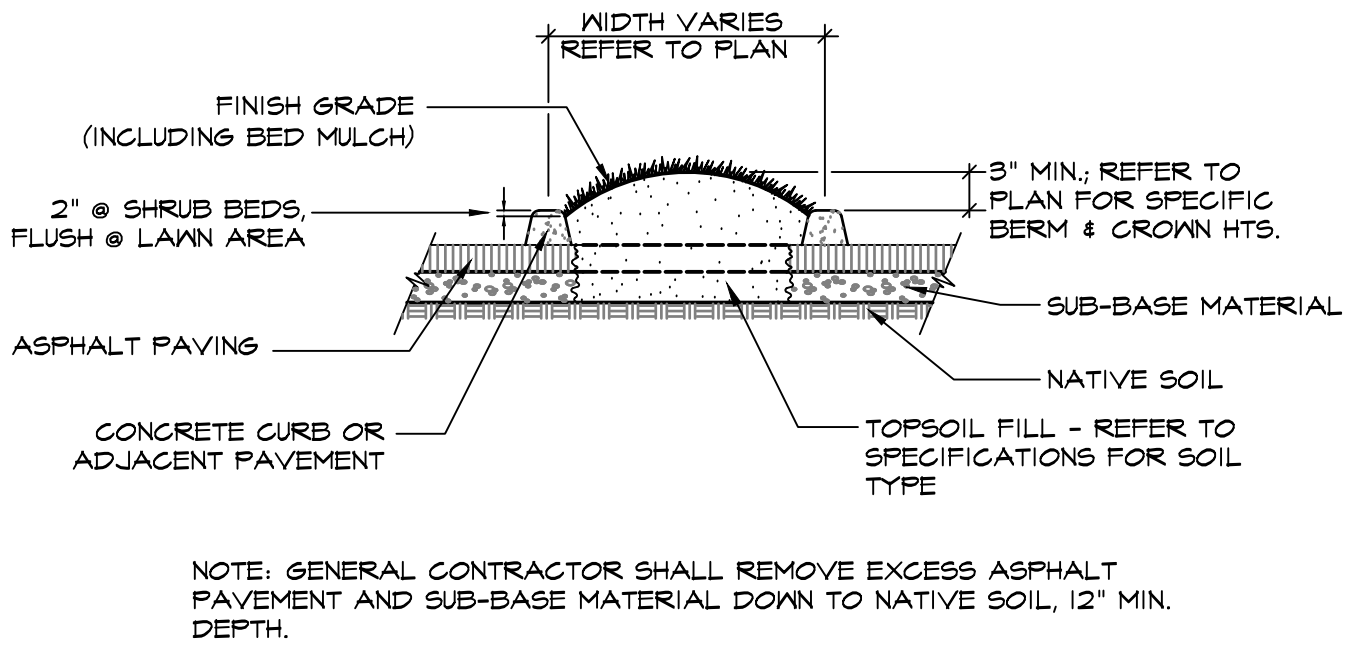
SPECIFIED PLANT SPACING="X"  
INDIVIDUAL PLANTS REPRESENTED AS: +

4

PLANT SPACING DETAIL

NTS

P-CO-EAS-05



6

PARKING ISLAND PLANTER DETAIL OLYMPIA

NTS

P-CO-EAS-17

BY					
DATE					
REVISIONS					
△					

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CONSULTING SERVICES  
8730 TAILOR LANE NE, SUITE 200, LACEY, WA 98516  
P: 360-352-1465 F: 360-352-1509  
SCJALLIANCE.COM

SHEET TITLE: LANDSCAPE DETAILS AND NOTES

PROJECT NAME: EASTBAY LOT A OLYMPIA, WA

DESIGNER: J. MCFARLAND  
DRAWN BY: J. MCFARLAND  
APPROVED BY: J. GLANDER  
DATE: JUN 2017  
JOB NO: 2417.01  
DRAWING FILE NO: 2417.01 X-LS  
DRAWING NO: L-4  
SHEET NO: 4 OF 4



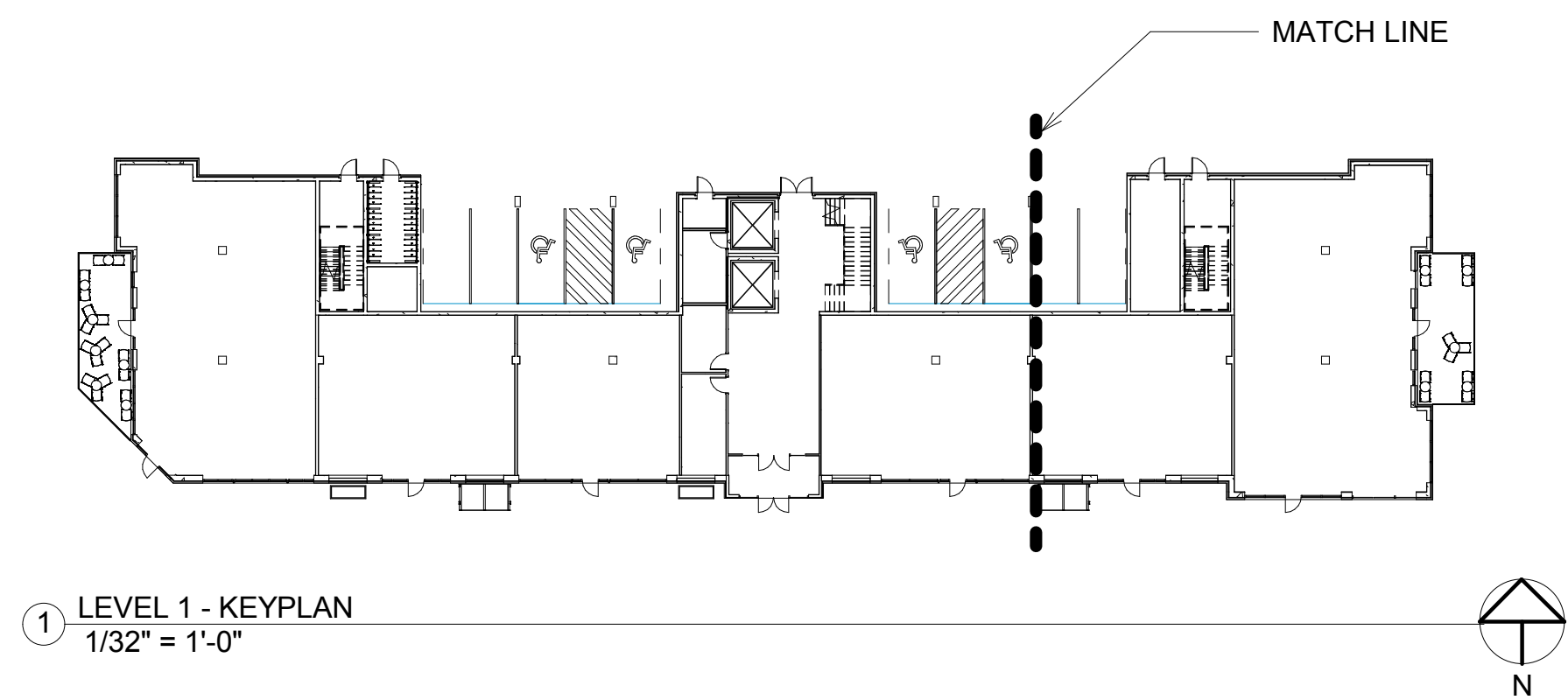
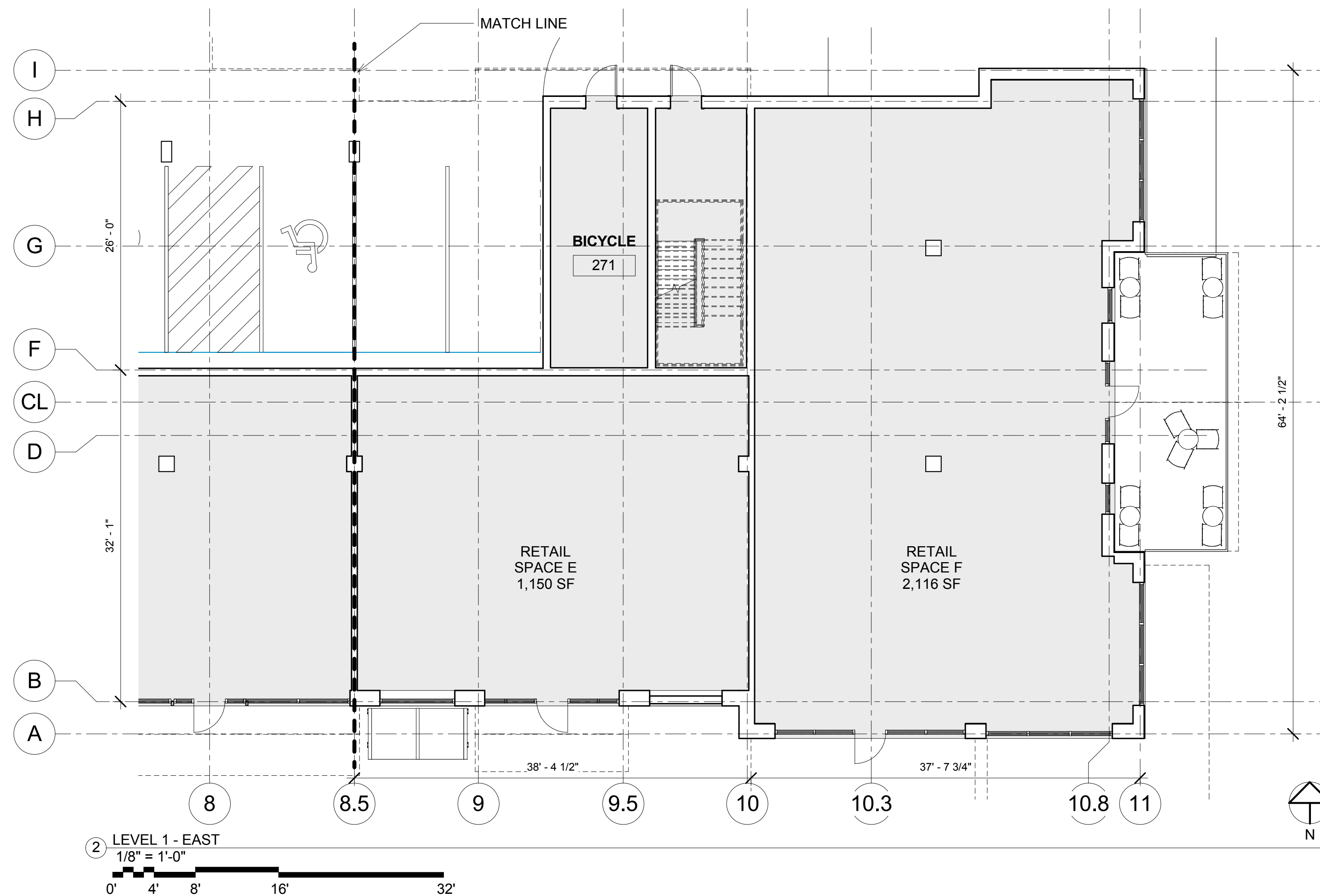
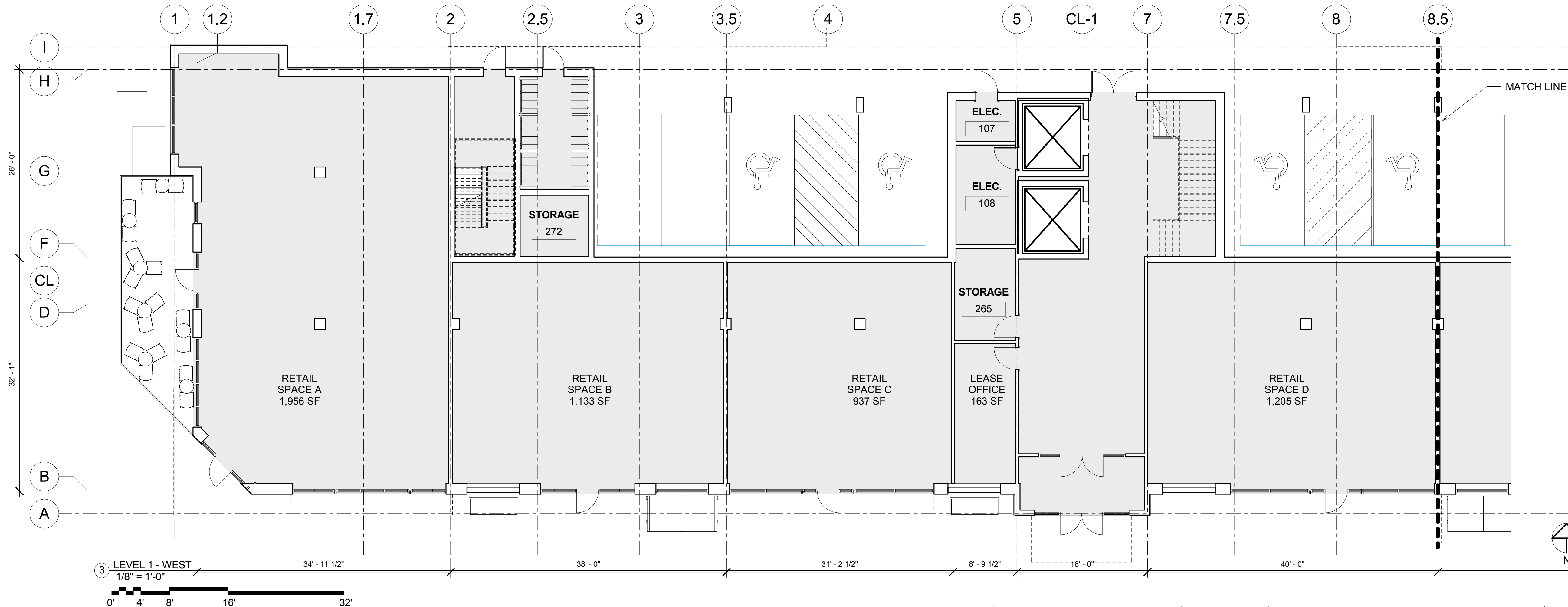
EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES  
510 STATE AVE OLYMPIA, WA. 98501

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SCHEMATIC DESIGN  
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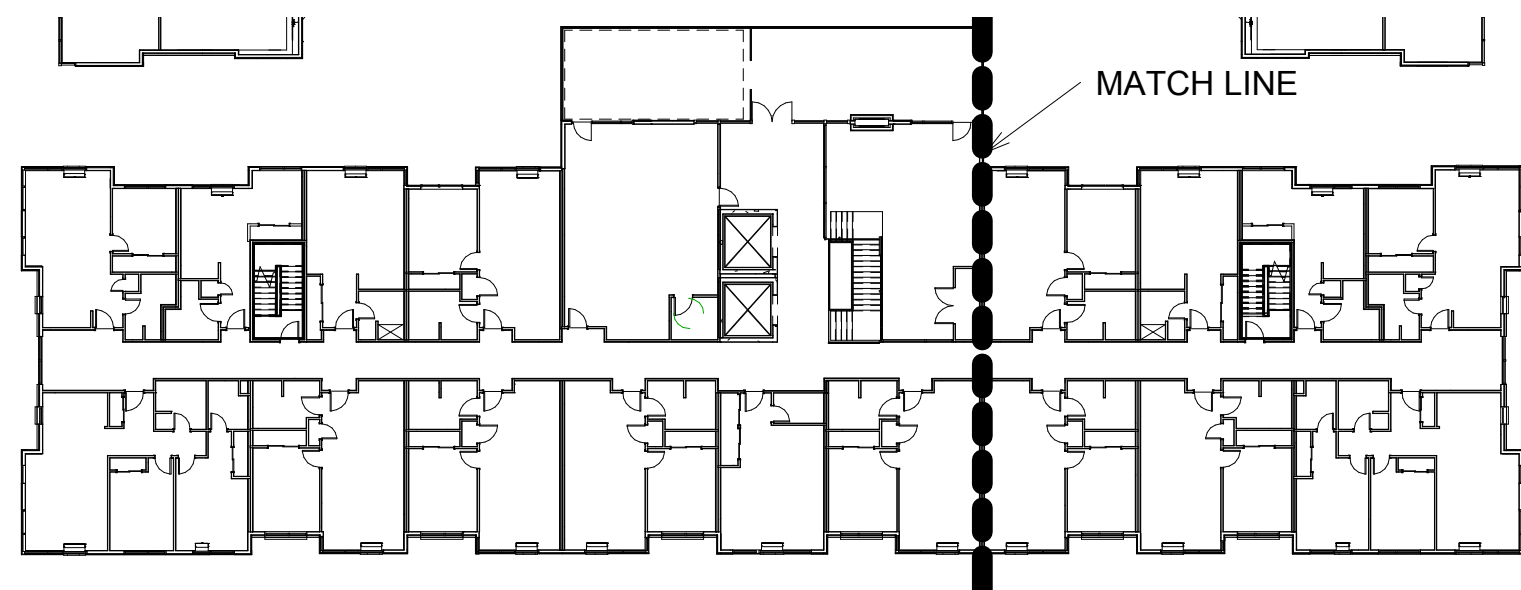
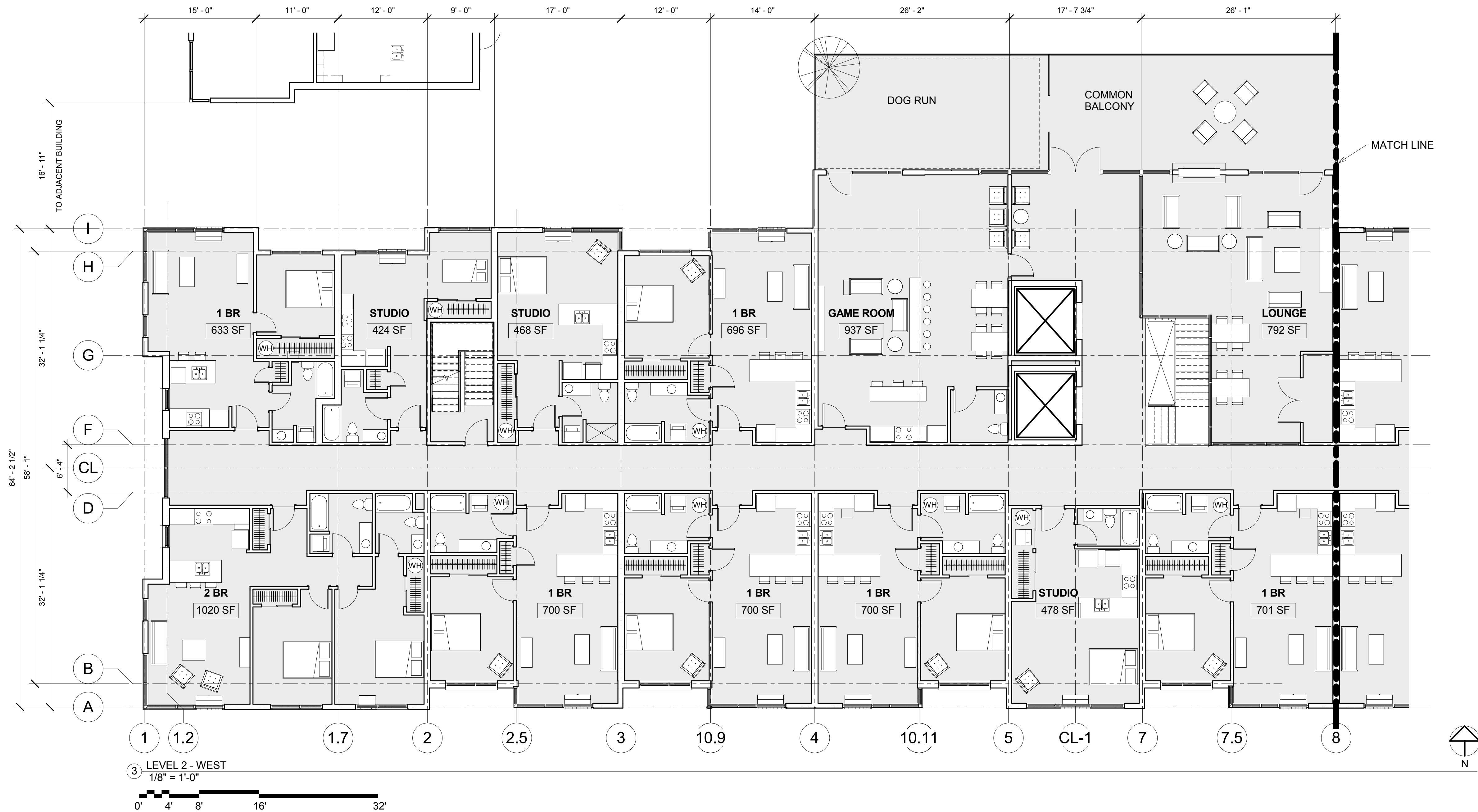
FLOOR PLAN -  
LEVEL ONE

A2.01

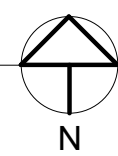
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1 LEVEL 2 KEYPLAN A  
1/32" = 1'-0"



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FLOOR PLAN -  
LEVEL TWO

A2.02 A



EAST BAY LOT A

EAST BAY FLATS AND TOWNHOMES

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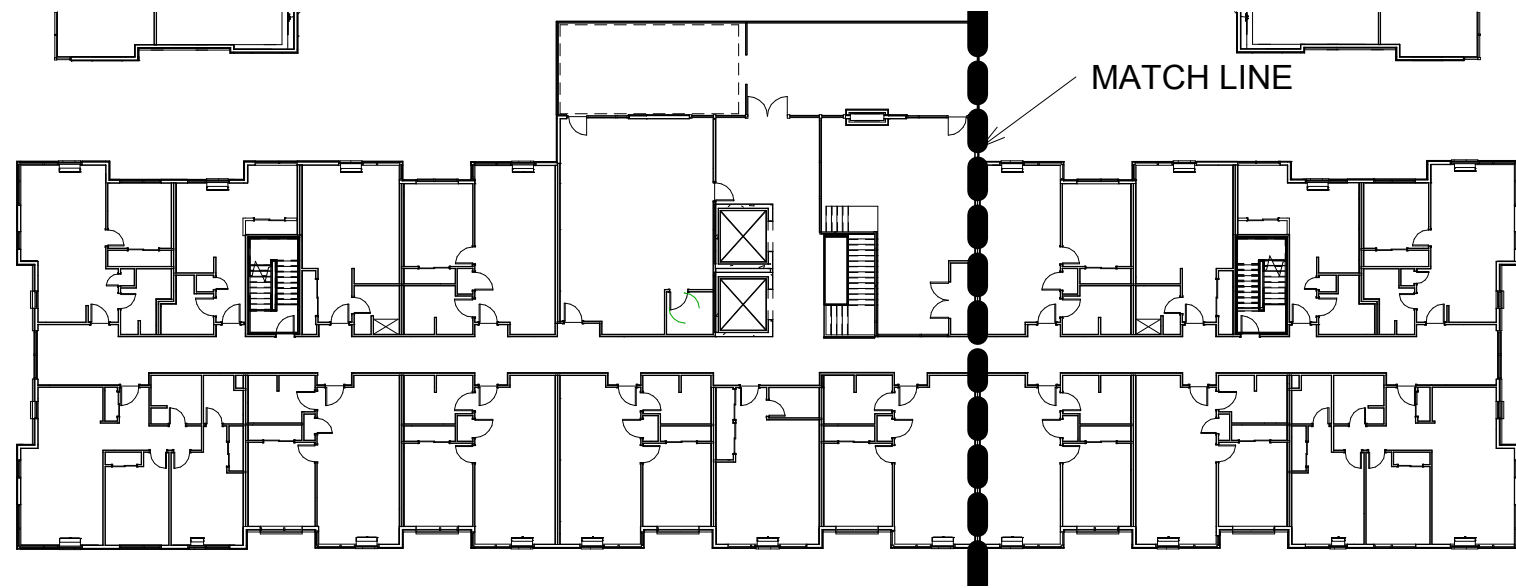
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FLOOR PLAN -

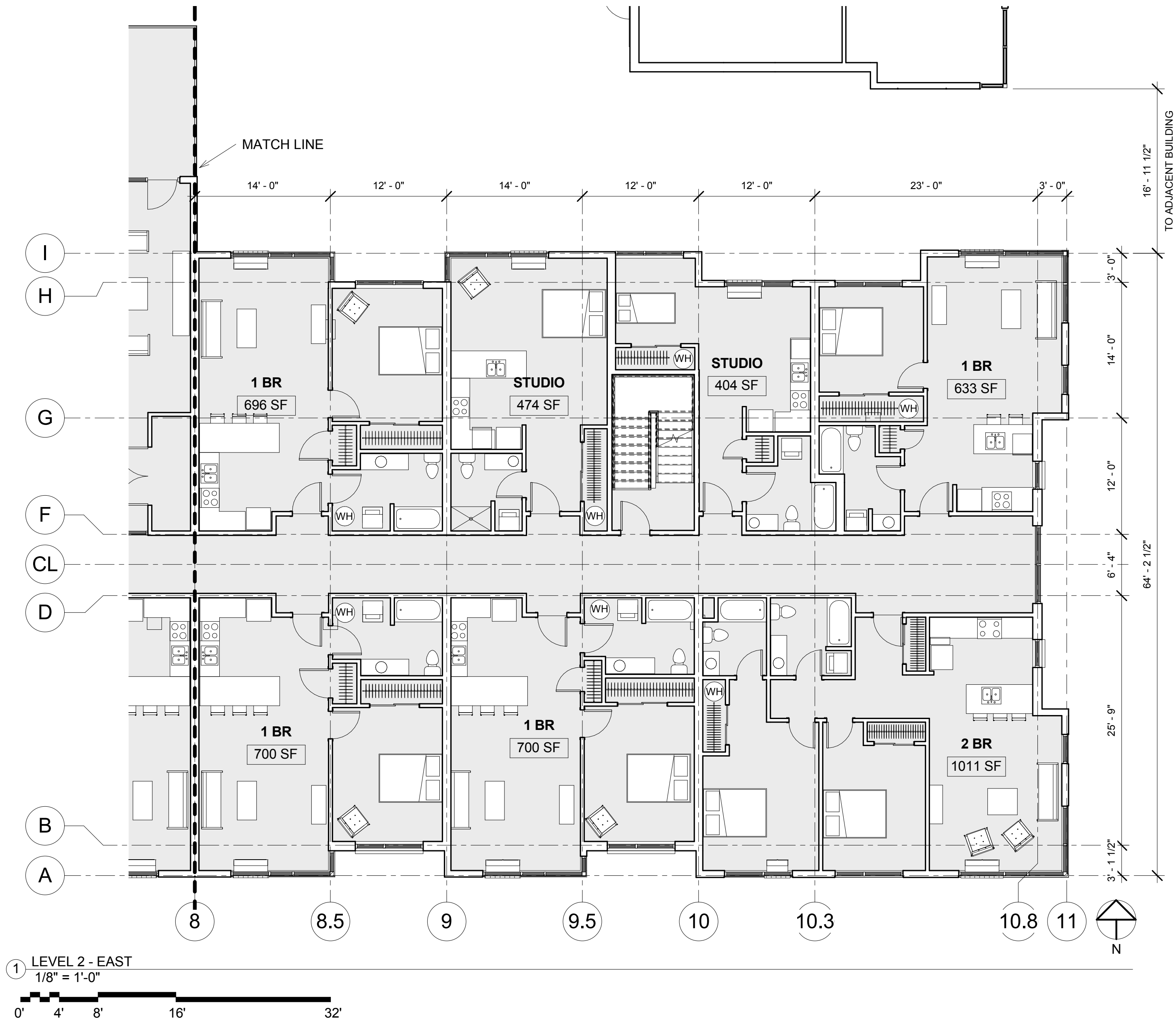
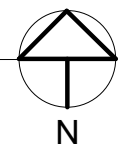
LEVEL TWO

A2.02 B

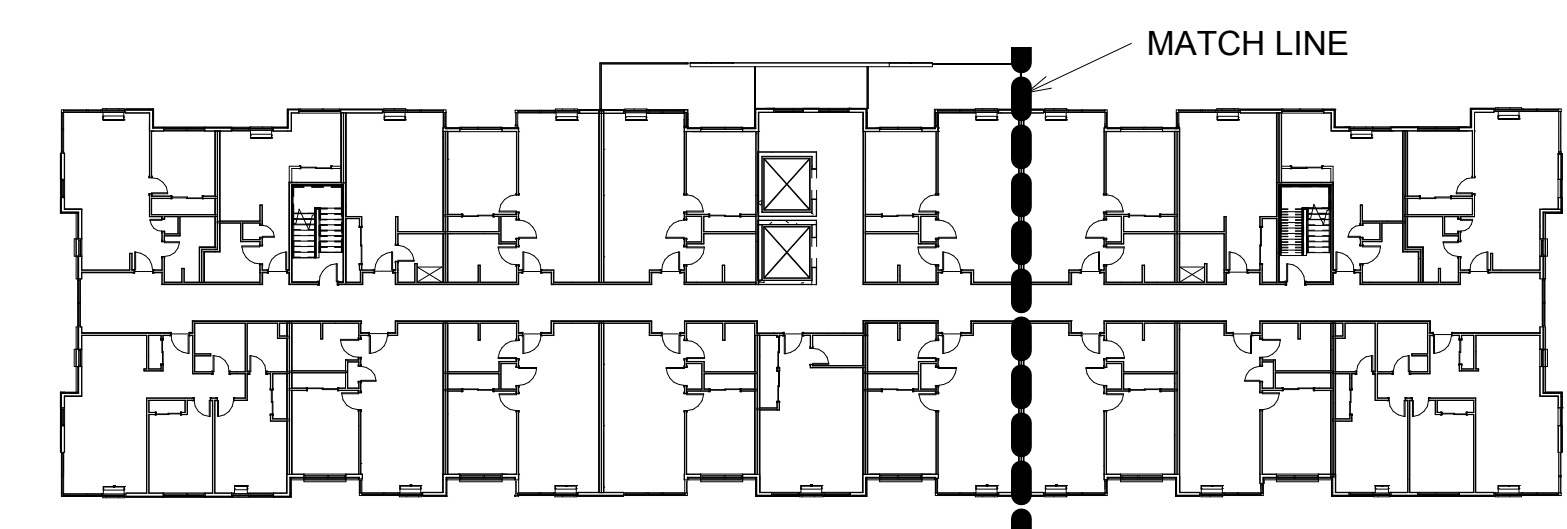
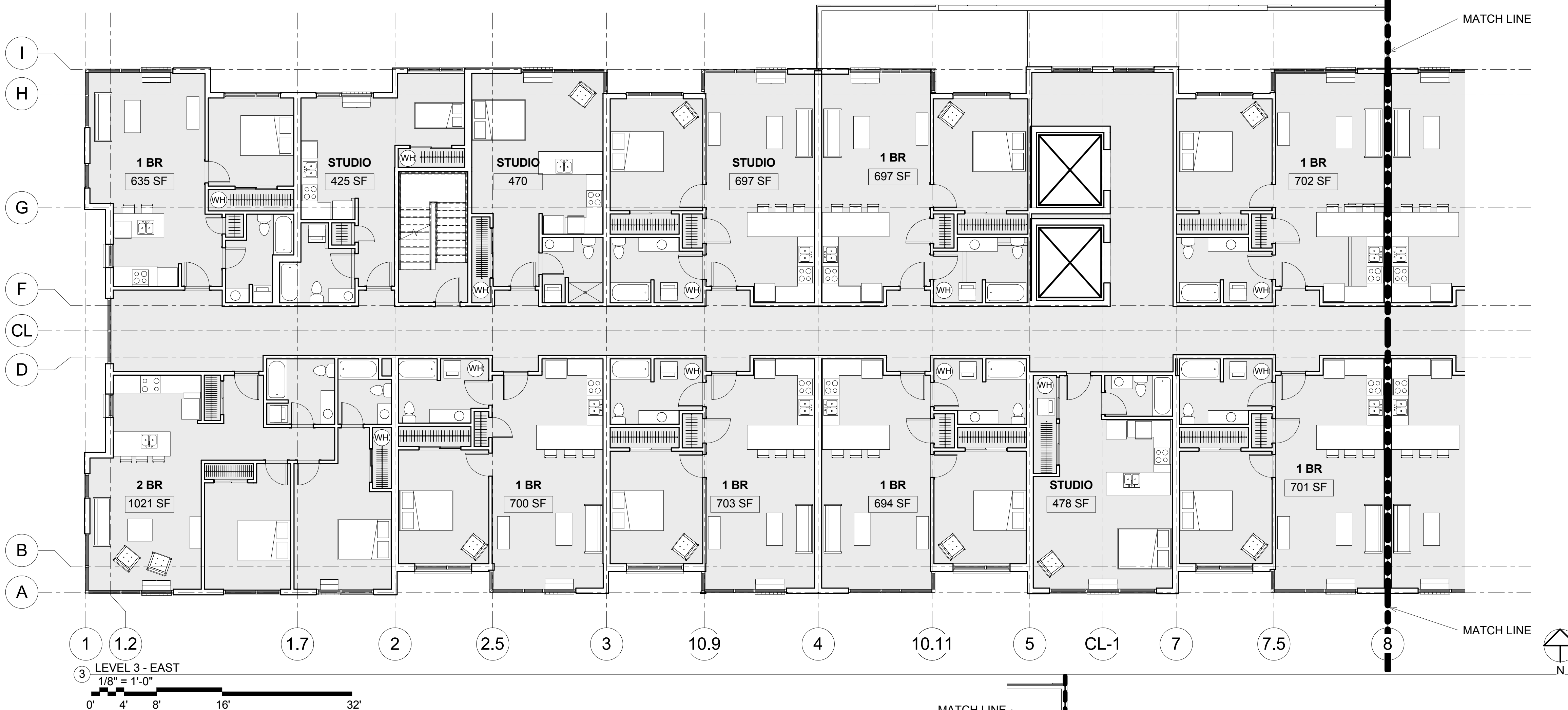
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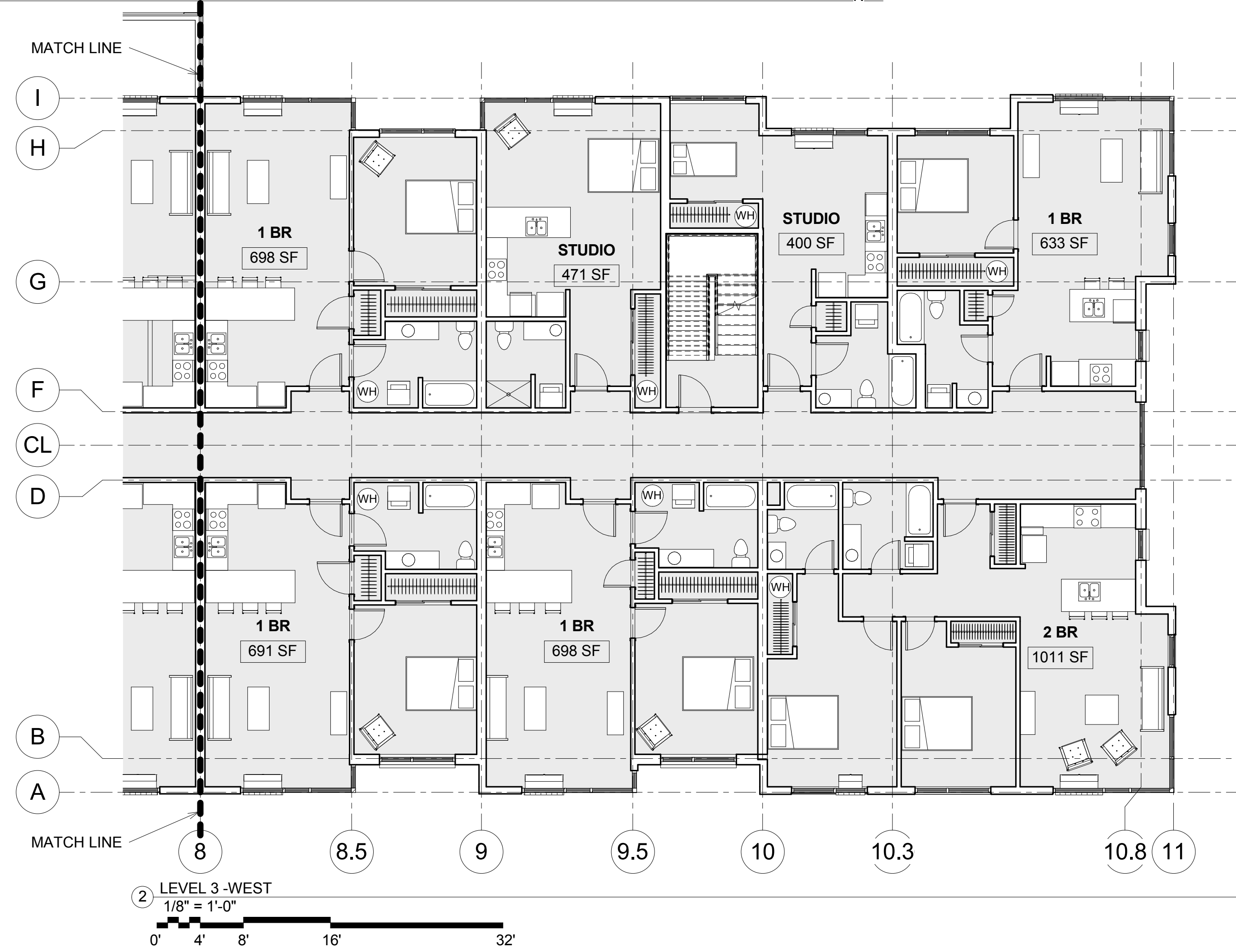
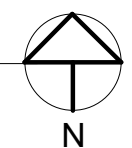
2 LEVEL 2 KEYPLAN B  
1/32" = 1'-0"







1 LEVEL 3 OVERALL  
1/32" = 1'-0"



2 LEVEL 3 - WEST  
1/8" = 1'-0"

EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES  
510 STATE AVE OLYMPIA, WA. 98501

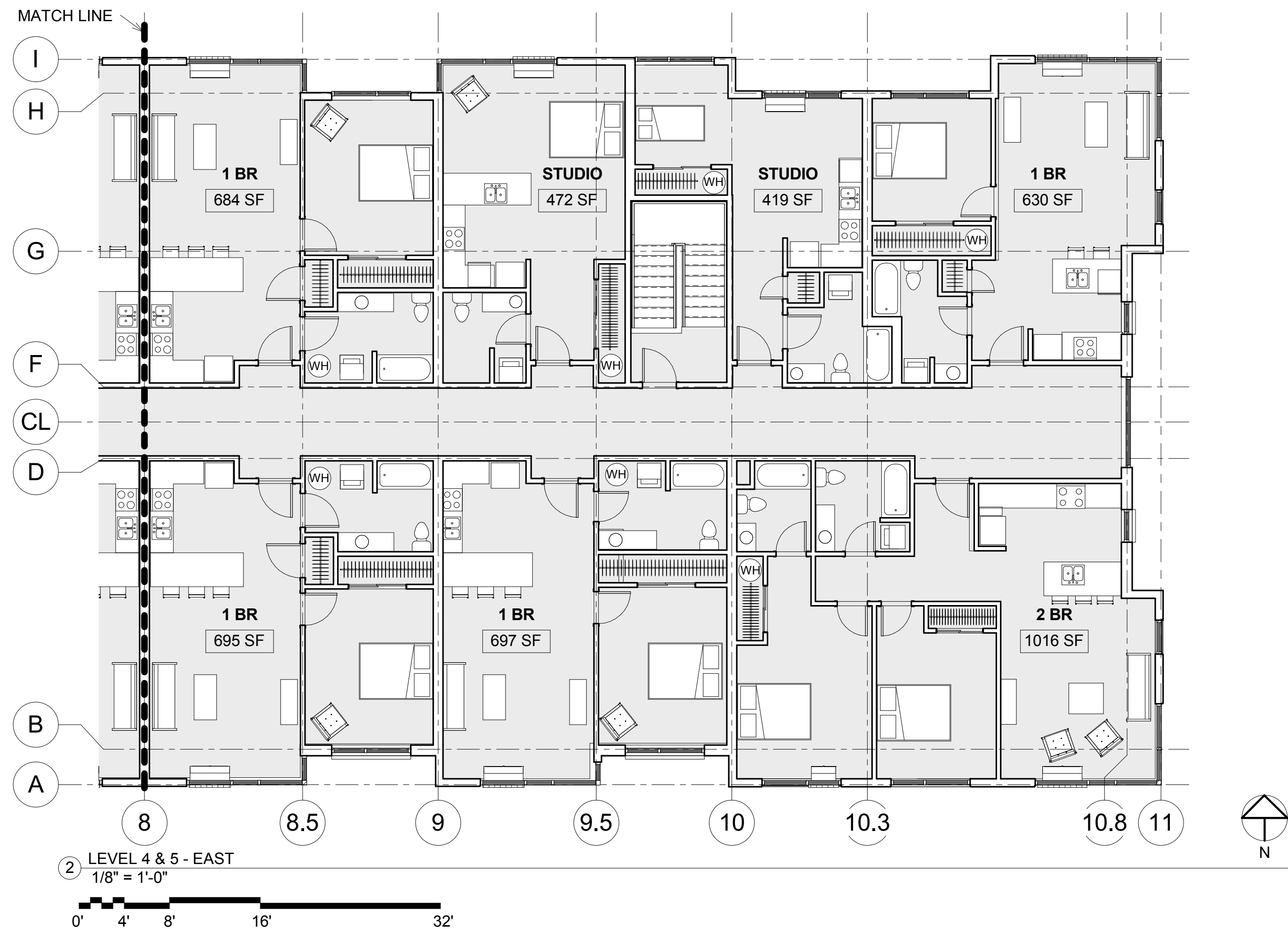
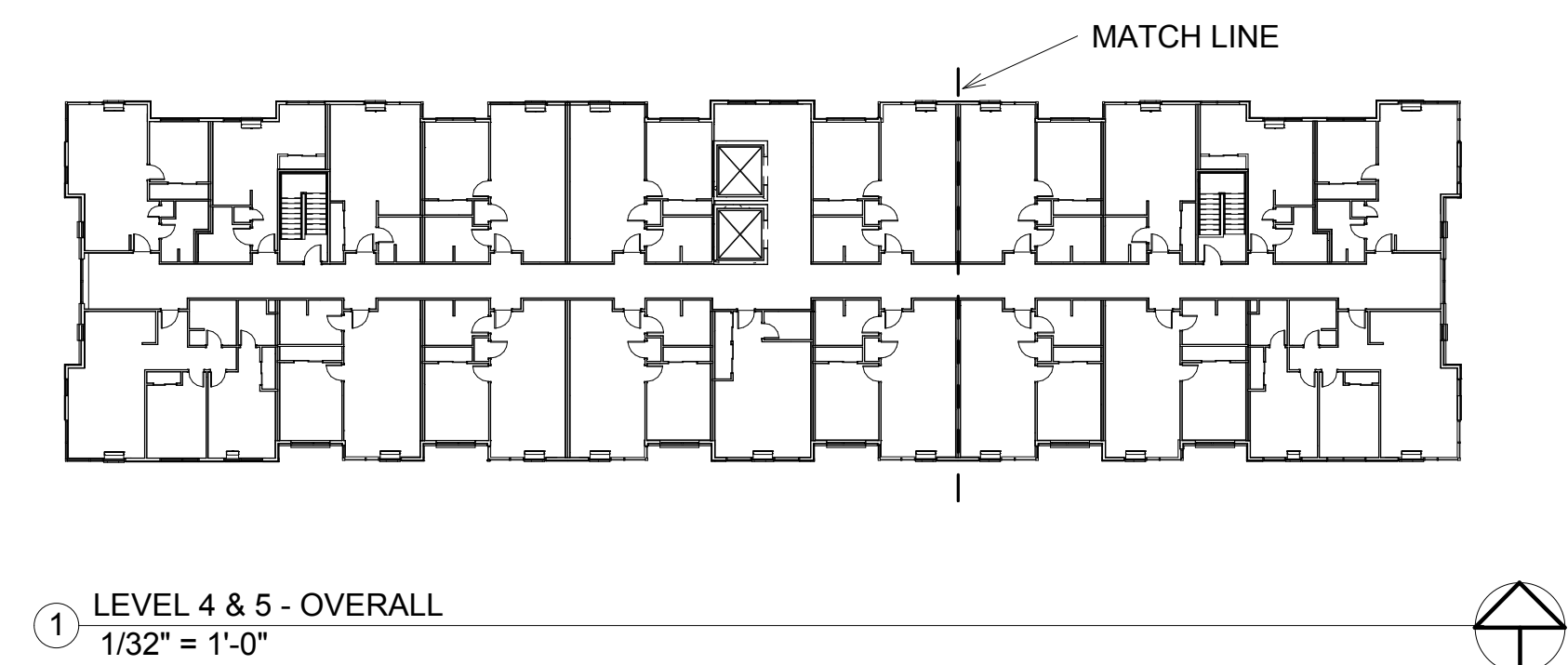
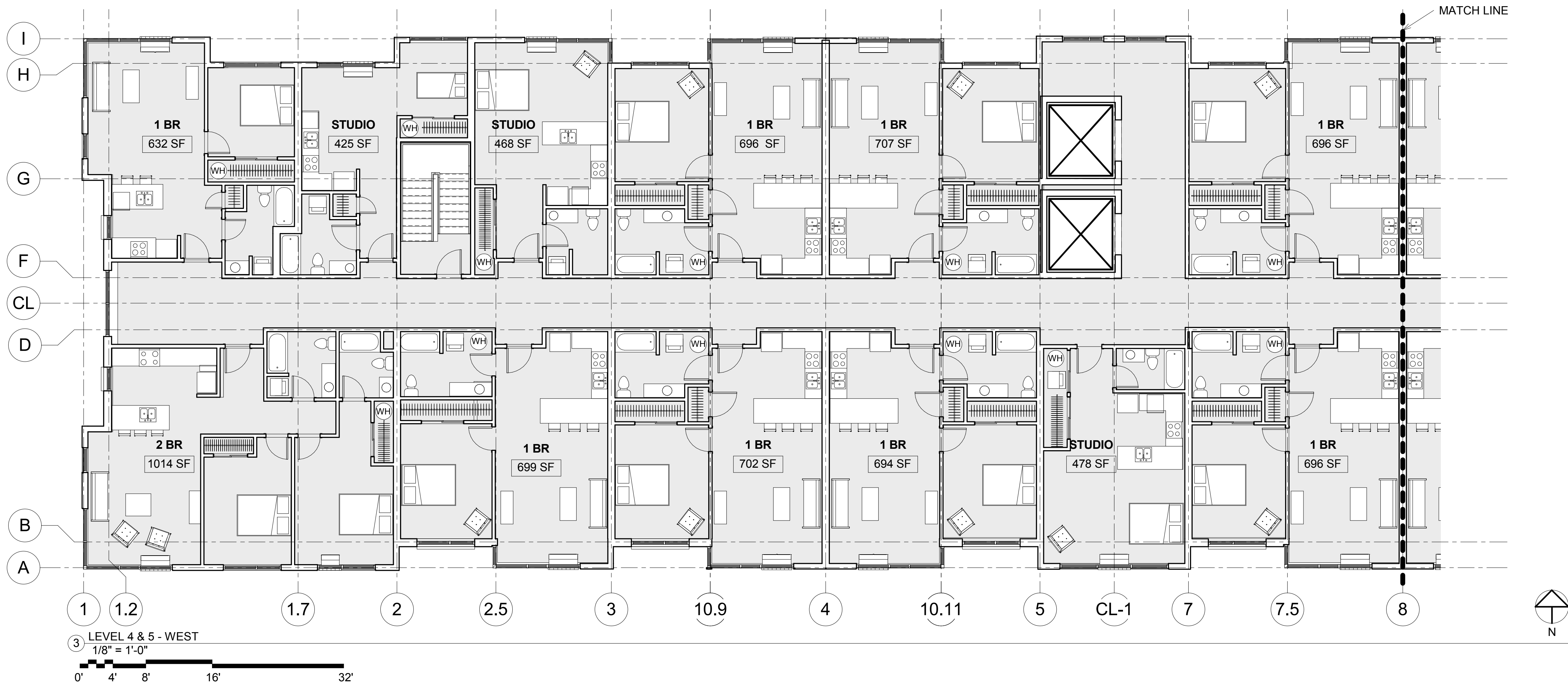
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FLOOR PLAN -  
LEVEL THREE

A2.03

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FLOOR PLAN -  
LEVEL FOUR AND  
FIVE

A2.04





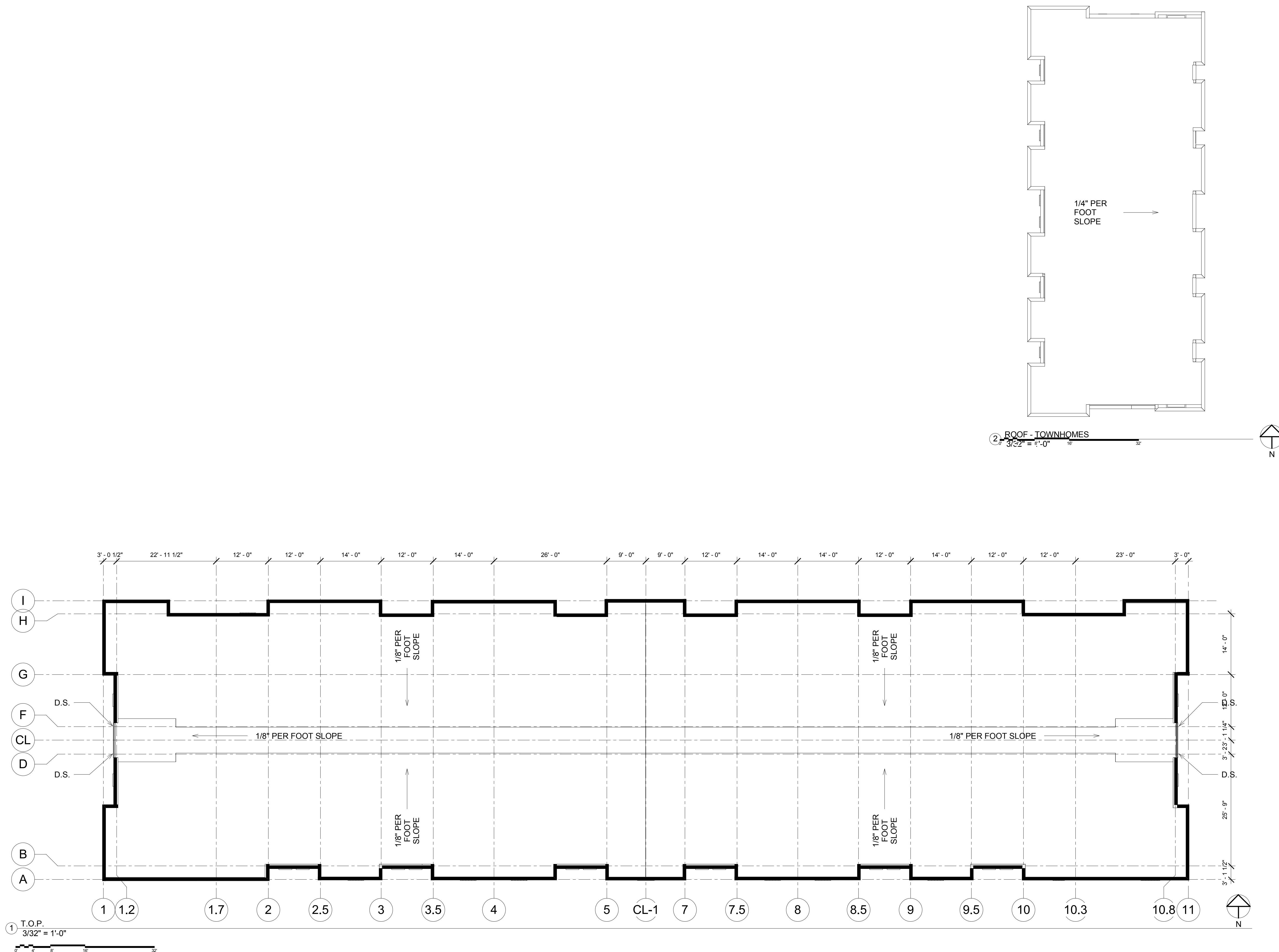
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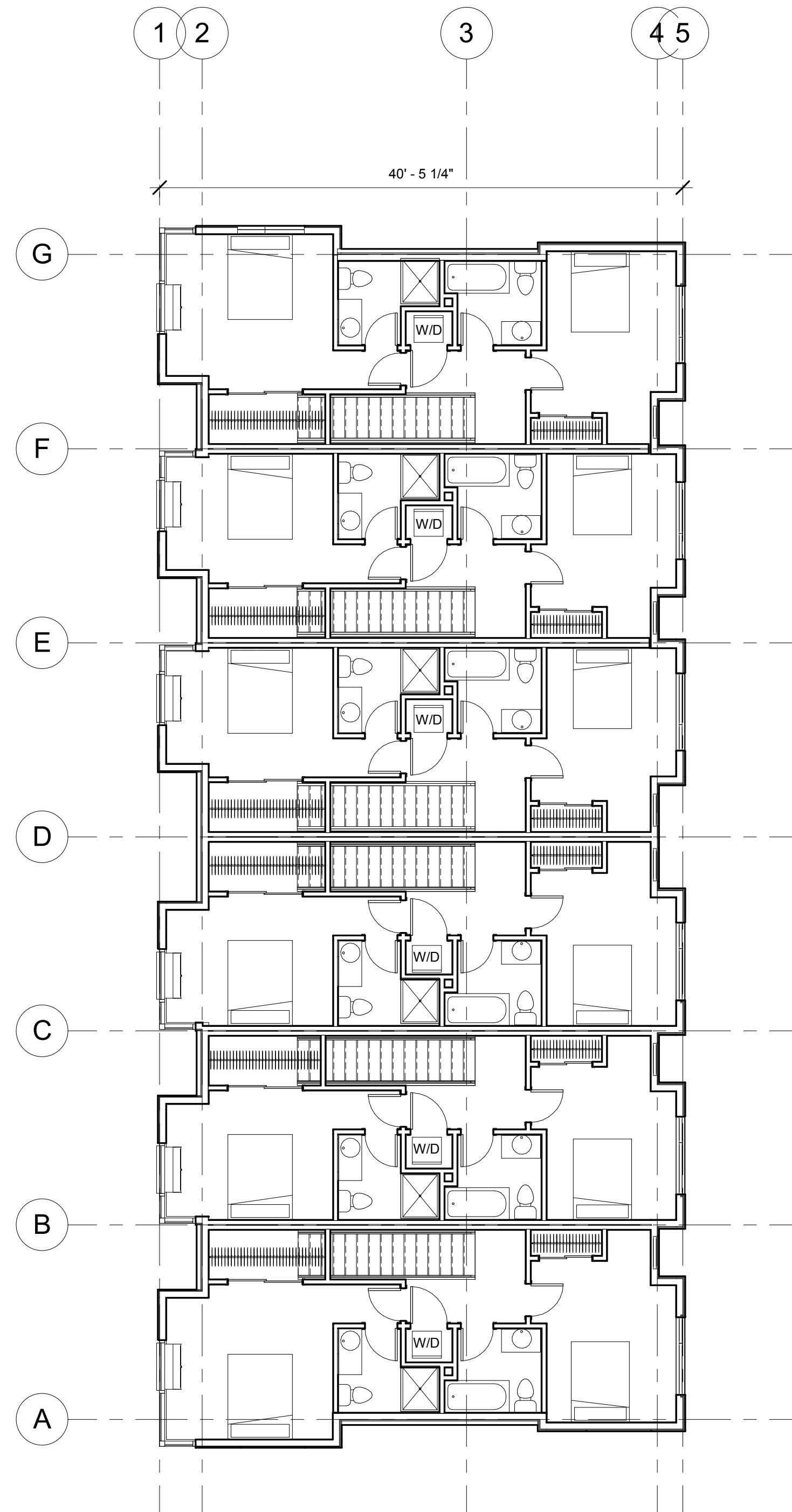
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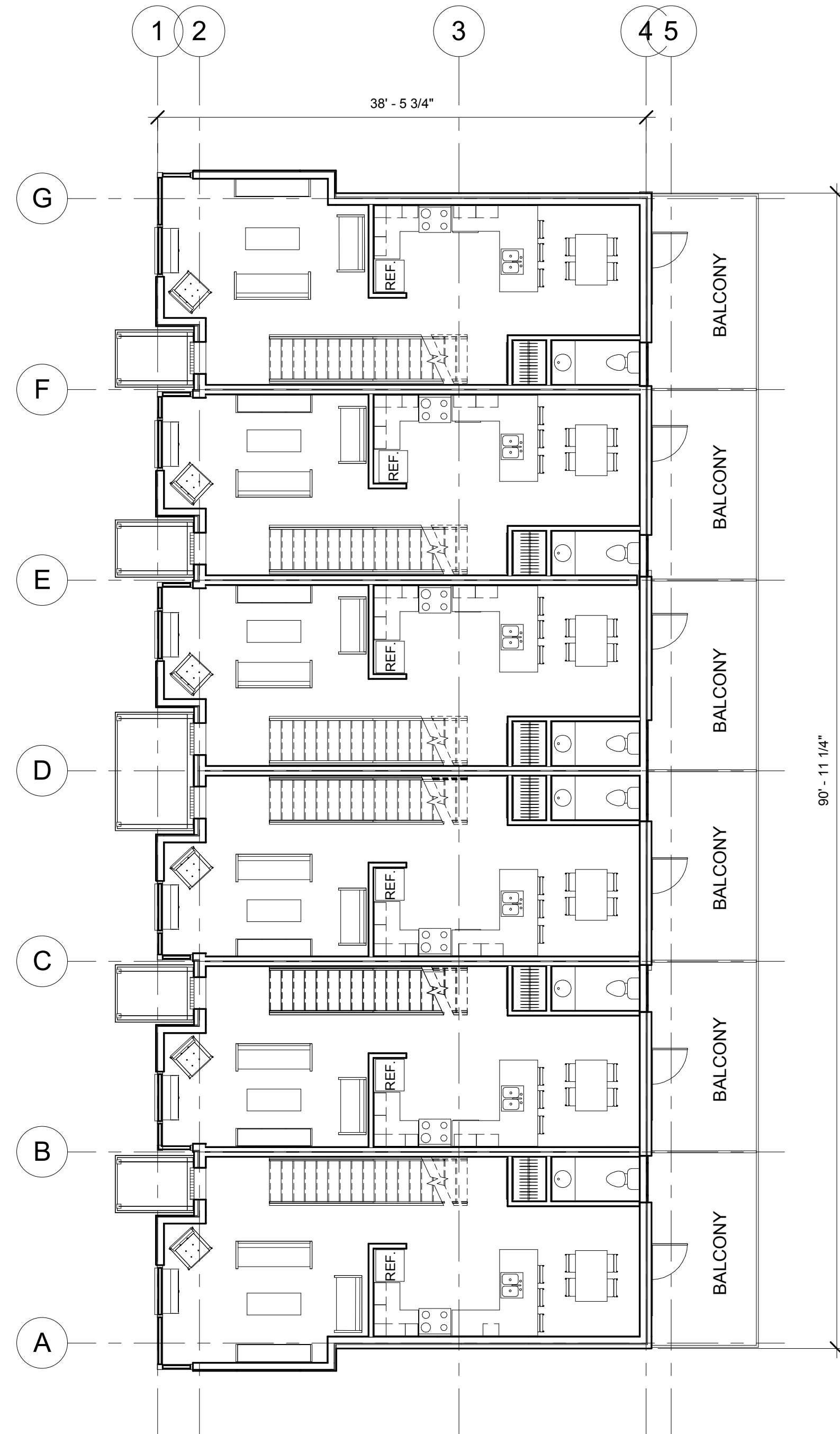
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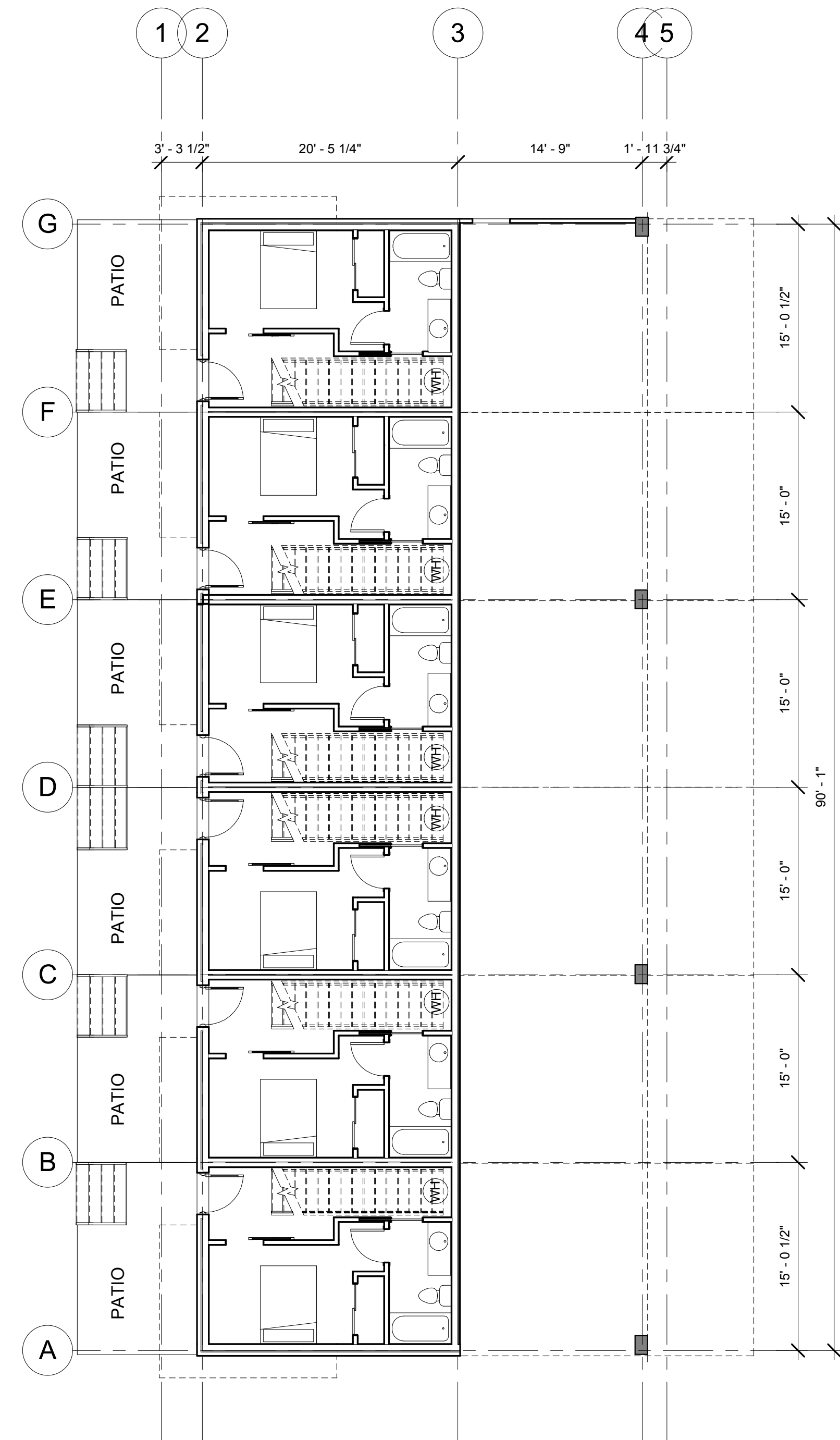




3 TH - FLOOR 3  
1/8" = 1'-0"



2 TH - FLOOR 2  
1/8" = 1'-0"



1 TH - FLOOR 1  
1/8" = 1'-0"

EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES

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TOWNHOUSE  
PLANS

A2.06



GENERAL SITE NOTES

1.     REFERENCING CITY OF OLYMPIA ENGINEERING DESIGN AND DEVELOPMENT STANDARDS (EDDS), CHAPTER 8, TABLE 4

REFUSE QUANTITY

Building/customer type	Yd³ per unit per week	Units	total per week	amt. refuse	recycle total 50%	card recycle	board	organics
Multi family Apt	0.254	86	21.844	10.922	10.922	5.46	3.28	2.18
coffee shop	2	1	2	1	1	0.25	0.25	0.5
restaurant	10	1	10	5	5	0.75	0.75	3.5
retail	1	4	4	2	2	0.5	1.5	0
Total Generated				37.844	18.922	6.961	5.777	6.1844

2 yard dumpster

3 yard dumpster

4 yard dumpster

6 yard dumpsters

20 Gal. Cart

35 Gal. Cart

65 Gal. Cart

95 Gal Cart

2

2

2

7

2

2

2

2

pickups/week

2

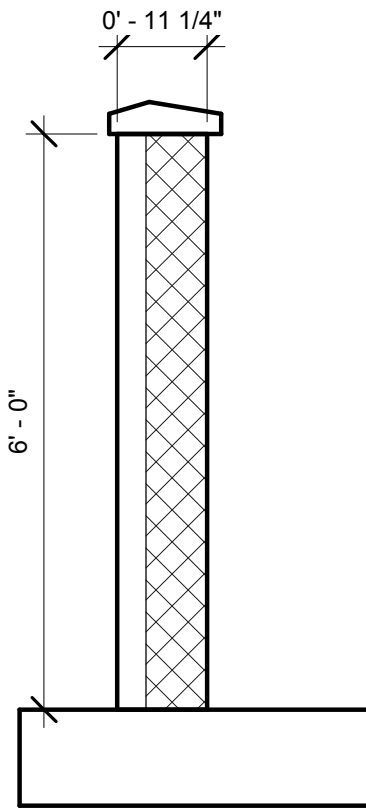
2

2

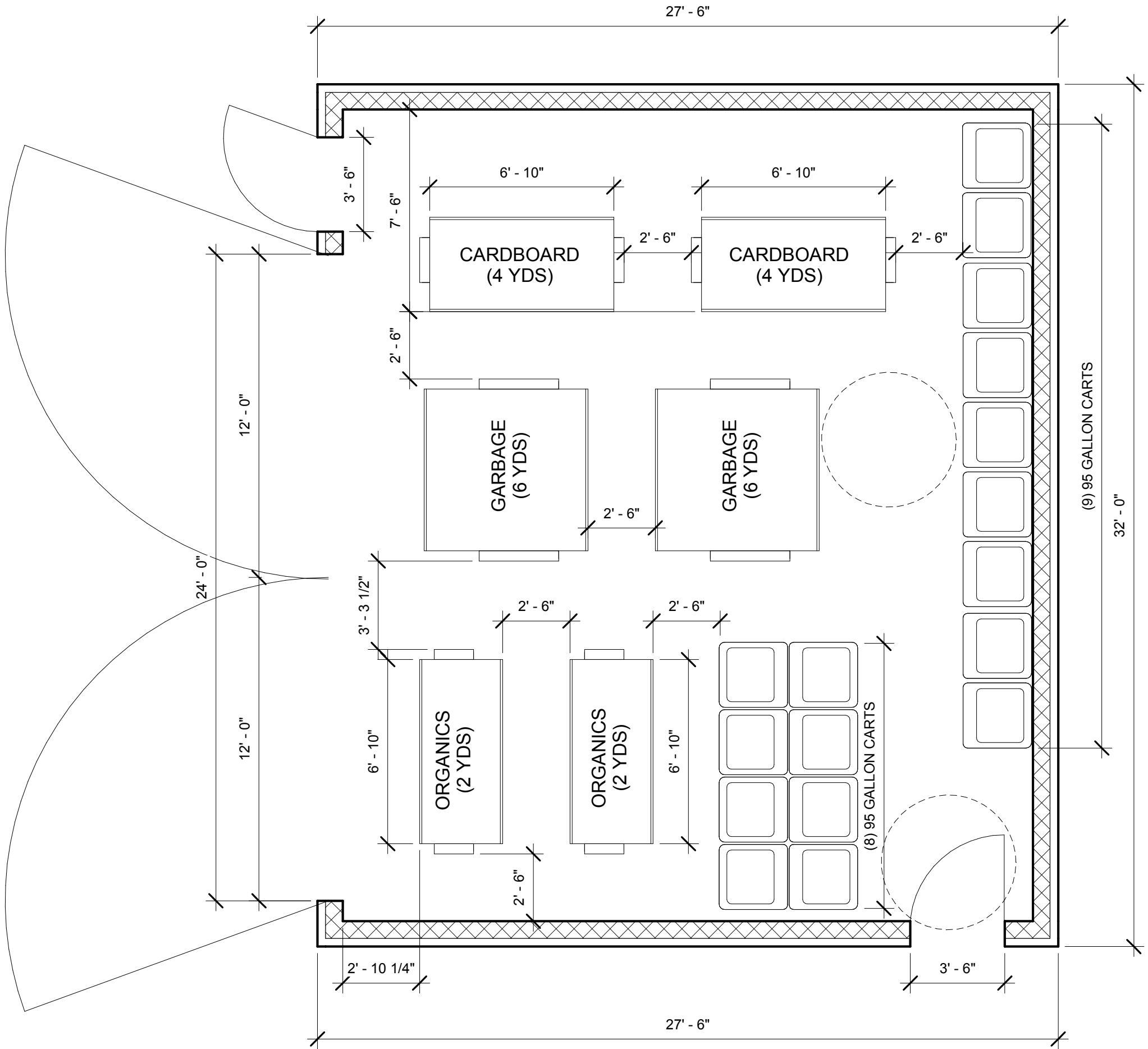
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3-5 units for 95 gallons cart: 96 units / 4 units = 24 (95 gallons carts.) = provided 18 (95 gallons carts)

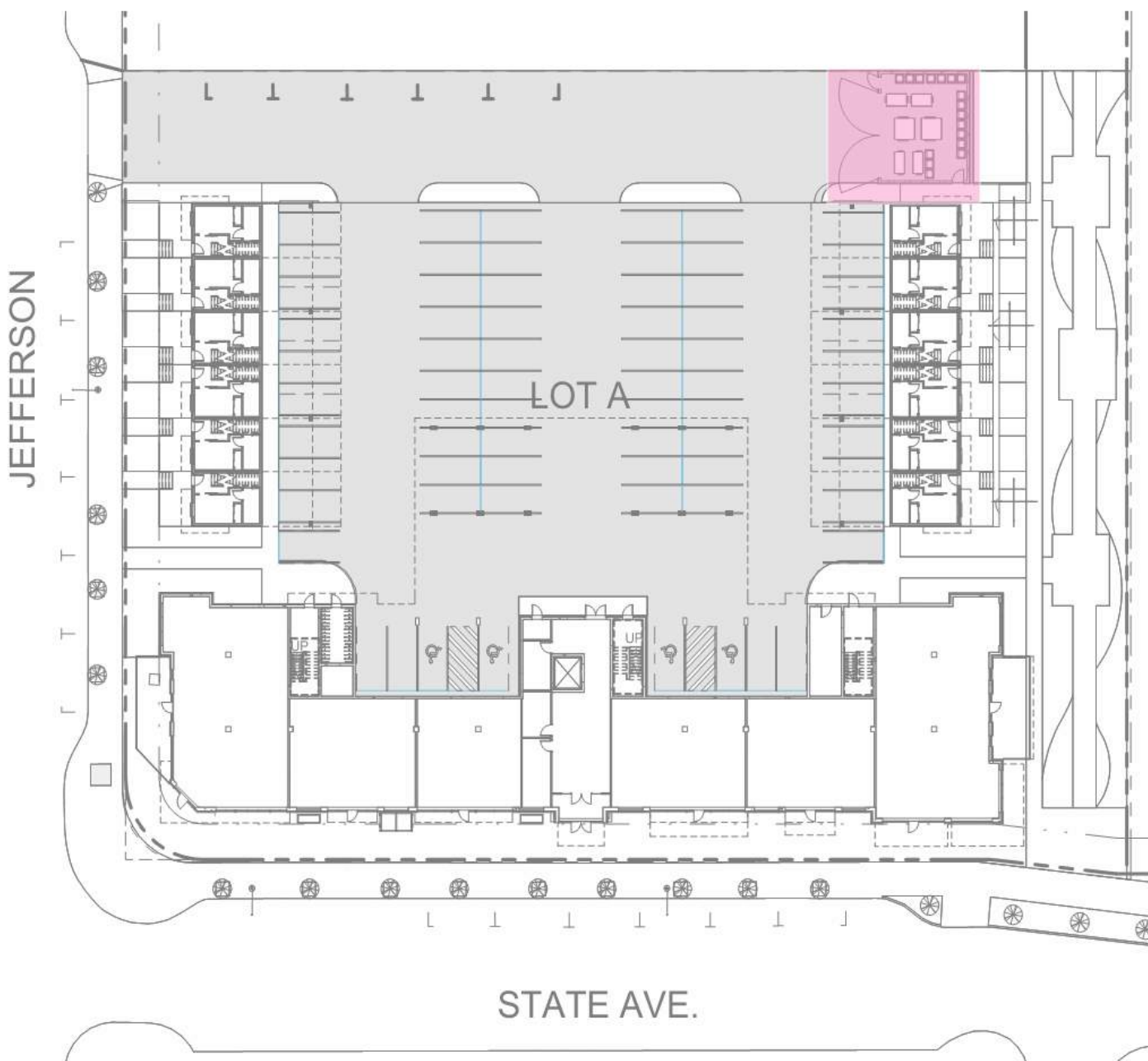
1 yard³ = 202 gallons



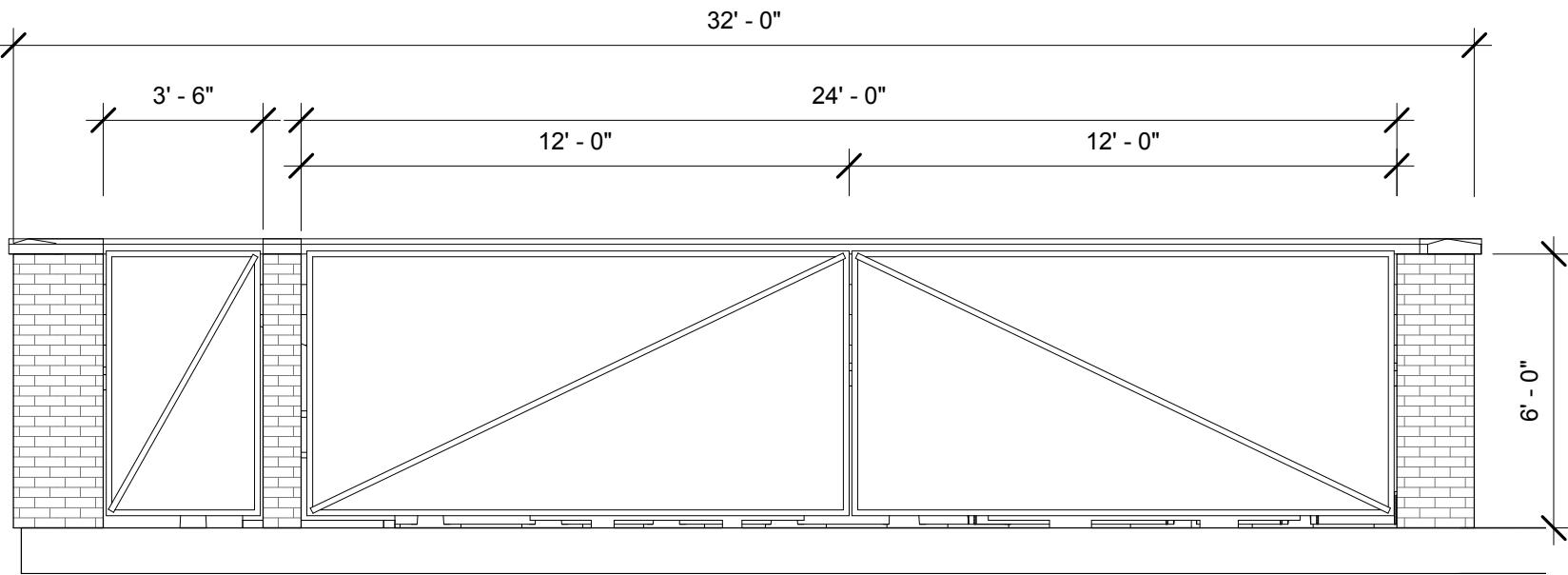
6 Wall-Section-TRASH ENCLOSURE  
1/2" = 1'-0"



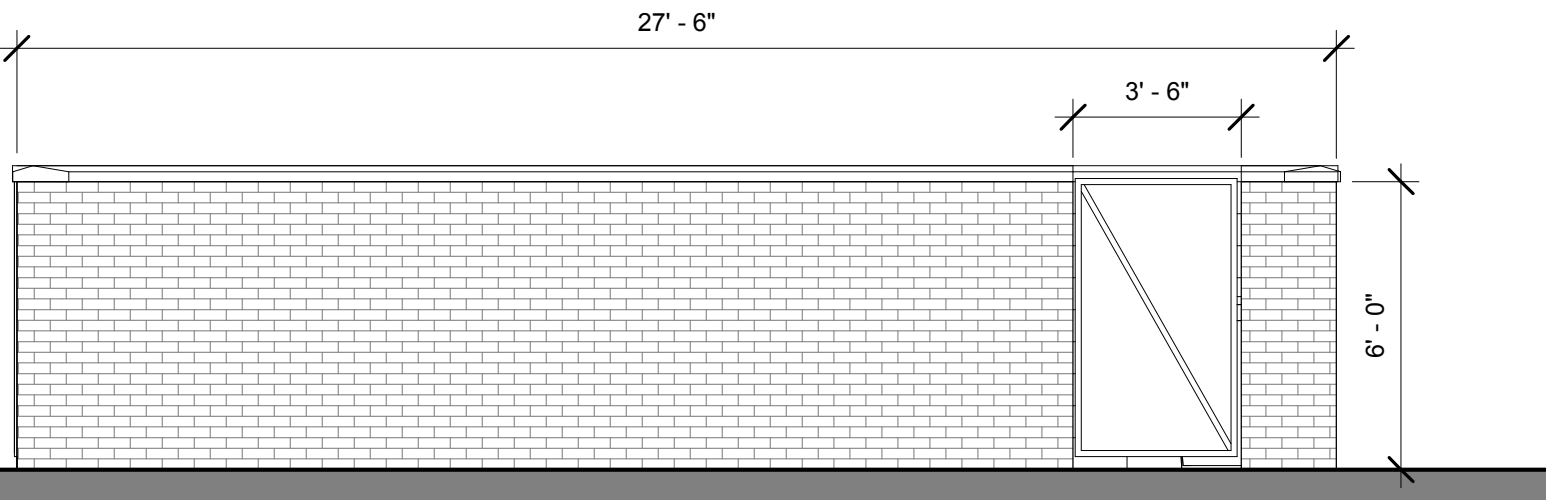
1 TRASH ENCLOSURE  
1/4" = 1'-0"



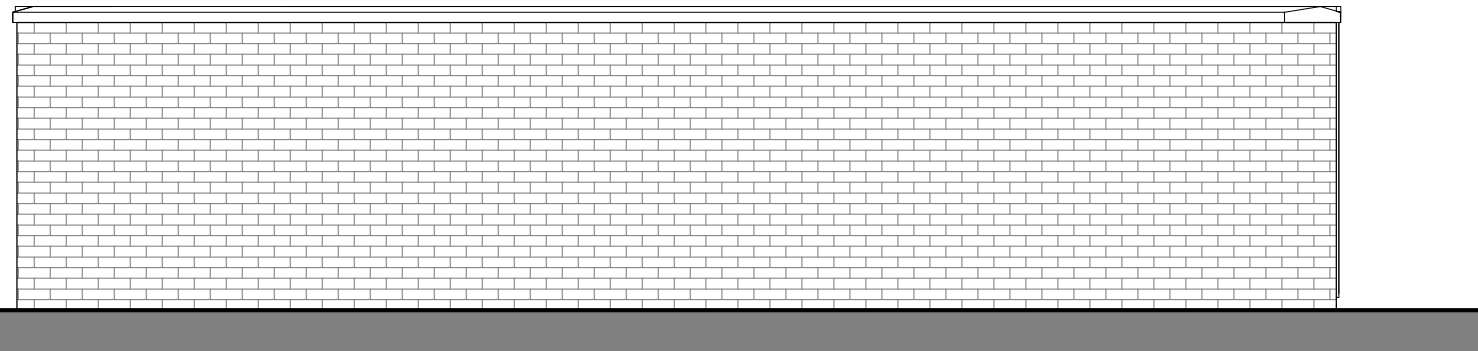
TRASH ENCLOSURE LOCATION ON SITE



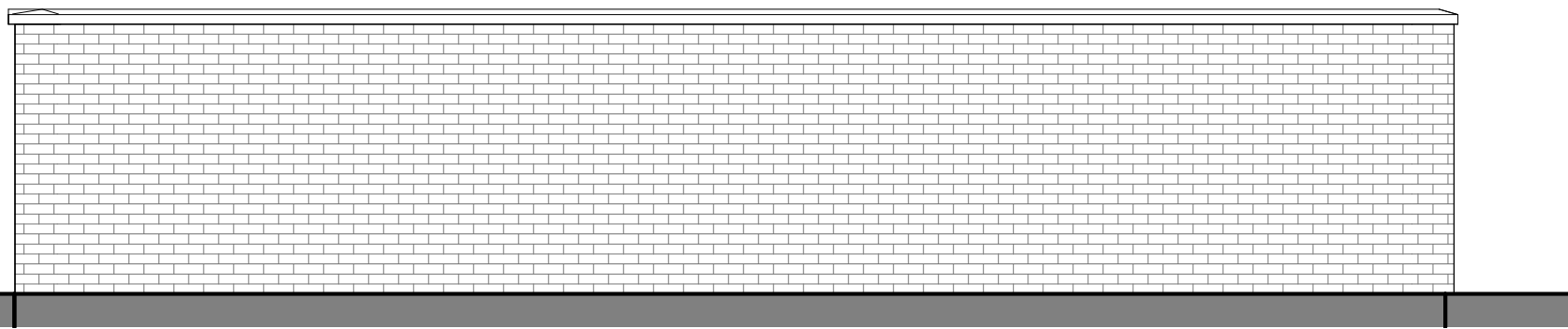
5 TRASH ENCLOSURE - WEST  
1/4" = 1'-0"



4 TRASH ENCLOSURE - SOUTH  
1/4" = 1'-0"



3 TRASH ENCLOSURE - NORTH  
1/4" = 1'-0"



2 TRASH ENCLOSURE - EAST  
1/4" = 1'-0"



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EAST BAY FLATS AND TOWNHOMES  
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ELEVATIONS

A3.01

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ELEVATION KEY NOTES

- 1 BRICK FIELD
- 2 BRICK SOLDIER
- 3 BRICK STILL
- 4 BRICK ACCENT BAND
- 5 WOOD RAINSCREEN
- 6 CEMENT PANEL W/ REGLET REVEAL
- 7 METAL FLASHING
- 8 STEEL CANOPY
- 9 WINDOWS
- 10 STORE FRONT
- 11 METAL RAILING
- 12 LIGHT FIXTURES
- 13 ART PANEL/ GREEN WALL
- 14 METAL SUNSHADE
- 15 PTHP GRILLE
- 16 BRICK FIELD @ T.H.
- 17 BRICK SOLDIER @ T.H.
- 18 BRICK SILL @ T.H.
- 19 SOLID WASTE ENCLOSURE
- 20 METAL INFILL PANEL
- 21 CMU BLOCK WALL
- 22 WOOD DOOR



EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES  
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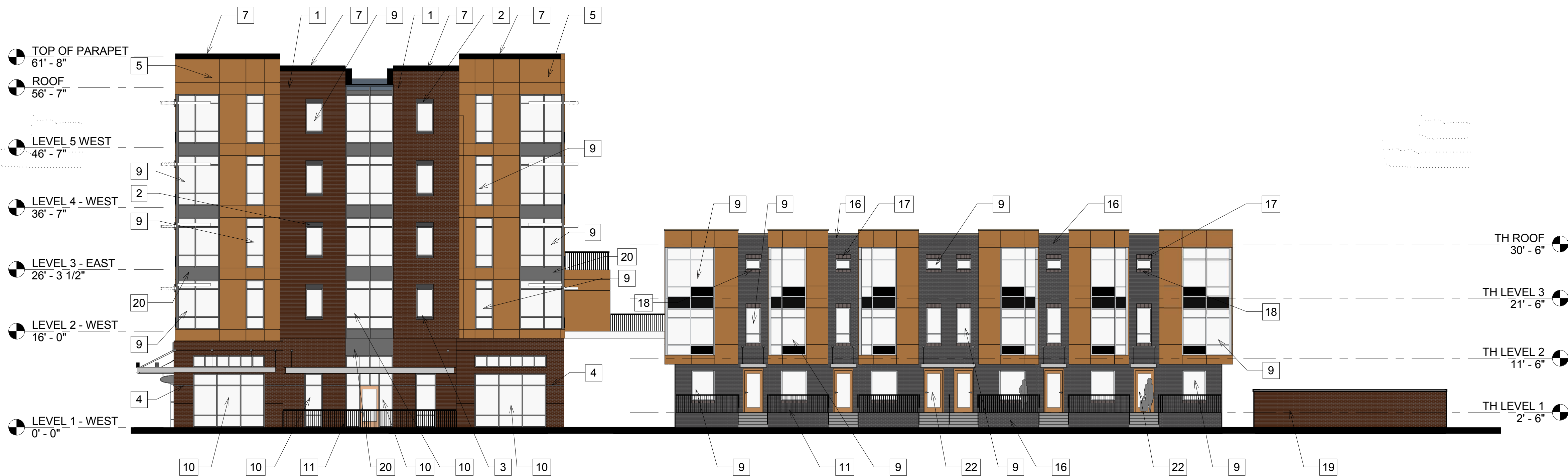
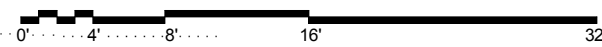
ELEVATIONS

A3.02

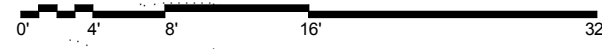
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2 NORTH ELEVATION-MAIN BLDG  
3/32" = 1'-0"



1 EAST ELEVATION  
3/32" = 1'-0"



ELEVATION KEY NOTES

- 1 BRICK FIELD
- 2 BRICK SOLDIER
- 3 BRICK STILL
- 4 BRICK ACCENT BAND
- 5 WOOD RAINSCREEN
- 6 CEMENT PANEL W/ REGLET REVEAL
- 7 METAL FLASHING
- 8 STEEL CANOPY
- 9 WINDOWS
- 10 STORE FRONT
- 11 METAL RAILING
- 12 LIGHT FIXTURES
- 13 ART PANEL/ GREEN WALL
- 14 METAL SUNSHADE
- 15 PTHP GRILLE
- 16 BRICK FIELD @ T.H.
- 17 BRICK SOLDIER @ T.H.
- 18 BRICK SILL @ T.H.
- 19 SOLID WASTE ENCLOSURE
- 20 METAL INFILL PANEL
- 21 CMU BLOCK WALL
- 22 WOOD DOOR





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ELEVATIONS

A3.03

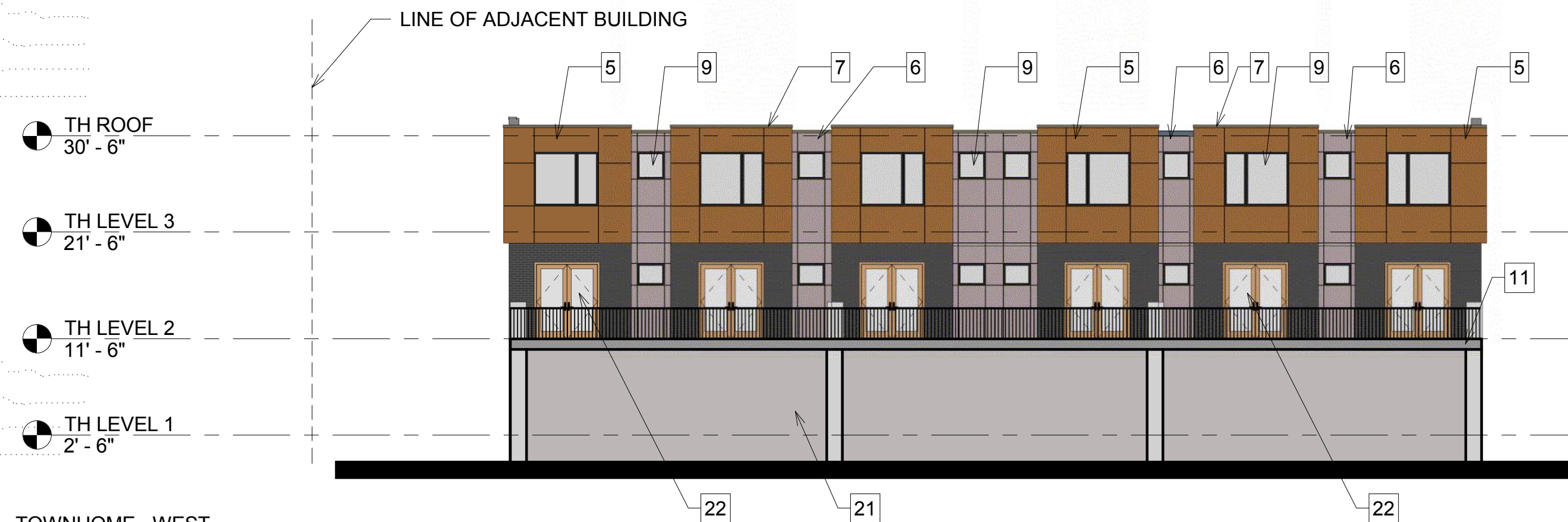
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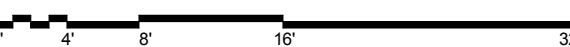
③ NORTH ELEVATION-OVERALL  
3/32" = 1'-0"



② TOWNHOME - EAST  
3/32" = 1'-0"



① TOWNHOME - WEST  
3/32" = 1'-0"



ELEVATION KEY NOTES

- 1 BRICK FIELD
- 2 BRICK SOLDIER
- 3 BRICK STILL
- 4 BRICK ACCENT BAND
- 5 WOOD RAINSCREEN
- 6 CEMENT PANEL W/ REGLET REVEAL
- 7 METAL FLASHING
- 8 STEEL CANOPY
- 9 WINDOWS
- 10 STORE FRONT
- 11 METAL RAILING
- 12 LIGHT FIXTURES
- 13 ART PANEL/ GREEN WALL
- 14 METAL SUNSHADE
- 15 PTHP GRILLE
- 16 BRICK FIELD @ T.H.
- 17 BRICK SOLDIER @ T.H.
- 18 BRICK SILL @ T.H.
- 19 SOLID WASTE ENCLOSURE
- 20 METAL INFILL PANEL
- 21 CMU BLOCK WALL
- 22 WOOD DOOR



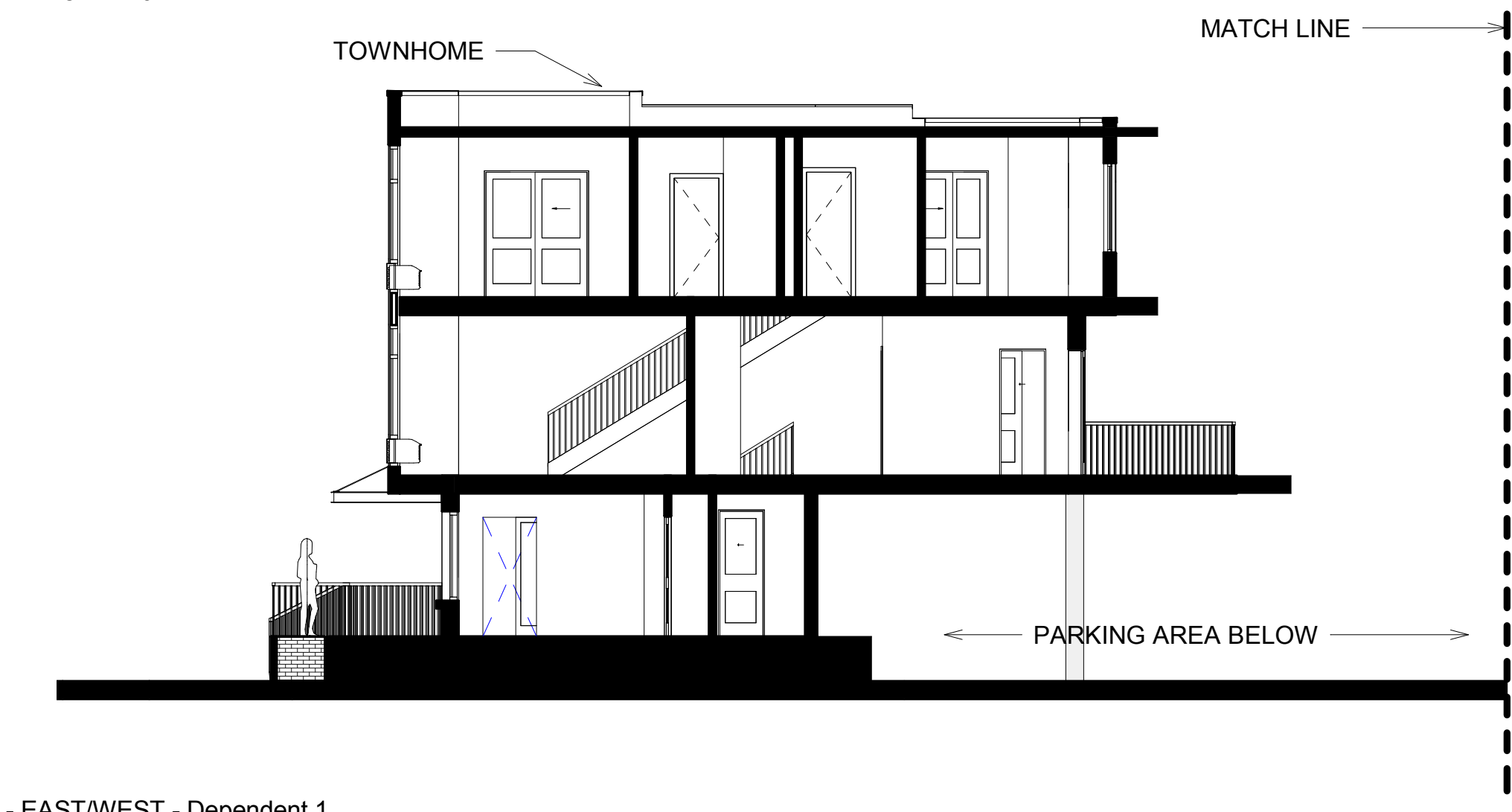
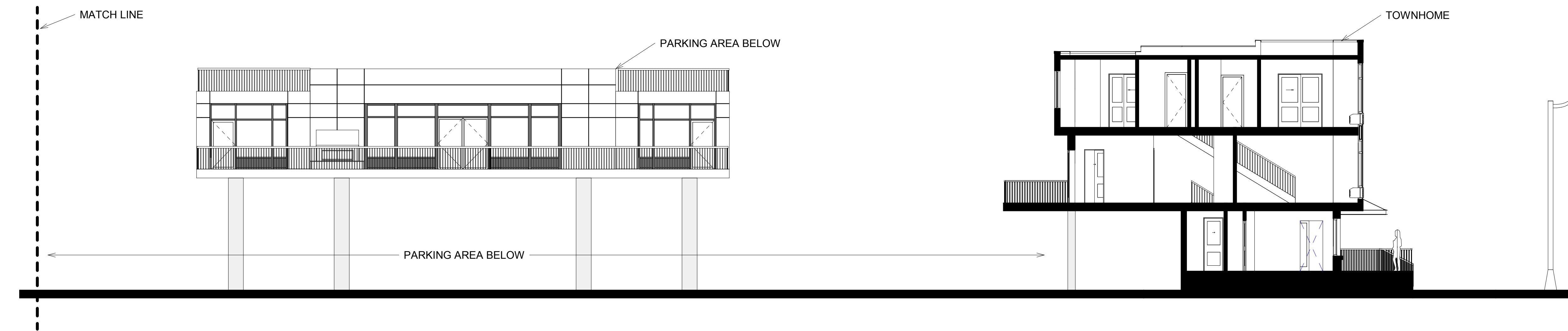
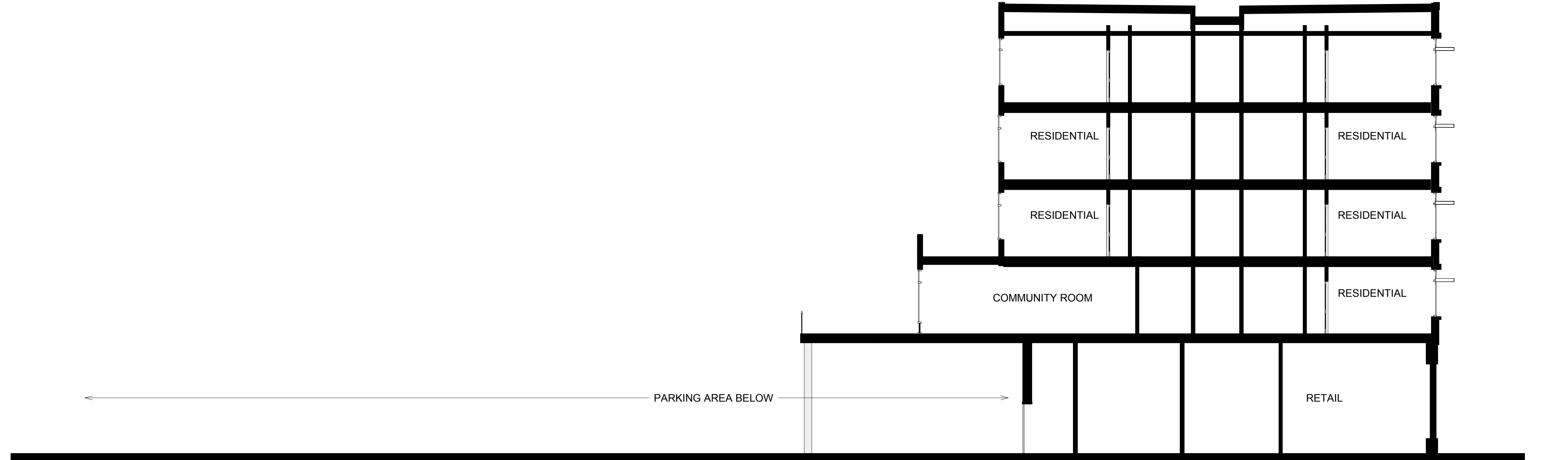
EAST BAY LOT A  
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SECTIONS

A4.01

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EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES

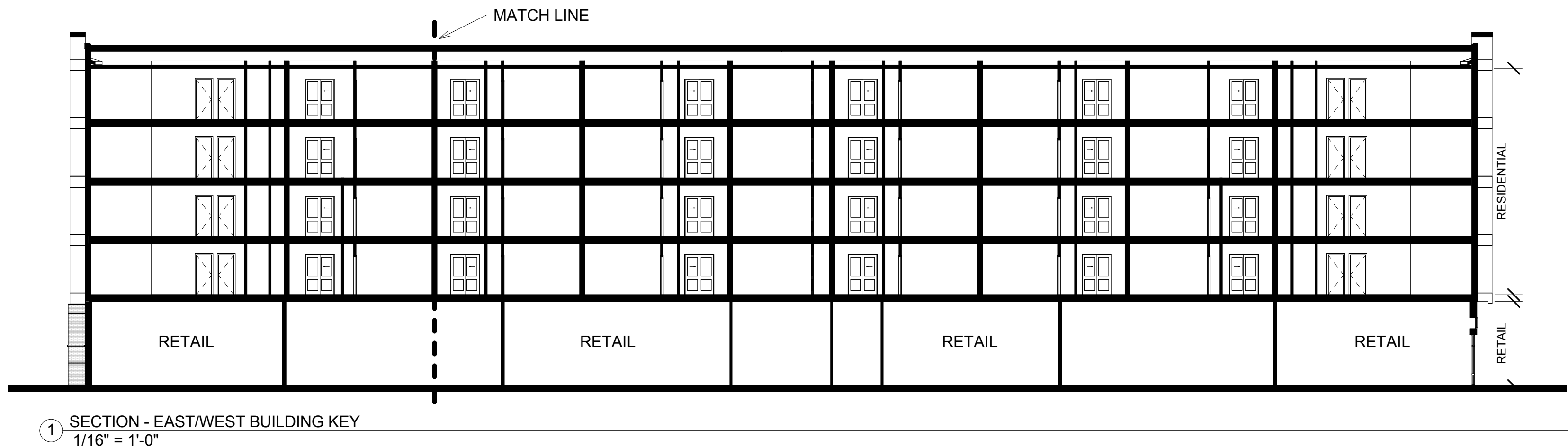
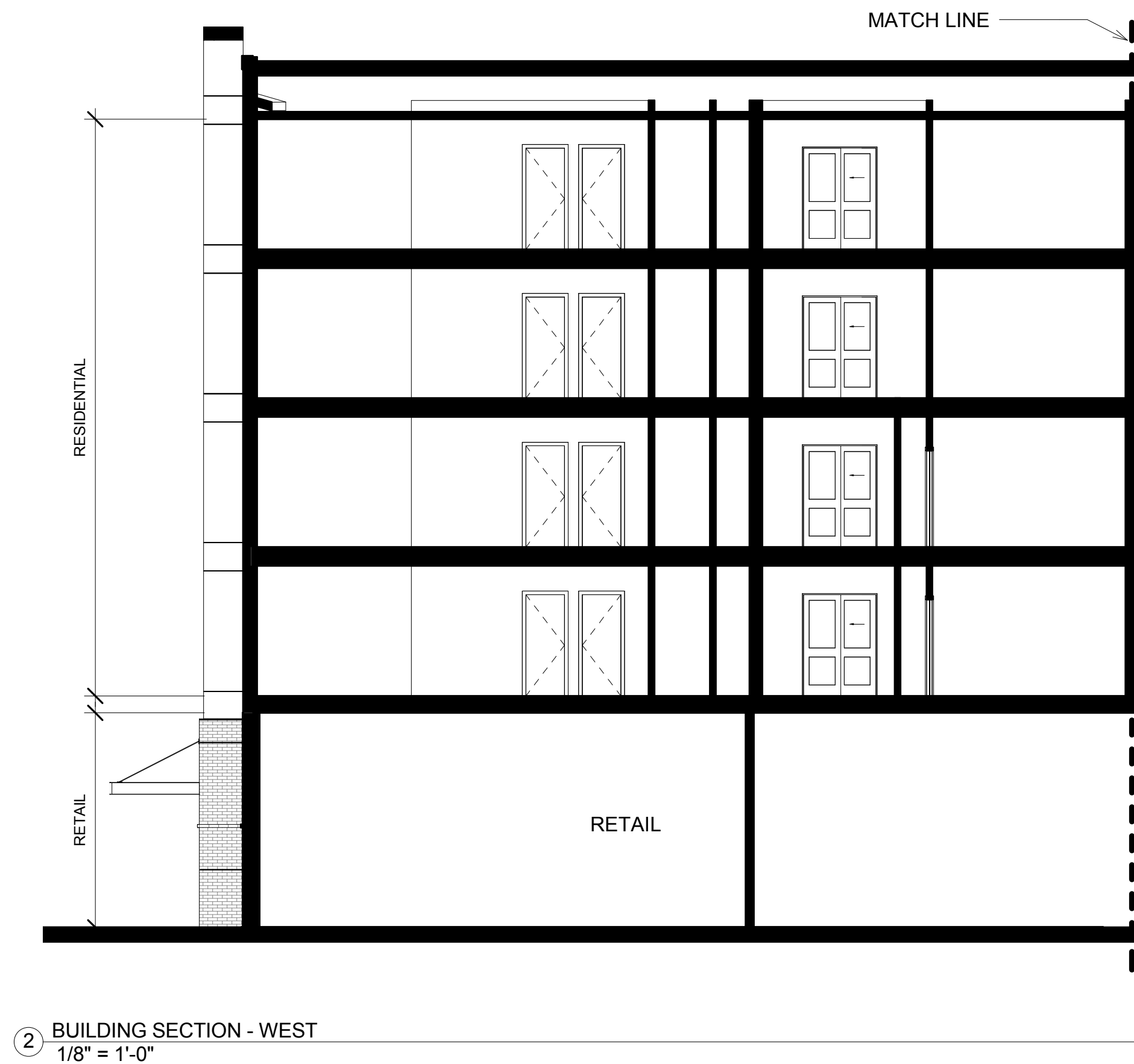
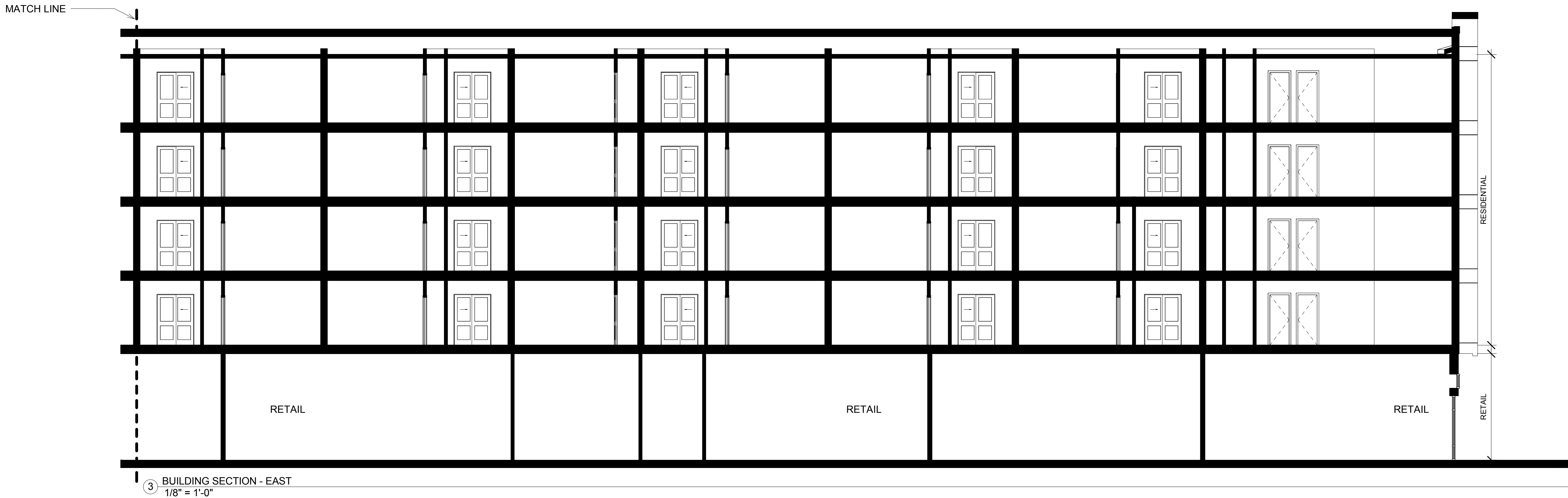
510 STATE AVE OLYMPIA, WA. 98501

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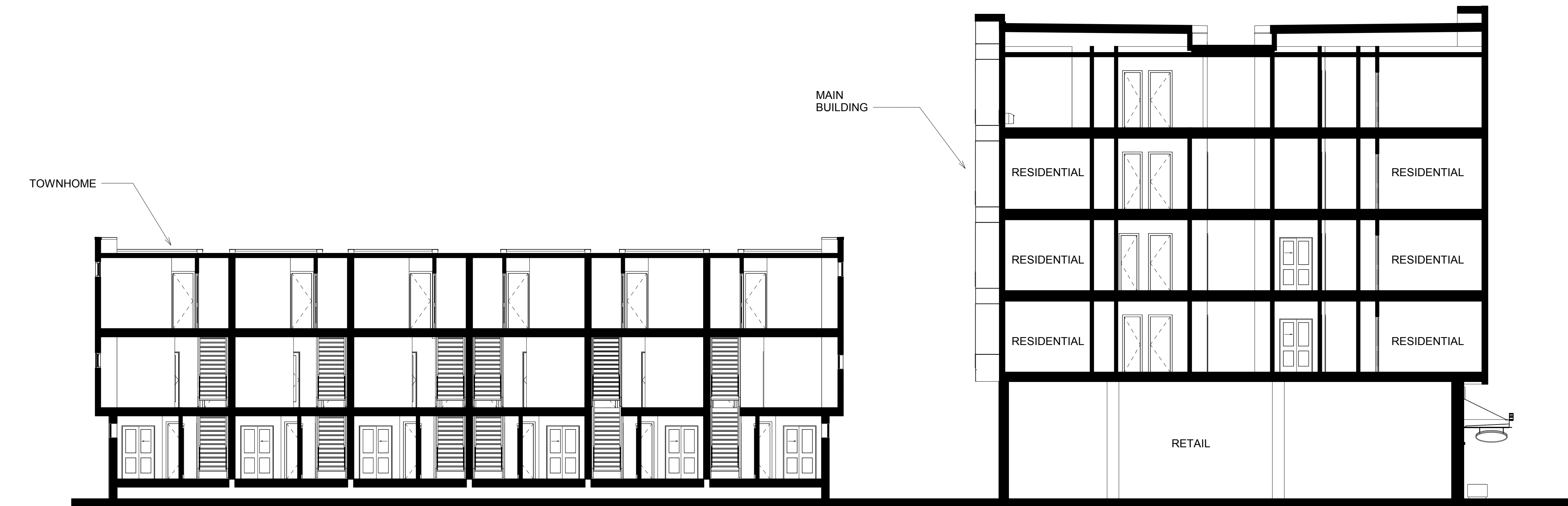
SECTIONS

A4.02

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① SECTION - NORTH/SOUTH-2  
1/8" = 1'-0"

EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES

510 STATE AVE OLYMPIA, WA. 98501

1514  
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7/26/2017 12:47:58 PM

SECTIONS

A4.03





1 VIEW OF TOWNHOMES FROM NORTHEAST

EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES  
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1514  
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7/26/2017 12:47:59 PM

RENDERING

R.01





1 VIEW FROM STATE & JEFFERSON



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EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES

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RENDERING

R.02

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1 VIEW OF TOWNHOMES FROM NORTHWEST



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7/26/2017 12:47:59 PM

RENDERING

R.03

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① VIEW FROM STATE & CHERRY

EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES

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SCHEMATIC DESIGN  
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RENDERING

R.04

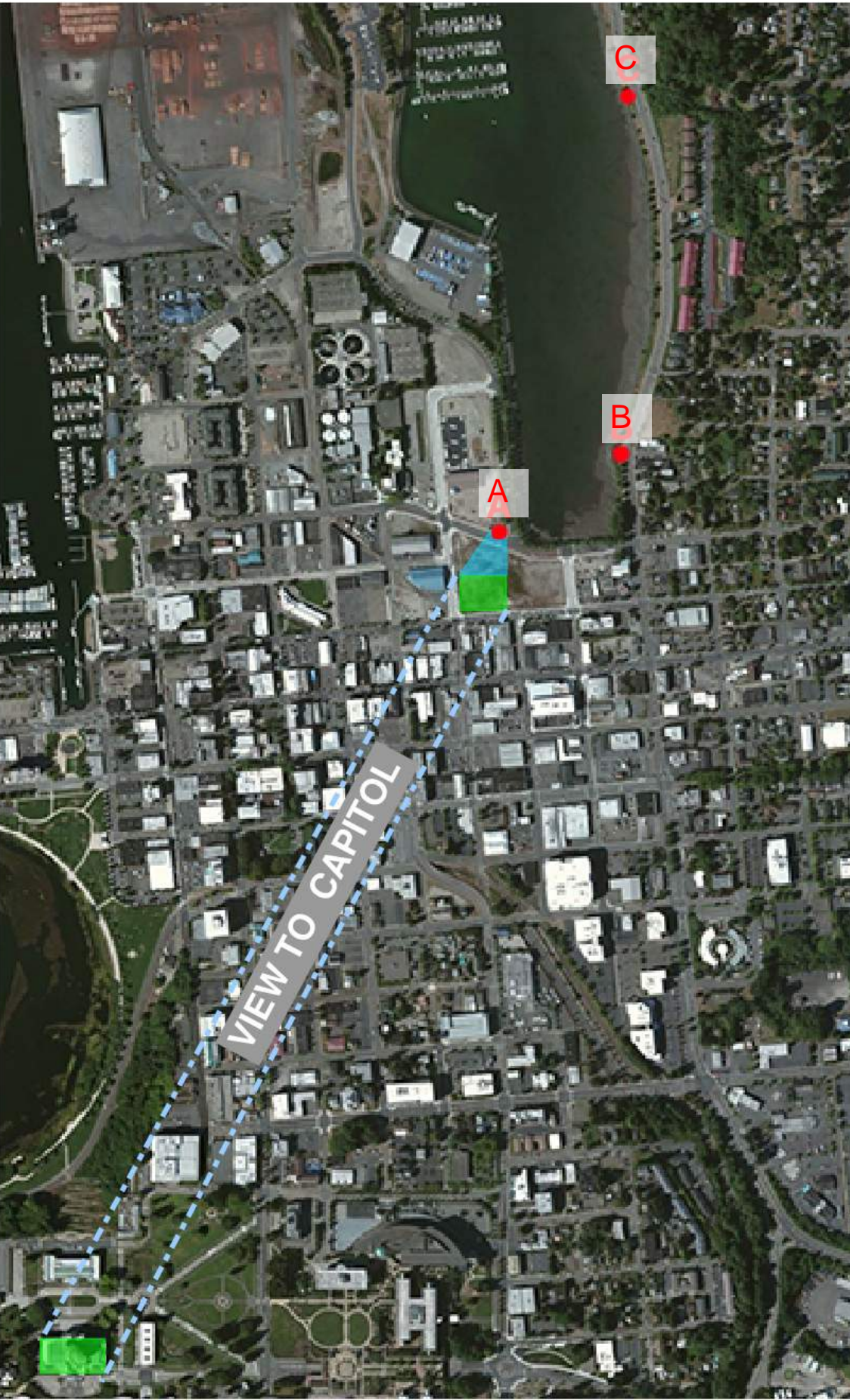




2 VIEW CORRIDOR FROM VIEW POINT A

View from Park Bench at corner of Olympia Ave. NE & Marine Dr NE:  
Proposed new building does block view of Capitol Building from this vantage point.

View of Capitol Building is provided to the East along the walking path at East Bay Inlet. View transitions from focus on Capitol to focus on Budd Inlet at this intersection. Additional proposed site amenities for this development include a pedestrian friendly boardwalk and dry riverbed landscaping making a connection from the downtown core to the East Bay Public Plaza, as well as 'nodes' along boardwalk for public seating and/or public art.



1 VIEW TO CAPITOL FROM VIEW POINT A



EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES

510 STATE AVE OLYMPIA, WA. 98501

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SCHEMATIC DESIGN  
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VIEW CORRIDOR

V1.0





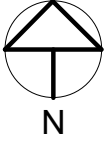
3 VIEW FROM VIEW POINT B  
View from Park Bench at East Bay Drive North:  
Proposed new building does not block view of the Capitol Building.



2 VIEW FROM VIEW POINT C  
View from Park Bench at East Bay Waterfront Park:  
Proposed new building does not block view of the Capitol Building.



1 VIEW TO CAPITOL FROM VIEW POINT B & C



EAST BAY LOT A  
EAST BAY FLATS AND TOWNHOMES  
510 STATE AVE OLYMPIA, WA. 98501

1514  
SCHEMATIC DESIGN  
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VIEW CORRIDOR

V2.0



PATH: U:\PS0\Projects\Clients\7369-3rd Gen Invest Grp\217-7369-002 East Bay - Lot A\995ves\CADD\DWG\ PLOTTED BY: craigmat DATE: Monday, July 24, 2017 9:18:18 AM LAYOUT: COVER PAGE

# EAST BAY LOT A

SECTION 14, TOWNSHIP 18 NORTH, RANGE 2 WEST, W.M.  
Olympia, Washington

**PROPERTY OWNER**

3RD GEN INVESTMENT GROUP, LLC  
PO BOX 7534  
OLYMPIA, WA 98507-7534

**APPLICANT**

WALKER JOHN  
3RD GEN INVESTMENT GROUP, LLC  
PO BOX 7534  
OLYMPIA, WA 98507-7534

**CIVIL ENGINEER**

PARAMETRIX - PUYALLUP OFFICE  
1019 39TH AVENUE SE, SUITE 100  
PUYALLUP, WA 98374  
253.604.6600  
CONTACT: SAM NIELSON, PE

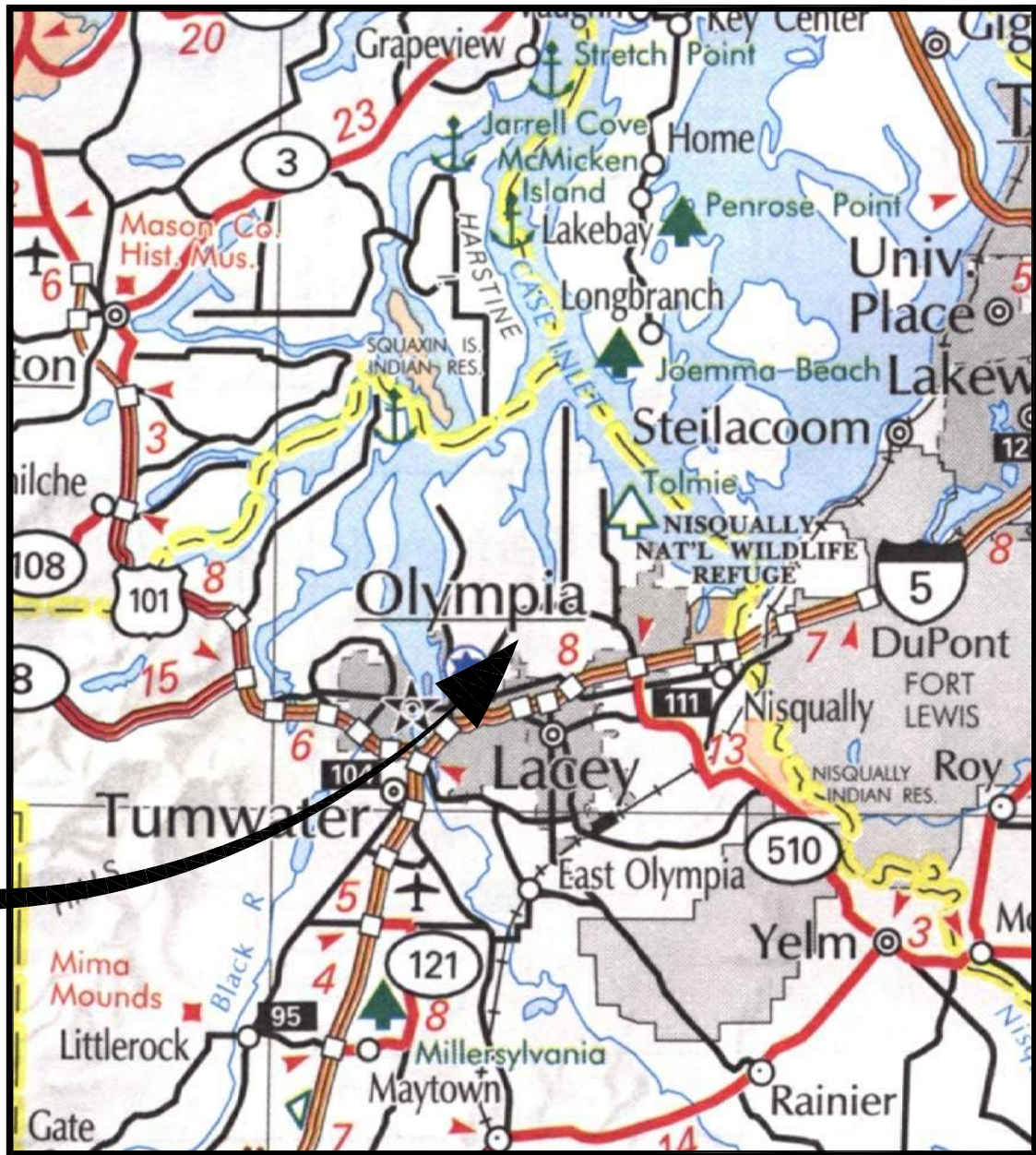
**CALL BEFORE YOU DIG**

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

**UTILITIES LOCATE NOTE**

THE LOCATION OF EXISTING UTILITIES SHOWN HEREON IS BASED ON INFORMATION OBTAINED FROM THE FIELD AND FROM RECORDS. PARAMETRIX ASSUMES NO RESPONSIBILITY FOR EXACT LOCATION OF EXISTING UTILITIES SHOWN OR NOT SHOWN HEREON. CONTRACTOR SHALL VERIFY THE EXACT SIZE, DEPTH, AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL FOR UNDERGROUND LOCATE AT 811 PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE RELOCATION OF EXISTING UNDERGROUND UTILITIES DEPICTED OR NOT DEPICTED ON THESE PLANS.

PROJECT  
LOCATION

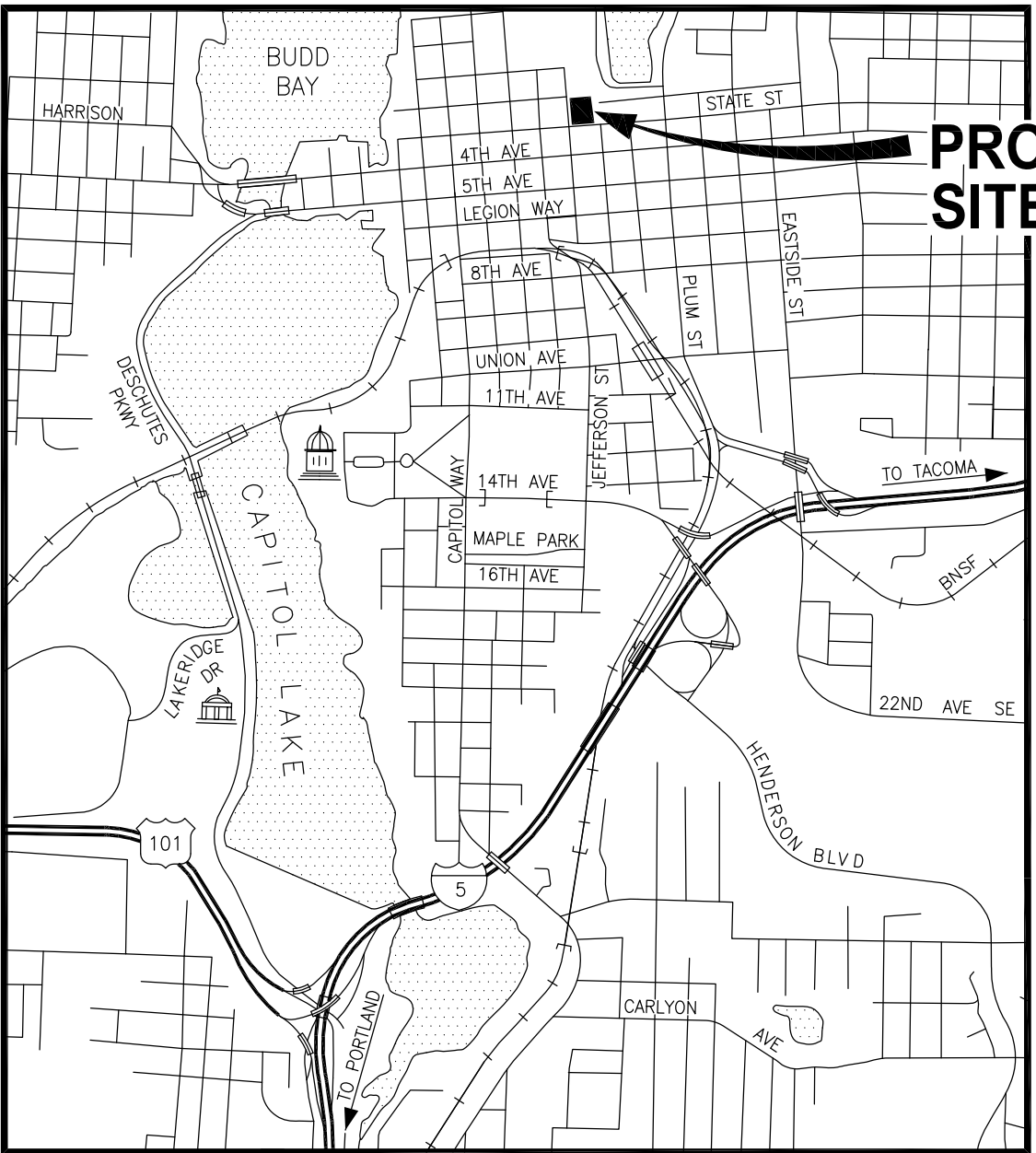


VICINITY MAP

NO SCALE



PROJECT  
SITE



LOCATION MAP

NO SCALE



**INDEX TO DRAWINGS**

SHT NO.	DWG NO.	SHEET TITLE
01	CV-01	COVER SHEET
02	LG-01	GENERAL NOTES, LEGEND & ABBREVIATIONS
03	LG-02	GENERAL NOTES
04	DM-01	DEMOLITION AND TESC PLAN
05	HS-01	HARDSCAPE SITE PLAN
06	GR-01	GRADING PLAN
07	UT-01	UTILITY PLAN
08	UT-02	SEWER PLAN AND PROFILE
09	DT-01	DETAILS
10	DT-02	DETAILS
11	DT-03	DETAILS
12	DT-04	DETAILS
13	SW-01	SOLID WASTE COLLECTION PLAN
14	SV-1	EASTBAY TOPOGRAPHIC SURVEY
15	A1.01	SITE PLAN - PROJECT
16	A2.29	ENLARGED PLANS - TRASH ENCLOSURE

**SITE INFORMATION:**

TAX PARCEL NUMBERS 66130000403  
ZONING URBAN WATERFRONT

**SERVICE PROVIDERS:**

SEWER/WATER: CITY OF OLYMPIA  
WATER: PUGET SOUND ENERGY  
CABLE TV: COMCAST  
FIRE RESPONSE: CITY OF OLYMPIA F.D.



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PROJECT NAME

**EAST BAY - LOT A**  
**3RD GEN INVESTMENT GROUP, LLC**

OLYMPIA, WASHINGTON

**PERMIT SET**  
**NOT FOR CONSTRUCTION**

**COVER SHEET**



Know what's below.  
Call before you dig.

DRAWING NO.

01 OF 16

**CV-01**



LAYOUT: GENERAL NOTES      PATH: U:\PSO\Projects\Clients\7369-002 East Bay - Lot A\995vcs\CADD DWG\      PLOTTED BY: cdragmat      DATE: Monday, July 24, 2017 9:18:37 AM

LEGEND - EXISTING

	BUILDING OUTLINE
	CULVERT
	CATCH BASIN
	STORM MANHOLE
	GAS VALVE
	FIRE HYDRANT
	LUMINARY
	MAILBOX
	J-BOX
	POWER POLE ANCHOR
	POWER POLE
	POWER RISER
	POWER VAULT
	PEDESTRIAN BRIDGE
	SANITARY CLEANOUT
	SANITARY SEWER MANHOLE
	SIGN
	SIGNAL LUMINARY
	SURVEY MONUMENT
	SURVEY MONUMENT
	SURVEY MONUMENT
	TELEPHONE MANHOLE
	TELEPHONE RISER
	TREE - CONIFEROUS
	TREE - DECIDUOUS
	WATER METER
	WATER VALVE
	ALIGNMENT CENTERLINE
	ALIGNMENT RIGHT OF WAY LINE
	ASPHALT LINE
	CHANNELIZATION DASHED EDGE LINE
	CHANNELIZATION SKIP LINE
	CHANNELIZATION TWO WAY LEFT TURN LINE
	DITCH CENTERLINE
	FENCE - BARB WIRE
	FENCE - CHAIN LINK
	FENCE - WOOD
	GUARD RAIL
	GRAVEL LINE
	HIGH WATER MARK
	MINOR CONTOURS
	MAJOR CONTOURS
	SANITARY SEWER LINE
	STORM DRAIN LINE
	TREE OUTLINE
	WATER BANK LINE
	WATER MAIN
	WETLAND BOUNDARY LINE
	WETLAND BOUNDARY SETBACK LINE
	WETLAND DITCH LINE
	WETLAND DITCH SETBACK
	TREE PROTECTION FENCE

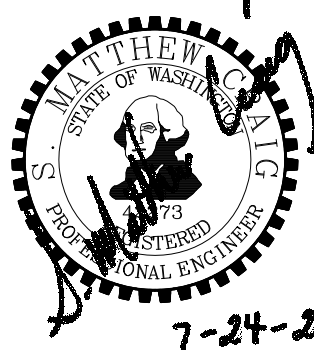
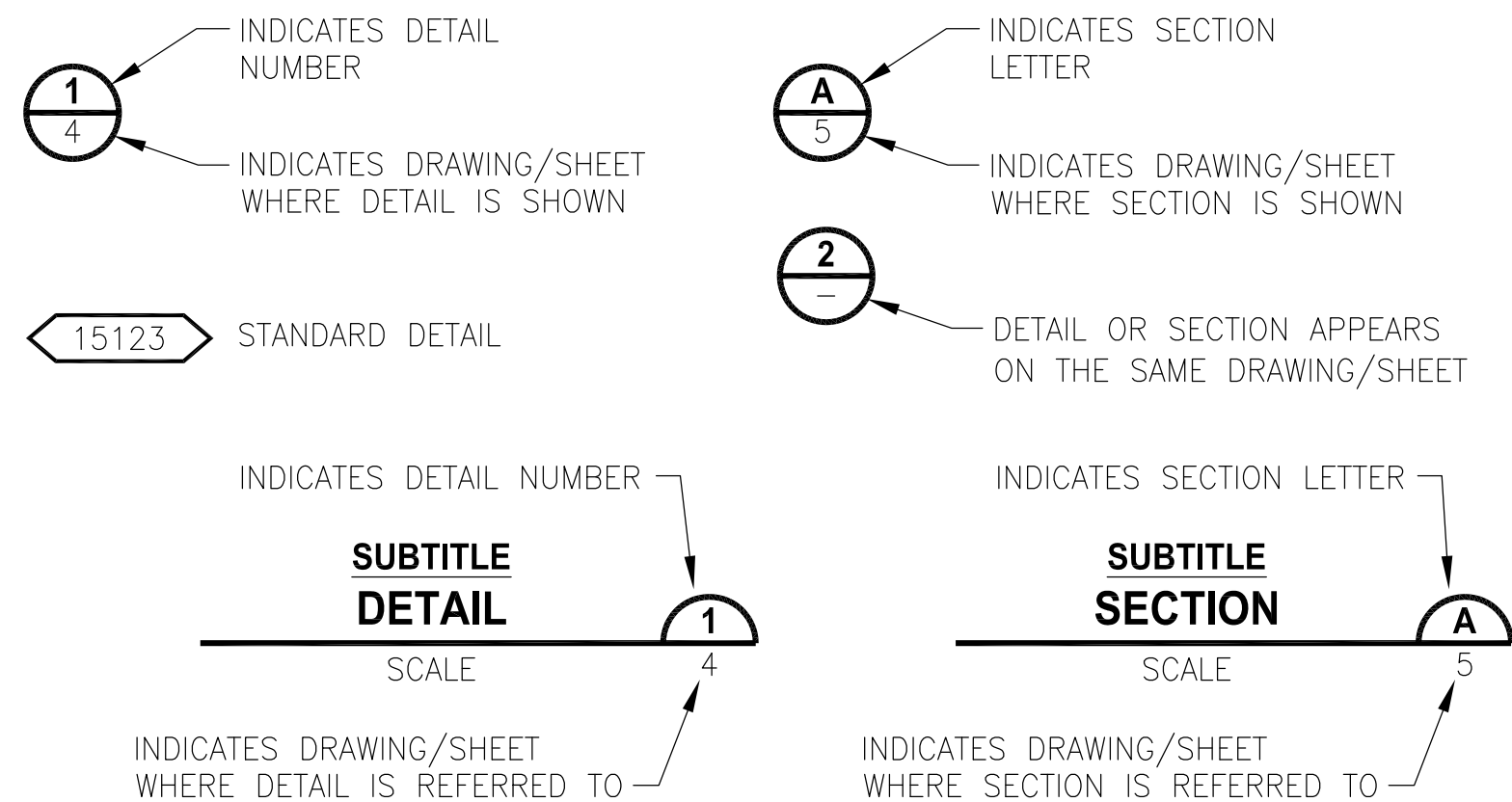
ABBREVIATIONS

ADDL	ADDITIONAL	LF	LINEAR FEET, LINEAR FOOT
ADJ	ADJUSTABLE	LG	LENGTH, LONG
AGG	AGGREGATE	LIN	LINEAR
ALLOW	ALLOWANCE, ALLOWABLE	LN	LANE
AMT	AMOUNT	LT	LEFT
ANG	ANGLE	LTG	LIGHTING
AP	ANGLE POINT	MAN	MANUAL
APPD	APPROVED	MATL	MATERIAL
APPROX	APPROXIMATE	MH	MANHOLE
APWA	AMERICAN PUBLIC WORKS ASSOCIATION	MIN	MINIMUM, MINUTE
ARV	AIR RELEASE VALVE	MISC	MISCELLANEOUS
ASPH	ASPHALT	MON	MONUMENT
ASSY	ASSEMBLY	MPH	MILES PER HOUR
ATB	ASPHALT TREATED BASE	MTL	METAL
AVE	AVENUE	MW	MONITORING WELL
AVG	AVERAGE	N	NORTH, NORTHING
BC	BEGINNING OF CURVE, BOLT CIRCLE	NIC	NOT IN CONTRACT
BCR	BEGINNING OF CURVE CENTER	NO.	NUMBER
BF	BLIND FLANGE	NTS	NOT TO SCALE
BLDG	BUILDING	P	PUMP, POWER
BLVD	BOULEVARD	PC	POINT OF CURVATURE
BM	BEAM, BENCH MARK	PCC	PORTLAND CEMENT CONCRETE
BO	BLOW OFF	PCY	PRESSURE CONTROL VALVE
BOT	BOTTOM	PERF	PERFORATE, PERFORATED
BRG	BEARING	PH	PHASE
BVC	BEGIN VERTICAL CURVE	PI	POINT OF INTERSECTION, PRESSURE INDICATOR
CALC	CALCULATION	PWV	POINT OF INTERSECTION FOR VERTICAL CURVE
CAP	CAPACITY	PP	POWER POLE
CB	CATCH BASIN	PRV	PRESSURE REGULATING VALVE, PRESSURE RELIEF VALVE, PRESSURE REDUCING VALVE
CCP	CONCRETE CYLINDER PIPE	PS	PRESSURE SWITCH
CCSP	CONCRETE LINED AND COATED STEEL PIPE	PSI	POUNDS PER SQUARE INCH
CEM	CEMENT	PT	POINT OF TANGENCY, POINT
CHV	CHECK VALVE	PV	PLUG VALVE
CI	CAST IRON	PVI	POINT OF VERTICAL INTERSECTION
CIP	CAST IN PLACE, CAST IRON PIPE	PVT	PAVEMENT, PAVING, PRIVATE
CLR	CLEAR, CLEARANCE	PWR	POWER
CND	CONDUIT	QTY	QUANTITY
CO	COUNTY, CLEANOUT	QUAL	QUALITY
CONC	CONCRETE	R	RISER
CONN	CONNECT, CONNECTION	RAD	RADIUS
CONST	CONSTRUCT, CONSTRUCTION	RCP	REINFORCED CONCRETE PIPE
CONT	CONTINUE, CONTINUOUS	RD	ROAD, ROOF DRAIN
CONTR	CONTRACTOR	RED	REDUCER
COORD	COORDINATE	REF	REFERENCE
CSBC	CRUSHED SURFACING BASE COURSE	REQD	REQUIRED
CSTC	CRUSHED SURFACING TOP COURSE	RET	RETAINING, RETURN
CTR	CENTER	REV	REVERSE, REVISE
CUFT	CUBIC FOOT, CUBIC FEET	ROT	ROTATE
CULV	CULVERT	ROW	RIGHT OF WAY
CV	CONTROL VALVE	RT	RIGHT
CY	CUBIC YARD	RV	RELIEF VALVE
D	DEPTH, DENSITY, DRAIN, DRAINAGE	RW	RIGHT OF WAY
DBL	DOUBLE	S	SOUTH
DEG	DEGREE	SCH	SCHEDULE
DEMO	DEMOLITION	SD	STORM DRAIN
DEPT	DEPARTMENT	SDMH	STORM DRAIN MANHOLE
DET	DETAIL	SE	SPOT EVALUATION
DI	DUCTILE IRON	SECT	SECTION
DIA	DIAMETER	SEG	SEGMENT
DIM	DIMENSION	SERV	SERVICE
DIP	DUCTILE IRON PIPE	SIG	SIGNAL
DIST	DISTANCE, DISTRICT	SL	SLOPE, RAW SLUDGE
DSGN	DESIGN	SPA	SPACE, SPACES
DWG	DRAWING	SPEC	SPECIFICATION
E	EAST, EASTING	SPG	SPACING
EA	EACH	SQ	SQUARE
EC	END OF CURVE	SQFT	SQUARE FOOT, SQUARE FEET
EL	ELEVATION	SQIN	SQUARE INCH, SQUARE INCHES
ELL	ELBOW	SQYD	SQUARE YARD, SQUARE YARDS
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EQUIP	EQUIPMENT	SSMH	SANITARY SEWER MANHOLE
EVC	END VERTICAL CURVE	ST	STREET
EXIST	EXISTING	STA	STATION
EXL	EXCAVATE	STD	STANDARD
FCR	FINE CRUSHED ROCK	SUR	SURFACE
FG	FINISH GRADE	SURV	SURVEY
FH	FIRE HYDRANT	SYS	SYSTEM
FIN	FINISH, FINISHED	TAN	TANGENT
FL	FLOW LINE	TEL	TELEPHONE
FLG	T FLANGE, FLANGED	TEMP	TEMPERATURE, TEMPORARY
FM	FORCE MAIN	THK	THICK, THICKNESS
G	GAS	THRU	THROUGH
GND	GROUND	TOB	TOP OF BANK
GR	GRADE	TOC	TOP OF CONCRETE, TOP OF CURB
GV	GATE VALVE	TOT	TOTAL
H	HIGH	TOW	TOP OF WALL
HORIZ	HORIZONTAL	TYP	TYPICAL
HT	HEIGHT	UG	UNDERGROUND
ID	INSIDE DIAMETER	UP	UTILITY POLE
IE	INVERT ELEVATION	UPR	UPPER
IN	INCH	V	VALVE, VENT, VOLT
INCL	INCLUDE, INCLUDING	VAR	VARIABLE, VARIABLE
INSTL	INSTALL, INSTALLATION	VERT	VERTICAL
INT	INTERIOR, INTERSECTION	VOL	VOLUME
INV	INVERT	W	WATER, WATT, WEST, WIDTH
JB	JUNCTION BOX	WD	WIDE, WOOD
JCT	JUNCTION	WM	WATER METER
LAT	LATERAL, LATITUDE	WS	WATER SURFACE
LB	POUND	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
LBL	LABEL	WT	WEIGHT
		XFMR	TRANSFORMER
		XSECT	CROSS-SECTION
		YD	YARD
		YR	YEAR

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY THE CITY OF OLYMPIA AND THE PROJECT OWNER.
2. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS TO REMAIN ACCESSIBLE AT ALL TIMES.
3. EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE FACILITIES SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SILTS TO OFF-SITE PROPERTIES. ALL DISTURBED EARTH CAUSED BY CONTRACTOR'S ACTIVITIES SHALL BE HYDROSEEDDED.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE-CONSTRUCTION" STATE OR BETTER.
5. ALL CONSTRUCTION MUST COMPLY WITH THE WSDOT STANDARD SPECIFICATION (LATEST EDITION) UNLESS OTHERWISE SUPERSEDED BY CITY STANDARDS.

DETAIL AND SECTION DESIGNATION



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PROJECT NAME  
**EAST BAY - LOT A**  
**3RD GEN INVESTMENT GROUP, LLC**  
  
OLYMPIA, WASHINGTON

**PERMIT SET**  
**NOT FOR CONSTRUCTION**

**GENERAL NOTES,**  
**LEGEND & ABBREVIATIONS**

**811**  
Know what's below.  
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DRAWING NO.  
02 OF 16

**LG-01**



LAYOUT: GENERAL NOTES 2      PATH: U:\PSO\Projects\Clients\7369-3rd Gen Invest Grp\217-7369-002 East Bay - Lot A\95ves\ADD\DWG\      PLOTTED BY: craigmat      DATE: Monday, July 24, 2017 8:18:54 AM

CITY OF OLYMPIA STORM DRAIN CONSTRUCTION NOTES

- ALL WORKMANSHIP AND MATERIALS WILL BE IN ACCORDANCE WITH CITY OF OLYMPIA STANDARDS AND THE MOST CURRENT COPY OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR EXTERNAL LINKROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (WSDOT/APWA).
- THE CONTRACTOR SHALL BE IN COMPLIANCE WITH ALL SAFETY STANDARDS AND REQUIREMENTS AS SET FORTH BY OSHA, WISHA AND THE STATE OF WASHINGTON, DEPARTMENT OF LABOR AND INDUSTRIES.
- TEMPORARY EROSION/WATER POLLUTION MEASURES WILL BE REQUIRED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE LATEST EDITION OF THE DRAINAGE DESIGN AND EROSION CONTROL MANUAL FOR OLYMPIA.
- COMPLY WITH ALL OTHER PERMITS AND OTHER REQUIREMENTS BY THE CITY OF OLYMPIA OR OTHER GOVERNING AUTHORITY OR AGENCY.
- A PRECONSTRUCTION MEETING WILL BE HELD WITH THE CITY OF OLYMPIA COMMUNITY PLANNING AND EXTERNAL LINKDEVELOPMENT DEPARTMENT, PRIOR TO THE START OF CONSTRUCTION.
- ALL STORM CONVEYANCES AND RETENTION/DETENTION AREAS WILL BE STAKED FOR GRADE AND ALIGNMENT BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK.
- SPECIAL STRUCTURES, OIL/WATER SEPARATORS, AND OUTLET CONTROLS WILL BE INSTALLED PURSUANT TO PLANS AND MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PRIOR TO DISRUPTION OF ANY TRAFFIC, A TRAFFIC CONTROL PLAN SHALL BE PREPARED AND SUBMITTED TO THE CITY FOR APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. CALL UNDERGROUND LOCATE EXTERNAL LINK AT 1-800-424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATIONS.
- WHERE CONNECTIONS REQUIRE "FIELD VERIFICATIONS," CONNECTION POINTS WILL BE EXPOSED BY CONTRACTOR AND FITTINGS VERIFIED 48 HOURS PRIOR TO DISTRIBUTING SHUTDOWN NOTICES.
- ALL STORM LINES AND CATCH BASINS WILL BE HIGH-VELOCITY CLEANED AND PRESSURE TESTED IN ACCORDANCE WITH DIVISION 7 OF THE STANDARD SPECIFICATIONS PRIOR TO PAVING IN CONFORMANCE WITH THE ABOVE-REFERENCED SPECIFICATIONS. (SEE NOTE 1.) HYDRANT FLUSHING OF LINES IS NOT AN ACCEPTABLE CLEANING METHOD.
- TESTING OF THE STORM MAIN WILL INCLUDE TELEVISION INSPECTION OF THE MAIN BY THE CITY AT THE CONTRACTOR'S EXPENSE. ADDITIONAL TELEVISION THAT IS DEEMED NECESSARY MAY BE ADDRESSED IN EITHER OF TWO MANNERS: AT THE CITY'S DISCRETION, THE CONTRACTOR CAN HAVE THE CITY PERFORM THE WORK AND REIMBURSE THE CITY FOR ALL ASSOCIATED LABOR AND MATERIALS; OR THE CONTRACTOR MAY PERFORM THE INSPECTION UNDER DIRECT SUPERVISION OF CITY PERSONNEL. IMMEDIATELY PRIOR TO TELEVISION INSPECTING, ENOUGH WATER WILL BE RUN DOWN THE LINE SO IT COMES OUT THE LOWER MANHOLE AND THE LINE IS FLUSHED CLEAN. ACCEPTANCE OF THE LINE WILL BE MADE AFTER THE TELEVISION INSPECTION TAPE HAS BEEN REVIEWED AND APPROVED BY THE INSPECTOR. ALL CATCH BASINS SHALL HAVE CURB MARKER, ANTI-DUMPING DISCS. ALL SOLID ROUND CATCH BASIN COVERS SHALL BE CITY OF OLYMPIA DECORATIVE STANDARD (PER STANDARD DRAWING 5-12). ALL SURFACE STORM WATER FACILITIES SHALL HAVE INFORMATIONAL SIGNS INSTALLED ADJACENT TO THEM.

CITY OF OLYMPIA STANDARD EROSION CONTROL NOTES

- A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL) IS REQUIRED FOR ALL CONSTRUCTION PROJECTS. THE NAMED PERSON OR FIRM SHALL BE ON-SITE OR ON-CALL AT ALL TIMES. FOR THIS SITE, THE PERSON/FIRM IS TO BE DETERMINED AND THEIR OFFICE AND CELL TELEPHONE NUMBERS ARE TO BE DETERMINED.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE CLEARING LIMIT BOUNDARIES SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE SURFACE WATER, GROUNDWATER, OR DISCHARGE STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- THE ESC FACILITIES ON ACTIVE SITES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR--AND MAINTAINED, REPAIRED, OR AUGMENTED AS NECESSARY--TO ENSURE THEIR CONTINUED FUNCTIONING.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED MONTHLY, OR WITHIN 48 HOURS FOLLOWING A MAJOR STORM EVENT, BY THE APPLICANT/CONTRACTOR--AND MAINTAINED, REPAIRED, OR AUGMENTED AS NECESSARY--TO ENSURE THEIR CONTINUED FUNCTIONING.
- STORM DRAIN INLETS OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF DOES NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENT. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER OFFSITE WITHOUT TREATMENT.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ROADS SHALL BE CLEANED THOROUGHLY AS NEEDED TO PROTECT DOWNSTREAM WATER RESOURCES OR STORMWATER INFRASTRUCTURE. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR PICKUP SWEEPING AND SHALL BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- FROM OCTOBER 15 THROUGH APRIL 1, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM APRIL 2 TO OCTOBER 14, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. SOILS SHALL BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. LINEAR CONSTRUCTION ACTIVITIES, SUCH AS RIGHT-OF-WAY AND EASEMENT CLEARING, ROADWAY DEVELOPMENT, PIPELINES, AND TRENCHING FOR UTILITIES, SHALL COMPLY WITH THESE REQUIREMENTS. THESE STABILIZATION REQUIREMENTS APPLY TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT. THE LOCAL PERMITTING AUTHORITY MAY ADJUST THESE TIME LIMITS IF IT CAN BE SHOWN THAT A DEVELOPMENT SITE'S EROSION OR RUNOFF POTENTIAL JUSTIFIES A DIFFERENT STANDARD.
- FROM OCTOBER 15 THROUGH APRIL 1, CLEARING, GRADING, AND OTHER SOIL-DISTURBING ACTIVITIES SHALL ONLY BE PERMITTED IF SHOWN TO THE SATISFACTION OF THE LOCAL PERMITTING AUTHORITY THAT THE TRANSPORT OF SEDIMENT FROM THE CONSTRUCTION SITE TO RECEIVING WATERS WILL BE PREVENTED.
- SOIL STOCKPILES MUST BE STABILIZED AND PROTECTED WITH SEDIMENT-TRAPPING MEASURES.
- ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. WOODY DEBRIS MAY BE CHOPPED AND SPREAD ON SITE.
- MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. REPORT ALL SPILLS TO 911.
- WATER FROM MOST DEWATERING OPERATIONS SHALL BE DISCHARGED INTO A SEDIMENT TRAP OR POND. CLEAN, NON-TURBID WATER MAY BE DISCHARGED TO STATE SURFACE WATERS, PROVIDED THE DISCHARGE DOES NOT CAUSE EROSION OR FLOODING. HIGHLY TURBID OR CONTAMINATED DEWATERING WATER FROM CONSTRUCTION EQUIPMENT OPERATION, CLAMSHELL DIGGING, CONCRETE TREMIE POUR, OR WORK INSIDE A COFFERDAM SHALL BE HANDLED SEPARATELY FROM STORMWATER AND PROPERLY DISPOSED.

CITY OF OLYMPIA WATER MAIN CONSTRUCTION NOTES

- ALL WORKMANSHIP AND MATERIAL WILL BE IN ACCORDANCE WITH THE CITY OF OLYMPIA ENGINEERING DESIGN AND DEVELOPMENT STANDARDS AND THE MOST CURRENT COPY OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR EXTERNAL LINKROAD, BRIDGE AND MUNICIPAL CONSTRUCTION; WASHINGTON STATE DEPARTMENT OF HEALTH (DOH) EXTERNAL LINK REGULATIONS; THE MOST CURRENT VERSION OF THE CITY OF OLYMPIA WATER SYSTEM PLAN AND AMERICAN WATER WORKS ASSOCIATION EXTERNAL LINK STANDARDS.
- A PRECONSTRUCTION MEETING WILL BE HELD WITH THE CITY PRIOR TO THE START OF CONSTRUCTION.
- ALL LINES WILL BE CHLORINATED AND TESTED IN CONFORMANCE WITH THE ABOVE-REFERENCED SPECIFICATION (NOTE 1).
- THE CONTRACTOR WILL PROVIDE TRAFFIC CONTROL PLAN(S) AS REQUIRED IN ACCORDANCE WITH THE CURRENT WSDOT SPECIFICATIONS' EXTERNAL LINK AND MUTCD EXTERNAL LINK.
- ALL WATER MAINS WILL BE STAKED FOR GRADES AND ALIGNMENT BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK. STAKING WILL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL WATER SYSTEM CONNECTIONS TO SERVE BUILDINGS OR PROPERTIES WITH DOMESTIC POTABLE WATER, FIRE SPRINKLER SYSTEMS, OR IRRIGATION SYSTEMS WILL COMPLY WITH THE MINIMUM BACKFLOW PREVENTION REQUIREMENTS AS ESTABLISHED BY THE WASHINGTON STATE DEPARTMENT OF HEALTH AND THE CITY OF OLYMPIA IN ITS CROSS CONNECTION PROGRAM.
- CALL UNDERGROUND LOCATE EXTERNAL LINK AT 1-800-424-5555 A MINIMUM OF 2 BUSINESS DAYS BEFORE COMMENCING ANY EXCAVATION. UNDERGROUND UTILITY LOCATES WILL BE PREFORMED ONCE. IT IS THE RESPONSIBILITY OF THE REQUESTOR TO MAINTAIN THE MARKINGS AFTER THE INITIAL LOCATE IN ACCORDANCE WITH RCW 19.122 EXTERNAL LINK.
- THE CITY REQUIRES 10 WORKING DAYS WRITTEN NOTICE FOLLOWING APPLICATION AT THE COMMUNITY PLANNING AND EXTERNAL LINKDEVELOPMENT DEPARTMENT TO SCHEDULE SHUTDOWNS. THE WRITTEN NOTICE WILL BE COORDINATED WITH THE CITY INSPECTOR. THE CITY OF OLYMPIA DRINKING WATER OPERATIONS OR CITY INSPECTOR WILL PERFORM THE SHUTDOWN.
- AT ANY CONNECTION TO AN EXISTING LINE WHERE A NEW VALVE IS NOT INSTALLED, THE EXISTING VALVE MUST BE PRESSURE TESTED TO CITY STANDARDS BY THE CONTRACTOR PRIOR TO CONNECTION. IF AN EXISTING VALVE FAILS TO PASS THE TEST, THE CONTRACTOR WILL MAKE THE NECESSARY PROVISIONS TO TEST THE NEW LINE PRIOR TO CONNECTION TO THE EXISTING SYSTEM OR INSTALL A NEW VALVE.
- AT ANY WATER MAIN TAP TO EXISTING CITY MAINS WHERE THE CONTRACTOR ENCOUNTERS A COUPLING OR EXISTING ASSEMBLIES, THE CONTRACTOR WILL PROVIDE A MINIMUM OF 18 INCHES OF CLEARANCE FROM COUPLING OR ASSEMBLIES TO EDGE OF TAPPING SLEEVE.
- ANY WATER MAIN TAP OR CONNECTION WILL BE BLOCKED ACCORDING TO THE CITY OF OLYMPIA STANDARD PLANS.
- ANY EXCAVATION THAT EXPOSES AN ASBESTOS CEMENT WATER MAIN OR THE CITY 36 INCH WATER TRANSMISSION MAIN SHALL BE BEDDED WITH CONTROLLED DENSITY FILL (CDF) PURSUANT TO THE WSDOT SPECIFICATIONS EXTERNAL LINK FOR CDF. AS AN OPTION THE CONTRACTOR MAY CHOOSE TO REPLACE THE ASBESTOS PIPE AT ANY CROSSING WITH DUCTILE IRON PIPE BENCHED INTO BOTH TRENCH WALLS. THE CONTRACTOR WILL COORDINATE WITH THE CITY INSPECTOR TO HAVE A CITY OF OLYMPIA DRINKING WATER OPERATIONS STAFF MEMBER ON SITE BEFORE CONSTRUCTION BEGINS.
- BEFORE CUTTING OR REMOVING ANY EXISTING ASBESTOS PIPE THE CONTRACTOR WILL SUPPLY THE CITY OF OLYMPIA INSPECTOR A COPY OF THE WORKMAN'S CERTIFICATIONS TO WORK WITH ASBESTOS PIPE. THE CONTRACTOR WILL CONFORM TO ALL REGULATIONS AND GUIDANCE RELATED TO ASBESTOS WORK PROVIDED BY THE OLYMPIC REGION CLEAN AIR AGENCY.

CITY OF OLYMPIA SEWER MAIN CONSTRUCTION NOTES

- ALL WORKMANSHIP AND MATERIALS WILL BE IN ACCORDANCE WITH CITY OF OLYMPIA STANDARDS AND THE MOST CURRENT COPY OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR EXTERNAL LINKROAD, BRIDGE AND MUNICIPAL CONSTRUCTION (WSDOT/APWA).
- CITY OF OLYMPIA DATUM SHALL BE USED FOR ALL VERTICAL CONTROL. A LIST OF BENCHMARKS IS AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT EXTERNAL LINK.
- ALL APPROVALS AND PERMITS REQUIRED BY THE CITY OF OLYMPIA SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- IF CONSTRUCTION IS TO TAKE PLACE IN THE COUNTY RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE COUNTY AND OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS.
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF OLYMPIA CONSTRUCTION INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CITY OF OLYMPIA CONSTRUCTION INSPECTOR SHALL BE NOTIFIED A MINIMUM OF 48 HOURS (TWO WORKING DAYS) IN ADVANCE OF A TAP CONNECTION TO AN EXISTING MAIN. THE INSPECTOR SHALL BE PRESENT AT THE TIME OF THE TAP.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE EXTERNAL LINK AT 1-800-424-5555 A MINIMUM OF 48 HOURS (TWO WORKING DAYS) PRIOR TO ANY EXCAVATION.
- ALL SEWER MAINS SHALL BE FIELD STAKED FOR GRADES AND ALIGNMENT BY A LICENSED ENGINEERING OR SURVEYING FIRM QUALIFIED TO PERFORM SUCH WORK. STAKING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL PIPE AND SERVICES SHALL BE INSTALLED WITH CONTINUOUS TRACER TAPE INSTALLED 12 INCHES TO 18 INCHES UNDER THE PROPOSED FINISHED SUBGRADE. THE MARKER SHALL BE PLASTIC NON-BIODEGRADABLE METAL CORE OR BACKING, MARKED "SEWER" THAT CAN BE DETECTED BY A STANDARD METAL DETECTOR. IF VISIBILITY CANNOT BE MAINTAINED BETWEEN STRUCTURES ALONG THE STRAIGHT ALIGNMENTS OF A SEWER, TONING WIRE SHALL BE INSTALLED ABOVE THE SEWER LINE AT A DEPTH NO GREATER THAN 48 INCHES.  
  
IF TONING WIRE IS REQUIRED, IT SHALL BE GREEN, UL LISTED, TYPE UF, 14-GAUGE COPPER TAPED TO THE TOP OF THE PIPE TO PREVENT MOVEMENT DURING BACKFILLING. THE WIRE SHALL BE LAID LOOSELY ENOUGH TO PREVENT STRETCHING AND DAMAGE. THE WIRE SHALL BE WRAPPED TO MANHOLE OR CLEANOUT RINGS ON GRAVITY SEWERS OR VALVE BODY ON STEP MAINS AND FORCE MAINS.  
  
A 1-POUND MAGNESIUM ANODE SHALL BE BURIED WITH THE PIPE EVERY 1,000 LINEAR FEET MAXIMUM FOR CATHODIC PROTECTION OF THE WIRE. TONING WIRE SPLICES AND CONNECTIONS TO ANODES SHALL JOIN WIRES BOTH MECHANICALLY AND ELECTRICALLY AND SHALL EMPLOY EPOXY RESIN OR HEAT-SHRINK TAPE INSULATION. TONING WIRE SHALL BE TESTED PRIOR TO ACCEPTANCE OF THE PIPE SYSTEM. A WRITTEN NOTICE FROM THE CONTRACTOR TO THE CITY TWO DAYS PRIOR TO THE TEST IS REQUIRED. ON A CURVILINEAR SEWER, THE WIRE SHALL BE BROUGHT UP, BARED, AND WRAPPED THREE TIMES AROUND THE MANHOLE RING. TAPE SHALL BE TERRA TAPE "D" OR APPROVED EQUAL. THE TAPE AND WIRE SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
- BEDDING OF THE SEWER MAIN AND COMPACTION OF THE BACKFILL MATERIAL SHALL BE REQUIRED IN ACCORDANCE WITH THE ABOVE-MENTIONED SPECIFICATION (SEE GENERAL NOTE 1).
- ALL MANHOLES OR CLEANOUTS OUTSIDE THE PAVED AREA SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWINGS 7-3 AND 7-5.
- WHEN TEMPORARY STREET PATCHES ARE ALLOWED BY THE CITY, COLD MIX ASPHALT SHALL BE PLACED AND COMPACTED TO A MAXIMUM DEPTH OF 2 INCHES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AS REQUIRED BY THE CITY.
- EROSION CONTROL MEASURES CONFORMING TO THE REQUIREMENTS OF THE DRAINAGE DESIGN AND EROSION CONTROL MANUAL FOR OLYMPIA EXTERNAL LINK SHALL BE TAKEN BY THE CONTRACTOR DURING CONSTRUCTION TO PREVENT INFILTRATION OF EXISTING AND PROPOSED STORM DRAINAGE FACILITIES AND ROADWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM EXTERNAL LINKTRAFFIC CONTROL DEVICES (MUTCD) AS REQUIRED. PRIOR TO DISRUPTION OF ANY TRAFFIC, THE CITY SHALL APPROVE TRAFFIC CONTROL PLANS PREPARED AND SUBMITTED BY THE CONTRACTOR. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF THE APPROVED CONSTRUCTION PLANS ON SITE AT ALL TIMES.
- ANY CHANGES TO THE DESIGN SHALL FIRST BE REVIEWED AND APPROVED BY THE DEVELOPER'S PROJECT ENGINEER AND THE CITY ENGINEER.
- AFTER BACKFILLING, BUT PRIOR TO PAVING, ALL MAINS AND APPURTENANCES SHALL BE INSPECTED AND APPROVED BY THE CITY OF OLYMPIA CONSTRUCTION INSPECTOR. APPROVAL DOES NOT CONSTITUTE FINAL ACCEPTANCE OF THE SEWER LINE. THE CONTRACTOR SHALL RETAIN THE RESPONSIBILITY TO REPAIR ALL DEFICIENCIES AND FAILURES REVEALED DURING ALL REQUIRED TESTING FOR ACCEPTANCE AND THROUGH THE DURATION OF THE WARRANTY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE CITY OF OLYMPIA FOR THE REQUIRED INSPECTIONS. ANY MAIN OR APPURTENANCE BACKFILLED PRIOR TO INSPECTION SHALL BE RE-EXCAVATED FOR INSPECTION.
- ALL SAFETY STANDARDS AND REQUIREMENTS SHALL BE COMPLIED WITH AS SET FORTH BY OSHA, WISHA AND WASHINGTON STATE DEPARTMENT OF LABOR AND INDUSTRIES.

REVISIONS	DATE	BY	DESIGNED S. NIELSON
			DRAWN R.PETTIT
			CHECKED
			APPROVED

<b>ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY</b>
FILE NAME PS07369002-CV
JOB No. 217-7369-002
DATE JULY 2017



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PROJECT NAME
<b>EAST BAY - LOT A 3RD GEN INVESTMENT GROUP, LLC</b>
<b>OLYMPIA, WASHINGTON</b>

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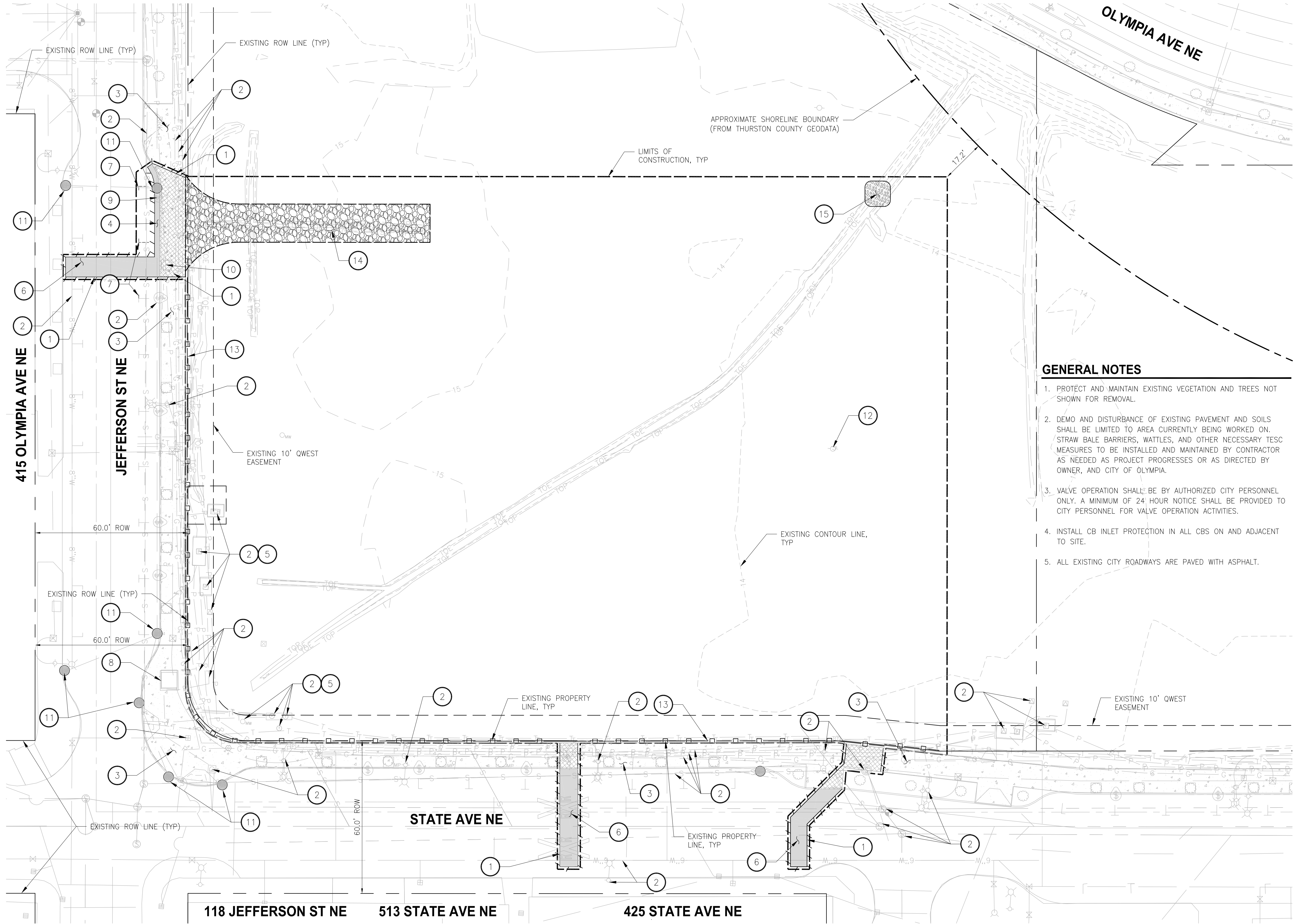
**GENERAL NOTES**

DRAWING NO. 03 OF 16
<b>LG-02</b>

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PATH: U:\PSO\Projects\Clients\7369-3rd Gen Invest Grp\217-7369-002 East Bay - Lot A\995vcs\CA00.DWG  
PLOTTED BY: craigmat DATE: Monday, July 24, 2017 9:19:17 AM



LEGEND

EXISTING PROPERTY LINE

CONSTRUCTION LIMITS

SAWCUT LINE

HIGH-VISIBILITY SILT FENCE PER STD PLAN I-30.17-00, SHEET DT-03

INSTALL CONSTRUCTION ENTRANCE PER WSDOT STD PLAN I-80.10-02, SHEET DT-02

INSTALL TEMPORARY SEDIMENT TRAP PER WSDOT STD PLAN I-80.10-02, SHEET DT-02

REMOVE EXISTING PAVEMENT

REMOVE EXISTING CONCRETE CURB AND SIDEWALK

INSTALL CATCH BASIN INLET PROTECTION PER WSDOT STD DETAIL I-40.20-00, SHEET DT-03

- CONSTRUCTION NOTES
- 1

SAWCUT AND REMOVE EXISTING PAVEMENT/CONCRETE.
- 2

MAINTAIN AND PROTECT EXISTING UTILITY.
- 3

PRESERVE AND PROTECT EXISTING SIDEWALK.
- 4

SAWCUT AND REMOVE EXISTING ASPHALT A MINIMUM OF 12" TO ACCOMMODATE INSTALLATION OF PROPOSED CURB OR SIDEWALK.
- 5

ADJUST EXISTING UTILITY TO FINISHED GRADE.
- 6

SEE TRENCH RESTORATION DETAIL ON SHEET DT-01.
- 7

REMOVE THERMOPLASTIC PARKING STALL.
- 8

PRESERVE AND PROTECT EXISTING RAILROAD STRUCTURE.
- 9

EXISTING PARKING METER TO BE REMOVED AND RETURNED TO CITY OF OLYMPIA.
- 10

REMOVE EXISTING STREET TREE, RETURN TREE GRATE TO CITY OF OLYMPIA.
- 11

INSTALL CATCH BASIN INLET PROTECTION PER WSDOT STD DETAIL I-40.20-00, SHEET DT-03.
- 12

EXISTING POWER POLE TO BE REMOVED BY OTHERS.
- 13

INSTALL HIGH-VISIBILITY SILT FENCE (OR BERM TO ACT AS APPROVED EQUAL) PER WSDOT STD PLAN I-30.17-00, SHEET DT-03.
- 14

INSTALL STABILIZED CONSTRUCTION ENTRANCE PER WSDOT STD PLAN I-80.10-02, SHEET DT-02. 100' MIN LENGTH X 15' MIN WIDTH.
- 15

INSTALL TEMPORARY SEDIMENT TRAP PER WSDOT STD PLAN I-80.10-02, SHEET DT-02. EXACT SHAPE AND LOCATION SHALL BE FIELD FIT AFTER CLEARING HAS BEGUN TO ENSURE IT IS PLACED TO COLLECT AS MUCH RUN-OFF AS POSSIBLE.

- GENERAL NOTES
1.

PROTECT AND MAINTAIN EXISTING VEGETATION AND TREES NOT SHOWN FOR REMOVAL.
2.

DEMO AND DISTURBANCE OF EXISTING PAVEMENT AND SOILS SHALL BE LIMITED TO AREA CURRENTLY BEING WORKED ON. STRAW BALE BARRIERS, WATTLES, AND OTHER NECESSARY TESC MEASURES TO BE INSTALLED AND MAINTAINED BY CONTRACTOR AS NEEDED AS PROJECT PROGRESSES OR AS DIRECTED BY OWNER, AND CITY OF OLYMPIA.
3.

VALVE OPERATION SHALL BE BY AUTHORIZED CITY PERSONNEL ONLY. A MINIMUM OF 24 HOUR NOTICE SHALL BE PROVIDED TO CITY PERSONNEL FOR VALVE OPERATION ACTIVITIES.
4.

INSTALL CB INLET PROTECTION IN ALL CBS ON AND ADJACENT TO SITE.
5.

ALL EXISTING CITY ROADWAYS ARE PAVED WITH ASPHALT.



DATUM

HORIZONTAL – WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE, NAD 83/91 BASED ON TIES TO CITY OF OLYMPIA MONUMENTS SHOWN ON CITY SECTION CONTROL MAPS.

VERTICAL – NAVD 88 BASED ON TIES TO CITY OF OLYMPIA BENCHMARK #704, BRASS DISC IN N.W. CORNER OF 4TH & PLUM AT BACK OF WALK. ELV=31.563. BRASS CAP WITH MARKINGS "OLY81-18"

811

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DEMOLITION AND TESC PLAN

DRAWING NO.  
04 OF 16

DM-01

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			DRAWN
			S. CRAIG
			CHECKED
			APPROVED

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FILE NAME

PS07369002-DM

JOB No.

217-7369-002

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PROJECT NAME

EAST BAY - LOT A

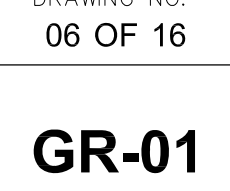
3RD GEN INVESTMENT GROUP, LLC

OLYMPIA, WASHINGTON







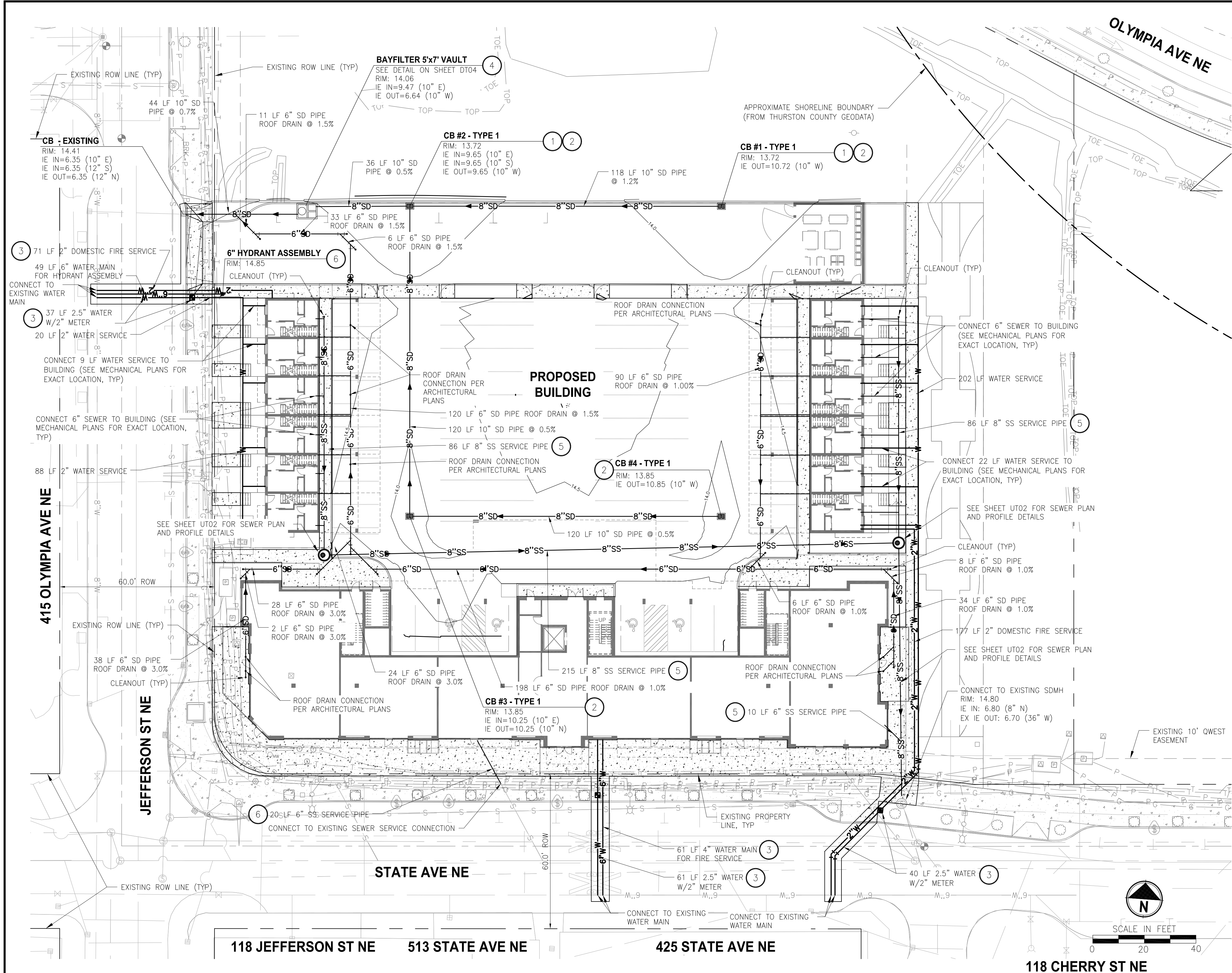


DRAWING NO.  
06 OF 16

**GR-01**



PATH: U:\PSO\Projects\Clients\3rd Gen Invest. Grp\217-7369-002 East Bay - Lot A\99Sves CAD\DWG\ PLOTTED BY: crogmat DATE: Monday, July 24, 2017 1:05:06 PM LAYOUT: UTILITIES



**LEGEND**

- PROPERTY BOUNDARY
- PROPOSED ASPHALT
- STORM PIPE
- TYPE 1 CATCH BASIN
- FLOW ARROW
- 4"W WATER MAIN
- 2"W WATER SERVICE
- 8"SS SEWER MAIN
- TYPE 1 SEWER MANHOLE

- CONSTRUCTION NOTES**
- INSTALL CATCH BASIN ADJACENT TO TRAFFIC CURB PER CITY OF OLYMPIA DETAIL 5-6 ON SHEET DT-02.
  - TYPE 1 CATCH BASIN, SEE WSDOT STD. PLAN B-5.20-01 ON SHEET DT-03.
  - MAKE SERVICE CONNECTION TO EXISTING WATER MAIN PER CITY OF OLYMPIA DETAIL 6-3 ON SHEET DT-03. WATER METERS TO HAVE NON-SLIP LIDS.
  - INSTALL 4'x6' BAYSAVER BAYFILTER, SEE DETAIL ON SHEET DT-04.
  - INSTALL SEWER SERVICE PER CITY OF OLYMPIA STD. DETAIL 7-19 ON SHEET DT-02.
  - INSTALL 6" FIRE HYDRANT ASSEMBLY PER CITY OF OLYMPIA STD. DETAIL 6-8 ON SHEET DT-03.
  - INSTALL TYPE 1 MANHOLE PER CITY OF OLYMPIA DETAIL 7-1 ON SHEET DT04.

- GENERAL NOTES**
- CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THIS WORK.
  - CATCH BASINS ARE CALLED OUT TO CENTER OF STRUCTURE.
  - PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
  - CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND GRADES.
  - SEE SHEET DT-01 FOR TRENCH RESTORATION DETAIL.
  - SYMBOLS ARE NOT TRUE SIZE
  - MAINTAIN 3' MIN COVER OVER WATER MAIN FROM FINISHED GRADE UNLESS OTHERWISE NOTED.
  - A MINIMUM 6-INCH SAND CUSHION IS REQUIRED FOR ANY UTILITY LINE WITHIN 6-INCHES OF ANOTHER UTILITY LINE AT CROSSING.
  - PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
  - THE CONTRACTOR SHALL BE AWARE THAT WATER MAIN DEFLECTION MAY BE REQUIRED TO AVOID PROPOSED AND EXISTING UTILITIES. DEFLECTIONS SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS AND SHALL NOT CREATE ADDITIONAL HIGH OR LOW POINTS IN THE MAIN. THE CONTRACTOR SHALL VERIFY EXISTING UTILITY DEPTH, LOCATION, AND SHALL CALCULATE WATER DEFLECTIONS ACCORDINGLY.
  - POTHOLE AND VERIFY EXACT LOCATIONS OF UTILITIES PRIOR TO INSTALLATION OF UTILITIES.
  - ALL WATER METER BOXES AND LIDS LOCATED WITHIN DRIVABLE SURFACES SHALL BE TRAFFIC WITH STEEL LIDS PER CITY OF OLYMPIA.
  - CONTRACTOR TO USE VERTICAL AND HORIZONTAL BENDS AS NEEDED.
  - THRUST BLOCKING SHALL BE INSTALLED AT ALL TEES AND BENDS PER CITY OF OLYMPIA STANDARD DETAIL.
  - VERTICAL BENDS SHALL BE RESTRAINED AND BLOCKED PER CITY OF OLYMPIA STANDARD DETAIL.
  - ALL CONSTRUCTION MUST COMPLY WITH THE WSDOT STANDARD SPECIFICATION (LATEST EDITION) UNLESS OTHERWISE SUPERSEDED BY CITY STANDARDS.
  - INSTALL STANDARD GRATE AND FRAME PER CITY OF OLYMPIA DETAIL 5-5 ON SHEET DT-02.
  - AT CONNECTION TO EXISTING SYSTEM, ALL NEW SEWER CONNECTIONS WILL BE PHYSICALLY PLUGGED UNTIL ALL TESTS HAVE BEEN COMPLETED AND THE CITY APPROVES THE REMOVAL OF THE PLUG. CONNECTION OF A PIPELINE TO A SYSTEM WHERE A MANHOLE IS NOT AVAILABLE WILL BE ACCOMPLISHED BY POURING A CONCRETE BASE AND SETTING MANHOLE SECTIONS. THE EXISTING PIPE WILL NOT BE CUT INTO UNTIL APPROVAL IS RECEIVED FROM THE CITY.

**DATUM**  
HORIZONTAL - WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE, NAD 83/91 BASED ON TIES TO CITY OF OLYMPIA MONUMENTS SHOWN ON CITY SECTION CONTROL MAPS.  
VERTICAL - NAVD 88 BASED ON TIES TO CITY OF OLYMPIA BENCHMARK #704, BRASS DISC IN N.W. CORNER OF 4TH & PLUM AT BACK OF WALK. ELEV=31.563. BRASS CAP WITH MARKINGS "OLY81-18"

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**UTILITY PLAN**

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			S. CRAIG
			CHECKED
			APPROVED

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FILE NAME: PS07369002-UT  
JOB No. 217-7369-002  
DATE: JULY 2017



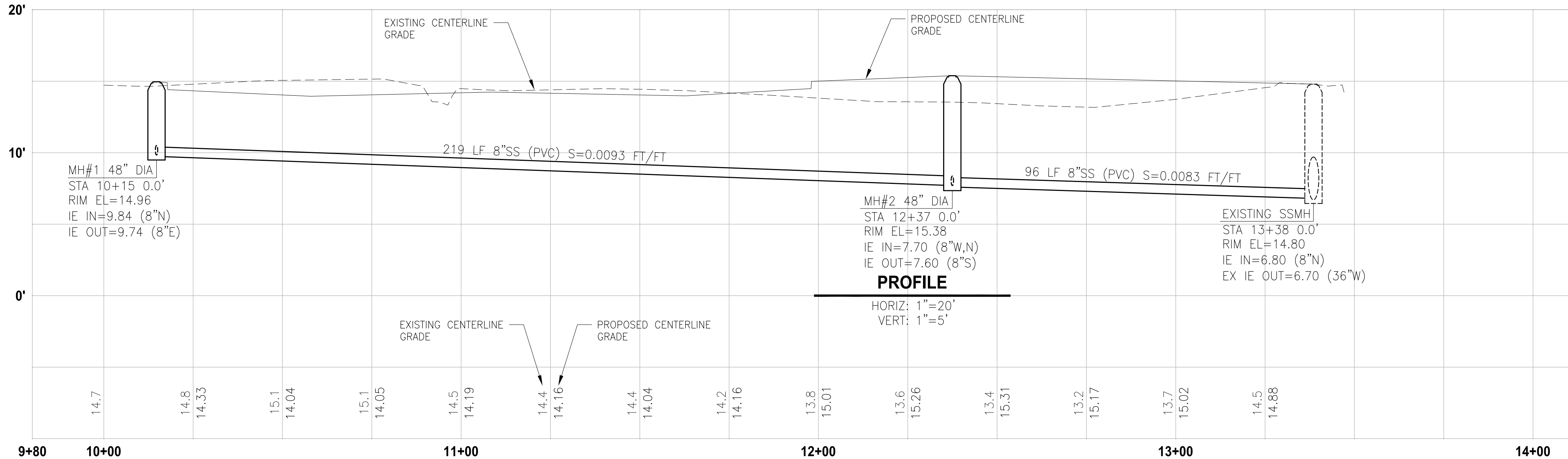
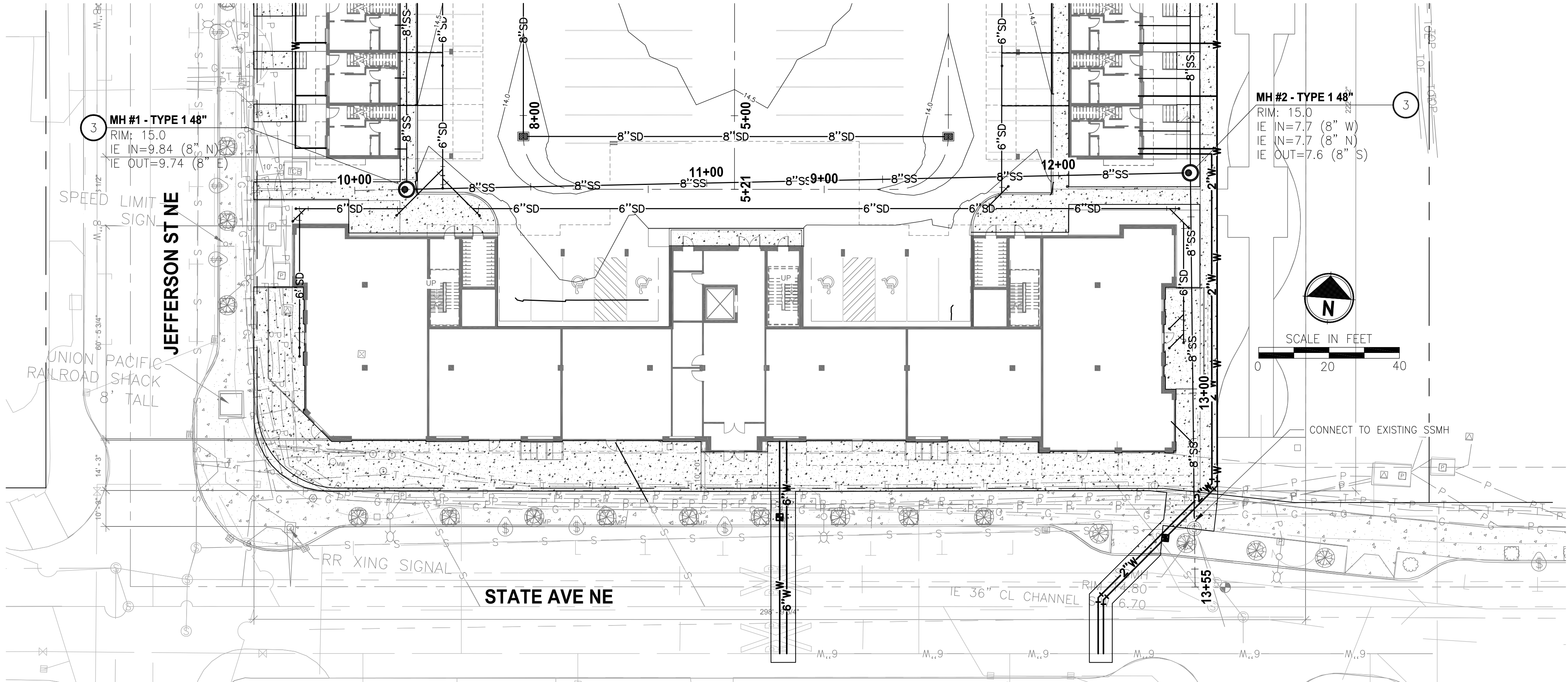
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PROJECT NAME  
**EAST BAY - LOT A  
3RD GEN INVESTMENT GROUP, LLC**  
OLYMPIA, WASHINGTON

DRAWING NO.  
07 OF 16  
**UT-01**



LAYOUT: UTILITIES 2  
 PATH: U:\PSO\Projects\Clients\7369-3rd Gen Invest Grp\217-7369-002 East Bay - Lot A\995vcs\CADD\DWG\  
 PLOTTED BY: craigmat DATE: Monday, July 24, 2017 9:39:35 AM



**LEGEND**

- PROPERTY BOUNDARY
- PROPOSED ASPHALT
- STORM PIPE
- TYPE 1 CATCH BASIN
- FLOW ARROW
- 4" W WATER MAIN
- 2" W WATER SERVICE
- 8" SS SEWER MAIN
- TYPE 1 SEWER MANHOLE

**CONSTRUCTION NOTES**

- INSTALL CATCH BASIN ADJACENT TO TRAFFIC CURB PER CITY OF OLYMPIA DETAIL 5-6 ON SHEET DT-02.
- TYPE 1 CATCH BASIN, SEE WSDOT STD. PLAN B-5.20-01 ON SHEET DT-03.
- MAKE SERVICE CONNECTION TO EXISTING WATER MAIN PER CITY OF OLYMPIA DETAIL 6-3 ON SHEET DT-03. WATER METERS TO HAVE NON-SLIP LIDS.
- INSTALL 4'x6' BAYSAVER BAYFILTER, SEE DETAIL ON SHEET DT-04.
- INSTALL SEWER SERVICE PER CITY OF OLYMPIA STD. DETAIL 7-19 ON SHEET DT-02.
- INSTALL 6" FIRE HYDRANT ASSEMBLY PER CITY OF OLYMPIA STD. DETAIL 6-8 ON SHEET DT-03.
- INSTALL TYPE 1 MANHOLE PER CITY OF OLYMPIA DETAIL 7-1 ON SHEET DT04.

**GENERAL NOTES**

- CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE THIS WORK.
- CATCH BASINS ARE CALLED OUT TO CENTER OF STRUCTURE.
- PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
- CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND GRADES.
- SEE SHEET DT-01 FOR TRENCH RESTORATION DETAIL.
- SYMBOLS ARE NOT TRUE SIZE
- MAINTAIN 3' MIN COVER OVER WATER MAIN FROM FINISHED GRADE UNLESS OTHERWISE NOTED.
- A MINIMUM 6-INCH SAND CUSHION IS REQUIRED FOR ANY UTILITY LINE WITHIN 6-INCHES OF ANOTHER UTILITY LINE AT CROSSING.
- PIPE LENGTHS ARE FOR CALCULATION PURPOSES ONLY. BID QUANTITIES SHALL BE CALCULATED AS REQUIRED.
- THE CONTRACTOR SHALL BE AWARE THAT WATER MAIN DEFLECTION MAY BE REQUIRED TO AVOID PROPOSED AND EXISTING UTILITIES. DEFLECTIONS SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS AND SHALL NOT CREATE ADDITIONAL HIGH OR LOW POINTS IN THE MAIN. THE CONTRACTOR SHALL VERIFY EXISTING UTILITY DEPTH, LOCATION, AND SHALL CALCULATE WATER DEFLECTIONS ACCORDINGLY.
- POTHOLE AND VERIFY EXACT LOCATIONS OF UTILITIES PRIOR TO INSTALLATION OF UTILITIES.
- ALL WATER METER BOXES AND LIDS LOCATED WITHIN DRIVABLE SURFACES SHALL BE TRAFFIC WITH STEEL LIDS PER CITY OF OLYMPIA.
- CONTRACTOR TO USE VERTICAL AND HORIZONTAL BENDS AS NEEDED.
- THRUST BLOCKING SHALL BE INSTALLED AT ALL TEES AND BENDS PER CITY OF OLYMPIA STANDARD DETAIL.
- VERTICAL BENDS SHALL BE RESTRAINED AND BLOCKED PER CITY OF OLYMPIA STANDARD DETAIL.
- ALL CONSTRUCTION MUST COMPLY WITH THE WSDOT STANDARD SPECIFICATION (LATEST EDITION) UNLESS OTHERWISE SUPERSEDED BY CITY STANDARDS.
- INSTALL STANDARD GRATE AND FRAME PER CITY OF OLYMPIA DETAIL 5-5 ON SHEET DT-02.
- AT CONNECTION TO EXISTING SYSTEM, ALL NEW SEWER CONNECTIONS WILL BE PHYSICALLY PLUGGED UNTIL ALL TESTS HAVE BEEN COMPLETED AND THE CITY APPROVES THE REMOVAL OF THE PLUG. CONNECTION OF A PIPELINE TO A SYSTEM WHERE A MANHOLE IS NOT AVAILABLE WILL BE ACCOMPLISHED BY POURING A CONCRETE BASE AND SETTING MANHOLE SECTIONS. THE EXISTING PIPE WILL NOT BE CUT INTO UNTIL APPROVAL IS RECEIVED FROM THE CITY.

**DATUM**

HORIZONTAL — WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE, NAD 83/91 BASED ON TIES TO CITY OF OLYMPIA MONUMENTS SHOWN ON CITY SECTION CONTROL MAPS.

VERTICAL — NAVD 88 BASED ON TIES TO CITY OF OLYMPIA BENCHMARK #704, BRASS DISC IN N.W. CORNER OF 4TH & PLUM AT BACK OF WALK. ELEV=31.563. BRASS CAP WITH MARKINGS "OLY81-18"

PERMIT SET  
 NOT FOR CONSTRUCTION



REVISIONS	DATE	BY	DESIGNED
			S. NIELSON
			DRAWN
			R. PETTIT
			CHECKED
			APPROVED

<b>ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY</b> FILE NAME: PS07369002-UT JOB No. 217-7369-002 DATE: JULY 2017
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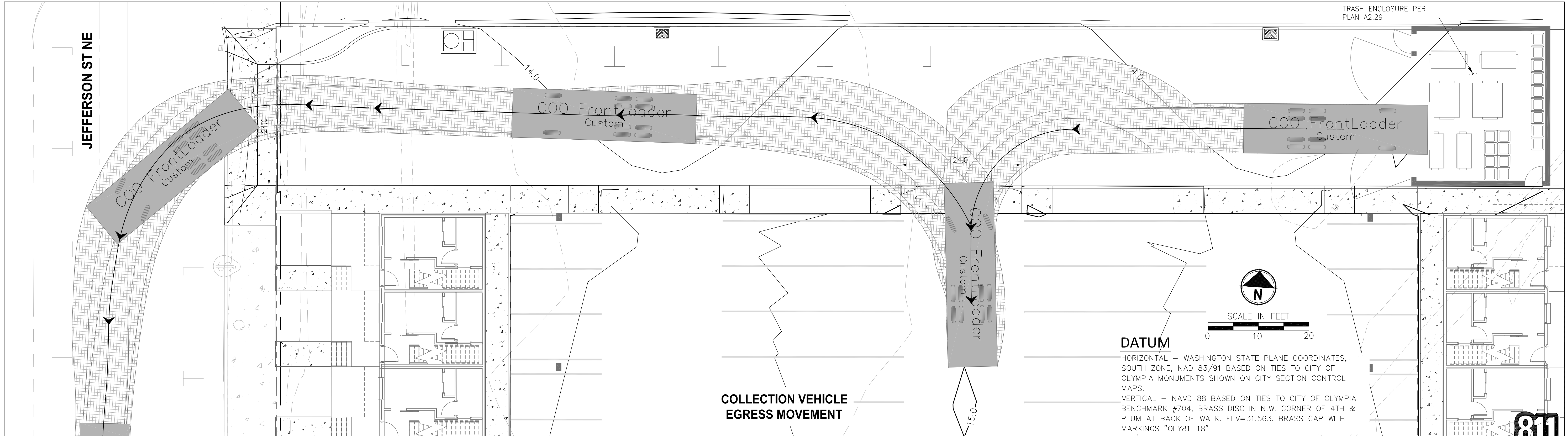
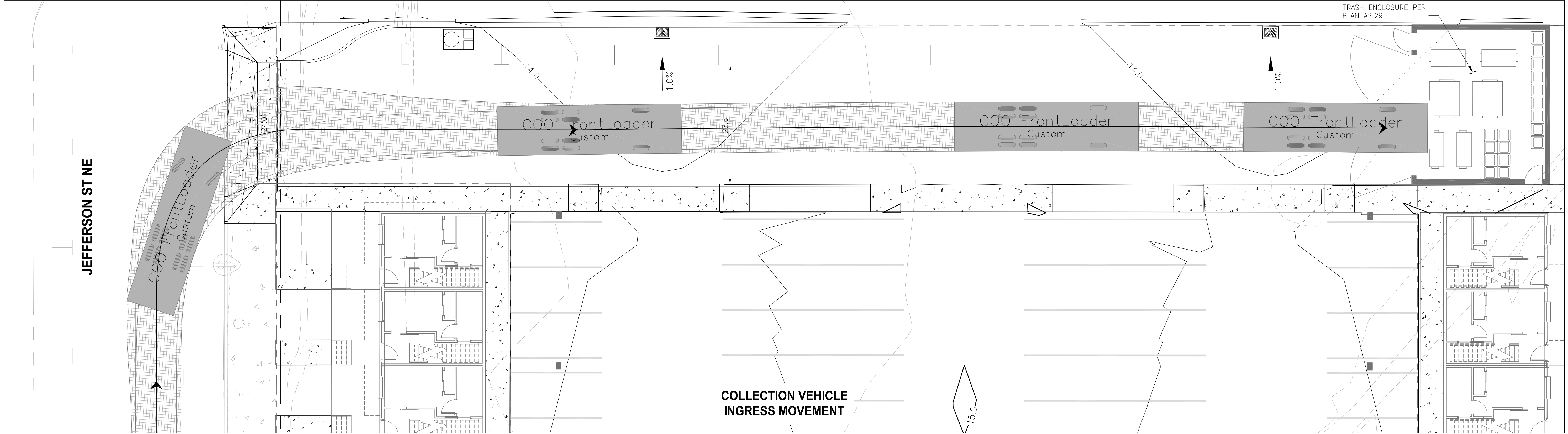
PROJECT NAME <b>EAST BAY - LOT A</b> <b>3RD GEN INVESTMENT GROUP, LLC</b> OLYMPIA, WASHINGTON
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<b>SEWER PLAN &amp; PROFILE</b>
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DRAWING NO. 08 OF 16 <b>UT-02</b>
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LAYOUT: SW-01  
PATH: u:\PSO\Projects\Clients\7369-3rd Gen Invest Grp\217-7369-002 East Bay - Lot A\995vcs\CADD\DWG\ PLOTTED BY: craigmat DATE: Monday, July 24, 2017 9:35:38 AM



Know what's below.  
Call before you dig.

PERMIT SET  
NOT FOR CONSTRUCTION

SOLID WASTE COLLECTION PLAN

DRAWING NO.  
13 OF 16

SW-01



7-24-2017

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PROJECT NAME

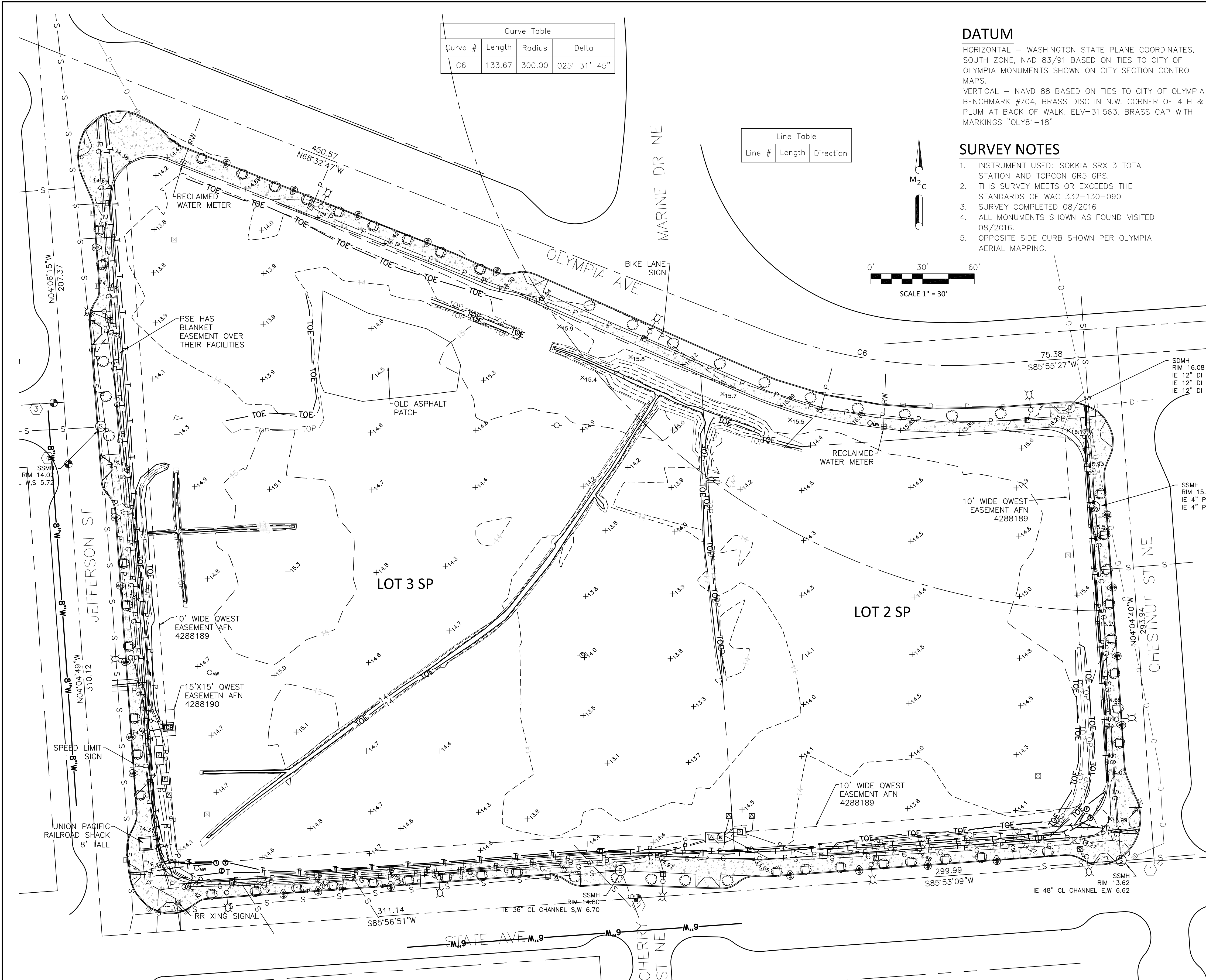
**EAST BAY - LOT A  
3RD GEN INVESTMENT GROUP, LLC**

OLYMPIA, WASHINGTON

REVISIONS	DATE	BY	DESIGNED S. NIELSON
			DRAWN S. CRAIG
			CHECKED
			APPROVED

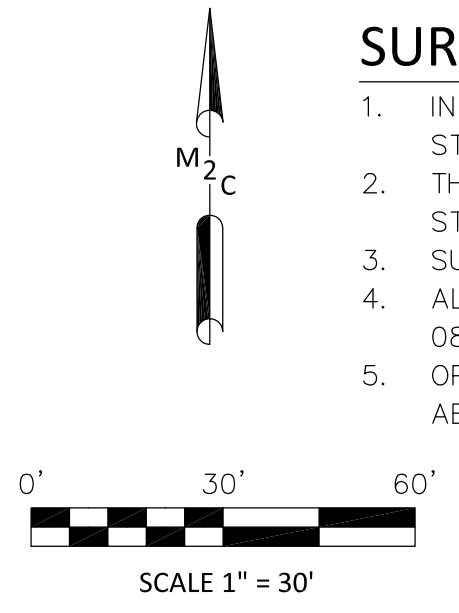
**ONE INCH AT FULL SCALE.  
IF NOT, SCALE ACCORDINGLY**  
FILE NAME  
PS07369002-SW  
JOB No.  
217-7369-002  
DATE  
JULY 2017





Curve Table			
Curve #	Length	Radius	Delta
C6	133.67	300.00	025° 31' 45"

Line Table		
Line #	Length	Direction



DATUM

HORIZONTAL – WASHINGTON STATE PLANE COORDINATES, SOUTH ZONE, NAD 83/91 BASED ON TIES TO CITY OF OLYMPIA MONUMENTS SHOWN ON CITY SECTION CONTROL MAPS.  
VERTICAL – NAVD 88 BASED ON TIES TO CITY OF OLYMPIA BENCHMARK #704, BRASS DISC IN N.W. CORNER OF 4TH & PLUM AT BACK OF WALK. ELV=31.563. BRASS CAP WITH MARKINGS "OLY81-18"

SURVEY NOTES

1. INSTRUMENT USED: SOKKIA SRX 3 TOTAL STATION AND TOPCON GR5 GPS.
2. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF WAC 332-130-090
3. SURVEY COMPLETED 08/2016
4. ALL MONUMENTS SHOWN AS FOUND VISITED 08/2016.
5. OPPOSITE SIDE CURB SHOWN PER OLYMPIA AERIAL MAPPING.

1 MONUMENT NOTES

1. FOUND MONUMENT IN CASE WITH LEAD AND TACK SET IN CONCRETE AT THE INTERSECTION OF STATE AVE. AND CHESTNUT ST.
2. FOUND 3" BRASS CAP WITH PUNCH AT THE INTERSECTION OF STATE AVE. AND CHERRY ST. 7' SOUTH OF NORTH CURB FACE.
3. FOUND 3" BRASS CAP STAMPED "SKILLINGS CONNOLLY CONSULTING ENGINEERS AND LAND SURVEYORS LS 27192 2010" AT INTERSECTION OF OLYMPIA AVE. AND JEFFERSON ST.
4. FOUND 3" BRASS CAP STAMPED "SKILLINGS CONNOLLY CONSULTING ENGINEERS AND LAND SURVEYORS LS 27192 2010" AT INTERSECTION OF OLYMPIA AVE. AND JEFFERSON ST.

LINE TYPES

	WOOD FENCE
	CHAIN LINK FENCE
	WIRE FENCE
	GROUND TOE
	GROUND TOP
	GROUND BREAK
	STORM LINE
	SANITARY SEWER LINE
	BURIED TELEPHONE
	OVERHEAD TELEPHONE
	BURIED POWER
	OVERHEAD POWER
	WATER LINE
	IRRIGATION LINE
	RECLAIMED WATER
	NATURAL GAS LINE
	BURIED CABLE TV LINE
	BURIED FIBER OPTIC LINE
	SANITARY FORCED MAIN
	DITCH LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	PROPERTY LINE
	CENTERLINE ROW/ROADWAY
	RIGHT-OF-WAY

LEGEND (UTILITIES)

	CABLE MARKER POST
	CABLE RISER/ PEDESTAL
	CABLE VAULT/MANHOLE
	CULVERT
	LUMINAIRE WITH ARM
	LUMINAIRE
	LANDSCAPE/YARD LIGHT
	NATURAL GAS MARKER POST
	NATURAL GAS METER
	PROPANE TANK
	NATURAL GAS VALVE
	POWER CONDUIT
	GUY ANCHOR
	GUY POLE
	POWER JUNCTION BOX
	POWER MARKER POST
	POWER METER
	POWER POLE
	PP WITH DROP LINE
	PP WITH DROP AND LIGHT
	PP WITH DROP, LIGHT AND TRANSFORMER
	PP WITH DROP AND TRANSFORMER
	PP WITH LIGHT AND TRANSFORMER
	PP WITH LIGHT
	PP WITH TRANSFORMER
	POWER TRANSFORMER
	POWER VAULT/MANHOLE
	SIGNAL POLE ARM
	SS CLEANOUT
	SS MANHOLE
	SS MARKER POST
	SEPTIC TANK
	STORM CATCH BASIN
	STORM MANHOLE
	STORM CLEANOUT
	STORM ROOF DRAIN
	STORM YARD DRAIN
	STORM MARKER POST
	TELEPHONE CABINET
	TELEPHONE JUNCTION BOX
	TELEPHONE RISER
	TELEPHONE MARKER POST
	TELEPHONE POLE
	TELEPHONE VAULT/MANHOLE
	WATER AIR RELEASE VALVE
	WATER BLOW OFF
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	IRRIGATION CONTROL VALVE
	WATER MARKER POST
	WATER METER
	WATER POST INDICATOR VALVE
	SPRINKLER HEAD
	WATER VALVE
	WATER FIRE HYDRANT
	WATER VAULT/MANHOLE
	WELL

LEGEND (SURFACE FEATURES)

	DECIDUOUS TREE
	CONIFER TREE
	MAPLE TREE
	DOUGLAS-FIR TREE
	STUMP
	SHRUB
	BIKE RACK
	MAIL BOX
	WHEEL STOP
	STREET SIGN (AS DESCRIBED)
	ALUMINUM CAP
	AERIAL PANEL
	BRASS CAP
	CONCRETE MONUMENT
	HUB AND TACK
	IRON PIPE
	LEAD AND TACK
	MAG NAIL
	MONUMENT IN CASE
	PK NAIL
	REBAR AND CAP
	SCRIBE
	STONE

HATCHING

	GRAVEL
	ASPHALT
	CONCRETE

REVISIONS

12/01/2016 – ADDED EASEMENT INFORMATION PROVIDED BY TSA. TITLE REPORT NOT PROVIDED. BEP

DATE	10/10/2016	1506 FAIRVIEW ST SE OLYMPIA, WA 98501 360.239.1497	PROJECT NAME:  EASTBAY TOPOGRAPHIC SURVEY	SHEET NAME:  SV-1
SCALE	1" = 30'			
M2C PROJECT NO.:	16-470			
DRAWN	JHK			
CHECKED	BEP			
APPROVED	BEP	CLIENT NAME: 3RD GEN INVESTMENT GROUP, LLC		SHEET NO. 14 OF 16