



**PROPERTY OWNER**  
**CAPITAL CHRISTIAN CENTER**

**ARCHITECTURE AND PLANNING**  
**THOMAS ARCHITECTURE STUDIO, INC.**  
**RON THOMAS, AIA,**  
**PRESIDENT**  
**JOSH GOBEL ASSOC. AIA**  
**LEED AP**

**THEATER DESIGNER**  
**PLADESIGNS INC**  
**K. PAUL LUNTSFORD, ASTC, LC**  
**PRINCIPAL**

**STRUCTURAL ENGINEER**  
**PCS STRUCTURAL SOLUTIONS**  
**JEFFREY KLEIN, S.E. PRINCIPAL**

**CIVIL ENGINEERING**  
**SCJ ALLIANCE**  
**JEFF GLANDER, PLA, ASLA**  
**PRINCIPAL LANDSCAPE ARCHITECT**

**LANDSCAPE ARCHITECTURE**  
**SCJ ALLIANCE**  
**JEFF GLANDER, PLA, ASLA**  
**PRINCIPAL LANDSCAPE ARCHITECT**

**MEP ENGINEERING**  
**HULTZ BHU ENGINEERING INC.**  
**RICK HULTZ, PE. PRINCIPAL**

## CAPITAL CHRISTIAN CENTER

**DESIGN REVIEW BOARD**  
**AUGUST 22, 2018**





## **Capital Christian Center Combined Design Review:**

### **CONTENTS**

SECTION 1: General Land Use and Design Review Applications  
(Separated and attached to staff report)

SECTION 2: Vicinity Map, Context Plans and Elevations

SECTION 3: Site Plans, Floor Plans and Solid Waste Plan

SECTION 4: Building Elevations

SECTION 5: Landscape Plans

SECTION 6: Lighting Details and Pedestrian Amenities

SECTION 7: Colors and Materials

## **SECTION 1: Applications**

**Separated and attached with staff report.**



# DESIGN REVIEW APPLICATION - CONCEPT

## OFFICIAL USE ONLY

Case #: \_\_\_\_\_ Master File #: \_\_\_\_\_ Date: \_\_\_\_\_

Received By: \_\_\_\_\_ Related Cases: \_\_\_\_\_ Project Planner: \_\_\_\_\_

Project Name: CAPITAL CHRISTIAN CENTER

Site Address: 4431 MARTIN WAY E. OLYMPIA, WA 98516

Applicant Name: THOMAS ARCHTIECTURE STUDIOS LLC

Phone Number: 360-915-8775

E-Mail Address: JOSH@TASOLYMPIA.COM

Description of Project: Project consists of an approximate 21,500 square foot sanctuary addition.

A Concept Design Review Application shall be submitted electronically with two hard copies and shall include:

1. **General Land Use Application** Refer to the General Land Use Application for Submittal requirements
2. Certified list of property owners within 300 feet of project site prepared by a title company. Submit the list on a flash drive or memory stick in Excel worksheet format.
3. Context Plan including plan and elevation views in relation to surrounding properties illustrating:
  - ☒ Footprint(s) of proposed and existing buildings, including those within 100' of the project site on the same side of the street.
  - ☒ Scaled elevations of proposed and existing buildings, including those within 100' of the project site on the same side of the street.
4. Preliminary Site Plan illustrating:
  - ☒ Property lines with distances.
  - ☒ Adjacent public rights-of-way.
  - ☒ Existing and proposed grades at 2-foot contour intervals.
  - ☒ Existing and proposed site features, including stormwater facilities and soil and vegetation protection areas.
  - ☒ Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
  - ☒ Clearly delineated and labeled landscape and hardscape areas.
5. Preliminary Landscape Plan meeting the provisions of OMC 18.36, illustrating features such as, but not limited to:
  - ☒ Location of existing (to remain) and proposed plants.
  - ☒ Type of existing and proposed plants (i.e., groundcover, shrub, tree).
  - ☒ Graphic depiction of the size of proposed tree canopies at maturity on plan.
  - ☒ Clearly delineated and labeled landscape, hardscape, and building areas.



6. Preliminary Building Elevations (fully scale and dimension each elevation) illustrating:
- ☒ Building elevations of all sides of the building(s) labeled as north, south, east or west elevation.
  - ☒ Location of building doors and windows.
  - ☒ Indicate finished floor elevations and location of exterior steps and stairways.
  - ☒ Area(s) on building where signs will be installed.

This form has been approved for use by the Olympia Community Planning and Development (CPD) Department.



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Keith Stahley, Director,  
Community Planning and Development

12/1/2016

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Date

## **SECTION 2: Vicinity Map, Context Plans and Context Elevations**

### **Vicinity Location Map Sheet A000 illustrates:**

- Local streets and major features within 1 square mile.

### **Architectural context plan Sheet A001 illustrates:**

- Context plan with 100 foot perimeter boundary.

### **Architectural context elevations Sheets A002-A004 illustrate:**

- Context elevations with 100 foot perimeter boundary.
- Context Images





NOTE TO SCALE

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

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**A000**  
VICINITY MAP







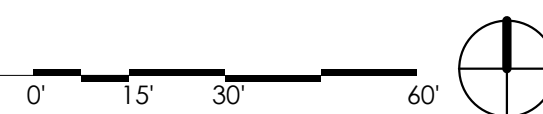
#### SITE LEGEND

<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span>	NEW ADDITION
<span style="display:inline-block; width:15px; height:15px; background-color:lightgray; border:1px solid black;"></span>	EXISTING BUILDING
<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span>	LANDSCAPE
<span style="display:inline-block; width:15px; height:15px; border-top:2px dashed black;"></span>	PROPERTY LINE
<span style="display:inline-block; width:15px; height:15px; border-top:1px dashed gray;"></span>	WASTE SERVICES PATH
<span style="display:inline-block; width:15px; height:15px; border-top:2px dashed red;"></span>	100' BOUNDARY

#### CONTEXT KEY

<span style="border:1px solid black; padding:2px;">1</span>	O'BLARNEY'S IRISH PUB
<span style="border:1px solid black; padding:2px;">2</span>	BREWERY CITY PIZZA LACEY
<span style="border:1px solid black; padding:2px;">3</span>	STORMWATER POND
<span style="border:1px solid black; padding:2px;">4</span>	INTERSTATE 5
<span style="border:1px solid black; padding:2px;">5</span>	TRASH ENCLOSURE

① SITE PLAN - 100' CONTEXT ( FROM BUILDING )  
1" = 30'-0"



# CAPITAL CHRISTIAN CENTER

Olympia, Washington

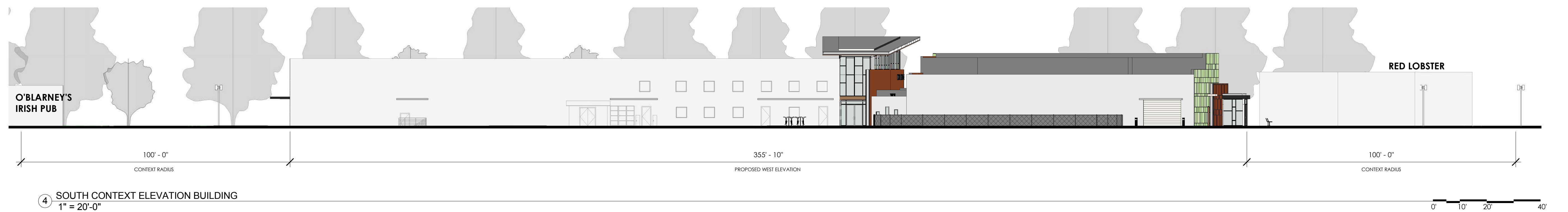
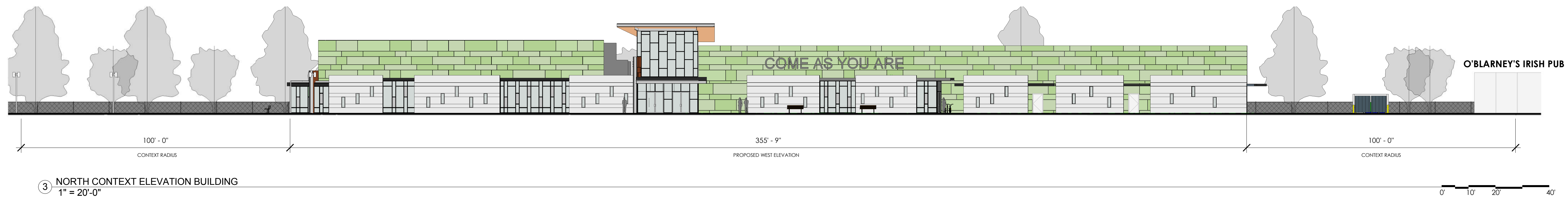
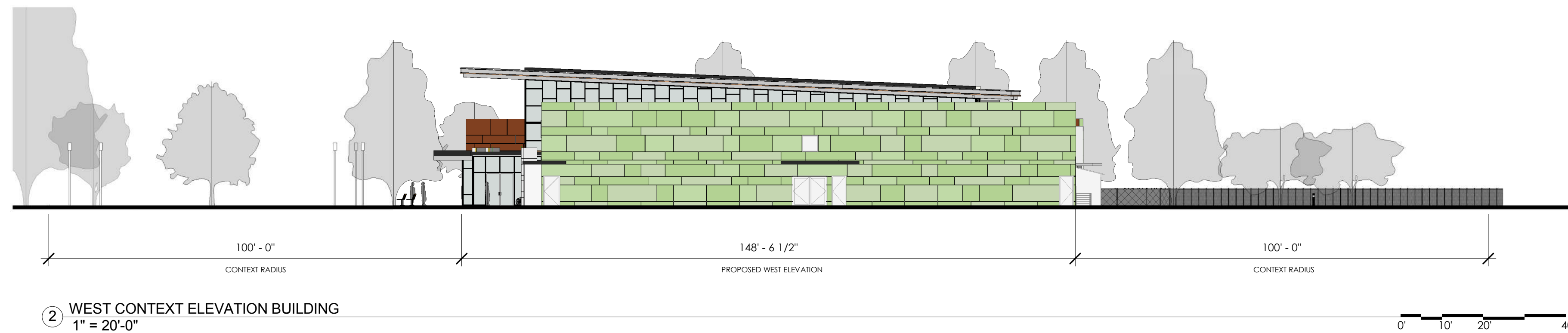
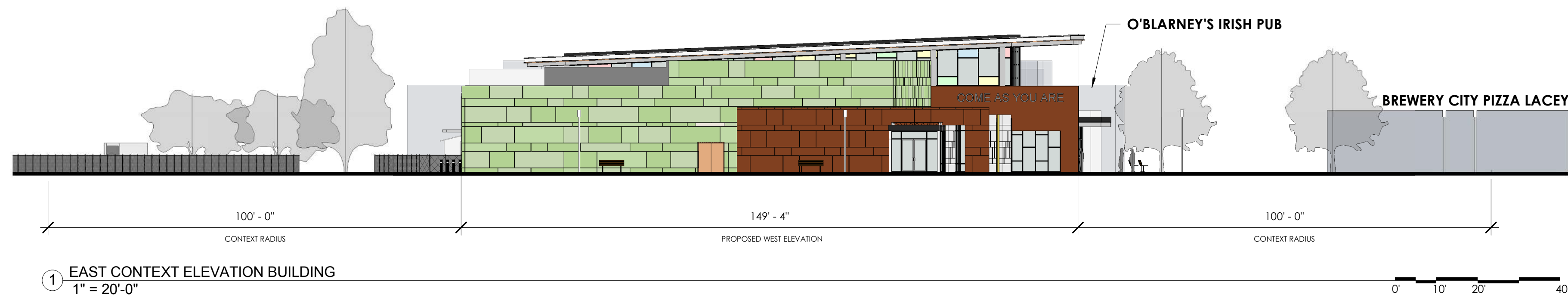
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## A001

CONTEXT PLAN







# CAPITAL CHRISTIAN CENTER

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A002

CONTEXT ELEVATION







1 SOUTHEAST - CAPITAL CHRISTIAN CENTER



2 NORTH - STORMWATER



3 NORTH - CAR WASH



4 WEST - BREWERY CITY PIZZA LACEY



5 EAST - BURGER KING



6 NORTHEAST - PEACE CENTER



7 NORTHEAST - RED LOBSTER



KEY MAP

# CAPITAL CHRISTIAN CENTER

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**A003**  
CONTEXT IMAGES







1 SOUTH - BREWERY CITY PIZZA LACEY



2 NORTHWEST - RESIDENCE



3 SOUTH - RESIDENCE NEXT TO BREWERY



4 WEST - AUTO REPAIR



5 WEST - O'BLARNEY'S IRISH PUB



6 SOUTH - PLAYGROUND



7 NORTHWEST - CAPITAL CHRISTIAN CENTER



KEY MAP

# CAPITAL CHRISTIAN CENTER

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A004

CONTEXT IMAGES





## **SECTION 3: Site Plans, Floor Plans, and Solid waste**

### **Architectural site plan sheet A100 illustrates:**

- Property lines with distances.
- Adjacent public rights-of-way.
- Existing and proposed site features.
- Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
- Solid waste collection location and enclosure.

Location as indicated on plan.

- Existing light post locations.

### **Architectural Building Footprint sheet A101 illustrates:**

- Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
- Clearly delineated and labeled landscape and hardscape areas.
- Parking area layout, and short and long-term bicycle parking.

Long term bicycle parking provided indoors per plan. Racks shall be "Bike File" by Dero.

Short term bicycle parking provided at perimeter of building near entrances using Arc Rack by Dero, or similar.

No monument or free standing sign shall be provided. All signage will be mounted to the building.

- Location of all other site features including: pedestrian amenities, bicycle racks, and lockers, bus stop, monument or free-standing signs, mail kiosks, etc.

### **Architectural building plan sheet A102 & A103 – FLOOR PLANS**

### **Solid waste collection enclosure plan sheet A104 – SOLID WASTE**





PARKING SUMMARY	
PARKING (EXISTING) =	276 SPACES
PARKING (NEW) =	52 SPACES
PARKING REQUIRED =	348 SPACES
PARKING PROVIDED =	328 SPACES

30% OF ALL SPACES CAN BE COMPACT = 30% x 399 = 120 SPACES  
XX COMPACT SPACES PROVIDED (NOTED W/ 'C')

OMC 18,38,060 PARKING & LOADING REGULATIONS  
PARKING REQUIREMENT TABLE 38.01  
WORSHIP: 1 SPACE PER 4 SEATS  
852 / 4 SEATS = 213 STALLS REQUIRED FOR WORSHIP (SEATS).  
WORSHIP: 6 SPACES PER 1,000 SF  
12,829.4 SF / 1,000 SF = 12.83 X 6 SPACES = 76.97 = (77) STALL REQUIRED FOR WORSHIP (UNFIXED)  
OFFICE: (EXISTING) 1 SPACE PER 300 SF FOR 2,001 TO 7,000 SF  
2,727 SF / 300 SF = 9.09 = (10) STALLS  
(NEW) 1 SPACE PER 250 SF UP TO 2,000 SF  
846 SF / 250 SF = 3.38 = (4) STALLS  
CHILD CARE: 1 SPACE PER STAFF: 1 SPACE PER 10 CHILDREN  
(EXISTING) 7 STAFF = 7 SPACES ; 328 CHILDREN / 10 = 32.8 = (33) STALLS  
(NEW) 1 STAFF = 1 SPACE ; 25 CHILDREN / 10 = 2.5 = (3) STALLS

LONG TERM BICYCLE STORAGE REQUIREMENTS  
WORSHIP SPACE (7,778 SF WORSHIP @ 1/10,000 SF) 1 SPACES

LONG TERM BICYCLE TOTAL REQUIRED = 1 SPACES  
LONG TERM BICYCLE PARKING EXISTING = 0 SPACES  
LONG TERM BICYCLE PARKING PROVIDED = 1 SPACES

SHORT TERM BICYCLE STORAGE REQUIREMENTS  
WORSHIP SPACE (852 FIXED SEATS @ 1/160 SEATS) 6 SPACES

SHORT TERM BICYCLE PARKING REQUIRED = 6 SPACES  
SHORT TERM BICYCLE PARKING EXISTING = 0 SPACES  
SHORT TERM BICYCLE PARKING PROVIDED = 6 SPACES

# CAPITAL CHRISTIAN CENTER

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A100

SITE PLAN







#### SITE LEGEND

- NEW ADDITION
- EXISTING BUILDING
- LANDSCAPE
- HARDSCAPE
- PROPERTY LINE

#### BUILDING LEGEND

- 1 LOCATION OF NEW BUILDING MAIN ENTERS
- 2 LOCATION OF EXISTING PROPERTY FENCE ALONG HIGHWAY EASEMENT
- 3 NEW LANDSCAPING PER LANDSCAPE ARCHITECT
- 4 NEW SITE TREES PER LANDSCAPE ARCHITECTS
- 5 LOCATION OF WASTE COLLECTION. SEE SOLID WASTE PLAN FOR ADDITIONAL INFORMATION. SEE SHEET A100
- 6 LOCATION OF EXISTING ELECTRICAL VAULT
- 7 LOCATION OF EXISTING UTILITY ROOM
- 8 NEW AWNING OVER EXISTING DOORWAYS
- 9 VEHICLE DROP OFF POINTS
- 10 SHORT TERM BICYCLE PARKING. PROVIDE ARC RACKS BY DERO OR EQUAL.
- 11 LOCATION OF CHILDREN PLAY AREA

LONG TERM BICYCLE PARKING IS LOCATED IN THE BUILDING. PROVIDE ARC RACKS BY DERO OR EQUAL.

1 SITE PLAN  
1/16" = 1'-0"

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

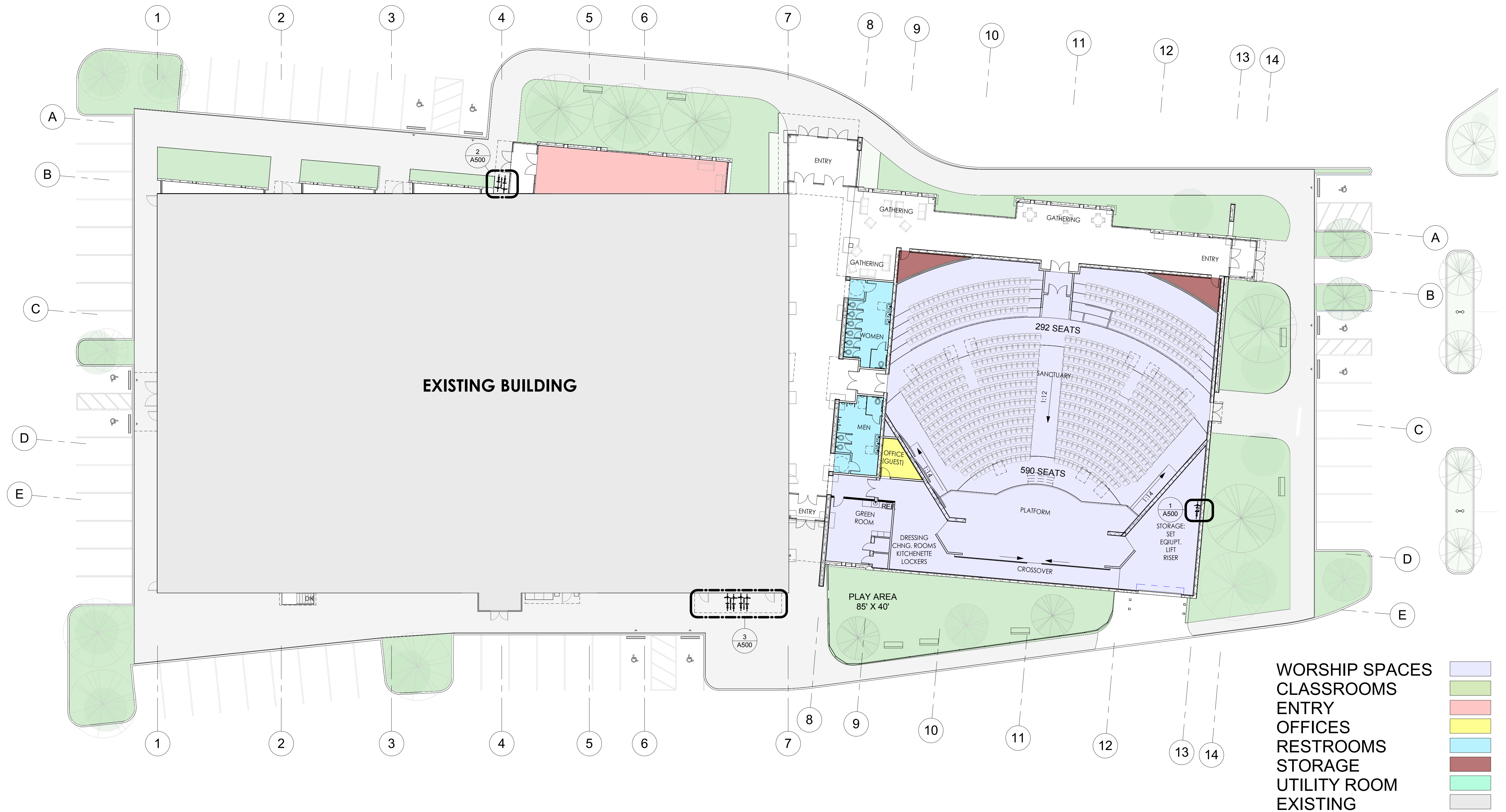
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## A101

BUILDING FOOTPRINT







① FIRST FLOOR PLAN  
1/16" = 1'-0"

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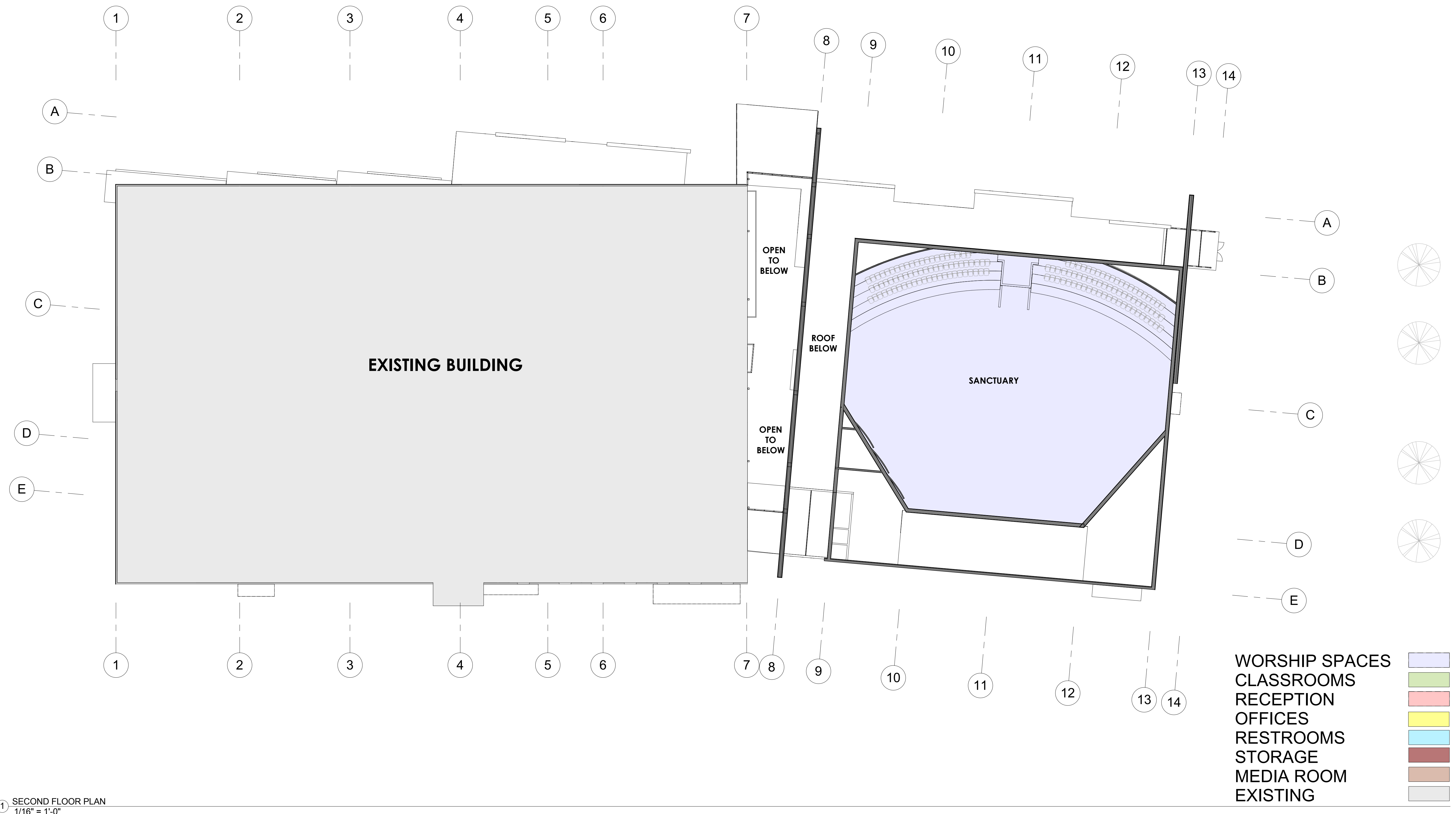
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**A102**

FLOOR PLAN 1







① SECOND FLOOR PLAN  
1/16" = 1'-0"

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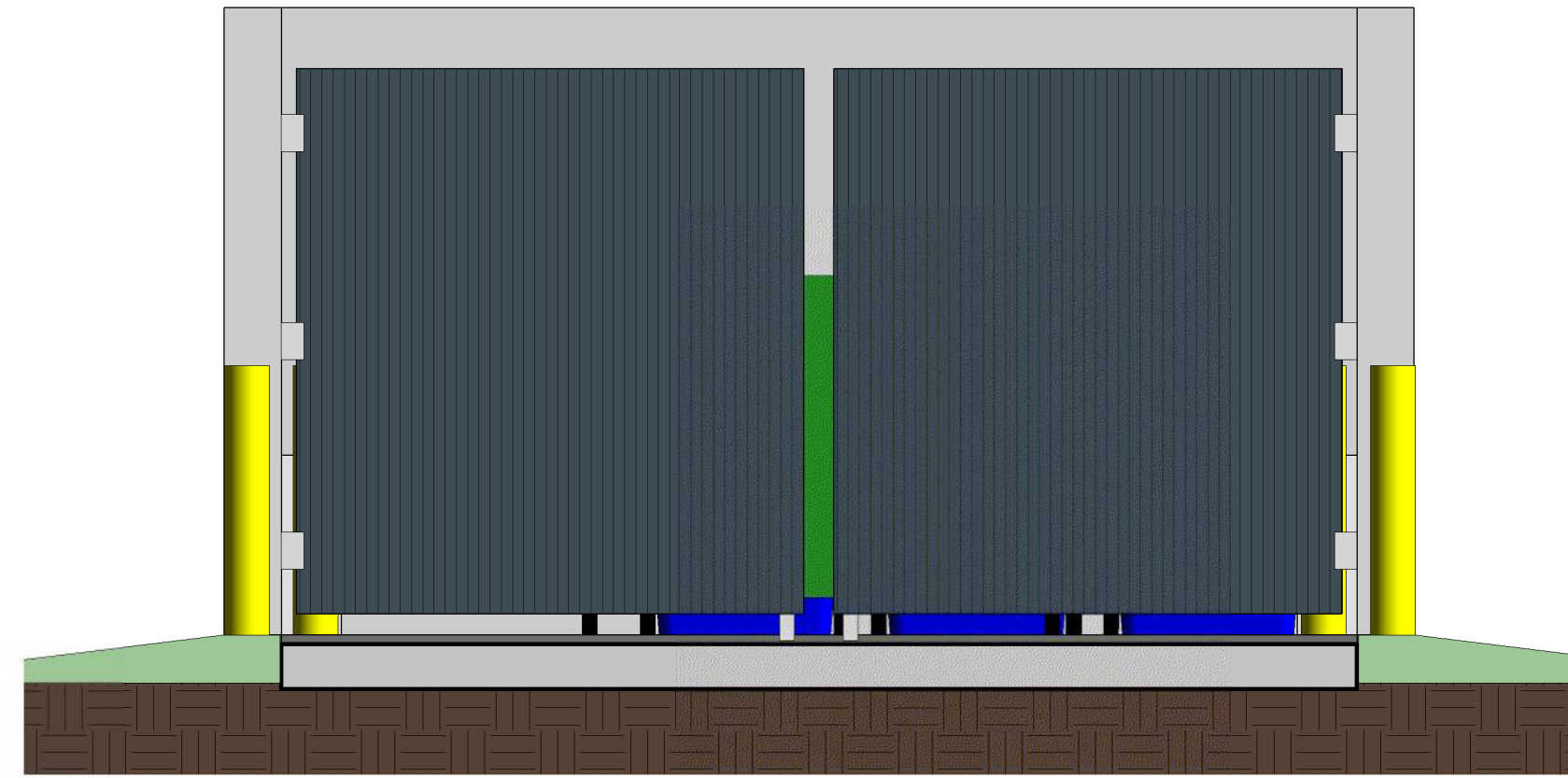
DESIGN DEVELOPMENT | 08/22/18

## A103

FLOOR PLAN 2



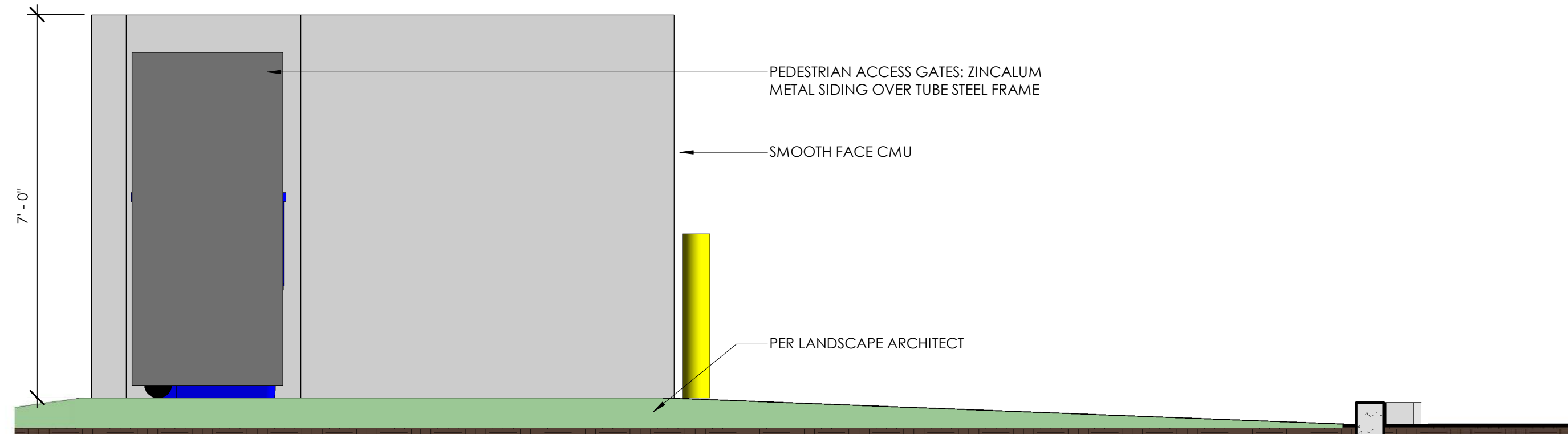




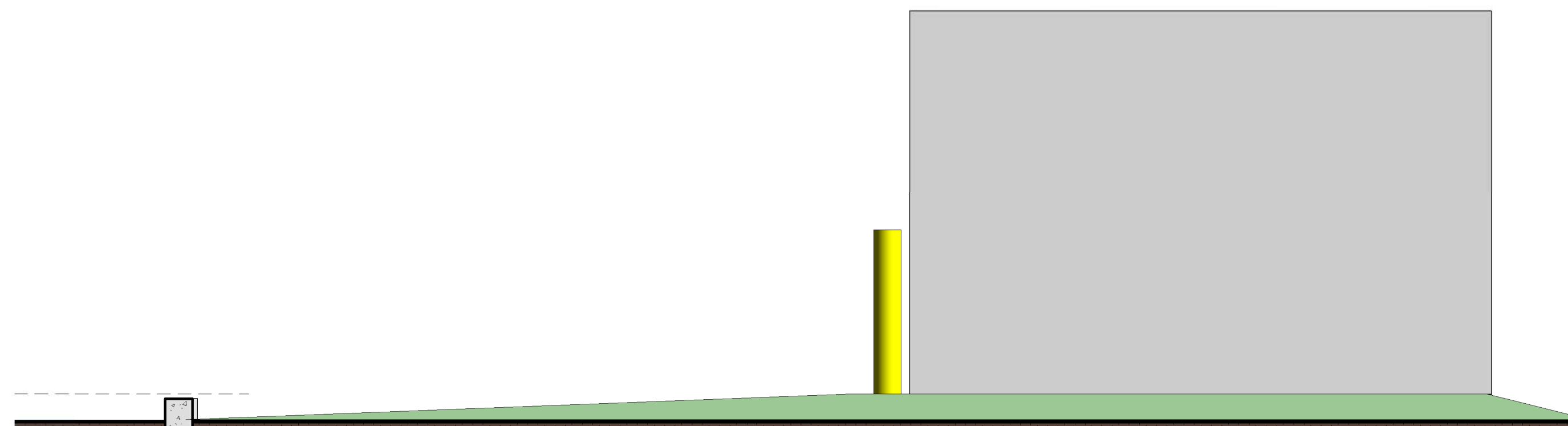
④ SOLID WASTE ENCLOSER- NORTH ELEVATION  
1/2" = 1'-0"



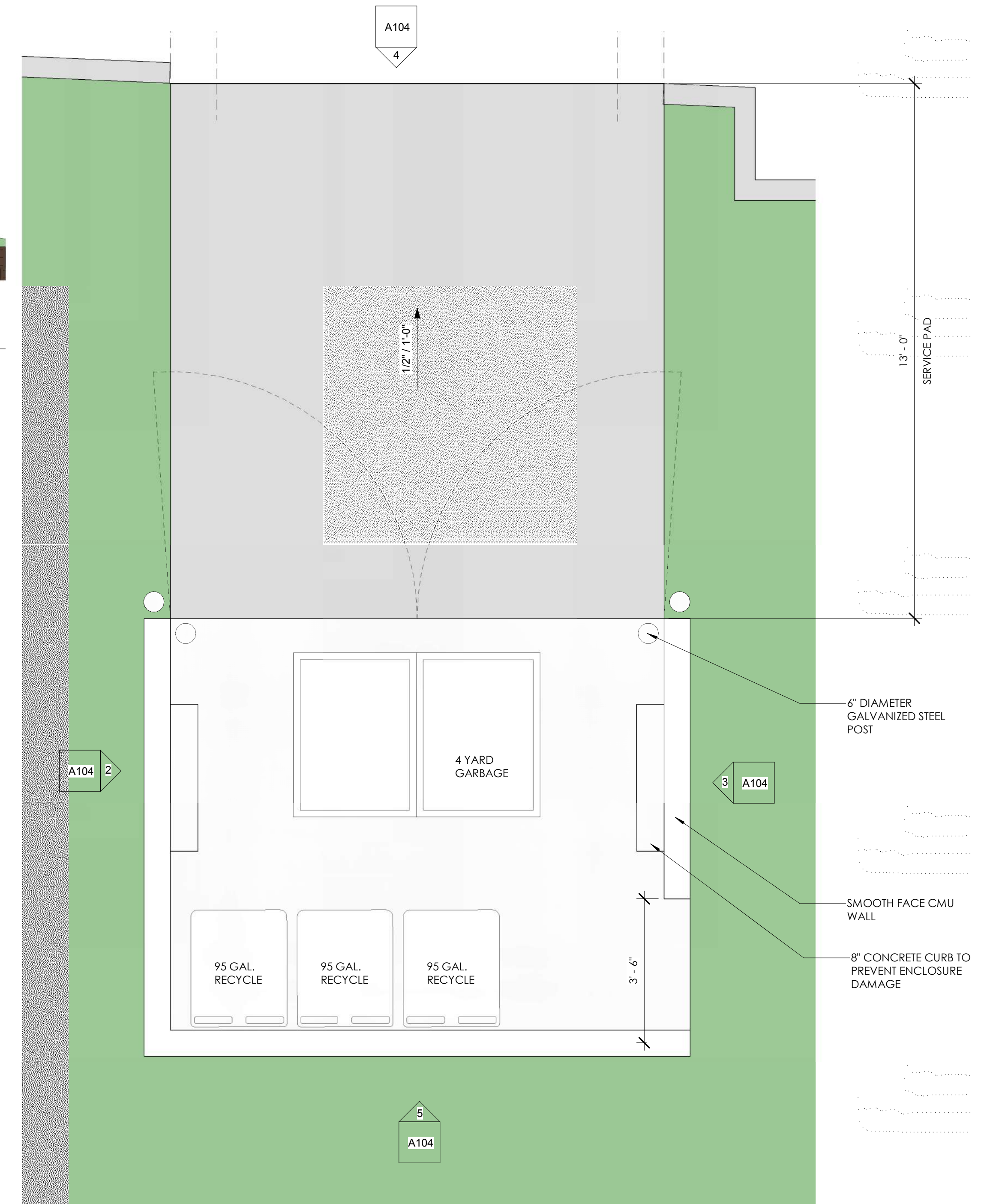
⑤ SOLID WASTE ENCLOSER - SOUTH ELEVATION  
1/2" = 1'-0"



③ SOLID WASTE ENCLOSURE - EAST ELEVATION  
1/2" = 1'-0"



② SOLID WASTE ENCLOSER - WEST ELEVATION  
1/2" = 1'-0"



① SOLID WASTE ENCLOSURE - PLAN  
1/2" = 1'-0"

# CAPITAL CHRISTIAN CENTER

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**A104**

SOLID WASTE ENCLOSURE





## **SECTION 4: Building Elevations**

### **Architectural Sheets A200, A201 & A202 illustrate:**

- Building elevations of all sides of the building(s) labeled as north, south, east or west elevation.
- Location of building doors and windows.
- Proposed building and roof materials.
- Indicate finished floor elevations and location of exterior steps and stairways.
- Area(s) on building where signs will be installed.
- Exterior building details, including all materials and colors.
- Window details, including materials and colors of framing and glazing materials.
- Door details, including materials and colors.
- Roof details, including materials and colors.
- Finished floor elevation(s).
- Location of exterior light fixture(s).
- Location and type of major sign(s).
- Color rendering of any building elevation visible from a public right-of-way.

### **Perspective Images: A203 - Perspectives**



SIGNAGE

BUILDING MOUNTED SIGNS	NUMBER	TYPE OF SYSTEM	SIZE
EXISTING	4	PROJECTION (1) AND BANNER (3)	40 SF 72 SF (3)
NEW	2	PROJECTION (2)	67.2 SF

18.42.140 GENERAL STANDARD FOR BUILDING MOUNTED SIGNS

ELEVATION KEY NOTES

- 1

DRI-DESIGN PAINTED ALUMINUM PANELS OR APPROVED EQUIVALENT
- 2

SMOOTH FACE CMU WITH VARIED GROUT WIDTH PER ELEVATION
- 3

PRODEMA WOOD PANEL
- 4

TILT UP CONCRETE WALL PAINT PER ARCHITECT
- 5

STOREFRONT GLAZING
- 6

INSET WINDOW, FROSTED WINDOW PANELS
- 7

STOREFRONT DOORS
- 8

EXISTING DOORS - METAL FRAMED

9

GLAZED PANELS WITH COLOR TINTED FILM

10

STEEL C- CHANNEL ROOF TRUSS

11

METAL FASCIA AT CANOPIES

12

METAL FRAMED GLAZED DOOR, EXISTING

13

INSET WINDOW, EXISTING

14

CMU WALL, PAINTED PER ARCHITECT

15

EXISTING EXHAUST VENT

16

EXISTING VERTICAL SIDING- PAINT PER ARCHITECT

17

EXISTING ASPHALT SHINGLES

18

STEEL I-BEAM- TO MATCH STOREFRONT

19

STEEL BOX COLUMN

20

WOOD SOFFIT

21

WATER PROOF ROOF MEMBRANE

22

NEW DOUBLE DOORS - METAL FRAMED

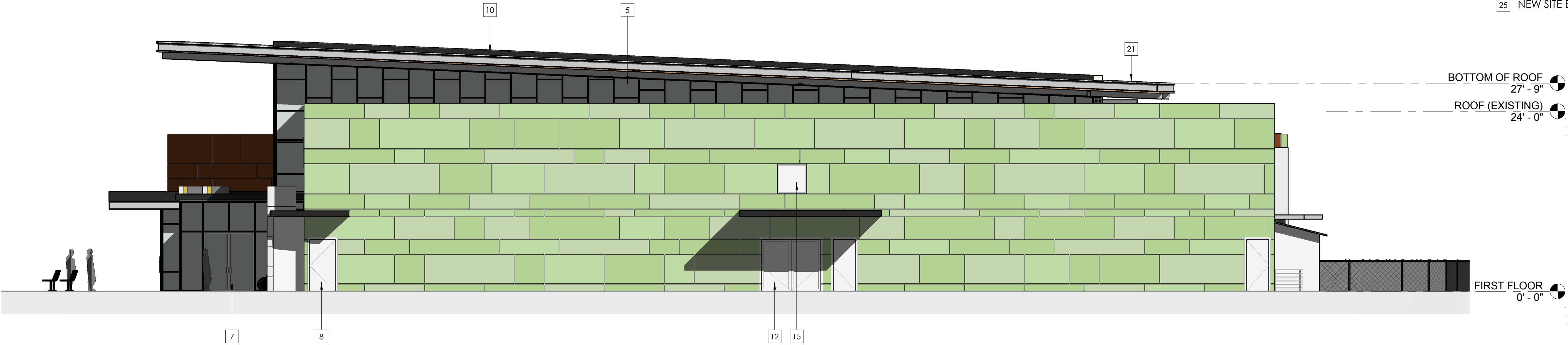
23

EXISTING SITE FENCE

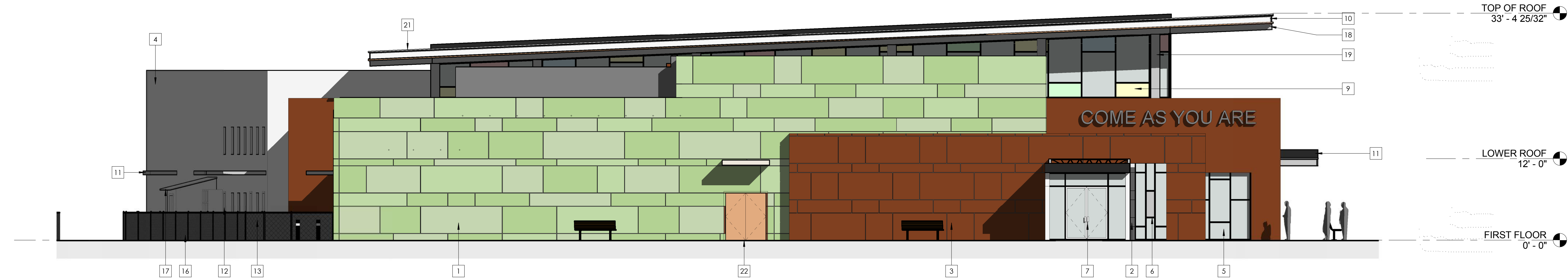
24

NEW BOLLARD

25

NEW SITE BENCHES

1 WEST ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

CAPITAL CHRISTIAN CENTER

Olympia, Washington

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A200  
ELEVATIONS





ELEVATION KEY NOTES

- 1

DRI-DESIGN PAINTED ALUMINUM PANELS OR APPROVED EQUIVALENT
- 2

SMOOTH FACE CMU WITH VARIED GROUT WIDTH PER ELEVATION
- 3

PRODEMA WOOD PANEL
- 4

TILT UP CONCRETE WALL PAINT PER ARCHITECT
- 5

STOREFRONT GLAZING
- 6

INSET WINDOW, FROSTED WINDOW PANELS
- 7

STOREFRONT DOORS
- 8

EXISTING DOORS - METAL FRAMED

9

GLAZED PANELS WITH COLOR TINTED FILM

10

STEEL C- CHANNEL ROOF TRUSS

11

METAL FASCIA AT CANOPIES

12

METAL FRAMED GLAZED DOOR, EXISTING

13

INSET WINDOW, EXISTING

14

CMU WALL, PAINTED PER ARCHITECT

15

EXISTING EXHAUST VENT

16

EXISTING VERTICAL SIDING- PAINT PER ARCHITECT

17

EXISTING ASPHALT SHINGLES

18

STEEL I-BEAM- TO MATCH STOREFRONT

19

STEEL BOX COLUMN

20

WOOD SOFFIT

21

WATER PROOF ROOF MEMBRANE

22

NEW DOUBLE DOORS - METAL FRAMED

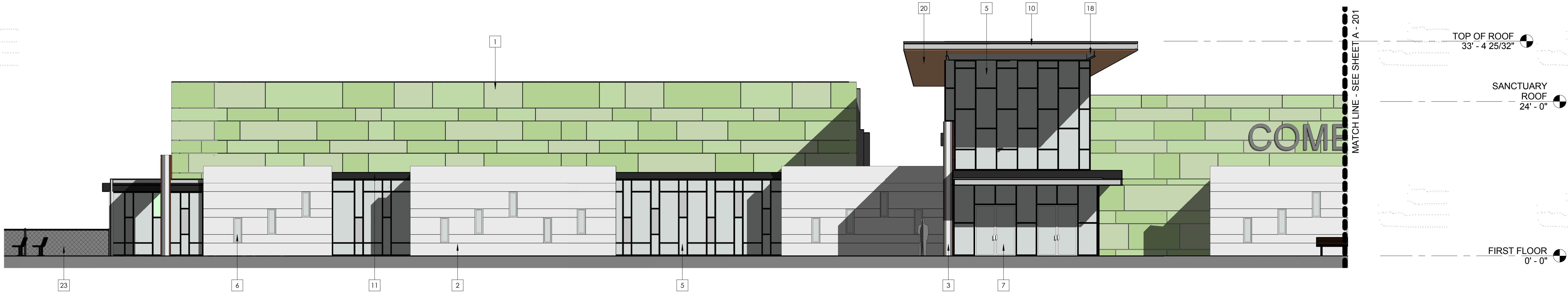
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EXISTING SITE FENCE

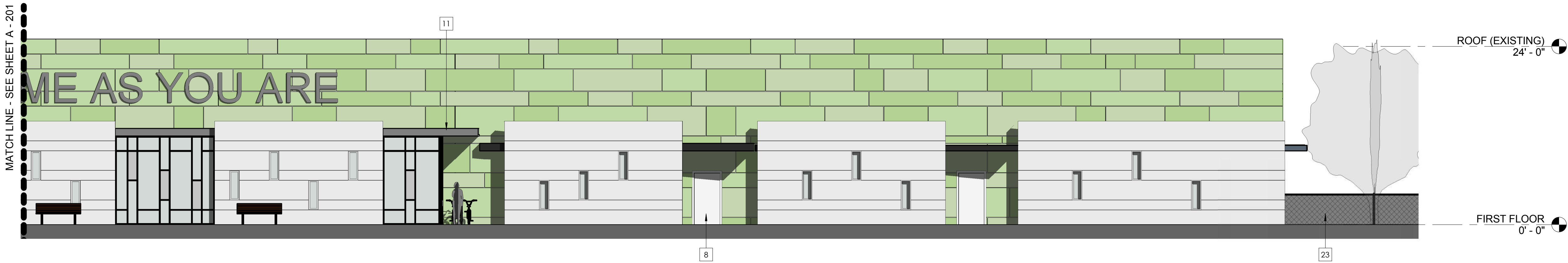
24

NEW BOLLARD

25

NEW SITE BENCHES

1 PARTIAL NORTH ELEVATION  
1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION  
1/8" = 1'-0"

CAPITAL CHRISTIAN CENTER

Olympia, Washington

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A201  
ELEVATION





ELEVATION KEY NOTES

- 1

DRI-DESIGN PAINTED ALUMINUM PANELS OR APPROVED EQUIVALENT
- 2

SMOOTH FACE CMU WITH VARIED GROUT WIDTH PER ELEVATION
- 3

PRODEMA WOOD PANEL
- 4

TILT UP CONCRETE WALL PAINT PER ARCHITECT
- 5

STOREFRONT GLAZING
- 6

INSET WINDOW, FROSTED WINDOW PANELS
- 7

STOREFRONT DOORS
- 8

EXISTING DOORS - METAL FRAMED

9

GLAZED PANELS WITH COLOR TINTED FILM

10

STEEL C- CHANNEL ROOF TRUSS

11

METAL FASCIA AT CANOPIES

12

METAL FRAMED GLAZED DOOR, EXISTING

13

INSET WINDOW, EXISTING

14

CMU WALL, PAINTED PER ARCHITECT

15

EXISTING EXHAUST VENT

16

EXISTING VERTICAL SIDING- PAINT PER ARCHITECT

17

EXISTING ASPHALT SHINGLES

18

STEEL I-BEAM- TO MATCH STOREFRONT

19

STEEL BOX COLUMN

20

WOOD SOFFIT

21

WATER PROOF ROOF MEMBRANE

22

NEW DOUBLE DOORS - METAL FRAMED

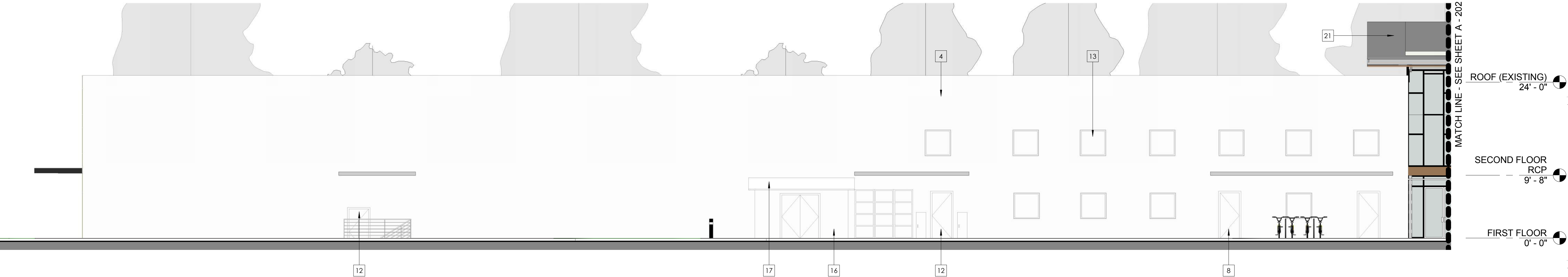
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EXISTING SITE FENCE

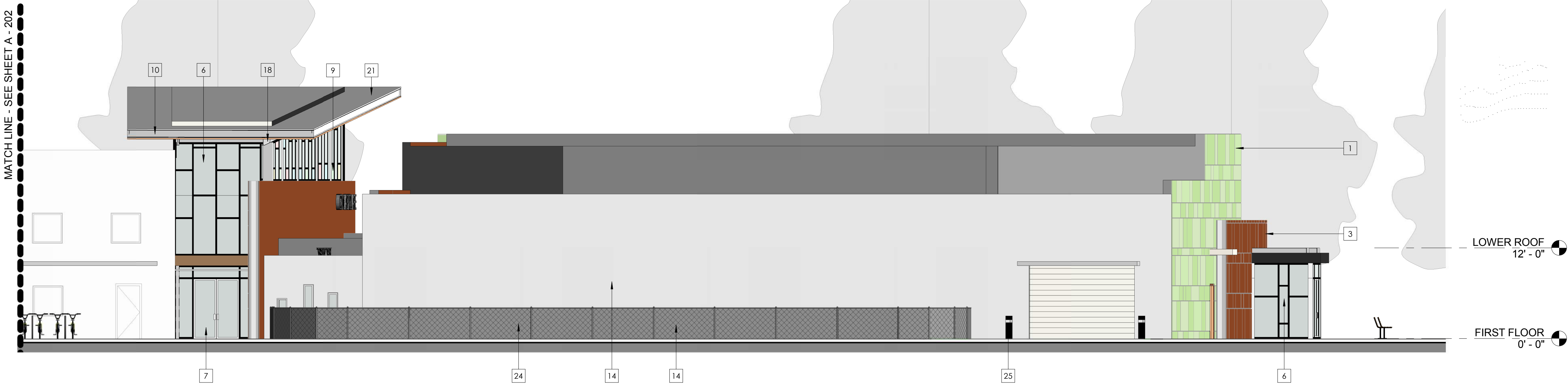
24

NEW BOLLARD

25

NEW SITE BENCHES

1 PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"

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A202

ELEVATION







① EAST ENTRY PERSPECTIVE



② EXTERIOR NORTH ENTRY ELEVATION 3



③ EXTERIOR WEST ENTRY ELEVATION

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

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**A203**

PERSPECTIVE IMAGE





## **SECTION 5: Landscape Plans**

### **Landscape Sheets L1.01 - L1.03 illustrate:**

- ☐ Location of existing (to remain) and proposed plants.  
All new plants.
- ☐ Type of proposed plants (i.e., groundcover, shrub, tree).
- ☐ Graphic depiction of the size of proposed tree canopies at maturity on plan.
- ☐ Clearly delineated and labeled landscape, hardscape, and building areas.
- ☐ Location and spacing of proposed plantings.
- ☐ Common and botanical names of each species.
- ☐ Container or caliper size of plants at installation.
- ☐ Quantities of plant material by species and size at installation.
- ☐ Plan notes indicating types of hardscape material.

### **Landscape Planting and examples:**



## **SECTION 6: Lighting Details and Pedestrian Amenities**

### **Hardscape Materials and Pedestrian Amenities: Sheet A500**

- ☐ Detail of hardscape material (i.e. size, type, and color of pavers, etc.)
- ☐ Each type of pedestrian amenity.
  - Bicycle parking, long term, shall be located in a secure room. **See sheet A101.**
  - Bicycle parking, short term, shall be located on the sidewalk near the residential building entrance as is typical downtown, and shall be Dero Arc rack or similar. **See sheet A100**

### **Details sheets A501 illustrate:**

- ☐ Short and Long term bike parking details

### **Building and Site Lighting: Sheet A502 illustrates:**

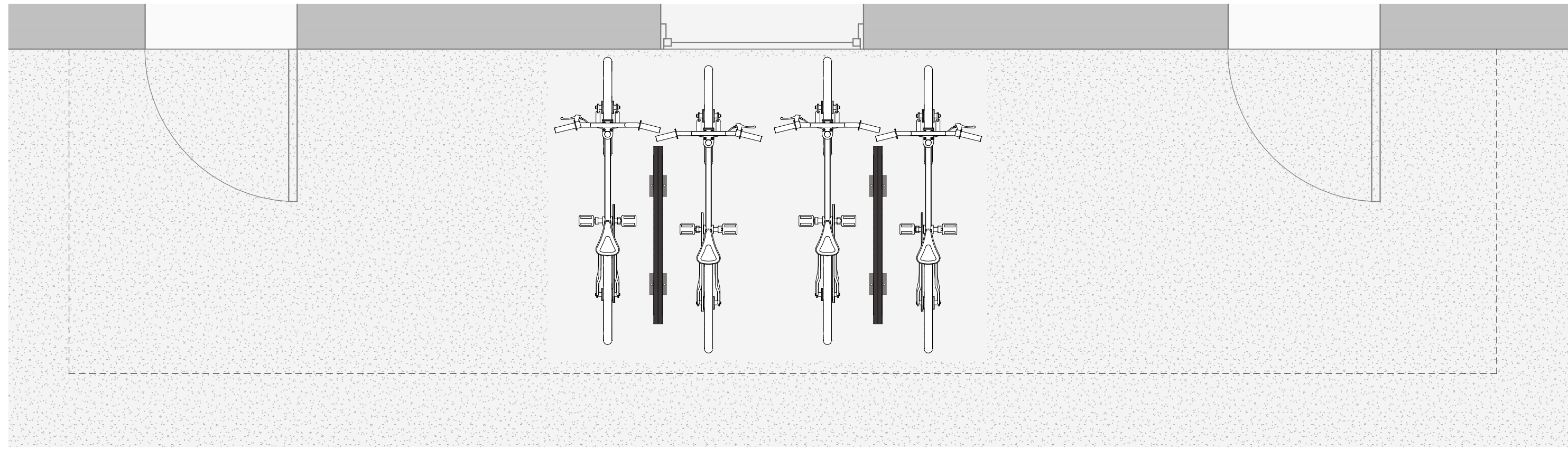
- ☐ Location and style of building and site lighting.

### **Building LIGHTING Elevation sheets A503, A504 AND A505**

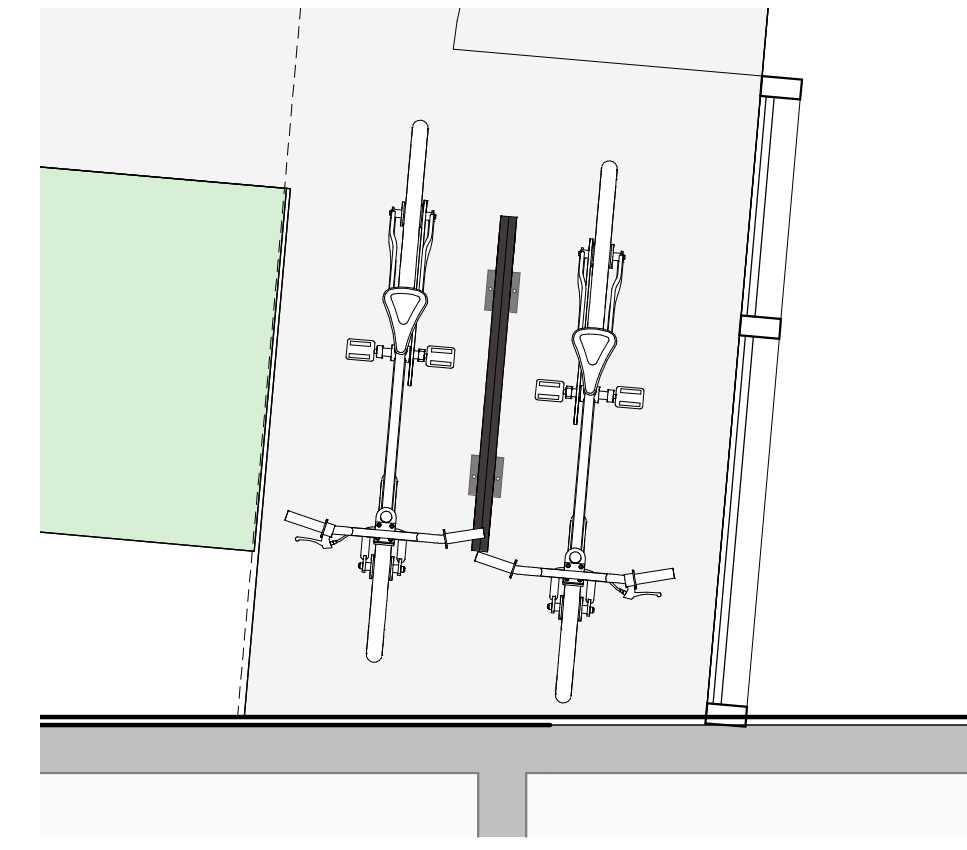
### **Lighting Details sheets A506, A507 and A508 illustrate:**

- ☐ Exterior light fixtures proposed as listed on elevations in previous section and site plan Sheet A100.

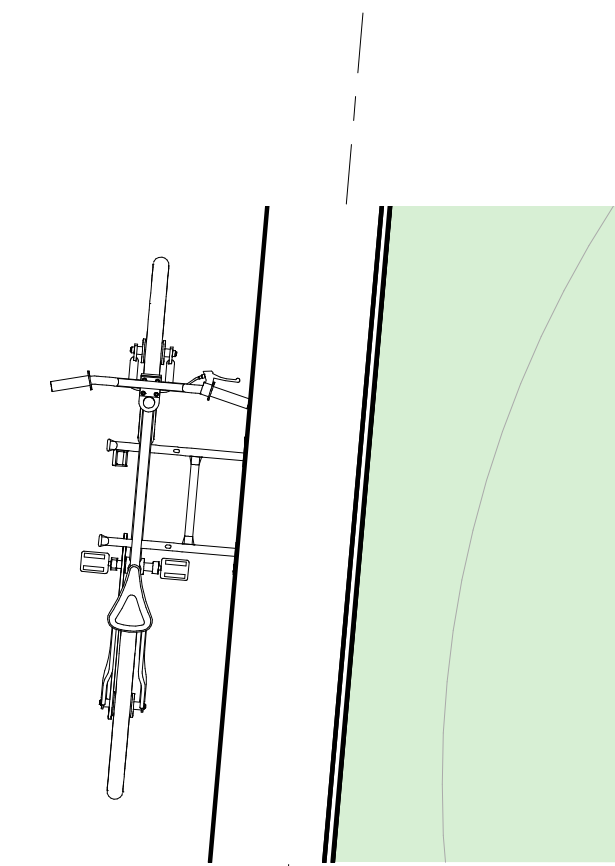




③ SHORT TERM BIKE STORAGE-1  
1/2" = 1'-0"

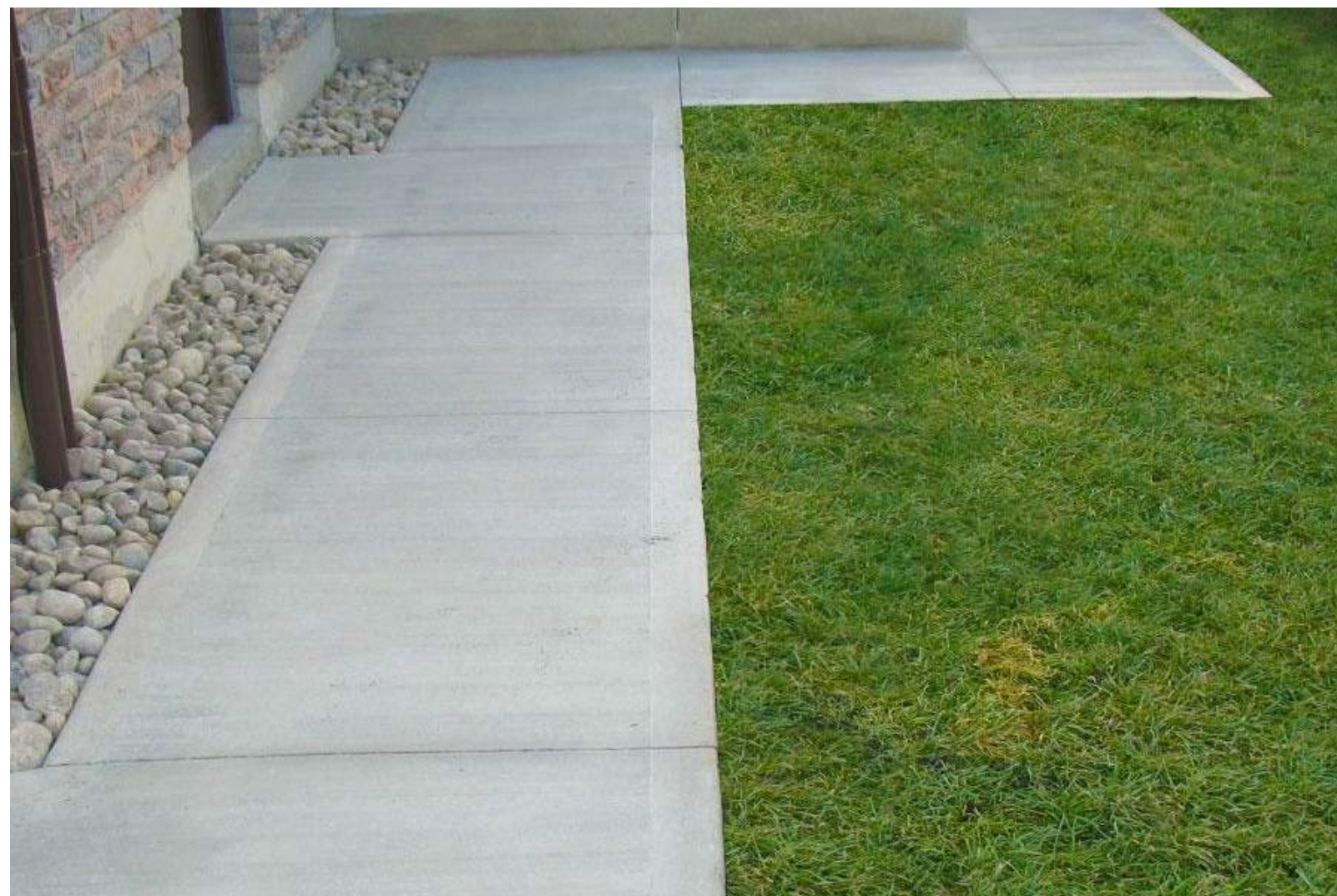


② SHORT TERM BIKE STORAGE-2  
1/2" = 1'-0"



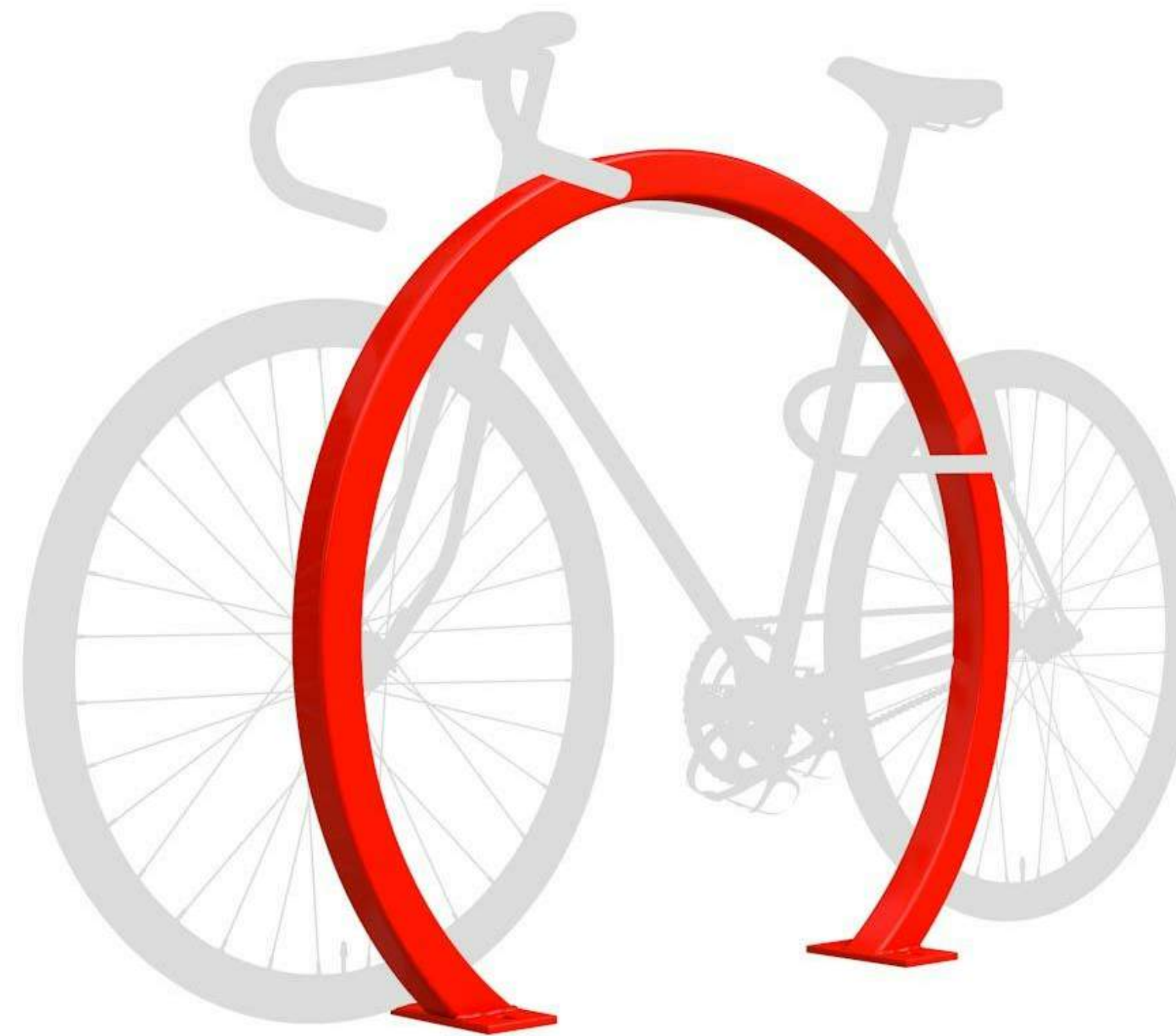
① LONG TERM BIKE STORAGE  
1/2" = 1'-0"

13



**BROOM FINISH CONCRETE**

SMOOTH HAND TROWEL FINISH AT EDGES  
COLOR: NATURAL



**SHORT TERM BIKE STORAGE**

DERO ARC RACK  
COLOR: BLACK



**LONG TERM BIKE STORAGE**

DERO BIKE FILE  
COLOR: BLACK

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

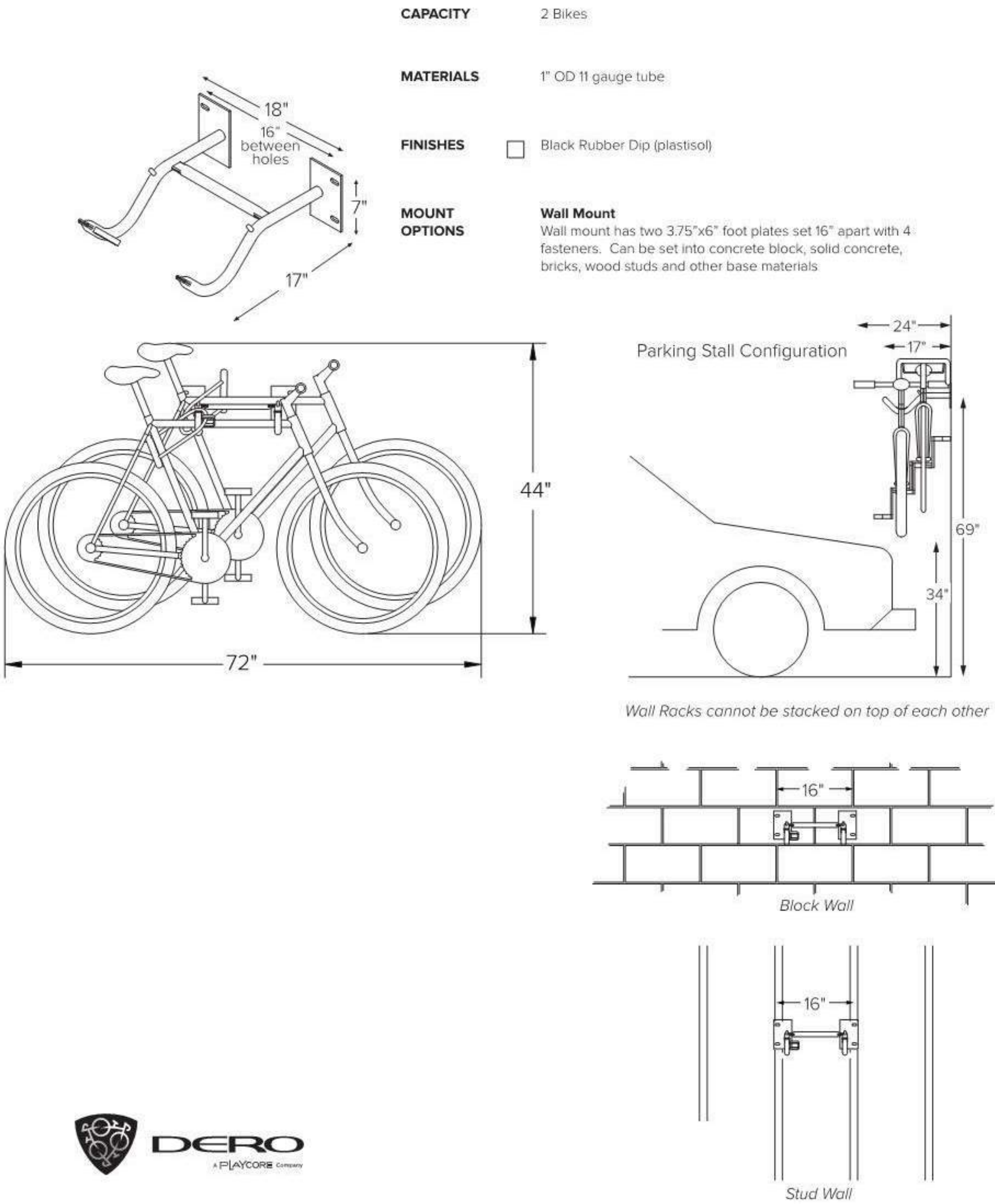
**A500**

HARDSCAPE MATERIALS AND  
PEDESTRIAN AMENITIES

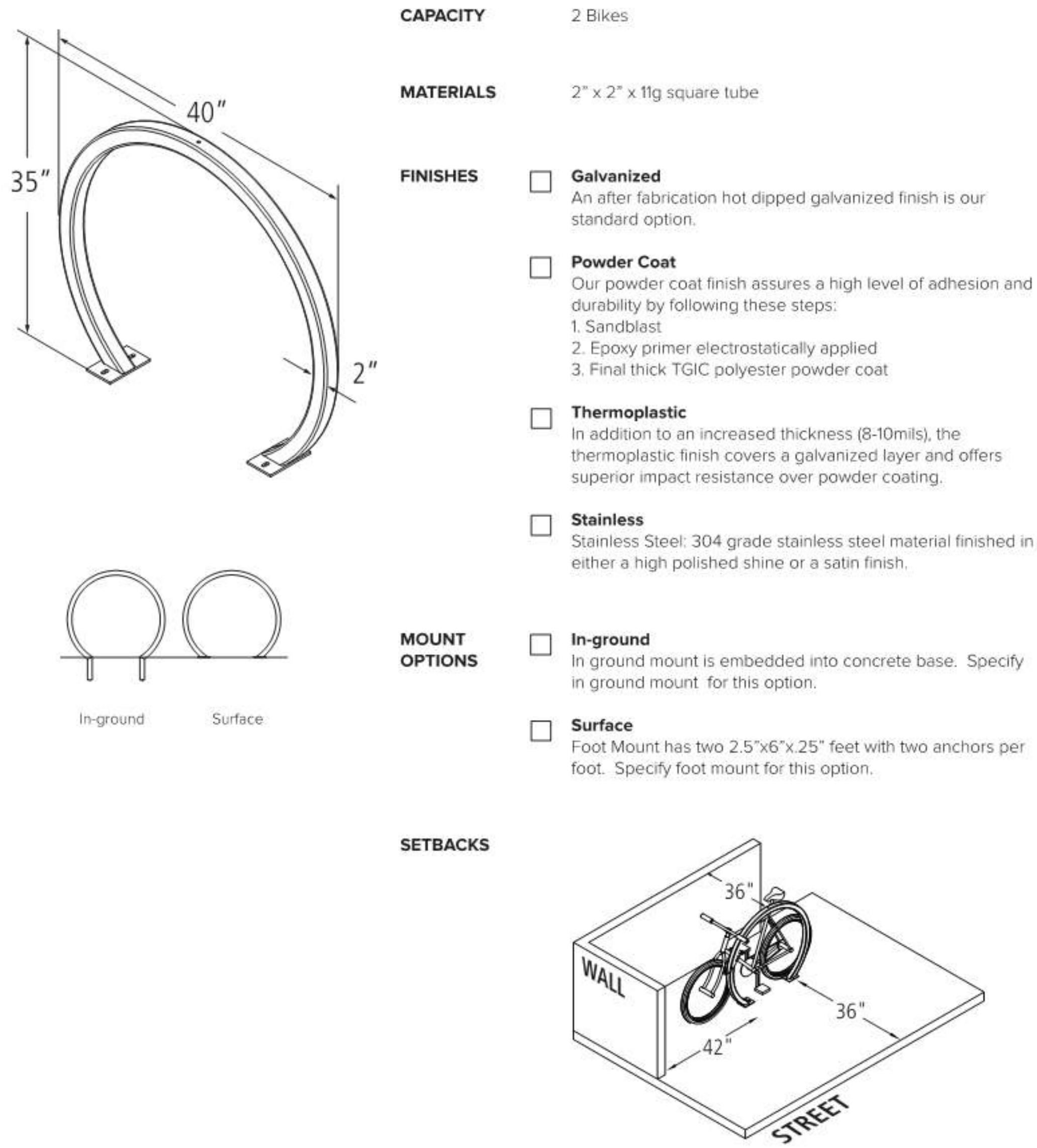




WALL RACK  
Submittal Sheet



ARC RACK  
Submittal Sheet



CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

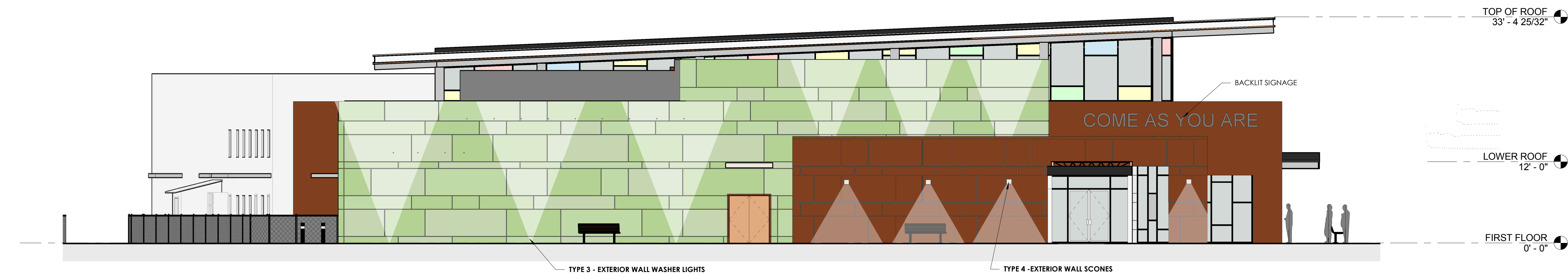
A501  
SPEC. SHEETS



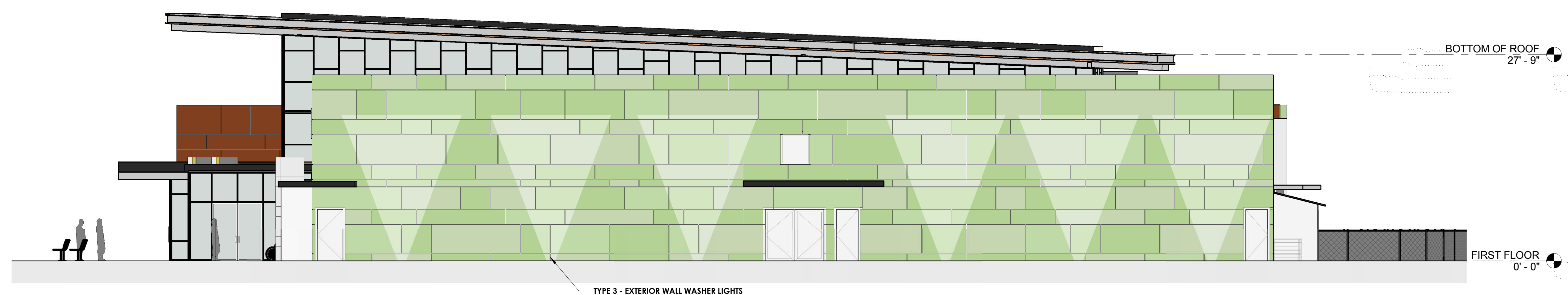








② EAST ELEVATION  
1/8" = 1'-0"



① WEST ELEVATION - LIGHTING  
1/8" = 1'-0"

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

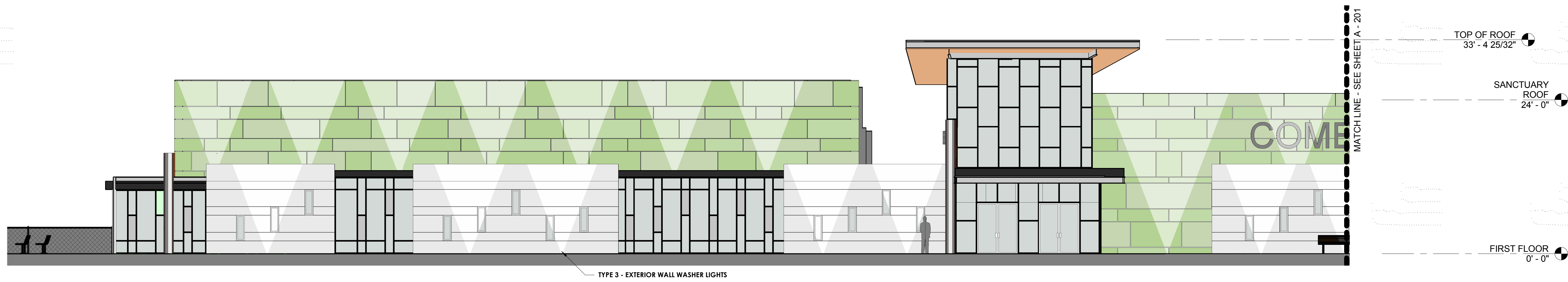
DESIGN DEVELOPMENT | 08/22/18

**A503**

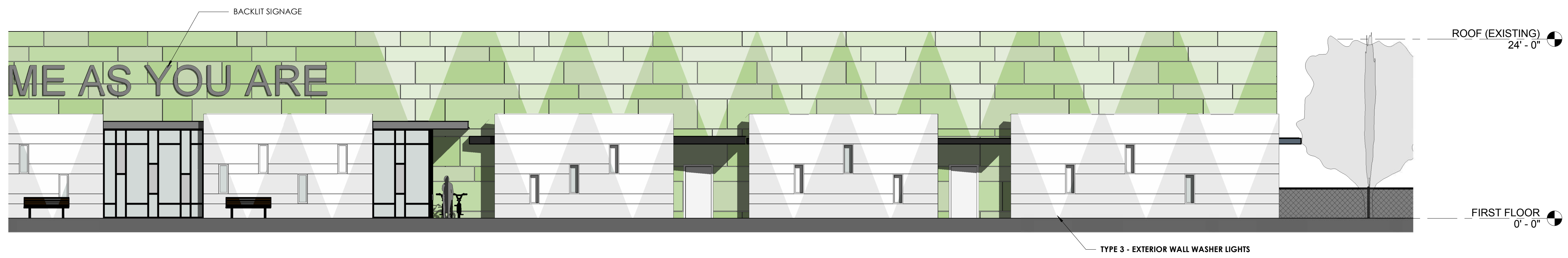
ELEVATIONS - LIGHTING







① PARTIAL NORTH ELEVATION  
1/8" = 1'-0"



② PARTIAL NORTH ELEVATION  
1/8" = 1'-0"

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

**A504**

ELEVATION - LIGHTING





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# CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

**A505**

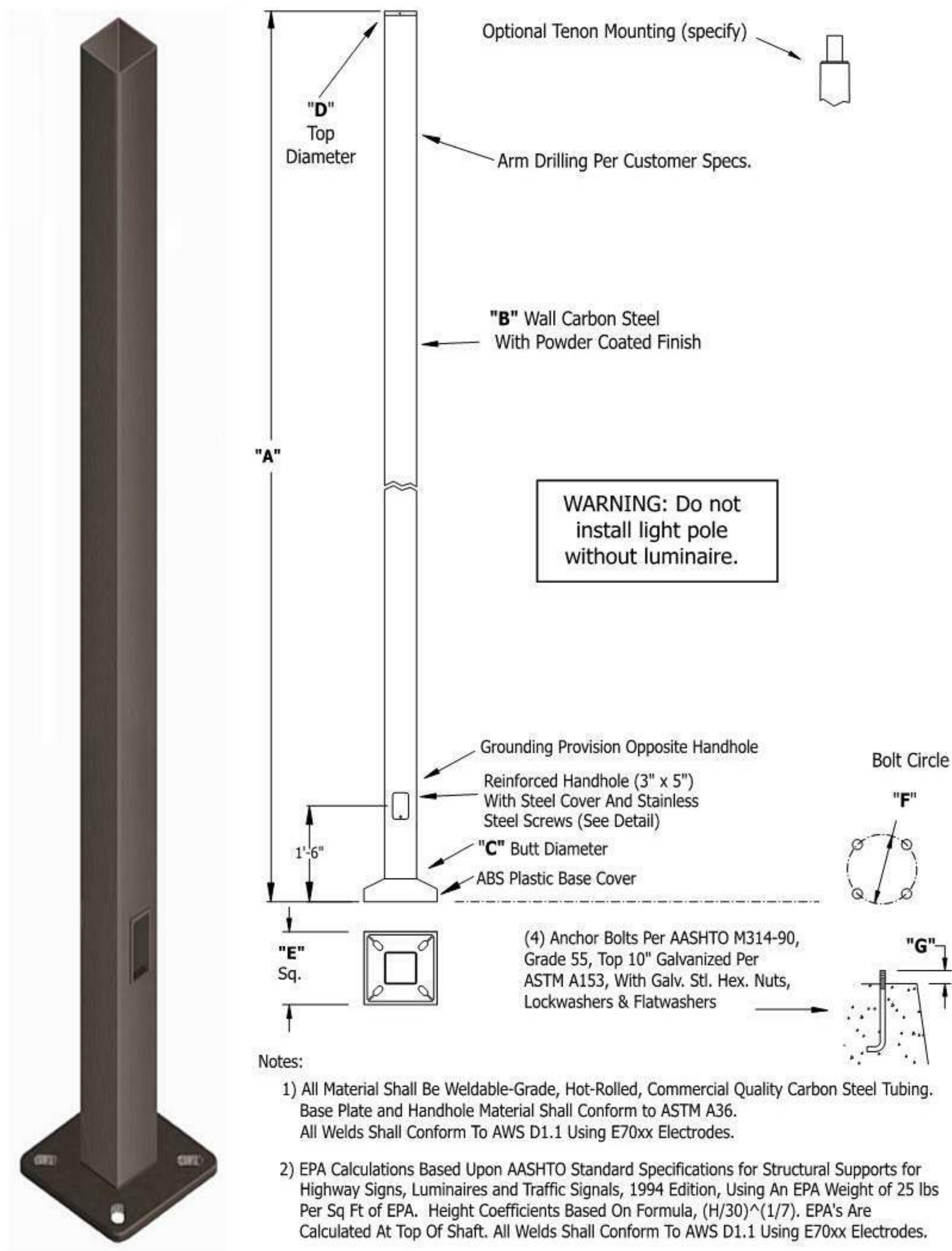
ELEVATION - LIGHTING





Square Straight Steel Pole - 4 Bolt Base

Square Straight Steel - 4 Bolt Base Light Poles



AffordableLighting.com A Division of Complete Lighting Source, Inc.  
6209 Amber Hills Rd. • Trussville, AL • (800) 683-8825 • Fax: (205) 951-9578 • sales@affordablelighting.com

TYPE 1 - PARKING LOT LIGHTING  
CLS-FL22



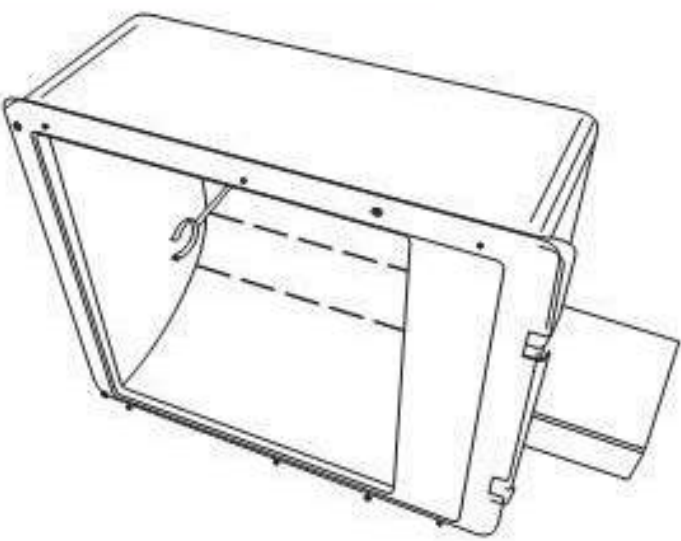
6" Arm mount      Slip fitter mount

Ideal for building, back yards, parks, signs, sports field, and other general applications where floodlighting may come into use.

GENERAL SPECIFICATION

- UL and CUL listed for wet locations
- Heavy duty die-cast aluminum powder coating, construction corrosion resistant hardware
- Silicone rubber included to prevent any leakage from the outside
- Heat and impact resistant tempered glass
- Come with anodized aluminum reflector
- Lampholder E-39, 4KV, UL approved
- Ideal for HPS and MH 1000 Watts Max

LINE DRAWING

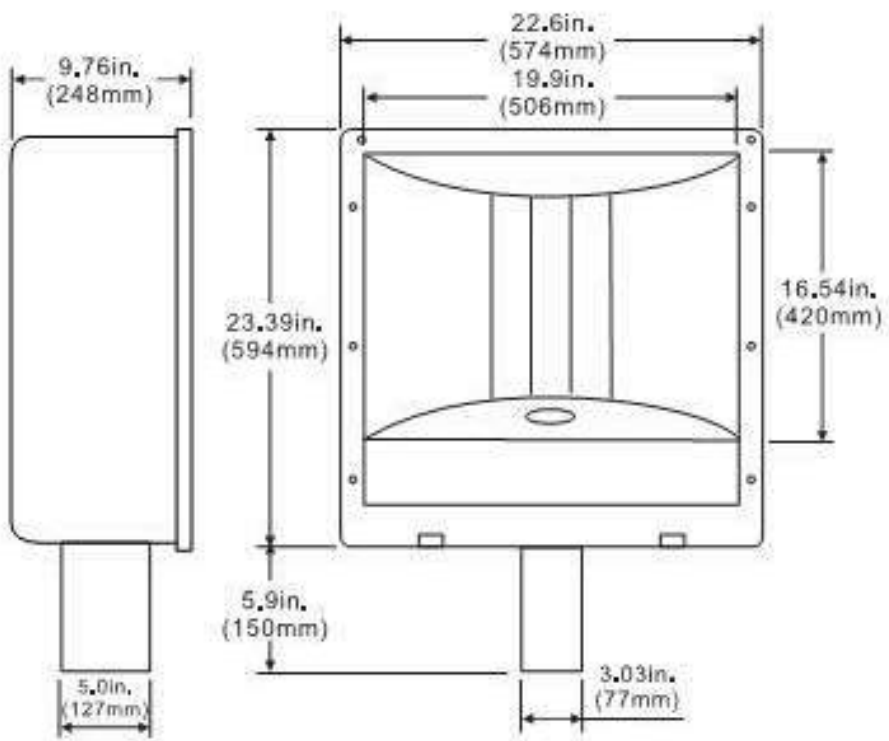


Mounting Options:



AREA LIGHTING

DIMENSIONS



ASSEMBLY PARTS



ITEM #	LAMP	VOLTS	BALLAST
CLS-822-PM-S40	HPS400W/ED18/E-39	QUAD	HX-HPF
CLS-822-PM-H40	MH400W/ED28/E-39	QUAD	HX-HPF
CLS-822-PM-S100	HPS1000W/E25/E-39	QUAD	HX-HPF
CLS-822-PM-H100	MH1000W/BT37/E-39	QUAD	HX-HPF

CAPITAL CHRISTIAN CENTER

Olympia, Washington

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A506  
LIGHTING DETAILS





TYPE 2 - LANDSCAPE LIGHTS



4900 Constellation Drive  
White Bear Lake, MN 55127  
888.503.1317  
sales@aspectled.com



Small Round  
In-Ground/In-Wall LED  
Light - Ultra Bright (3W)

MODEL: AL-IG-SR-3

DESCRIPTION

This 3W small round 2.5" diameter x 2.8" deep light can be mounted in-ground or in-wall. Perfect for patios, garden walls, decks, docks, gazebos, and many other locations.

aspectLED's in-ground/in-wall recessed lights are bright, energy efficient, and attractively styled, making them perfect for virtually any application. Ideal for installation in stair safety/accent lighting, garden walls, building entrances, pathways, decks, gazebos, public parks, docks, and marine environments.

These recessed in-ground/in-wall lights are waterproof (with an IP67 rating) and feature a #304 stainless steel trim and aluminum body. These lights come standard with a clear glass trim with stainless steel bezel.

CERTIFICATIONS



For general information purposes only. Specifications, dimensions and construction subject to change without notice.

Copyright © 2018 ASP Holdings, Inc. All rights reserved.  
www.aspectled.com

PHYSICAL DIMENSIONS + SPECIFICATIONS

	12VDC	24VDC	120VAC
Light Fixture Dimensions	2.5" (65mm) Diameter 2.7" (71mm) Deep	2.5" (65mm) Diameter 2.7" (71mm) Deep	2.5" (65mm) Diameter 2.7" (71mm) Deep
Hole Size Dimension	1.85"	1.85"	1.85"
Input Voltage	12VDC	24VDC	120VAC
Dimmable	No	No	No
Power Consumption	3 Watts	3 Watts	3 Watts
Luminous Flux	175 Lumens for Single Color; 160 Lumens for RGB	175 Lumens for Single Color; 160 Lumens for RGB	175 Lumens for Single Color; 160 Lumens for RGB
LED Type	SMD LED Chips	SMD LED Chips	SMD LED Chips
LED Quantity	1 - High Power 3 Watt LEDs	1 - High Power 3 Watt LEDs	1 - High Power 3 Watt LEDs
Beam Angle	30 Degrees	30 Degrees	30 Degrees
Housing Material	Die-cast Aluminum	Die-cast Aluminum	Die-cast Aluminum
Trim Material	Polished 304 Stainless Steel; Clear Glass Lens	Polished 304 Stainless Steel; Clear Glass Lens	Polished 304 Stainless Steel; Clear Glass Lens
Operating Temperature	-4 to 113 Fahrenheit (-20 to +45 Celsius)	-4 to 113 Fahrenheit (-20 to +45 Celsius)	-4 to 113 Fahrenheit (-20 to +45 Celsius)
Weight	2 lbs	2 lbs	2 lbs
IP Rating	IP67	IP67	IP67
Lens	Optical, >85% efficient	Optical, >85% efficient	Optical, >85% efficient
Glass	Step-tempered 12mm thickness glass	Step-tempered 12mm thickness glass	Step-tempered 12mm thickness glass
Waterproof Seal	Double silicon gasketed seal	Double silicon gasketed seal	Double silicon gasketed seal
Mounting Sleeve	Included ABS Plastic Sleeve	Included ABS Plastic Sleeve	Included ABS Plastic Sleeve
Suitable Uses	Dry, Damp, or Wet Locations	Dry, Damp, or Wet Locations	Dry, Damp, or Wet Locations
Weight Rating	Can withstand normal passenger vehicle traffic	Can withstand normal passenger vehicle traffic	Can withstand normal passenger vehicle traffic
Average Lifespan	50,000 hours	50,000 hours	50,000 hours
Warranty	1 Year	1 Year	1 Year
Standards/Certifications	RoHS	RoHS	RoHS

TYPE 3 - EXTERIOR WALL WASHER LIGHTS

GROUND LIGHT WITH ADJUSTABLE BEAM ANGLE



DESCRIPTION

SPECIFICATION

Lamp Type	Long Life LED light source
Lumens Per Watt	100
Part L Compliant Luminaire	Yes
Lamps Included	Yes
Dimmable?	No
Construction	Stainless Steel Brushed
Wiring Details	Class 1 - Requires an Earth Connection
IP Rating	IP65
Kelvin	3000°K - Warm White
Driver	Includes integral driver/transformer suitable for 230 - 240v supply

CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

A507

LIGHTING DETAILS

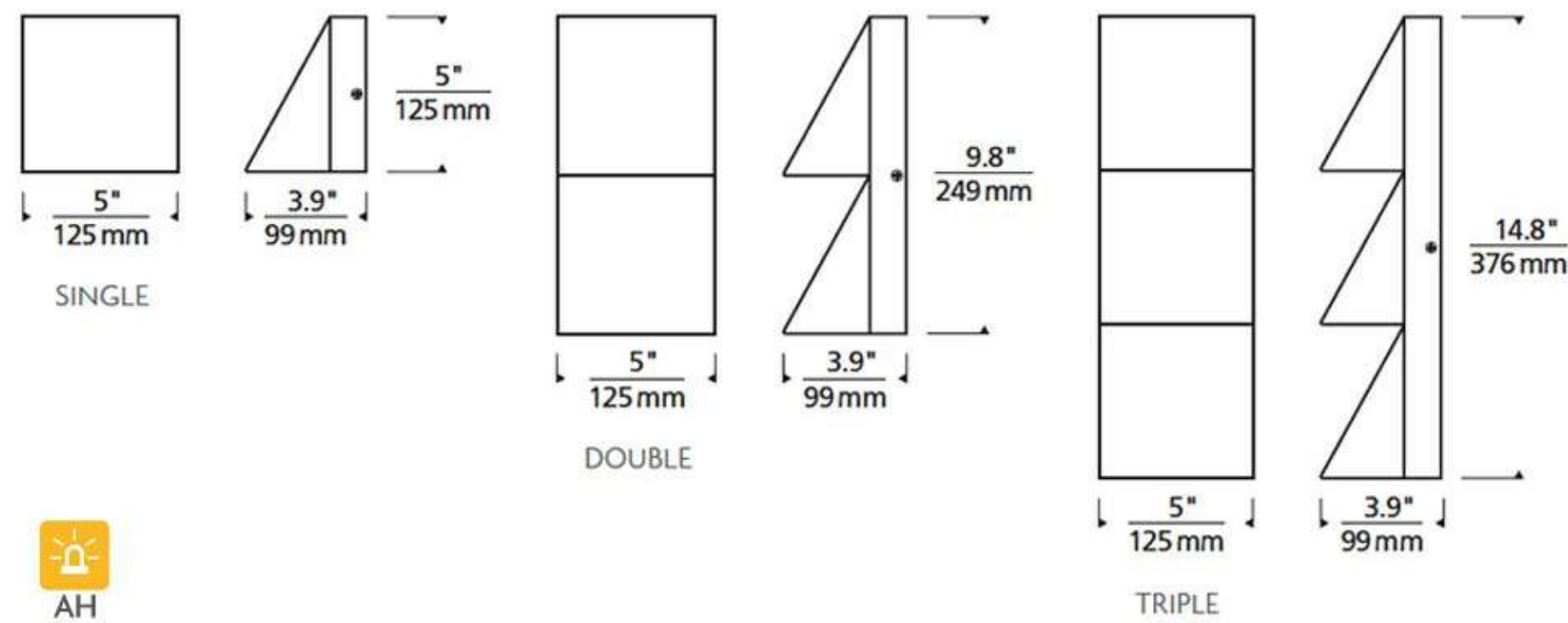




TYPE 4 - EXTERIOR WALL SCONES



PITCH



700WSPIT	SIZE	FINISH	LAMP
S	SINGLE	B BLACK	-LED830 LED 80 CRI 3000K 120V
D	DOUBLE	I SILVER	-LED830-277 LED 80 CRI 3000K 277V
T	TRIPLE		



TYPE 5 - EXTERIOR CANOPY LIGHTS

CDR8  
Commercial LED Downlight Retrofit

**Product Description**

The CDR8 is an 8 inch Recessed LED Commercial Retrofit Kit, designed to replace less efficient, traditional lighting fixtures with energy efficient LEDs. This 8 inch retrofit kit can replace most manufacturers incandescent, CFL, or HID fixtures with apertures of 7.72" min. to 8.26" max diameter. Easy conversion and installation can be performed from below the ceiling without removing the existing frame. The CDR8 is a great lighting solution for all commercial, retail, and institutional applications where high efficiency, low energy lighting is desired.

**Construction**

Spun aluminum reflector with integrated white trim and satin finish  
Aluminum heat sink routes heat away from electrical components

**Optical System**

Highly reflective faceted optical cone and textured diffuser create a uniform distribution of light

**Electrical**

Driver delivers full-range dimming from 0 - 10VDC  
External driver ensures steady performance and long lifespan  
Operating temperature rating of -68°F to 122°F (-20°C to 50°C)  
Universal input 120-277VAC  
LM-80 testing performed in accordance to IESNA standards

**Finish**

Satin aluminum reflector with integrated white trim

**Installation**

Easy installation into most 6" incandescent or fluorescent frames  
Integrated safety cable

**Warranty**

5-year limited system warranty standard

PRODUCT INFORMATION	
Height:	8.98" (228mm)
Width:	9.3" (236mm)
Driver Height	1.77" (45mm)
Driver Width	3.18" (81mm)
Driver Length	5.51" (140mm)



Ordering Information				
Example: CDR8-40W-UNV-40K-SN				
Series	AC Power (W)	Voltage (V)	Color Temp (K)	Reflector
CDR8	<input type="radio"/> 18W (1500 Lm) <input type="radio"/> 27W (2000 Lm) <input type="radio"/> 40W (3000 Lm)	UNV (120-277V, 0-10VDC Dimming)	<input type="radio"/> 35K (3500) <input type="radio"/> 40K (4000) <input type="radio"/> 50K (5000)*	SN (Satin)

\*5000K only available as special order. Contact NICOR for more info.

NICOR, Inc. 2200 Midtown Place NE, Albuquerque, NM 87107 P: 800.821.6283 F: 800.892.8393  
www.nicorlighting.com September 18, 2015 11:55 AM



CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

A508  
LIGHTING DETAILS





## **SECTION 7: Colors & Materials**

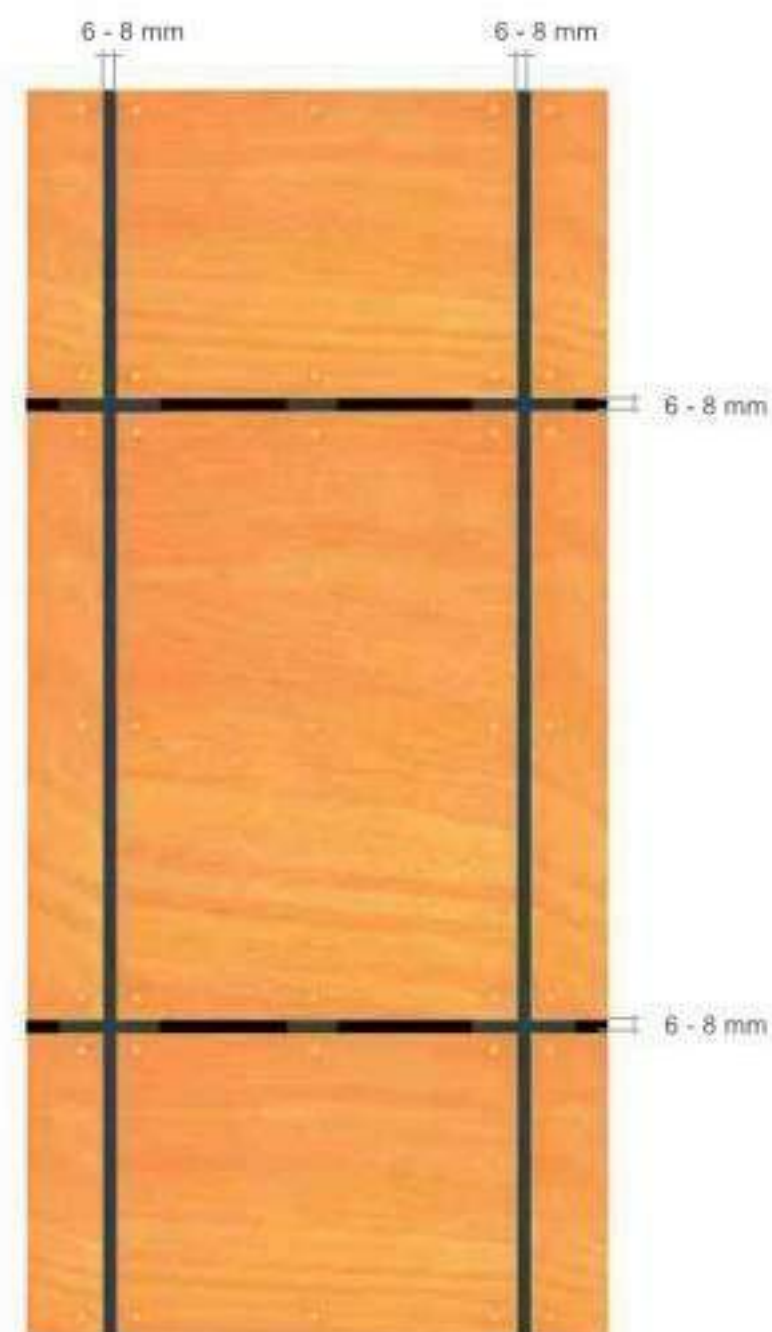
### **Building Materials and Color: Sheet A600**

- Siding:
  - SMOOTH FACE CMU by .....
  - Prodema ProdEX exteriors, color: Pale
  - Dri-Design painted Aluminum Panel, color: Green

### **Exterior Materials: Sheet A601 and A602**

- Metal trim and flashings, color: Black
- Concrete: Smooth finish, Color: Raw Sealed
- Entrance Door-
  - Commercial Entry Doors: KAWNEER TUFFLINE ENTRANCE SYSTEM
  - Utility Entrance Doors: Curries 707 Series- color match ProdEX wall
- Window materials.
  - Storefront: Kawneer Trifab VersaGlaze 450 Framing System, Color: Black.





### ProdEX. EXTERIORS

**ProdEX** is a construction kit for the cladding of ventilated façades made up of natural wood panels and the corresponding substructure. Each panel consists of a high density bakelite core, clad in a veneer of natural wood with a surface treated with synthetic resin and an exterior PVDF film, which lends greater durability to the panels, with anti-adherent properties, to protect the panel from solar radiation, atmospheric agents, dirt and the attacks of chemical products (anti-graffiti). Due to its high resistance, it does not require the typical maintenance of other woods for exteriors.

**ProdEX** panels are unique, no two are alike, each grain is different, which explains the difference in tone between them and which gives it a natural and authentic appearance that can be appreciated in the reflection of the light on its wood fibers.

At **Prodema**, we have invested a large part of our resources in constantly improving the quality of our products, subsequently obtaining different certificates of trials performed at independent laboratories. This is because our philosophy of continual improvement obliges us to obtain the most demanding quality certificates, such as the **ISO 9001** quality management standard.



FOR ADDITIONAL  
INFORMATION AND SPECS  
ON PROD EX VISET  
[www.prodema.com](http://www.prodema.com)



### DRI-DESIGN, PAINTED ALUMINUM

Available in any color, with the ability to match colors of your choice without expensive up charges – Dri-Design Painted Aluminum Panels offer the ultimate design flexibility for exterior and interior applications. Panels are painted using industry leading Fluoropolymer based paints for long lasting finish durability, while our finishers use a 100% air capture system to destroy the VOCs produced, so there is no adverse environmental impact.



FOR TECHNICAL INFORMATION  
PLEASE VISET [DRI-DESIGN.COM](http://DRI-DESIGN.COM)



SMOOTH FACE CMU  
COLOR: WHITE

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

## A600

COLORS & MATERIALS- SIDING

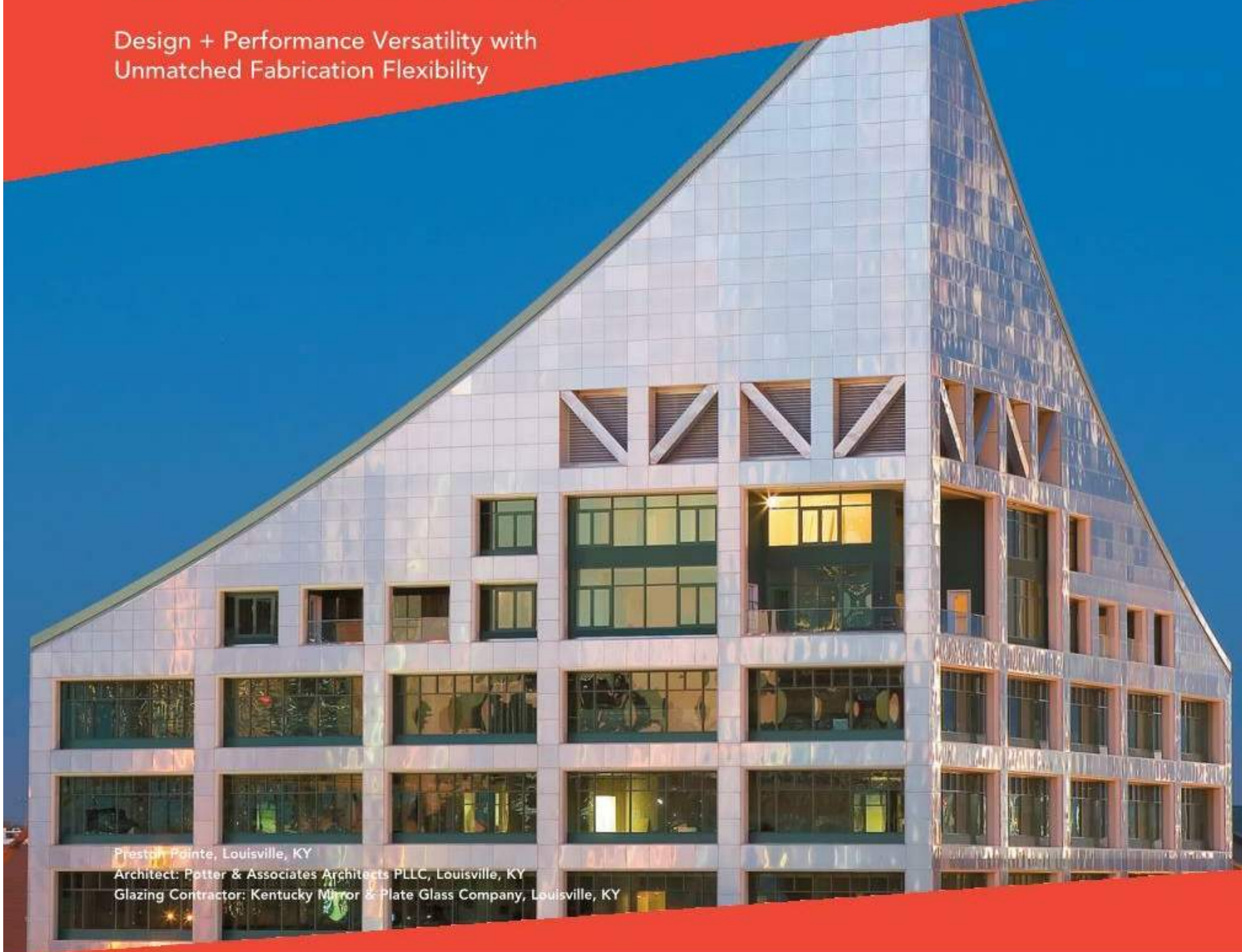




## Trifab™ VG (VersaGlaze™)

Trifab™ VG 450, 451 & 451T (Thermal) Framing Systems &  
Trifab™ 451UT (Ultra Thermal) Framing System

Design + Performance Versatility with  
Unmatched Fabrication Flexibility



Preston Pointe, Louisville, KY  
Architect: Potter & Associates Architects PLLC, Louisville, KY  
Glazing Contractor: Kentucky Mirror & Plate Glass Company, Louisville, KY

Trifab™ VersaGlaze™ is built on the proven and successful Trifab™ platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The Trifab™ VersaGlaze™ family's newest addition, Trifab™ 451UT (Ultra Thermal) framing system, is designed for the most demanding thermal performance and employs a “dual” Isolock™ Thermal Break.

### Aesthetics

Trifab™ VersaGlaze™ framing systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone glazing (SSG) and Weatherseal glazing options further expand the designers' choices, allowing for a greater range of design possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth – Trifab™ VersaGlaze™ 450 has 1-3/4" sightlines, while Trifab™ VersaGlaze™ 451/451T and Trifab™ 451UT have 2" sightlines.



# CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

## 190, 350 and 500 Standard Entrances

Single Source Packages  
Generate Versatile  
First Impressions



Garland Special Events Center, Garland, TX  
Architect: HKS, Inc., Dallas, TX  
Glazing Contractor: B & B Glass, Inc., Dallas, TX

Tough yet attractive, the clean lines of Kawneer's Standard Entrances are designed as a single-source package of door, door frame and hardware that is easily adaptable to custom requirements. Designed to complement new or remodel construction, modern or traditional architecture, they are engineered, constructed and tested to make good first impressions while withstanding the rigors of constant use by occupants and visitors.

### Performance

To resist both lever arm and torsion forces that constantly act on any door, all three entrances feature welded corner construction with Sigma deep penetration and fillet welds plus mechanical fastenings at each corner – a total of 16 welds per door. Each door corner comes with a Limited Lifetime Warranty, good for the life of the door under normal use operation. It is transferable from building owner to owner and is in addition to the standard two-year warranty covering material and workmanship of each Kawneer Door.



## A601

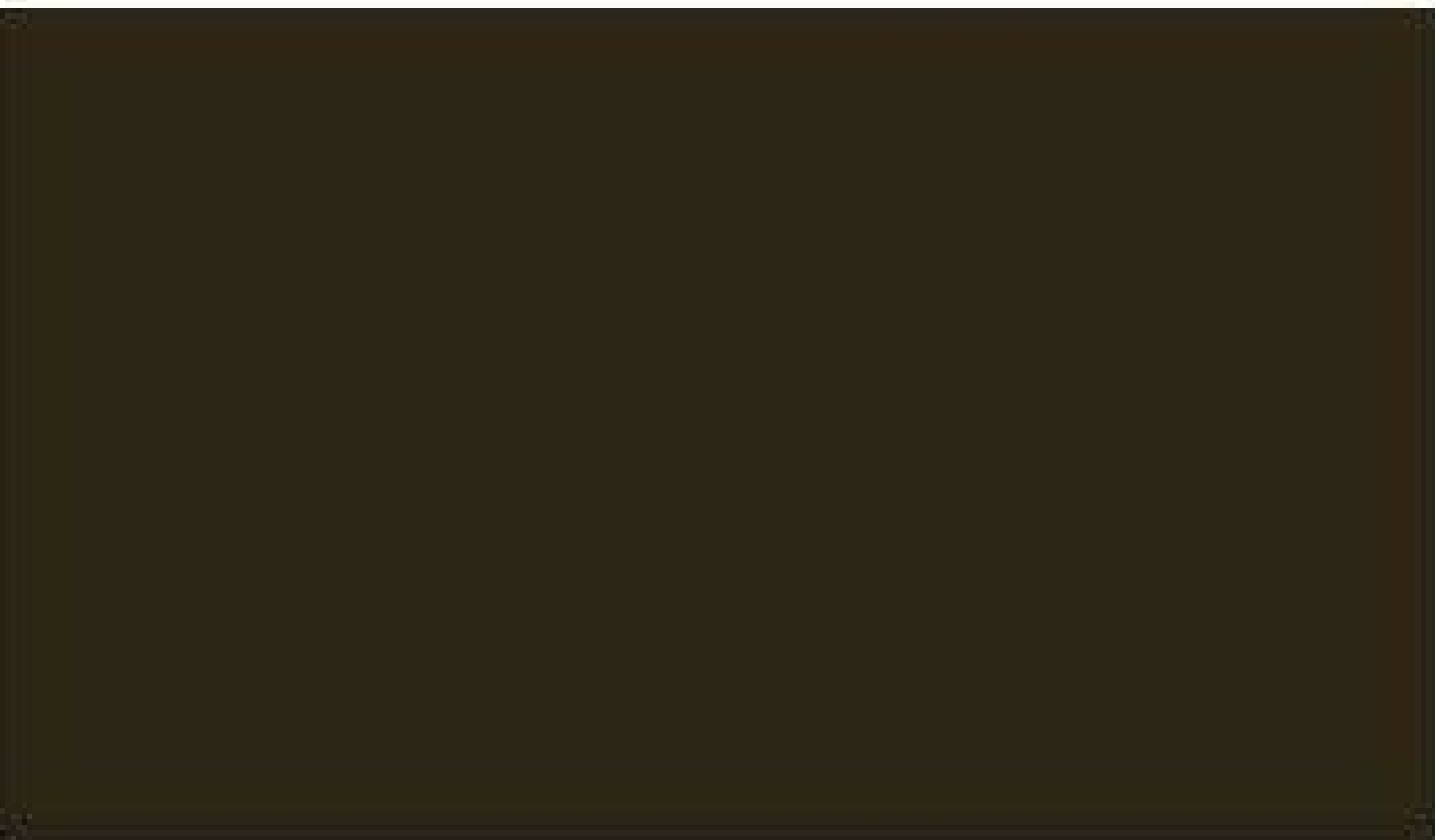
EXTERIOR MATERIALS



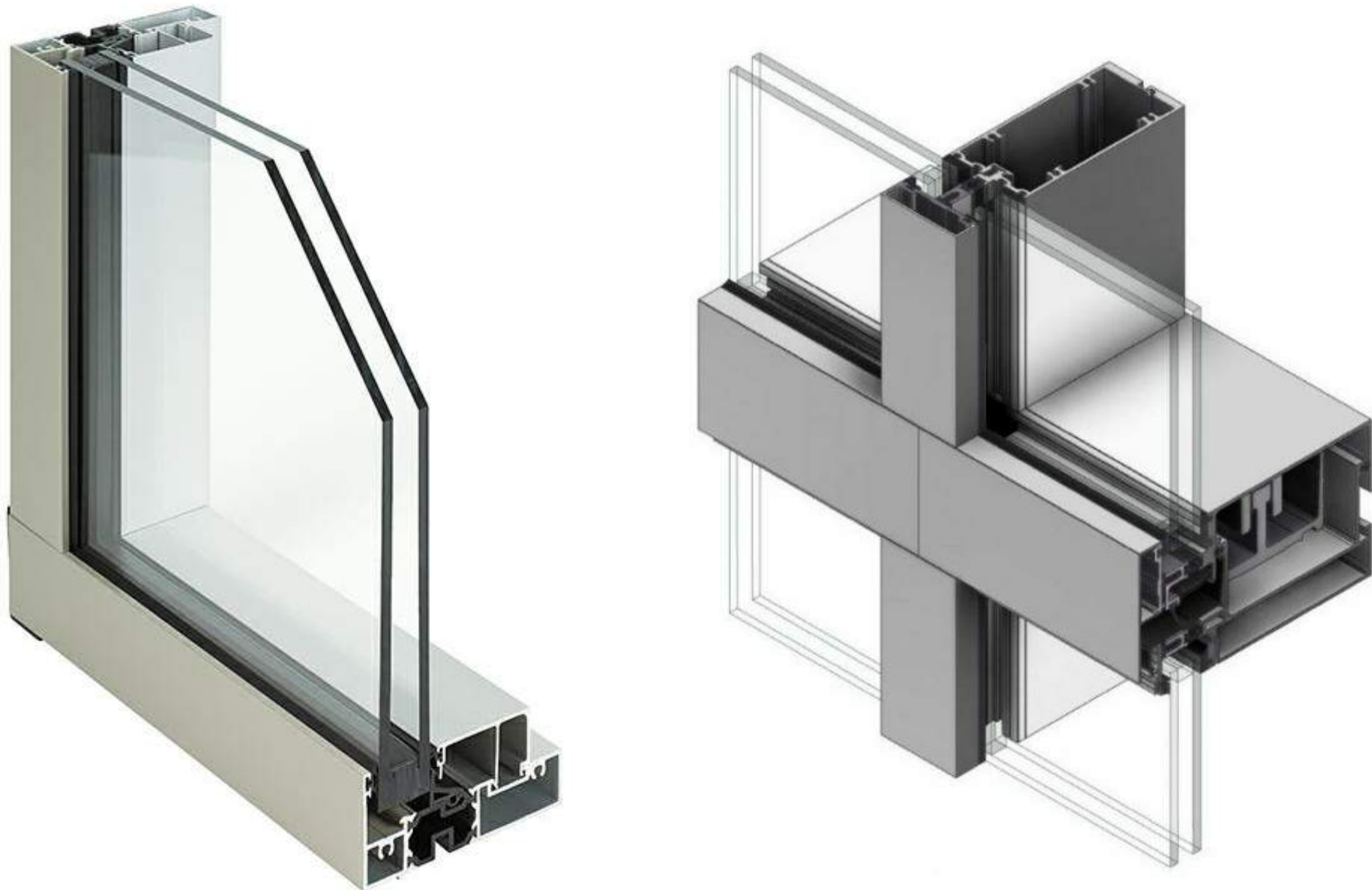




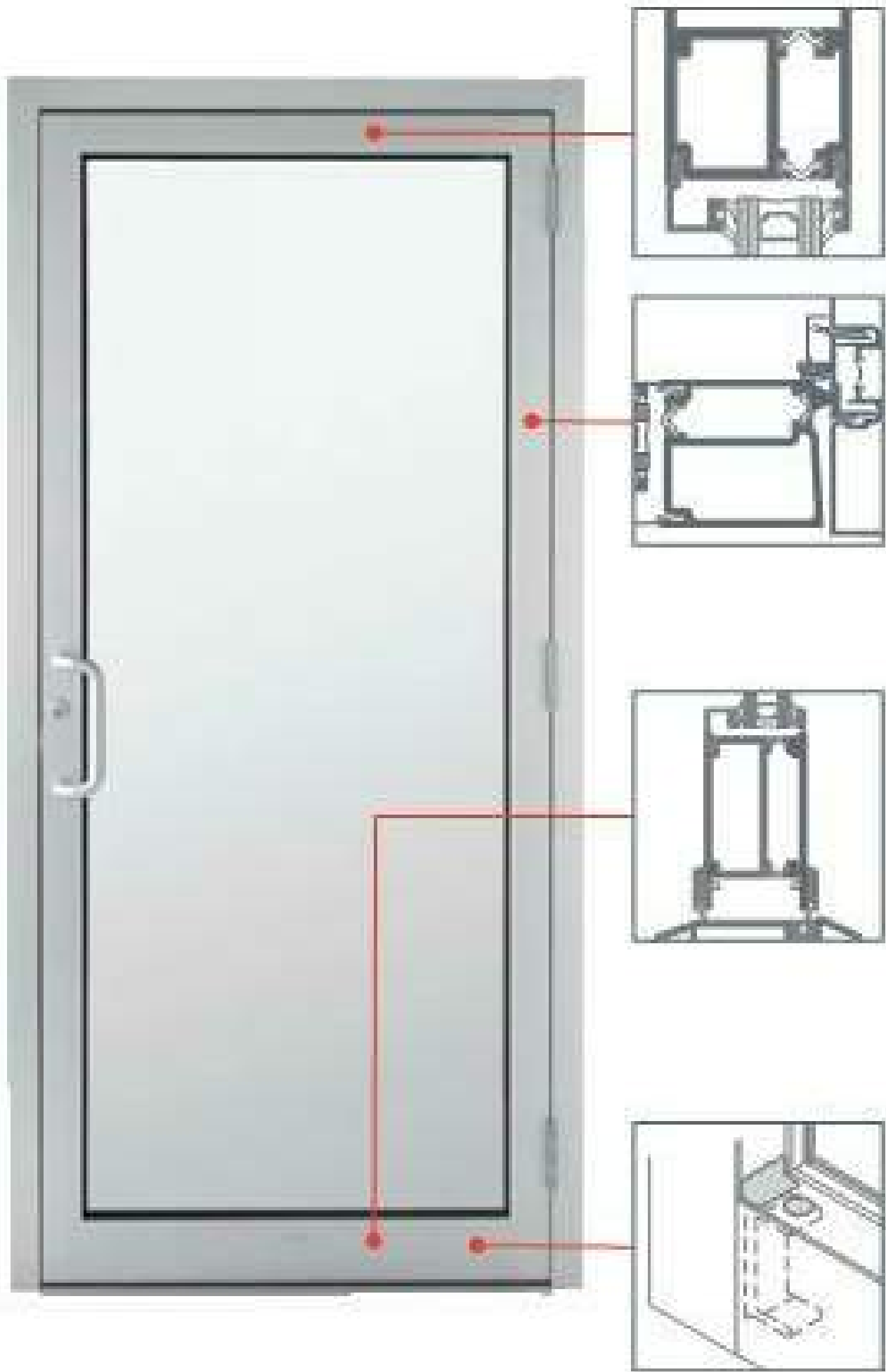
KAWNEER TUFFLINE ENTRANCE SYSTEM



STOREFRONT FRAME COLOR FINISH - DARK BRONZ



KAWNEER STOREFRONT DETAILS



KAWNEER STOREFRONT DOOR

707 Series - Composite



Standard Features

- Available with Embossed Panels
- Insulated Polystyrene Core (optional Polyurethane Core)
- 1-3/8 or 1-3/4 Inches Thick
- Polystyrene R-Factor - 5.1
- Polyurethane R-Factor - 10.04
- 16 Gauge Top & Bottom Channels
- 20, 18, 16 or 14 Gauge Face Skins
- Fire Rated up to 3 Hours
- Rugged Perimeter Channel Construction
- Sizes from 2068 to 50100
- Versatile and Dependable.

For more detailed information, please see the link below.

Find technical information here >>

SOLID CORE METAL DOORS  
CURIES, 707 SERIES  
COLOR: PER ARTWORK

# CAPITAL CHRISTIAN CENTER

Olympia, Washington

DESIGN DEVELOPMENT | 08/22/18

A602

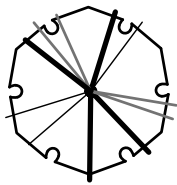
EXTERIOR MATERIALS





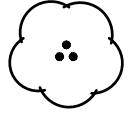
Aug 21, 2018 5:24:18pm - User: jll.mcfarland  
K:\PROJECTS\1835 THOMAS ARCHITECTURE STUDIO, INC\1835.03 CAPITAL CHRISTIAN CENTER REDEVELOPMENT\PHASE 20 - SCHEMATIC DESIGN AND SITE PLAN REVIEW PROCESS\CADD\1835.03 X-LS.DWG

CONCEPT PLANT SCHEDULE



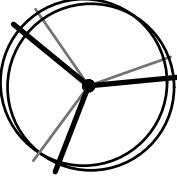
PARKING LOT TREE  
2" CAL. B&B/CONT., 12-14' HT. SINGLE STEM  
CARPINUS BETULUS 'FASTIGIATA' / PYRAMIDAL EUROPEAN HORNBEAM  
OSTRYA CARPINIFOLIA / EUROPEAN HOPHORNBEAM  
PARROTIA PERSICA 'RUBY VASE' / RUBY VASE PERSIAN PARROTIA

19



DECIDUOUS ACCENT TREE  
2" CAL. B&B/CONT., 12-14' HT. SINGLE STEM OR  
7'-8' HT. MULTISTEM, B&B/CONT.  
ACER CIRCINATUM / VINE MAPLE  
CORNUS NUTTALLII 'EDDIE'S WHITE WONDER' / EDDIE'S WHITE WONDER DOGWOOD  
MAGNOLIA X 'BUTTERFLIES' / MAGNOLIA

20



DECIDUOUS TREE  
2" CAL. B&B/CONT., 12-14' HT. SINGLE STEM  
GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST  
ULMUS X 'FRONTIER' / AMERICAN ELM

11



EVERGREEN TREE  
7' HT. MIN. B&B/CONT.  
CALOEDRUS DECURRENS / INCENSE CEDAR  
CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING ALASKA CEDAR

9



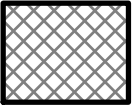
LOW GROWING EVERGREEN SHRUB  
2-5 GAL. CONTAINER, 3' O.C.  
COTONEASTER DAMMERI 'CORAL BEAUTY' / 'CORAL BEAUTY' COTONEASTER  
ILEX CRENATA 'SOFT TOUCH' / SOFT TOUCH JAPANESE HOLLY  
MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE

335



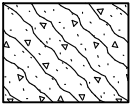
LOW GROWING DECIDUOUS SHRUB  
2-5 GAL. CONTAINER, 3' O.C.  
FOTHERGILLA GARDENII 'BLUE MIST' / BLUE MIST FOTHERGILLA  
ROSA X 'FLOWER CARPET PINK' / ROSE  
SPIRAEA JAPONICA 'NEON FLASH' / NEON FLASH SPIREA

233



NATIVE SHRUB MIX  
2 GAL. CONT. @ 3' O.C.  
PLANT LIKE SHRUBS IN GROUPS OF 5-7  
CORNUS STOLONIFERA 'KELSEYI' / KELSEY DOGWOOD  
MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE  
SYMPHORICARPOS X CHENAULTII 'HANCOCK' / HANCOCK CORALBERRY

4,310 SF



LOW EVERGREEN GROUNDCOVER  
1 GAL. CONT. 2'-2.5' O.C.  
ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS' / MASSACHUSETTS MANZANITA  
COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER  
RUBUS CALYCIINOIDES 'EMERALD CARPET' / EMERALD CARPET CREEPING RASPBERRY

4,837 SF

REFERENCE NOTES SCHEDULE

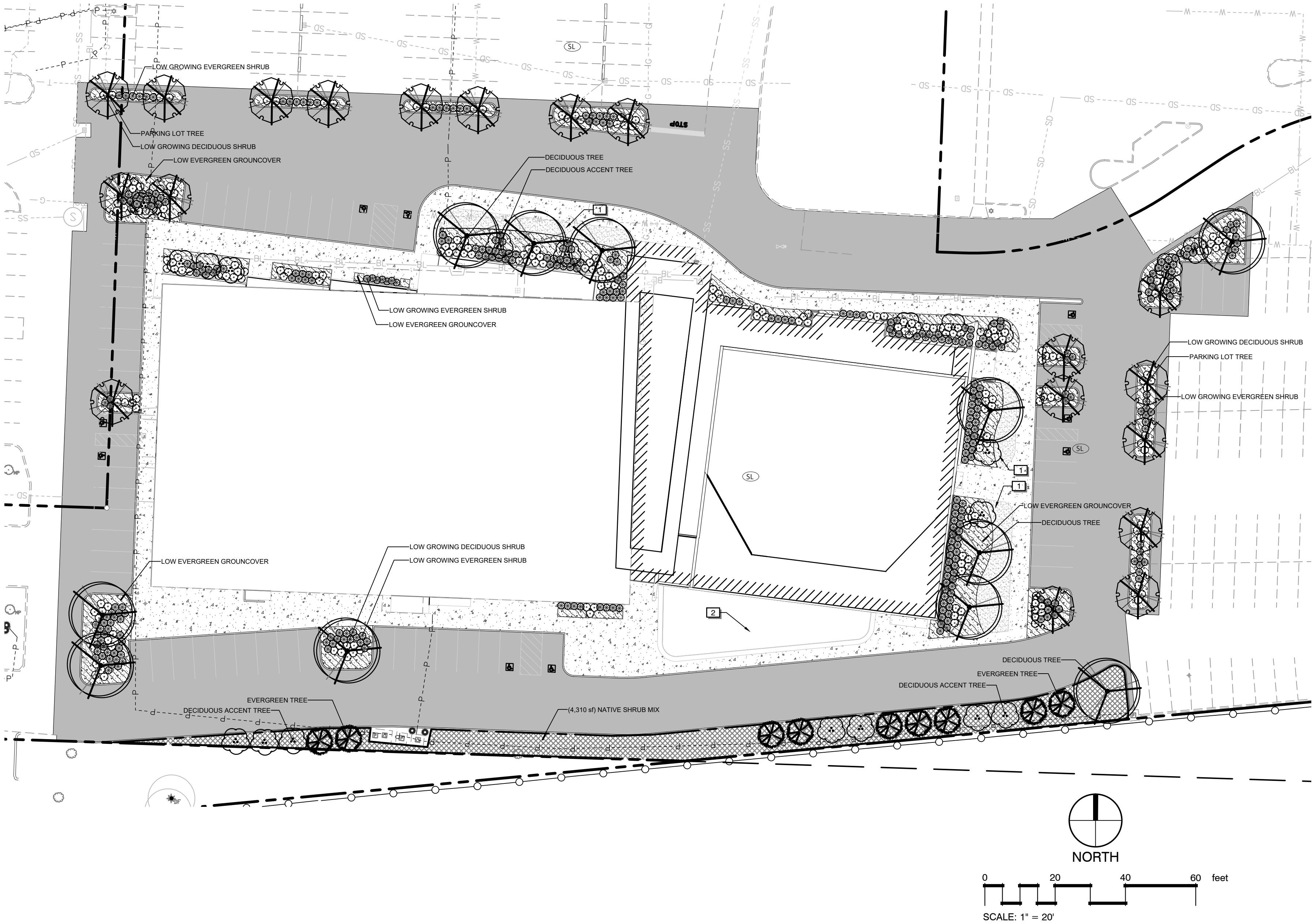
SYMBOL	DESCRIPTION	QTY
1	SOD LAWN, TYPICAL	1,444 SF
2	PLAYGROUND AREA BY OWNER	

TREE UNIT CALCULATIONS

BUILDABLE SITE AREA	8.33 ACRES (362,855 S.F.)
REQUIRED TREE UNITS	30 UNITS / ACRE = 250
EXISTING TREE UNITS TO REMAIN (all parcels)	180
NEW TREE UNITS PROVIDED	59
TOTAL SITE TREE UNITS	239
TREE UNIT SHORTAGE	11

SHEET NOTES

- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
- ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
- PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUNDCOVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
- ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



**SCJ ALLIANCE**  
CONSULTING SERVICES  
8730 TALLON LANE NE SUITE 200, LACEY, WA 98516  
P: 360.352.1465 F: 360.352.1509  
SCJALLIANCE.COM

**PRELIMINARY LANDSCAPE PLAN**  
PROJECT NAME:  
**CAPITAL CHRISTIAN CENTER**  
4431 MARTIN WAY E  
OLYMPIA, WA

SEAL:  
STATE OF WASHINGTON  
JEFFREY B. GLANDER  
LANDSCAPE ARCHITECT  
NO. 408 EXP. 02/06/2018

DESIGNER:  
J. MCFARLAND  
DRAWN BY:  
J. MCFARLAND  
APPROVED BY:  
J. GLANDER  
DATE:  
AUGUST, 2018  
JOB NO:  
1835.03  
DRAWING FILE NO:  
1835.03 X-LS  
DRAWING NO:  
L1.01  
SHEET NO:  
1 OF 1