

COOPER POINT ROAD BUILDING ENTRY

SCHILTER DEVELOPMENT

1217 Cooper Point Road, Olympia, WA 98501

PROJECT INFORMATION

BUILDING Owner
Ed Schilter
906 Columbia Street SW, Ste 400
Olympia, Washington 98501
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360.352.8883

DESIGN TEAM

ARCHITECT
KMB architects
906 Columbia Street SW, Ste 400
Olympia, Washington 98501
Ed Schilter, Principal
edschilter@kmbdesign.com
Elizabeth Glenn
elizabethglenn@kmbdesign.com
360.352.8883

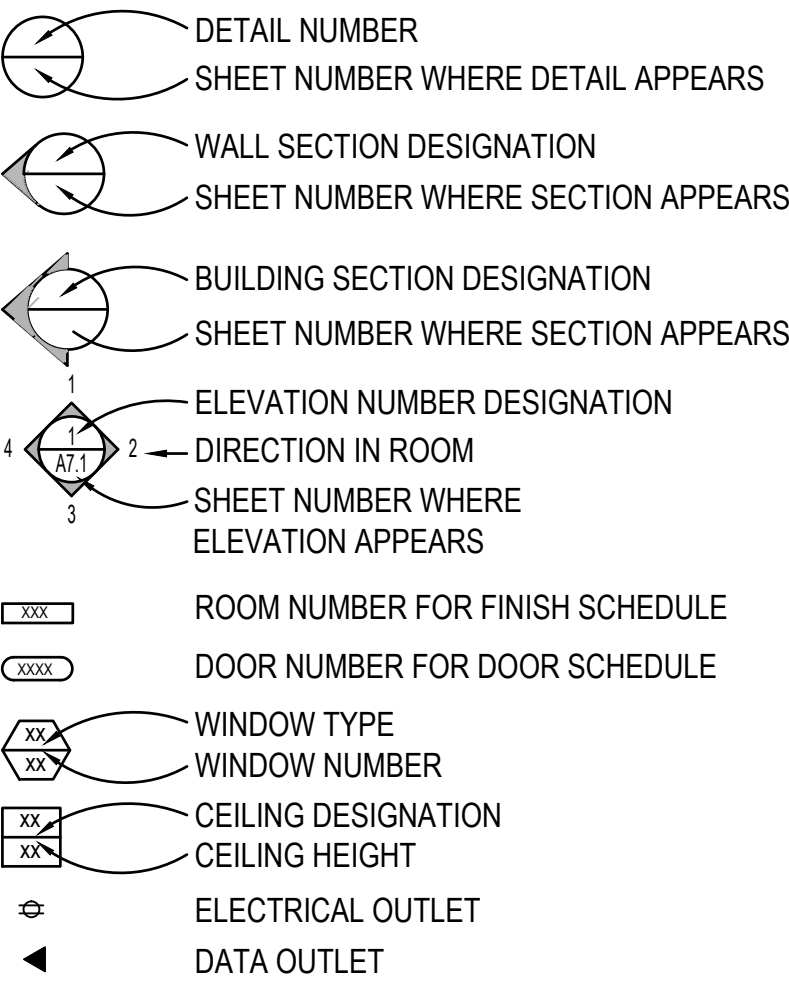
CONTRACTOR
Adroit Contractors, Inc
1001 S Evergreen Park Drive SW
Olympia, WA 98502
Stuart Drebeck
adroitci@comcast.net
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STRUCTURAL
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DRAWING INDEX

ARCHITECTURAL
A0.1 COVER SHEET
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A2.1 FIRST FLOOR PLANS
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DRAWING SYMBOLS



CONSTRUCTION NOTES

- GENERAL NOTES:
- Use construction practices to obtain high quality construction results. If in doubt about proposed means, methods or materials discuss with owners representative before proceeding.
 - All proposed substitutions must have owner approval, must be equal or better in owner's opinion and must include data to substantiate the equal or better argument.

- DOORS
- Provide timely hollow metal frames as noted on door schedule.
 - Provide solid core door as noted on door schedule.

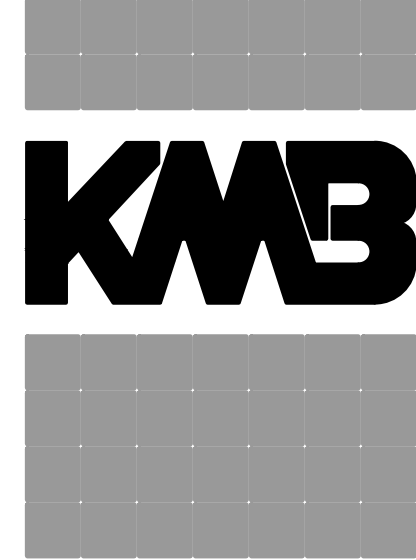
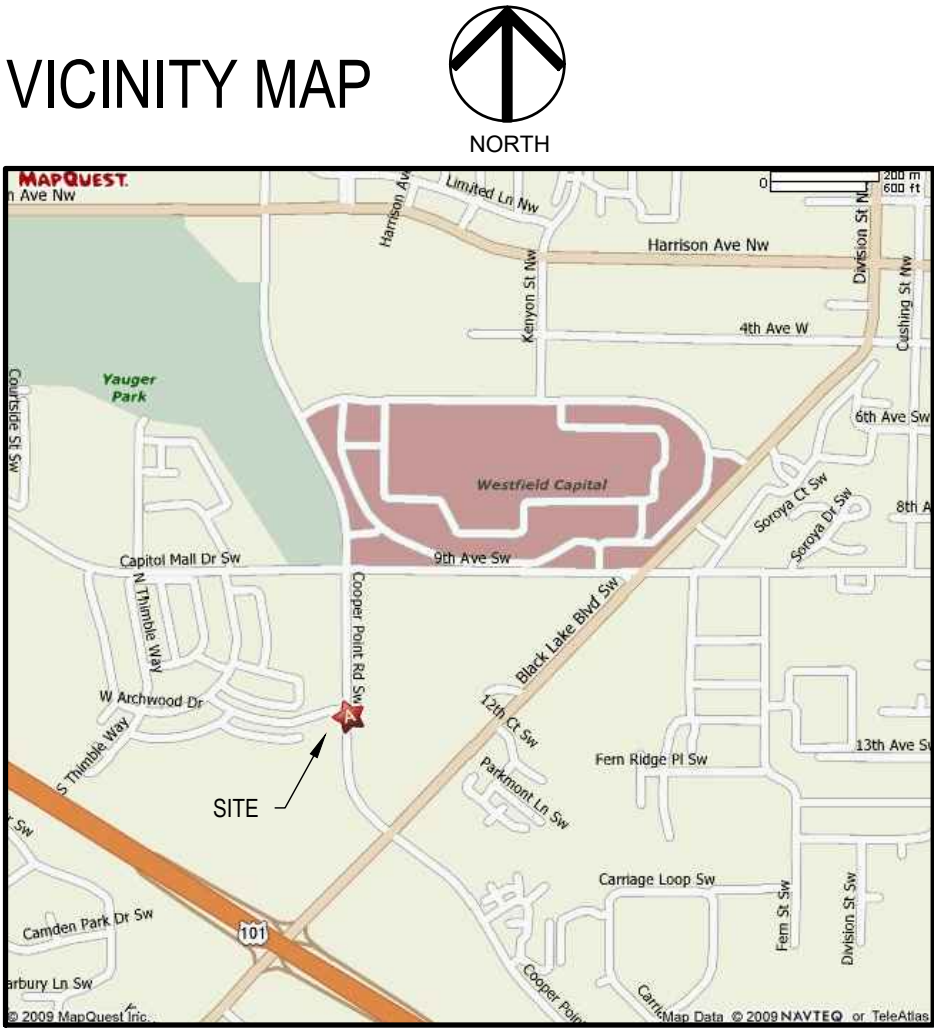
- ELECTRICAL
- Electrical is bidder design.



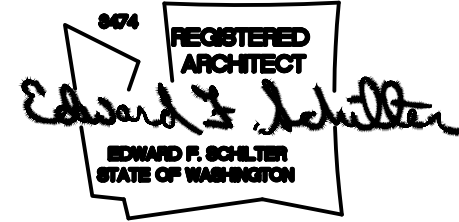
DRAWING ABBREVIATIONS

&	AND	COL	COLUMN	FAB	FABRICATE(ION)	IN	INCH	OH	OVERHANG OR OVERHEAD	STR	STRUCTURAL
/	ANGLE	CONC	CONCRETE	FIN	FINISH	INSUL	INSULATION	SUSP	SUSPENSION(ION)		
@	AT	CONN	CONNECTION	FE	FIRE EXTINGUISHER	INT	INTERIOR	PSF	POUNDS PER SQUARE FOOT		
ø	CENTER LINE	CONST	CONSTRUCTION	FEC	FIRE EXTINGUISHER CABINET	JAN	JANITOR	SYM	SYMMETRICAL		
ø	DIAMETER	CONT	CONTINUOUS	FF	FINISH FLOOR	JST	JOIST	T	TOP		
'	FOOT (FEET)	CORR	CORRIDOR	FFWS	FLAT HEAD WOOD SCREW	JT	JOINT	T & B	TOP AND BOTTOM		
*	INCH	CTSK	COUNTERSINK	FLG	FLASHING	KIT	KITCHEN	T & G	TONGUE AND GROOVE		
d	PENNY (NAILS)	CTR	CENTER	FLR	FLOOR	LAT	LATERAL	TB	TACK BOARD		
#	POUNDS	DBL	DOUBLE	FOC	FACE OF CONCRETE	LB	POUNDS	THK	THICK		
#	PLATE or PROPERTY LINE	DEPT	DEPARTMENT	FOM	FACE OF MASONRY	LF	LINEAL FEET	TN	TOR NAIL		
AB	ANCHOR BOLT	DF	DOUGLAS FIR /	FOS	FACE OF STUD	L	LENGTH / LONG	TOC	TOP OF CONCRETE		
A/C	AIR CONDITIONING		DRINKING FOUNTAIN	FPW	FACE OF WALL	LOC	LOCATION	TOP	TOP OF PAVING		
ACOUS	ACOUSTICAL	DIA OR Ø	DIAMETER	FR	FIRE RESISTANT	LT	LIGHT	TOM	TOP OF MASONRY		
ACT	ACOUSTICAL CEILING TILE	DIA	DIAGONAL	FRM	FIRE RESISTANT	M.C.	METAL CHANNEL	TOJ	TOP OF JOIST		
ACC	ACCESSIBLE	DN	DOWN	FRMG	FRAMING	MR	MOISTURE RESISTANT	TOS	TOP OF SHEATHING		
ADD	ADDITIONAL	DO	DITTO (REPEAT)	FRT	FIRE-RETARDANT-TREATED	MATL	MATERIAL	TOW	TOP OF WALL		
ADJ	ADJACENT / ADJUSTABLE	DR	DOOR	FS	FAR SIDE	MAX	MAXIMUM	TPD	TOILET PAPER DISPENSER		
AFF	ABOVE FINISH FLOOR	DHM	DETENTION HOLLOW METAL	FT	FOOT (FEET)	HDR	HEADER	TSCD	TOILET SEAT COVER DISPENSER		
ALUM	ALUMINUM	DWG	DRAWING	FTG	FOOTING	MECH	MECHANICAL	REFR	REFRIGERATOR		
ALT	ALTERNATE	(E)	EXISTING	GA	GAUGE	MEZZ	MEZZANINE	REINF	REINFORCED		
APPROX	APPROXIMATE	EA	EACH	GALV	GALVANIZED	MFR	MANUFACTURER	REQ'D	REQUIRED		
ARCH	ARCHITECT(URAL)	EF	EXHAUST FAN	GB	GRAB BAR	MIN	MINIMUM	RHWS	ROUND HEAD WOOD SCREW		
BD	BOARD	EHD	ELECTRONIC HAND DRYER	GLB	GLUE LAMINATED BEAM	MISC	MISCELLANEOUS	RM	ROOM		
BLDG	BUILDING	EIFS	EXTERIOR INSULATION	GWB	GYPSUM WALLBOARD	MO	MASONRY OPENING	RO	ROUGH OPENING		
BLK	BLOCK	EQ	EQUAL	H	HOSE BIBB	MR	MOISTURE RESISTANT	SC	SOLID CORE		
BLKG	BLOCKING	EJ	EXPANSION JOINT	HC	HOLLOW CORE / HANDICAP	MTD	MOUNTED	SCH	SCHEDULE		
BM	BEAM	EL	ELEVATION	HD	HOLD DOWN	MTL	METAL	SF	SQUARE FOOT (FEET)		
BRG	BEARING	ELEC	ELECTRICAL	FDN	FOUNDATION	(N)	NEW	SHT	SHEET		
BTM	BOTTOM	ELEV	ELEVATION	HDW	HARDWARE	NIC	NOT IN CONTRACT	SHTG	SHEATHING		
BTWN	BETWEEN	EHD	ELECTRONIC HAND DRYER	HGR	HANGER	NO	NUMBER	SHTG	SHEATHING		
BUR	BUILT-UP ROOF	EN	EDGE NAIL	HORIZ OR H	HORIZONTAL	NS	NEAR SIDE	SP	SPACE(ING)		
CAB	CABINET	ENG	ENGINEER	HM	HOLLOW METAL	NTS	NOT TO SCALE	SPS	SPACES		
CFCI	CONTRACTOR FURNISHED/	EQ	EQUAL	HR	HOUR	OC	ON CENTER	SPEC	SPECIFICATIONS		
CJ	CONTRACTOR INSTALLED	EQUIP	EQUIPMENT	HTG	HEATING	OD	OUTSIDE DIAMETER	SIM	SIMILAR		
CL OR L	CENTER LINE	EXP	EXPANSION	HTR	HEATER	OF	OWNER FURNISHED/	SS	STAINLESS STEEL		
CLG	CEILING	EXT	EXISTING	HWH	HOT WATER HEATER	OFCI	OWNER FURNISHED/	SSK	SERVICE SINK		
CLR	CLEAR	EXT	EXTERIOR	HT	HEIGHT	OFI	OWNER FURNISHED/	STD	STANDARD		
CMU	CONCRETE MASONRY UNIT	FA	FIRE ALARM	ID	INSIDE DIAMETER	OFOI	OWNER FURNISHED/	STR	STAGGER		
				ID	INSIDE FACE		INSTALLED	STL	STEEL		

VICINITY MAP



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HALF SIZE REDUCTIONS = 11x17

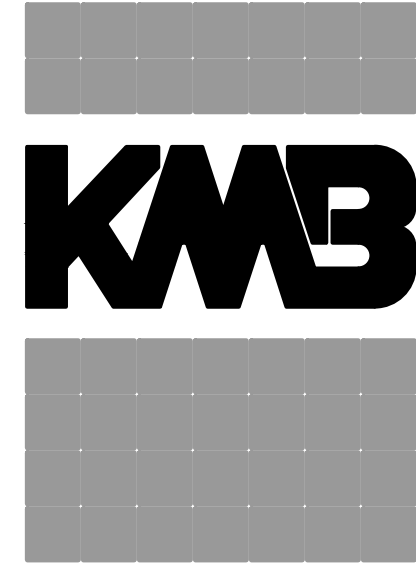
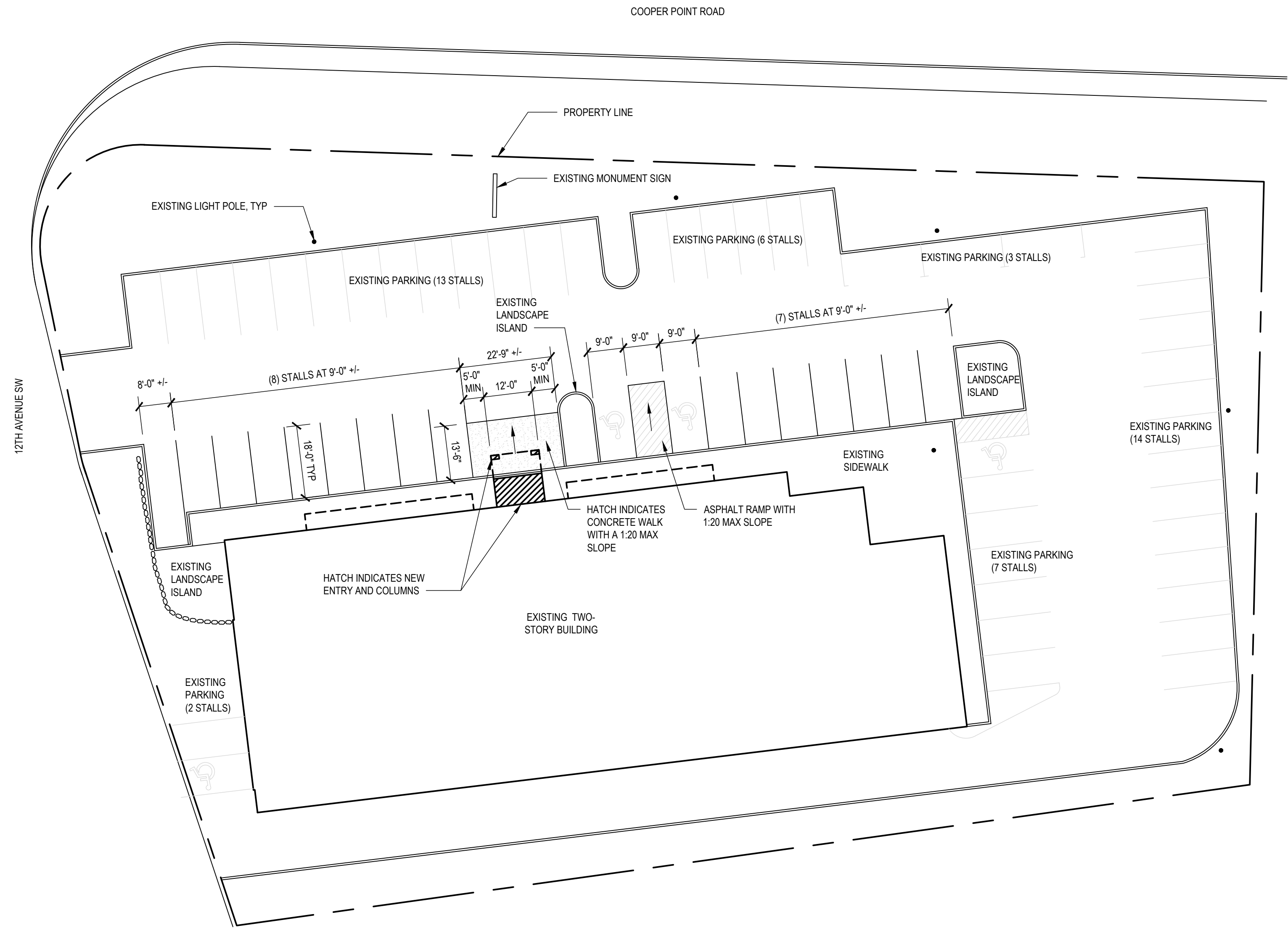
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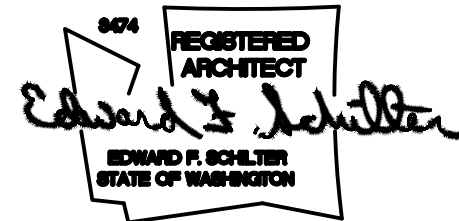
CONSTRUCTION DOCUMENTS

SHEET NO.

A0.1



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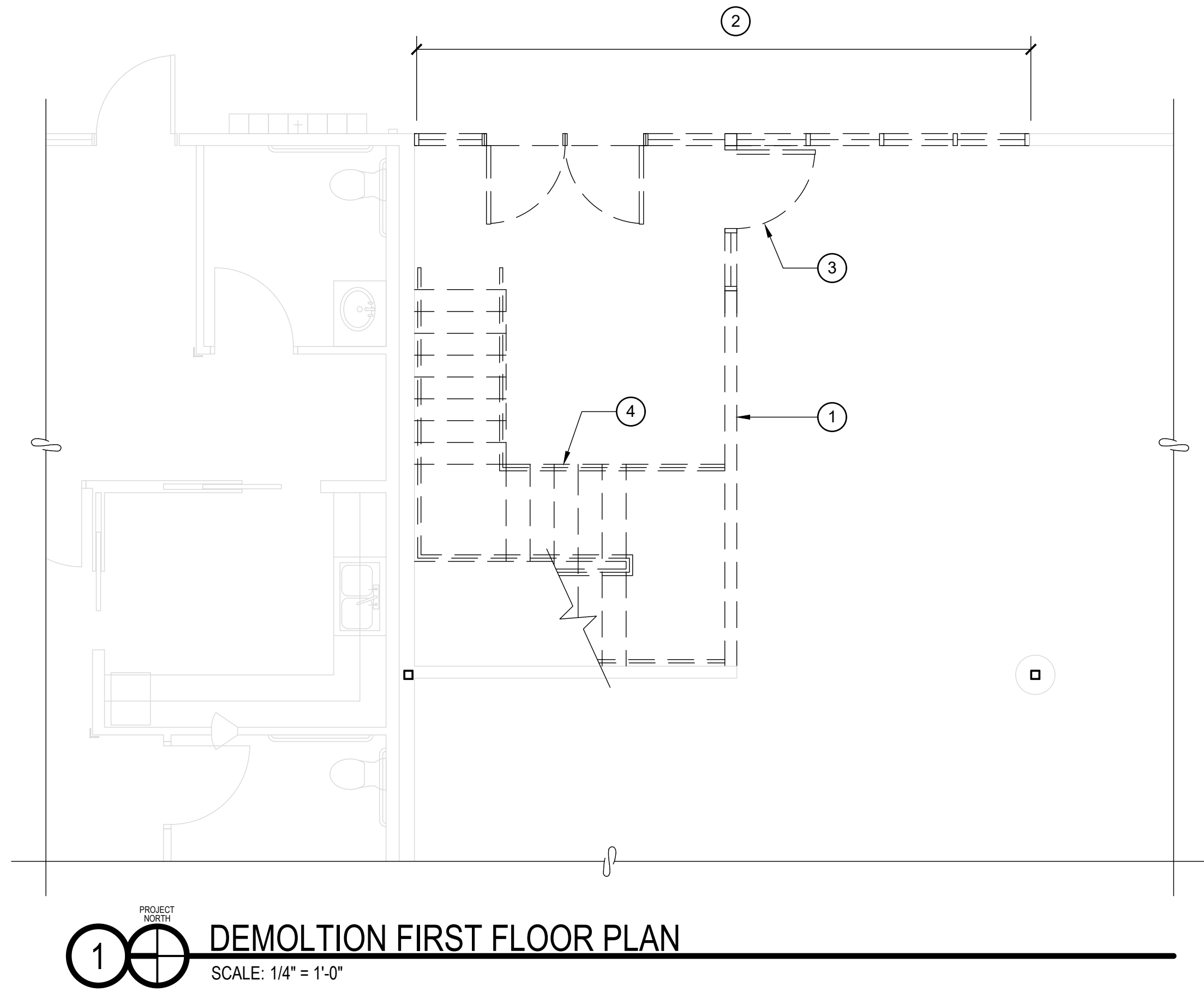
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A1.1



DEMOLITION KEYNOTES

- 1 REMOVE ALL OR PORTION OF EXISTING WALL AS SHOWN. RELOCATE ELECTRICAL OUTLETS, SWITCHES, OR DATA OUTLETS TO NEW OR ADJACENT WALL.
- 2 REMOVE EXISTING STOREFRONT SYSTEM
- 3 REMOVE EXISTING DOOR AND FRAME (INCLUDING SIDELIGHT WHERE OCCURS) TURN FRAME OVER TO OWNER
- 4 DEMOLISH EXISTING STAIRS
- 5 REMOVE EXISTING WINDOW
- 6 DEMOLISH EXISTING ROOF/ SKYLIGHT OVER ENTIRE AREA

DEMOLITION NOTES

1. SEE FLOOR PLANS FOR INFILL OF REMOVED DOORS AND OTHER OPENINGS

PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL, SEE WALL TYPES ON A-900
- WALL TO BE REMOVED
- DOOR TO BE REMOVED

SYMBOL LEGEND

SEE COVER SHEET FOR ADDITIONAL INFORMATION

- ELEVATION NUMBER DESIGNATION
- DIRECTION IN ROOM
- SHEET NUMBER WHERE ELEVATION APPEARS
- DOOR NUMBER FOR DOOR SCHEDULE
- WINDOW TYPE
- WINDOW NUMBER
- WALL TYPE

FLOOR PLAN KEYNOTES

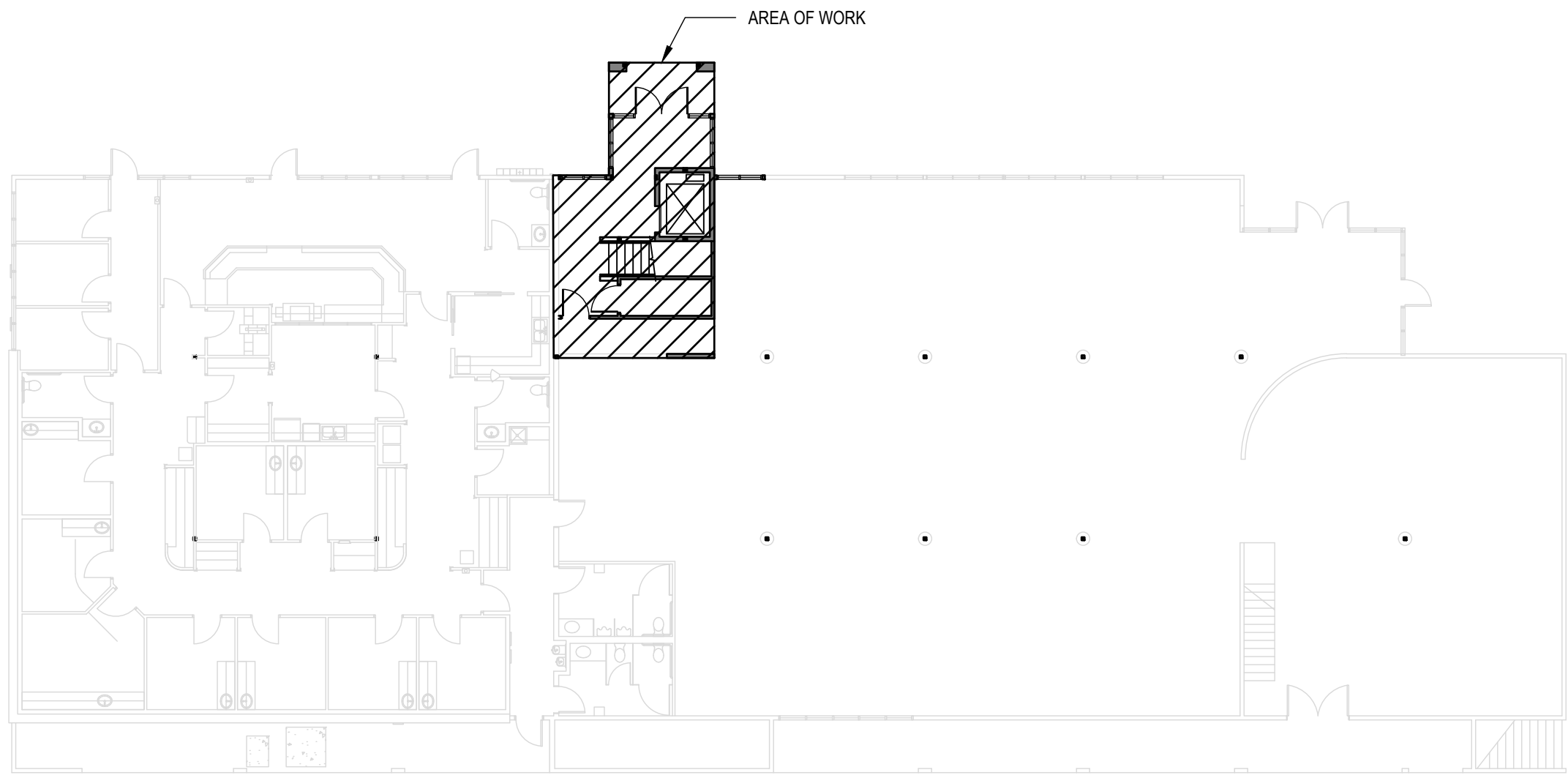
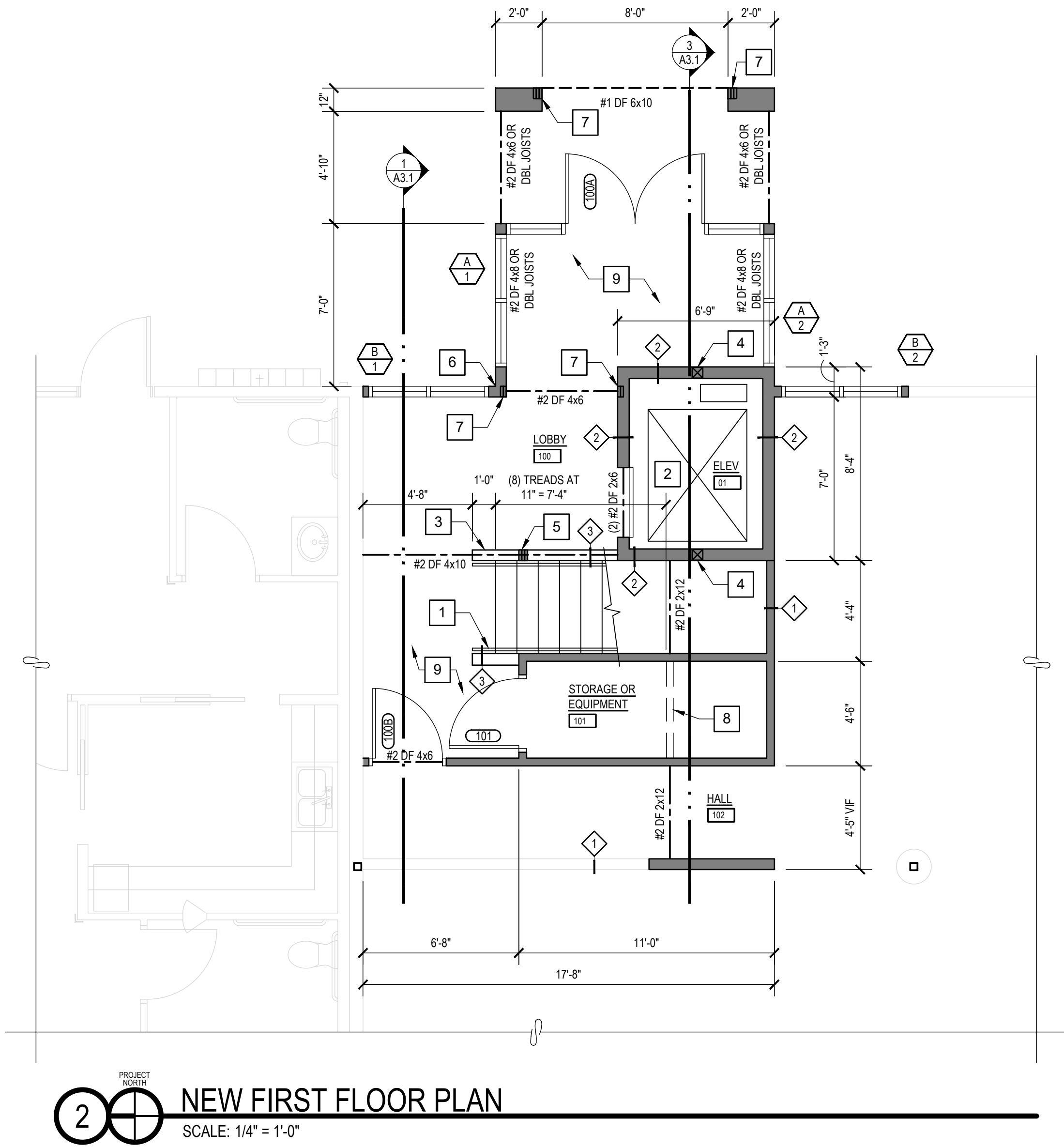
- 1 NEW STAIRS AND RAILINGS, SEE SECTIONS AND DETAILS
- 2 SCHINDLER 3100 MRL TRACTOR ELEVATOR OR SIM
- 3 42" HIGH PARTIAL HEIGHT WALL
- 4 #1 DF 6x6 POST UNDER ELEVATOR BEAM
- 5 (3) STUDS GANGED TOGETHER TO SUPPORT BEAM ABOVE. BELOW STUDS PROVIDE NEW 12" THICK 2'-3" SQUARE CONCRETE FOOTING WITH (3) #4 REBAR EACH WAY PER (7) A8.1
- 6 CONNECT NEW FOUNDATION TO EXISTING FOUNDATION, SEE (3) A8.1
- 7 STUDS GANGED TOGETHER (TWO OR THREE, AS SHOWN) TO SUPPORT BEAM ABOVE. PROVIDE SIMPSON ACE, ONE SIDE
- 8 POTENTIAL WALL TO CREATE LOW STORAGE ROOM. IF ELEVATOR ROOM IS TAKEN OUT OF STORAGE 201 ON 2ND FLOOR. A DOOR WILL BE REQUIRED, LOCATION TBD.
- 9 NEW HERCULES SUPER NOP CARPET TILE. COLOR SELECTED BY OWNER. DEMOLISH EXISTING CARPET AS REQUIRED.

GENERAL FLOOR PLAN NOTES

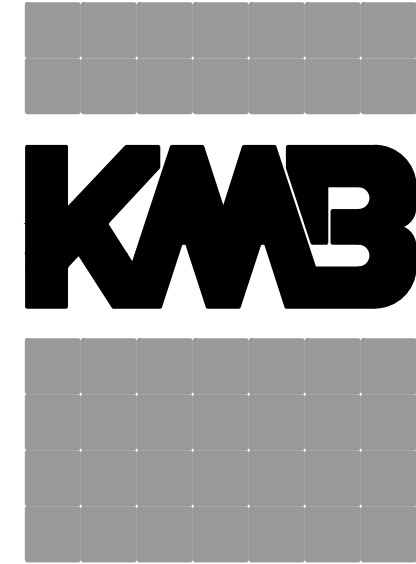
1. INSTALL NEW WALLS AS INDICATED. NEW WALLS ARE WALL TYPE 1 UNLESS OTHERWISE NOTED. SEE WALL TYPES ON SHEET A8.1
2. INSTALL NEW DOORS PER SCHEDULE ON A8.1.
3. INSTALL NEW WINDOWS PER SCHEDULE ON A8.1.
4. ALL HANDRAILS AT STAIRS TO EXTEND 12" BEYOND THE LAST STEP EXCEPT WHERE THEY ARE CONTINUOUS AND TURN A CORNER

FINISH NOTES

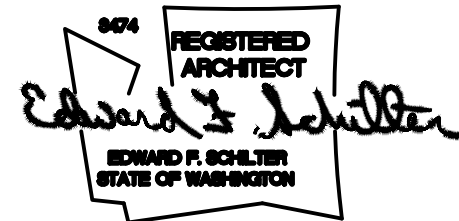
1. ALL EXISTING FINISHES TO REMAIN, UNLESS OTHERWISE NOTED
2. PAINT AND TEXTURE ALL NEW WALLS AND CEILING TO MATCH EXISTING. WHERE NEW WALL IS AN INFILL, PAINT NEW AND EXISTING WALL (CORNER TO CORNER) IN ORDER TO PROVIDE A CONTINUOUS AND FLUSH LOOK.
3. PAINT AND TEXTURE ALL PATCHED LOCATIONS TO MATCH EXISTING.
4. ALL NEW DOORS AND FRAMES FINISHED TO MATCH EXISTING DOORS AND FRAMES.



3 FIRST FLOOR KEYPLAN
SCALE: 1/16" = 1'-0"



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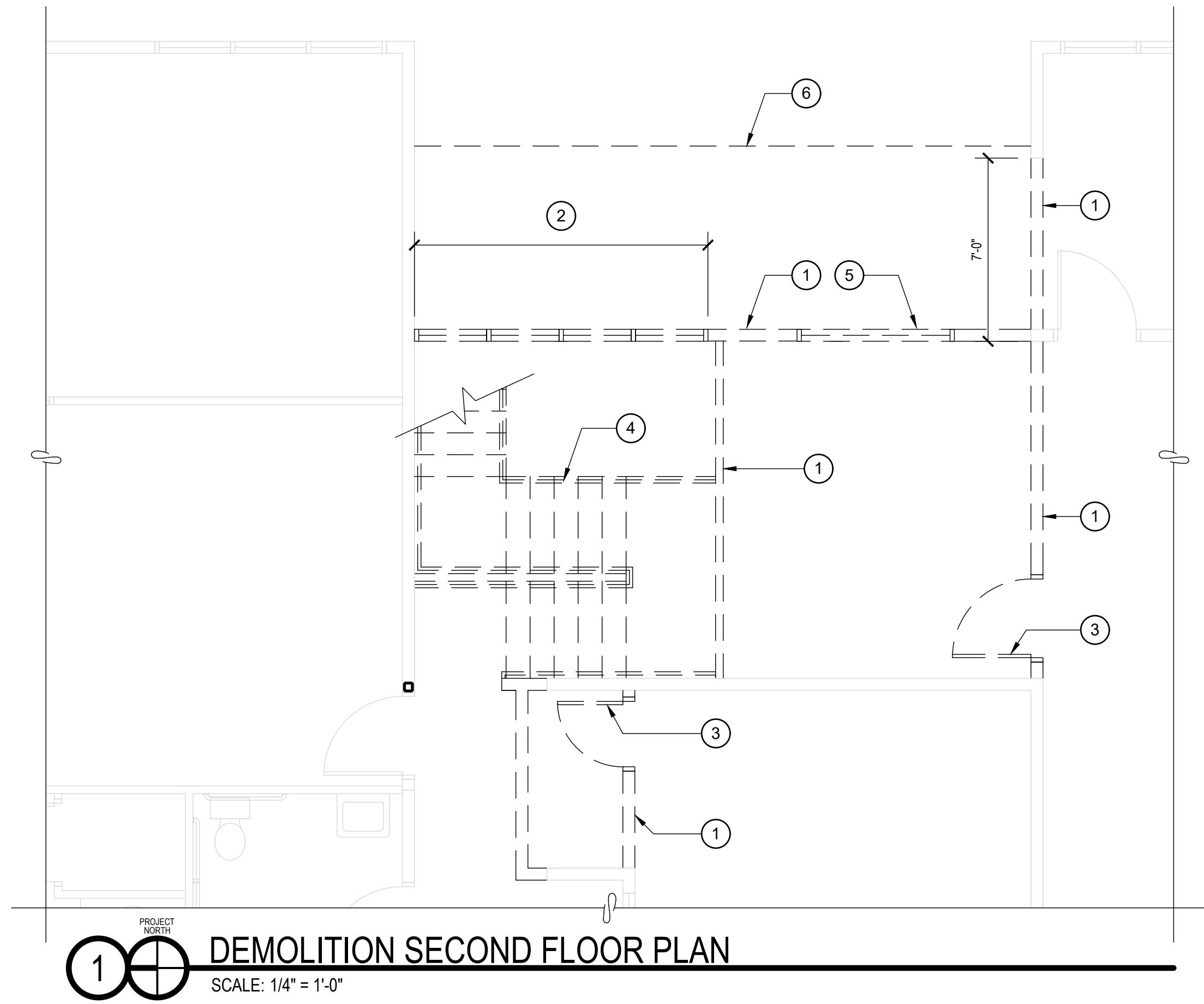
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A2.1
FIRST FLOOR PLAN



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DEMOLITION NOTES

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PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL, SEE WALL TYPES ON A-900
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- DOOR TO BE REMOVED

SYMBOL LEGEND

SEE COVER SHEET FOR ADDITIONAL INFORMATION

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FLOOR PLAN KEYNOTES

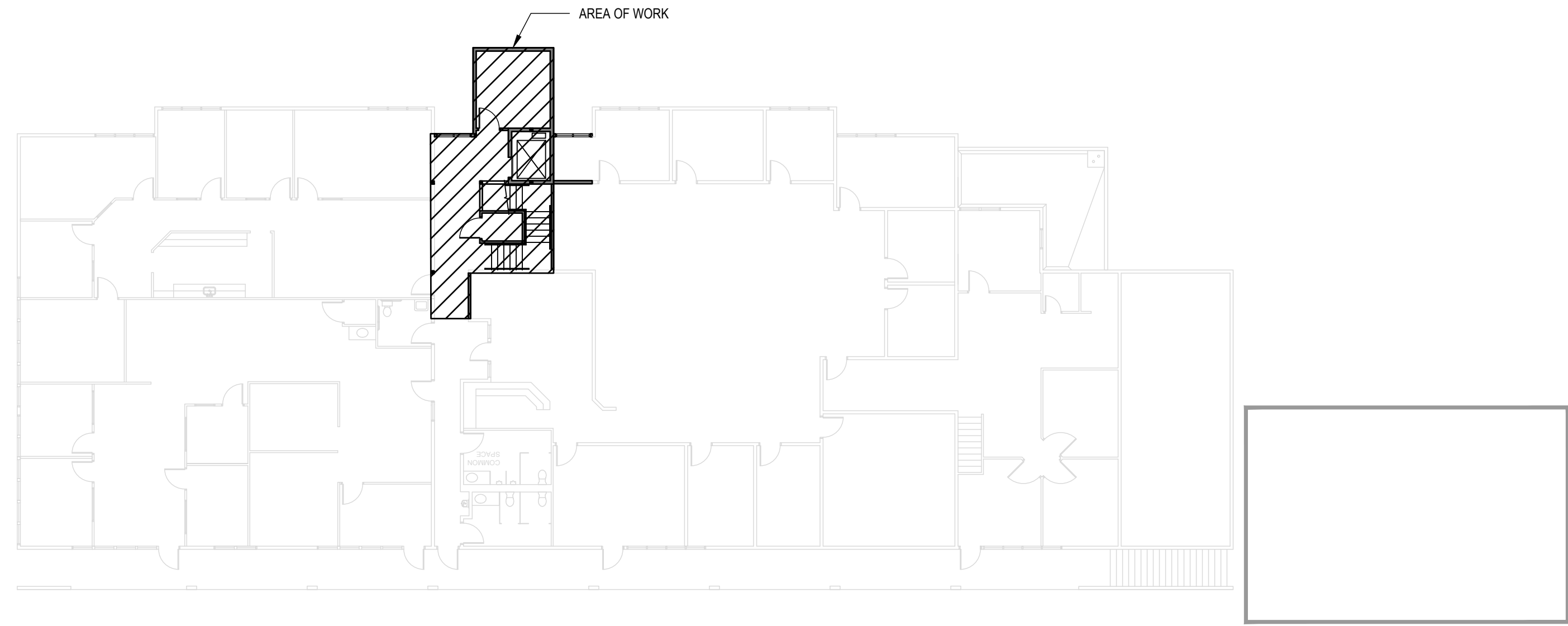
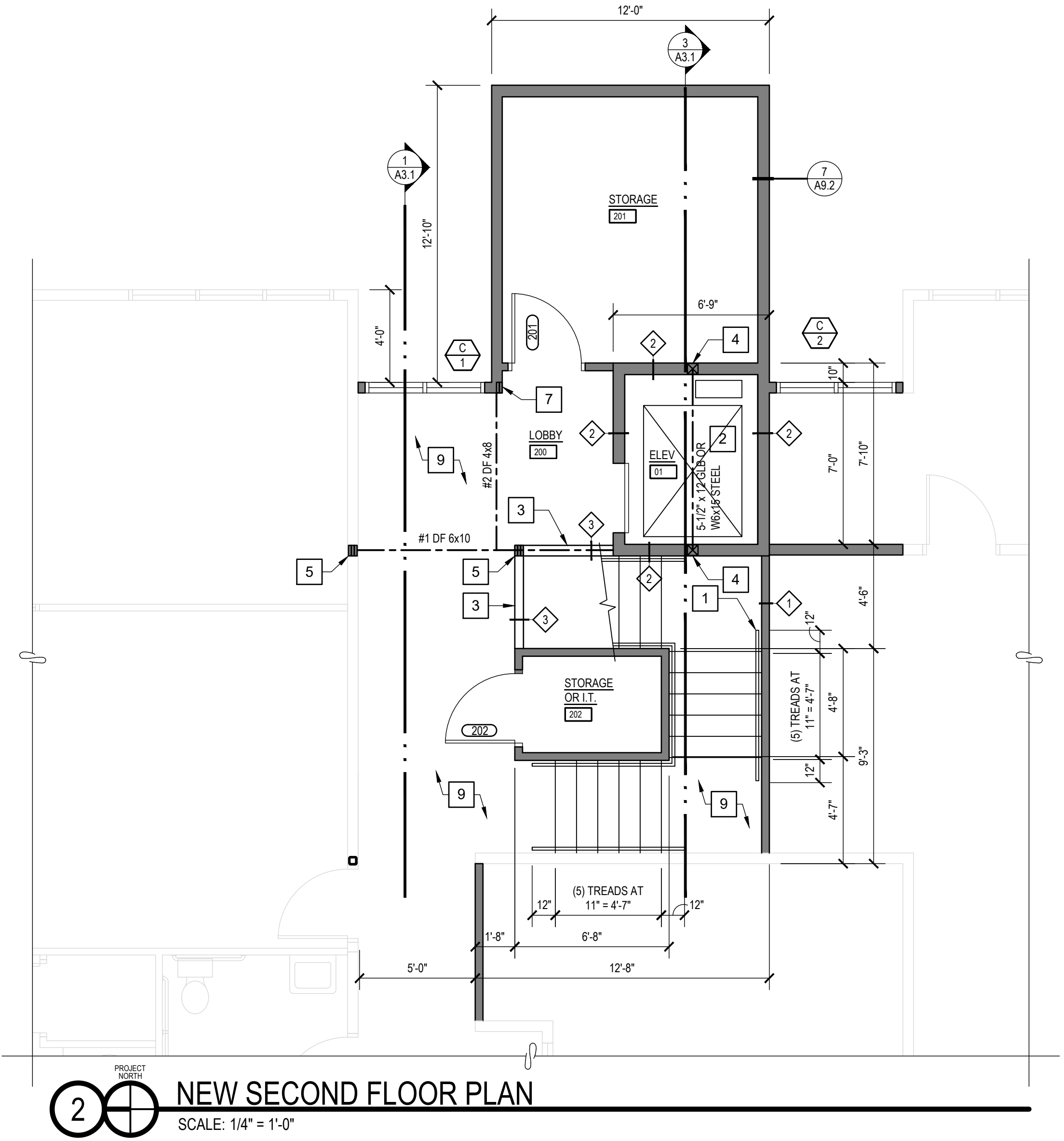
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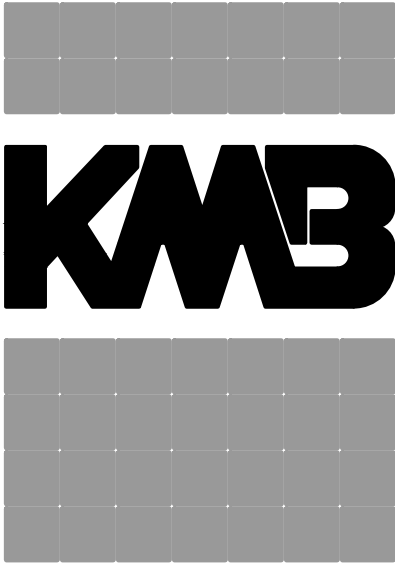
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3. PAINT AND TEXTURE ALL PATCHED LOCATIONS TO MATCH EXISTING.
4. ALL NEW DOORS AND FRAMES FINISHED TO MATCH EXISTING DOORS AND FRAMES.



3 SECOND FLOOR KEYPLAN
SCALE: 1/16" = 1'-0"



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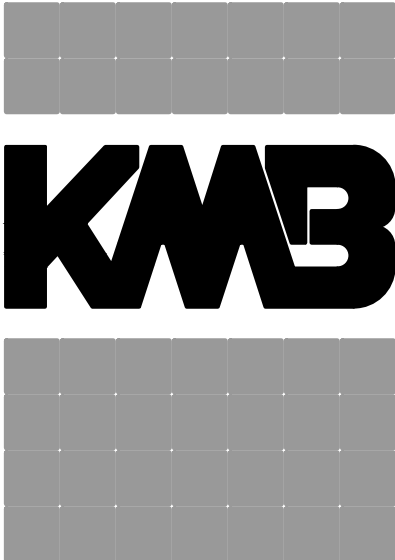
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SHEET NO.

A2.2
SECOND FLOOR PLAN



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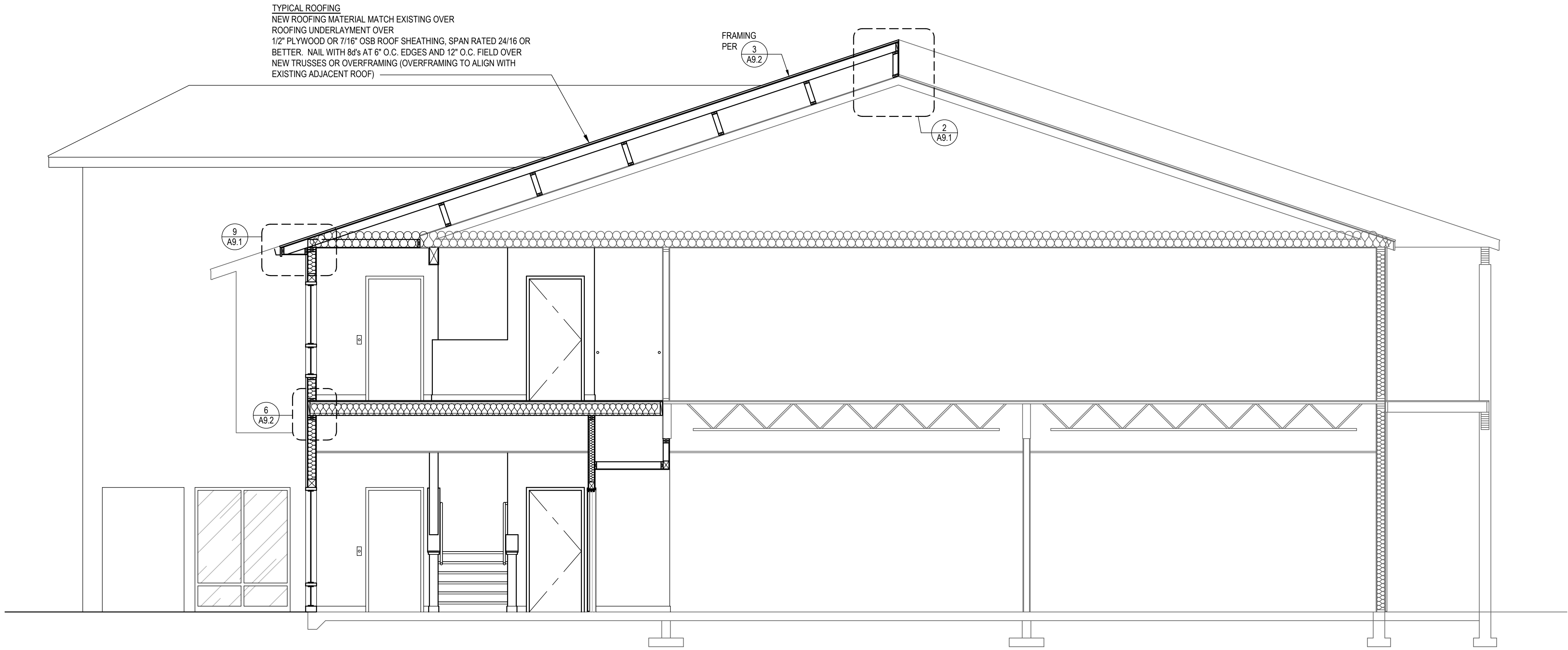
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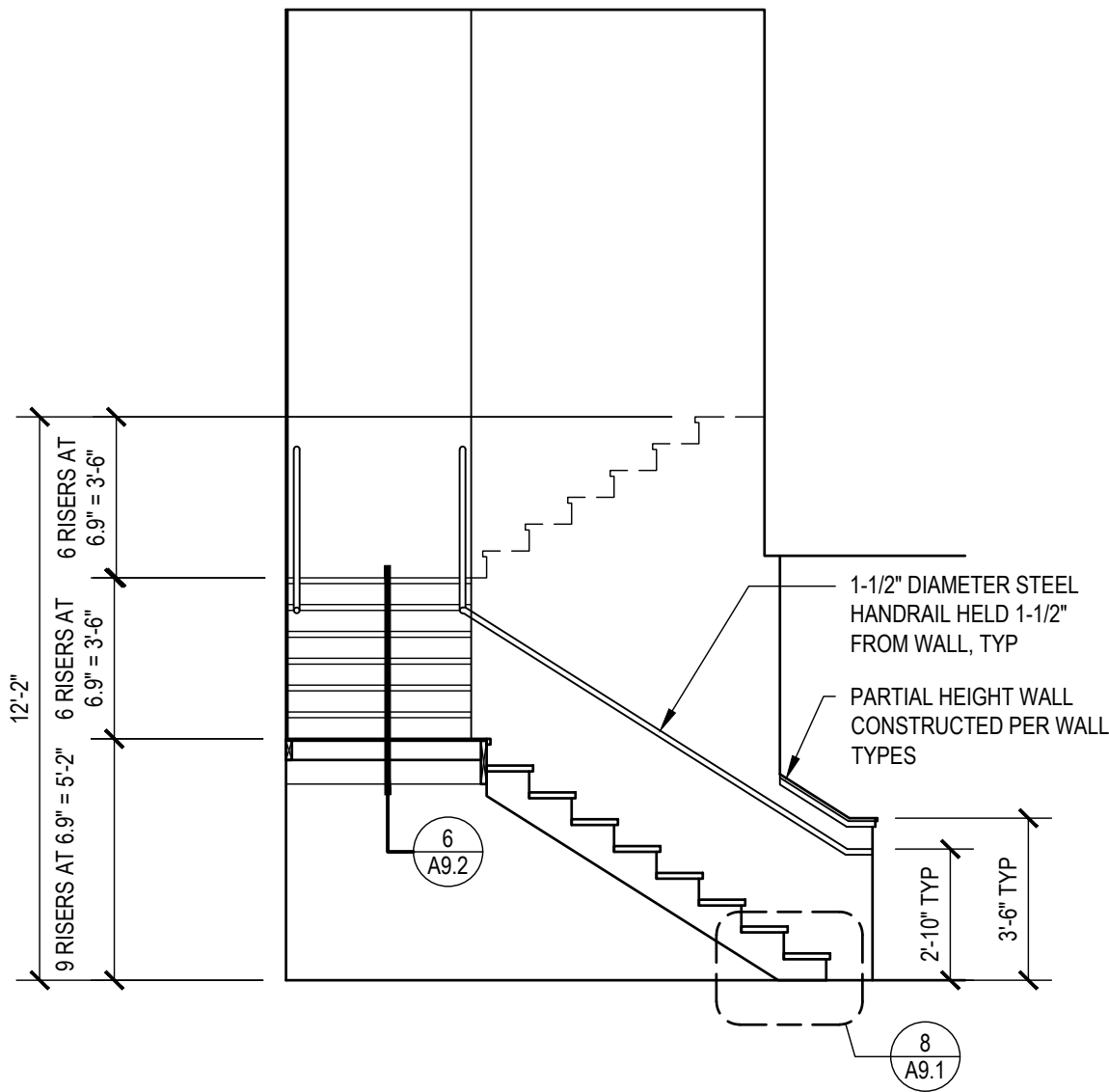
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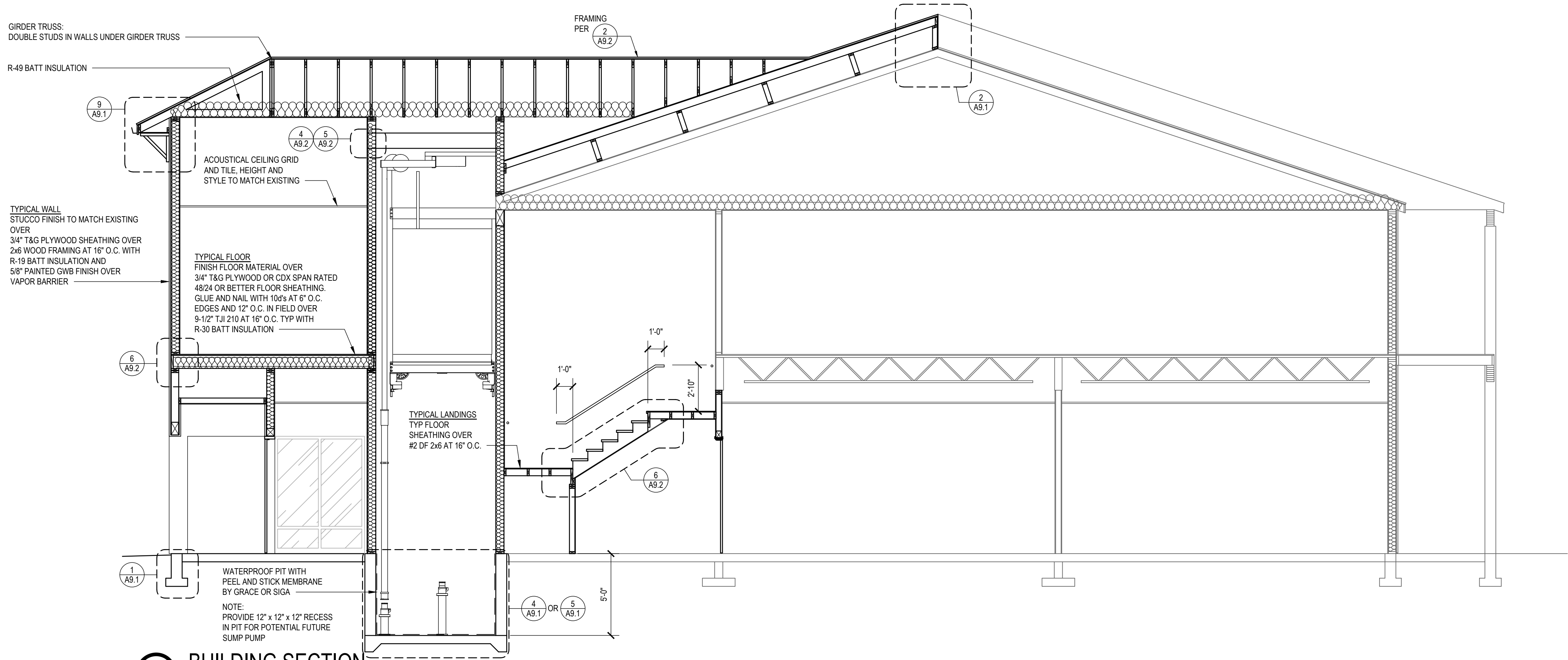
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SECTIONS



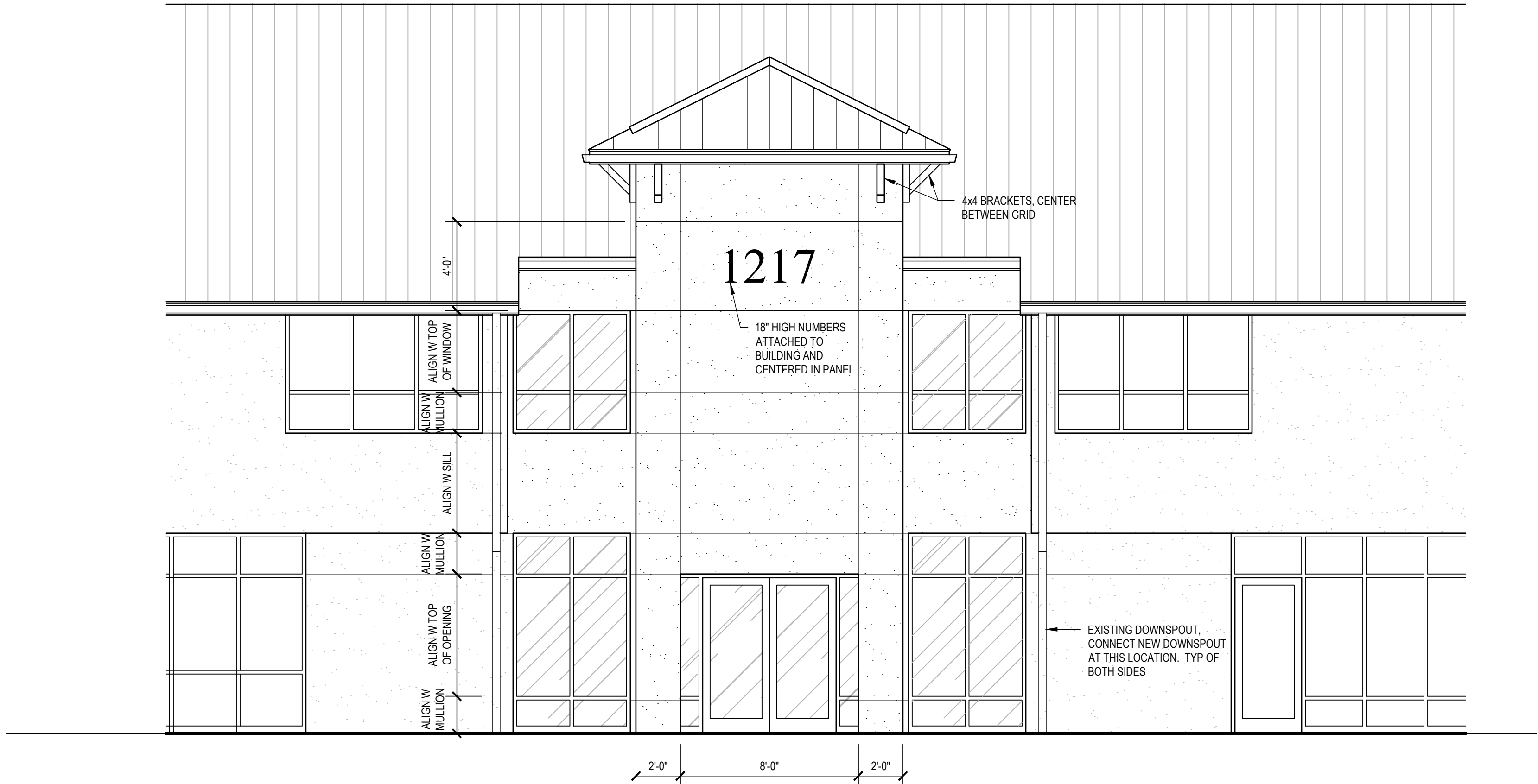
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



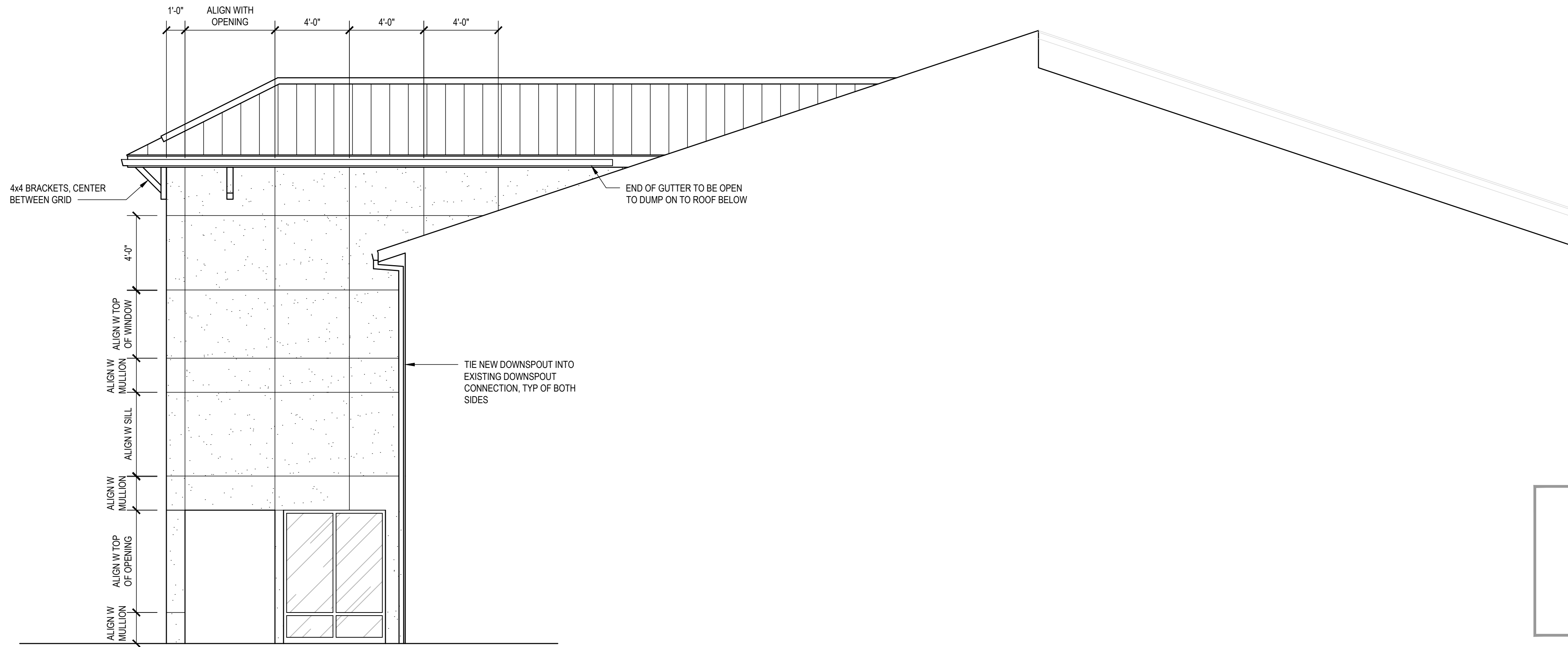
2 STAIR SECTION
SCALE: 1/4" = 1'-0"



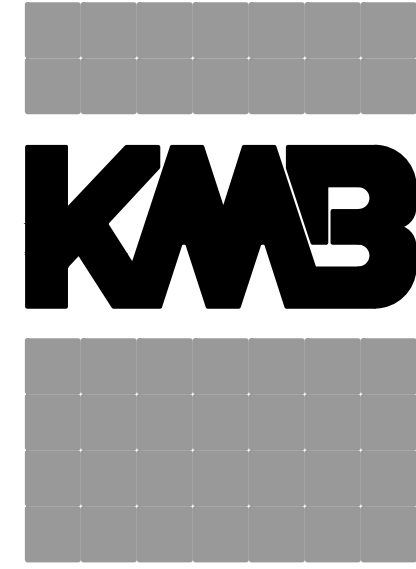
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



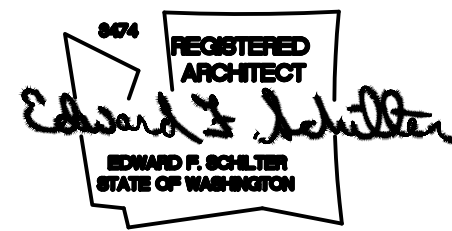
1 PARTIAL BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



2 PARTIAL BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



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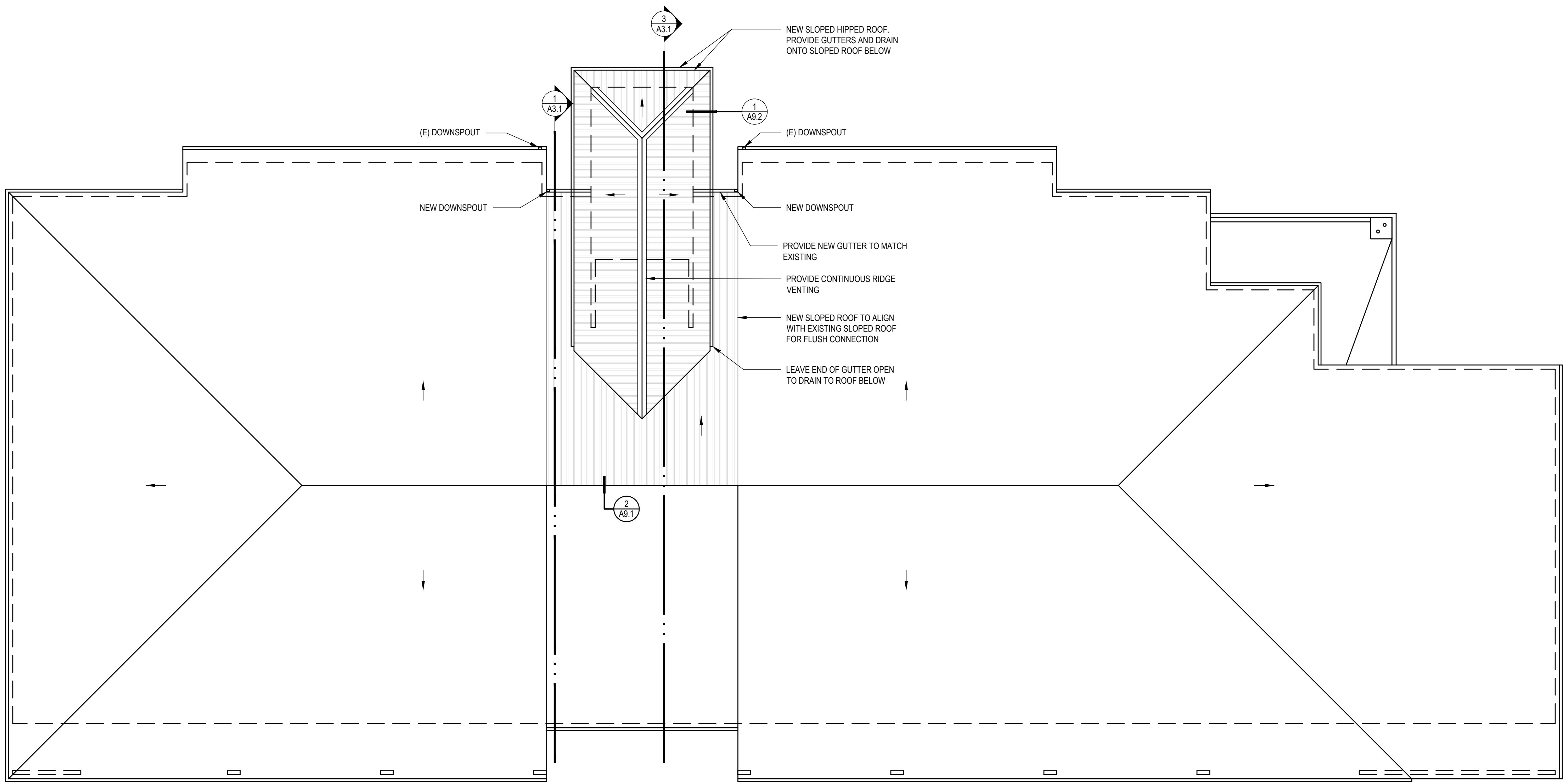
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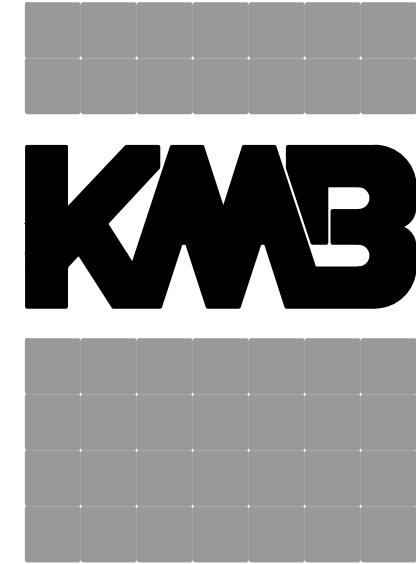
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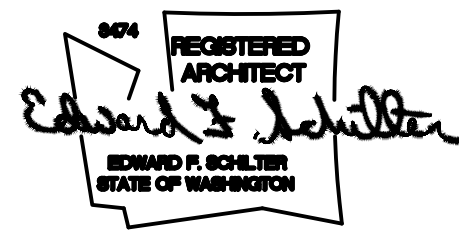
A4.1
ELEVATIONS



PROJECT NORTH
ROOF PLAN
SCALE: 1/8" = 1'-0"



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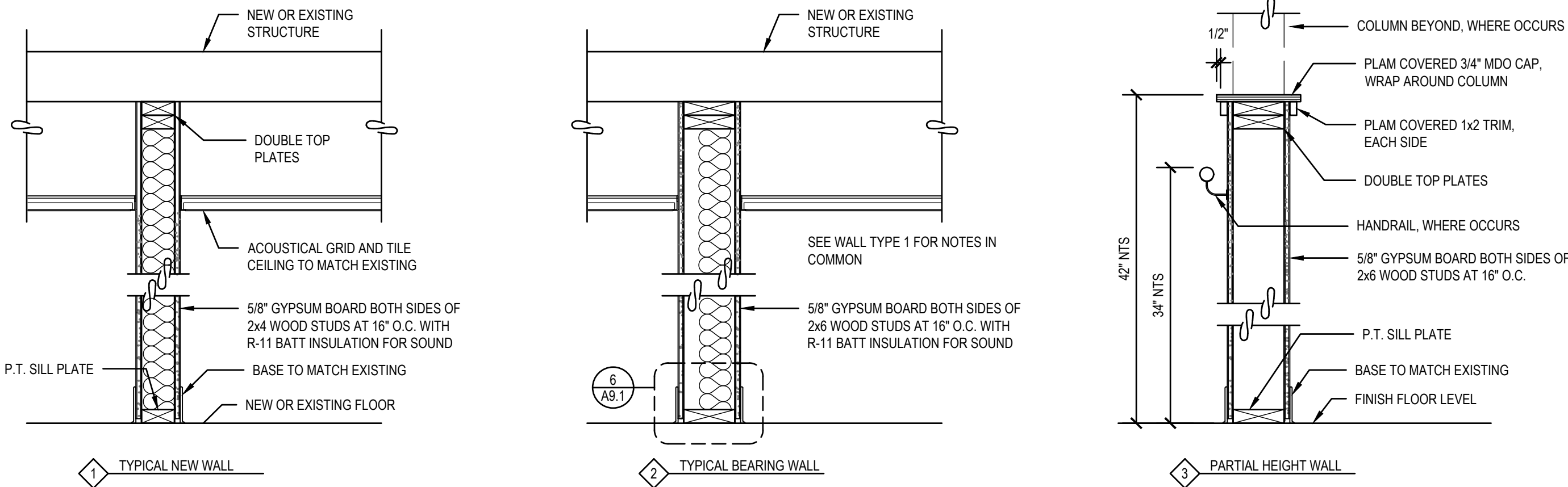
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SHEET NO.

A6.1
ROOF PLAN



1 WALL TYPES

SCALE: 1" = 1'-0"

DOOR SCHEDULE

ROOM		DOOR											FRAME				HDW GROUP	ASSEMBLY RATING	REMARKS	DOOR NO.
NAME/ NO.	NO.	W	H	THK.	MAT'L	TYPE	FIN	GLASS	MAT'L	TYPE	FIN	GLASS								
FIRST FLOOR																				
LOBBY 100	100A	PR 3'-0"	7'-0"	1 3/4"	ALUM	C	FF	TEMP	ALUM	F-2	FF	TEMP	1	N			100A			
LOBBY 100	100B	3'-0"	7'-0"	1 3/4"	WD	A	PNT	TEMP	TIMELY	F-1	PNT	-	2	N			100B			
ELEVATOR EQUIP 101	101	3'-0"	7'-0"	1 3/4"	WD	B	PNT	TEMP	TIMELY	F-1	PNT	-	3	N						
STORAGE 102	102	3'-0"	7'-0"	1 3/4"	WD	B	PNT	TEMP	TIMELY	F-1	PNT	-	3	N			102			
SECOND FLOOR																				
STORAGE 201	103A	3'-0"	7'-0"	1 3/4"	WD	B	PNT	TEMP	TIMELY	F-1	PNT	-	3	N			103A			
STORAGE 202	103B	3'-0"	7'-0"	1 3/4"	WD	B	PNT	TEMP	TIMELY	F-1	PNT	-	3	N			103B			

ABBREVIATIONS

HDW	HARDWARE	MAT'L	MATERIAL	PNT	PAINT	THK	THICKNESS	WD	SOLID CORE WOOD DOOR
HM	HOLLOW METAL	NA	NOT APPLICABLE	SL	STAINED AND LAQUERED	W	WIDTH		

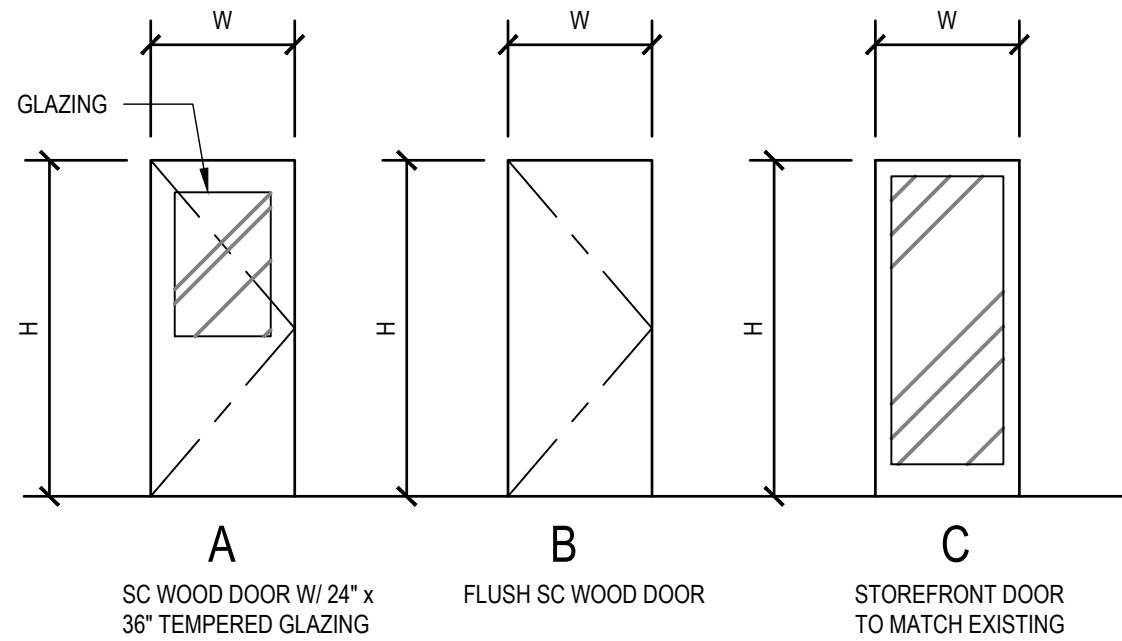
NOTES

ALL FINISHES AND HARDWARE TO MATCH EXISTING FINISHES AND HARDWARE IN BUILDING

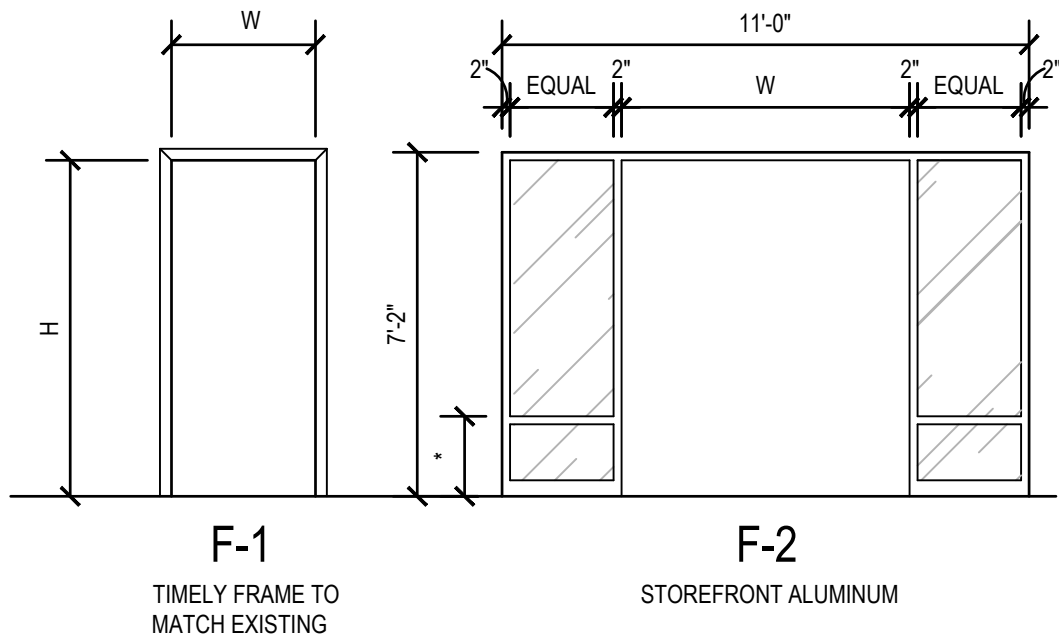
HARDWARE GROUPS

- 1-PUSH/PULL HANDLES WITH PANIC HARDWARE AND LATCH
- 2-CLASSROOM LOCK WITH PANIC HARDWARE
- 3-STORAGE LOCK

DOOR TYPES

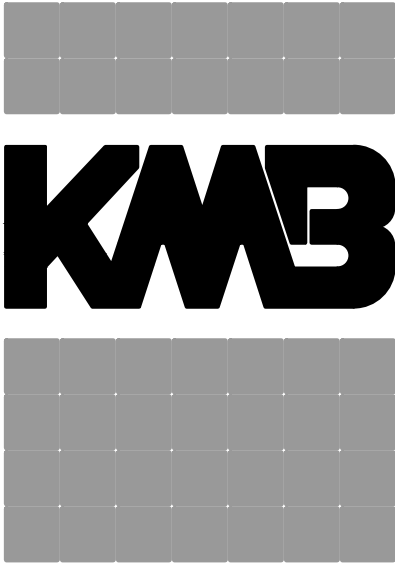
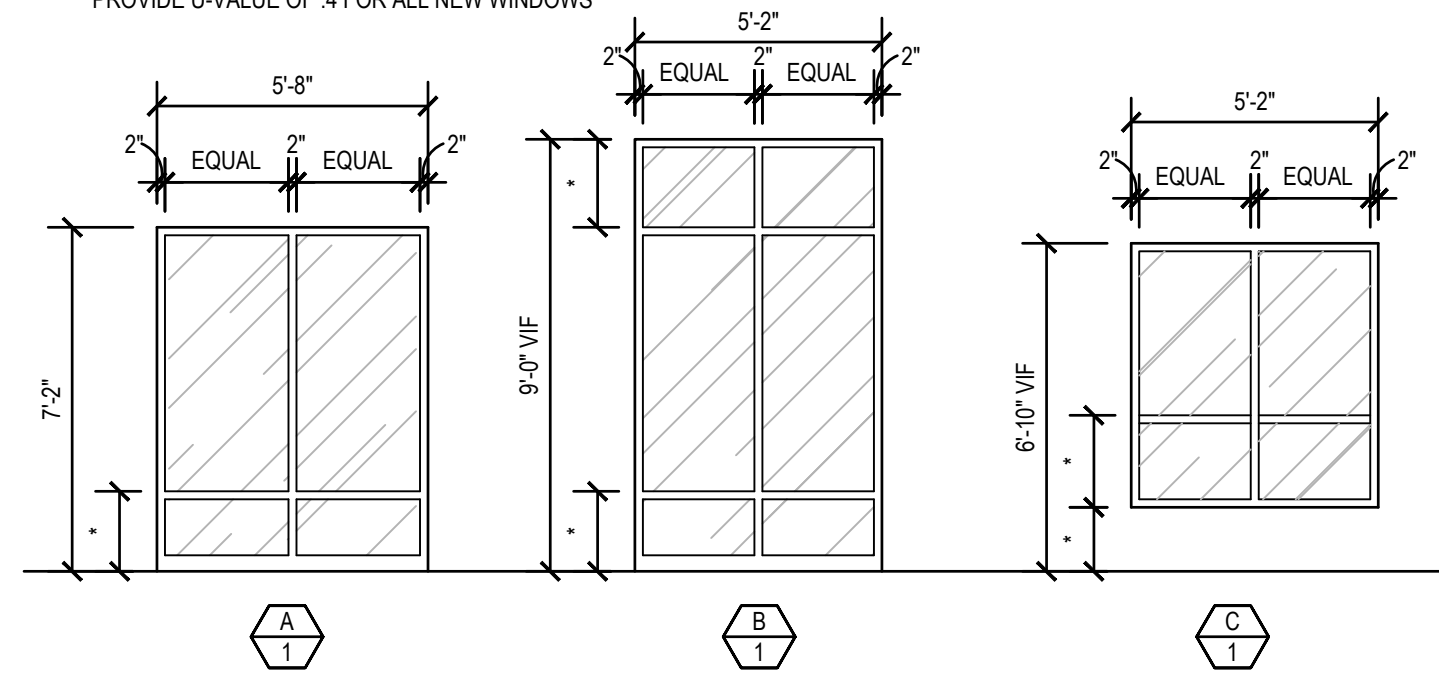


FRAME TYPES



WINDOW TYPES

*NEW WINDOWS SHOULD MATCH EXISTING. ALIGN MULLION OR SILL OF NEW WINDOW WITH EXISTING
PROVIDE U-VALUE OF .4 FOR ALL NEW WINDOWS



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KMB Project # D1225

COOPER POINT ROAD BUILDING ENTRY
1217 Cooper Point Road
Olympia, WA 98501

ORIGINAL SHEET SIZE = 22 x 34
HALF SIZE REDUCTIONS = 11x17

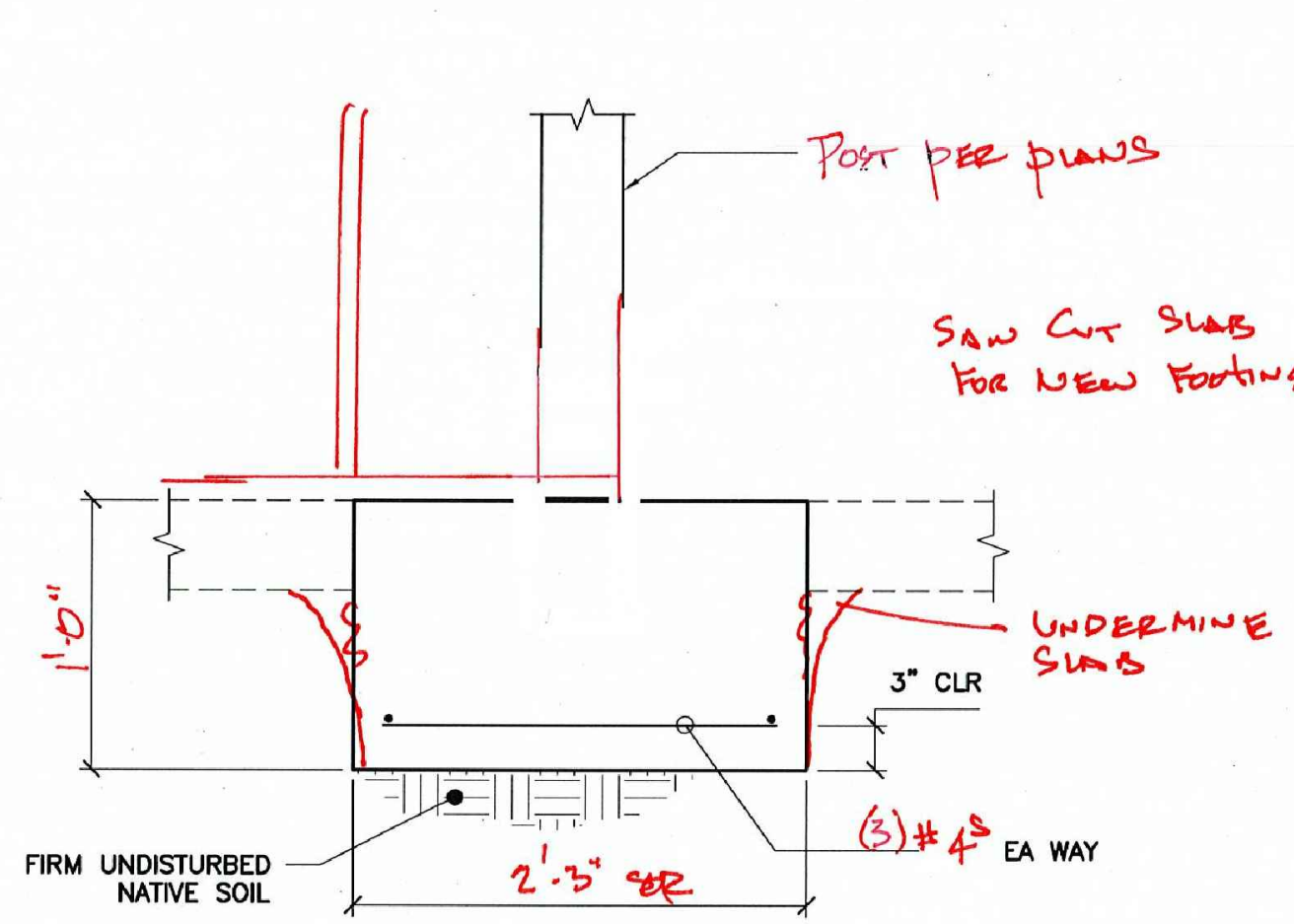
REVISIONS:

DATE:
05-23-2018

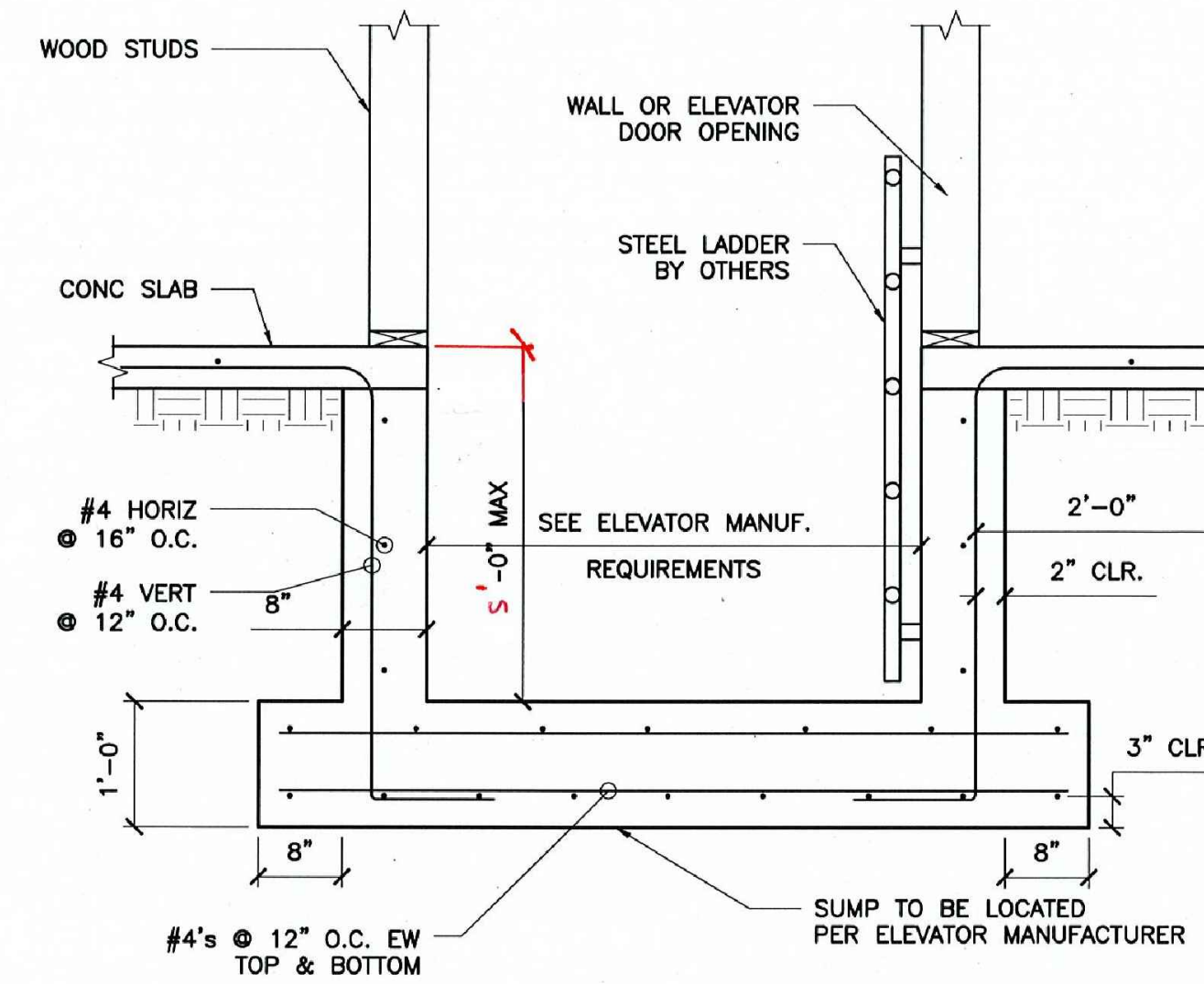
CONSTRUCTION DOCUMENTS

SHEET NO.

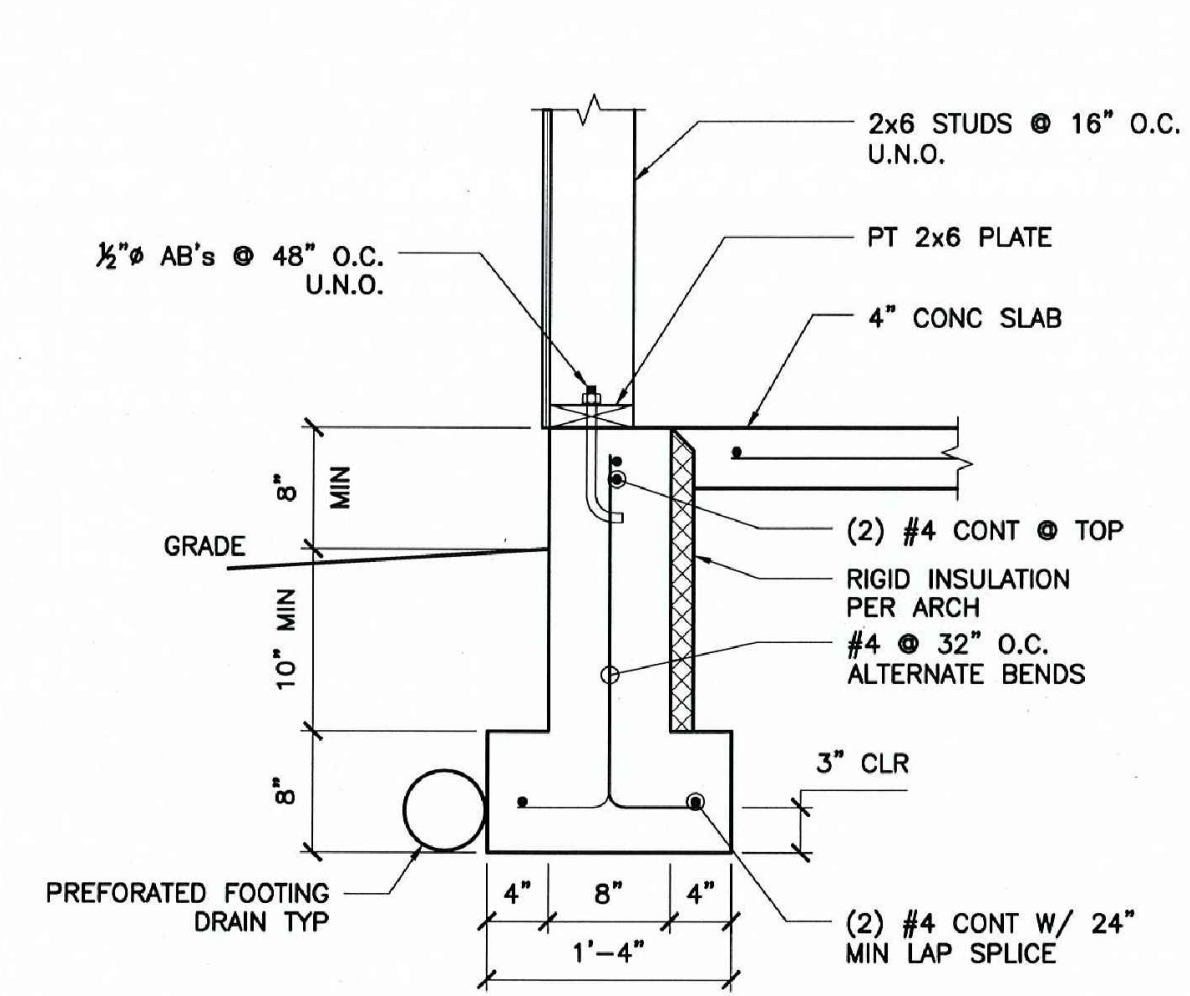
A8.1
SCHEDULES AND TYPES



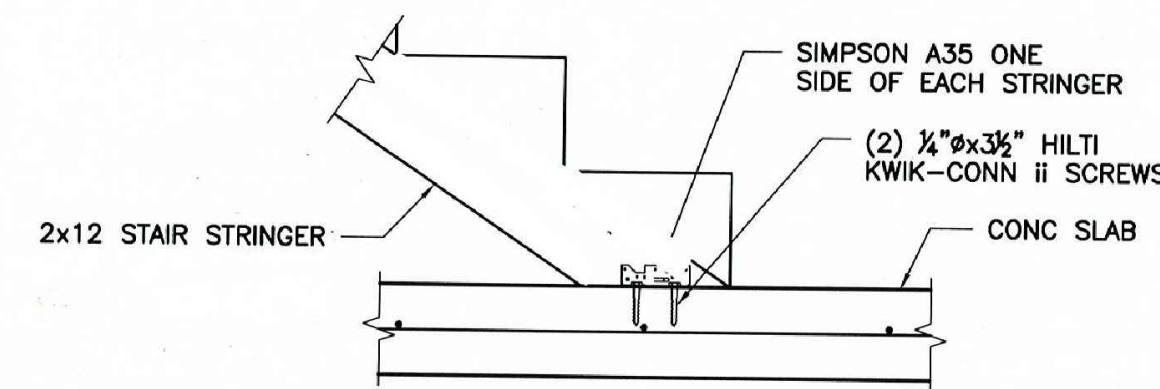
7 CONCRETE FOOTING FOR WOOD COLUMN
SCALE: 1" = 1'-0"



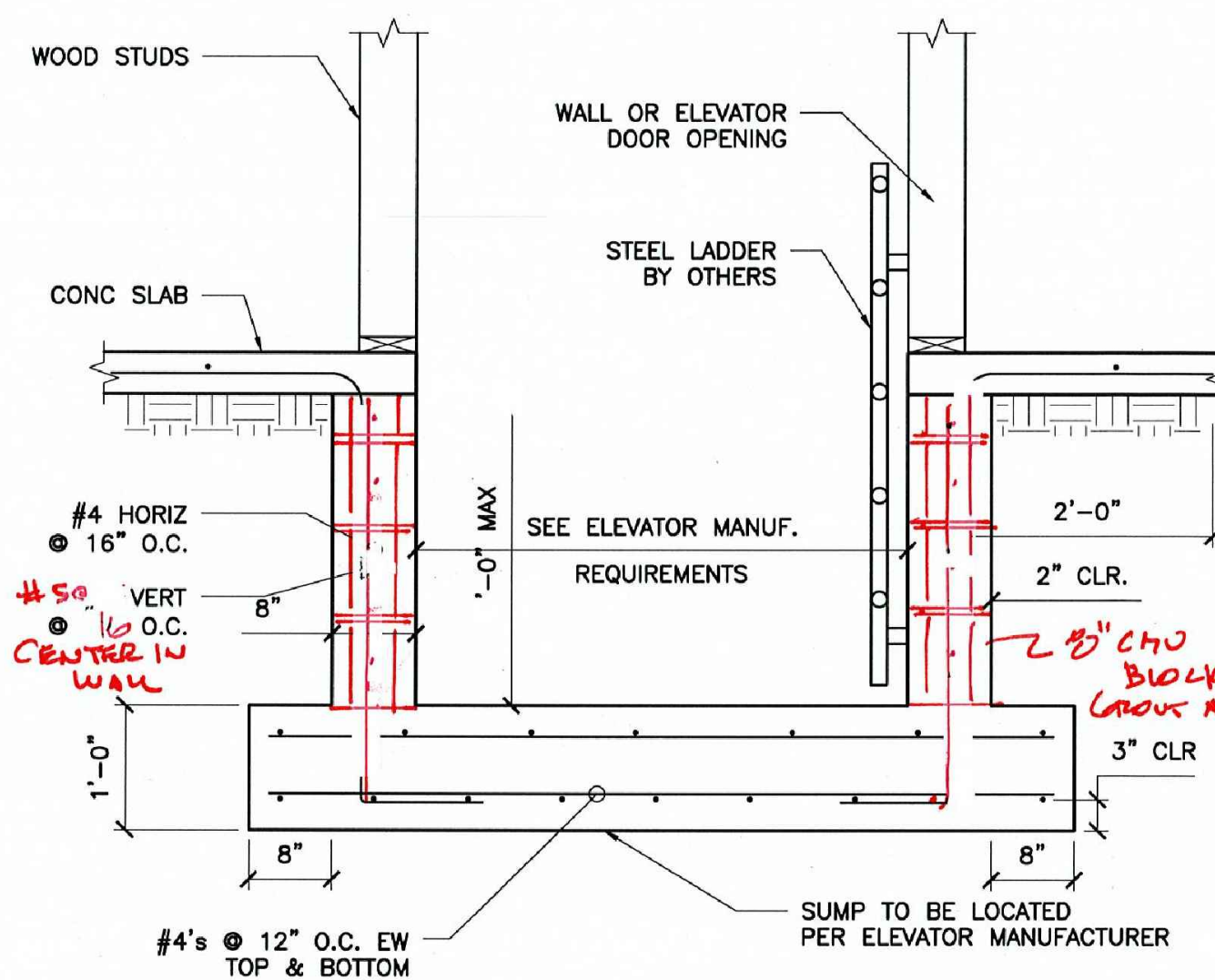
4 CONCRETE ELEVATOR PIT w CONCRETE
SCALE: 3/4" = 1'-0"



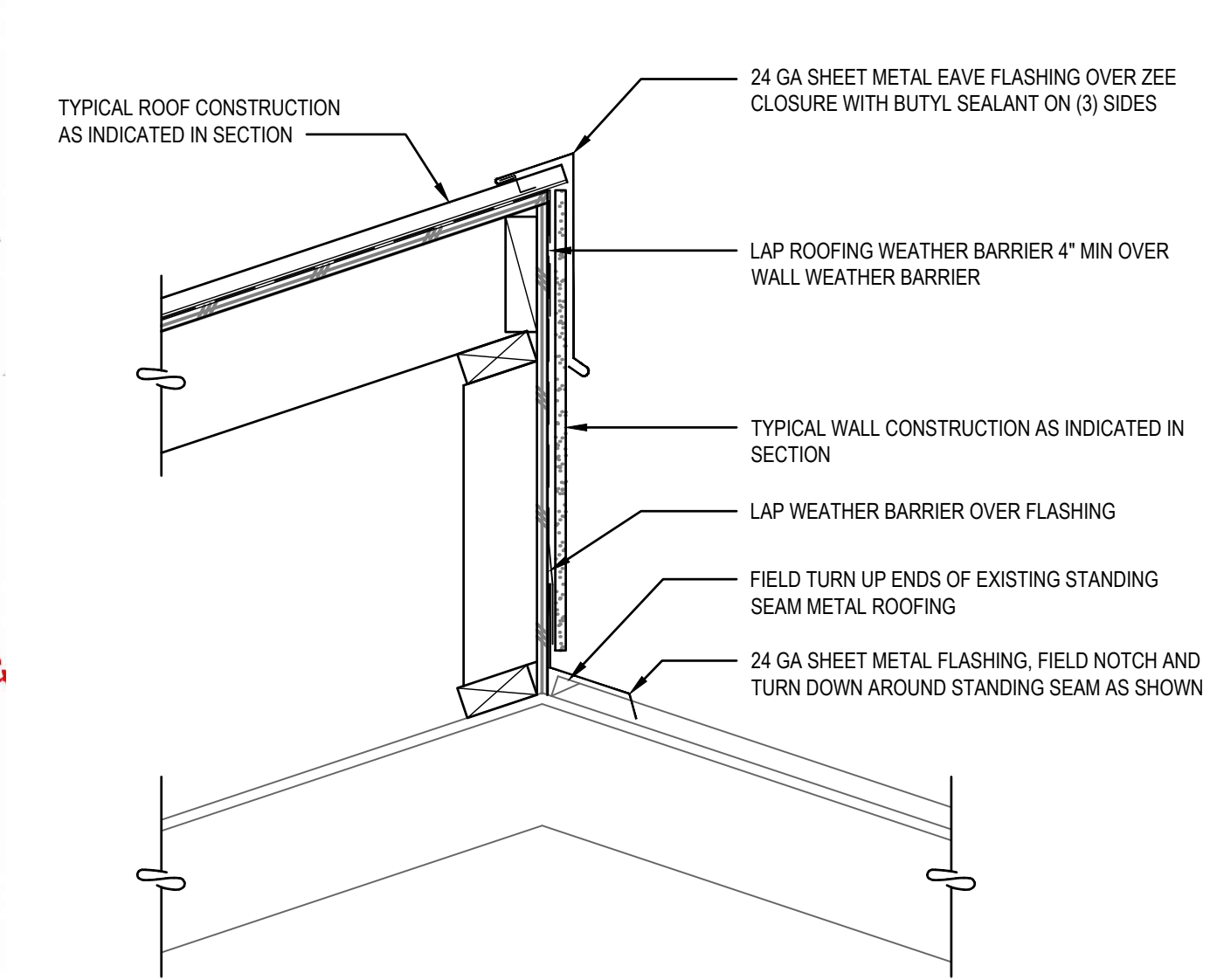
1 TYPICAL CONCRETE FOOTING
SCALE: 1" = 1'-0"



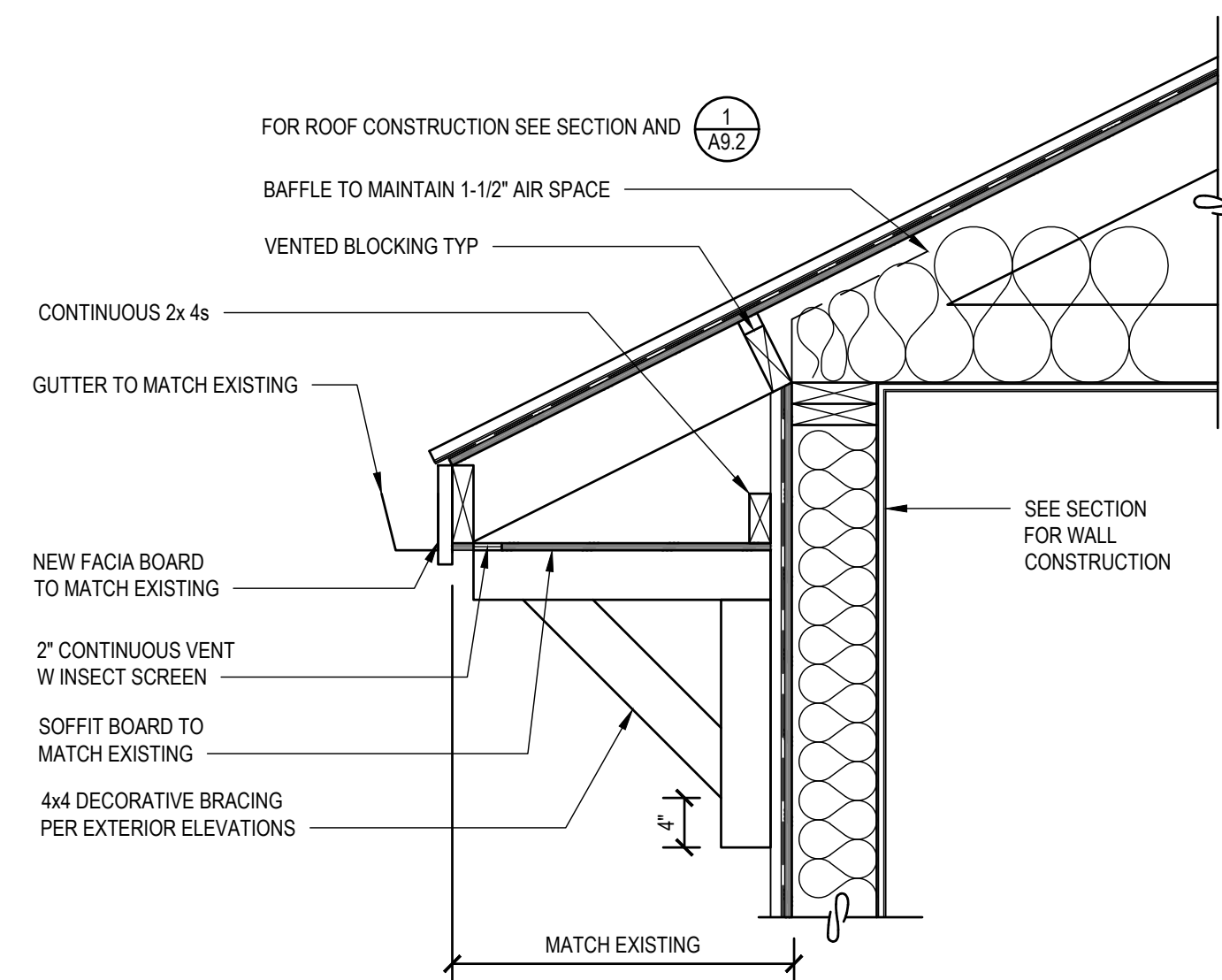
8 STAIR FOOTING SECTION
SCALE: 1" = 1'-0"



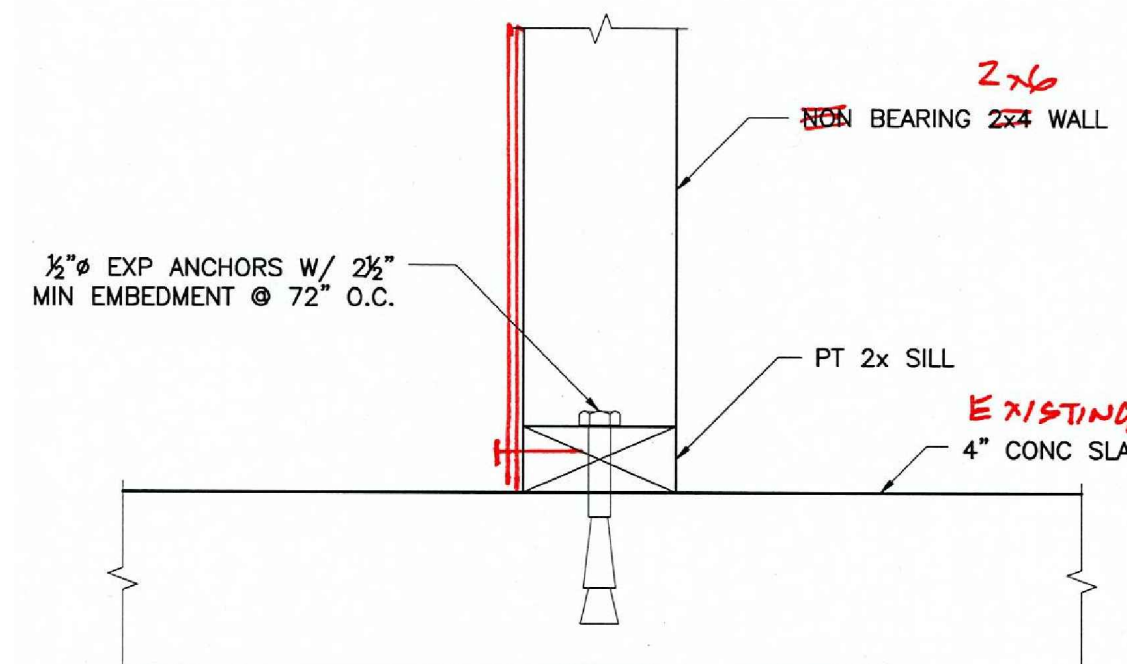
5 CONCRETE ELEVATOR PIT w CMU
SCALE: 3/4" = 1'-0"



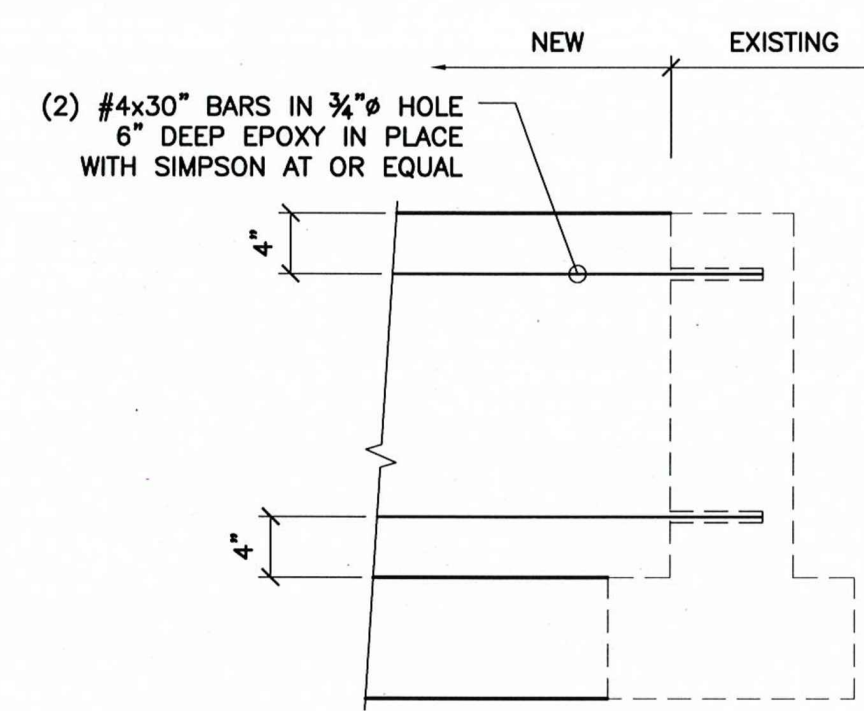
2 NEW TO EXISTING ROOF
SCALE: 1 1/2" = 1'-0"



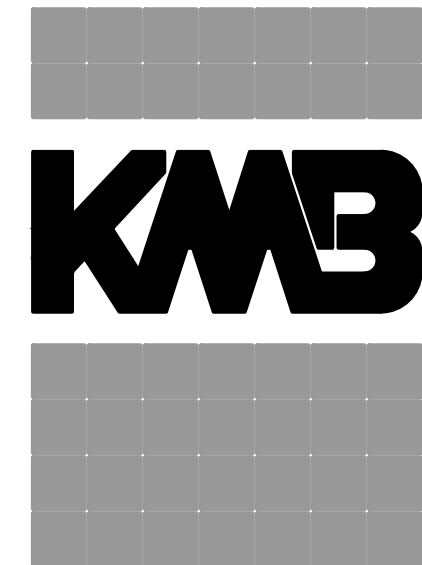
9 ROOF OVERHANG
SCALE: 1" = 1'-0"



6 BEARING WALL TO SLAB CONNECTION
SCALE: 3" = 1'-0"



3 NEW TO EXISTING FOUNDATION
SCALE: 1" = 1'-0"



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SHEET NO.

A9.1
DETAILS



COOPER POINT ROAD BUILDING ENTRY
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Olympia, WA 98501

REVISIONS

CONSTRUCT

CONSTRUCTION DOCUMENTS

SHEET NO.

A9.2

DETAILS

