



T H O M A S  
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# **THE LAURANA**

CONCEPT DESIGN REVIEW

DECEMBER 1, 2017



## **THE LAURANA**

### **Concept Design Review:**

#### **CONTENTS**

SECTION 1: General Land Use and Design Review Applications  
(Separated and attached to staff report)

SECTION 2: Context Plans and Elevations/View Corridors

SECTION 3: Site Plans, Floor Plans and Solid Waste Plan

SECTION 4: Building Elevations

SECTION 5: Landscape Plans

SECTION 6: Detail/Cut Sheets

## **SECTION 1: Applications**

**Separated and attached with staff report.**

## **SECTION 2: Context Plans, Elevations, and View Corridors**

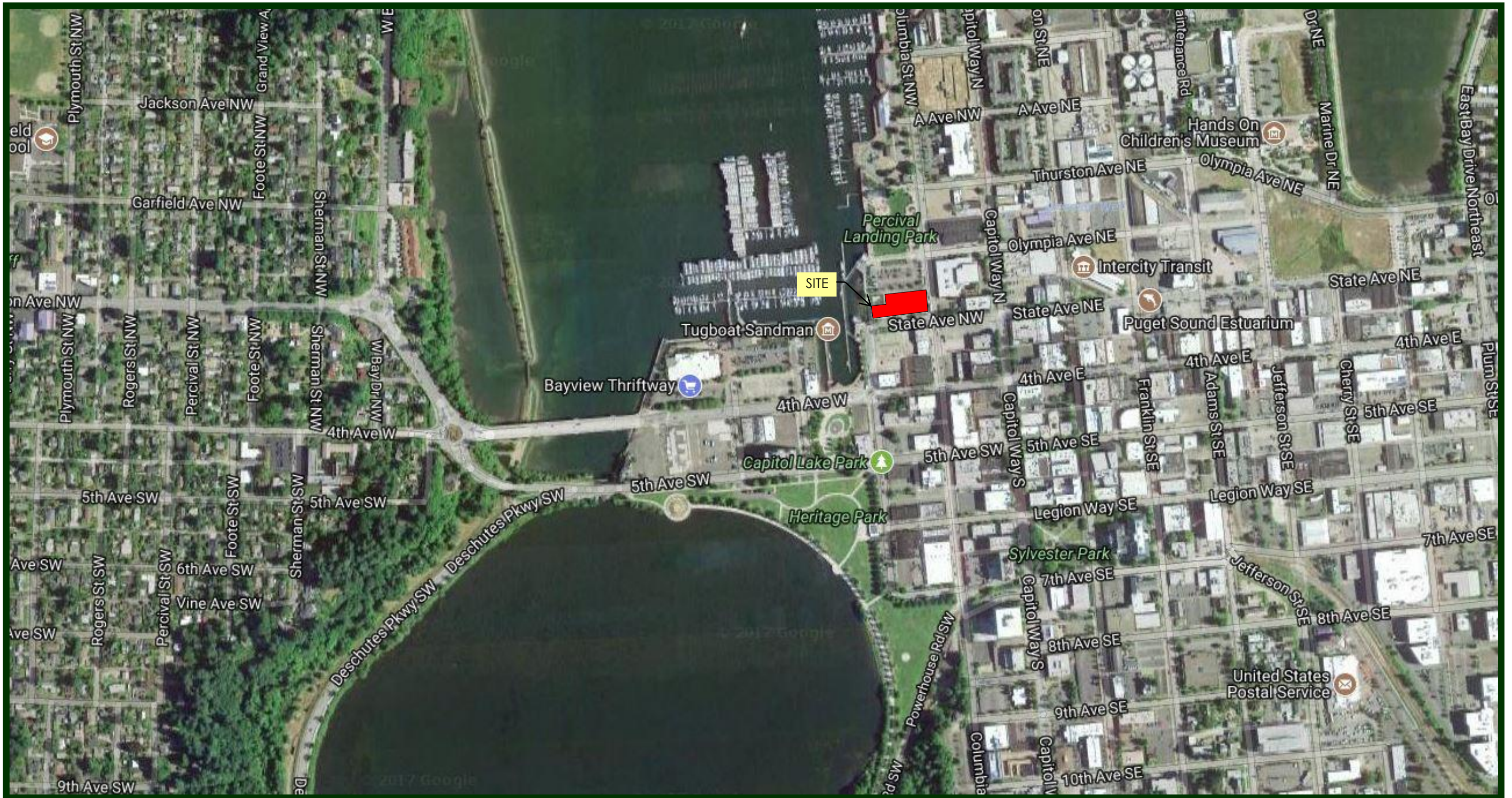
### **Architectural context plan Sheet A001 illustrates:**

- Context plan with 100 foot perimeter boundary.

### **Architectural context elevations Sheets A002-A005 illustrate:**

- Context elevations with 100 foot perimeter boundary.
- Context Images
- View Corridors





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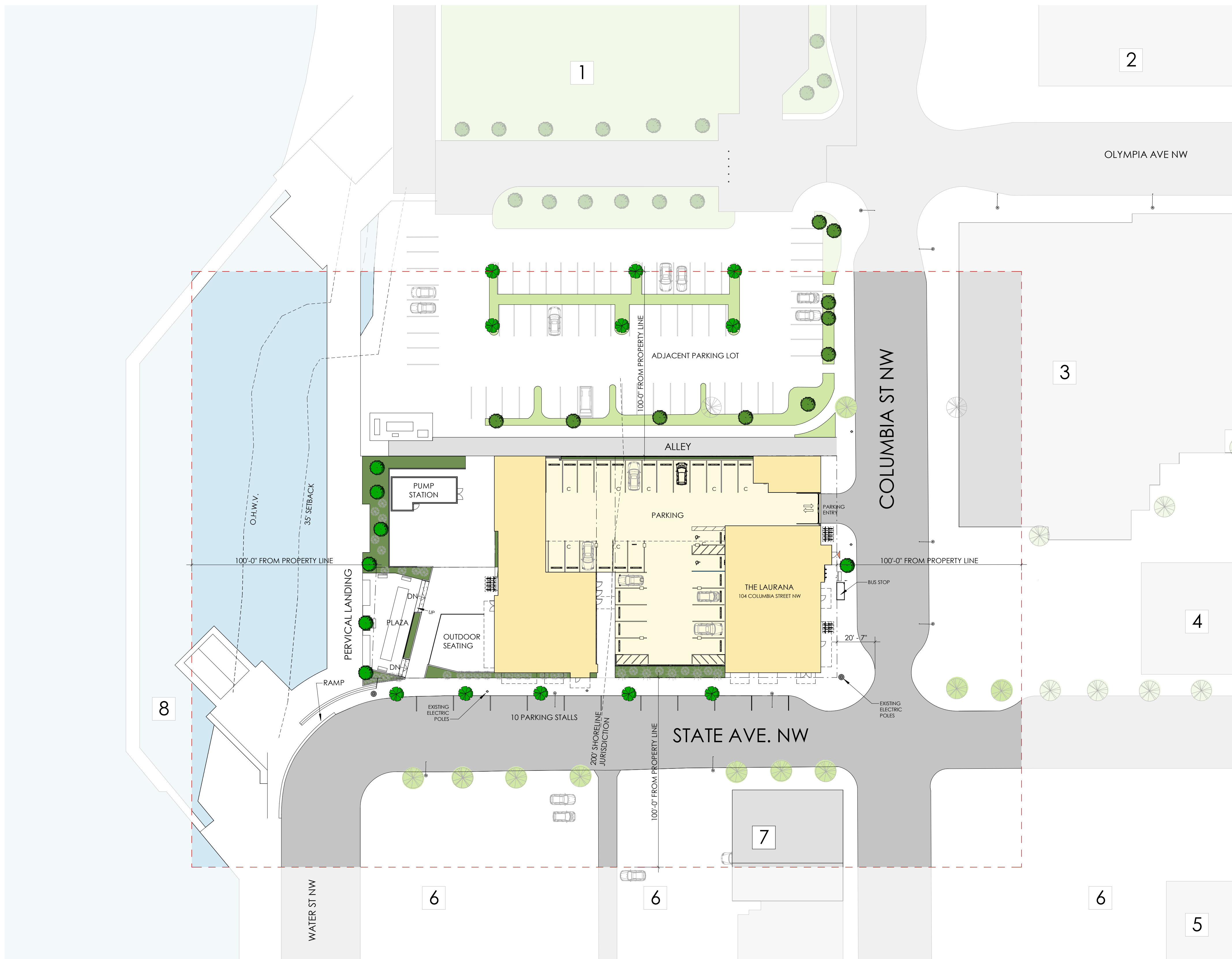
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**A000**  
VICINITY MAP







## SITE LEGEND

- FOOTPRINT OF PROJECT STRUCTURES
- NEW OFF STREET PARKING
- EXISTING ELECTRIC POLES

## KEY

- 1 PERCIVAL LANDING PARK
- 2 OLY TAPROOM
- 3 THE OLYMPIA CENTER
- 4 FAMILY SUPPORT CENTER
- 5 BROTHERHOOD TAVERN
- 6 PARKING
- 7 MEKONG THAI
- 8 MARINA

1 SITE PLAN - CONTEXT 100'

0 30'

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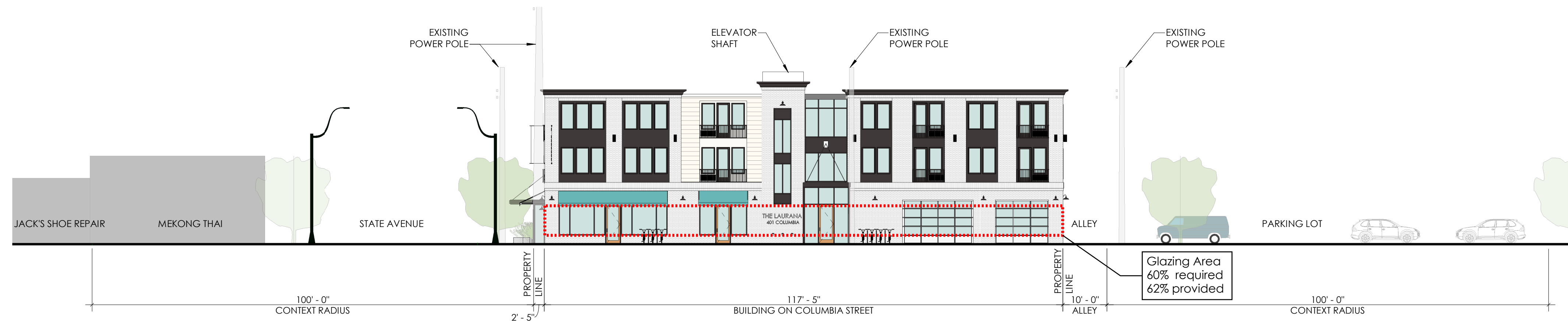
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A001

SITE CONTEXT 100'





1 CONTEXT ELEVATION EAST - VIEW ALONG COLUMBIA



2 CONTEXT ELEVATION WEST - VIEW ALONG BOARDWALK

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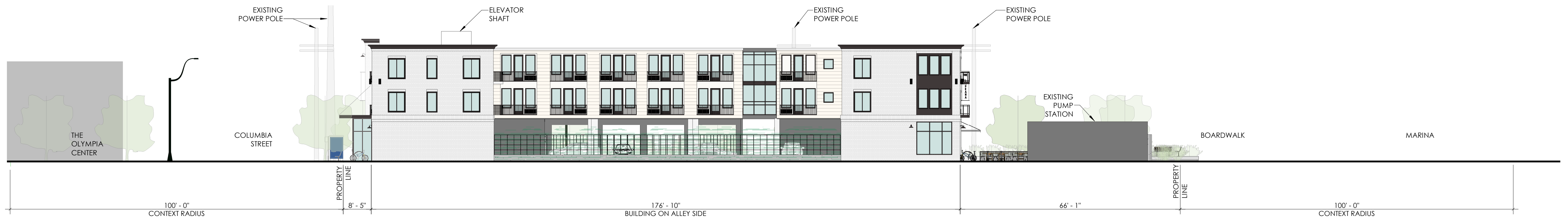
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A002

CONTEXT ELEVATIONS





1 CONTEXT ELEVATION NORTH - VIEW ALONG ALLEY



2 CONTEXT ELEVATION SOUTH - VIEW ALONG STATE AVE

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A003

CONTEXT ELEVATIONS







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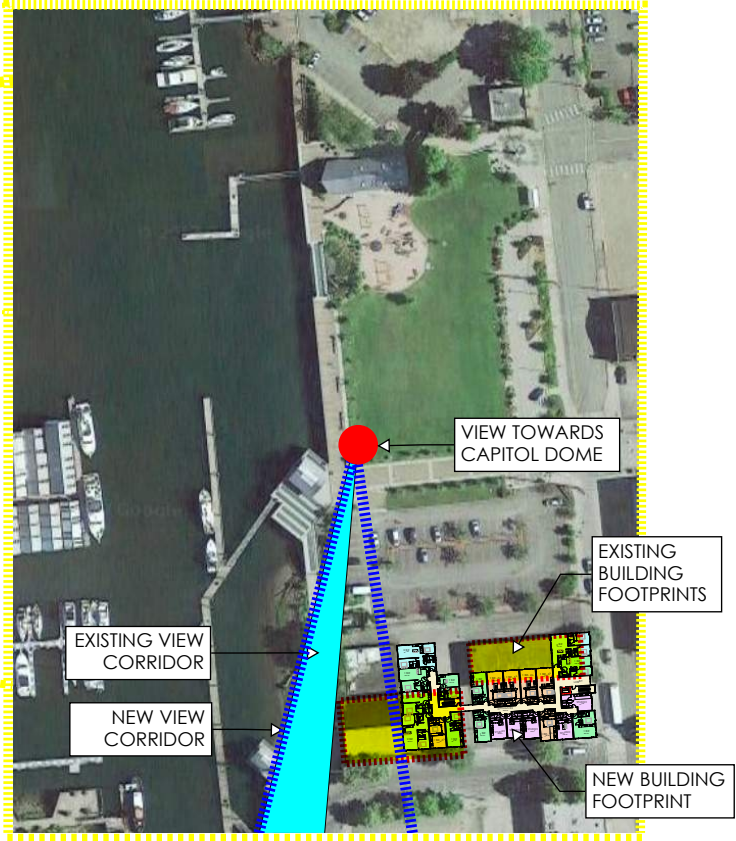
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A004

CONTEXT IMAGES







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A005  
VIEW CORRIDORS



### **SECTION 3: Site Plans, Floor Plans, and Solid waste**

#### **Architectural site plan sheet A100 illustrates:**

- Property lines with distances.
- Adjacent public rights-of-way.
- Existing and proposed site features.
- Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
- Clearly delineated and labeled landscape and hardscape areas.
- Parking area layout, and short and long-term bicycle parking.

Long term bicycle parking provided indoors per plan. Racks shall be "Bike File" by Dero.

Short term bicycle parking provided at perimeter of building near entrances using Arc Rack by Dero, or similar.

No monument or free standing sign shall be provided. All signage will be mounted to the building.

- Solid waste collection location and enclosure.

Location as indicated on plan.

- Existing light post locations.
- Location of all other site features including: pedestrian amenities, bicycle racks, and lockers, bus stop, monument or free-standing signs, mail kiosks, etc.

#### **Architectural building plan sheet A101& A102 – FLOOR PLANS**

#### **Solid waste collection enclosure plan sheet A103 – SOLID WASTE**



PROJECT INFORMATION

ADDRESS: 210 STATE AVE, NW OLYMPIA, WA 98501  
TAX PARCEL #S: 78507200600, 78507200800  
SECTION: 14  
TOWNSHIP: 18N  
RANGE: 2W  
ZONING: UW

EXISTING SITE:	
SITE AREA:	24,962 SF
LANDSCAPE AREA=	0 SF
IMPERVIOUS COVERAGE=	100%
PORPOSED SITE:	
SITE AREA=	26,116
BUILDING FOOTPRINT=	15,233 SF (58%)
PAVED PARKING (IMPERVIOUS)	9,746 SF
LANDSCAPE AREA=	1,350 SF
TOTAL PERVIOUS=	24,766 SF
TOTAL IMPERVIOUS=	1,350 SF
UNIT COUNT SUMMARY	
RESIDENTIAL	
SECOND FLOOR=	22 UNITS
THIRD FLOOR =	22 UNITS
TOTAL UNITS=	44 UNITS
COMMERCIAL	
RESTAURAUNT=	2,161 SF
RETAIL=	2,388 SF
OFFICE=	1,924 SF
TOTAL SF OF BUILDING=	35,874 SF
CONSTRUCTION TYPE: V	

PARKING SUMMARY

REQUIRED VEHICLE PARKING REQUIREMENTS (OMC 18.38.160.C.1)	
VEHICLE PARKING REQUIREMENTS	
OFF STREET PARKING=	31 SPACES
ON STREET PARKING=	10 SPACES
30% OF ALL SPACES CAN BE COMPACT=	9 SPACES
PROVIDED=	8 SPACES
ACCESSIBLE PARKING REQUIRED=	2 SPACES
MOTOR VEHICLE PARKING REQUIREMENTS (OMC 18.38, TABLE 38.01)	
DOCKSIDE (OFFICE 1,924 SF @ 1/250 SF upto 2000 SF)=	7.69 SPACES
DOCKSIDE (RETAIL 2,388 SF @ 3.5/1000 SF)=	8.35 SPACES
DOCKSIDE (RESTAURANT 2,161 SF @ 10/1000 SF)=	21.61 SPACES
TOTAL MOTOR VEHICLE PARKING=	37.65 SPACES
LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)	
DOCKSIDE (10 STUDIO UNITS @ 0/UNIT)=	0 SPACES
DOCKSIDE (28 1-BDRM UNITS @ 1/UNIT)=	28 SPACES
DOCKSIDE (6 2-BDRM UNITS @ 1/UNIT)=	6 SPACES
DOCKSIDE (OFFICE 1,924 SF 1/10,000 SF, 2 MIN.)=	0.19 (2) SPACES
DOCKSIDE (RETAIL 2,388 SF 1/6,000 SF, 1 MIN.)=	0.39 (1) SPACES
DOCKSIDE (RESTAURANT 2,161 SF @ 1/2000 SF, 1 MIN.)=	1.08 SPACES
TOTAL FOR ALL THE SPACES=	38 SPACES
SHORT TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38, TABLE 38.01)	
DOCKSIDE (10 STUDIO UNITS @ 1/10 UNIT)=	1 SPACES
DOCKSIDE (28 1-BDRM UNITS @ 1/10 UNIT)=	2.8 SPACES
DOCKSIDE (6 2-BDRM UNITS @ 1/10 UNIT)=	0.6 SPACES
DOCKSIDE (OFFICE 1,924 @ 1/10,000 SF, 2 MIN.)=	0.19 (2) SPACES
DOCKSIDE (RETAIL 2,388 SF 1/3,000 SF, 2 MIN.)=	0.79 (2) SPACES
DOCKSIDE (RESTAURANT 2,161 SF @ 1/1000 SF, 1 MIN.)=	2.16 SPACES
TOTAL FOR ALL THE SPACES=	11 SPACES

VERTICAL DATUM INFORMATION

NOTE:  
FIRST FLOOR FINISHED FLOOR ELEVATION 0'-0" = NAVD88 14'-6"  
LESS THAN ONE FOOT OF SLOPE ACCROSS SITE.  
SEE SURVEY FOR ADDITIONAL INFORMATION.



- GENERAL SITE NOTES
1. THESE DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT. SEE SEPARATE CIVIL DRAWINGS FOR FURTHER SITE DEVELOPMENT SPECIFICS.
  2. FOR LANDSCAPING, SEE SEPARATE LANDSCAPE ARCHITECTURAL DRAWINGS FOR SPECIFICS.
  3. NEW BUILDING WILL BE SUBMITTED FOR SEPERATE BUILDING PERMITS.
  4. SEE FIRST FLOOR PLAN FOR ADDITINAL SITE INFORMATION.

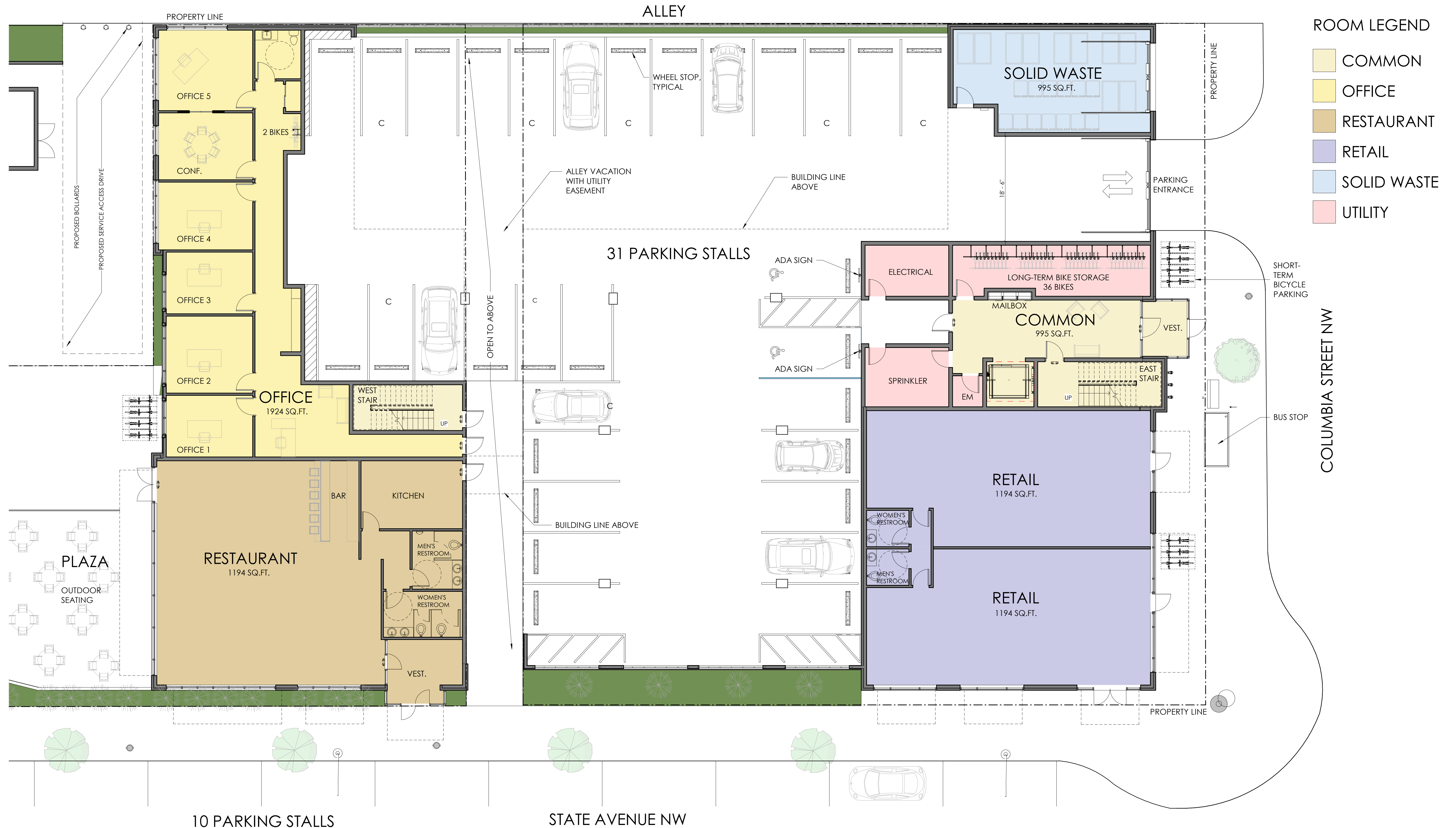
- SITE LEGEND
- FOOTPRINT OF PROJECT STRUCTURES.
  - NEW BUILDING COVERED STRUCTURED PARKING.
  - NEW CONCRETE SIDEWALK PER ARCHITECTURAL AND CIVIL.
  - NEW HARDSCAPE (IMPERVIOUS)
  - NEW LANDSCAPING (PERVIOUS)
  - PROPERTY LINE
  - 1 SHORT TERM BICYCLE PARKING. PROVIDE DERO, ARC RACK OR EQUAL. SEE SHEET A103.
  - 2 PEDESTRIAN BENCH SEATING. PROVIDE DUMOR SIGNATURES BENCH 160 WITH CENTER ARMREST, COLOR: BLACK.
  - 3 NEW STREET TREES PER LANDSCAPE ARCHITECT. PROVIDE WITH MINIMUM 4x6' PEDESTRIAN FRIENDLY IRON GRATE, TYPICAL.
  - 3.1 EXISTING STREET TREE TO REMAIN.
  - 3.2 EXISTING STREET TREES TO BE REMOVED.
  - 4 NEW LANDSCAPING PER LANDSCAPE ARCHITECT.
  - 5 NEW CURBSIDE PARKING WITH 4" WIDE STRIPPING AS SHOWN.
  - 6 NEW BULB OUT. SEE FIRST FLOOR PLAN AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 7 DASHED LINE OF CANOPY ABOVE, TYPICAL.
  - 8 LOCATION OF WASTE COLLECTION. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
  - 9 LOCATION OF RESIDENTIAL BUILDING ENTRY. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
  - 10 LOCATION OF ELECTRICAL/SPRINKLER ROOM. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
  - 11 LOCATION OF LONG TERM BIKE STORAGE. SEE FIRST FLOOR PLAN.
  - 12 LOCATION OF STRUCTURED PARKING ENTRY. SEE FIRST FLOOR PLAN.
  - 13 APPROXIMATE LOCATION OF COMMERCIAL/RETAIL SPACE ENTRY. SEE FIRST FLOOR PLAN.
  - 14 LOCATION OF NEW FDC (HYDRANTS OFF SITE)
  - 15 PROPOSED NEW MURAL WALL LOCATION
  - 16 PROPOSED GREEN WALL SCREENING
  - 17 SHUFFLE BOARD COURT
  - 18 EXISTING STREET LIGHTING TO REMAIN
  - 19 EXISTING POWER POLE

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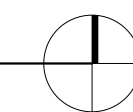
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1 PLAN - FIRST FLOOR

0 4 8 16 32

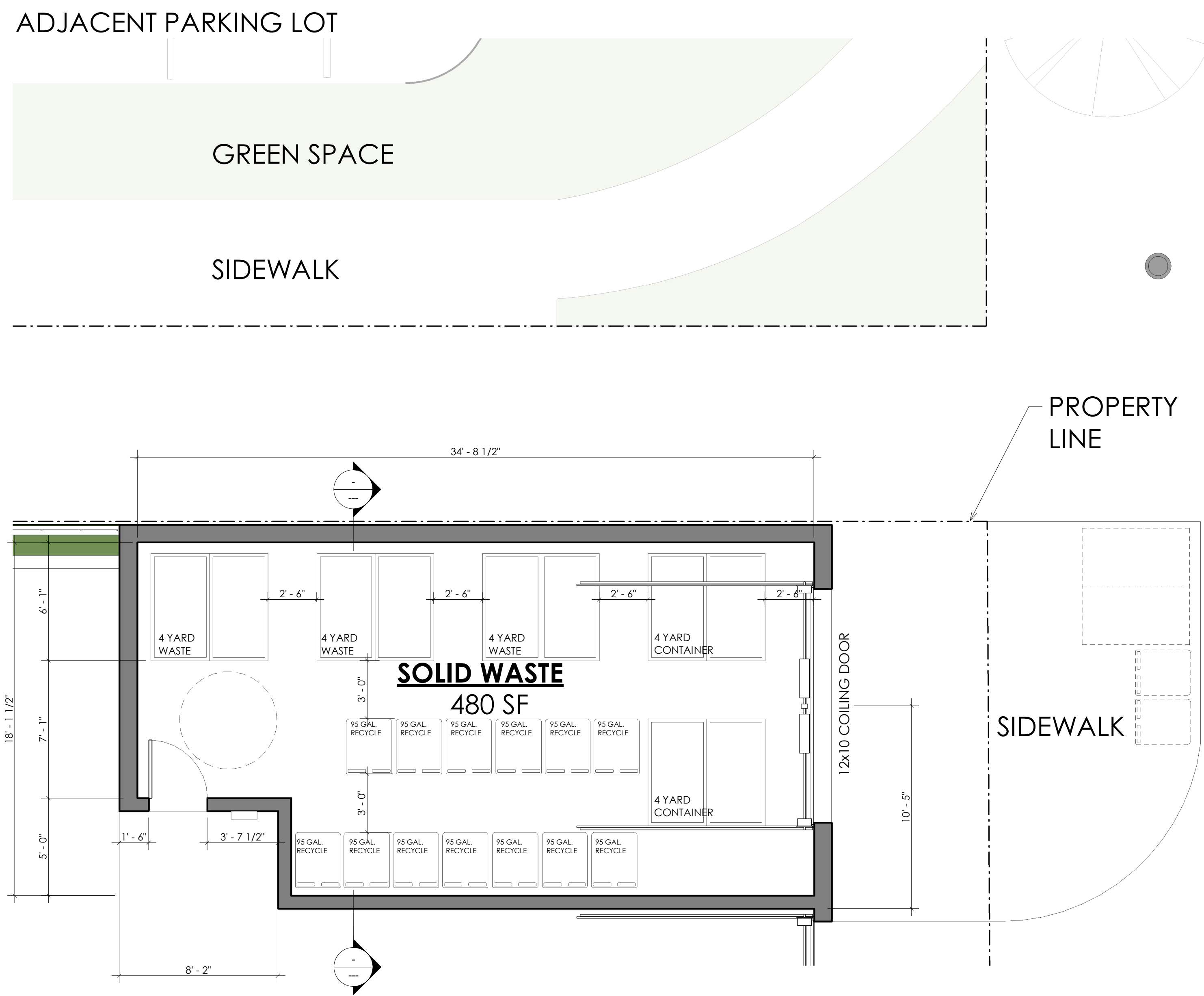


A101

FIRST FLOOR PLAN







1 SOLID WASTE PLAN

TRASH  
TRUCK  
ROUTE

COLUMBIA ST. NW

#### WATSE RESOURCES SUMMARY

GOAL: COLLECT AND STORE WASTE FOR FULL BLOCK.  
COLLECTION CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH  
ALLOCATE 50% TO RECYCLING AND 50% TO GARBAGE

(44) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33= 11.17 CY  
6,561 (RETAILS AND RESTAURANT) @ 1 CY/500 SF= 13.12 CY

24 CY X 50% = 12 CY TO GARBAGE, 12 CY TO RECYCLE

**GARBAGE**  
**PROVIDE (3) 4 YARD CONTAINERS**

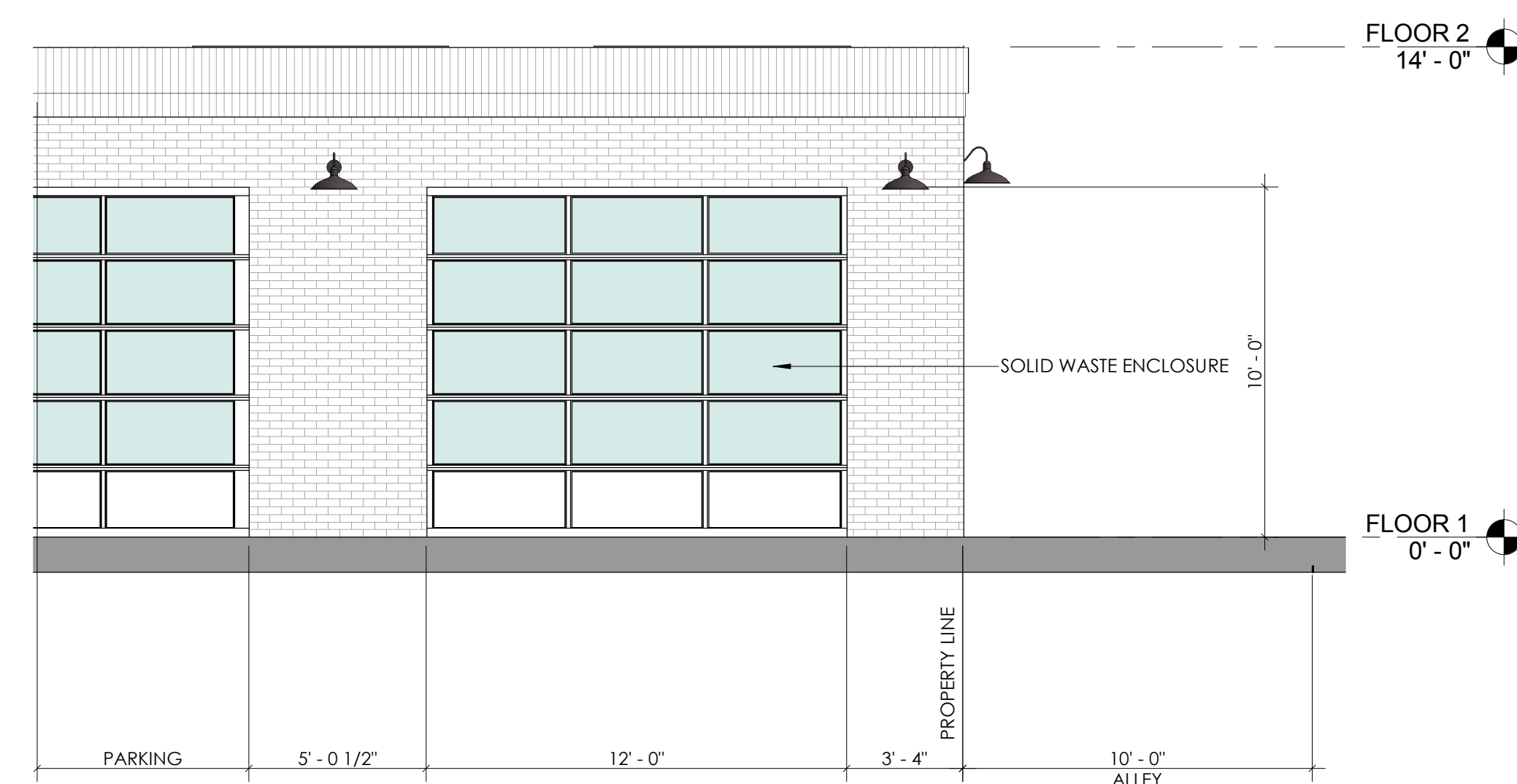
**RECYCLE**  
50% CARDBOARD=6 CY  
50% RECYCLE= 6 CY

CONTAINERS REQUIRED FOR RECYCLING - SPLIT ROUGHLY EQUAL BETWEEN  
CARDBOARD AND OTHER RECYCLING. CARDBOARD CONATINERS ARE 4  
YARD, OTHER RECYCLING USED 95 GALLON CARTS.

6 CY  
**PROVIDE (2) 4 YARD CARDBOARD CONTAINER**

6 (RECYCLE) = 6 CY X 202 GALLONS/CY  
= 1212 GALLONS/95 GALLONS  
= 12.75 CARTS

**PROVIDE (13) 95 GALLON CARTS**



2 TRASH ENCLOSURE ELEVATION - COLUMBIA STREET

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**A103**  
SOLID WASTE



## **SECTION 4: Building Elevations**

### **Architectural Sheets A301 & A302 illustrate:**

- Building elevations of all sides of the building(s) labeled as north, south, east or west elevation.
- Location of building doors and windows.
- Proposed building and roof materials.
- Indicate finished floor elevations and location of exterior steps and stairways.
- Area(s) on building where signs will be installed.
- Exterior building details, including all materials and colors.
- Window details, including materials and colors of framing and glazing materials.
- Door details, including materials and colors.
- Roof details, including materials and colors.
- Finished floor elevation(s).
- Location of exterior light fixture(s).
- Location and type of major sign(s).
- Color rendering of any building elevation visible from a public right-of-way.





1 EAST ELEVATION- COLUMBIA STREET



2 WEST ELEVATION- PERCIVAL LANDING



**ELEVATION KEY NOTES. VERIFY COLORS PRIOR TO PAINTING**

- 1 STANDARD BRICK - MUTUAL MATERIALS, PAINT. COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 2 FIBER CEMENT ARTISAN BEVEL CHANNEL SIDING W/ 6" EXPOSURE, PAINT, COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 3 ANDERSON INSWING PATIO DOOR
- 4 ANDERSON 100 SERIES VINYL WINDOWS OR APPROVED EQUAL. COLOR: BLACK
- 5 RAILING - GLASS PANEL WITH ALUMINUM FRAME. COLOR: BLACK
- 6 ALUMINUM GUTTER
- 7 WINDOW TRIM PER DETAILS, PAINT, COLOR: TO MATCH ANDERSON WINDOWS BLACK
- 8 SINGLE BRICK SOLDIER COURSE - MUTUAL MATERIALS, PAINT COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 9 FIBER CEMENT PANEL PER DETAILS, PAINT, COLOR: MATCH WINDOWS
- 10 CONCRETE - SMOOTH FINISH COLOR: SHERWIN WILLIAMS SW7045 INTELLECTUAL GRAY
- 11 STOREFRONT - KAWNEER OR APPROVED EQUAL COLOR: BLACK
- 12 DOUBLE BRICK SOLDIER COURSE - MUTUAL MATERIALS, PAINT COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 13 WINDOW TRIM PER DETAILS, PAINT, COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 14 BANNER SIGNAGE
- 15 UP/DOWN WALL SCNCE
- 16 OVERHEAD DOOR - BLACK METAL FRAME WITH FROSTED GLASS AND BLACK METAL PANELS
- 17 BOLLARD - TO MATCH PERCIVALLANDING BRUSHED ALUMINIUM
- 18 C CHANNEL ENTRY CANOPY, PAINT, COLOR: BENJAMIN MOORE 2133-10 ONYX
- 19 GOOSE NECK WALL SCNCE
- 20 METAL CUSTOM CORNICE TRIM, PAINT, COLOR: BENJAMIN MOORE 2133-10 ONYX
- 21 TWO PIECE TRIM WITH CAP FLASHING TO MATCH, PAINT, COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 22 RAILING - ALUMINUM FRAME, COLOR: BLACK
- 23 VG FIR ENTRY DOOR
- 24 TWO PIECE TRIM WITH Z FLASHING TO MATCH, PAINT, COLOR: BENJAMIN MOORE OC-61 WHITE DIAMOND
- 25 METAL GRID FRAME FOR VERTICAL LANDSCAPING
- 26 P- TAC 42"
- 27 FABRIC AWNING

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A301  
ELEVATIONS





1 SOUTH ELEVATION-STATE AVENUE

**GENERAL ELEVATION NOTES:**  
 FIRST FLOOR FINISHED FLOOR ELEVATION 0'-0" = NAVD88 14'-6"  
 LESS THAN ONE FOOT OF SLOPE ACROSS SITE.  
 SEE SURVEY FOR ADDITIONAL INFORMATION.



2 NORTH ELEVATION- ALLEY

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**A302**  
 ELEVATIONS







VIEW LOOKING NORTH WEST AT THE CORNER OF STATE ST. AND COLUMBIA AVE.



VIEW LOOKING NORTH EAST AT THE CORNER OF STATE ST. AND PERCIVAL LANDING

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**A303**  
PERSPECTIVES





## **SECTION 5: Landscape Plans**

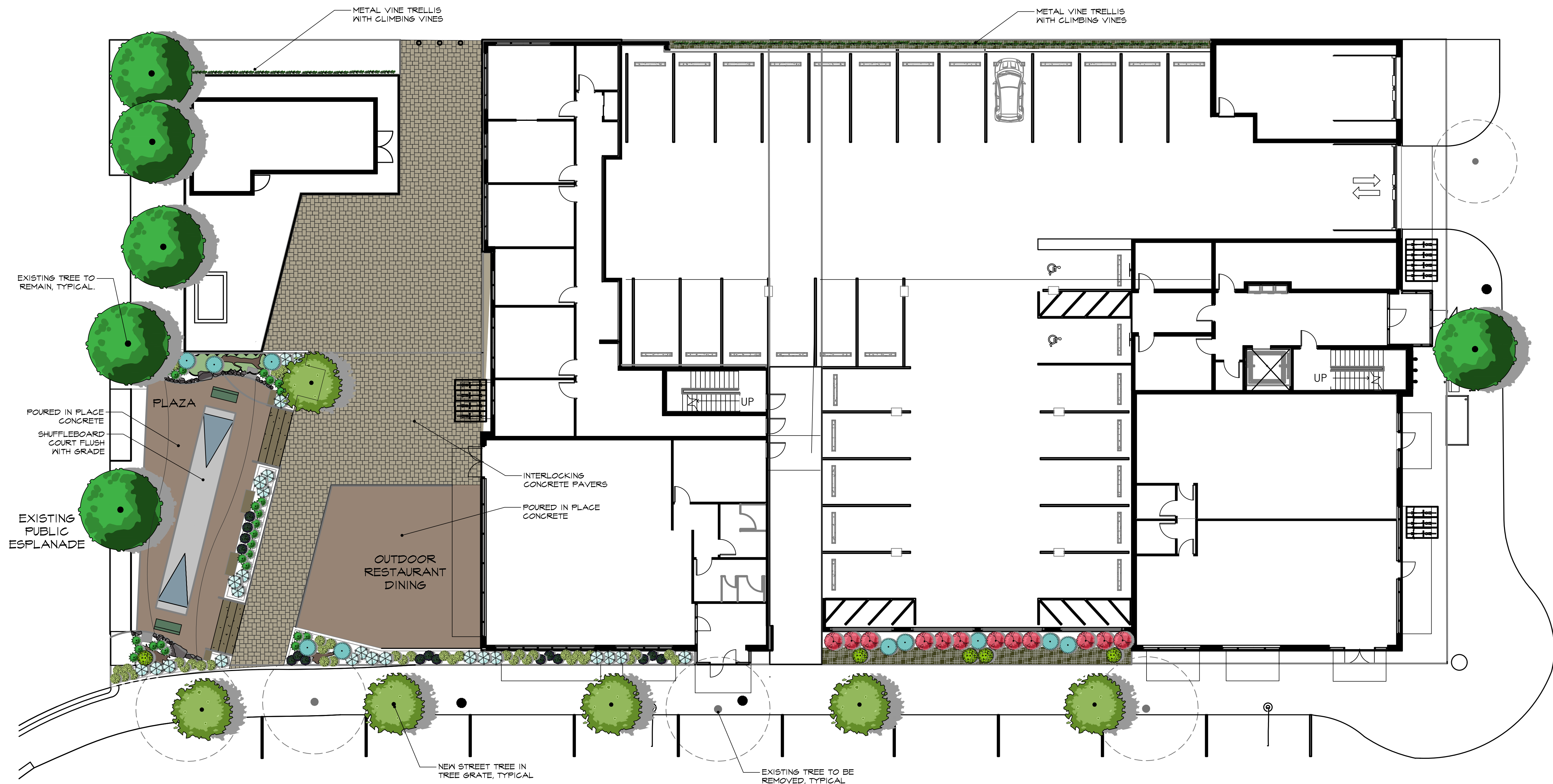
### **Landscape Sheets L1.01, L2.01 illustrate:**

- Location of existing (to remain) and proposed plants.
- All new plants.
- Type of proposed plants (i.e., groundcover, shrub, tree).
- Graphic depiction of the size of proposed tree canopies at maturity on plan.
- Clearly delineated and labeled landscape, hardscape, and building areas.
- Location and spacing of proposed plantings.
- Common and botanical names of each species.
- Container or caliper size of plants at installation.
- Quantities of plant material by species and size at installation.
- Plan notes indicating types of hardscape material.

### **Landscape Planting and examples:**





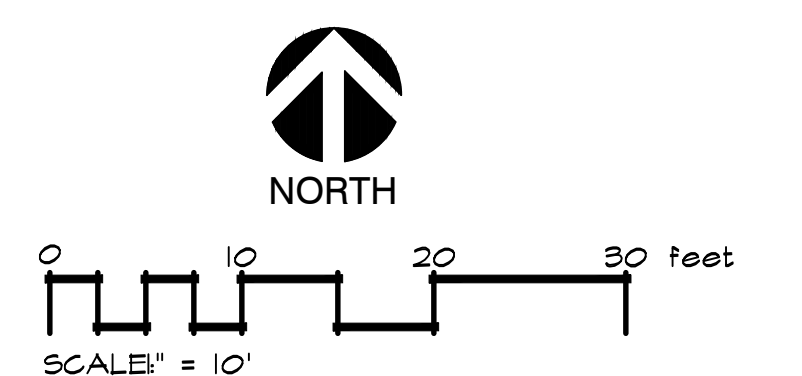


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## LANDSCAPE AND PLAZA PLAN

NOVEMBER 2017







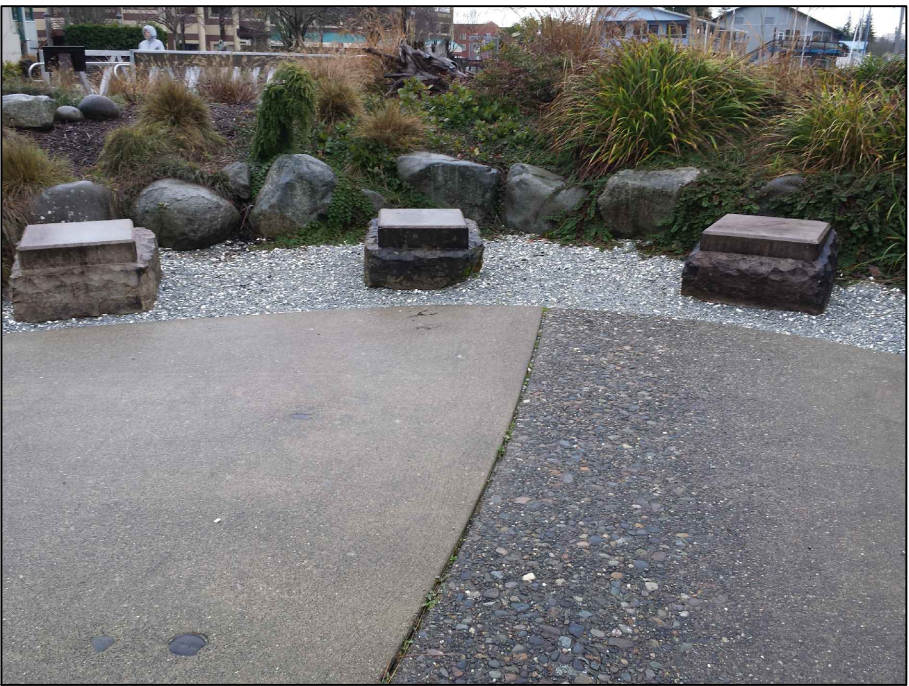
Polished stone bench



Bluestone seatwall



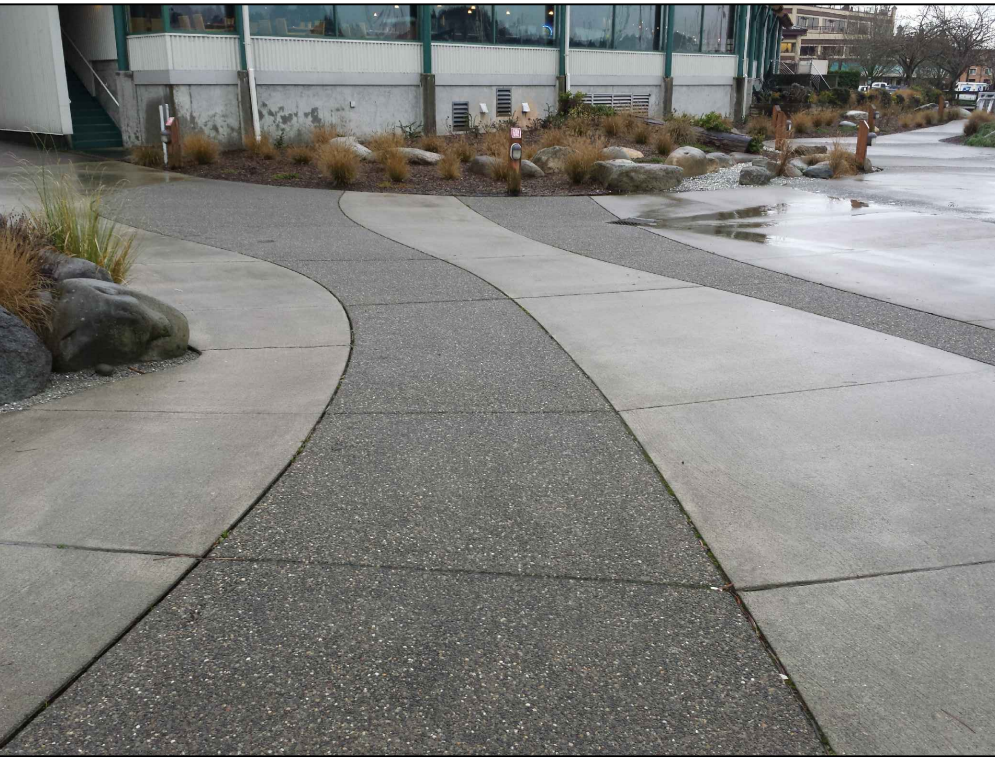
Natural Stone bench or art plinth



Boulder landscape edge



Beach-look exposed aggregate concrete



Alternating concrete textures with organic joint lines



Concrete with quartz aggregate



Freestanding vine support trellis



Natural boulder accent / birdbath



'Skyrocket' Juniper



'Rocky Mountain Glow' Maple



'Kelsey' Dogwood



'Oregon Jade' Mugo Pine



Creeping Mahonia



Blue Oatgrass



'Little Bunny' Fountain Grass



'Karley Rose' Fountain Grass



Purple Conflower



Purple-leaf Wintercreeper



Hancock Coralberry



Evergreen Clematis (climbing vine)



## **SECTION 6: Lighting Details and Pedestrian Amenities**

### **Enclosed details and cut sheets illustrate:**

Detail of hardscape material (i.e. size, type, and color of pavers, etc.)

- All hardscape path/sidewalk materials shall be concrete with a light broom finish to match existing adjacent sidewalks. See attached.
- See Landscape plan sheet L1.01 for plaza hardscape materials.

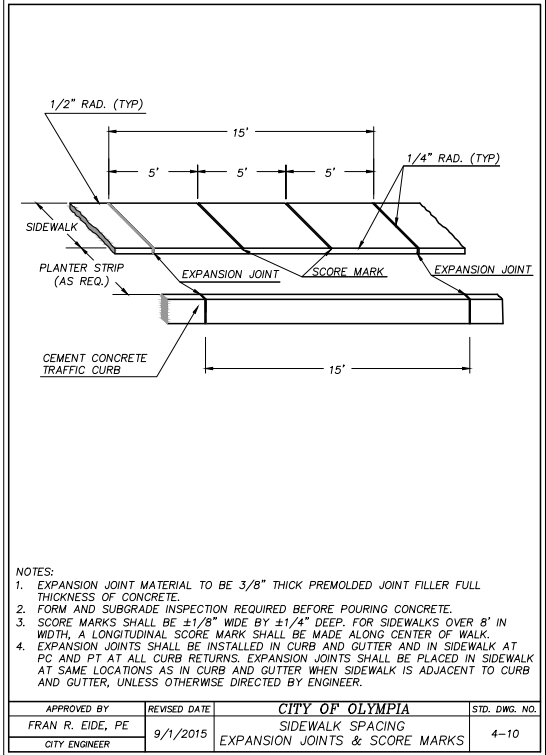
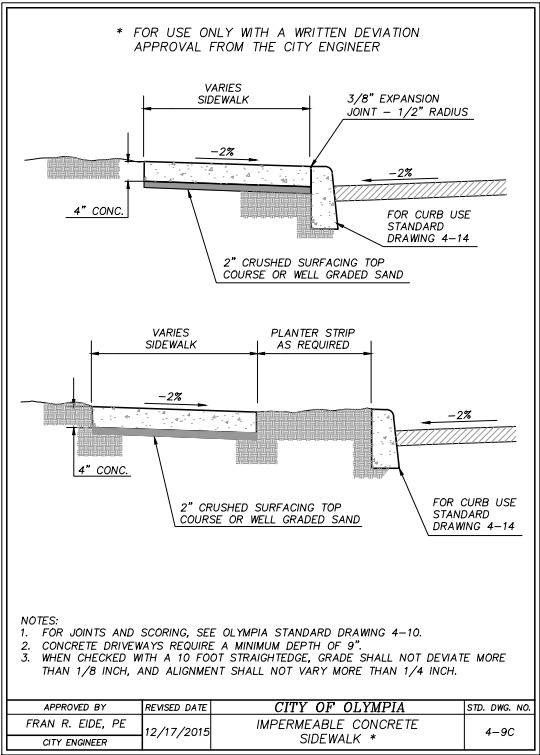
### **Lighting Details sheets A901-A903 illustrate:**

Exterior light fixtures proposed as listed on elevations in previous section.

### **Pedestrian Amenities sheet A905 illustrate:**

Each type of pedestrian amenity.

- Bench located per plan shall be Victor Stanley Model 32 or equal, black finish. **See sheet A905.** Plaza seating will be a combination of benches and natural stone. **See sheet L1.02**
- Bicycle parking, long term, shall be located in a secure room. **See sheet A101.**
- Bicycle parking, short term, shall be located on the sidewalk near the residential building entrance as is typical downtown, and shall be Dero Arc rack or similar.



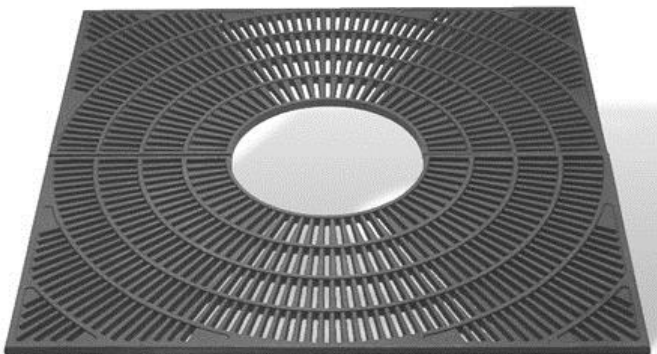
# SIDEWALK



**1 INTERLOCKING CONCRETE PAVEMENT (PATTERN SEE LANDSCAPE PLAN)**  
COLOR : NATURAL



**2 STAMPED CONCRETE (PATTERN SEE LANDSCAPE PLAN)**  
COLOR : NATURAL



**3 TREE GRATE**  
URBAN ACCESSORIES  
4'x6' IRON GRATE



**4 ADA TILE**  
SAFE-STEP, CAST IN PLACE ADA TILE  
COLOR : GRAY

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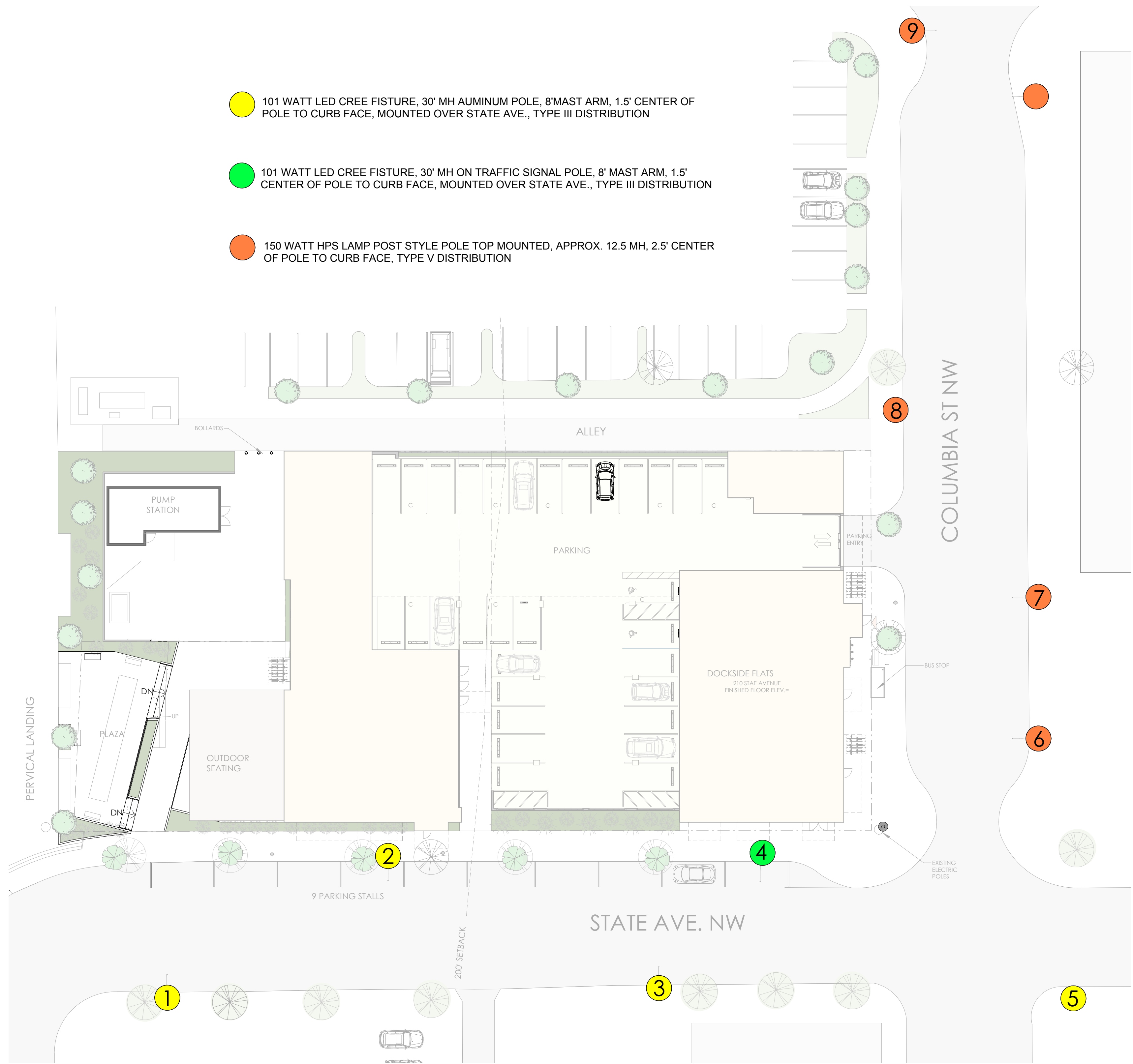
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A901

HARDSCAPE MATERIALS







1 SITE PLAN - STREET LIGHTING

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### EXISTING STREET LIGHTING FIXTURES



#1



#2



#3



#4



#5



#6



#7



#8



#9

**A902**

STREET LIGHTING







SOUTH ELEVATION



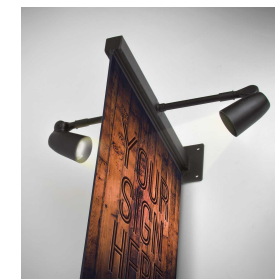
**GOOSE NECK  
WALL SCONCE**  
THE CHEROKEE  
ULC12-PC



**CONTECH LIGHTING**  
CYL8  
UP/DOWN WALL  
SCONCE



**SIGN BRACKET STORE**  
24" MONTAMAR LIGHTED BRACKET PAIR



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**A903**

LIGHTING DETAILS





NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

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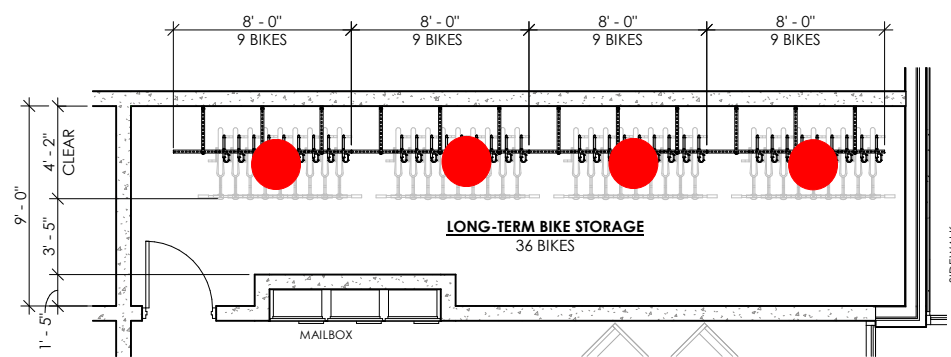
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**A904**

LIGHTING DETAILS

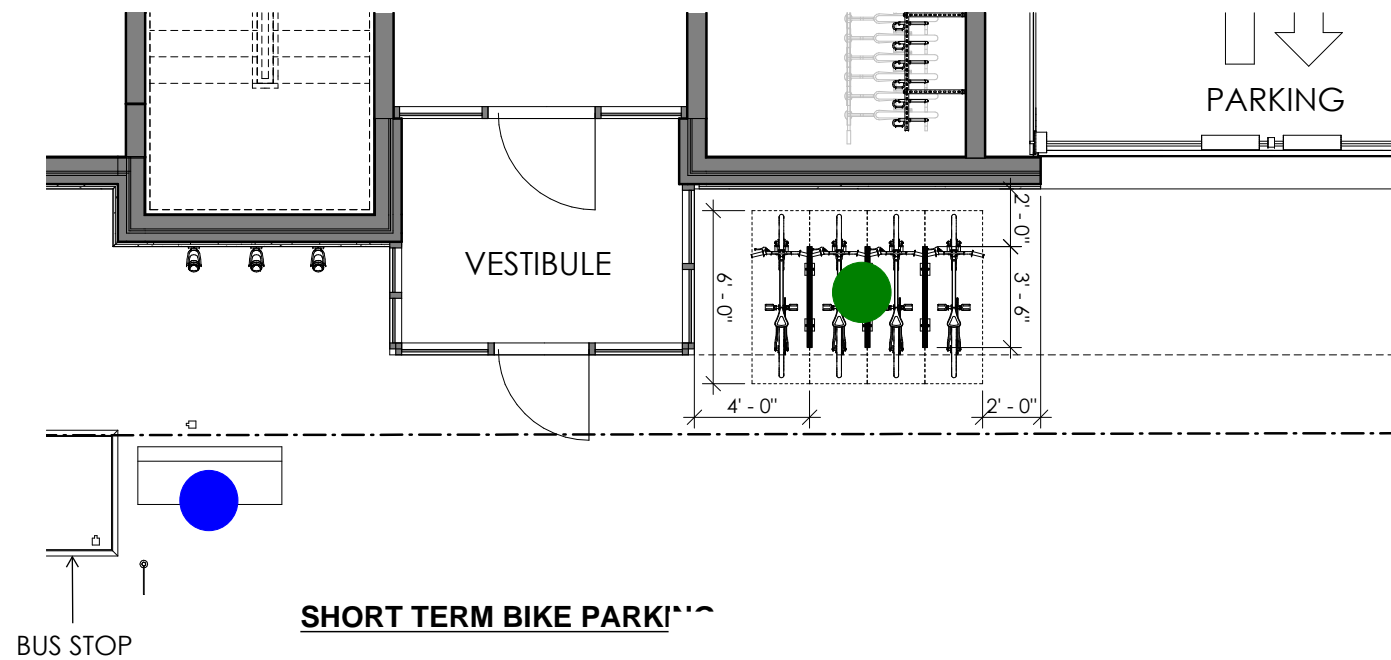




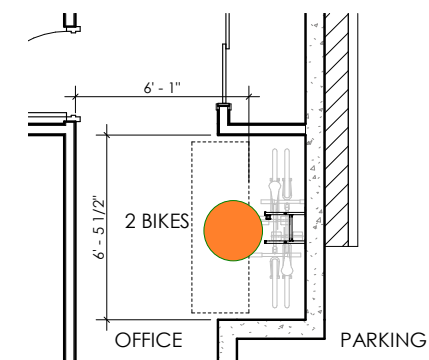


**LONG TERM BIKE PARKING**

## BIKE STORAGE PLAN



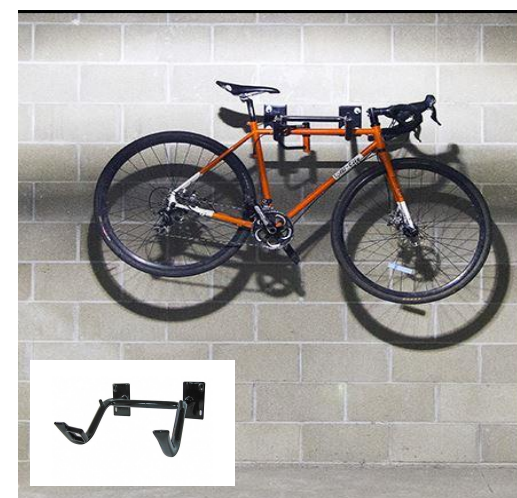
**SHORT TERM BIKE PARKING**



**LONG TERM BIKE STORAGE**  
DERO BIKE FILE  
COLOR : BLACK



**SHORT TERM BIKE STORAGE**  
DERO ARC RACK  
COLOR : BLACK



**WALL RACK- FOR UNITS**  
DERO WALL RACK  
COLOR : BLACK



**BENCH**  
VICTOR STANLEY MODEL 32 OR  
EQUAL  
COLOR : NATURAL WOOD

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**A905**

PEDESTRIAN AMENITIES

