



April 24, 2019

Nicole Floyd
Senior Planner
City of Olympia
601 4th Ave. E
Olympia, WA 98501

Re: Pattison North Parcel Expansion
Intercity Transit
SCJ Project #1874.03

Dear Nicole:

We are pleased to submit our application for Conditional Use Permit and Conceptual Design Review for the Pattison North Parcel Expansion at the Intercity Transit facility on Martin Way and Pattison Street. This project is the continuation of the north site development which is the subject of a Development Agreement between the City of Olympia and Intercity Transit. Phase 1 construction was completed 2016. This application is to construct Phase 2 which is the expansion into the entire northern parcel. This project includes the construction of two buildings, a new administration and operations office building and a fueling and maintenance facility, as well as additional parking and vehicular drive aisles and other appurtenant facilities.

Per the Developer Agreement, the site construction has been designed per the requirements of the 2015 Olympia Municipal Code (OMC), 2009 Drainage Design and Erosion Control Manual (DDECM) and the 2015 Engineering Design and Development Standards (EDDS).

We have prepared this letter to highlight a few items that have been previously discussed at the two pre-submission meetings and other discussions to aid in your review of the attached documents:

Project Overview

This project is the continuation or Phase 2 of the development addressed in the previously mentioned Developer Agreement. It will include the construction of a new approximately 43,500 square foot administration and operations building, an approximately 24,800 square foot fuel, wash and facilities building and associated parking and vehicular movement areas. Employees and operations in the existing administration and operations building on the adjacent south site will move to the new building once construction is completed. The existing administration and operations building will remain vacant. The future master plan of the overall Intercity Transit facility is being finalized but it is anticipated that this building will be demolished at a future as yet to be determined date.

Frontage Improvements

Frontage improvements along Martin Way and Pattison Street including a new signal, street widening, addition of sidewalks, etc. have previously been designed, permitted and are currently under construction. This construction also included utility stubs to the north site for water and sewer and construction of the new driveway aprons proposed on Pattison Street and Martin Way. Construction will be completed summer of 2019.

Lot Consolidation/Boundary Line Adjustment

At this time, we are not proposing a lot consolidation or boundary line adjustment. Although this might be beneficial to address some requirements, removal of the lot line has stormwater implications that make this approach undesirable. It is understood that keeping the lot line will have setback and landscape requirements. We have generally provided at least 5 feet of landscaping area between parking and the property line in the proposed Phase 2 areas. The existing areas that were part of the Phase 1 construction were not retrofitted to include of landscaping at the south property line. It is assumed that, since Phase 1 is existing and was permitted for construction without that 5-foot area, retrofitting would not be required.

Stormwater Management

A large underground stormwater infiltration facility was built during Phase 1 but was designed to have capacity for the future construction of Phase 2. Stormwater treatment facilities were also installed. It was determined that these facilities also have capacity to accommodate the added areas of the new construction that require treatment. Therefore, for this project the only stormwater systems required are for capture and conveyance.

Parking

The north site, including both the previously constructed Phase 1 and this new Phase 2 construction, does not have sufficient space to provide all required employee parking. Rather, parking for employees is being addressed on overall campus basis with much of the employee parking being present on the south parcel. It is understood that this arrangement will need a formally recorded cross parking agreement subject to review by the city.

Much of the parking on-site is in fact vehicle storage. Vehicle storage areas have been identified in the project drawings. Vehicle storage has been proposed for both current inventory plus projected growth.

Pervious/Impervious Area

The site has been designed to meet the impervious limits of HDC-4 zoning per the 2015 OMC. Proposed pervious areas include landscaping and pervious pavement. The impervious and pervious area calculations have been provided in the project drawings.

Trees

Per the Developer Agreement, the north site has a requirement to plant 80 tree units on-site. Per the attached landscaping plans, 84 tree units are currently proposed.



Solid Waste

No new solid waste facilities are proposed. Solid waste from the new facilities will be transported to the existing trash compactor and recycling dumpster currently accessed by the City's waste collection services. See attached plans for location.

We look forward to continuing to work with you on this project. Please feel free to call me if you need any additional information or clarification of the items in this letter, the submittal materials or any other portion of the application.

Respectfully,
SCJ Alliance

A handwritten signature in purple ink, appearing to read "Jared VerHey".

Jared VerHey, PE
Project Manager

N:\Projects\1874 Stantec Architecture, Inc\1874.03 Intercity Transit North Site Development\Correspondence\Submittals\2019 04 24 CUP Submittal\Narrative Cover Letter.docx



DESIGN REVIEW APPLICATION - CONCEPT

OFFICIAL USE ONLY

Case #: _____ Master File #: _____ Date: _____
Received By: _____ Project Planner: _____ Related Cases: _____

Project Name: Intercity Transit North Site Improvements

Site Address: 3000 Martin Way Blk Olympia, WA 98501

Applicant Name: Steve Krueger, Intercity Transit

Phone Number: (360) 705-5833

E-Mail Address: skrueger@intercitytransit.com

Project Narrative: Development of the north site to include two new building; a new administration building and a new maintenance and fuel building as well as parking, circulation areas and utilities.

Submittal Requirements:

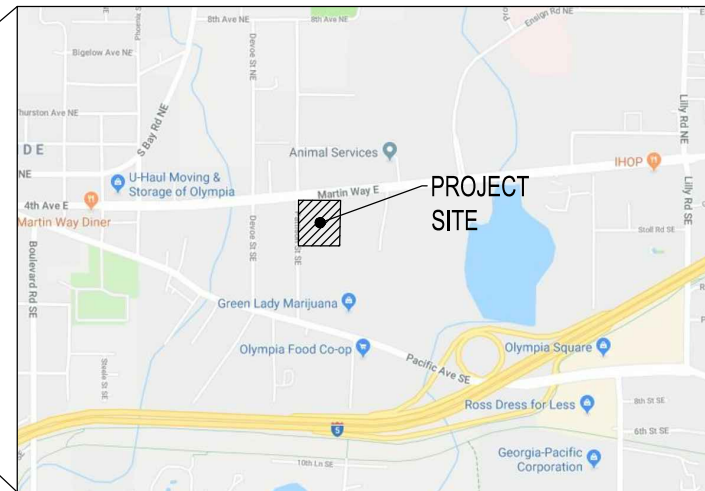
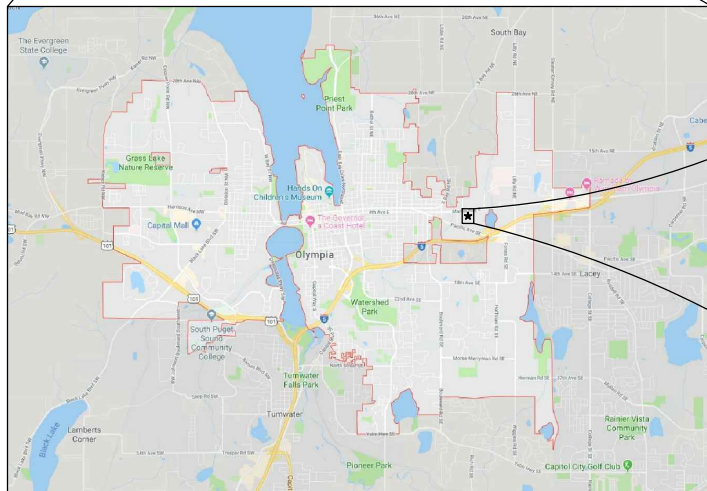
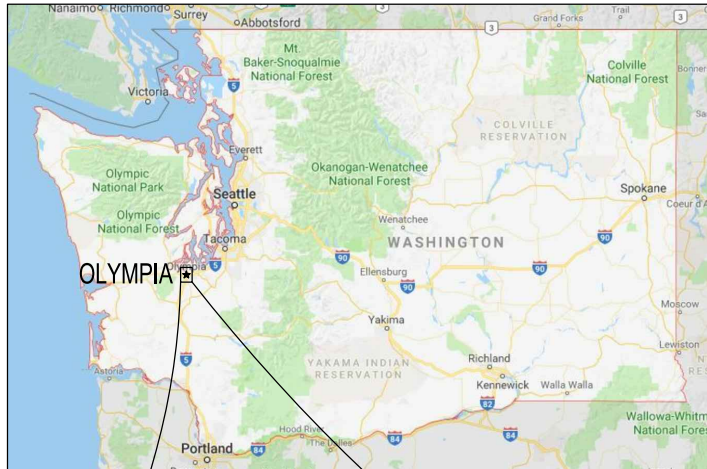
1. **General Land Use Application**
2. Narrative describing the proposal
3. Vicinity map depicting location of project with respect to nearby streets and other major features, and encompassing at least one square mile, and not more than forty square miles.
4. Two (2) full-sized (24"X36") and one reduced (11"X17") set of each of the following plans, **plus** digital files of (entire) architectural design packet (memory disc, via ftp, CD, other). **Items below shall be submitted as one individual architectural plan set/packet (separate from engineering plan set).**
5. Context Plan including plan and elevation views in relation to surrounding properties illustrating:
 - ☐ Footprint(s) of proposed and existing buildings, including those within 100' of the project site on the same side of the street.
 - ☐ Scaled elevations of proposed and existing buildings, including those within 100' of the project site on the same side of the street.
6. Preliminary Site Plan illustrating:
 - ☐ Property lines with distances.
 - ☐ Adjacent public rights-of-way.
 - ☐ Existing and proposed grades at 2-foot contour intervals.
 - ☐ Existing and proposed site features, including stormwater facilities.
 - ☐ Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
 - ☐ Location of above ground mechanical or utility equipment.
 - ☐ Clearly delineated and labeled landscape, hardscape, and building areas.
 - ☐ Parking area layout, including loading areas, and short and long-term bicycle parking.
 - ☐ Solid waste collection location.
6. Preliminary Landscape Plan illustrating:
 - ☐ All features included in the preliminary site plan.
 - ☐ Location of existing (to remain) and proposed plants.

- ☐ Type of existing and proposed plants (i.e., groundcover, shrub, tree), include native (N) or non-native (NN).
- ☐ Graphic depiction of the size of proposed tree canopies at maturity on plan.
- ☐ Clearly delineated and labeled landscape, hardscape, and building areas.

7. Preliminary Building Elevations (fully scale and dimension each elevation) illustrating:

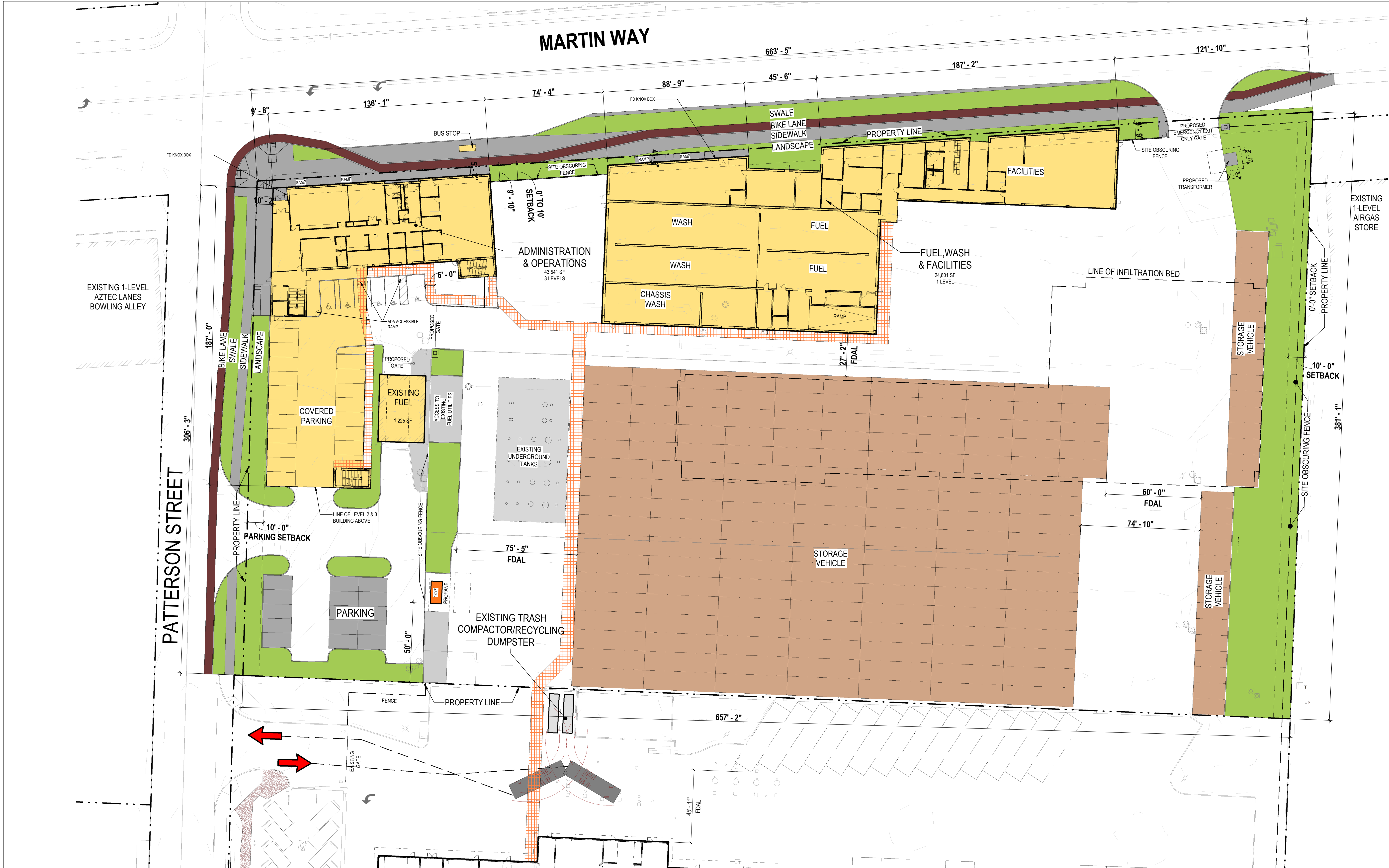
- ☐ Building elevations of all sides of the building(s) labeled north, south, east and west elevation.
- ☐ Finished floor elevations
- ☐ Location of exterior steps and stairways.
- ☐ Location of building doors and windows.
- ☐ Area(s) on building where signs will be installed.

VICINITY MAP



NTS

A PORTION OF SEC 18, T18N., R1W., W.M.
OLYMPIA, WA



FIRE DEPARTMENT STANDARDS:
FIRE DEPARTMENT ACCESS LANE = FDAL
MINIMUM UNOBSTRUCTED WIDTH = 24'-0"

NORTH PARCEL: HDC-4 DEVELOPMENT STANDARDS:

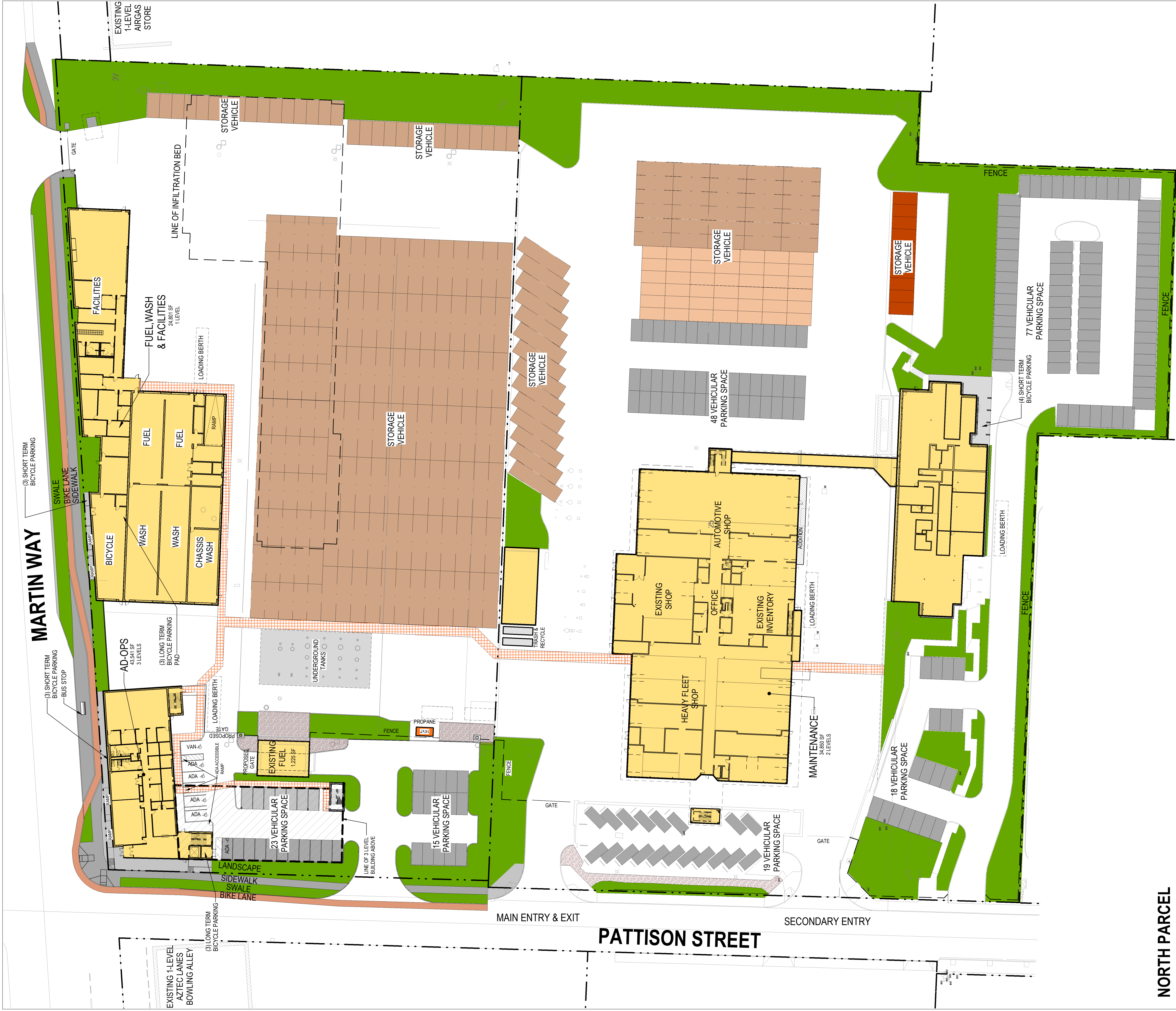
SETBACK
FRONT SETBACK = 0 - 10'
REAR SETBACK = 0' *
SIDE YARD SETBACK = 0' for buildings
PARKING LOT SETBACKS:
FRONT 10' of perimeter landscaping
WEST SIDE: 10' with type I landscape buffer
REAR: 0' *
*south parcel is same owner

STREET FRONTAGE IMPROVEMENTS:
MINIMUM = 50%
MAXIMUM = 70%

PROPOSED STREET FRONTAGE IMPROVEMENTS = 62%

MAXIMUM DISTANCE BETWEEN BUILDINGS = 80'
PROPOSED DISTANCE BETWEEN BUILDINGS = 74'-8"

BY	
DATE	
REVISIONS	
▲	
Stantec	
STANTEC ARCHITECTURE 1050 17TH STREET, SUITE A200 DENVER, CO 80245	
CONTEXT AND SITE PL	
INTERCITY TRANSIT PATTISON NORTH PARCEL EXPANSION OLYMPIA, WASHINGTON	
SHEET TITLE:	
SEAL:	
12373 REGISTERED ARCHITECT	
ANDREW M. MALEY STATE OF WASHINGTON	
DESIGNER:	
DRAWN BY:	
APPROVED BY:	
DATE: APRIL 24, 2019	
JOB NO: 1874.03	
DRAWING FILE NO:	
DRAWING NO: A-013	
SHEET NO: 13 OF 23	



NORTH PARCEL

PARKING STANDARDS:
18.38 REQUIRED NUMBER OF PARKING STALLS BASED ON GROSS SF/AREA PER BUILDING

3-Story AD-OPS: OFFICE, GENERAL
34,620SF / ONE SPACE FOR EACH 350SF

FUEL/WASH/FACILITIES: INDUSTRIAL:

ONE FOR EACH TWO EMPLOYEES

ON LARGEST SHIFT / LARGEST SHIFT IS 25

TOTAL

30% can be compact spaces 8' x 15' = 34 spaces
*18.38/160.A 10% reduction in Parking Requirements for
HDC-4 District (reduction of 11 spaces) = 101 vehicle
parking spaces required

SOUTH PARCEL

ADMINISTRATION/OPERATIONS: OFFICE, GENERAL
23,080SF / ONE SPACE FOR EACH 350SF

MAINTENANCE BLDG: INDUSTRIAL

ONE FOR EACH TWO EMPLOYEES

ON LARGEST SHIFT / LARGEST SHIFT IS 33

TOTAL

30% can be compact spaces 8' x 15' = 25 spaces

COMBINED PARCELS

VEHICLES REQD	LONG-TERM BICYCLE	SHORT-TERM BICYCLE	ADA	VISITOR	LOADING BERTH
101*	6	6	5**	none listed	2 (10' x 45' long)
83	4	4	4**	none listed	2 (10' x 45' long)
184	8	10	9**	none	4 (shared)
TOTAL SHOWN	8	10	9**	4	4 (shared)

** (1) Van Accessible Space Required

DESIGNER:
DRAWN BY:
APPROVED BY:

DATE:
JOB NO:
DRAWING FILE NO:

DRAWING NO:
A-014

SHEET NO:
14 OF 23

SHEET TITLE:

PARKING PLAN

INTERCITY TRANSIT
PATTISON NORTH PARCEL EXPANSION
OLYMPIA, WASHINGTON

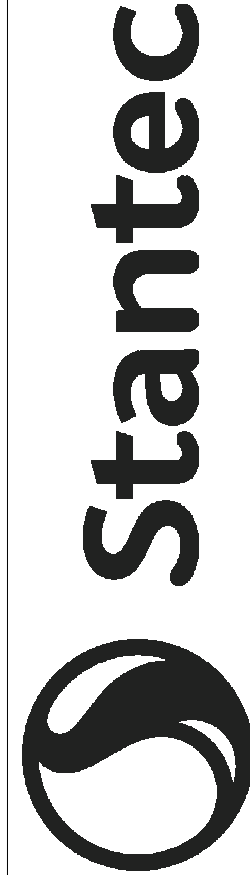
PROJECT NAME:



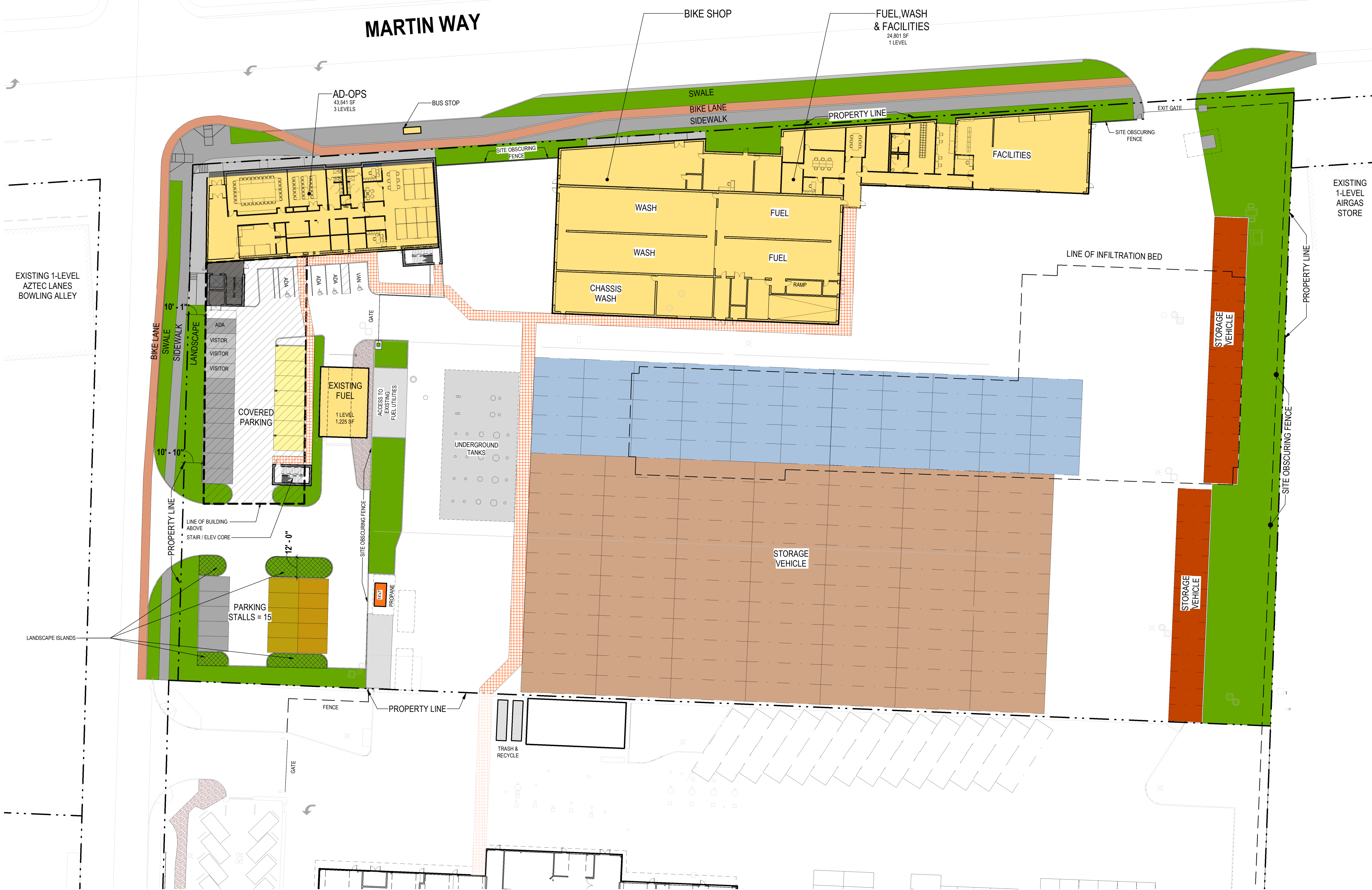
REVISIONS

DATE

BY



STANTEC ARCHITECTURE
1050 17TH STREET, SUITE A200
DENVER, CO 80245



LANDSCAPED AREA LEGEND

PAVING

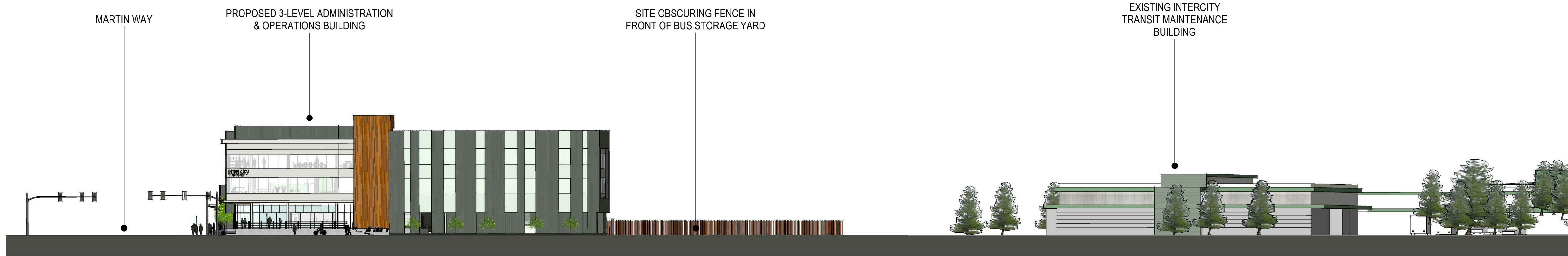
LANDSCAPED AREA

LANDSCAPING STANDARDS:
INTERIOR PARKING LOT LANDSCAPING
38 stalls x [31 sqft/stall] = 1,178 sqft required*
*20 vehicles are covered by the building above

18 stalls x [23 sqft/stall] = 414 sqft required
LANDSCAPE ISLANDS = 1,060 sqft proposed

LANDSCAPE BUFFERS REQUIRED
NORTH = 10' (*in areas between buildings)
SOUTH = 0'
EAST = 10'
WEST = 10'

BY	
DATE	
REVISIONS	
▲	
Stantec STANTEC ARCHITECTURE 1050 17TH STREET, SUITE A200 DENVER, CO 80245	
LANDSCAPE STANDARDS INTERCITY TRANSIT PATTISON NORTH PARCEL EXPANSION OLYMPIA, WASHINGTON	
SHEET TITLE: LANDSCAPE STANDARDS	
PROJECT NAME: INTERCITY TRANSIT PATTISON NORTH PARCEL EXPANSION OLYMPIA, WASHINGTON	
SEAL: 12373 REGISTERED ARCHITECT ANDREW M. MALEY STATE OF WASHINGTON	
DESIGNER:	
DRAWN BY:	
APPROVED BY:	
DATE: APRIL 24, 2019	
JOB NO: 1874.03	
DRAWING FILE NO:	
DRAWING NO: A-016	
SHEET NO: 16 OF 23	




C4
A-017
PATTISON STREET ELEVATION
1" = 30'-0"



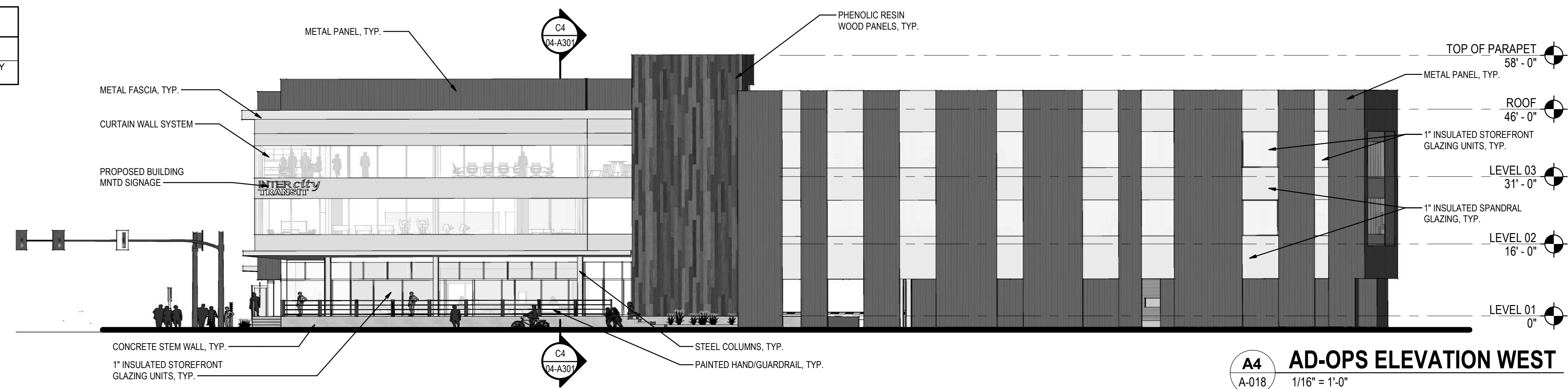
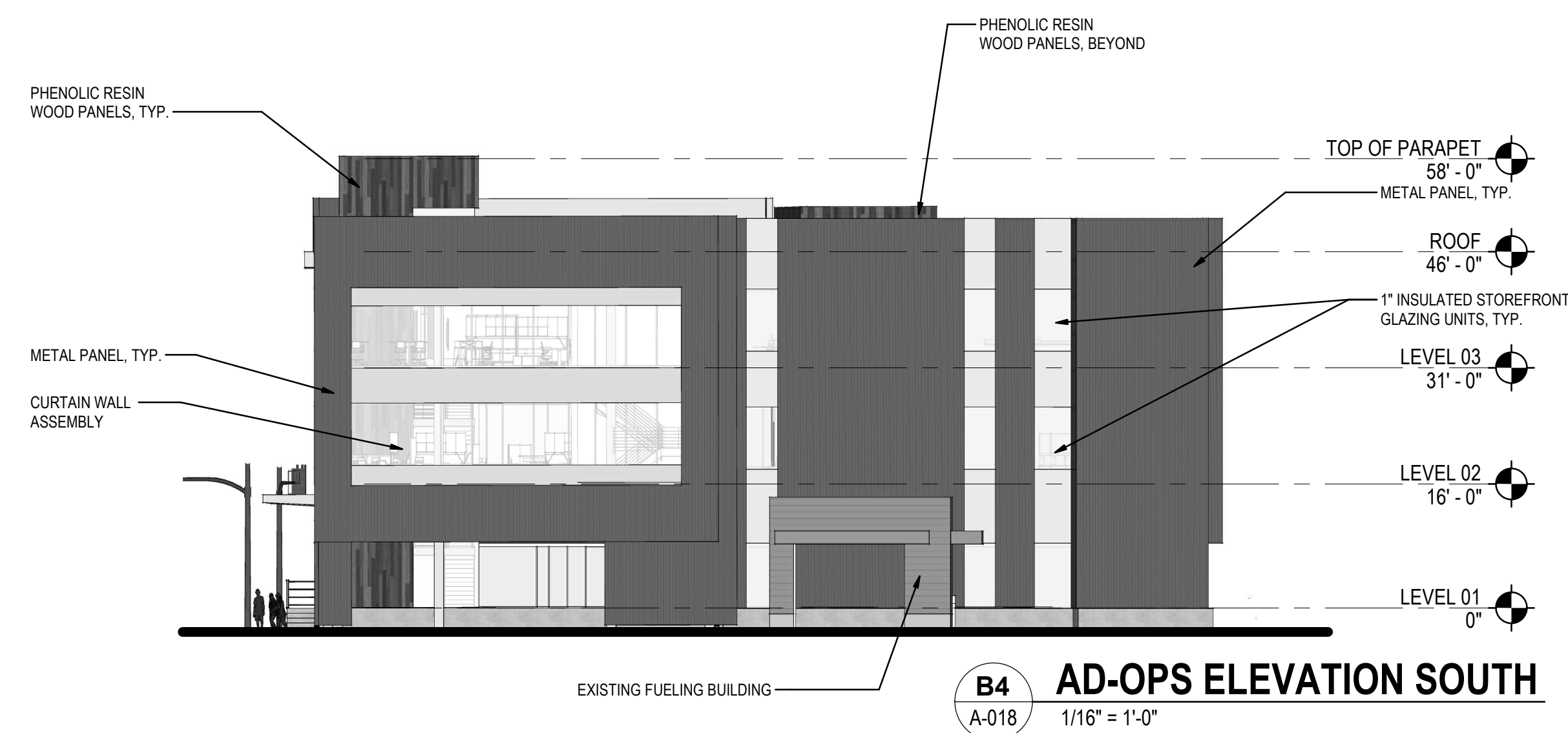
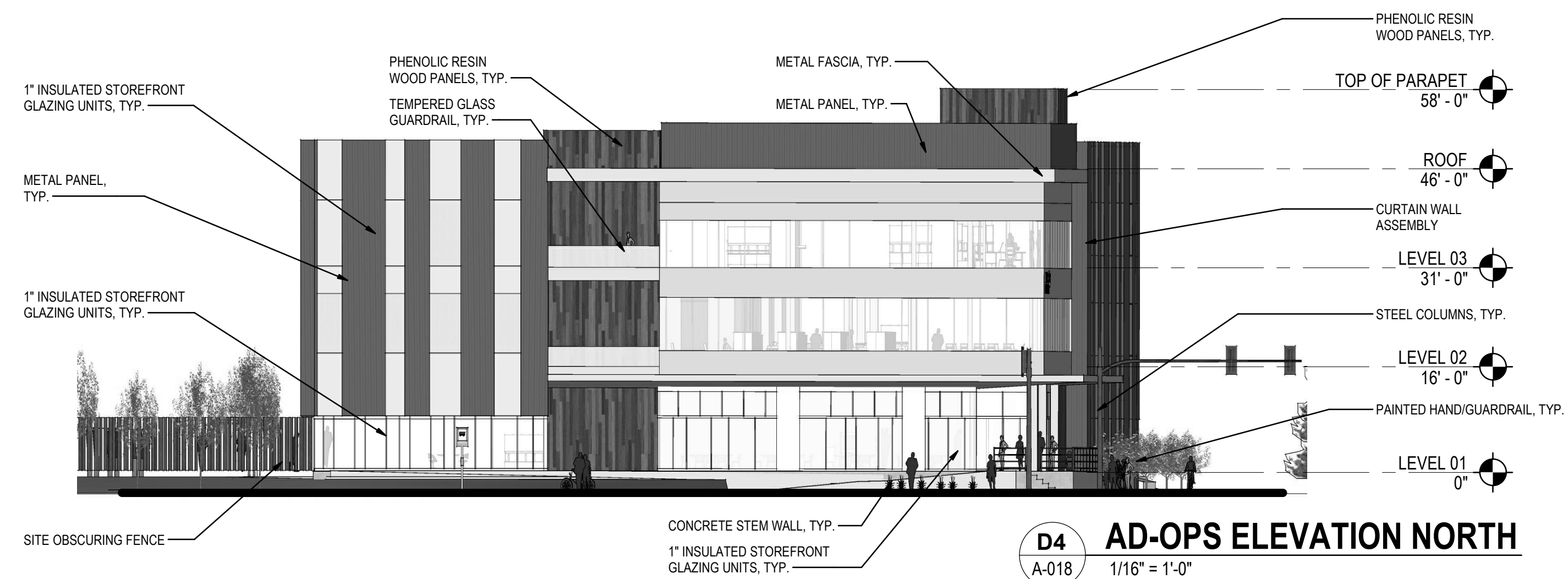
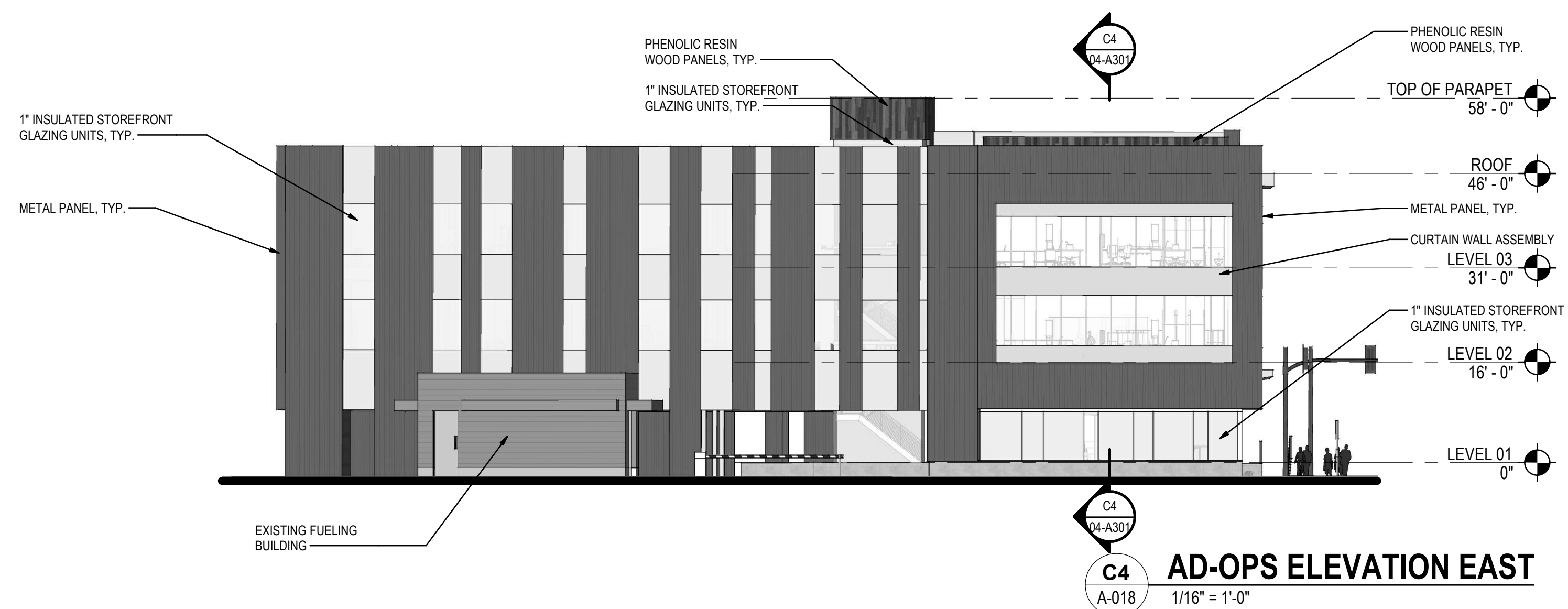
A4
A-017
MARTIN WAY STREET ELEVATION
1" = 30'-0"

REVISIONS		DATE	BY



**Stantec**

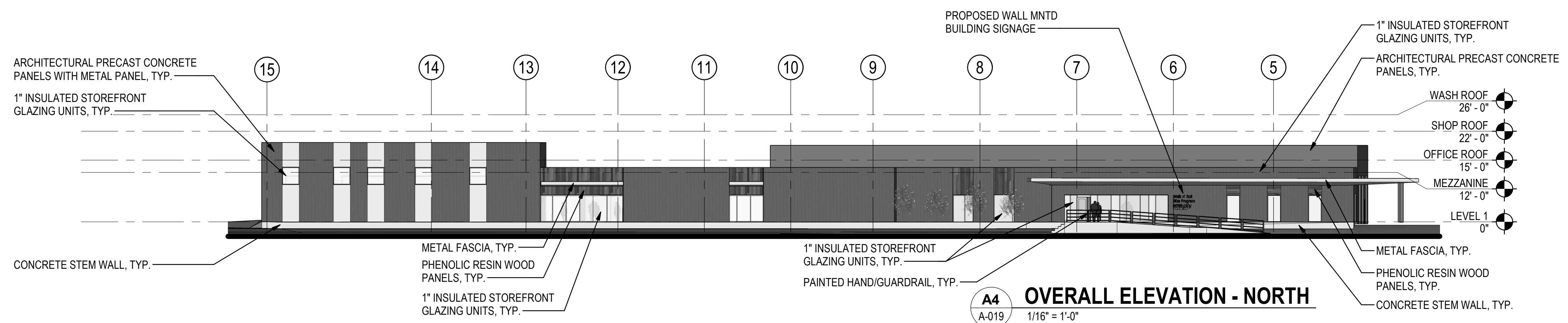
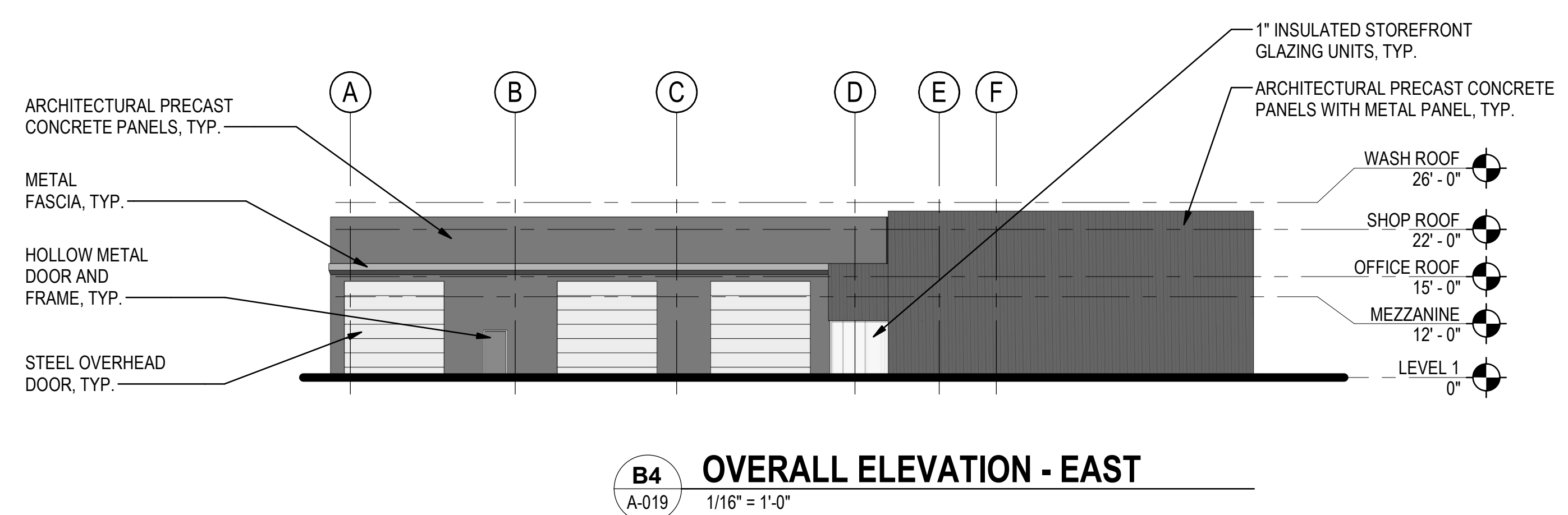
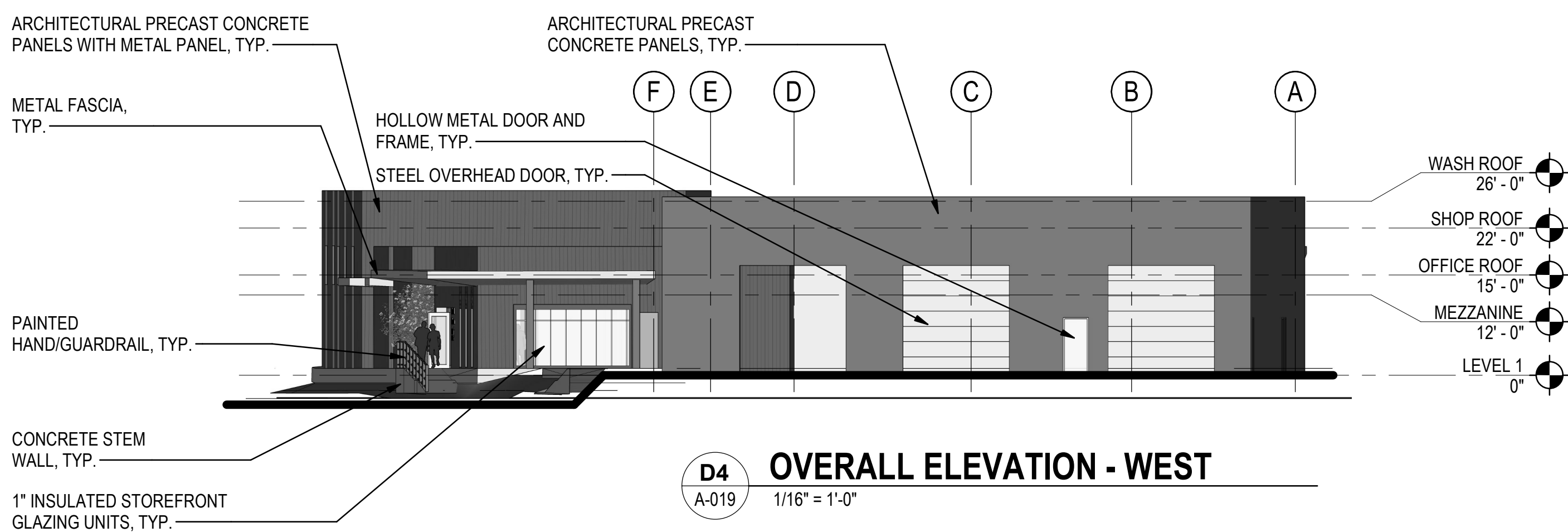
STANTEC ARCHITECTURE
1050 17TH STREET, SUITE A200
DENVER, CO 80245

SHEET TITLE: CONTEXT ELEVATIONS	PROJECT NAME: INTERCITY TRANSIT PATTISON NORTH PARCEL EXPANSION OLYMPIA, WASHINGTON			
	SEAL: <div>12373 REGISTERED ARCHITECT ANDREW M. MALEY STATE OF WASHINGTON</div>			
DESIGNER:				
DRAWN BY:				
APPROVED BY:				
DATE: APRIL 24, 2019				
JOB NO: 1874.03				
DRAWING FILE NO:				
DRAWING NO: A-017				
SHEET NO: 17 OF 23				








BUILDING ELEVATION NOTES	
1	EXTERIOR WALL ASSEMBLY IS A RAIN SCREEN SYSTEM
2	ALL GLAZING WILL COMPLY WITH CURRENT ENERGY CODES

 Stantec STANTEC ARCHITECTURE 1050 17TH STREET, SUITE A200 DENVER, CO 80265	REVISIONS	DATE	BY
	▲		
SHEET TITLE: BUILDING ELEVATIONS ADMINISTRATION & OPERATIONS	PROJECT NAME: INTERCITY TRANSIT PATTISON NORTH PARCEL EXPANSION OLYMPIA, WASHINGTON	SEAL:	
		<div>12373  REGISTERED ARCHITECT ANDREW M. MALEY STATE OF WASHINGTON</div>	
DESIGNER:			
DRAWN BY:			
APPROVED BY:			
DATE: APRIL 24, 2019			
JOB NO: 1574.03			
DRAWING FILE NO:			
DRAWING NO: A-018			
SHEET NO: 18 OF 23			



BUILDING ELEVATION NOTES	
1	PRECAST ELEVATIONS PROVIDED FOR REFERENCE ONLY, SEE SHOP DRAWINGS.
2	ALL GLAZING WILL COMPLY WITH CURRENT ENERGY CODES

ENTITLEMENT LUMINAIRE SCHEDULE											
TYPE	IMAGE	MANUFACTURER	CATALOGUE SERIES	DESCRIPTION	SOURCE	FINISH	DISTRIBUTIO N	MOUNTING	WATTAGE	VOLTAGE	BUG RATING
(E)		(EXISTING)	(EXISTING)	EXISTING STREETSCAPE POLE, APPROXIMATELY 25' IN HEIGHT SHOWN ONLY FOR REFERENCE	LED	(EXISTING)	(EXISTING)	(EXISTING)	0 VA	277 V	UNKNOWN (EXISTING STREETSCAPE)
XA1		GE LIGHTING (EXISTING)	EASC SERIES OPTICAL CODE L4 (EXISTING)	EXISTING SINGLE HEAD, AREA LIGHT, TYPE 'IV' ASYMETRIC FORWARD, GRAY CORROSION RESESTANT POWDER FINISH, 10 INCH ARM FOR ROUND TAPERED POLE, LISTED FOR WET LOCATION POLE ROUND TAPERED STEEL 77' TALL TO WITHSTAND 100 MPH WIND SPEED, FINISH STANDARD GALVANIZED, CUSTOM MOUNTING FOR TWO FIXTURES, CAMERA MOUNT, HANDHOLE AND SECURITY ENCLOSURE.	LED 5000K 38,300 LUMEN (PER HEAD)	GRAY CORROSION RESISTANT COATING	TYPE IV	POLE 77' HEIGHT	395 VA	277 V	B3-U0-G5
XA2		GE LIGHTING (EXISTING)	EASC SERIES OPTICAL CODE Q5 (EXISTING)	EXISTING SINGLE HEAD, AREA LIGHT, TYPE 'V' ASYMETRIC FORWARD, GRAY CORROSION RESESTANT POWDER FINISH, 10 INCH ARM FOR ROUND TAPERED POLE, LISTED FOR WET LOCATION POLE ROUND TAPERED STEEL 30' TALL TO WITHSTAND 100 MPH WIND SPEED, FINISH STANDARD GALVANIZED, CUSTOM MOUNTING FOR ONE FIXTURES AND HANDHOLE AND SECURITY ENCLOSURE.	LED 5000K 16,400 LUMEN (PER HEAD)	GRAY CORROSION RESISTANT COATING	TYPE V	POLE 30' HEIGHT	137 VA	277 V	B4-U0-G2
XA6		LITHONIA	DSX1 SERIES	WALL MOUNTED AREA LIGHT	LED 5000K 12,734 LUMENS	GRAY	FORWARD THROW	POLE 30' HEIGHT	102 VA	UNIV	B2-U0-G3
XW1		LITHONIA	WST SERIES	EXTERIOR WALLPACK	LED 5000K 1974 LUMENS	GRAY	TYPE II	WALL MOUNT 10'-0" AFG	14 VA	UNIV	B0-U0-G0

NARRATIVE


ALL EXTERIOR BUILDING MOUNTED AND SITE LIGHTING SHALL BE AUTOMATICALLY CONTROLLED VIA PHOTOCELL AND ASTRONOMICAL TIME CLOCK. ALL PERFORMANCE SITE ARE LUMINAIRE OPTICS ARE DESIGNED TO BE FULL CUT OFF AND ARE ARRANGED SUCH THAT THE RESULTING ILLUMINANCE WILL NOT AFFECT ADJACENT PROPERTIES OR PASSING MOTORISTS.


CALCULATIONS USE INITIAL LUMENS AND A LIGHT LOSS FACTOR OF 1.0.


PHOTOMETRIC CALCULATION SUMMARY			
POINT GRID	AVERAGE FOOTCANDLES	MAX FOOTCANDLES	MAX/MIN RATIO
ENTIRE SITE	1.03 fc	8.0 fc	N/A
CENTRAL PARKING	1.18 fc	1.6 fc	2.67
15' BEYOND PROPERTY	0.35 fc	2.2 fc	N/A


LIGHTING AND DEVICE LEGEND


- CIRCUITS
EMERGENCY NORMAL


\$##

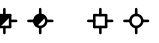
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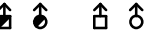
LINEAR PENDANT MOUNTED LINEAR, LENGTH TO SCALE


WALL MOUNTED RECESSED LINEAR LUMINAIRE, LENGTH TO SCALE


RECESSED LINEAR WALL WASH LUMINAIRE, LENGTH TO SCALE


RECESSED DOWNLIGHT LUMINAIRE

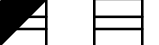
SURFACE MOUNTED LUMINAIRE


RECESSED ADJUSTABLE ACCENT OR WALLWASH LUMINAIRE


CONTINUOUS SOURCE LUMINAIRE, PATH AS INDICATED

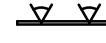
PENDANT MOUNTED LUMINAIRE

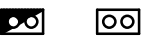
RECESSED RECTANGULAR LUMINAIRE, LENGTH TO SCALE

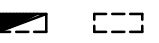
RECESSED BASKET LUMINAIRE, DRAWN TO SCALE

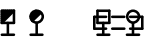
STRIP LUMINAIRE, LENGTH TO SCALE


MONOPOINT AND FLOOD LUMINAIRE


TRACK MOUNTED LUMINAIRE ASSEMBLY


MULTI-LAMP ACCENT LUMINAIRE, NUMBER OF LAMPS NOT INDICATED


UNDERCOUNTER TASK LUMINAIRE


WALL MOUNTED LUMINAIRE


WALL MOUNTED RECTANGULAR LUMINAIRE, LENGTH TO SCALE


TASK/TABLE LUMINAIRE


STEP LUMINAIRE

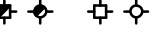
POLE MOUNTED LUMINAIRE WITH BASE

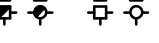
POST TOP LUMINAIRE


ILLUMINATED BOLLARD


IN-GROUND LUMINAIRE


AIMED IN-GROUND LUMINAIRE


SURFACE MOUNTED GARAGE LUMINAIRE


SURFACE MOUNTED SHIELDED GARAGE LUMINAIRE, LINES INDICATE NUMBER AND POSITION OF SHIELD(S)
- WORK DEFINITION


NEW OR RELOCATED EQUIPMENT

EXISTING EQUIPMENT TO REMAIN

EQUIPMENT TO BE DEMOLISHED/REMOVED

DAYLIGHT ZONE

SHEET NOTE REFERENCE

CONTROL NOTE

CALL BEFORE YOU DIG


THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

BY

DATE

REVISIONS

▲



STANTEC ARCHITECTURE
1050 17TH STREET, SUITE A200
DENVER, CO 80265

PHOTOMETRIC SCHEDULES

INTERCITY TRANSIT
NORTH SITE DEVELOPMENT
OLYMPIA, WASHINGTON

SHEET TITLE:

PROJECT NAME:

SEAL:

12373

REGISTERED ARCHITECT

ANDREW M. MALEY
STATE OF WASHINGTON

DESIGNER:
V. PEDERSON

DRAWN BY:

APPROVED BY:
V. PEDERSON

DATE:
APRIL 24, 2019

JOB NO:
1874.03

DRAWING FILE NO:

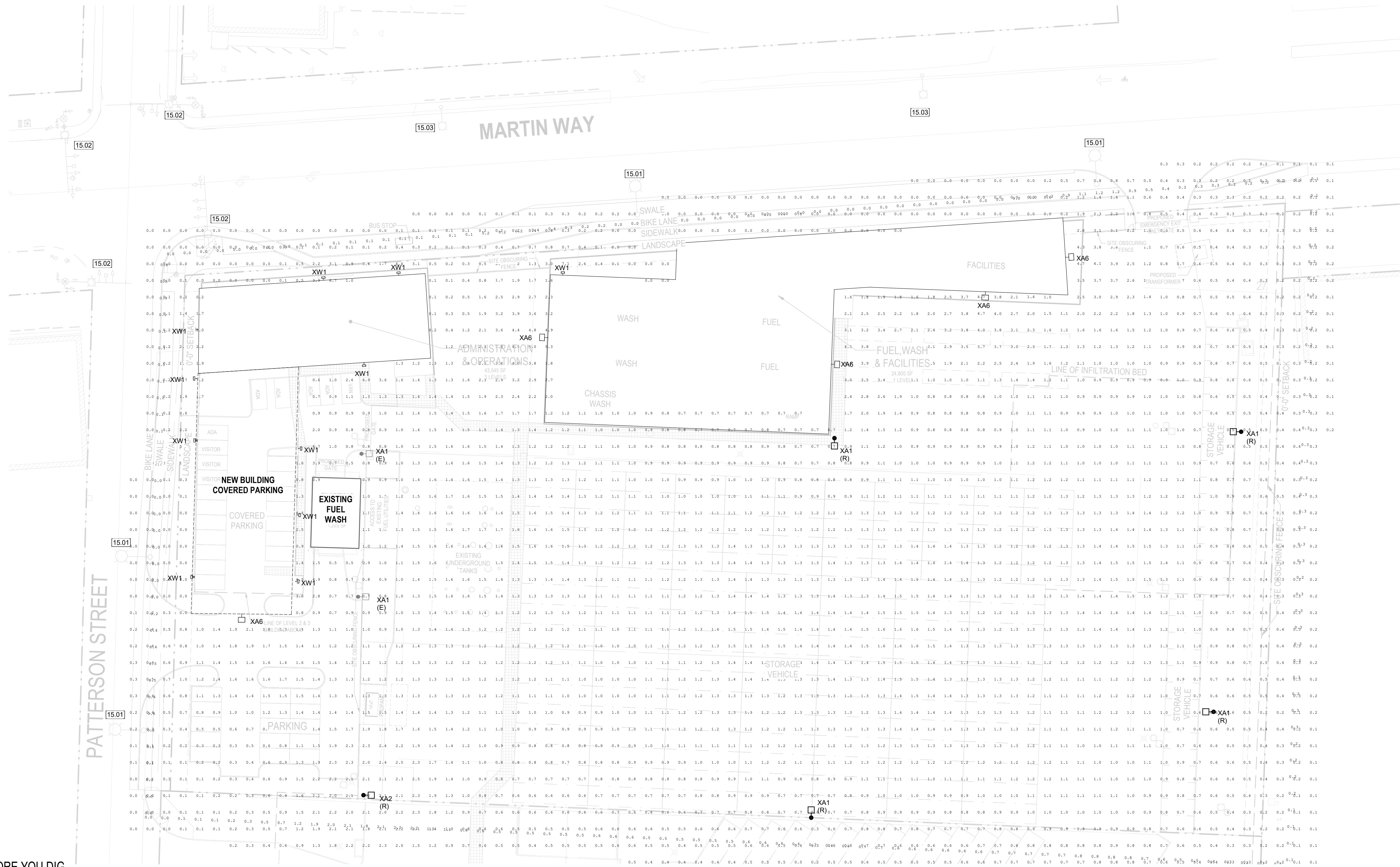
DRAWING NO:
EA-020

SHEET NO:
20

OF 23

SEC. 18, T18N., R1W., W.M.

SHEET NOTES	
Key Value	Keynote Text
15.01	STREET LIGHTING POLE PROVIDED UNDER OTHER SCOPE OF WORK FOR PATTISON STREET / MARTIN WAY FRONTAGE IMPROVEMENTS.
15.02	STREET SIGNAL LIGHT AND LIGHTING POLE PROVIDED UNDER OTHER SCOPE OF WORK FOR PATTISON STREET / MARTIN WAY FRONTAGE IMPROVEMENTS.
15.03	EXISTING STREET LIGHTING TO REMAIN, SHOWN FOR REFERENCE ONLY.



CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.


1
EA-021

SITE LIGHTING - OPTION A

$$1'' = 30'-0''$$

DATE	BY
------	----

REVISIONS



STANTEC ARCHITECTURE
1050 17TH STREET, SUITE A200
DENVER, CO 80265

PHOTOMETRIC PLAN

INTERCITY TRANSIT
NORTH SITE DEVELOPMENT
OLYMPIA, WASHINGTON

PROJECT NAME:

--	--

12373 REGISTERED ARCHITECT

ANDREW M. MALEY
STATE OF WASHINGTON

DESIGNER:
V. PEDERSON

DRAWN BY:

APPROVED BY:
V. PEDERSON

DATE: APRIL 24, 2019

JOB NO:
1874.03

DRAWING FILE NO:

DRAWING NO:
EA-021

SHEET NO:
21 OF 23

CONCEPT PLANT SCHEDULE

	DECIDUOUS TREE CARPINUS JAPONICA / JAPANESE HORNBEAM PARROTIA PERSICA 'RUBY VASE' / RUBY VASE PERSIAN PARROTIA SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	13	2" CAL., 10' HT. MIN. 2" CAL., 10' HT. MIN. 2" CAL., 10' HT. MIN.
	EVERGREEN TREE - NARROW CALOCEDRUS DECURRENS / INCENSE CEDAR CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING NOOTKA FALSE CYPRESS CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO CRYPTOMERIA	9	8' HEIGHT MIN. 8' HEIGHT MIN. 8' HEIGHT MIN.
	DECIDUOUS TREE - NARROW/SMALL ACER CIRCINATUM / VINE MAPLE MALUS TSCHONOSKII / TSCHONSKII CRABAPPLE OXYDENDRUM ARBOREUM / SOURWOOD TREE QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK	6	3-5 STEMS, 10' HT. MIN. 2" CAL., 10' HT. MIN. 2" CAL., 10' HT. MIN. 2" CAL., 12-15' HT., B&B
	EVERGREEN TREE - ACCENT CHAMAECYPARIS OBTUSA 'AUREA' / GOLDEN HINOKI CYPRESS CHAMAECYPARIS OBTUSA 'GRACILIS' / SLENDER HINOKI CYPRESS PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	2	8' HEIGHT MIN. 8' HEIGHT MIN. 8' HEIGHT MIN.
	EVERGREEN SHADE SHRUB PIERIS JAPONICA 'PRELUDE' / PRELUDE PIERIS SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA	81	5 GAL 5 GAL
	SHADE PERENNIAL/FERN DRYOPTERIS ERYTHROSORA 'BRILLIANCE' / AUTUMN FERN HEUCHERA X 'CITRONELLE' / 'CITRONELLE' CORAL BELLS POLYSTICHUM MUNITUM / WESTERN SWORD FERN	39	2 GAL 1 GAL 2 GAL
	LOW DECIDUOUS SHRUB SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA SYMPHORICARPOS X CHENAULTII 'HANCOCK' / HANCOCK CORALBERRY	87	5 GAL 5 GAL
	LARGE SHRUB LONICERA NITIDA 'RED TIPS' / RED TIPS BOX HONEYSUCKLE MAHONIA AQUIFOLIUM / OREGON GRAPE RHODODENDRON X 'UNIQUE' / UNIQUE RHODODENDRON RIBES SANGUINEUM 'KING EDWARD VII' / RED FLOWERING CURRANT SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	22	5 GAL 5 GAL 5 GAL 5 GAL 5 GAL
	MEDIUM DECIDUOUS SHRUB PHYSOCARPUS OPULIFOLIUS 'TINY WINE' / NINEBARK POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA	91	2 GAL 2 GAL 2 GAL
	MEDIUM EVERGREEN SHRUB ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / 'KALEIDOSCOPE' ABELIA LONICERA PILEATA / PRIVET HONEYSUCKLE MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	223	2 GAL 3 GAL 2 GAL
	ORNAMENTAL GRASS CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS HELICTOTRICHON SEMPERVIRENS 'BLUE OATS' / BLUE OAT GRASS PENNISETUM ALOPECUROIDES 'KARLAY ROSE' / 'KARLEY ROSE' FOUNTAIN GRASS	89	1 GAL 1 GAL 1 GAL
	NARROW EVERGREEN SHRUB BERBERIS THUNBERGII 'HELMOND PILLAR' / COLUMNAR BARBERRY ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	26	B&B/CONT. 18" MIN. HT. 4' MIN. HT., B&B/CONT. 4' MIN. HT., B&B/CONT.
	LOW EVERGREEN SHRUB BERBERIS BUXIFOLIA 'NANA' / DWARF BARBERRY MAHONIA REPENS / CREEPING MAHONIA SARCOCOCCA HOOKERIANA HUMILIS / CREEPING SWEET BOX	109	2 GAL 2 GAL 2 GAL
	VINE ON METAL SCREEN SUPPORT LONICERA SEMPERVIRENS 'MAGNIFICA' / TRUMPET HONEYSUCKLE PASSIFLORA CAERULEA / PASSIONFLOWER	8	2 GAL. CONT., STAKED & TIED 2 GAL. CONT., STAKED & TIED
	EVERGREEN GROUNDCOVER 2-1/2" O.C. SPACING 1 GAL. CONT. ARCTOSTAPHYLOS UVA-URSII 'MASSACHUSETTS', RUBUS CALYCNOIDES 'EM. CARPET', COTONEASTER DAMMERI 'LOWFAST'	2,204 SF	
	ORNAMENTAL GRASS/SEDGE 1 GAL. CONT. FESTUCA IDAHOENSIS, PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	391 SF	

REFERENCE NOTES SCHEDULE LS-01

SYMBOL DESCRIPTION

2 LIMIT OF NORTH PARCEL, TYP.

SYMBOL DESCRIPTION

3 SOD LAWN, TYP.

4 LAWN EDGE, TYP.

5 ORNAMENTAL ROCK MULCH

6 RAISED CONCRETE PLANTER, APPROX 18" HT.

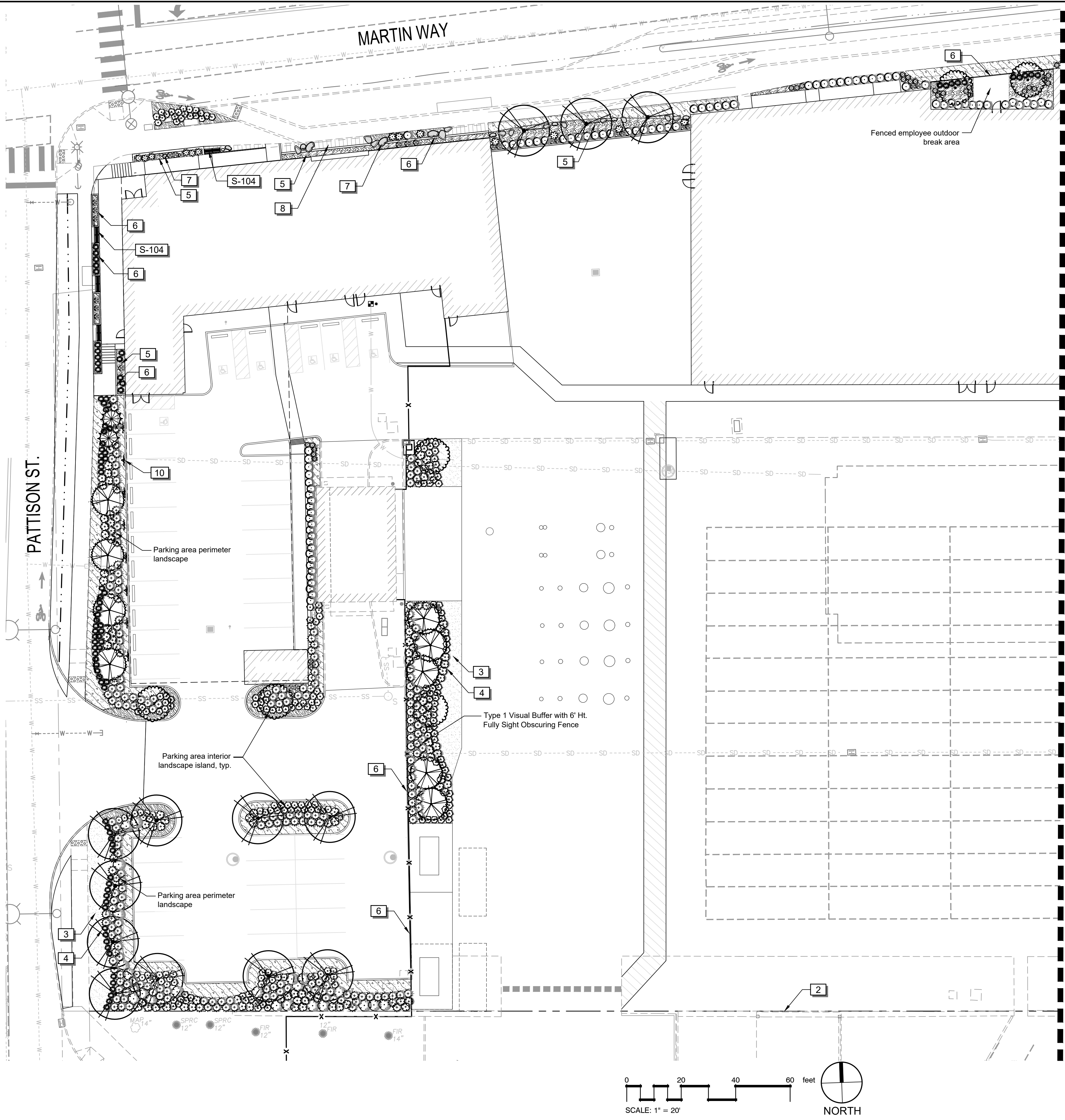
7 LANDSCAPE BOULDER, TYP.

8 LINEAR 2'X4' CONCRETE PAVERS


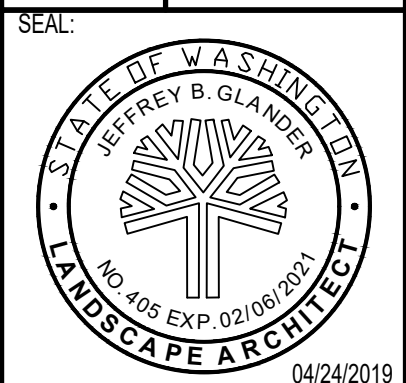
10 VINE ON 4' X 6' MIN. HT. VINE-SUPPORT SCREEN

SYMBOL DESCRIPTION

S-104 MAGLIN MLB872BCL-M-A-C BACKLESS CANTILEVER BENCH. 12.25" HEIGHT, 69.94" LENGTH AND 21" WIDTH. SOLID CAST ALUMINUM ENDS WITH METAL SLATS. CENTER AND END ARMS



MATCHLINE - SHEET LS-02






BY					
DATE					
REVISIONS					
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 SCJ ALLIANCE CONSULTING SERVICES 8730 TALLON LANE NE SUITE 200, LACEY, WA 98516 P: 360.352.1465 F: 360.352.1509 SCJALLIANCE.COM					
SHEET TITLE: PRELIMINARY LANDSCAPE PLAN					
PROJECT NAME: INTERCITY TRANSIT PATTISON NORTH PARCEL EXPANSION OLYMPIA, WASHINGTON					
SEAL: 					
DESIGNER: J. MCFARLAND					
DRAWN BY: J. MCFARLAND					
APPROVED BY: J. GLANDER					
DATE: APRIL, 2019					
JOB NO: 1874.03					
DRAWING FILE NO: 1874.03 X-LS					
DRAWING NO: LS-01					
SHEET NO: 9 OF 23					

Apr 24, 2019 9:34:23am - User jll.mcfarland
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CONCEPT PLANT SCHEDULE

	DECIDUOUS TREE CARPINUS JAPONICA / JAPANESE HORNBEAM PARROTIA PERSICA 'RUBY VASE' / RUBY VASE PERSIAN PARROTTIA SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	15	2" CAL., 10' HT. MIN. 2" CAL., 10' HT. MIN. 2" CAL., 10' HT. MIN.
	EVERGREEN TREE - NARROW CALOEDRUS DECURRENS / INCENSE CEDAR CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING NOOTKA FALSE CYPRESS CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO CRYPTOMERIA	22	8' HEIGHT MIN. 8' HEIGHT MIN. 8' HEIGHT MIN.
	DECIDUOUS TREE - NARROW/SMALL ACER CIRCINATUM / VINE MAPLE MALUS TSCHONOSKII / TSCHONSKII CRABAPPLE OXYDENDRUM ARBOREUM / SOURWOOD TREE QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK	13	3-5 STEMS, 10' HT. MIN. 2" CAL., 10' HT. MIN. 2" CAL., 10' HT. MIN. 2" CAL., 12-15' HT., B&B
	EVERGREEN TREE - ACCENT CHAMAECYPARIS OBTUSA 'AUREA' / GOLDEN HINOKI CYPRESS CHAMAECYPARIS OBTUSA 'GRACILIS' / SLENDER HINOKI CYPRESS PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	3	8' HEIGHT MIN. 8' HEIGHT MIN. 8' HEIGHT MIN.
	EVERGREEN TREE - LARGE ABIES CONCOLOR 'CANDICANS' / CANDICANS WHITE FIR PSEUDOTSUGA MENZIESII / DOUGLAS FIR	1	8' HEIGHT MIN. 8' HEIGHT MIN.
	EVERGREEN SHADE SHRUB PIERIS JAPONICA 'PRELUDE' / PRELUDE PIERIS SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA	56	5 GAL 5 GAL
	SHADE PERENNIAL/FERN DRYOPTERIS ERYTHROSORA 'BRILLIANCE' / AUTUMN FERN HEUCHERA X 'CITRONELLE' / 'CITRONELLE' CORAL BELLS POLYSTICHUM MUNITUM / WESTERN SWORD FERN	10	2 GAL 1 GAL 2 GAL
	LOW DECIDUOUS SHRUB SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA SYMPHORICARPOS X CHENAULTII 'HANCOCK' / HANCOCK CORALBERRY	29	5 GAL 5 GAL
	LARGE SHRUB LONICERA NITIDA 'RED TIPS' / RED TIPS BOX HONEYSUCKLE MAHONIA AQUIFOLIUM / OREGON GRAPE RHODODENDRON X 'UNIQUE' / UNIQUE RHODODENDRON RIBES SANGUINEUM 'KING EDWARD VII' / RED FLOWERING CURRANT SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	68	5 GAL 5 GAL 5 GAL 5 GAL 5 GAL
	MEDIUM DECIDUOUS SHRUB PHYSOCARPUS OPULIFOLIUS 'TINY WINE' / NINEBARK POTENTILLA FRUTICOSA 'GOLDFINGER' / GOLDFINGER POTENTILLA SPIRAEA BETULIFOLIA 'TOR' / BIRCHLEAF SPIREA	36	2 GAL 2 GAL 2 GAL
	MEDIUM EVERGREEN SHRUB ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / 'KALEIDOSCOPE' ABELIA LONICERA PILEATA / PRIVET HONEYSUCKLE MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	54	2 GAL 3 GAL 2 GAL
	ORNAMENTAL GRASS CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS HELICTOTRICHON SEMPERVIRENS 'BLUE OATS' / BLUE OAT GRASS PENNISETUM ALOPECUROIDES 'KARLAY ROSE' / 'KARLEY ROSE' FOUNTAIN GRASS	10	1 GAL 1 GAL 1 GAL
	NARROW EVERGREEN SHRUB BERBERIS THUNBERGII 'HELMOND PILLAR' / COLUMNAR BARBERRY ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	4	B&B/CONT. 18" MIN. HT. 4' MIN. HT., B&B/CONT. 4' MIN. HT., B&B/CONT.
	LOW EVERGREEN SHRUB BERBERIS BUXIFOLIA 'NANA' / DWARF BARBERRY MAHONIA REPENS / CREEPING MAHONIA SARCOCOCCA HOOKERIANA HUMILIS / CREEPING SWEET BOX	138	2 GAL 2 GAL 2 GAL
	EVERGREEN GROUNDCOVER 2-1/2' O.C. SPACING	1,405 SF	
	ORNAMENTAL GRASS/SEDGE	366 SF	

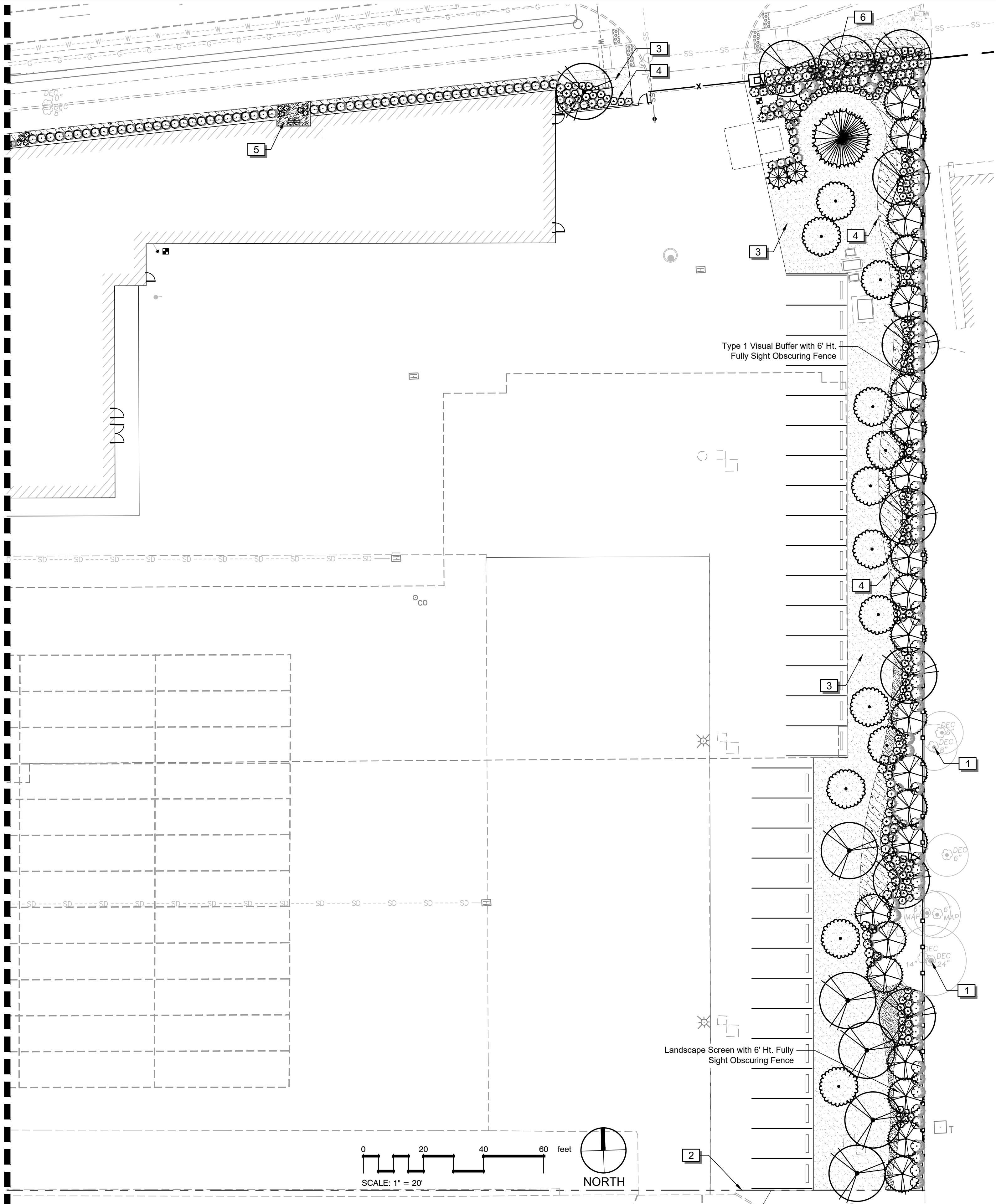
REFERENCE NOTES SCHEDULE LS-02

SYMBOL	DESCRIPTION
	LIMIT OF NORTH PARCEL, TYP.
SYMBOL	DESCRIPTION
	SOD LAWN, TYP.
	LAWN EDGE, TYP.
	ORNAMENTAL ROCK MULCH
	RAISED CONCRETE PLANTER, APPROX 18" HT.


SHEET NOTES

- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
- ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
- PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUNDCOVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
- ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.


MATCHLINE - SHEET LS-01



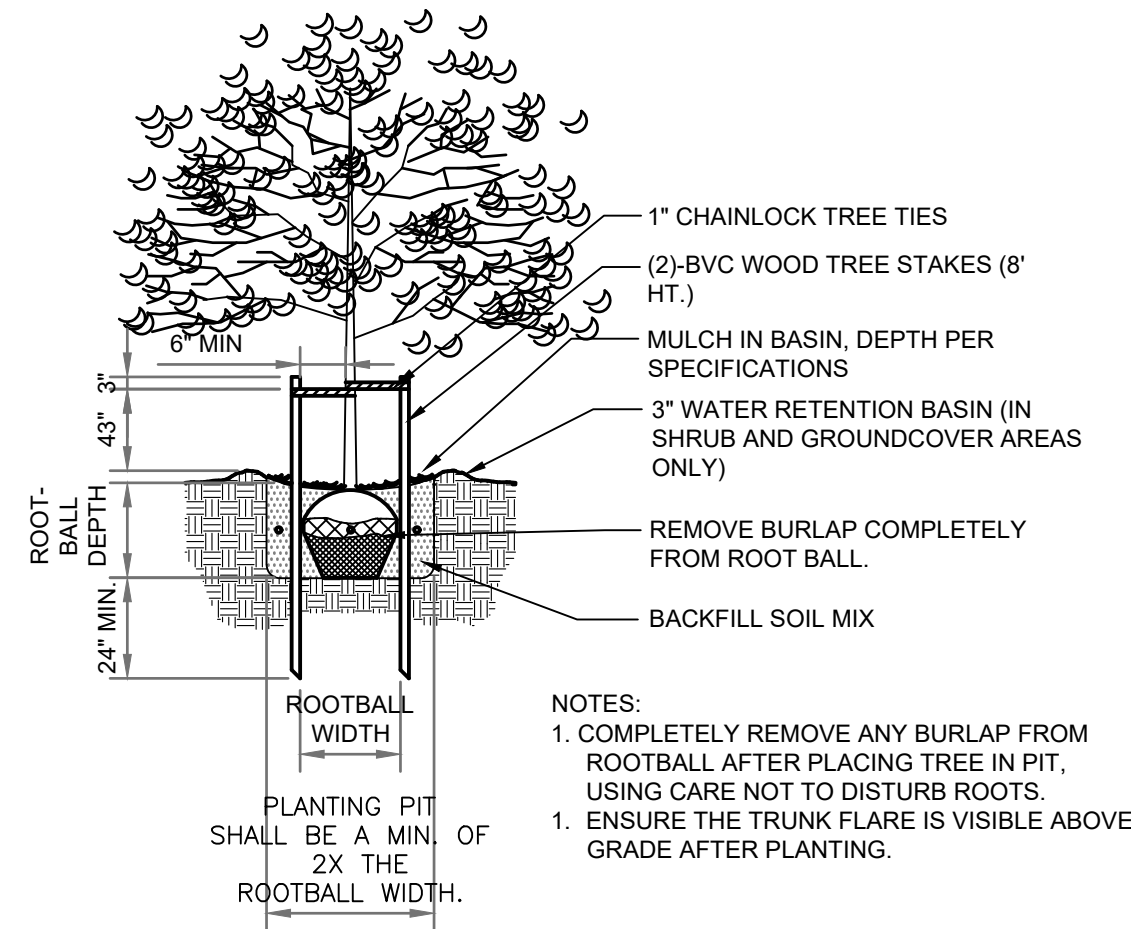
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8730 TALLON LANE NE SUITE 200, LACEY, WA 98516
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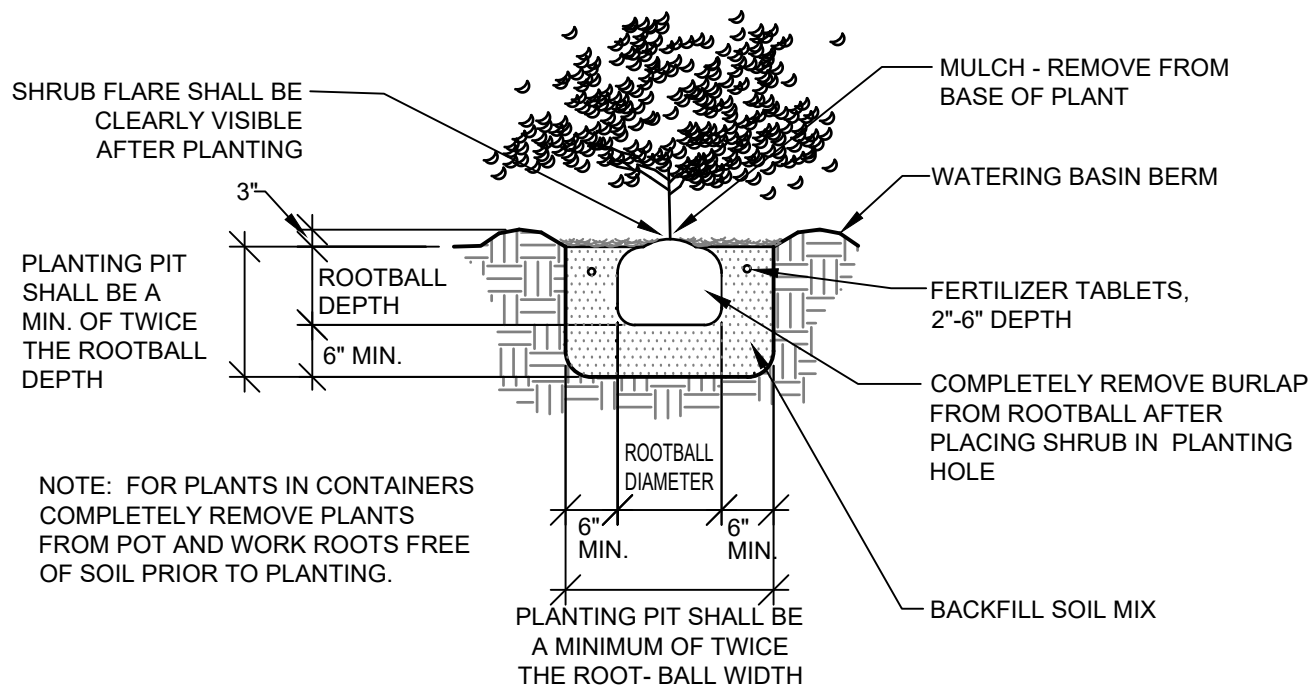
SHEET TITLE: PRELIMINARY LANDSCAPE PLAN	PROJECT NAME: INTERCITY TRANSIT PATTISON NORTH PARCEL EXPANSION OLYMPIA, WASHINGTON
SEAL:  04/24/2019	
DESIGNER: J. MCFARLAND	
DRAWN BY: J. MCFARLAND	
APPROVED BY: J. GLANDER	
DATE: APRIL, 2019	
JOB NO: 1874.03	
DRAWING FILE NO: 1874.03 X-LS	
DRAWING NO: LS-02	
SHEET NO: 10 OF 23	

Apr 24, 2019 9:34:27am - User: jllmcfarland
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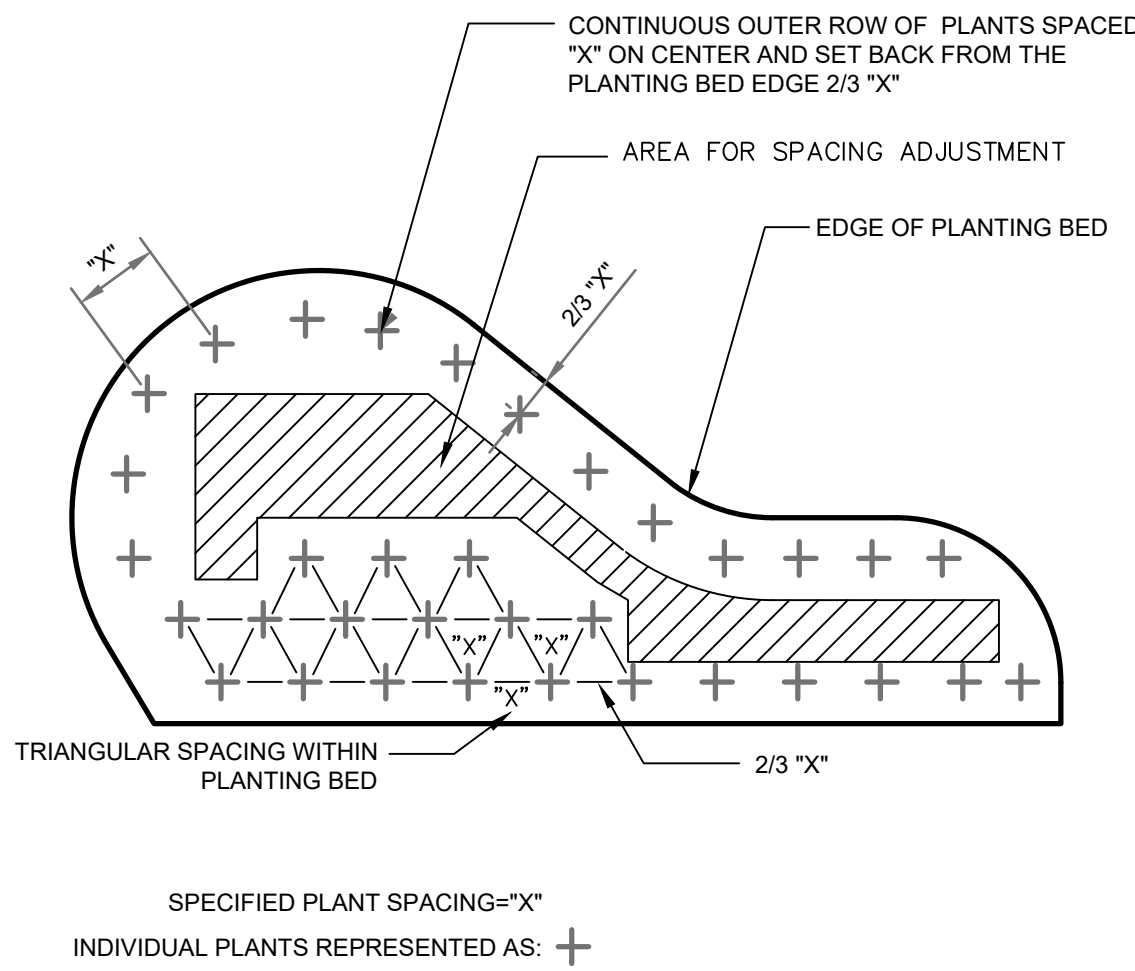
1 TREE PLANTING & STAKING DETAIL

N.T.S. P-CO-ITP-10



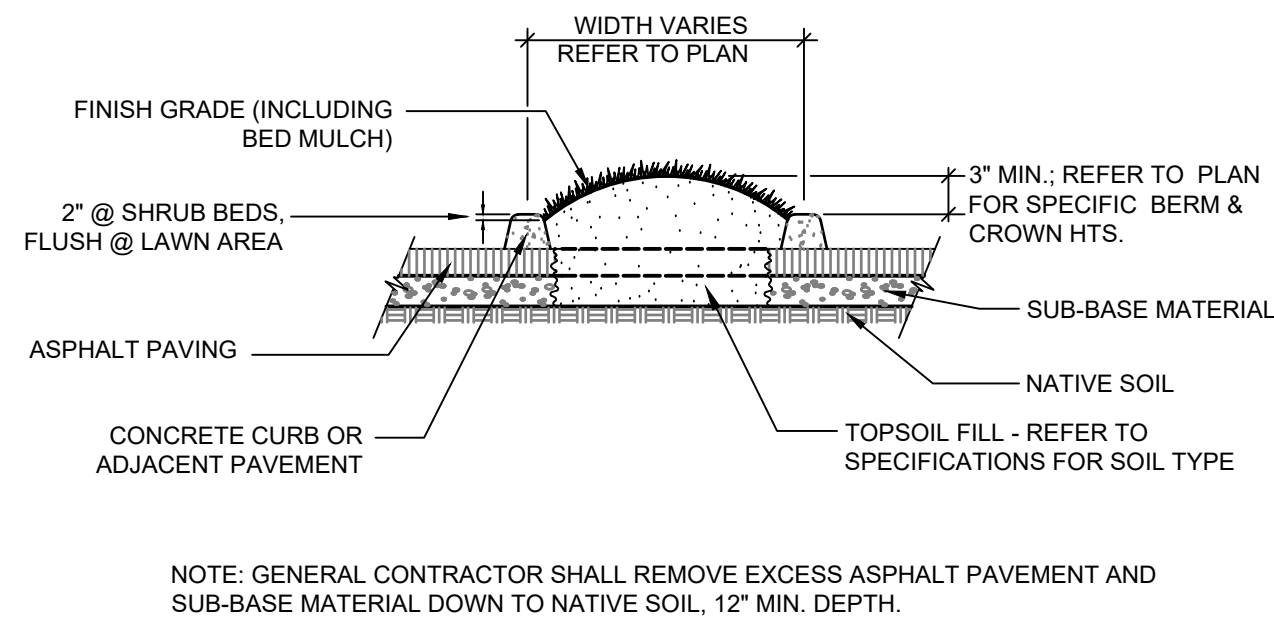
2 SHRUB PLANTING DETAIL (B&B OR CONT.)

NTS P-CO-ITP-04



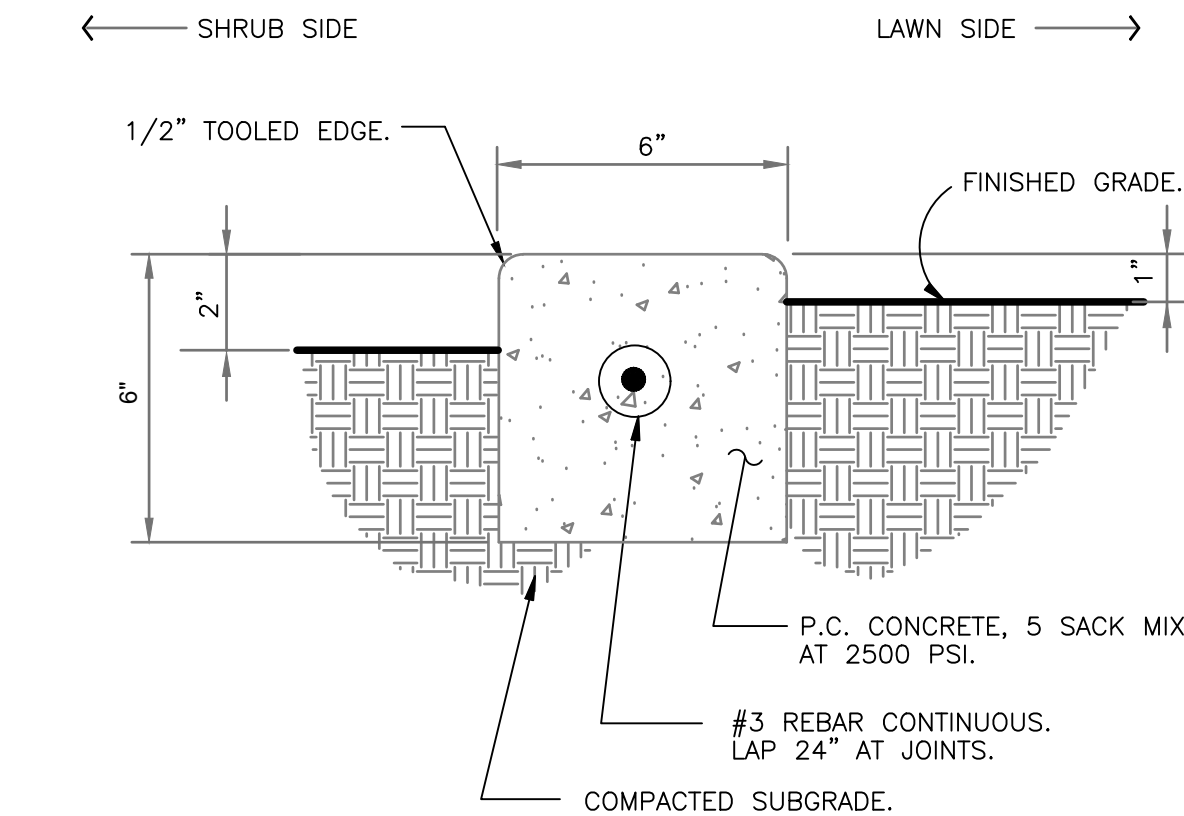
3 PLANT SPACING DETAIL

NTS P-CO-ITP-05



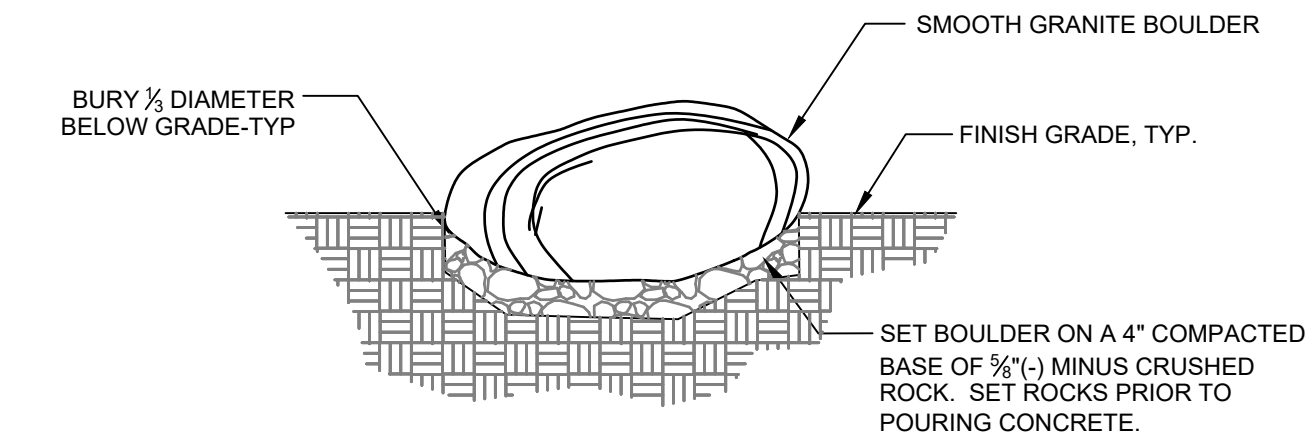
7 PARKING ISLAND PLANTER DETAIL OLYMPIA

NTS P-CO-ITP-12



5 6" CONCRETE MOW STRIP

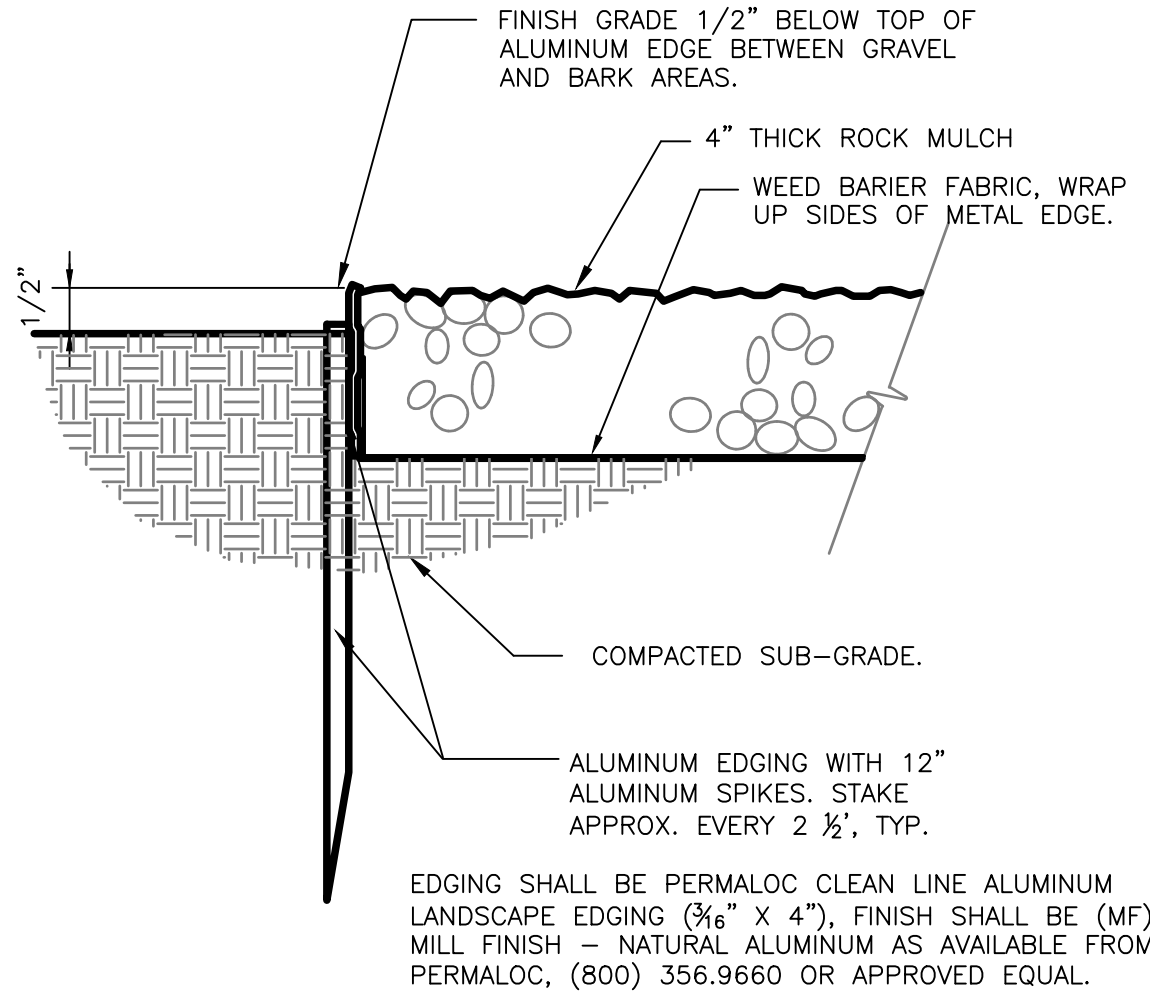
3" = 1'-0" P-CO-ITP-11



- NOTES:
- ALL PLACEMENT BOULDERS SHALL BE COLUMBIA GRANITE OR APPROVED EQUAL. BOULDERS SHALL BE EQUAL TO THOSE AVAILABLE FROM BLACK LAKE LANDSCAPE SUPPLY, TUMWATER, WA PH. (360) 951-0999.
 - BOULDERS SHALL BE APPROXIMATELY 24-36" LENGTH, 18-24" WIDTH AND 18"-30" HEIGHT, 2 MAN PLACEMENT ROCK.

4 TYPICAL BOULDER INSTALLATION

NTS P-CO-ITP-07



6 ALUMINUM EDGE AT ROCK MULCH

3" = 1'-0" P-CO-ITP-09

LANDSCAPE SPECIFICATIONS

- Refer to details for additional information.
- Chemically kill and remove from site all existing weeds and vegetation not shown to remain on plans.
- Distribute imported sandy loam topsoil (approved by the Landscape Architect) in areas shown and at depths indicated for crowning and berming of landscape areas, and backfill of retaining walls (if required). Dotted lines indicate 1' contour intervals. All landscape areas shall receive topsoil, whether indicated on plans or not, so that finish grades of all shrub beds shall be 2" below tops of adjacent curbs and pavement, and lawn areas shall be 1/2" below tops of adjacent curbs and pavement. Structural fill areas: Any landscape areas occurring within existing or prior structural fill zones shall have said structural fill materials excavated to a depth of 12" below finish grades in shrub areas and 6" below grade in lawn areas, replaced with specified topsoil, and amended as specified. Dispose of excavated material off site.
- Fine grade all landscape beds prior to planting operations. All non-compostable materials shall be removed by hand after application.
- All plant substitutions shall be approved by the Landscape Architect and of the City of Olympia prior to installation. Updated plans showing accurate plant materials shall be provided to the City of Olympia prior to occupancy. Any substitutions shall conform to OMC 18.32.225A.2(b).
- All plants shall conform to the latest edition of the American Standard for Nursery Stock. A minimum of sixty percent (60%) of plant materials will be well-adapted drought tolerant or native plants.
- All plant materials and plant locations shall be approved by the Landscape Architect prior to installation. All plants shall be thoroughly watered immediately after planting with Alaska Fish Fertilizer solution.
- Root barrier shall be incorporated adjacent and parallel to paving, curb and sidewalk, a minimum of 15 linear feet (7.5' on either side of trunk), 24" deep, where any tree is within 8' of paving, curb or sidewalk. Root barrier shall be DeepRoot UB-24 as available from Ewing Irrigation Products, 2901 S Tacoma Way, Tacoma, WA 98409 (253) 476-9530 or approved equal.
- Soil amendment for soil mix and planting backfill shall be a screened 5/8" minus nitrified wood residual compost equal to:
 - "Top Grade Compost" brand compost as available from Silver Springs Organics, Rainier, WA (360) 446-7645.
 - "Cedar Grove Compost" brand compost as available from Cedar Grove Compost, Maple Valley, WA (877) 764-5748.
 - PREFILRI compost as available from Randles Sand and Gravel, Inc., Puyallup, WA (253) 537-6828.

ALL NON-COMPOSTABLE MATERIALS WILL BE REMOVED FROM SITE.

- Soil Preparation - (all landscape areas) Spread 9 c.y. of specified soil amendment per 1000 s.f. (approx. 3" depth) of area. Spread 150 lbs./1000 s.f. of Agricultural Gypsum and 15 lbs./1000 s.f. of 16-8-8 commercial fertilizer over soil amendment. Roto-till to incorporate all of the above to a min. 8" depth of existing soil and grade smooth, compacting as required and removing all rocks, clods and debris.
- Backfill Mix and Soil Mix for all plants shall be a blend of 1/3 Sandy Loam Topsoil, 1/3 clean coarse sand, and 1/3 soil amendment specified in item No. 9.
- Only slow release fertilizers shall be applied for the life of the development at a maximum amount of 4 lbs of nitrate as nitrogen annually and no more than 1 lb per application for every 1,000 square feet of turf grass. Only fertilizer formulas with a minimum of 50 percent water insoluble form of nitrogen are permitted for use. Approved water insoluble forms of nitrogen include sulfur and/or polymer coated fertilizers, Isobutylidene Diurea (IBDU), Methylene Urea and Ureaform, and organic fertilizers registered with Washington Department of Agriculture."
- Apply Osmocote 18-6-12, 9 month slow release fertilizer over the surface of all plant pits at the following rates (no more than a maximum 4lbs. of Nitrate Nitrogen shall be used annually):

Trees Over 10' Height	2 Cups	Trees Under 10' Height:	1 Cup	All Shrubs Except 1
Gallons:	1/2 Cup			
1 Gallon Plants:	1/4 Cup	Ground Covers:	1/4 Cup	
- Fertilizer tablets for shrubs and groundcovers shall be Agriform (20-10-5) 21 gram or 10 gram tablets distributed as follows: All shrubs (except 1 gallons): 3-21 gram tablets, all 1 gallons: 1-21 gram tablet, all 2-1 1/4" and 4" pot ground covers: 1-10 gram tablet each. Set tablets directly next to rootball.
- Prior to plant installation, an inspection of the soil amendments and plants to be installed will be scheduled by the applicant and performed by the City.
- All shrub and beds shall receive a 4" depth (12 c.y. per 1000 s.f.) of "Medium/Fine Grind" hem/fir bark mulch as top dressing. In ground cover areas, depth of bark mulch shall be adjusted to the maximum depth that allows the plantings to fully root in soil without being buried by bark mulch. Bark mulch shall be pulled away from leaves and branches of trees, shrubs, groundcovers. With uncomposted top dress mulch, a sufficient amount of fertilizer shall be added to compensate for nitrogen deficiencies.
- Apply a granular pre-emergent herbicide to all shrub and groundcover beds at the conclusion of the maintenance period. Do not use Casaron or Norasac Brands. All fertilizer must comply to meet Well Head Protection Areas minimum mitigation standards [OMC 18.32.225(A)(2)(a)]
- All work shall be performed to the satisfaction of the Landscape Architect/Owner.
- All plants shall be guaranteed for ONE (1) year from date of project acceptance. All replaced plants shall be re-guaranteed. All replacements shall be made within 21 days of receiving written notice from the Owner. Contractor shall not be responsible for plants dying due to Owner neglect or vandalism, after the maintenance period.
- Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover and/or mass shrub quantities shall be adjusted as required for field conditions at the specified spacing. All landscape areas shall be planted to achieve 80% plant density within 3 years. Additional plantings may be required upon inspection by the City of Olympia.
- Final inspection shall occur at the conclusion of a 60-day maintenance period. Maintenance period shall commence upon completion of all landscape installation activities and shall include the following:
 - Mow lawns once per week.
 - Remove all weeds over 1" in height, refer to the Thurston County's IPMP for additional requirements.
 - Replace dead or unhealthy plants.
 - Ensure proper function of irrigation system, see OMC 18.32.225.A.2(c) for additional requirements.
 - Ensure adequate moisture is delivered to all landscape beds including non-irrigated areas.
 - Fertilize all lawns at conclusion of maintenance period, See OMC 18.32.225.A.2(a) for additional requirements.
- All applications of fertilizers and chemicals shall be re-evaluated prior to actual landscape installation and maintenance.

BY					
DATE					
REVISIONS					
Δ					

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CONSULTING SERVICES
8730 TALLON LANE NE SUITE 200, LACEY, WA 98516
P: 360.352.1465 F: 360.352.1509
SCJALLIANCE.COM

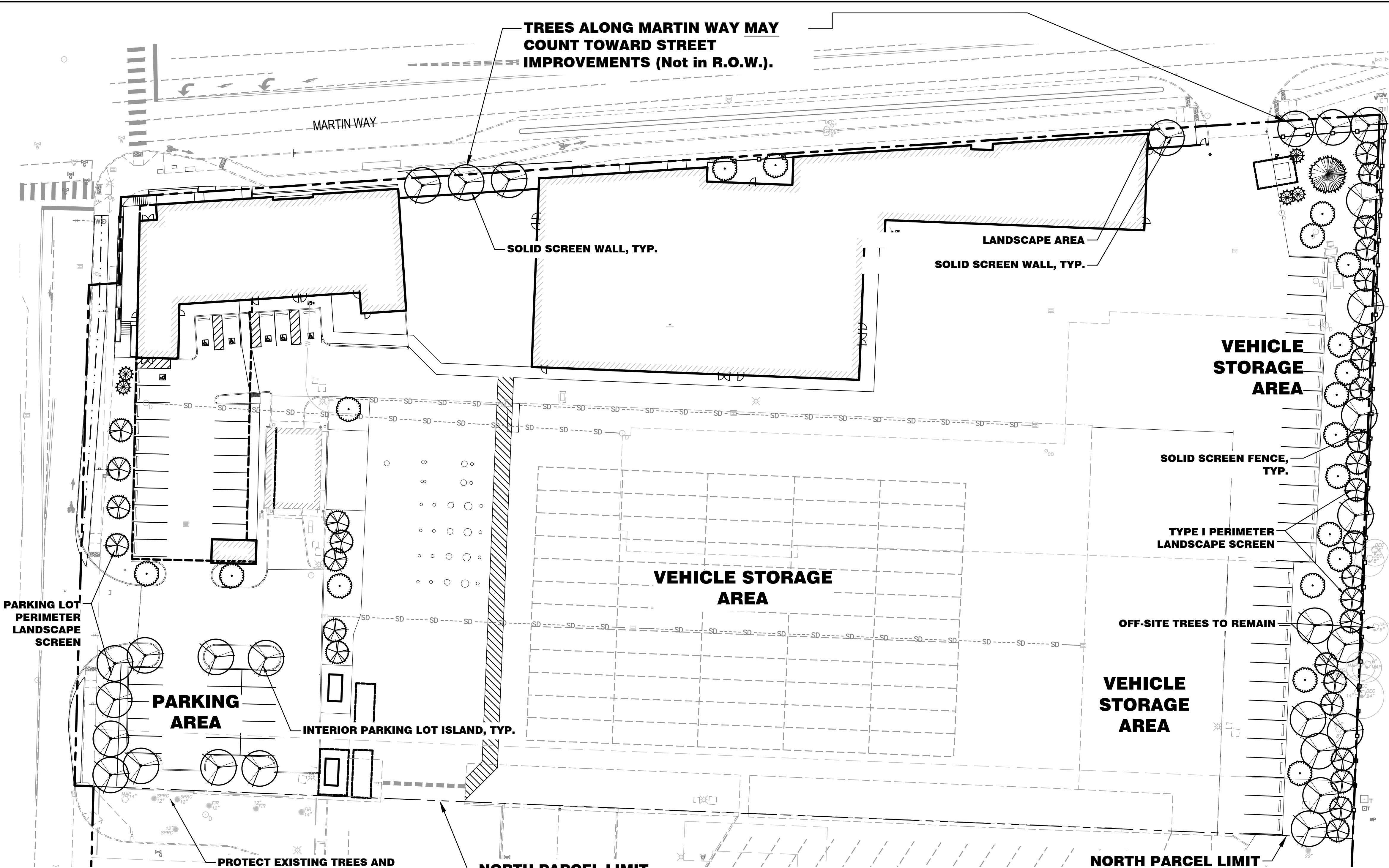
SHEET TITLE: LANDSCAPE NOTES AND DETAILS

PROJECT NAME: INTERCITY TRANSIT
PATTISON NORTH PARCEL EXPANSION
OLYMPIA, WASHINGTON

SEAL:

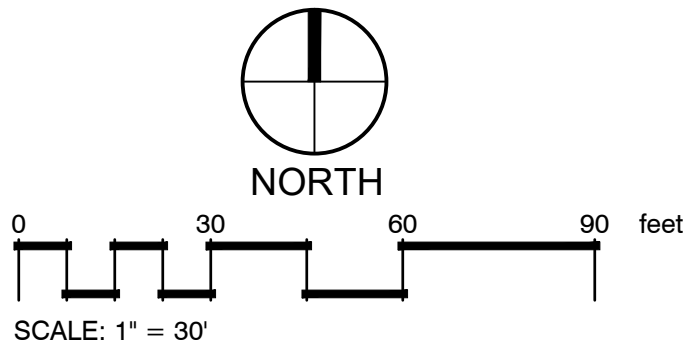
DESIGNER: J. MCFARLAND
DRAWN BY: J. MCFARLAND
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DRAWING FILE NO: 1874.03 X-LS
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SHEET NO: 11 OF 23

Apr 24, 2019 9:34:38am - User: jllmcfarland
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CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



	DECIDUOUS TREE CARPINUS JAPONICA / JAPANESE HORNBEAM PARROTIA PERSICA 'RUBY VASE' / RUBY VASE PERSIAN PARROTIA SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	28
	EVERGREEN - NARROW CALOCEDRUS DECURRENS / INCENSE CEDAR CHAMAECYPARIS NOOTKATENSIS 'PENDULA' / WEEPING NOOTKA FALSE CYPRESS CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO CRYPTOMERIA	31
	NARROW/SMALL DECIDUOUS TREE ACER CIRCINATUM / VINE MAPLE MALUS TSCHONOSKII / TSCHONSKII CRABAPPLE OXYDENDRUM ARBOREUM / SOURWOOD TREE QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK	19
	EVERGREEN - ACCENT CHAMAECYPARIS OBTUSA 'AUREA' / GOLDEN HINOKI CYPRESS CHAMAECYPARIS OBTUSA 'GRACILIS' / SLENDER HINOKI CYPRESS PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	5
	EVERGREEN - LARGE ABIES CONCOLOR 'CANDICANS' / CANDICANS WHITE FIR PSEUDOTSUGA MENZIESII / DOUGLAS FIR	1

TREE DENSITY CALCULATIONS

TREE UNITS REQUIRED BY DEVELOPER AGREEMENT *	80 UNITS
ESTIMATED TREE UNITS TO REMAIN (6" MIN. CAL.)	0-2.5 UNITS
NEW TREE UNITS PROVIDED	84 UNITS

* PER DEVELOPER AGREEMENT:
FOR PHASE 2, INTERCITY TRANSIT ALSO AGREES TO EITHER REMOVE, RETAIN OR REPLANT TO ACHIEVE A TOTAL OF 80 TREE UNITS. THE PARTIES AGREE THE 78 TREE UNIT DEFICIT FROM PHASE 2 (158 TU - 80 TU = 78 TU) WILL BE PLANTED OFF-SITE AT AN APPROVED LOCATION OR PAID AS A "FEE IN LIEU" OF \$27,768 (\$356/TREE X 78 TREES) INTO THE OLYMPIA TREE FUND AT THE TIME OF LAND USE APPROVAL FOR PHASE 2.

LANDSCAPE REQUIREMENT NOTES

PARKING AREA LANDSCAPE REQUIREMENTS:
TREES ARE REQUIRED IN ALL INTERIOR LANDSCAPE ISLANDS (OMC 18.36.180.C.3a) AND IN PARKING LOT PERIMETER LANDSCAPE AREAS (OMC 18.36.180.B.3b).
INTERIOR LANDSCAPE ISLANDS ARE REQUIRED AT THE END OF EVERY ROW OF PARKING AND APPROX. EVERY 9 PARKING SPACES (OMC 18.36.180.C.2b)
PARKING LOT SCREENING (BETWEEN PARKING AND STREETS) SHALL BE MIN. 10' WIDTH, WITH DECIDUOUS OR EVERGREEN TREES, SHRUBS AND GROUNDCOVER (OMC 18.36.180.B.1a, 18.36.180.B.3b and c)

VEHICLE STORAGE LANDSCAPE SCREEN:
STORAGE AREAS ARE REQUIRED TO BE FULLY SCREENED BY A TYPE I SOLID LANDSCAPE SCREEN. (OMC 18.36.060.I.2 and 18.36.060.L.1)
Per IT Pattison Pre-Sub meeting (8/29/2018) minutes, Item 2.c.iii: the Type 1 perimeter screen for storage areas is required to be min. 10' wide.

ALL TREES IN LANDSCAPE ISLANDS AND ANY LANDSCAPE AREA MUST BE PLANTED NO LESS THAN 6' FROM ANY CURB OR PAVING. THEREFORE ALL LANDSCAPE AREAS WITH TREES ARE REQUIRED TO BE MIN. 12' WIDE. (PER IT Pattison Pre-Sub meeting (8/29/2018) minutes, Item 2.c.iv)

REVISIONS

BY					
DATE					

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SHEET TITLE:

TREE LAYOUT PLAN

PROJECT NAME:

INTERCITY TRANSIT
PATTISON NORTH PARCEL EXPANSION
OLYMPIA, WASHINGTON

SEAL:

04/24/2019

DESIGNER:

S. EGAN

DRAWN BY:

J. MCFARLAND

APPROVED BY:

J. GLANDER

DATE:

APRIL, 2019

JOB NO:

1874.03

DRAWING FILE NO:

1874.03 X-TP

DRAWING NO:

LS-04

SHEET NO:

12 OF 23