

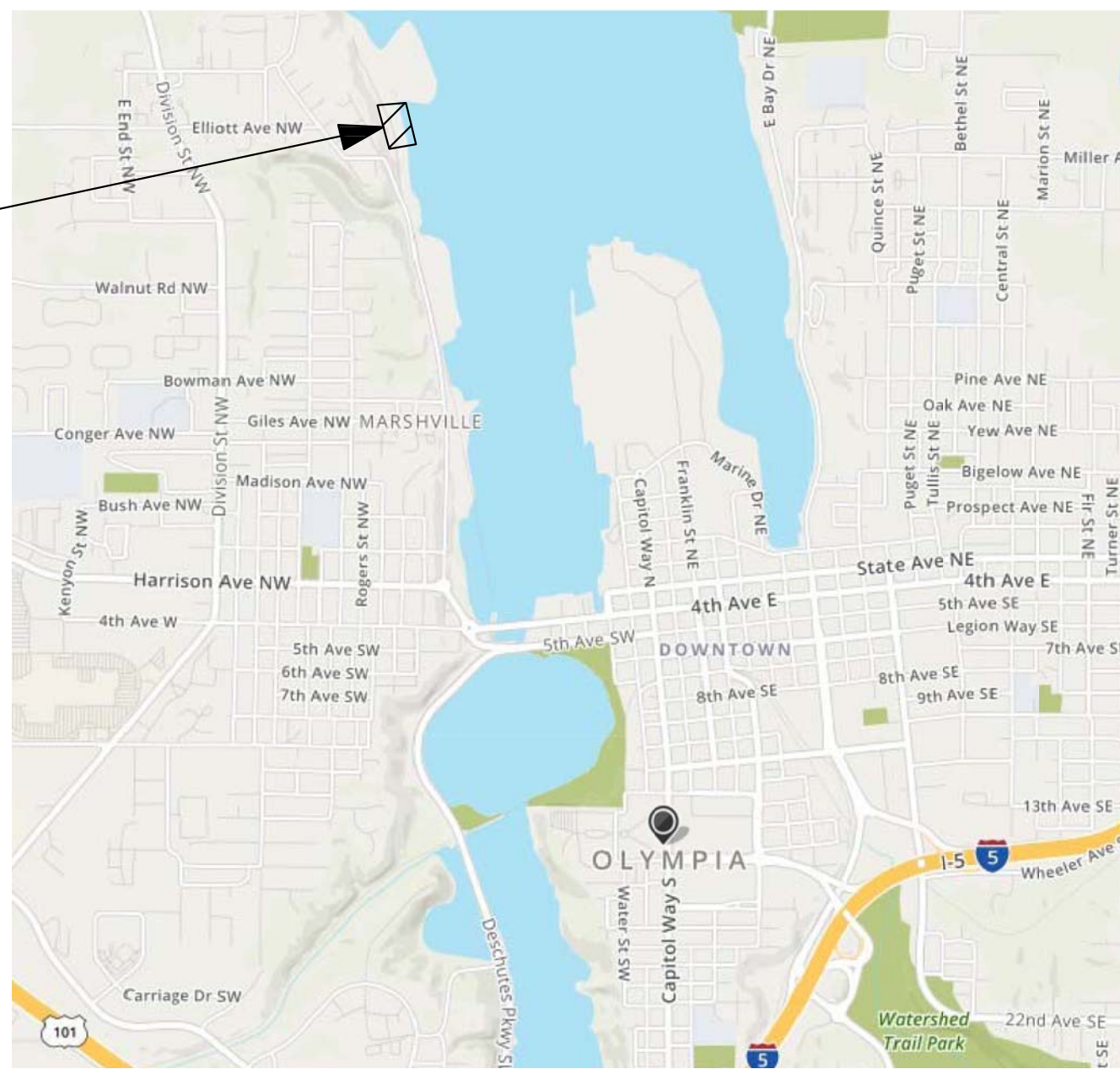


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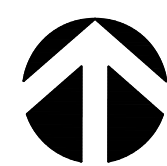
JUSTIN YOUNKER  
509) 480-0642

$$A = 1.0$$

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APPROXIMATE —  
SITE LOCATION

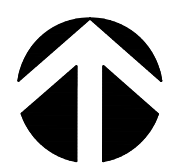


VICINITY MAP

NOT TO SCALE

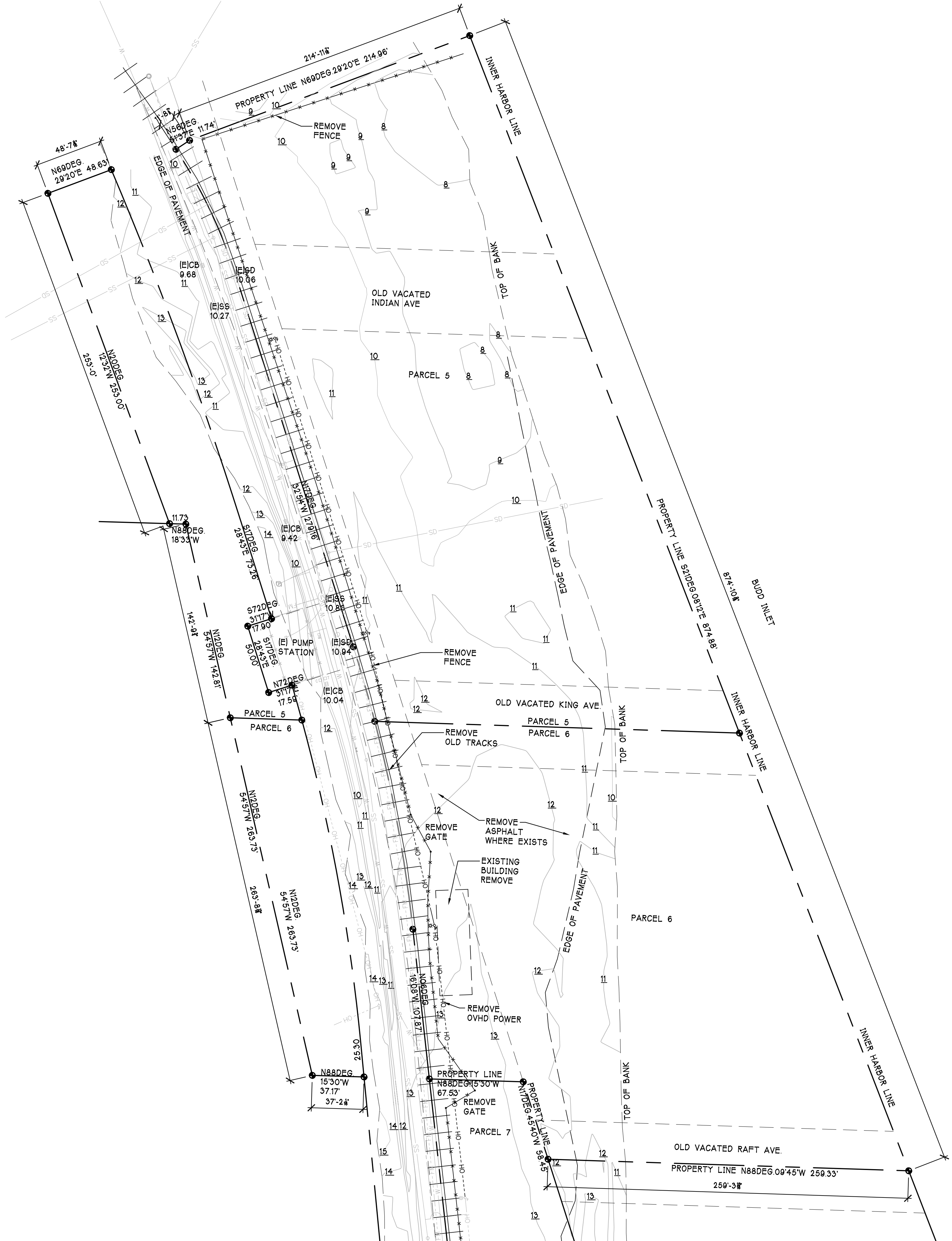


APPROXIMATE —  
SITE LOCATION



AERIAL IMAGE

NOT TO SCALE



EXISTING CONDITIONS/ DEMOLITION SITE PLAN

SCALE: 1"=40'-0"



SITE PLAN NOTES.

1. CONNECT ALL DOWNSPOUTS TO PVC TIGHTLINES AND CONNECT TO STORM DRAINAGE SYSTEM PER CIVIL DRAWINGS.
2. SEE CIVIL DWGS FOR GRADING, DRAINAGE, AND UTILITY PLANS
3. VERIFY LOCATIONS OF EXISTING GAS, POWER, SEWER, WATER, COMMUNICATION/ STORM LINES PRIOR TO CONSTRUCTION
4. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND PROPERTY LINES
5. PROVIDE AND INSTALL CONDUIT AND POWER FROM POWER POLE AND TELEPHONE/ DATA SERVICE TO BUILDING TYP.
6. STRIPE ALL STALLS AS SHOWN DO NOT NUMBER STALLS
7. PROVIDE AND INSTALL GAS PIPING TO BUILDING AS REQ'D FOR SERVICE
8. REFER TO CIVIL DRAWINGS FOR ALL SITE DIMENSIONS AND BUILDING LOCATIONS TYPICAL
9. REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPE REQUIREMENTS, LOCATIONS, AND QUANTITIES
10. ELECTRICAL CONTRACTOR TO PROVIDE SHOEBOX TYPE LUMINAIRE, POLE MOUNTED, SUITABLE FOR WET LOCATIONS.

PROPERTY ADDRESS: 1801 WEST BAY DR NW  
OLYMPIA, WA 98502

PARCEL #:

91015002000 - NE OF ROAD  
91015001000 - SE OF ROAD  
09510006002 - E OF ROAD 'SLIVER'  
09750018001 - NW OF ROAD  
09510006000 - SW OF ROAD  
510182W

SECTION.

LEGAL DESCRIPTION.

91015002000 - FCT B 384/ PT B 385/ VAC ST ADJ LY SLY OF NLY LN 0951-000-6 EXTN

91015001000 - FCT B 383/ PT VAC ST COM SE COR N 22-58-27 W 306.34 W T O M&L

09510006002 - HURD DC BEG SE COR TR CYD TO HARTSON 60/ 545 S 89-54-15W

09750018001 - PLUMB DC THAT PT BOUNDED ON W/ N BY LN BEG AT PT ON S LN DCN

09510006000 - HURD DC THAT PT LY N OF FILE #663655 & ELY OF W LN 6 01545 L

SITE SQUARE FOOTAGE

91015002000 - 2.11 ACRES  
91015001000 - 2.02 ACRES  
09510006002 - .45 ACRES  
09750018001 - .43 ACRES  
09510006000 - .28 ACRES  
TOTAL = 5.29 ACRES

ZONING

(UW) URBAN WATERFRONT  
WEST BAY DRIVE DISTRICT

PERMITTED USES 18.06

APARTMENTS - PERMITTED  
RETIREMENT HOMES - PERMITTED  
(SENIOR APARTMENTS - INDEPENDENT LIVING IS THE EXACT USE)  
CONFIRM THIS IS PERMITTED WITH CITY OF OLYMPIA

SEPA/ SHORELINE REVIEW

(REQUIRED)

DESIGN REVIEW 18.100/ 18.155

REQUIRED - FOR (UW) ZONE

LAND USE PROCESS

(TO BE CONFIRMED WITH CITY OF OLYMPIA)

LOT AREA

NO MINIMUM - (OK)

BUILDING SETBACKS FROM PROPERTY LINES

FRONT W BAY RD (WEST): 0'-0" REQUIRED  
SIDE, INTERIOR (NORTH): 0'-0" REQUIRED  
SIDE, INTERIOR (SOUTH): 0'-0" REQUIRED  
REAR, (EAST): 0'-0"

NOTE: SEE CHAPTER 18.100 FOR PEDESTRIAN ACCESS AND VIEW CORRIDORS

BUILDING HEIGHT

-SEE FIGURE 6-2 URBAN WATERFRONT DISTRICT HEIGHT LIMITS, EXCEPTIONS  
2) IN THE PORTION OF THE AREA ON WEST BAY DRIVE WITH A HEIGHT LIMIT OF 42'-0" TO 65'-0", THE TALLER HEIGHT LIMIT IS CONDITIONED UPON THE PROVISION OF CERTAIN WATERFRONT AMENITIES. SEE 18.06.100(A)(2)(C)

NOTE - WE ARE PROPOSING (2) BUILDING THAT HAVE A TOTAL VIEW BLOCKAGE OF 58% AND HAVE A PARKING GARAGE WITH 3 STORIES ABOVE AND IS 42'-0" ABOVE FINISHED GRADE.

OUR UNDERSTANDING IS WE CAN HAVE A VIEW BLOCKAGE OF UP TO 70% IF OUR BUILDING IS 3 STORIES OVER A PARKING GARAGE AND LESS THAN 42'-0" ABOVE GRADE IF WE PROVIDE A WATERFRONT TRAIL THE FULL LENGTH OF THE EAST PROPERTY LINE WITH PUBLIC POCKET PARKS/ AND PLAZAS WITH ART.

CONFIRM WITH CITY OF OLYMPIA

BUILDING COVERAGE

60% FOR PROPERTIES BETWEEN THE SHORELINE AND THE NEAREST UPLAND STREET (32.448/ 230432 SF = 14%

SITE COVERAGE

MAXIMUM IMPERVIOUS SURFACE COVERAGE

100% DEVELOPMENT COVERAGE ALLOWED (OK)  
39,545 SF NEW ASPHALT  
25,590 SF NEW CONCRETE  
32,448 SF BUILDING FOOTPRINT

TOTAL IMPERVIOUS 97,583 SF OR 42% OF SITE (OK)

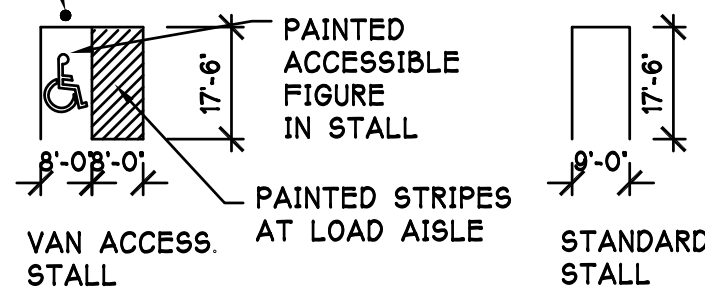
27,407 SF NEW LANDSCAPING/ 74,222 INLET/ 31,220 WEST SITES  
TOTAL (PERVIOUS) 132,849 SF OR 58% OF SITE

BUILDING SQUARE FOOTAGE

BUILDING A / B  
PARKING GARAGE 16,224 SF EA. BUILDING  
1ST FLOOR - 3RD FLOOR 16,224 EA. X 3 = 48,672 EA. BUILDING  
TOTAL WITH PARKING GARAGE = 64,896 EA. BUILDING  
TOTAL BOTH BUILDINGS - 129,792

PARKING

RESERVED PARKING  
SIGN WITH R7-801 PLAQUE  
PER WSDOT STD PLAN H-5-E



PARKING CALCULATIONS

STANDARD STALL SIZE 9'-0" X 17'-6"  
DRIVE AISLE LANES ARE TO BE 24'-0" WIDE

INDEPENDENT LIVING SENIOR APARTMENTS REQUIRE 1 PARKING STALL PER UNIT (TO BE CONFIRMED WITH CITY OF OLYMPIA) NOT NOTED FOR (IL-SENIOR) USE  
NOTE MULTIPLE UNIT DWELLINGS NOTES 1.5 PER DWELLING UNIT BUT SINCE THIS IS A SENIOR MULTIPLE UNIT DWELLING IT SHOULD BE LESS - DISCUSS WITH CITY OF OLYMPIA

(48) 2 BEDROOMS AND (60) 1 BEDROOMS  
108 DWELLING UNITS/ 1 = (108) STALLS REQUIRED  
(131) PROVIDED ON SITE (5) TOTAL ADA STALLS (OK)

NOTE: 108 X 1.5 = 162 SO WE WOULD BE SHORT AT 1.5 PER UNIT

BICYCLE PARKING

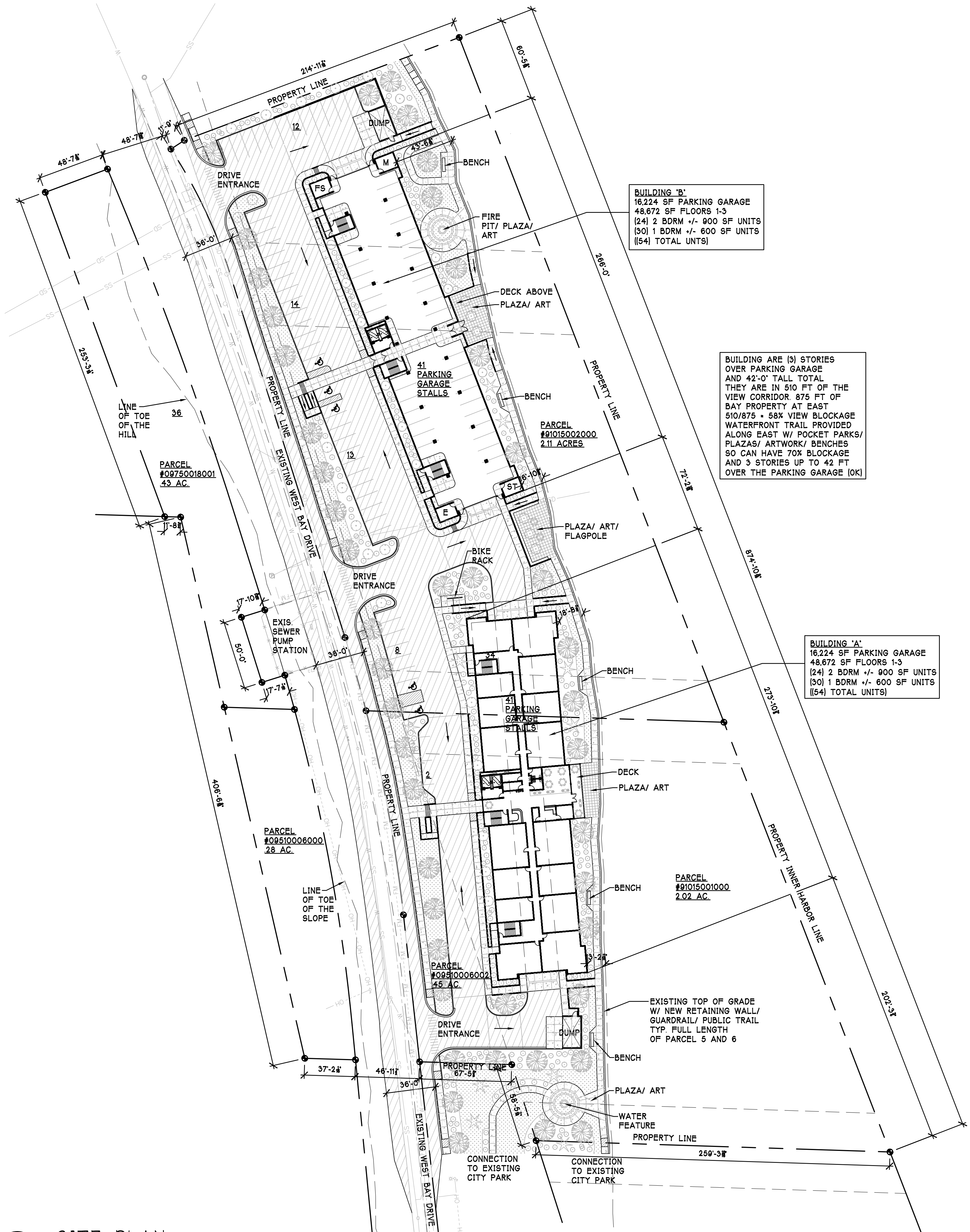
REQUIRED AT A RATIO OF 1 PER 10 UNITS  
108/10 = (11) BICYCLE SPACES REQUIRED. (11) PROVIDED (OK)

LANDSCAPING REQUIREMENTS

- 1) PER CITY OF OLYMPIA MUNICIPAL CODE
- 2) REFER TO LANDSCAPE PLAN
- 3) PARKING LOT LANDSCAPING AS REQUIRED
- 4) PERCENTAGE OF SITE TO BE LANDSCAPED AS REQUIRED
- 5) 10'-0" LANDSCAPE STRIP ALONG WEST BAY RD NW
- 6) 5'-0" PERIMETER LANDSCAPE BUFFER MINIMUM AT SIDE AND REAR PROPERTY LINES
- 7) STREET TREES AT FRONTAGE ALONG W BAY ST.  
30'-0" O.C. MAX.
- 8) LANDSCAPE REQUIRED AT TRASH RECEPTACLES, MECHANICAL, AND ELEC. EQUIPMENT.

LEGEND:

- NEW CONCRETE SIDEWALK
- NEW ASPHALT
- AREA OF CURB/ GUTTER PER CIVIL
- AREA OF RETAINING WALL/ CAST CURB PER CIVIL
- AREA OF EXTRUDED CURB PER CIVIL
- CATCH BASIN PER CIVIL
- SITE LIGHT PER ELECTRICAL
- SITE PEDESTRIAN LIGHT



116 EAST FIR STREET  
SUITE A  
MOUNT VERNON, WA. 98273

Phone: (360) 424-0394  
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A NEW IL FACILITY FOR:  
OLYMPIA FIELDSTONE  
CASCADIA DEVELOPMENT  
1801 WEST BAY DR NW  
OLYMPIA, WA  
98502  
CONTACT:

JUSTIN YOUNKER  
(509) 480-0642

#19-365  
PROJECT NUMBER:

REVISIONS:  
11-26-19 PRELIM SET

SHEET TITLE:

SITE PLAN

DAVID WILSON  
PROJECT ARCHITECT:

DAVID WILSON  
DRAWN BY:

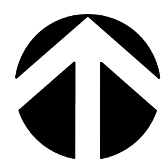
PETER J CARLETTI  
CHECKED BY:

NOVEMBER 22, 2019  
DATE

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COMPUTER FILE NAME

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SITE PLAN

SCALE: 1"=40'-0"