

Project Name: Dockside FlatsMaster File: 17-4634

- ☒ Concept Design Review
☐ Detail Design Review
☐ Combined Design Review

Date: December 14, 2017

CITY OF OLYMPIA
BASIC COMMERCIAL DESIGN CRITERIA
Chapter 18.110

18.110.020 – Frontage**A. REQUIREMENT:**

Complies Conflicts N/A
☒ ☐ ☐

Buildings must abut at least fifty percent (50%) of the street frontage. Gaps in frontage between buildings on a single project may not exceed eighty (80) feet in length.

STAFF RESPONSE:

The building complies with this requirement.

18.110.030 – Connections**A. REQUIREMENT:**

Complies Conflicts N/A
☒ ☐ ☐

Provide driveway and sidewalk connections to and through the development to adjoining streets, bus stops, designated urban trails, and properties, where access exists or reasonable connections are possible. If a parking lot lies between the building entry and an adjacent public street, a pedestrian walkway at least six (6) feet wide shall be provided between them. In all other cases, on-site sidewalks shall have a passable width of at least four (4) feet. All crossings of vehicular travel lanes shall be clearly marked.

B. GUIDELINES:

- ☐ Provide clear pedestrian circulation routes on site.
- ☐ Minimize curb cuts by sharing driveways and access from side streets whenever possible.
- ☐ On large sites where no public streets exist, create a grid street system within the project.
- ☐ Locate storm drainage ponds, swales, and other drainage system components so they do not unreasonably impede pedestrian access to or between buildings.
- ☐ Provide a direct and clear visual connection through the buildings to the front street if parking is located behind the buildings.
- ☐ Provide signs for pedestrians and vehicles within the site, if necessary.

- ☐ Provide walkways through parking bays and adjacent to landscape islands.

STAFF RESPONSE:

The project will provide the following connections:

- *Sidewalks already exist, but will be replaced. Minimum widths required for accessibility will be provided;*
- *Driveway off of Columbia Street into the parking area;*
- *Pedestrian access between the State Avenue sidewalk and parking area; and*
- *Pedestrian connection to the plaza from Percival Landing and the State Avenue sidewalk.*

18.110.040 – Fences and Walls

A. REQUIREMENT:

Complies



Conflicts



N/A



Minimize the use of fences that inhibit pedestrian movement or separate the project from the neighborhood and adjoining streets. Front yards shall be visually open to the street. Where fencing is necessary, maintain a human scale along the street by providing pedestrian connections through use of gates or openings at frequent intervals.

B. GUIDELINES:

- ☐ Provide variation in fencing through use of stepped fence heights or small setbacks.
- ☐ Add visual interest by providing variation in fence materials, texture, or colors.
- ☐ Provide landscape screening to break up long expanses of fencing.
- ☐ Repeat use of building facade material on fence columns and/or stringers.
- ☐ Provide lighting, canopies, trellises or other features to add visual interest.

STAFF RESPONSE:

Metal trellises are proposed on the south and north elevations to screen on-site parking (see page A302, Attachment 4).

18.110.050 – Pedestrian Amenities

A. REQUIREMENT:

Complies
☒

Conflicts
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N/A
☐

Provide pedestrian amenities in places where people typically gather, including but not limited to, transit stops, building entrances, or street corners. These spaces must include seating, landscaping, and at least two of the following:

1. Patterned materials on walkways;
2. Shelters;
3. Trash receptacles;
4. Drinking fountains;
5. Pedestrian lighting, light bollards, or alley lighting;
6. Fountains, sculptures, mobiles, kiosks, or banners;
7. Street trees, flower boxes, or container landscaping in alleys;
8. Street vendor stations where appropriate; or
9. Bike racks.

STAFF RESPONSE:

Amenities include bike racks on the east and west sides of the site, a bench next to the transit stop along Columbia Street, outdoor restaurant seating, public plaza, landscaping (south side of building), and building-mounted lighting.

In order to fully comply with this requirement, the project will need to provide the following:

- *Additional landscaping and street trees on the east side of the building; and*
- *Lighting in the plaza and outdoor seating area.*

18.110.060 – View Preservation

A. REQUIREMENT:

Complies
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Conflicts
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N/A
☐

In order to protect the existing outstanding scenic views which significant numbers of the general public have from public rights-of-way, applicants for development must consider the impact their proposal will have on views of Mt. Rainier, the Olympic Mountains, Budd Inlet, the Black Hills, the Capitol Building, and Capitol Lake or its surrounding hillsides. All development must reserve a reasonable portion of such territorial and immediate views of these features for significant numbers of people from public rights-of-way, and shall provide lookouts, viewpoints, or view corridors so that visual access to existing, outstanding scenic vistas is maintained.

Refer to the Scenic Vista overlay zoning maps available at the Community Planning and Development Department.

STAFF RESPONSE:

According to the City's Scenic Vista Overlay Map, views of the Capitol Dome, Budd Inlet, and Olympic Mountains are to be preserved along Water Street. The new building will sit approximately 65 feet further back than the existing building, which will enhance these views.

18.110.070 – Building Location and Design**A. REQUIREMENT:**

Complies



Conflicts



N/A



1. Place commercial buildings on the street edge and locate parking on the side or behind the building. Parking lots shall not be located on corners. Exceptions may be made where an alternative building location would provide as good or better pedestrian access. Exceptions may be made in the Auto Oriented Design District and in the HDC-4 Capital Mall area (see Section 18.130.060).
2. Entrances to buildings shall be clearly articulated and obvious from the street.
3. Commercial and public buildings over three (3) stories must have a clearly defined base at street level that is no more than two stories high.

STAFF RESPONSE:

The building is located at the back of the sidewalk; entrances will be obvious from the street.

18.110.080 – Maintaining Human Scale**A. REQUIREMENT:**

Complies



Conflicts



N/A



Use design elements to maintain a human scale at the street. Projects requiring a conditional use permit in a residential zone must incorporate elements that relate to existing buildings in the neighborhood.

B. GUIDELINES:

- ☐ Where there is a strong sense of human scale neighborhood identity, use building modulation, roof forms, windows, materials, and details that are similar to the neighborhood buildings.
- ☐ Articulate façade design features to reduce the apparent size of large buildings. Design elements may include, but are not limited to: facade modulation, cornices, window patterns, plazas, porches, patios, decks, covered entries, balconies, bay windows, dormers, stepped roofs, gables or other roof elements, a variety of cladding materials, lighting fixtures, trellises, trees or other landscape features, and multiple paint colors and building materials.
- ☐ Locate retail shops with display windows at the street level around the exterior of larger commercial buildings.

STAFF RESPONSE:

The proposed building incorporates various elements that contribute to human scale such as building modulation, storefronts, canopies, landscaping, seating, and lighting.

18.110.090 – Street Walls**A. REQUIREMENT:**

Complies



Conflicts



N/A



Use a high proportion of clear or lightly tinted glass at the street level for displays or to reveal services available where appropriate. This glass shall cover or comprise at least sixty (60) percent of the building face between two (2) and eight (8) feet in elevation above the sidewalk. If glass is not possible, at least one (1) of the following, or an equivalent, shall be substituted for glazing on the building walls fronting on a street, sidewalk, or other pedestrian walkway visible to pedestrians. The following guidelines are listed in order of preference. Wall segments without such treatments should not exceed thirty (30) feet in length.

B. GUIDELINES:

- ☐ Ornamental and structural architectural details that provide texture to the building surface; or
- ☐ Climbing plants, vines, trees, or other vegetation that, within three (3) years of planting, can reasonably be expected to cover or screen the wall to the degree required to comply with this section; or,
- ☐ A pedestrian area, consistent with Section 18.06.100, Development Standards, located along the southern, eastern, or western exposure of a building face at a transit stop, intersection corner, or other location.

STAFF RESPONSE:

Glazing calculations are shown on pages A002 and A003 of Attachment 4. Overall, the project complies with this requirement. Where glazing is not feasible on the south elevation, a metal trellis with landscaping is proposed to screen the parking area. To enhance screening, climbing vines can be used.

The lower portion of the exterior wall facing the alley exceeds 30 feet. Because it is highly visible from the street, additional detailing will be required.

18.110.100 – Windows**A. REQUIREMENT:**

Complies



Conflicts



N/A



Windows shall provide relief, detail, and variation to building facades and shall be in harmony with the character of the structure.

B. GUIDELINES:

- ☐ Provide variation in rhythm both horizontally and vertically.
- ☐ Use windows that are recessed or protruding such as bay windows.
- ☐ Use visually significant window elements, including lintels, sills, casings, mullions, and frame dimensions.
- ☐ Provide more glazing area on the ground floor than on the upper floors.

STAFF RESPONSE:

Window placement and patterns complement the building design. Details regarding recesses, trim dimensions, etc. will be provided at the time of detail design review.

18.110.110 – Projections into the Right-of-Way**A. REQUIREMENT:**

Complies



Conflicts



N/A



In order to create a positive visual experience for the pedestrian moving along the street, add interest and variety to building facades by using projections into the right-of-way.

B. GUIDELINES:

- ☐ Use any of a variety of projections such as awnings, trellises, planter boxes, bay windows, balconies, canopies and porticos. When awnings are used they should cover the pedestrian clear zone (the 42" of sidewalk immediately adjacent to the building).

Also see Development Guidelines and Public Works Standards 12.24.020, as amended.

STAFF RESPONSE:

Canopies will project over sidewalks, some of which are located in City right-of-way.

18.110.120 – Roofs**A. REQUIREMENT:**

Complies



Conflicts



N/A



Provide relief, detail and variation to rooflines.

B. GUIDELINES:

- ☐ Use cornices at upper edge of façades or soffit overhangs on rooflines that abut the street.
- ☐ Use landscaped roof terraces and gardens on buildings that are stepped back from the street.

STAFF RESPONSE:

The project satisfies this requirement. Parapet heights are varied through the use of different treatments and colors – custom cornices on the brick sections of the building (painted Benjamin Moore Onyx), and trim with cap flashing on the fiber cement portions of the building (painted Benjamin Moore White Diamond).

18.110.130 – Corners			
A. REQUIREMENT:			Create pedestrian friendly building elements at intersections and alley entrances.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Incorporate features such as inset or angled corners and entrances, display windows, or corner roof features.

STAFF RESPONSE:

Storefront windows and building entries are located at the southeast building corner. Canopies and awnings are proposed over storefronts and entries.

18.110.140 – Consistency			
A. REQUIREMENT:			Buildings shall have a consistent visual identity from all sides visible to the general public; except, building walls adjacent to alleys in the downtown design district.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Use consistent exterior materials, architectural detailing, and color schemes.
- ☐ Buildings should present a comparable level of quality of materials, detailing and fenestration.

STAFF RESPONSE:

The project provides consistency on all sides of the building through the use of materials, detailing, building proportions, and colors.

18.110.150 – Colors and Materials			
A. REQUIREMENT:			Use building materials with texture and pattern (such as brick) on exterior building walls and large surfaces. Reserve brightly saturated colors for trim or accents.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Avoid large expanses of highly tinted or mirrored glass.
- ☐ Do not use highly reflective exterior materials (except glazing) where glare would affect nearby buildings or traffic.

STAFF RESPONSE:

Primary building materials include brick and fiber-cement lap siding. Brick will be applied in running course and soldier course patterns. Fiber-cement siding will have a 6" exposure. Other materials include metal canopies, fabric awnings, aluminum railings, frosted glass (roll-up doors), vertical grain fir doors, and vinyl windows.

The predominant building color is white (Benjamin Moore White Diamond) with dark accents (Benjamin Moore Onyx). Windows, storefronts, canopies and balcony railings will be black. Fabric awnings will be blue. See sheet A301, Attachment 4 for a complete list of materials and colors.

18.110.160 – Lighting			Use lighting to emphasize the building and landscaping, and to provide visibility and general security. Lighting shall not shine off-site or into adjacent buildings.
A. REQUIREMENT:			
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Use lighting to emphasize key architectural elements and landscape features.
- ☐ Use adequate lighting along sidewalks and alleys to provide well-lit pedestrian walkways.

STAFF RESPONSE:

Lighting includes wall sconces, gooseneck lights, and bollards. Their locations are shown on pages A903 and A90, Attachment 4. Additional lighting will be required in the plaza and outdoor seating area per OMC 18.110.050. Additional lighting may be required on the north side of the building to illuminate the alley; this should be evaluated prior to detail design review.

18.110.170 – Parking Structures			
A. REQUIREMENT:			Vehicle entries to garages shall be recessed at least six (6) feet from the street facade plane. At least sixty (60) percent of the street facade between two (2) and eight (8) feet above the sidewalk, shall have at least one (1) of the treatments listed below.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Transparent windows (with clear or lightly tinted glass) where pedestrian-oriented businesses are located along the facade of the parking structure; or
- ☐ Display windows; or
- ☐ Art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief art work, or similar features; or
- ☐ Decorative metal grille work or similar detailing which provides texture and covers the parking structure opening; or
- ☐ Vertical trellis or other landscaping or pedestrian plaza area.

STAFF RESPONSE:

The six-foot recess is required so vehicles can pull forward avoid blocking the sidewalk. Because the building will be setback almost nine feet from the property line, further recessing the is not warranted. The roll-up door will have frosted glass and metal panels.

18.110.180 – Plant Selection			
A. REQUIREMENT:			Select plants that are compatible with planting conditions and existing landscaping. Plant trees that at their mature, natural size will be well-suited to the planting location. Avoid use of invasive species adjacent to critical areas. Do not plant noxious weeds, as defined by the Thurston County Noxious Weed Control Program (lists are on file with Thurston County or the City’s Community Planning and Development Department).
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Provide visual continuity with the existing streetscape by coordinating tree and shrub species with established, healthy landscaping.
- ☐ Consider mature tree size in relation to planting area dimensions and soil type.
- ☐ Avoid a haphazard appearance by using a limited number of plant species.
- ☐ Choose native plant species for primary landscaping; limit use of exotic plant species to areas of interest or effect.

STAFF RESPONSE:

Proposed plants are generally suited to local conditions; see comments below regarding plant selection. Final review will be conducted at the time of engineering permit review, at which time staff will confirm that the requirements of OMC 18.36 are met.

- *Except for the Skyrocket juniper, plants in front of the openings on the south side of the building are low growing. Greater screening can be achieved with the addition of climbing vines;*

- Skyrocket juniper can grow to 20' tall, which will be taller than the second level balconies. Unless it will be pruned, a shorter tree would be more appropriate;
- If space allows, add planting beds at the corner of State and Columbia;
- Add street trees along Columbia Street;
- Use larger street trees -- as large as possible given their proximity to power lines; and
- Use containers/pots along storefronts to offset absence of perimeter landscaping.

18.110.190 – Screening Site Services

A. REQUIREMENT:

Complies



Conflicts



N/A



Show the location of all mechanical equipment and utility vaults on both site and landscape plans early in the design process. Provide visual screening so that mechanical equipment and utility vaults are not visible from adjacent public rights-of-way, or adjacent dwelling units. Screen rooftop mechanical and communications equipment on all sides.

B. GUIDELINES:

- ☐ Locate mechanical equipment and utility vaults on the least visible side of the building and/or site.
- ☐ Screen at-grade locations with vertical plants such as trees, shrubs or ornamental grasses.
- ☐ Screen or paint wall mounted mechanical equipment to match the building.

STAFF RESPONSE:

Electrical service will be within the building footprint. Gas service will be installed to the restaurant, with the meter placed on the east wall facing the parking area. Additional details regarding mechanical equipment and utility vaults will be provided at the time of detail design review.

18.110.200 – Screening Blank Walls

A. REQUIREMENT:

Complies



Conflicts



N/A



Use a variety of landscape materials along lengthy expanses of blank walls or fences.

B. GUIDELINES:

- ☐ Screen walls or fences with a combination of trees, shrubs and vines.
- ☐ Use irrigated raised planter boxes for screening purposes.
- ☐ In narrow planting areas adjacent to walls or fences, use espaliered trees or shrubs and vines.

STAFF RESPONSE:

Other than the exterior wall at the solid waste room, there are no blank walls. Treatment of this wall has been addressed under OMC 18.110.090.

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Date: December 14, 2017

CITY OF OLYMPIA
COMMERCIAL DESIGN CRITERIA-DOWNTOWN
Chapter 18.120

18.120.020 – Setbacks

A. REQUIREMENT:

Complies



Conflicts



N/A



Maintain the continuity of the streetscape with the setbacks of buildings.

B. GUIDELINES:

- ☐ Align buildings according to the existing pattern.
- ☐ Use walls, railings, planters, or other built and landscape elements at the property line if the building or a portion of it is set back from the property line.

STAFF RESPONSE:

In general, buildings in the area are constructed to property lines/back of sidewalk. The proposed building is setback from property lines along State Ave and Columbia Street to accommodate required separation from power lines. Along State Avenue, buildings are set back between 3 and 8 ½ feet. Along Columbia Street, setbacks vary from 3 ½ to 9 feet.

Various elements are provided to offset the setbacks including planting beds along the south side of the building and a bus stop and bench on the east side of the building. The addition of landscaping as recommended under OMC 18.110.s and bus stop and bench on the east side. The addition of landscape elements as recommended by staff to address OMC 18.110.050 and 180, will provide greater compliance with this standard.

18.120.030 – Waterfront view corridors

A. REQUIREMENT:

Complies



Conflicts



N/A



On waterfront sites, provide for public view corridors of Capitol Lake and Budd Inlet. All development shall incorporate into the site and building design both territorial and immediate views for significant numbers of people from public rights-of-way. (EXCEPT: Intermittent or partial views of the water may not be deemed necessary to incorporate into the site and building design.) See Scenic Vista overlay zoning maps, which are available at the Community Planning and Development Department.

B. GUIDELINES:

- ☐ Locate buildings on the site and design roofs so that they do not interfere with views and vistas.
- ☐ Design and site waterfront buildings to avoid blocking view corridors on adjacent streets that point toward the water.

STAFF RESPONSE:

The proposed building will be set back approximately 65 feet further than the existing building, allowing for enhanced views of Budd Inlet, the Olympic Mountains and the Capitol Dome.

18.120.040 – Parking lots**A. REQUIREMENT:**

Complies



Conflicts



N/A



Locate and design parking lots which maintain the visual continuity of the street and do not create vacant space in the street pattern. Allow for both pedestrian and vehicular circulation, and provide clear access between parking and the principal building(s) on the site.

B. GUIDELINES:

- ☐ Minimize the width of parking lots located adjacent to the street.
- ☐ Screen parking lots which abut the street with hedges, fences, raised planters, or low walls combined with plantings. These screening materials shall not obscure vehicular sight lines as a safety requisite.

STAFF RESPONSE:

Ground level parking with access off of Columbia Street is proposed. Where parking is open to State Avenue and the alley on the north side of the building, it will be screened with metal trellises and vegetation. The loading area between the two accessible stalls provides pedestrian access from parking to the residential lobby. The north/south corridor will provide access between the parking area and State Avenue sidewalk.

18.120.050 – Building Design**A. REQUIREMENT:**

Complies



Conflicts



N/A



Buildings must have streetscape characteristics, such as pedestrian oriented businesses and/or shops, corner entries, and building edges abutting the sidewalk. For additional Building Design requirements please refer to:

B. GUIDELINES:

- ☐ Development standards in the zoning district where the project is located, and
- ☐ Pedestrian Streets Overlay District

STAFF RESPONSE:

The proposed building will abut sidewalks along State Avenue and Columbia Street, both of which Pedestrian A streets. Proposed ground level uses include retail shops, restaurant, and residential lobby, all with entrances facing abutting streets.

The project complies with development standards for the Urban Waterfront district and Urban Intensity shoreline designation. With the exception of canopies, street frontages, and blank walls, the project complies with pedestrian street standards in OMC 18.16, as noted in the findings below:

1. **Setbacks** – *The maximum street wall setback is 10 feet. The project complies with this requirement.*
2. **Pedestrian Plazas** – *Design plazas where people can gather with a maximum dimension of 60' and accessible from the public right-of-way. At least 10% of the plaza area shall be landscaped or use public art to provide texture, break up expanses of hardscape, and add human interest.*

The project includes a public plaza (approximately 1700` square feet) between the outdoor seating area and Percival Landing. It will be accessible from State Avenue and Percival Landing and include seating, a shuffle board court, and landscaping. Approximately 15% of the plaza will be landscaped and no dimension exceeds 60'.

3. **Street Wall Heights** – *A minimum 16-foot street wall height is required. The building will be 25 feet high and therefore satisfies this requirement.*
4. **Canopies** – *Canopies are required along street walls to provide weather protection, contribute to overall integration of individual buildings within the streetscape and to help define the pedestrian zone.*

Canopies and awnings are provided over storefront windows and entrances on the east, west, and south sides of the building. The canopy over the apartment entrance exceeds the maximum 12' over finished grade.

Canopies have not been provided over the parking and solid waste openings on the east elevation. Unless there are functional reasons for omitting the canopies, they shall be provided over these openings.

Similarly, canopies have not been provided over openings on the south elevation. This portion of the building is setback and separated from the sidewalk with a planting bed. As such, canopies are not practical in this location.

5. **Blank Wall Limitations** – *Blank walls are not allowed adjacent to or within 50 feet of a pedestrian street right-of-way. At least 60% of these walls between 2 and 8 feet in height must be pedestrian friendly. Pedestrian-friendly facades shall have one or more of the following characteristics: transparent windows, art or architectural treatment, vertical trellis, pedestrian plazas, and/or display windows.*

Except for the exterior wall of the solid waste room (north elevation), the project complies with this requirement (see calculations on pages A002 and A003, Attachment 4). Additional treatment on the north elevation will be required.

6. Primary Building Entrance – Allow people to arrive by foot, transit, or other means (in addition to car); increase pedestrian and street activity; design entries to convey a sense of arrival; use high quality materials.

The project includes a wide sidewalk along Columbia Street to encourage pedestrian activity; an existing transit stop is located in this area. Building entries will be defined with canopies and vertical grain fir used for the doors.

7. Street Frontage – To create interesting and active pedestrian streets, 75% of the street frontage needs to look like a storefront by including one or more of the following elements: direct at-grade sidewalk entries, high ceilings, recessed doors, storefront windows, awning, canopies, large room spaces, and similar features in the building. Building entries, lobbies, and structured parking are exempt.

Taking into account allowed exclusions, over 75% of the south and east elevations provides the required elements including storefront windows, high ceilings, awnings, and canopies.

8. Parking Structure Design – The design of parking structures must be pedestrian-oriented in scale and character. Several options are available including the use of pedestrian-friendly façade treatments listed in #5 above, public art, or decorative metal grille work or similar architectural detailing which provides texture and covers parking structures openings.

The applicant proposes the use of metal trellises with vegetation on the north and south elevations to screen on-site parking areas. The roll-up door on the east side of the building will have frosted glass and metal panels.

18.120.060 – Building materials

A. REQUIREMENT:

Complies



Conflicts



N/A



Maintain the character of the existing downtown buildings by using similar enduring materials such as stone, brick, and stucco.

B. GUIDELINES:

- ☐ Applied brick tiles or Exterior Insulation Finish System (EIFS) that attempt to give the appearance of genuine masonry or stucco are not preferred. Decorative ceramic tiles may be used as accent features.

STAFF RESPONSE:

Existing downtown buildings use a variety of exterior materials. The proposed building will use brick and fiber-cement for exterior cladding. Canopies and awnings and will be metal and fabric. Metal will be used for flashing, cornices, railings, and trellises. Windows will be vinyl.

18.120.070 – Building design – Building rhythm			
A. REQUIREMENT:			Create visually interesting street walls with variations in horizontal and vertical wall surfaces. Use architectural elements that clearly define a base at street level.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Provide variation in fenestration, architectural elements, building materials, and/or building planes at varying intervals.

STAFF RESPONSE:

The use of building modulation, recessed storefront windows (4"), canopies, awnings, and planting beds will create interest at the street level. Though not shown on the building elevations, brick sills will be used along the bottom edge of the storefront windows. The use of brick detailing (soldier course), window trim, lighting, decorative cornices, material changes, and balconies/railings will provide variation on the upper floors.

18.120.080 – Building orientation			
A. REQUIREMENT:			Orient the primary building entrance and active uses such as retail storefront window displays or restaurants to the street.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Provide views and access into interior activities of the building from the street. Use a high proportion of glazing at the street level for displays or to reveal services available.
- ☐ Use landscaping, surface texture, or art work on buildings where revealing active uses is inappropriate.

STAFF RESPONSE:

Building entrances and storefronts are oriented toward adjacent streets.

18.120.090 – Awnings, canopies, and marquees			
A. REQUIREMENT:			Provide awnings, canopies, and marquees on buildings that abut the sidewalk.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- ☐ Maintain the visual and spatial horizontal plane of the street by employing a horizontal alignment of awnings, canopies, and marquees in areas where they are an existing element in the street pattern.
- ☐ Select awnings, canopies, and marquees which emphasize the architectural and/or historical character, color, and material of the building without covering or obscuring details of the facade.
- ☐ Provide continuity of coverage on both sides and the corner when a building is located on a corner.

STAFF RESPONSE:

Canopies and awnings are proposed over storefront windows and entrances on the east, west, and south sides of the building. Canopies/awnings are absent over the parking and solid waste openings on the east elevation. Unless there are functional reasons for omitting the canopies, they shall be provided over these openings.

Similarly, canopies are absent over openings on the south elevation. This portion of the building is setback and separated from the sidewalk with a planting bed. As such, canopies are not practical in this location.

18.120.100 – Walkways			Provide character and visual diversity to walkways.
A. REQUIREMENT:			
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
To be addressed at time of detail design review.			

B. GUIDELINES:

- ☐ Vary sidewalk colors and materials by combining pavers, brick, stone, exposed aggregate and other materials set in geometric or free form patterns.
- ☐ Identify street and driveway crossings through changes in colors, materials, or patterns.
- ☐ Separate the pedestrian from the street by the use of planters, bollards, or similar elements at the street edge of the sidewalk.
- ☐ Provide alleys with lighting, plantings, and paving materials in areas of the City where the alley is or may be used as a pedestrian link.
- ☐ Incorporate information about historic events or structures into the walkway by use of plaques, signs, and art work.

18.120.110 – Pedestrian access from parking areas**A. REQUIREMENT:**Complies
☒Conflicts
☐N/A
☐

Provide direct and visible pedestrian access through parking areas to building entrances and to adjoining pedestrian ways. Minimize crossings of traffic lanes.

B. GUIDELINES:

- ☐ Provide sidewalks through parking bays.
- ☐ Define walkways with vertical plantings, such as trees or shrubs.
- ☐ Use materials, textures, patterns, or colors to differentiate pedestrian paths from parking areas. Use non-slip materials.
- ☐ Emphasize the entrance to the building by the use of paving materials and landscaping. Avoid locating parking spaces directly in front of the building entrance or in such a way as to interfere with entrance visibility and access.
- ☐ Use signs to direct customers to the building entrances and back to the parking areas.

STAFF RESPONSE:

Pedestrian access is provided from parking to the apartment lobby and to the State Avenue sidewalk.

18.120.120 – Waterfront public access**A. REQUIREMENT:**Complies
☒Conflicts
☐N/A
☐

On waterfront sites used for commercial, residential, or recreational uses, incorporate shoreline public access pursuant to the goals of the Shoreline Management Act in a manner roughly proportionate to the impact created by the development.

B. GUIDELINES:

- ☐ Provide a water-edge trail and view corridors.
- ☐ Provide public access to the water-edge trail and/or view corridors.
- ☐ Provide necessary improvements appropriate to these facilities, such as signage, seating, and lighting.

STAFF RESPONSE:

Though not directly located on the water, the project is within the shoreline jurisdiction of Budd Inlet and subject to public access requirements in the City's Shoreline Master Program. Public access to the water can either be physical or visual. In this case, a public plaza is proposed immediately east of Percival Landing, providing visual access to the water.

18.120.130 – Visual context of streetscape

A. REQUIREMENT:

Complies



Conflicts



N/A



Develop visual linkages between adjacent properties through building design, street trees, and streetscape improvements.

B. GUIDELINES:

- ☐ Link dissimilar buildings by using common elements of existing development. Maintain setbacks from the street; repeat or incorporate similar proportions and scale of buildings; use similar exterior materials, paving materials, and lighting standards.
- ☐ Plant the same or similar street trees to maintain the continuity of the street.
- ☐ Continue walls, screening, and planters where they exist.
- ☐ Repeat common elements and/or materials of landscape design.

STAFF RESPONSE:

Visual linkages will be provided by placing the new building closer to the street than currently exists. Other elements such as street trees and street lights will be integrated into the project. The proposed building includes elements found on surrounding buildings such as storefront windows, parapets, and accent bands.

18.130.140 – Signs – Attached to the building

A. REQUIREMENT:

Complies



Conflicts



N/A



Choose signs that maintain the architectural integrity of the building; locate them so the building details are not covered or obscured. Signs shall conform with Chapter 18.42, Signs, and to the design requirements of this section and of Section 18.120.150.

B. GUIDELINES:

- ☐ Signs should be subordinate to the building design.
- ☐ Coordinate colors with the colors of the building.
- ☐ Use sign panel shapes that complement the architectural forms of the building.
- ☐ Avoid a wide variety of types and sizes of signs when several businesses share the same building. Use directory signs wherever possible.
- ☐ Select colors, materials, size, shape, and illumination similar to signs found on adjacent properties. Emphasize legibility and simplicity.
- ☐ Align signs with those on adjacent buildings when possible.
- ☐ Design signs for businesses served principally by vehicular traffic to be easily legible from the street.

- ☐ Select lettering sizes, styles, and sign locations that will be clearly visible to pedestrians.
- ☐ Use window signs where wall signs would detract from architectural elements of building facade. Symbols for the business such as a pair of eyeglasses can be used to add detail at the sidewalk.
- ☐ Select a type and intensity of lighting in order to match the lighting levels of signs found in the area.

STAFF RESPONSE:

Sign locations are shown on building elevations (pages A301 and A 302, Attachment 4). They appear to complement the building but will be reviewed for compliance with the sign code regulations at the time of permit application.

18.130.150 – Signs – Freestanding			
A. REQUIREMENT:			<p>When building-mounted signs will obscure the architectural details of the building or where buildings are set back from the sidewalk and/or property line, use a free-standing sign. Signs shall conform to Chapter 18.42 Signs.</p> <p>Signs shall have a maximum height of four (4) feet above grade. Lettering styles and colors are limited to two (2) lettering styles and three (3) colors. Signs shall be incorporated in planters or screening walls.</p>
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	