

Cari Hornbein

From: Karen Messmer <karen@karenmessmer.com>
Sent: Friday, February 23, 2018 4:20 PM
To: Cari Hornbein
Subject: [BULK] Bicycle parking for Dockside Flats, 210 State Ave NW, 17-4634 at SPRC March 7

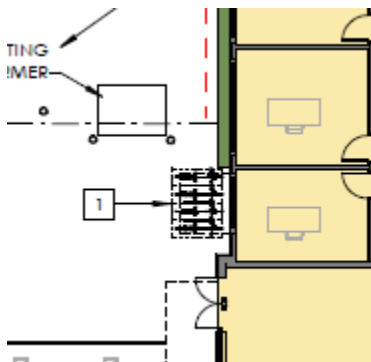
Importance: Low

Hello Cari -

The short term bicycle parking for this project appears to have awnings over the locations, however, I hope the designer will make these cover awnings larger than the space for the bikes. Especially on the west side of the building wind-driven rain will reach the bikes if they do not have adequate cover. It appears that there may be room for a cover to extend further out from the building and along each side of the rack area. A larger cover/awning will be more welcoming because cyclists can know that their bike will be dry while they visit the building.

Karen Messmer

Olympia Safe Streets Campaign



Cari Hornbein

From: hwbranch@aol.com
Sent: Tuesday, March 13, 2018 9:10 AM
To: Cari Hornbein
Subject: Dockside Flats Land Use Review

Regarding: Dockside Flats Land Use Review, Shoreline Substantial Development and Shoreline Conditional Use Permits File number: 17-4634

Applicant: Urban Olympia V, LLC, represented by Josh Gobel, Thomas Architecture Studio Request: Demolition of two existing buildings and construction of a new three story building with two floors of apartments (44 units) over ground floor commercial and office spaces (6,400 square feet).

The existing building is constructed of full dimension arched fir "bowstring" trusses. Floor space is unobstructed by vertical supports. If properly cared for it will last another thousand years. Its single story design allows the morning and evening sun to shine on neighboring areas including Percival Landing.

What will replace it will probably have a much shorter life expectancy. It will probably contain a lot of PVC and other plastics and heavy halogen based chemicals and will ultimately become a pile of toxic waste. The height will be by comparison imposing, completely altering the character of an emblematic, allegorical turn in the road.

The City has pulled out all stops on real estate development under a series of convoluted justifications largely based on fantasy. Is there really a shortage, for example, of commercial properties? On the east side of Cooper Point road from Black Lake Blvd to Harrison, I counted 21 vacant and 8 occupied. Vacancies included the old World Market, El Sarape and other large spaces down to small ones. One of the large occupied stores, Toys Are Us, will probably soon close. This was supposed to be a node where we would direct growth. It makes sense of direct commercial growth closer to residential growth that has proceeded unimpeded in West Olympia.

Three questions. (1) Why are we building more commercial units anywhere in town? (2) If we're so bloody upset about people sleeping on the street, why don't we somehow make some of these vacant properties available? (3) A couple houses were built this year across the street. They went up in a matter of weeks. I think if all the permits were lined up they might have each been built in a week. Why are we building in anticipation of incoming hordes when we could build to accommodate actual markets in a timely manner?

This proposed development would be destructive of our history and our natural beauty. It's completely unjustified. It's another effort to convert housing to multiple units that are then owned by foreign and corporate interests... all part of the corporate takeover of every aspect of our lives including ownership of our homes.

Harry Branch
239 Cushing St NW
Olympia WA
360-943-8508

Cari Hornbein

From: cpdinfo
Sent: Tuesday, March 13, 2018 3:18 PM
To: Cari Hornbein
Subject: FW: Dockside Flats

From: Colleen Madden [mailto:copper22@gmail.com]
Sent: Tuesday, March 13, 2018 10:52 AM
To: cpdinfo <cpdinfo@ci.olympia.wa.us>
Subject: Dockside Flats

I wanted to voice my support for the Dockside Flats project. In general, I think shoreline should be preserved for public use, but I think this project will be an excellent use of that parcel. The trend of mixing commercial space and apartments will inject some great energy into downtown, and will encourage and support our lively and dynamic little city.

Colleen Madden
1425 22nd Ave SE
Olympia, WA 98501

Marilyn A. Turley
4410 Governor Lane SE
Olympia, WA 98501

Regarding the Dockside
Flats project:

What is the most
difficult problem in
downtown Olympia?

PARKING

So, there should be more
parking spaces in this
project, esp. since there
are no plans for a parking garage.