



Petition to Vacate Public Right-of-Way

19-1765

OFFICIAL USE ONLY

| | | | |
|------------|--------|------------|-------|
| Applicant: | | Address: | |
| Phone: | File#: | Receipt #: | Date: |

HONORABLE MAYOR AND CITY COUNCIL:

We, the undersigned, do hereby petition the Olympia City Council to vacate the following described public right-of-way:

LEGAL DESCRIPTION OF AFFECTED RIGHT-OF-WAY:


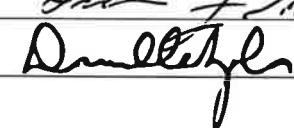
Please see attached

PURPOSE OF REQUEST AND STATEMENT OF PUBLIC BENEFIT: *

Please see attached

**See submittal requirements and criteria for approval on the reverse side of this form*

PETITIONERS*

| Owner's signature | Owner's Names | Parcel Number |
|---|---------------|---------------|
| x  | Tim Zola | 68200300100 |
| x  | Danielle Zola | 68200300100 |
| | | |

**Attach additional sheets as necessary*

I verify that each of the above signatures represents a legal and registered owner of the property abutting the above-described right-of-way.



5-2-19

Applicant's Signature

Date

May 2, 2019

RE: Bethel Street Outpatient Clinic, Petition to Vacate as per OMC 12.16.020
205 Bethel St. NE, Olympia, WA 98506
PN: 68200300100

To Whom It May Concern:

Pursuant to Olympia Municipal Code which governs Petitions to Vacate, please accept the following notes regarding criteria which must be met per OMC 12.16.100.

No petition to vacate a street or alley shall be approved unless all of the following criteria can be met:

- A. *The proposed vacation will not be materially detrimental to other properties in the vicinity, nor will it endanger public health, safety or welfare. Typical detriments or endangerments include, but are not limited to: depriving property of reasonable and convenient access; increasing traffic safety hazards; or decreasing transportation service levels.*

The approval of the petition under consideration will not be detrimental to the public welfare or injurious to the vicinity. Indeed, the improvements that are proposed which require the requested Vacation will provide enormous public benefit and valuable enhancement to all properties in the vicinity.

- B. *The subject rights-of-way is not needed for general access, emergency services, utility facilities or other similar public purposes, nor is it necessary as part of a long range circulation plan, pedestrian/bicycle pathway plan or street improvement plan. Providing easements, relocating facilities or implementing other similar alternatives equal or superior to the existing or planned facilities may cause the petition to comply with this criteria;*

The land within the subject rights-of-way is not needed for general access or emergency services. The area of the land under consideration for vacation is not currently available for use by the public due to an existing change in grade. The property owner requesting this petition is proposing improvements to Bethel Street and the adjoining area which will improve public access and overall usability of the street. The area covered by this petition contains no publicly owned utilities and does not negatively affect public access to utilities located nearby.

- C. *The subject vacation is consistent with the adopted Olympia Comprehensive Plan and all other related land use and circulation regulations and policies, including but not limited to the Engineering Design and Development Standards and Titles 17 (Subdivisions) and 18 (Zoning) of the Olympia Municipal Code;*

City staff has indicated that this petition is in keeping with long range plans for the street which will be affected. A related Land Use Review is being applied for, and that review will establish that all required regulations and policies are being adhered to, as will review and approval of engineering and building permits which are required prior to any construction.

D. The subject vacation would not directly or indirectly result in an adverse impact on historical or cultural resources, the natural environment or otherwise negatively affect an environmentally sensitive area as defined by Chapter 18.76 of the Olympia Municipal Code.

The land affected by this petition is not the site of any historical or culturally relevant resource, nor is it within any known environmentally sensitive areas as defined by OMC 18.76.

Thank you for your consideration of this matter.

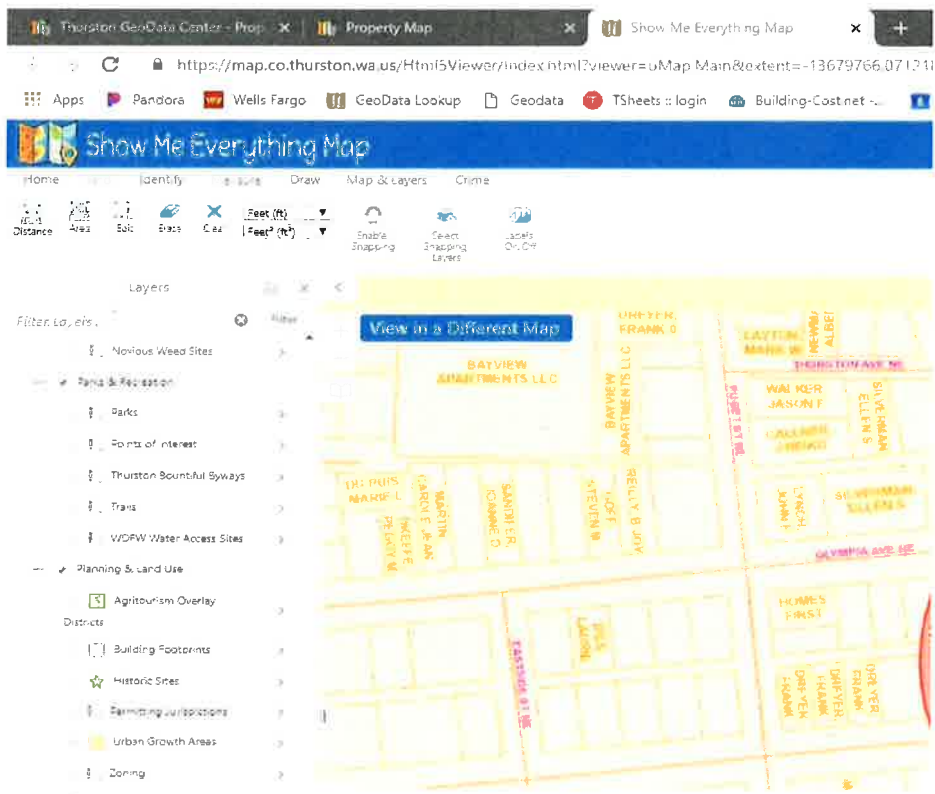
Sincerely,

A handwritten signature in dark ink, appearing to read "Randy Foster", with a stylized flourish at the end.

Randy Foster

Owner Name

KAPPERT, JACOB
BLEDSOE, PATRICK G
ILLAHEE, LISA MARIE
WOOD, KJ
ZABEL, KENNETH E JR
SILVER, GRACE D
WARNER, ANGELA L
ALIMAR LLC
ALIMAR LLC
SCOTT, HELEN M
OLYMPIA SCHOOL DISTRICT NO 111
OLYMPIA SCHOOL DISTRICT NO 111
OLYMPIA SCHOOL DISTRICT NO 111
NORTH & NORTH LLC
SINCLAIR STATE STREET PROPERTIES LLC
CRABTREE, WILLIAM M
KWIECINSKI, PATRICK J
LIVINGSTON, TIM
GENDELMAN, IRINA
RADER, KIM V
PRICKETT, ERIK J
MORAN, NICKIE L
GEB LLC



Mailing Address

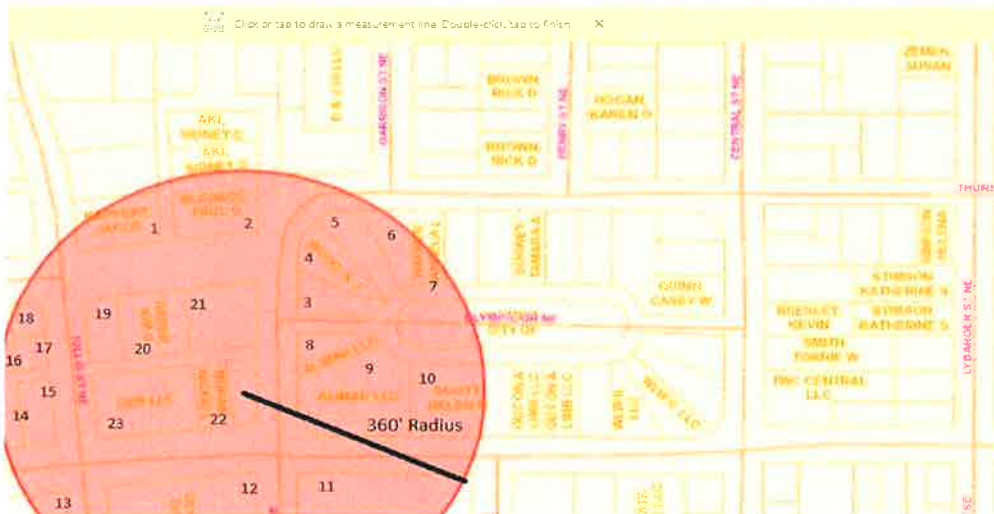
3139 DONNELLY DR. SE
 2313 BAKER RD SW
 222 BETHEL ST NE
 POB 3735
 1234 SUMMIT LAKE SHORE RD NW
 C/O ANGELINA MORGAN 1215 BOWMAN AVE NW
 1353 THURSTON AVE NE
 POB 12479
 POB 12479
 1321 OLYMPIC DR NE
 1113 LEGION WAY SE
 1113 LEGION WAY SE
 1113 LEGION WAY SE
 1222 STATE AVE NE
 301 HAZELWOOD AVE
 2320 BENSON RD SW
 215 TULLIS ST NE
 1227 OLYMPIA AVE NE
 1135 GARRISON ST NE
 1259 OLYMPIA AVE NE
 217 BETHEL ST NE
 2210 NE 92ND ST # 201
 1910 4TH AVE PMB 196

| Zip Code | City | State |
|------------|---------------|-------|
| 98501 | Olympia | WA |
| 98512 | Olympia | WA |
| 98506 | Olympia | WA |
| 98509 | Lacey | WA |
| 98502 | Olympia | WA |
| 98502 | Olympia | WA |
| 98506 | Olympia | WA |
| 98508-2479 | Olympia | WA |
| 98508-2479 | Olympia | WA |
| 98506 | Olympia | WA |
| 98501 | Olympia | WA |
| 98501 | Olympia | WA |
| 98501 | Olympia | WA |
| 98506 | Olympia | WA |
| 94127 | San Francisco | CA |
| 98512 | Olympia | WA |
| 98506 | Olympia | WA |
| 98506 | Olympia | WA |
| 98506 | Olympia | WA |
| 98506 | Olympia | WA |
| 98506 | Olympia | WA |
| 98115 | SEATTLE | WA |
| 98501 | Olympia | WA |

84,5949048,97165472,-13679105,9061032,5950168,15894414

☐ Belt per sky/ar
 ☐ DEHUMIDIFICATION
 ☐ Radiant Panel Ray...
 ☐ Zehnder Radiant Pa...
 ☐ AM Armstrong Radiant...
 ☐ Quik Trax

Search by Name or Address



Site address

304 TULLIS St NE

303 BETHEL

222 BETHEL ST NE

230 BETHEL ST NE

1307 THURSTON AVE

1317 NE THURSTON ST

1353 THURSTON AVE NE

210 BETHEL ST NE

210 BETHEL ST NE

1321 OLYMPIC DR NE

1314 4TH AVENUE EAST

1314 4TH AVENUE EAST

1314 4TH AVENUE EAST

1222 STATE AVE NE

1226 NE STATE ST

1223 NE OLYMPIA AVE

215 TULLIS ST NE

1227 OLYMPIA AVE NE

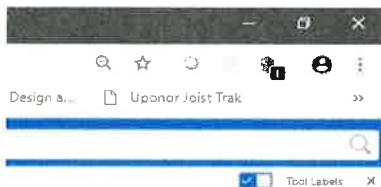
220 NE TULLIS ST

1259 OLYMPIA AVE NE

215 BETHEL ST NE # 17

1264 NE STATE AVE

1250 NE STATE AVE



| Subject Property ID Shown in Provided Map View | Owner Name | Mailing Address | Zip Code | City | State | Site address |
|---|--------------------------------------|--|------------|-----------|-------|-----------------------|
| 1 | KAPPERT, JACOB | 3139 DONNELLY DR. SE | 98501 | Olympia | WA | 304 TULLIS St NE |
| 2 | BLEDSE, PATRICK G | 2313 BAKER RD SW | 98512 | Olympia | WA | 303 BETHEL |
| 3 | ILLAHEE, LISA MARIE | 222 BETHEL ST NE | 98506 | Olympia | WA | 222 BETHEL ST NE |
| 4 | WOOD, KI | POB 3735 | 98509 | Lacey | WA | 230 BETHEL ST NE |
| 5 | ZABEL, KENNETH E JR | 1234 SUMMIT LAKE SHORE RD NW | 98502 | Olympia | WA | 1307 THURSTON AVE |
| 6 | SILVER, GRACE D | C/O ANGELINA MORGAN 1215 BOWMAN AVE NW | 98502 | Olympia | WA | 1317 NE THURSTON ST |
| 7 | WARNER, ANGELA L | 1353 THURSTON AVE NE | 98506 | Olympia | WA | 1353 THURSTON AVE NE |
| 8 | ALIMAR LLC | POB 12479 | 98508-2479 | Olympia | WA | 210 BETHEL ST NE |
| 9 | ALIMAR LLC | POB 12479 | 98508-2479 | Olympia | WA | 210 BETHEL ST NE |
| 10 | SCOTT, HELEN M | 1321 OLYMPIC DR NE | 98506 | Olympia | WA | 1321 OLYMPIC DR NE |
| 11 | OLYMPIA SCHOOL DISTRICT NO 111 | 1113 LEGION WAY SE | 98501 | Olympia | WA | 1314 4TH AVENUE EAST |
| 12 | OLYMPIA SCHOOL DISTRICT NO 111 | 1113 LEGION WAY SE | 98501 | Olympia | WA | 1314 4TH AVENUE EAST |
| 13 | OLYMPIA SCHOOL DISTRICT NO 111 | 1113 LEGION WAY SE | 98501 | Olympia | WA | 1314 4TH AVENUE EAST |
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| 15 | SINCLAIR STATE STREET PROPERTIES LLC | 301 HAZELWOOD AVE | 94127 | San Franc | CA | 1226 NE STATE ST |
| 16 | CRABTREE, WILLIAM M | 2320 BENSON RD SW | 98512 | Olympia | WA | 1223 NE OLYMPIA AVE |
| 17 | KWIECINSKI, PATRICK J | 215 TULLIS ST NE | 98506 | Olympia | WA | 215 TULLIS ST NE |
| 18 | LIVINGSTON, TIM | 1227 OLYMPIA AVE NE | 98506 | Olympia | WA | 1227 OLYMPIA AVE NE |
| 19 | GENDELMAN, IRINA | 1135 GARRISON ST NE | 98506 | Olympia | WA | 220 NE TULLIS ST |
| 20 | RADER, KIM V | 1259 OLYMPIA AVE NE | 98506 | Olympia | WA | 1259 OLYMPIA AVE NE |
| 21 | PRICKETT, ERIK J | 217 BETHEL ST NE | 98506 | Olympia | WA | 215 BETHEL ST NE # 17 |
| 22 | MORAN, NICKIE L | 2210 NE 92ND ST # 201 | 98115 | SEATTLE | WA | 1264 NE STATE AVE |
| 23 | GEB LLC | 1910 4TH AVE PMB 196 | 98501 | Olympia | WA | 1250 NE STATE AVE |

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EXHIBIT A

Right of Way Vacation Legal Description

The West 5 feet of the Right of Way of Bethel Street adjacent to Lot 1 of Block 3 of J.R. Pattison's Addition to the City of Olympia, According to the Plat Thereof recorded in Volume 3 of Plats, Page 120, records of Thurston County, Washington; described as follows:

Beginning at the Southeast corner of said Lot 1 of Block 3 of J.R. Pattison's Addition, thence North $85^{\circ}55'18''$ East parallel with the South line of said Lot, 5.03 feet; thence North $1^{\circ}49'46''$ East parallel with the East line of said Lot, 105.57 feet; thence South $85^{\circ}55'12''$ West parallel with the North line of said Lot, 5.03 feet to the Northeast corner of said Lot 1 and the terminus of said Right of Way vacation.



Kristina Horton

From: Tiffani King
Sent: Wednesday, August 7, 2019 3:07 PM
To: Kristina Horton; Fran Eide; Steve Sperr
Cc: David Smith; Tim Smith; Chuck Dower
Subject: RE: Zola Mixed Use - LU 19-2862

Follow Up Flag: Follow up
Flag Status: Flagged

Update on the vacation application –

Looks like it did not show up on Kristina's to do list. I will be working with chuck to figure out why it happened and get it fixed so that it can be processed.

Tiffani King
Engineering Plans Examiner
City of Olympia
Community Planning & Development
(360) 753-8257
tking@ci.olympia.wa.us

From: Tiffani King
Sent: Wednesday, August 07, 2019 12:06 PM
To: Kristina Horton <khorton@ci.olympia.wa.us>; Fran Eide <feide@ci.olympia.wa.us>; Steve Sperr <ssperr@ci.olympia.wa.us>
Cc: David Smith <dsmith3@ci.olympia.wa.us>; Tim Smith <tsmith@ci.olympia.wa.us>
Subject: Zola Mixed Use - LU 19-2862

Hi Everyone –

The Zola mixed use project is here for review and we are looking like we may be able to go straight to approval with some conditions.

I was not originally assigned to this project – but have been assigned to it from this point forward. I was looking at this one and realized that there has been a vacation request here since May 2019 (**19-1765**). There hasn't been any action taken on that application and I wanted to check in on it to make sure it hasn't dropped off the radar.

I guess there were some meetings earlier in the year – the customer needs to install a retaining wall that would encroach into the right of way (unless we approve the vacation request) and would result in a 6 foot sidewalk instead of the typical 10 ft sidewalk. In concept it appears that the City was in agreement with this proposal. Do we also need a deviation request – or does/can this be included with the reasons for the vacation and the approval language of the vacation request?

I am just reaching out – thinking we need to include this in the conditions of approval – and again just to check the status of the vacation request.

Tiffani King

Kristina Horton

From: Steve Sperr
Sent: Wednesday, August 7, 2019 1:19 PM
To: Tiffani King
Cc: Kristina Horton; Fran Eide; David Smith; Tim Smith
Subject: Re: Zola Mixed Use - LU 19-2862

Follow Up Flag: Follow up
Flag Status: Flagged

Tiff,
I don't think we need Deviation Request per se, since we plan to include the explanation of what we agreed to allow there in the staff report for the street vacation to City Council

-Steve
(Sent from my iPhone)

On Aug 7, 2019, at 12:06 PM, Tiffani King <tking@ci.olympia.wa.us> wrote:

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Tiffani King
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