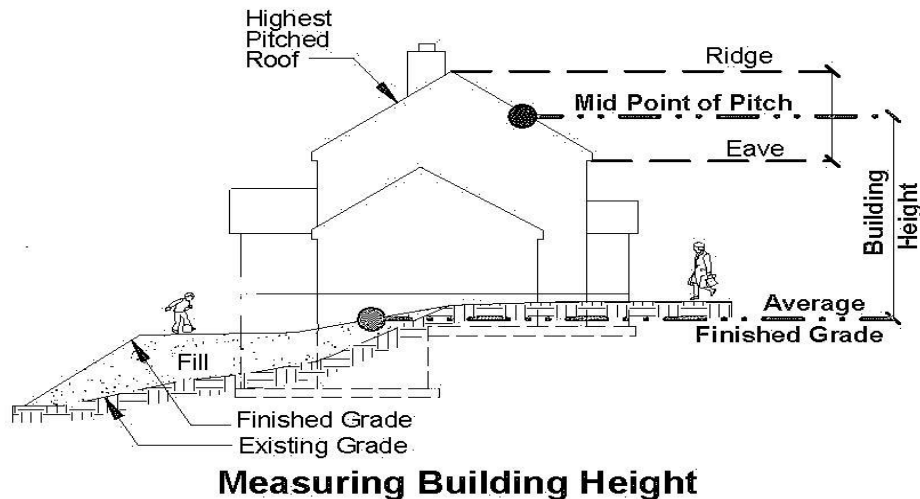


#### 18.04.080 Residential districts' development standards

Table 4.04 identifies the basic standards for development in each residential district contained in this chapter. The sections referenced in Table 4.04 refer to the list of additional regulations below.

##### I. Height.

1. Roof Projections. The following structures may exceed the height limits specified for the district in Table 4.04 by eighteen (18) feet, provided that such structures do not contain floor space: roof structures housing elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building; fire or parapet walls; skylights; towers; flagpoles; chimneys; smoke stacks; wireless masts; television antennas; steeples; and similar structures. Use of this provision shall be kept to the minimum amount of space needed to accommodate the allowed roof projection. For the UR zoning district, see view protection provisions in section 18.04.080.I.3 below for additional parameters-



**FIGURE 4**

##### 2. RMU District Height Regulations.

- a. Base building heights. The base building heights allowed in the RMU District are specified in Figure 4-5.
- b. Sculptured building tops. The following sculptured building top regulations apply only where the permitted building height is sixty (60) feet. Buildings with sculptured tops may exceed the permitted height (60 feet) by two (2) building stories if they meet the following conditions:
  - i. The gross floor area of all of sculptured stories is at least one-third ( $1/3$ ) less than the gross floor area of the first floor of the building; and
  - ii. The roof form is sculptured (e.g., pitched roof, hip roof, dome, chateau roof, tower, turret, pediment, dormers, or other similar form); and
  - iii. The added two (2) stories are setback from the street wall at least eight (8) feet; and

iv. The roof structure is designed to hide all mechanical and communications equipment located there.

3. UR District Height Regulations. The building heights allowed in the UR District are specified in Figure 4-5 and 45-A. Also see 18.10.060, Capitol Height District.

- a. Roof Projection Allowances: If the city determines that the proposed development is located on a site in the UR zone where use of the roof projection allowance is proposed and that it may impact a protected landmark view (as listed in Appendix B of the Land Use and Urban Design chapter of the Comprehensive Plan), a view analysis shall be submitted that demonstrates, as determined by the city, that the proposed roof projection will not block or substantially impact the protected view from its designated observation point in order to make use of the roof projection allowances of Section 18.04.080.I.

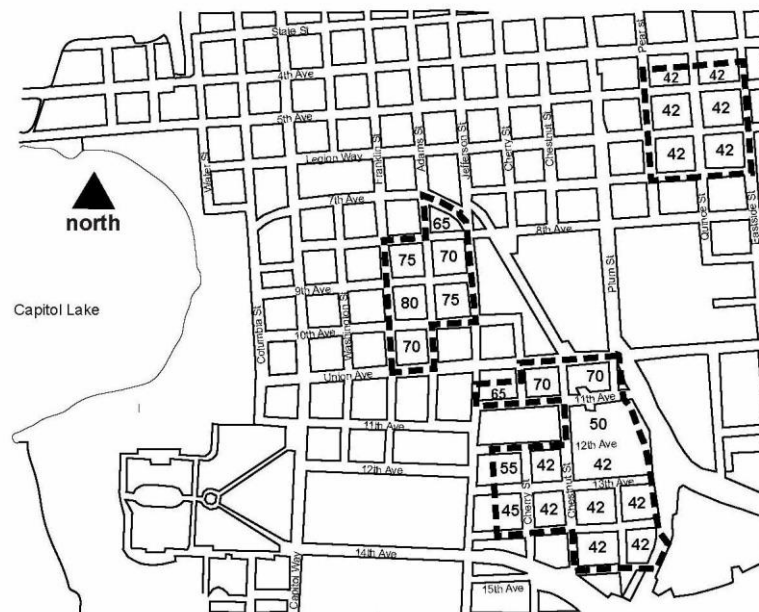
4. R4-8 District Height Regulations. Existing State Community College Education Facilities. A maximum 60' building height is allowed with a 100' setback from adjacent residentially zoned property.

5. Places of Worship. Places of worship may exceed the height limits specified in Table 4.04, except in the State Capitol Group Height District, provided that the side yard width equals at least fifty (50) percent of the building's proposed height (including spires and towers).

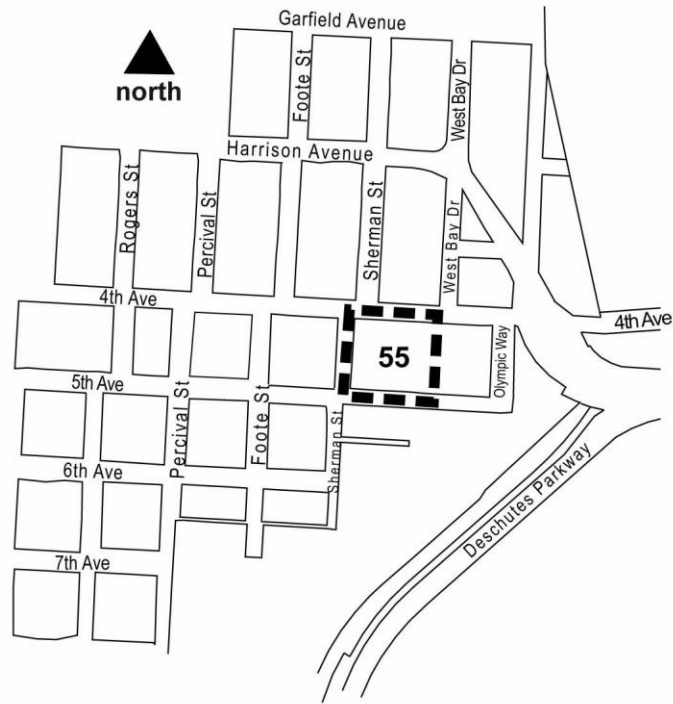
6. Radio, Television and other Communication Towers. The height of radio, television, and other communication towers may exceed the maximum building height allowed in the district, subject to approval of the Hearing Examiner consistent with Sections [18.04.060\(W\)](#) and (X).

7. Tall Buildings in the MR Districts. Buildings between thirty-five (35) and forty-five (45) feet in height are permitted in the MR 7-13 and MR 10-18 districts, subject to compliance with the following requirements:

Urban Residential and Residential Mixed Use District Heights



**FIGURE 4-5**



**FIGURE 4-5A**

a. The proposed building will not be located within one hundred (100) feet of the boundary of the property under development (this may include several parcels under a single development proposal). Exceptions to this requirement shall be granted where topography, stands of trees (deemed appropriate for retention by the City, consistent with Chapter [16.60](#), Tree Protection and Replacement), or other site features block the visibility of the section of the building above thirty-five (35) feet in height from existing or potential residential areas (zoned and available for residential use) adjoining the site; and

b. Existing evergreen trees, which the City deems are appropriate to the site (e.g., which do not pose significant risks for proposed site improvements or public safety, consistent with Chapter [16.60](#), Tree Protection and Replacement) are retained where possible to help screen the building from the view of residents of dwellings abutting the property.

8. Water Towers. Water towers may exceed the height limits specified in Table 4.04.

[NOTE: Refer to Article III, Height Overlay Districts, for additional restrictions.]

J. Private and Common Open Space.

1. Development of Open Space. Open space (e.g., private yard areas and common open space) required by Table 4.04 shall be devoted to undisturbed native vegetation, landscaping (consistent with Chapter [18.36](#), Landscaping and Screening), and/or outdoor recreational facilities. Driveways, loading areas, maneuvering space and parking lots shall not be considered open space. Required open space shall not be covered with impervious surfaces, except for stoops, porches, or balconies, walkways, tennis courts, swimming pools, or similar uses which require an impervious surface. Up to a five percent (5%) increase in impervious surface coverage may be allowed to accommodate such

hard surfaced facilities. Also see Chapter [16.60](#), Tree, Soil and Native Vegetation Protection and Replacement.

2. Cottage Housing Developments. Cottage housing developments shall provide open space as follows:

a. A minimum of two hundred (200) square feet of private, contiguous, usable, open space shall be provided adjacent to each dwelling unit. No dimension of this open space area shall be less than ten (10) feet provided that at least fifty percent (50%) of such open space may be combined with soil and vegetation protection area standards.

b. A minimum of fifteen hundred (1,500) square feet or two hundred (200) square feet per unit, whichever is more, shall be provided in common open space (i.e., available for the use of all residents of the development). This open space shall be contained in a contiguous area with no dimension less than thirty (30) feet. A substantial portion of such open space shall be sufficiently level (e.g., less than five percent (5%) slope) and well drained to enable active use in summer.

3. Mixed Density Districts. Parcels or sites accommodating multifamily housing (e.g., triplexes, fourplexes, and larger apartment buildings) in a MR 7-13 or MR 10-18 district shall contain at least thirty percent (30%) open space. At least fifty percent (50%) of such open space must be available for the common use of the residents of the multifamily housing. Such open space shall be developed consistent with Section [18.04.080\(J\)\(1\)](#) above. This open space requirement shall be reduced to twenty percent (20%) if the multifamily housing adjoins a park, school or open space site of at least ten thousand (10,000) square feet in size. Impervious surface coverage limits specified in Table 4.04 shall be adjusted accordingly.

4. Manufactured or Mobile Home Parks. At least five hundred (500) square feet of common open space shall be provided per dwelling unit (see Section [18.04.060\(P\)\(8\)](#)). At least fifty percent (50%) of such open space shall comply with soil and vegetation protection area standards.

5. Residential - 4 Chambers Basin District. Required open space for stormwater dispersion may be provided in a common area or within each individual private lot of a development. All required drainage dispersal areas shall be protected from filling and grading and all other activities which would decrease the ability of such areas to disperse and infiltrate stormwater. Side yard setback areas shall be designed to disperse roof runoff to the maximum extent practical. To qualify as a "drainage dispersal tract" (required to create lots of less than one acre) such area shall be held in common or deeded to homeowners association and otherwise conform with the requirements of stormwater tracts as set forth in the Olympia Stormwater Drainage Manual.

## Chapter 18.06 COMMERCIAL DISTRICTS

### 18.06.000 Chapter Contents

#### Sections:

<a href="#">18.06.020</a>	Purposes.
<a href="#">18.06.040</a>	Permitted, conditional, and prohibited uses.
<a href="#">18.06.060</a>	Commercial districts' use standards.
<a href="#">18.06.080</a>	Commercial districts' development standards (General).
<a href="#">18.06.100</a>	Commercial districts' development standards (Specific).
<a href="#">18.06.120</a>	Additional regulations.

### 18.06.060 Commercial districts' use standards

#### D. Banks.

1. High Density Corridor-3 (HDC-3) Requirements. Banks which offer only drive-through service (i.e., which serve customers exclusively in or on their vehicles) are not permitted.
2. Urban Waterfront (UW) and Downtown Business (DB) District Requirements. Drive-through banks may be permitted with a conditional use permit if the proposed project meets the Street Edge Development Standards of the Pedestrian Streets Overlay District, Chapter [18.16](#) OMC ~~if outside of the Downtown Design District or the Street Fronts standards of Chapter 18.120.220 for projects in the Downtown Design District. The proposed project may be exempted from the Pedestrian-Oriented Street Wall Requirement under the "Pedestrian Streets Overlay District Requirements" if it is found that:~~
  - a. ~~The proposed design meets the intent of the Pedestrian Streets Overlay District, "Pedestrian Streets Overlay District Requirements"; and~~
  - b. ~~The building site presents unusual conditions which require an alternative design to accomplish the intent of the Pedestrian Streets Overlay District, "Pedestrian Streets Overlay District Requirements."~~

#### BB. Wholesale Sales. The following Conditional Use Permit restrictions apply to wholesale uses:

1. Urban Waterfront (UW) District Requirements. Wholesale sales are a permitted use in those portions of the UW District ~~for which the use is are not within the Pedestrian Streets Overlay District (see Chapter 18.16).~~ [directly](#)

adjacent to a Type A or B Street ([Street types are as shown in Section 18.120.140, OMC](#)). In those portions of the UW District which are ~~within the Pedestrian Streets Overlay District~~ [directly adjacent to a Type A or B street](#), wholesale sales may be allowed as a conditional use if the proposed project meets the ~~Street Edge Development~~ [applicable Street Fronts s](#) Standards of the ~~Pedestrian Streets Overlay District~~ [Downtown Design Criteria, Chapter 18.120](#). The proposed project may be exempted from the ~~Pedestrian-Oriented Street Wall Requirement~~ [Street Fronts standards in Chapter 18.120](#) if:

- a. The proposed design meets the intent of the Chapter; and
- b. The building site presents unusual conditions which require an alternative design to accomplish the intent.

2. Commercial Services - High Density (CS-H) District Requirements. Permitted uses include those which offer specialized products at wholesale to other uses permitted in this district, including, but not limited to, office machine sales and repair services, and office supply sales.

HH. Urban Waterfront Housing. Up to a maximum of 1 FAR (floor area ratio) can be made up of allowed uses other than residential. ~~(Refer to Pedestrian Street Overlay District 18.16.060(B) for amount and location of commercial uses in a predominantly residential project on "A" streets.)~~

### **18.06.080 Commercial districts' development standards (General)**

A. General Standards. The standards contained in Table 6.02 (Commercial Districts' Development Standards) relating to lot area, building setbacks, development coverage, building coverage, and building height apply to commercial districts as indicated. They may be a minimum requirement (e.g. minimum lot size), or a maximum allowance (e.g., maximum height). Many of the standards in Table 6.02 are summaries of more detailed information found in Section [18.06.100](#), Specific Development Standards.

**18.06.080 TABLES: Commercial Districts' Development Standards**

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
MINIMUM LOT SIZE	7,200 Sq. Ft.	No minimum, except 1,600 = cottage 3,000 = zero lot 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse 6,000 sq. ft. = duplex 7,200 sq. ft. = multifamily 4,000 = other	No minimum, except 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse	No minimum, except 1,600 = cottage 3,000 = zero lot 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse 6,000 sq. ft. = duplex 7,200 sq. ft. = multifamily 4,000 = other	No minimum, except 1,600 = cottage 3,000 = zero lot 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse 6,000 sq. ft. = duplex 7,200 sq. ft. = multifamily 4,000 = other	No minimum, except 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse	No minimum, except 1,600 sq. ft. minimum 2,400 sq. ft. average = townhouse	See also 18.06.100(D) for regulations on existing undersized lots of record.
FRONT YARD SETBACK	See Chapter <a href="#">18.110</a> , Basic Commercial Design Criteria	10' maximum, if located in a High Density Corridor; 10' minimum otherwise.	5' minimum for residential otherwise none.	0-10' See 18.130	0-10' See 18.130	0-10' See 18.130	0-10' See 18.130	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets.

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
								2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060</a> (C). 3. Must comply with site design standards, Chapter <a href="#">18.100</a> .
REAR YARD SETBACK	15' minimum.	10' minimum; Except: 1. Next to an R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR 7-13, MR 10-18, RM-18, RM-24 or RMH	10' minimum; Except: 1. Next to single-family use or an R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR 7-13, MR 10-18, RM-18, RM-24 or RMH district	10' minimum; Except: 1. Next to an R4, R4-8, or R6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories; 10 ft. where an alley separates HDC-1 from the above residential district.	10' minimum; Except: 1. Next to an R4, R4-8, or R6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories; 10 ft. where an alley separates HDC-2 from the above residential district.	10' minimum; Except: 1. Next to single-family use or an R4, R4-8, or R6-12 district = 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-24 or RMH	10' minimum; Except: 1. Next to single-family use or an RLI, R4, R4-8, or R6-12 district - 15' minimum + 5' for each bldg. floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-24 or RMH	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with site design standards, Chapter <a href="#">18.100</a> .



**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
		district = 10' minimum + 5' for each bldg. floor above 2 stories.	(refer to 1 above if adjacent use is single-family) = 10' minimum + 5' for each bldg. floor above 2 stories.	2. Next to MR7-13, MR 10-18, RM-18, RM-24 or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories.	2. Next to MR7-13, MR 10-18, RM-18, RM-24, or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories.	district (refer to 1 above if adjacent use is single-family) = 10' minimum + 5' for each bldg. floor above 2 stories.	district (refer to 1 above if adjacent use is single-family) = 10' minimum + 5' for each bldg. floor above 2 stories.	
SIDE YARD SETBACK	15' minimum.	No minimum on interior, 10' minimum on flanking street; Except: 1. Next to R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR 7-13,	No Minimum; Except: 1. Next to R 4, R 4-8, or R 6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR 7-13, MR 10-18, RM-18, RM-24 or RMH district = 10' minimum + 5' for each	No minimum on interior, 10' minimum on flanking street; Except: 1. Next to R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-	No minimum on interior, 10' minimum on flanking street; Except: 1. Next to R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-	No Minimum; Except: 1. Next to R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-24 or RMH district = 10' minimum + 5'	No Minimum; Except: 1. Next to RLI, R4, R4-8, or R6-12 district = 15' minimum + 5' for each building floor above 2 stories. 2. Next to MR7-13, MR10-18, RM-18, RM-24 or RMH district = 10'	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060(C)</a> . 3. Residential side_yards can

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
		MR 10-18, RM-18, RM-24 or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	bldg. floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	24 or RMH district = 10' minimum + 5' for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	24 or RMH district = 10' minimum + 5' for each building floor above 2 stories. 3. Residential excluding mixed use structures: 5' except 6' on one side of zero lot.	for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures; 5' except 6' on one side of zero lot.	minimum + 5' for each bldg. floor above 2 stories. 3. Residential excluding mixed use structures; 5' except 6' on one size of zero lot.	be reduced consistent with 18.04.080(H)(5). 4. Must comply with site design standards, Chapter <a href="#">18.100</a> .
MAXIMUM BUILDING HEIGHT	<del>Up to 35';</del> <del>whichever is less.</del>	Up to 35', if any portion of the building is within 100' of R 4, R 4-8, or R 6-12 district; Up to 60' otherwise.	Up to 35', if any portion of the building is within 100' of R 4, R 4-8, or R 6-12 district; Up to 60' otherwise; or up to 70', if at	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	The portion of a building within 100' of land zoned for maximum density of less than 14 units per acre is limited to 35'. The portion of	1. Not to exceed height limit set by State Capitol Group Height District, 18.10.060, for properties near the State Capitol Campus.

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
			least 50% of the required parking is under the building; or up to 75', if at least one story is residential.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise. Provided that one additional story may be built for residential development only.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise. Provided that one additional story may be built for residential development only.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise; or up to 70', if at least 50% of the required parking is under the building; or up to 75', if at least one story is residential.	a building within 50' of land zoned for a maximum density of 14 units per acre or more is limited to the lesser of 60' or the height allowed in the abutting district. Up to 60' otherwise; or up to 70', if at least 50% of the required parking is under the building; or up to 75', if at least one story is residential. See 18.130.060	2. Must comply with site design standards, Chapter <a href="#">18.100</a> . 3. HDC-1 and HDC-2 additional story must comply with OMC 18.06.100.A.6. <a href="#">4. In the Downtown Design District, see 18.120.220 and 18.120.440 for upper story step back requirements.</a>

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
							Significant Building Entry tower exemption (allows an additional 30' for a tower element at Capital Mall). Up to 75' for HDC-4 zoned properties where the proposed project provides for the development of replacement dwelling units in a development agreement and the project site is all or part of	

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
							an area of 40 acres or more that was in contiguous common ownership in 2009.	
MAXIMUM BUILDING COVERAGE	45%	70%, except 55% for residential only structures	70%; or 85% if at least 50% of the required parking is under the building.	70% for all structures	70% for all structures	70% for all structures, 85% if at least 50% of the required parking is under the building.	70% for all structures. 85% of the site if at least 50% of the required parking is under the building. On redeveloped sites, 85% if at least 50% of new required parking is under the building or in a structured parking form.	For projects in the GC and HDC-4 zones west of Yauger Way, limitations of building size per 18.06.100(C) and 18.130.020 apply.

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
							85% for HDC-4 zoned properties where the proposed project provides for the development of replacement dwelling units in a development agreement and the project site is all or part of an area of 40 acres or more that was in contiguous common ownership in 2009.	
MAXIMUM IMPERVIOUS	50%	70%	85%	85% for all structures	85% for all structures	85% for all structures	85% for all structures	See OMC <a href="#">18.06.100</a> (D).

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
SURFACE COVERAGE								
MAXIMUM HARD SURFACE	60%	85%, except 75% for residential structures						
ADDITIONAL DISTRICT-WIDE DEVELOPMENT STANDARDS	Maximum building size (gross sq. ft.): 3,000 for single use; 6,000 for mixed use.	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B) and Figure 6-3). <a href="#">In the Downtown Design District, see Chapter 18.120 for</a>	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)). <a href="#">In the Downtown Design District, see Chapter 18.120 for upper story stepbacks.</a>	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	Building Floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(B)).	For properties in the vicinity of <del>the Downtown</del> <del>or</del> Kaiser Road and Harrison Ave NE, also see Pedestrian Streets Overlay District, Chapter <a href="#">18.16</a> . For retail uses over 25,000 square feet in gross floor area, see Section <a href="#">18.06.100(G)</a> Large Scale Retail Uses. EXCEPTION: Section

**TABLE 6.02  
COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS**

STANDARD	NR	PO/RM	GC	HDC-1	HDC-2	HDC-3	HDC-4 and HDC-4 Capital Mall	ADDITIONAL REGULATIONS
		<a href="#">upper story stepbacks.</a>						<a href="#">18.06.100(G)</a> shall not apply to motor vehicle sales. <a href="#">In the Downtown Design District, see Chapter 18.120.</a>

**LEGEND**

NR = Neighborhood Retail  
GC = General Commercial

PO/RM = Professional  
Office/Residential  
Multifamily

HDC-1=High Density  
Corridor-1  
HDC-2=High Density  
Corridor-2  
HDC-3=High Density  
Corridor-3  
HDC-4=High Density  
Corridor-4



**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
MINIMUM LOT AREA	7,200 Sq. Ft.	No minimum.	No minimum.	No minimum.	7,200 Sq. Ft. if bldg. height is 35' or less. 12,500 Sq. Ft. if bldg. height is over 35'.	No minimum.	
FRONT YARD SETBACK	10' maximum.	No minimum; however, see Chapter <a href="#">18.100</a> for design guidelines for pedestrian access and view corridors. <a href="#">In the Downtown Design District: 12' from the curb on Type A and B Streets, 10' from curb for Type C Streets.</a>	No minimum. <a href="#">In the Downtown Design District: 12' from the curb on Type A and B Streets, 10' from curb for Type C Streets.</a>	No minimum. <a href="#">In the Downtown Design District: 12' from the curb on Type A and B Streets, 10' from curb for Type C Streets.</a>	No minimum.	30' minimum for buildings; 15' for other structures except signs	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060(C)</a> . 3. See Design Guidelines, Chapter <a href="#">18.100</a> .
REAR YARD SETBACK	15' minimum; If next to a residential	No minimum; however, see Chapter <a href="#">18.100</a> for	No minimum.	No minimum.	5' minimum if building has 1 or 2 stories.	15' minimum.	50' minimum from property line for

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
	zone, 15' minimum plus 5' for every story over 3 stories.	design guidelines for pedestrian access and view corridors.			10' minimum if building has 3 or more stories.		agriculture buildings (or structures) which house animals other than pets.
SIDE YARD SETBACK	10' minimum; 15' minimum plus 5' for every story over 3 stories if next to a residential zone.	No minimum; however, see Chapter <a href="#">18.100</a> for design guidelines for pedestrian access and view corridors.	No minimum.	No minimum.	5' minimum if building has 1 or 2 stories. 10' minimum if building has 3 or more stories; AND the sum of the 2 side yards shall be no less than 1/2 the building height.	5' minimum 30' minimum for buildings and 15' minimum for other structures from flanking streets.	1. 50' minimum from property line for agriculture buildings (or structures) which house animals other than pets. 2. Must comply with clear sight triangle requirements, Section <a href="#">18.40.060(C)</a> . 3. See Design Guidelines, Chapter <a href="#">18.100</a> .
MAXIMUM BUILDING HEIGHT	75'; except hospitals, which may	See <a href="#">18.06.100(A)(2)</a> and Figure 6-2, Urban Waterfront	Refer to Figure 6-2 and 6-2B for specific	75'; PROVIDED, however, that two additional	75' Exception: Up to 100' may be allowed with conditional	40' accessory building	Not to exceed height limit set by State Capitol Group Height

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
	exceed that height.	District Height Limits Exceptions: 1) In the portion of the area Downtown with a height limit of 65', two additional residential stories may be built. See 18.06.100(A)(2)(b). 2) In the portion of the area on West Bay Drive with a height limit of 42' to 65', the taller height limit is conditioned upon the provision of certain waterfront amenities. See 18.06.100(A)(2)(c).	height and building configurations required on specific blocks. <a href="#">In the Downtown Design District, see view protection measures in 18.06.100 and Chapter 18.120.</a>	stories may be built, if they are residential. There are also restrictions around Sylvester Park. For details, see 18.06.100(C)(6) <del>Height, Downtown Business District.</del> <a href="#">In the Downtown Design District, see view protection measures in 18.06.100 and Chapter 18.120.</a>	approval by the City Council, upon recommendation of the Hearing Examiner. For details, see 18.06.100(C)(5), Height, Commercial Services-High Density. <a href="#">In the Downtown Design District, see view protection measures in 18.06.100 and Chapter 18.120.</a>	limited to 20'.	District, 18.10.060, for properties near the State Capitol Campus.
MAXIMUM BUILDING COVERAGE	50%	60% for properties between the shoreline and the nearest upland street.	100%	No requirement.	No requirement.	85%	

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
		100% for properties not between the shoreline and the nearest upland street.					
MAXIMUM IMPERVIOUS SURFACE COVERAGE	60%	100% development coverage.	100%	100%	100%	85%	
MAXIMUM HARD SURFACE	65%						
ADDITIONAL DISTRICT-WIDE DEVELOPMENT STANDARDS	Building floors above 3 stories which abut a street or residential district must be stepped back a minimum of 8 feet (see 18.06.100(F)). Residential uses (Section 5 of Table	Street ends abutting the water shall be preserved to provide views of and public access to the water, pursuant to Section <a href="#">12.16.050(D)</a> OMC. <del>See also Chapter 18.100 for Downtown design guidelines for</del>	Street ends abutting the water shall be preserved to provide views of and public access to the water, pursuant to <a href="#">12.16.050(D)</a> .		Residential uses must comply with High Rise Multi-family (RM-H) development standards.	6' of sight-screening buffer shall be provided along north, east, and west district boundaries. See Olympia Park Replat covenants for access,	For properties in the vicinity of the Downtown, also see <del>Pedestrian Streets Overlay District, Chapter 18.16 and the</del> <a href="#">Downtown Design Guidelines in 18.120</a> . For retail uses over 25,000

**TABLE 6.02  
COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	MS	UW	UW-H	DB	CS-H	AS	ADDITIONAL REGULATIONS
	6.01) may not be constructed within 600 feet of Lilly Road except in upper stories of mixed use building; all other development standards are the same as for commercial uses.	<del>Pedestrian Access and View Corridors and Waterfront Public Access;</del> <del>Chapter 18.100 for Port Peninsula design guidelines for Pedestrian Connections and View Corridors;</del> Section <a href="#">18.06.100</a> (A)(2)(c) for West Bay Drive building height and view blockage limits; and Chapter <a href="#">18.100</a> for West Bay Drive view corridors.				and other standards applicable to replat lots.	square feet in gross floor area, see Section <a href="#">18.06.100</a> ( <a href="#">GC</a> ) Large Scale Retail Uses. EXCEPTION: Section <a href="#">18.06.100</a> ( <a href="#">GC</a> ) shall not apply to motor vehicle sales.

**LEGEND**

MS = Medical Services

DB = Downtown Business

CS-H = Commercial

Services - High Density

UW = Urban Waterfront

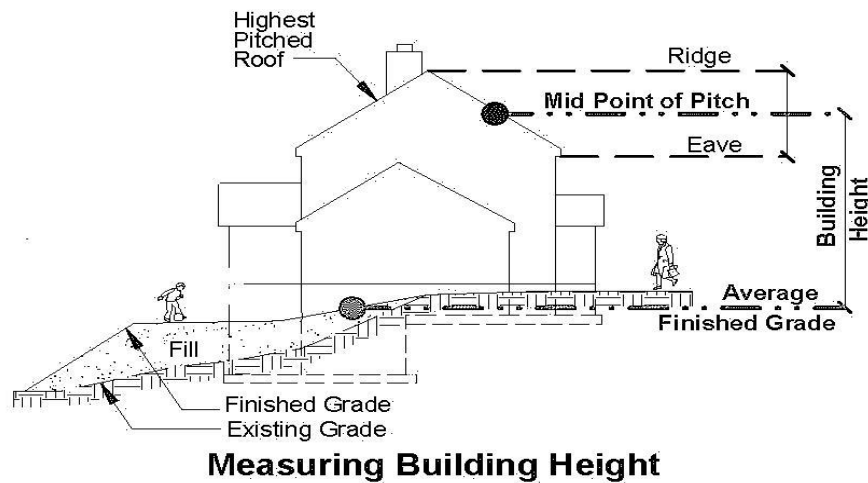
UW-H = Urban Waterfront-  
Housing

AS=Auto Services

## 18.06.100 Commercial districts' development standards--Specific

### A. Height.

1. Roof structures for the housing of elevators, stairways, tanks, ventilating fans and similar equipment required to operate and maintain the building, fire or parapet walls, skylights, towers, flagpoles, chimneys, smoke stacks, wireless masts, T.V. antennas, steeples and similar structures may be erected above the height limits prescribed in this Title, provided that no roof structure, feature or any other device above the prescribed height limit shall be allowed or used for the purpose of providing additional floor space. This height exception does not apply to the additional story provision for residential development described in OMC 18.06.100.A.6. Provided, further, that no roof structure or architectural feature shall be erected more than eighteen (18) feet above the height limit of the district, whether such structure is attached to it or free-standing.



**FIGURE 6-1A**

2. Urban Waterfront (UW) District.
  - a. Allowed building heights in the Urban Waterfront (UW) District are specified in Figure 6-2.
  - b. Bonus for residential development.
    - i. In the area labeled sixty-five (65) feet on Figure 6-2, up to two additional stories may be built (except as limited in subsection d below), if the project is located in the downtown, and if the added stories are stepped back from the street wall at least eight (8) feet, and if an equivalent floor area (equal to the amount from the added stories) is provided for residences, as follows:

- (a) In the same building--i.e., it is a residential or a mixed use building; or
- (b) With commercial and residential uses in separate buildings on the same site; or
- (c) With commercial and residential uses on separate sites within the Urban Waterfront (UW) district.

ii. Occupancy. Housing provided under this bonus provision as part of a mixed use project must receive an occupancy permit at the same time as, or in advance of, issuance of an occupancy permit for non-residential portions of the project.

iii. Conversion. Housing provided under this bonus provision shall not be converted to commercial use.

iv. Source of housing units. Housing provided under this bonus provision may be:

- (a) New construction,
- (b) Adaptive reuse of a formerly non-residential structure, or
- (c) Rehabilitation of existing housing.

c. West Bay Drive building height and view blockage limits.

i. In order to retain public and private view access to Budd Inlet from hillside sites above West Bay Drive, the maximum building height in the West Bay Drive portion of the Urban Waterfront (UW) District labeled " 42'-65' " on Figure 6-2 shall be up to a maximum of 42 feet, except as provided in subsections (iii) and (iv) below.

ii. In order to retain public view access of Budd Inlet from street level in the West Bay Drive portion of the Urban Waterfront (UW) District labeled " 42'-65' " on Figure 6-2, view blockage shall be limited as follows:

- (a) Views of the water will be defined as area without obstruction by buildings or major structures measured between 45 and 90 degrees to West Bay Drive, as illustrated in Figure 6-2A.

(b) Said view blockage shall be limited to 45 percent of the views of the water from West Bay Drive by buildings or major structures located between West Bay Drive and the mean high water line.

(c) Exceptions are provided in subsections (iii) and (iv) below.

iii. Development shall be subject to the alternate standards for building height and view blockage, if alternate waterfront view access is provided through public amenities as follows:

<b>Amenity Provided</b>	<b>Limits on Horizontal View Blockage and Height</b>
Waterfront Trail	70% up to 42 ft., OR 45% up to 65 ft.
Expanded Waterfront Trail Corridor Facility (or small waterfront park area).	50% up to 42 ft., OR 45% up to 50 ft.
Both	70% up to 65 ft.

Any development over 42 feet shall be required to include a minimum of 20% of the usable building area for residential purposes.

iv. Criteria for approval of alternate waterfront view access.

(a) Waterfront Trail.

(1) Trail right-of-way consistent with City trail standards shall be dedicated to the City.

(2) The trail shall be designed consistent with City standards and requirements, or as otherwise approved by the Olympia Parks, Arts and Recreation Department. Because the trail passes by different land uses, it may take a different character in different locations, for reasons of safety, privacy, or environmental protection.

(3) The developer shall design, build, and dedicate the facility to the City.

(4) An analysis of recreation needs shall be provided by the Olympia Parks, Arts and Recreation Department. An analysis of environmental impacts, hazardous waste risks, and engineering issues sufficient to determine the design and location for the trail facility shall be approved by the Olympia Parks, Arts and Recreation Department but provided by the developer. All analysis shall be complete prior to approval.



(b) Expanded Waterfront Trail Corridor Facility or Small Waterfront Park.

(1) The developer shall build and dedicate the facility and its site to the City.

(2) The expanded waterfront trail corridor facility or small park area shall be designed consistent with City and other applicable government standards and requirements, or as otherwise approved by the Olympia Parks, Arts and Recreation Department. The expanded waterfront trail corridor facility or small park may vary in size from City park standards and could include additional right-of-way for the expanded trail, landscaping, habitat enhancement, benches, lighting, parking, restrooms, garbage receptacles, telephones, interpretive signs and other park facilities.

(3) An analysis of environmental impacts, hazardous waste risks, trail improvements, and engineering issues sufficient to design the expanded waterfront trail corridor facility or small park area shall be approved by Olympia Parks, Arts and Recreation Department but provided by the developer. All analysis shall be complete prior to approval.

(4) The expanded waterfront trail corridor facility or small park shall have a publicly accessible connection to West Bay Drive, designed, constructed, and dedicated for public use by the developer.

v. The view blockage rules shall be applied on a project-wide basis and not for each lot or parcel in a project, thus allowing projects providing more views on some lots to have more view blockage on other lots as long as the overall project meets the view blockage requirements.

d. Landmark Views: In order to protect designated landmark views from public observation points, the height bonus allowed in subsection b, above, is limited as follows:

i. Block 14 Height Bonus: A view analysis of the proposed development shall be submitted that demonstrates the view of the Capitol Drum and Dome will remain visible from the East Bay Lookout after the development occurs. This may prohibit use of the height bonus, or restrict which portions of the block are eligible to use the bonus. Block 14 is bounded by Olympia Avenue, Adams Street, Thurston Avenue, and Jefferson Street.

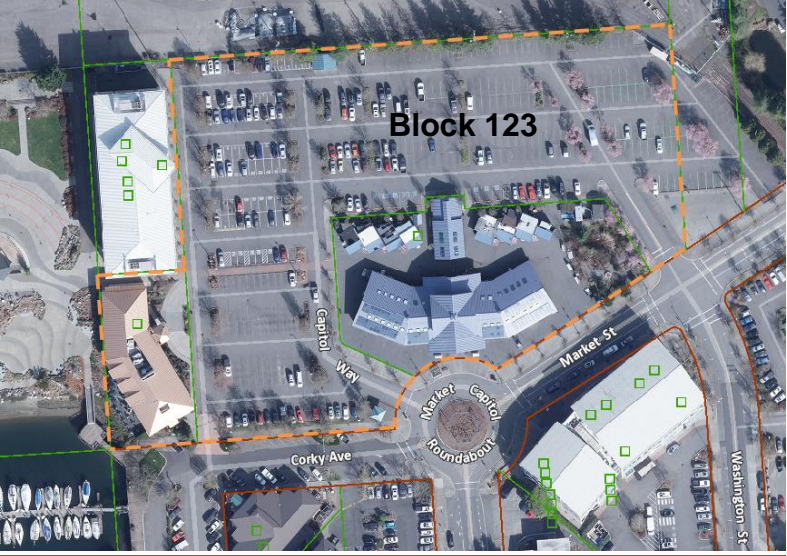


- ii. Block 122: Height bonus is limited to one additional story, up to a maximum height of 75 feet. Block 122 is bounded by Olympia Ave, Jefferson Street, and Marine Drive.



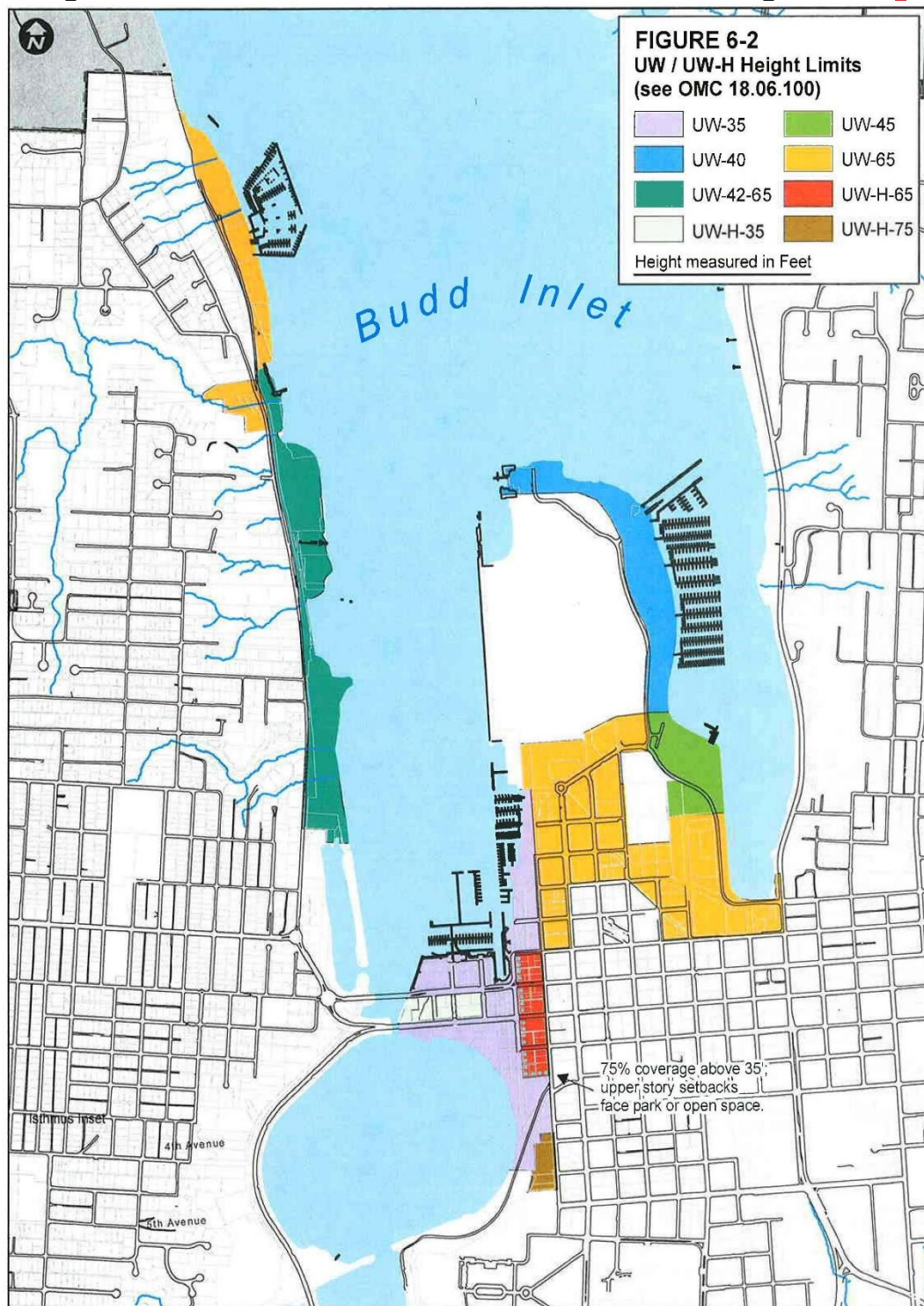
- iii. Block 123: The bonus height provision is not applicable in this location. Block 123 is bounded by Corky Avenue and Market Street to south and industrial uses to the north.



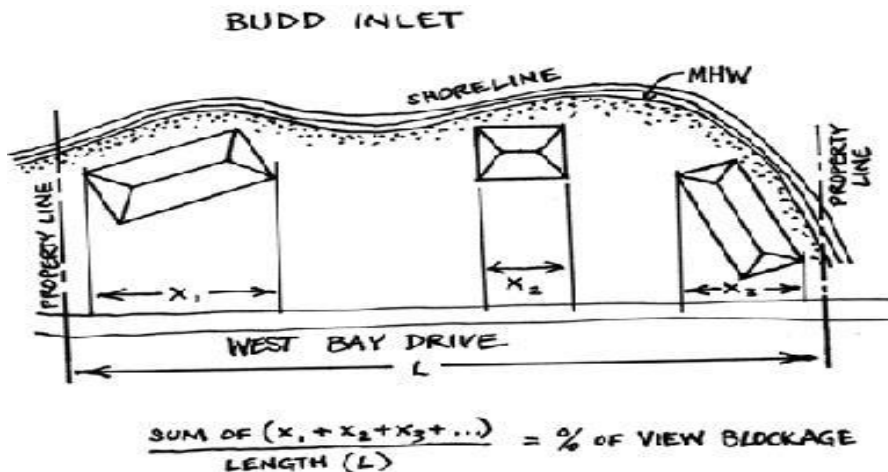




**Figure 6-2 Urban Waterfront and Urban Waterfront Height Limits\***



\*See 18.06.100(A)(2) for height limitations that apply to Blocks 14, 122, and 123 in order to protect adopted landmark views from specific observation points.



**FIGURE 6-2A**  
**Calculating View Blockage in a portion of the Urban Waterfront District along West Bay Drive.**

3. Commercial Services-High Density. The maximum building height allowed is one hundred (100) feet. Provided, however, that no building or structure may exceed seventy-five (75) feet in height without conditional review and approval by the Hearing Examiner. Approval of structures exceeding seventy-five (75) feet in height shall meet the following criteria:

- a. The building design shall be compatible with or enhance the physical characteristics of the site, the appearance of buildings adjacent to the site and the character of the district.
- b. The site plan shall facilitate efficient and convenient circulation, shall include landscaping that creates a pleasing appearance from both within and off the site and shall be an asset to the community at large.
- c. Enhancement of public view access or direct public access to usable open space areas shall offset any potential upland view loss which may occur as a result of the proposal.

4. Downtown Business District.

- a. Building height allowed outright in the DB zone is seventy-five (75) feet.
- b. Bonus for residential development.
- c. Enhancement of public view access or direct public access to usable open space areas shall offset any potential upland view loss which may occur as a result of the proposal.

i. Buildings may exceed the height allowed outright (75 feet) by up to two (2) stories, if the added stories are stepped back from the street wall at least eight (8) feet, and if floor area equal to the amount from the added stories is provided for residences:

(a) In the same building--i.e., it is a residential or a mixed use building; or

(b) With commercial and residential uses in separate buildings on the same site; or

(c) With commercial and residential uses on separate sites within the Downtown Business (DB) zone.

ii. Occupancy. Housing provided under this bonus provision as part of a mixed use project must receive an occupancy permit at the same time as, or in advance of, issuance of an occupancy permit for non-residential portions of the project.

iii. Conversion. Housing provided under this bonus provision shall not be converted to commercial use.

iv. Source of housing units. Housing provided under this bonus provision may be:

(a) New construction,

(b) Adaptive reuse of a formerly non-residential structure, or

(c) Rehabilitation of existing housing.

5. Urban Waterfront - Housing.

a. Allowed building heights in the Urban Waterfront-Housing District are specified in Figure 6-2.

b. Required step backs and placement of step backs over 35 feet on specific blocks are specified in Figure 6-2.

6. High Density Corridor (HDC - 1 and HDC - 2).

a. Building height allowed outright in the HDC-1 and HDC-2 zones as outlined in OMC [18.06.080](#), Table 6.02.

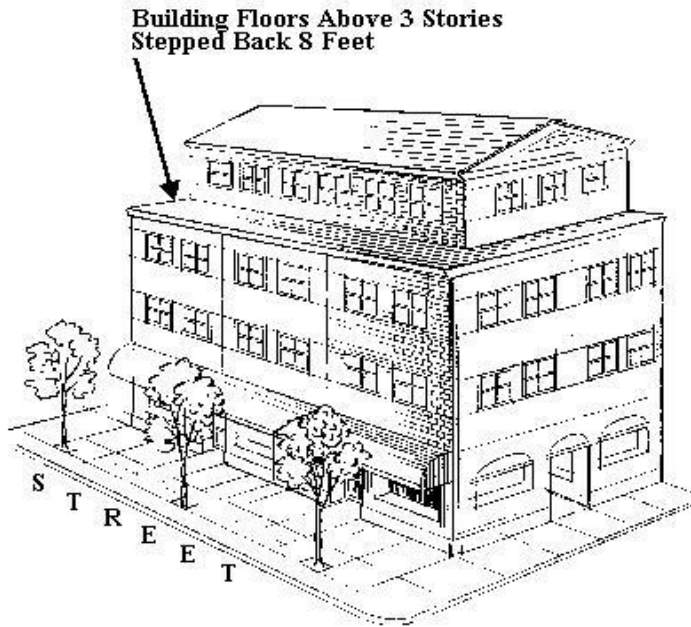
b. Additional story for residential development.

- i. Additional story can only be allowed for those development that do not provide a mechanical "penthouse" room as allowed under the provisions of OMC [18.06.100.A](#). However, the additional story can be occupied with both residential development and mechanical equipment.
- ii. Buildings may exceed the height allowed outright in OMC [18.06.080](#), Table 6.02, by one (1) story. The additional story cannot exceed fourteen (14) feet above the maximum allowable height requirement as specified in OMC [18.06.080](#), Table 6.02.
- iii. The additional story must be stepped back at least eight (8) feet from any abutting street or any abutting residential zoning district. See OMC 18.06.100.B.2.
- iv. Housing provided under this additional story as part of a mixed use project must receive an occupancy permit at the same time as, or in advance of, issuance of an occupancy permit for non-residential portions of the project.
- v. Housing provided under this additional story provision shall not be converted to commercial use. Except that the residential units may conduct business activities under the provision for home occupations. See OMC [18.04.060.I](#).
- vi. Housing provided under this bonus provision may be:
  - (a) New construction;
  - (b) Adaptive reuse of a formerly non-residential structure, or
  - (c) Rehabilitation of existing housing.
- vii. This additional story is not available and will not be approved within 100 feet of a designated historic district.

## B. Upper Story StepBacks.

1. High Density Corridor-1 (HDC-1), Community Retail (CMR), High Density Corridor-2 (HDC-2, General Commercial (GC), High Density Corridor-4 (HDC-4), Medical Services (MS), and Professional Office/Residential Multifamily (PO/RM) District Requirements:

Building floors above three (3) stories which abut a street or residential district must be stepped back a minimum of eight (8) feet (see Figure 6-3).



**FIGURE 6-3**

2. Additional Story Provision for HDC-1 and HDC-2. Projects within the HDC-1 and HDC-2 zoning districts which use the additional story provisions for residential development as outlined in OMC 18.06.100.A.6, must step the additional story back by a minimum of eight (8) feet. The step back is required for the additional story which abuts a street or residential district.

C. Large Scale Retail Uses. Retail uses over twenty-five thousand (25,000) square feet in gross floor area under common ownership or use shall meet the design requirements of this section. For purposes of this section, a retail use under common ownership or use shall mean a single establishment which shares checkstands, management, a controlling ownership interest, or storage areas, e.g., a plant nursery or a grocery store associated with a general merchandise store, such as a home improvement store.

In General Commercial and HDC-4 zones west of Yauger Way, single story or single use commercial retail space shall not occupy more than 60,000 square feet of enclosed building space on the ground floor, unless a development agreement is approved. These buildings shall be designed and oriented to provide for pedestrian and bicycle circulation throughout the site and to adjacent buildings and properties. A building larger than 60,000 square feet can be allowed when it is not directly adjacent to a street designated as an "A" street in the Pedestrian Street Overlay and if a development agreement is approved that at a minimum addresses:

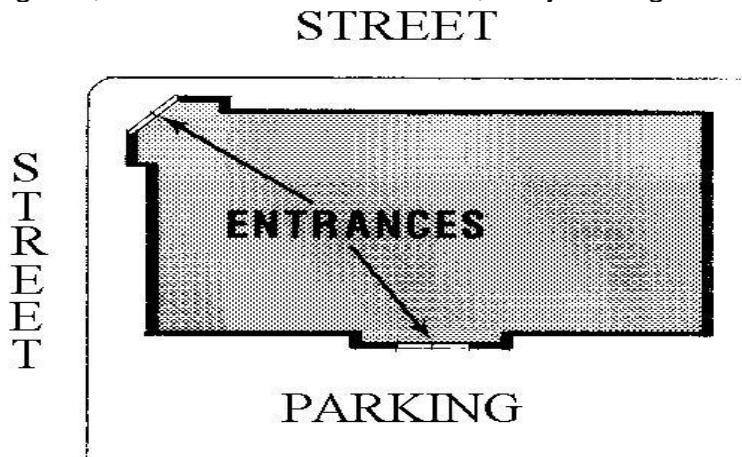
- 1) Building orientation, massing, and use of high quality materials
- 2) Parking is located to the rear or side of the building, or is separated from the street by additional retail buildings



3) Pedestrian, bicycle, and vehicular circulation on site and connections to adjacent properties

4) Community assets, such as the multi-use trail identified in the Kaiser Harrison Opportunity Area Plan

1. Customer entrances. Customer entrances shall be provided on each facade that faces an abutting street, customer parking, or a public park or plaza, up to a maximum requirement of three customer entrances per business occupancy. If there are two or more facades facing abutting streets, at least two such facades must provide a customer entrance. An entrance on a corner of the building may count as serving two facades. Such entrances shall provide both ingress and egress, and shall be double doors, not just single units. See Figure 6-4.

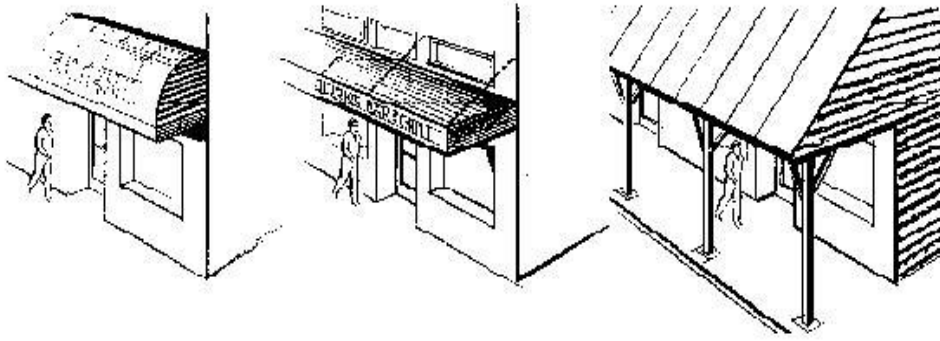


**Customer Entrances must be provided on facades facing abutting streets and parking. Example shows corner entrance serving two street facades, plus entrance serving parking.**

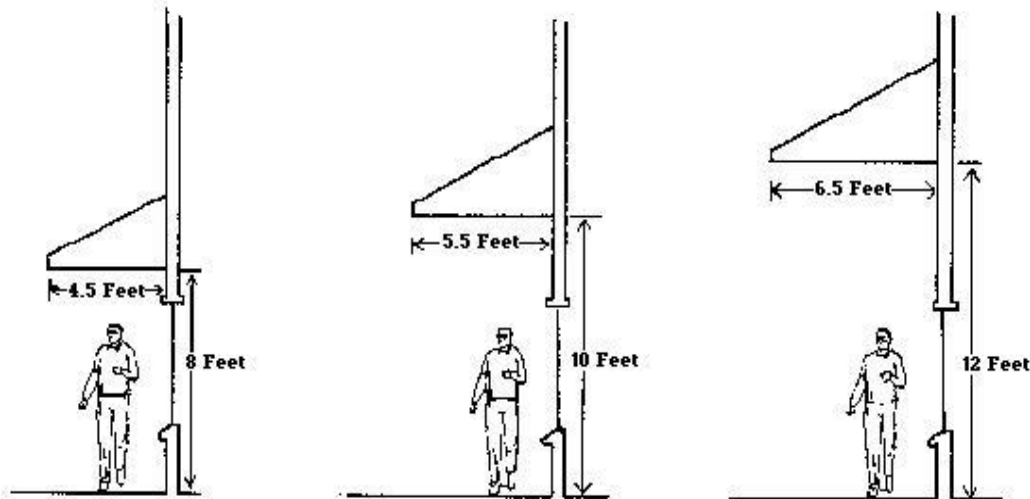
**FIGURE 6-4**

2. Rain protection. Awnings, canopies, marquees, arcades, building overhangs or similar forms of pedestrian weather protection, at least four and one half (4 1/2) feet wide, shall be provided over a pedestrian walkway along at least eighty (80) percent of any facade with a customer entrance. See Figure 6-5. Such weather protection shall be placed no less than eight (8) feet above the walkway. If placed more than eight (8) feet above the walkway, such weather protection shall be at least an additional six (6) inches in width for each additional foot of height, or portion thereof. See Figure 6-6.

Development in the HDC-4 Capital Mall Area shall use design standards established for this area instead of the above rain protection regulation. See 18.130.050 HDC 4-Capital Mall.



**Rain Protection (L to R): Awning, Marquee, Arcade**  
**FIGURE 6-5**



**Width of Rain Protection is determined by height above walkway.**  
**FIGURE 6-6**

3. Wall articulation. Facades greater than fifty (50) feet in length shall incorporate wall plane projections or recesses having a depth of at least three percent (3%) of the length of the facade and extending in the aggregate at least twenty percent (20%) of the length of the facade. No uninterrupted length of any such facade shall exceed fifty (50) horizontal feet. **EXCEPTION:** This requirement shall not apply to walls which:

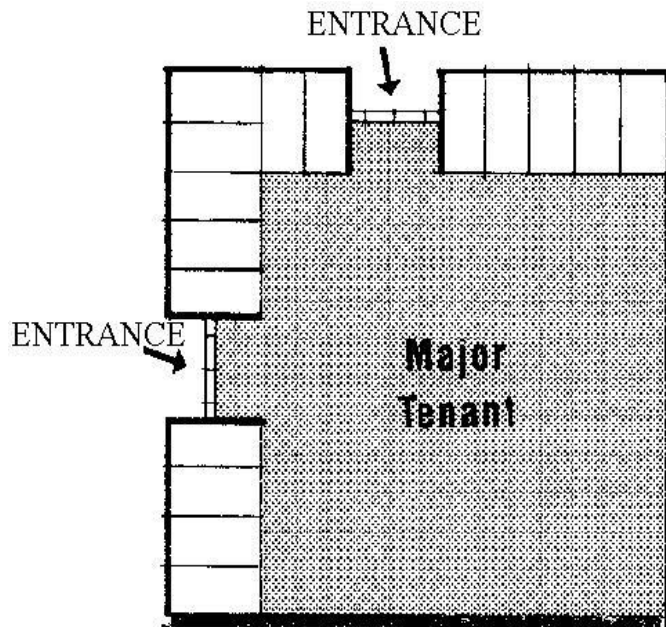
- a. have no customer entrance; and
- b. are only visible from service areas, and not from nearby residences or from the customer parking lot or an abutting street.

Development in the HDC-4 Capital Mall Area shall use design standards established for this area instead of the above wall articulation regulation. See 18.130.050 HDC 4-Capital Mall.

4. Frontage limit. The frontage per business occupancy shall be limited to one hundred (100) feet along any facade facing an abutting street, unless sixty percent (60%) or more of the facade between two (2) and eight (8) feet above the sidewalk is in transparent glazing; i.e., transparent windows, display windows, or transparent store doors (staff note: this would allow a major tenant to have lots of its own display windows, or to lease peripheral space to lots of small tenants, or to look like it was doing so, or to build added stories to get added floor area). See Figures 6-7 through 6-12. EXCEPTION: This requirement shall not apply to that portion of a facade where the average grade level of the sidewalk of the abutting street is 4 feet or more above or below the adjacent floor level of the building. See Figure 6-13. Development in the HDC-4 Capital Mall Area shall use design standards established for this area instead of the above frontage limit. See 18.130.050 HDC 4-Capital Mall.



**Example of building with 100' frontage, hence exempt from transparent glazing requirement.**  
**FIGURE 6-7**



**Frontage limited by placing small shops on periphery of building, plan view.**  
**FIGURE 6-8**



Small shops on periphery of building, elevation view.  
FIGURE 6-9



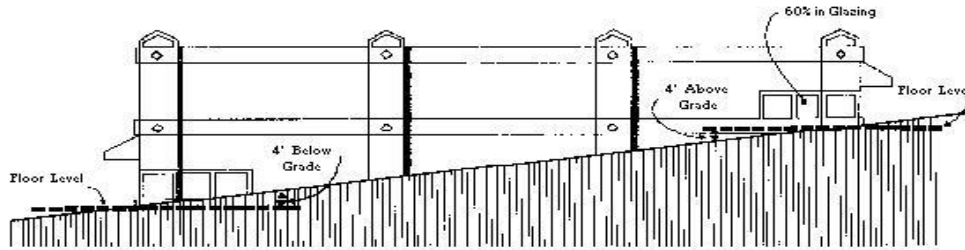
150-foot frontage with 60% of facade between 2' and 8' in transparent glazing.  
FIGURE 6-10



25,000 square foot 1-story building with 150 feet of frontage  
FIGURE 6-11



50,000 square foot building on 2 stories with 150 feet of frontage  
FIGURE 6-12



**Transparency requirement does not apply to the portion of a facade with a floor level over 4' above or below grade.**

**FIGURE 6-13**

5. Very Large Scale Retail Facilities. Retail uses under common ownership or use, which exceed size thresholds set forth in subsection (a) below for the zone in which the retail uses are proposed, shall meet the additional development and design requirements specified in subsections (a)(ii)-(iv). Those which exceed size thresholds set forth in subsection (b) below for the zone in which the retail uses are proposed shall be subject to the requirements for Conditional Use approval provided in subsection (b)(ii).

a. Added development and design requirements for Very Large Scale Retail Facilities

i. Thresholds for requirements

District	Size (gross floor area)
GC	60,000 sq. ft.
HDC-2	40,000 sq. ft.
HDC-3	50,000 sq. ft.
HDC-4, except Capital Mall Area	60,000 sq. ft.
UW	40,000 sq. ft.
UW-H	25,000 sq. ft.
DB	25,000 sq. ft.
UC	50,000 sq. ft.

ii. Adaptability for Reuse/Compartmentalization. The building design shall include specific elements that facilitate the structure's adaptation for multi-tenant reuse. Such elements may include but are not limited to compartmentalized construction, including plumbing, electrical service, heating, ventilation and air conditioning. The building design shall also allow for all of the following:

(1) Subdivision of the interior of structure into separate tenancies. The design for interior subdivision shall accommodate multiple potential tenancies, each no larger than fifty percent (50%) of the size threshold for the district defined in subsection (i) above. Example A: An applicant designs a 120,000 sq. ft. Very Large Scale Retail Use in the GC district to accommodate reuse by four potential tenancies of 30,000 sq. ft. each. Example B: An applicant designs the same building to accommodate two potential tenancies of 30,000 sq. ft., and four potential tenancies of 15,000 sq. ft.

(2) Facades that readily adapt to multiple entrances without compromising the structural integrity of the building, and adapt to entrances on at least two sides of the building; or, if the building is designed to have only one front facade, all potential tenancies shall be designed for access from the front facade.

(3) Parking lot designs that are shared by establishments or are linked by safe and functional pedestrian connections.

(4) Landscaping schemes that complement the multiple entrance design.

(5) Design and placement of loading docks/loading bays to accommodate multiple potential tenancies.

(6) Other elements of design which facilitate the multi-tenant reuse of the building and site.

iii. Parking Design.

(1) Parking lots with over one acre in paving shall be designed for on-site infiltration of the stormwater generated on site. This may be accommodated by underground infiltration vaults, porous paving, or other techniques permitted by the City of Olympia Stormwater Drainage Manual, and subject to the approval of the Department of Public Works.

(2) Bicycle parking shall meet all requirements of the City's bicycle parking regulations, in particular Sections [18.38.100](#) Vehicular and Bicycle Parking Standards, and 18.38.220 Design Standards - General.

iv. Site Design.

(1) The site design shall include a plan for pedestrian circulation with logical connections between buildings, between buildings and

adjacent streets, and from buildings to parking areas. (See also Sections [18.110.030](#), [18.120.110](#), and [18.150.030](#).)

(2) Pedestrian walkways within the development shall be differentiated from driving surfaces through a change in materials, and shall be designed to accommodate persons with disabilities, such as wheelchair users.

b. Conditional Use Approval

i. Thresholds for Conditional Use Approval

<b>District</b>	<b>Size (gross floor area)</b>
GC	125,000 sq. ft.
HDC-2	60,000 sq. ft.
HDC-3	75,000 sq. ft.
HDC-4, except Capital Mall Area	125,000 sq. ft.
UW	60,000 sq. ft.
UW-H	40,000 sq. ft.
DB	40,000 sq. ft.
UC	100,000 sq. ft.

ii. Conditions for Approval. The following requirements apply to all Very Large Scale Retail Facilities subject to conditional use approval.

(1) The Hearing Examiner shall determine that the proposed facilities meet the development and design requirements of subsection (a) above, and all other requirements of this Title.

(2) The Hearing Examiner shall determine that the proposed facilities will not be detrimental to the health, safety, or welfare of the general public, nor injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

(a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

(b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

(c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor; and

(d) The treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.

(e) The impact upon public facilities or public services.

6. Additional Regulations. Refer to the following Chapters for additional related regulations:

- a. Chapter [18.36](#), Landscaping and Screening
- b. Chapter [18.38](#), Parking and Loading
- c. Chapter [18.48](#), Conditional Uses
- d. Chapter [18.100](#), Design Review
- e. Chapter [18.110](#), Basic Commercial Design
- f. Chapter [18.120](#), ~~Commercial Design Criteria~~ Downtown [Design Criteria](#)
- g. Chapter [18.130](#), Commercial Design Criteria High Density Corridor (HDC)
- h. Chapter [18.150](#), Port Peninsula

#### D. Impervious Surface Coverage

On development sites incorporating 'vegetated roofs,' the impervious surface coverage limits of Neighborhood Retail, Professional Office/Residential Multifamily and Medical Service districts shall be increased one square foot for each square foot of vegetated roof area up to 5% of the total site area if adequate assurance is provided that the proposed vegetated roof will provide substantial stormwater management benefits for a period of at least 30 years.

#### **18.06.120 Additional regulations**

Refer to the following Chapters for additional related regulations.

Chapter 18.100- Design Guidelines

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Chapter [18.36](#) Landscaping and Screening



Chapter [18.38](#) Parking and Loading

Chapter [18.40](#) Property Development and Protection  
Standards

Chapter 18.~~42~~[43](#) Signs

Article III Overlay Districts

## Chapter 18.16 PEDESTRIAN STREET OVERLAY DISTRICT

### 18.16.000 Chapter Contents

#### Sections:

<a href="#">18.16.020</a>	Intent.
<a href="#">18.16.040</a>	Map.
<a href="#">18.16.060</a>	General requirements.
<a href="#">18.16.080</a>	Specific development standards.

### 18.16.020 Intent

This chapter will implement City and regional transportation plans by establishing a pedestrian street overlay district that results in a network of active, aesthetically pleasing, and interesting streets ~~that link the downtown retail core, the Capitol Campus, the waterfront, and residential neighborhoods~~. In the Kaiser-Harrison area, it will provide a highly integrated and pedestrian friendly mix of office, retail, and residential use. In these high quality, compact pedestrian-oriented environments people will be encouraged to work, shop, play, and live in an area that supports decreased dependence on motor vehicles, makes travel on foot pleasant and easy, and encourages around-the-clock activity to occur. The development should: 1) acknowledge the need to accommodate arrival by vehicle, 2) support increased arrival by transit, carpool, bike, and on foot, 3) create incentives to circulate within the area by non-auto modes (on foot, by shuttle or bus, or bicycle), 4) encourage employee Transportation Demand Management Program success.

In addition, development in the area should:

- A. Increase architectural and historic ~~continuity between the existing downtown retail core and the remainder of downtown, or provide for~~ continuity between new and existing uses, as appropriate in other mixed use areas.
- B. Provide a comfortable sense of enclosure along the street by providing strong, continuous edges which clearly define public open spaces and rights-of-way.
- C. Contribute to the streetscape by incorporating human-scaled elements into building design.
- D. Provide direct visual contact between activities occurring inside buildings and the street environment.
- E. Incorporate artistic elements and public art into the streetscape and buildings.
- F. Result in urban building patterns and curtail the construction of suburban building patterns.

## 18.16.040 Map

A. Relationship to Underlying Zoning. This overlay zone contains regulations that apply in addition to the regulations included within the underlying zoning district.

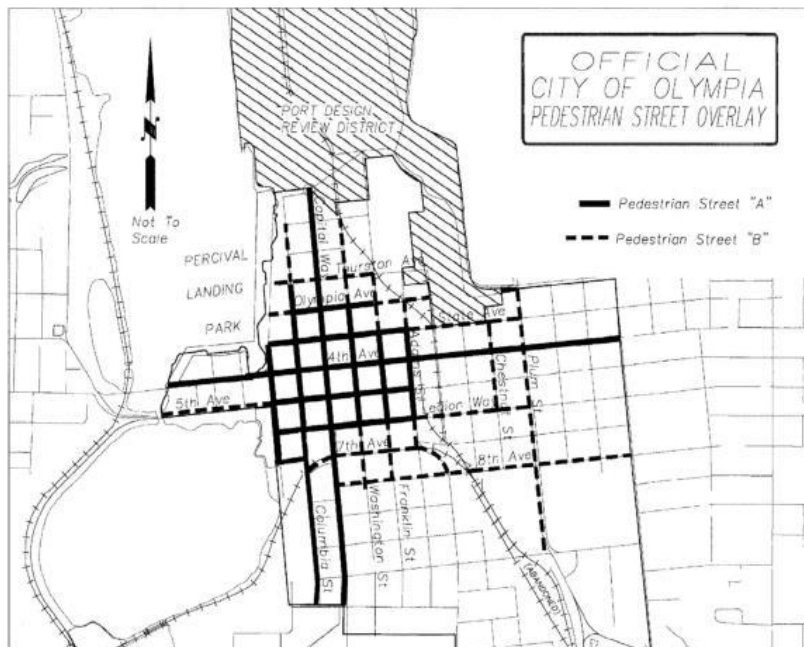
B. Areas Subject to Pedestrian Streets Regulations.

1. "A" Streets. All of the requirements of this Chapter apply to the "A" Streets identified in Figure 16-1.

2. "B" Streets. The following requirements of this Chapter apply to "B" Streets as identified in Figure 16-1:

- a. Blank Wall Limitations, Section [18.16.080\(F\)](#);
- b. Primary Building Entrance, Section [18.16.080\(G\)](#);
- c. Parking Structure Design, Section [18.16.080\(J\)](#).

3. The Pedestrian Streets Overlay District Map and this text regulate the Pedestrian Streets Overlay District. The Pedestrian Streets Overlay District regulates portions of the ~~DB, RMH, RMU, UR, UW-H, and UW districts in downtown Olympia, and in the~~ HDC-4, GC, and PO/RM districts west of Yauger Way. All properties which abut the Pedestrian Streets shown on Figure 16-1 are subject to the rules of this District.



**FIGURE 16-1**

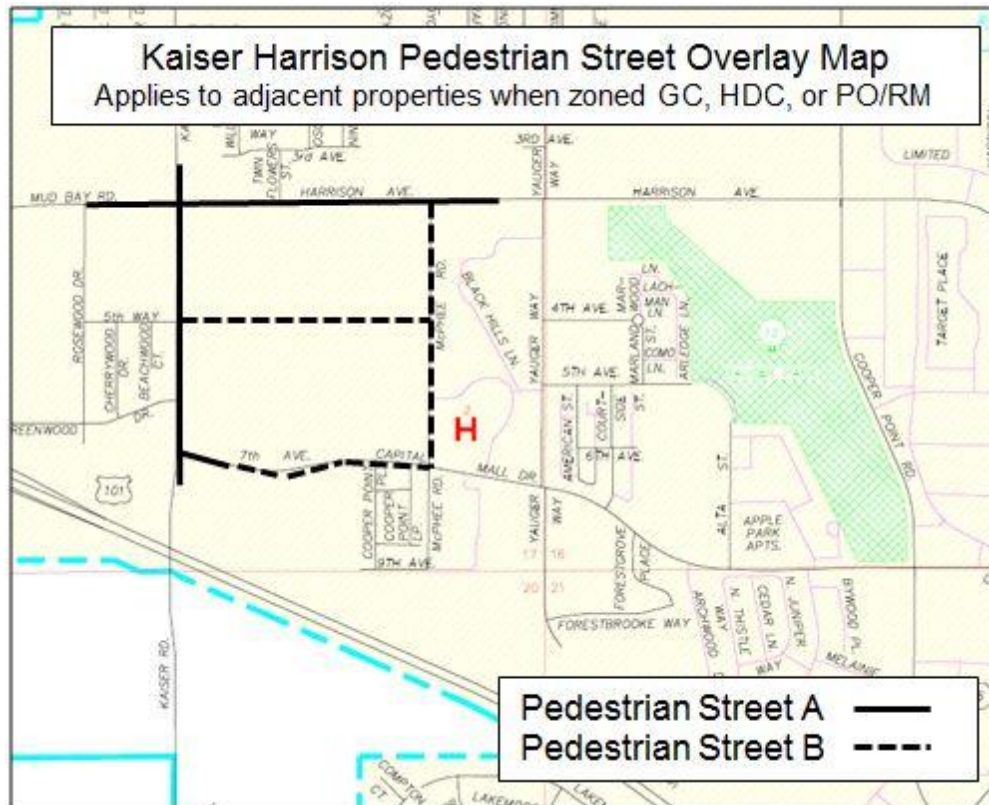


FIGURE 16-1b

## 18.16.060 General requirements

### A. Types of Projects Regulated.

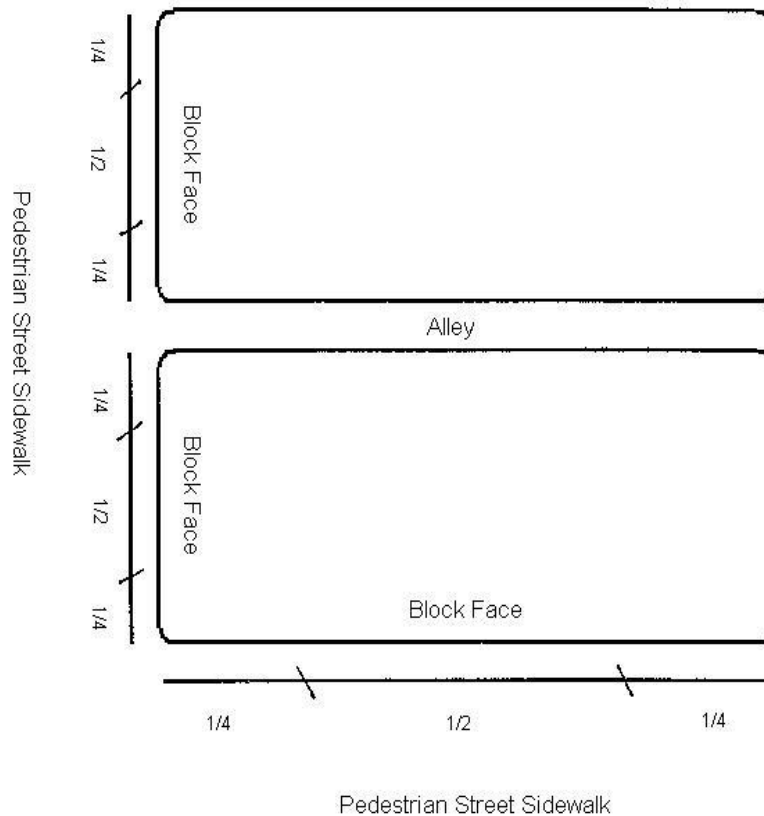
1. New Development. The regulations in this chapter apply to all commercially zoned properties which abut the Streets identified in Figure 16-1 ~~and Figure 16-4b~~ (both "A" and "B" Streets). The regulations of this Chapter apply to all new building construction in those commercial zones.

2. Existing Buildings. The regulations in this Chapter also apply to all remodel projects if both of the following conditions apply: (1) the value of the remodel project is greater than fifty (50) percent of the assessed value of the pre-remodeled building excluding land value, and (2) structural facade renovation will be done. (Painting and routine maintenance are not considered structural facade renovation).

### B. Exemptions

1. Residential Exemption. Residential projects must comply with the applicable design criteria of Chapters [18.100](#) through [18.180](#). All or a portion of a residential project shall be exempt from the requirements of this Chapter as follows:

- a. In the event a residential project comprises the entire block face, 50% of the block face shall comply with this Chapter; provided, that the area of compliance must be evenly placed at each corner of the block face.
- b. In the event a residential project is proposed for a portion of a block face which block face has been partially developed in compliance with this Chapter, a portion of the project shall comply with this Chapter according to this formula. The amount of project compliance shall equal the difference between 50% and the percentage of existing improvements on the block which complies with this Chapter. For example, 15% of the project must comply with this Chapter where 35% of existing improvements on the block face meets the requirements of this Chapter. In the event the proposed project is located at a corner of a block face, that portion of the project which is required to comply with this Chapter shall be located at the corner.



**FIGURE 16-29**

2. Historic Buildings. All buildings on the Heritage Register at the time of application are exempt from the requirements of this District.
3. Small Buildings. Buildings with less than five thousand (5,000) square feet in gross floor area are exempt from the requirements of this District.

4. Existing Parking Lots in Front of Buildings. When the requirements of this Chapter are triggered by remodels or renovations, existing parking lots remain conforming as an exception to the "Maximum Setbacks Allowed" of this Chapter.

C. See applicable Design Review Chapters, Chapters [18.100](#) through [18.180](#).

### **18.16.080 Specific development standards**

The following requirements apply to "A and/or B" Streets.

Setbacks (A)

Pedestrian Plaza (A)

Minimum Street Wall Height (A)

Awnings, Marquees, and Canopies (A)

Blank Wall Limitations (A & B)

Primary Building Entrance (A & B)

Surface Parking (A)

Street Frontage - Retail and Service Use (A)

Parking Structure Design (A & B)

A. Maximum Setbacks ("A" Streets).

1. Intent. Enclose and define the street space. Place building, walls, and design height and massing that will:

- a. Provide human scaled street enclosure and building edge continuity on key pedestrian-oriented streets.
- b. Contribute to a continuous building edge on lots adjacent to designated pedestrian streets.
- c. Increase liveliness on the street by making physical and visual contact between interior building activities and the street.

2. Maximum Setback.

- a. The maximum street wall setback is ten (10) feet.
- b. Street wall setback areas (the area between the front property line and street wall):
  - i. May be used for landscaping and small commercial uses designed primarily to cater to pedestrians, including, but not limited to vendors, newsstands, flowers, and cafes.

ii. May not be used for fences, large trees and landscaping, or other features which form visual barriers or block views to street wall windows.

c. Exceptions to Maximum Setbacks.

i. The street wall may be set back ~~to retain water views and~~ to provide transition to residential neighborhoods, to allow privacy in residential development, to meet centerline setback requirements, for building entrances, for pedestrian plazas, and to allow existing setback buildings as conforming uses.

ii. Building Entrances Allowance. Large entryways which are integral to a building design may be set back more than ten (10) feet.

iii. Pedestrian Plazas.

B. Pedestrian Plazas ("A" Streets).

1. Intent. When proposed, plazas will provide small spaces which will attract concentrations of people to gather along the most intensively developed streets. Buildings will be grouped around small pedestrian plazas; will be carefully located and integrated into the streetscape or building; will make the most of light and sun exposure; and, when proposed, will integrate landscaping and/or public art into the design.

2. Pedestrian Plaza Requirements. Pedestrian plaza designs shall meet the following development standards:

a. Size and dimension. The maximum pedestrian plaza dimension shall be sixty (60) feet across (see Figure 16-~~23~~).

b. Access. The surface of all pedestrian plazas shall be visually and physically accessible from the public rights-of-way. Allowances may be made on sites with steep topography.

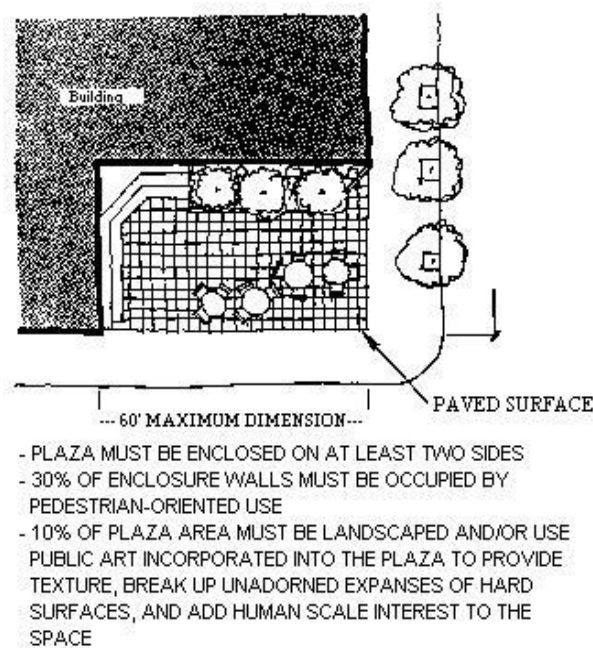
c. Surface. Paved walking surfaces shall be provided.

d. Landscaping and/or Public Art.

i. Required landscaping and/or public art. At least ten (10) percent of the plaza area shall be landscaped with living plants or use public art incorporated into the plaza to provide texture, breakup unadorned expanses of hard surfaces, and add human scale interest to the space.



- ii. Landscaping. The landscaping shall be planted and maintained according to the City of Olympia development standards (Section 18.38).
  - iii. Location of landscaping and/or public art. Landscaping and/or public art shall not block pedestrian views into the plaza.
- e. Seating.
- i. Required seating. Seating shall be provided in all pedestrian plazas.
  - ii. Allowed seating walls and steps. Tops of walls and steps may be considered seating.
- f. Exposure to sunlight. Southern locations are encouraged to allow direct sunlight to enter the space and strike the plaza floor.
- i. Required sunlight. Pedestrian plazas shall be designed to allow measurable direct sunlight to enter the plaza and shall not be blocked by landscaping or art.



### Required Pedestrian Plaza Conditions

FIGURE 16-23

- g. Plaza edges.
- i. Plaza enclosure. All pedestrian plazas shall be enclosed on at least two sides by a structure or by landscaping and/or art which creates a wall-like effect.



ii. Prohibited edge conditions.

(a) Unscreened parking lots, chain link fences, barbed wire, and other inhibiting conditions are prohibited adjacent to pedestrian plazas.

(b) Blank walls in pedestrian plazas are subject to the blank wall limitation standards.

h. Uses in pedestrian plazas.

i. Permitted uses. The following uses are permitted: playground equipment, fountains, waterfalls, pools, sculptures, works of art, arbors, trellises, benches, trees, planting beds, trash receptacles, drinking fountains, bicycle racks, open air cafes, kiosks, vending carts, outdoor furniture, lighting, flagpoles, public telephones, temporary exhibits, canopies, awnings, and similar uses which encourage pedestrian use of these spaces.

ii. Allowed motor vehicle use. Motor vehicle use of pedestrian plazas for passenger drop off and pick up at a building entrance may be allowed. All other loading or motor vehicle access is prohibited.

i. Exceptions. The Director of Community Planning and Development or the Director of Community Planning and Development's delegate may grant exceptions to the Pedestrian Plaza Standards if the proposed design meets the intent of this Section and Subsection.

C. Minimum Street Wall Height Requirement ("A" Streets).

1. Intent. To ensure spatial enclosure on the street and achieve dense land use ~~in the downtown~~.

2. The minimum street wall height is sixteen (16) feet above the average sidewalk elevation.

D. Awnings, Marquees or Canopies, and Arcades ("A" Streets). Awnings, marquees, canopies, and other projections are allowed to project into the ROW. See Downtown ~~Building~~ Design Guidelines - Projections into the ROW. These provisions apply to all ~~P~~pedestrian-~~o~~Oriented ~~s~~Streets in the City, even when not located in the downtown.

1. Intent. Provide pedestrians rain protection, contribute to overall integration of individual buildings within the streetscape, and help define the pedestrian zone. When awnings are used, they should cover the pedestrian clear zone.

2. Awnings, Marquees or Canopies, and Arcade Requirements.

a. Coverage allowed in public rights-of-way. Awnings, canopies, or marquees may project into the public rights-of-way ~~(see Downtown Building Design Guidelines - Projections Into the ROW)~~. Arcades must be on private property.

b. Types of material allowed. Awnings, marquees, and canopies must be fabric on a retractable frame, metal, glass, or plexiglass. On historic buildings, wood may be used.

c. Area and coverage requirements. Awnings, marquees, and arcades shall be provided along the street wall, or that portion of the street wall that abuts or is parallel to the sidewalk. The maximum depth (projection from street wall) for awnings and marquees or canopies is regulated in the applicable Section of the ~~Uniform~~ Building Codes ~~(Chapter 16.04, OMC)~~. Awnings, marquees, or canopies should extend to the maximum depth allowed by the ~~UBC~~ Building Codes, with allowance for street tree and street light clearance. (See Figure 16-4 of this Chapter.)

d. Height requirements. Except valances, the lower edge of all awnings, marquees, canopies, and arcades must be between the heights of eight (8) and twelve (12) feet above finished grade. Every attempt should be made to make awnings of like heights on a given block.

e. Historic buildings. Historic buildings may be reviewed for exceptions to these standards. Exceptions shall be jointly reviewed by the Design Review Board and Heritage Commission, called the Joint Review Committee or the Heritage Commission and Design Review staff. (See Chapter [18.12](#) OMC)

3. Prohibited Awnings. Back-lit awnings or canopies are prohibited.

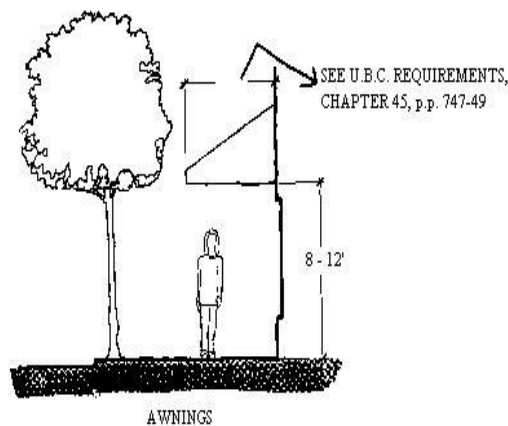
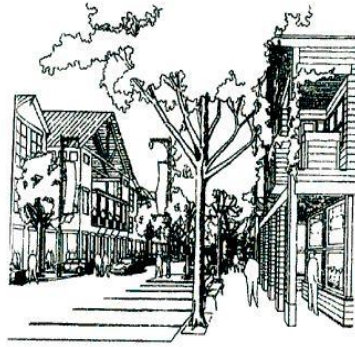
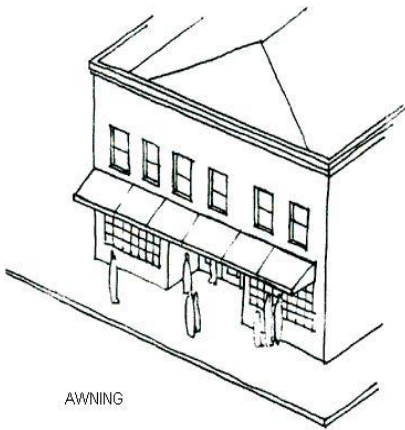


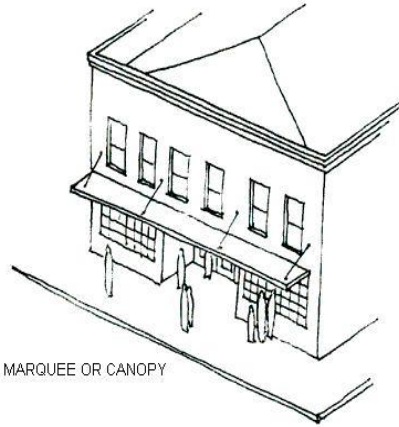
FIGURE 16-4



ARCADE



AWNING



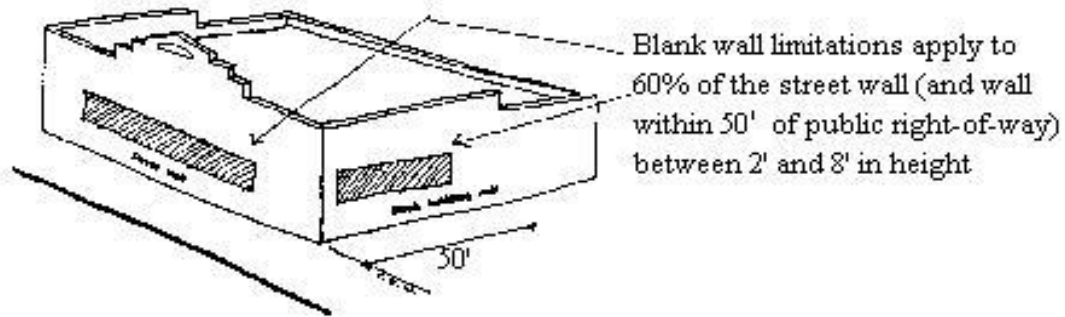
MARQUEE OR CANOPY

**FIGURE 16-5**

**F. Blank Wall Limitation ("A" and "B" Streets).**

1. Intent. Reduce blank wall impacts on the pedestrian and business district environment. Provide varied, pedestrian-friendly building facades and sidewalk activities. Avoid the creation of blank walls and dull facades that deaden the surrounding space and create an uninviting street environment.

2. Development Standards. Blank walls are not allowed adjacent to or within fifty (50) feet of a pedestrian street right-of-way or a public park. At least sixty percent (60%) of these walls between two (2) feet and eight (8) feet in height must be pedestrian friendly. Pedestrian-friendly facades shall have one or more of the following characteristics:



BLANK WALL LIMITATIONS: AREAS REGULATED

**FIGURE 16-6**

a. Transparent windows. Transparent window area or display windows which provide visibility into building interiors. The following transparency standards apply.

i. Glass must be clear or lightly tinted in windows, doors, and displays. Because it does not provide visibility between the street and building interiors, reflective or opaque or painted glass is prohibited.

ii. Doors and entry windows must be transparent to meet this requirement. If they are not, they shall be considered blank walls.

b. Art or architectural treatment. Sculpture, mosaic, glass block, opaque art glass as relief artwork, or similar features of visual interest. Structural architectural elements may be acceptable as an administrative waiver if the design meets the intent of this Section.

c. Vertical trellis. A permanent vertical trellis in front of the wall with climbing plants or plant materials.

d. Pedestrian plazas. Pedestrian plazas may meet this requirement if the design complies with Section [18.16.080\(A\)](#), Maximum Setbacks Allowed.

e. Display windows. Display windows may be used to meet this requirement.

3. Retaining Walls. Retaining walls on Pedestrian Streets shall be considered blank walls and are subject to the regulations in this Section.

4. Exceptions. Where this Section is in conflict with the ~~Uniform~~adopted Fire Code, the ~~Uniform~~ Fire Code shall govern.

5. Approval. All proposed blank wall treatments are subject to City approval. The applicant must submit architectural plans and elevations showing proposed treatments for approval.

G. Primary Building Entrance ("A" and "B" Streets).

1. Intent. Allow people to arrive on foot, by transit, or by other means (in addition to by car), and to increase pedestrian and street activity. Create a prominent entry that conveys a clear sense of arrival and that uses high quality products that contribute to the richness and detail of the facade.

2. Primary Building Entrance Requirements.

- a. The primary entrance to all buildings must face the street.
- b. All primary building entrances must be clearly visible from the sidewalk.
- c. Direct access shall be provided either:
  - i. From the sidewalk if the building facade is adjacent to the sidewalk; or
  - ii. From a pedestrian plaza if the building facade is not directly adjacent to the sidewalk.
- d. ~~For properties west of Yauger Way, the~~ Primary Building Entrance Requirements may be altered upon approval of a development agreement if it is determined that an entry from a location other than the wall facing a "B" street provides equal or better building orientation and human scaled design elements to integrate into the mixed use neighborhood.

H. Surface Parking Lots ("A" Streets).

1. Intent. Prohibit the disruption of the continuous building edge along the street.

2. Surface Parking Lot Requirements. Surface parking lots are limited to twenty (20) percent of the street frontage and additional surface parking may be prohibited on lots abutting pedestrian streets, except when they are located behind buildings.

~~3. Exception. Properties west of Water Street and east of Budd Inlet, and properties west of Yauger Way may have surface parking directly abutting twenty (20) percent of the street frontage.~~

I. Street Frontage - Active Street Edge Requirements ("A" Streets).

1. Intent. Provide interest and activity that contribute to the pedestrian streets, reinforce existing service business uses (retail, office, commercial), and establish new activity along ~~the main pedestrian links between downtown and the surrounding neighborhoods~~ and around the other pedestrian oriented streets designated west of Yauger Way (see Figure 16-1**b**).

2. Development Standards. Seventy-five (75) percent of the street frontage will look like a storefront by including one or more of the following: direct at-grade sidewalk entries, high ceilings, recessed doors, storefront windows, awnings, canopies, large room spaces, and similar features in the building. Building entries and lobbies along the street wall are exempt from the street level use requirement calculations;

3. Exemption.

a. Structured parking or that portion of a project used as structured parking are not subject to this requirement. See Section J below for structured parking requirements.

b. See 18.16.060(1)(B)(1) for residential experience.

#### J. Parking Structure Design ("A" and "B" Streets).

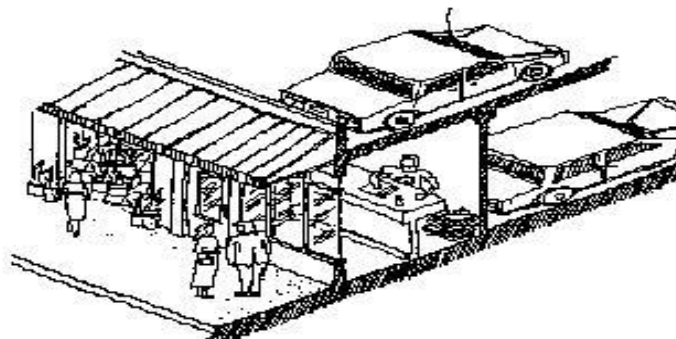
1. Intent. Design structured parking in a way that will fit the real and intended human scale of downtown and on other designated pedestrian oriented streets. Acknowledge that while structured parking provides convenient, less intrusive, less land consumptive parking than surface parking, the buildings themselves can be intrusive, since they are often large, monolithic structures with few refinements and little interest or activity.

2. Street Level Treatment. Retain the pedestrian oriented scale and character on structured parking and ground level covered parking facing a pedestrian street by breaking up horizontal openings and incorporating at least one of the following techniques:

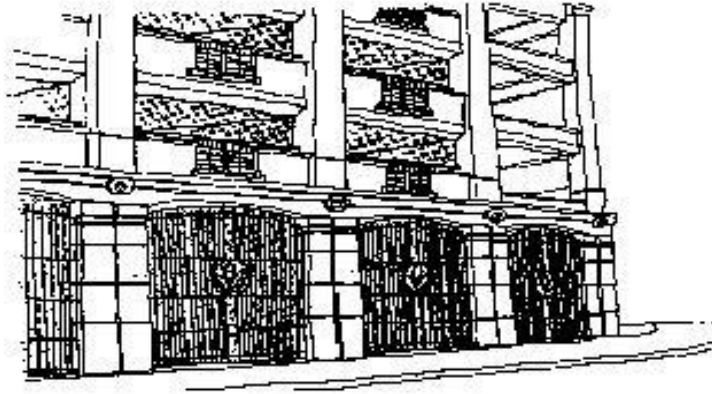
a. Provide at least one (1) of the five (5) pedestrian-friendly facade techniques in Section [18.16.080\(F\)](#), Blank Wall Limitations. Transparent windows shall be permitted only where pedestrian-oriented uses or businesses are located in a parking structure.

b. Provide enclosed occupiable space for "pedestrian-oriented uses or businesses" at least ten (10) feet in depth along all of the building frontage facing the Pedestrian Street, excluding vehicle and pedestrian entries. If there are multiple pedestrian street frontages, this option should be used on the dominant pedestrian street frontage.

- c. Incorporate public art into the design or use decorative metal grille work or similar architectural detailing which provides texture and covers the parking structure opening. EXCEPTION: Parallel vertical bars (resembling a jail cell pattern or HVAC intake grilles) are prohibited, and do not meet the intent of this requirement.
- 3. Parking structures over one-half block in size must provide enclosed occupiable space for "pedestrian-oriented uses or businesses" at least ten (10) feet in depth along the dominant pedestrian street frontage of the building facing the pedestrian street, excluding vehicle and pedestrian entries.
- 4. Vehicle Entry. The width of garage doors shall be limited to the width of the driveway plus five (5) feet. Vehicular entries shall be recessed at least six (6) feet from the primary facade plane in order to minimize their prominence in the facade.
- 5. Upper Level Treatment. Assure that upper levels of parking structures remain compatible with pedestrian oriented scale and character. Break up horizontal openings by:
  - a. Providing relief, detail, and variation on the facade by employing well-proportioned openings that are designed to create shade and shadow detail.
  - b. Public art, decorative metal grille work or similar art or architectural detailing which provides texture and covers the opening in the facade.
    - i. Parallel vertical bars (resembling a jail cell pattern or HVAC intake grilles) are prohibited, and do not meet the intent of this requirement.



**FIGURE 16-7**



**Parking garage facade treated with decorative grill work.  
FIGURE 16-8**



## 18.38.240 District design standards

In addition to the parking design standards for various zone districts found below, also refer to Design Review, Chapter [18.100](#).

### A. Structured Parking Design Requirements:

1. Structured parking adjacent to designated pedestrian oriented streets on properties located outside of the Downtown Design District shall meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter Section 18.16.080(J).
2. For projects in the Downtown Design District, all above ground structured parking must meet the Above-Grade Structured Parking Requirements in Chapter 18.120.490.

### ~~A. URBAN WATERFRONT ZONE (UW).~~

- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~

### ~~B. DOWNTOWN BUSINESS ZONE (DB).~~

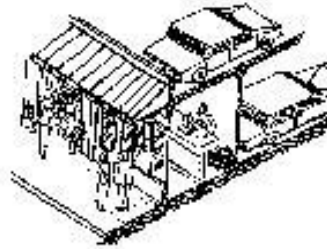
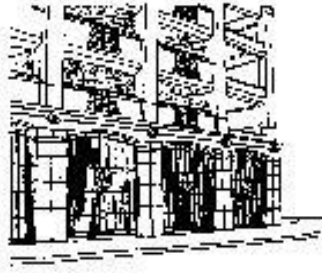
- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~

### ~~C. RESIDENTIAL MIXED USE (RMU), RESIDENTIAL HIGH-RISE MULTIFAMILY (RMH) DISTRICT, URBAN RESIDENTIAL (UR).~~

- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~

### ~~D. URBAN WATERFRONT – HOUSING (UW-H).~~

- ~~1. Structured Parking Design Requirements. All structured parking must meet the Parking Structure Design Requirements in the Pedestrian Streets Overlay District Chapter, Section 18.16.080(J).~~



**Parking Garage facade treated with decorative grill work.  
FIGURE 38-8**

## Chapter 18.76 DESIGN REVIEW BOARD

### 18.76.000 Chapter Contents

#### Sections:

- [18.76.010](#) Established--Purpose.
- [18.76.020](#) Membership and Appointment.
- [18.76.160](#) Voting.
- [18.76.180](#) Joint Review Committee.
- [18.76.200](#) Staff Review.

### **18.76.010 Established--Purpose**

There is hereby established a Design Review Board (the Board) to promote those qualities in the natural environment which bring value to the community; foster the attractiveness and functional utility of the community as a place to live and work; preserve the special character and quality of Olympia by maintaining the integrity of those areas which have a discernible character or are of special historic significance; raise the level of community expectations for the quality of the built environment; encourage originality and creativity in site planning and architecture; communicate these purposes to applicants and assist applicants in achieving these purposes; preserve and enhance property value; ensure that new developments maintain or improve neighborhood character and livability; and consider applicants' needs and goals and the broader public impact of any proposal.

### **18.76.020 Membership and Appointment**

Design Review Board Created - Composition. The Board shall consist of nine (9) members, as follows: two (2) should be architects, seven (7) shall be citizens-at-large.

### **18.76.160 Voting**

The Board may recommend approval, approval with conditions, or denial of any application which comes before it. The Board shall provide its recommendation to the Director, the Hearing Examiner, or to the City Council for Master Planned Development applications. All recommendations shall be issued in writing stating the reasons for the recommendation. The recommendations of the Board shall be made by a majority vote of the quorum present at the time of the decision. A majority of the members shall constitute a quorum for the transaction of business; provided, that at least three (3) shall be required to constitute a quorum excluding any disqualifications. Action may be taken by a majority of those present when those present constitute a quorum at any regular or special meeting of the Board. Any number less than a quorum shall be authorized to convene a meeting at the time set for the purposes of adjournment, recess or continuation of a regular or special meeting to a date and time certain.

### **18.76.180 Joint Review Committee**

A. A Joint Review Committee comprised of five (5) members from the Design Review Board and ~~four~~ five (5) members of the Heritage Commission shall act as the Design Review Board for all structures

within the design review areas which are listed on the Washington Heritage Register, the National Register of Historic Places or the Olympia Heritage Register.

B. Members will be appointed to the Joint Review Committee from the Design Review Board and Heritage Commission for a term of one (1) year by the chairs of each body. Members may be reappointed for subsequent one (1) year terms.

C. The provisions, standards and criteria of OMC [18.12](#), [18.105.020](#), [18.105.030](#) shall apply to any project considered by the Joint Review Committee provided that when a structure listed on a historic register is reviewed, the provisions of Section [18.12.090](#) of the Olympia Municipal Code shall also apply.

#### **18.76.200 Staff Review**

The Department shall be responsible for the administration of this chapter and for providing staff to the Design Review Board and Joint Review Committee. All projects which require design review action shall be coordinated with other affected City departments through the Director as established in Chapter [18.60](#).

## **Chapter 18.100**

### **DESIGN REVIEW**

#### 18.100.000 Chapter Contents

##### Sections:

- [18.100.020](#) Statement of Policy.
- [18.100.040](#) Purpose.
- [18.100.060](#) Projects Subject to Design Review.
- [18.100.080](#) Design Review Districts and Corridors.
- [18.100.090](#) Design Review Process.
- [18.100.100](#) How to Use Design Criteria.
- [18.100.110](#) Submission Requirements.

#### **18.100.020 Statement of policy**

The City Council finds that new development can have a substantial impact on the character of the area in which it is located. Some harmful effects of one land use upon another can be prevented through zoning, subdivision regulations and building codes. Other aspects of development are more subtle and less amenable to exacting rules promulgated without regard to specific development proposals. Among these are: the general form of the land before and after development, the spatial relationships of the structures and open spaces on adjacent land uses, and the appearance of buildings, signs and open spaces. Such matters require the timely exercise of judgment in the public interest by people qualified to evaluate the design of a new development.

#### **18.100.040 Purpose**

The purposes of design review are:

- A. To promote those qualities in the natural environment which bring value to the community;
- B. To foster the attractiveness and functional utility of the community as a place to live and work;
- C. To preserve the special character and quality of Olympia by maintaining the integrity of those areas which have a discernible character or are of special historic significance;
- D. To raise the level of community expectations for the quality of the built environment;
- E. To encourage originality and creativity in site planning and architecture;
- F. To communicate these purposes to the applicant and to assist the applicant in achieving these purposes;
- G. To preserve and enhance property value;
- H. To ensure that new developments maintain or improve neighborhood character and livability; and
- I. To consider the applicants' needs and goals and the broader public impact of any proposal.

#### **18.100.060 Projects Subject to Design Review**

A. The following projects are subject to design review:

1. Projects within designated design review districts and corridors, as shown on the Official Design Review Map (See OMC Section [18.100.080](#));
2. Commercial projects adjacent to residential zones;
3. Commercial or residential projects for Heritage Register properties or those within an historic district;
4. Projects with a building area greater than 5000 square feet that require a Conditional Use Permit in a residential zone;
5. Multifamily projects;
6. Single family housing, including designated manufactured homes, on lots less than 5000 square feet or on substandard lots;
7. Dwellings proposed on lots within the area depicted on Figure 4-2a, "Areas Subject to Infill Regulations";
8. Master Planned Developments;
9. Manufactured housing parks;
10. Duplexes, triplexes, fourplexes, townhouses, accessory dwelling units, and cottage housing;
11. All projects within scenic vistas as identified on the official maps of the City (See OMC Section [18.100.110](#)); and,
12. Signs within designated design review districts and corridors or associated with a project that is subject to design review.

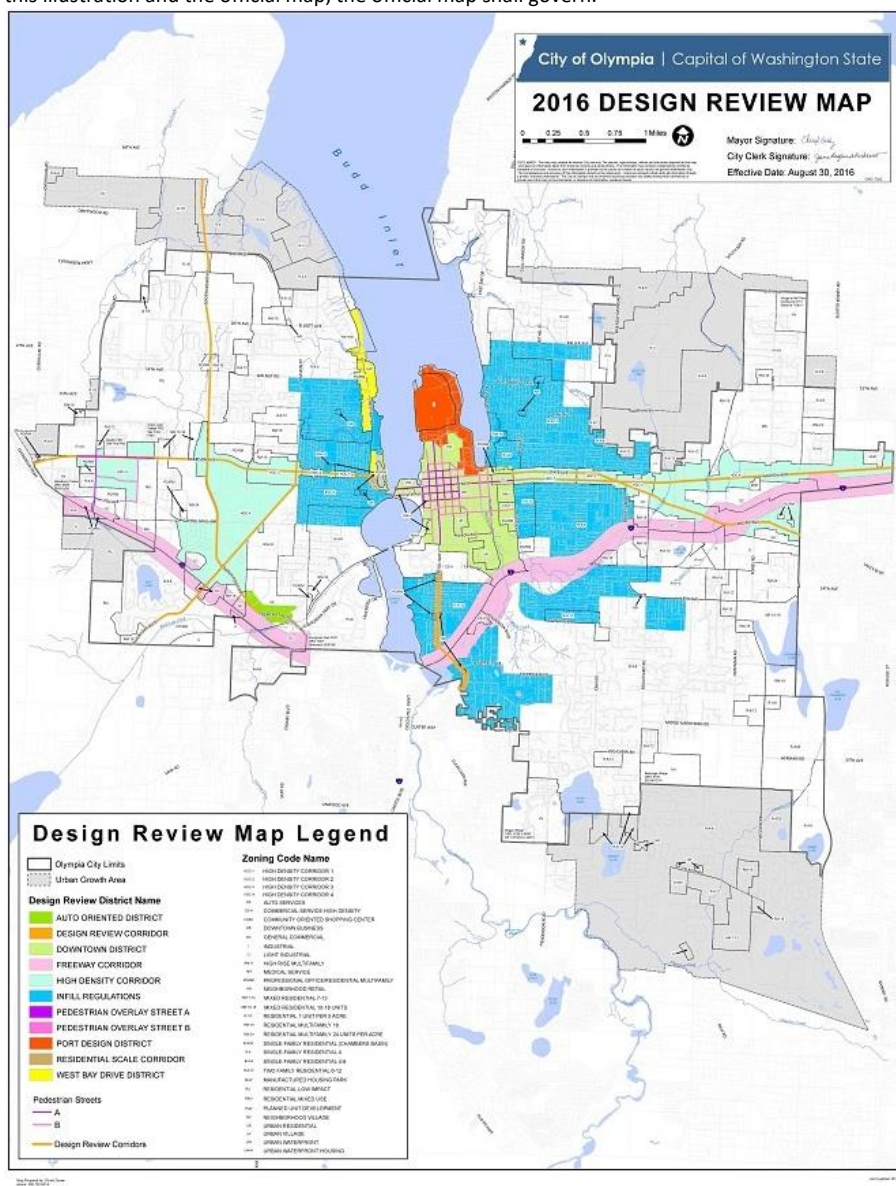
13. For the purpose of design review, projects within the Downtown Design District will be reviewed for consistency with the criteria in Chapter 18.120 only.

B. Exceptions: Evergreen Park PUD; interior work; and projects which do not affect the character, use, or development of the surrounding properties, or the architectural character of the structure, such as fences, parking lots with less than twenty (20) spaces or minor repair or renovation of, or minor additions to, existing structures.

#### **18.100.080 Design Review Districts and Corridors**

The following districts and corridors are hereby established as Design Review Districts and Corridors: Downtown, Port Peninsula, High Density Corridor 1, 2, 3, and 4 (HDC), High Density Corridor-4 Capital

Mall Area, Freeway Corridor, West Bay Drive, Residential Scale, Auto Oriented, and Infill Districts. Said districts and corridors are defined on the "Official Design Review Districts and Corridors Map," on file with the City Clerk and generally described in the illustration below. In the event of a conflict between this illustration and the official map, the official map shall govern.



**Commented [JP1]:** This map will be replaced once amended to match new Downtown Design District boundary.

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6306 §2, 2004).

#### **18.100.090 Design Review Process**

All projects subject to design review shall be reviewed either by the Design Review Board (DRB), the Joint Review Committee (JRC) or by staff as noted below. The DRB, JRC, or staff shall provide a recommendation to the review authority. The review authority shall give substantial weight to the recommendation of the DRB or JRC. (A project reviewed by the JRC shall not also be reviewed by the Heritage Review Committee.)

A. Projects subject to review by the Design Review Board or Joint Design Review Committee, as described in OMC [18.76.180](#):

1. Any proposed development project located within the following design districts:
    - a. Downtown District; and,
    - b. Residential Scale Design District.
  2. Any proposed building development over 5,000 square feet in gross floor area, located within the following design districts and corridors:
    - a. High Density Corridors;
    - b. West Bay Drive District;
    - c. Auto Mall District;
    - d. Port Peninsula District;
    - e. Freeway Corridor; and,
    - f. Design Review Corridors.
  3. Any multifamily building with five (5) units or more, any townhouse building with five (5) units or more, and any multifamily development with twenty (20) units or more.
  4. All Master Planned Developments.
  5. Projects with a building area greater than 5,000 square feet that require a Conditional Use Permit in a residential zone.
- B. Projects subject to review by Staff:
1. Single family dwellings on lots within the area depicted on Figure 4-2a.
  2. Minor additions or alterations to residential or commercial projects on a Heritage Register or within a Historic District.
  3. Any proposed development of 5,000 square feet or less in gross floor area, and signs in the following design districts and corridors:
    - a. High Density Corridors;



- b. West Bay Drive District;
  - c. Auto Mall District;
  - d. Port Peninsula District;
  - e. Freeway Corridor; and,
  - f. Design Review Corridors.
4. Any other project subject to design review not described in "A" above.

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6491 §12, 2007; Ord. 6408 §37, 2006; Ord. 6306 §2, 2004).

#### **18.100.100 How to Use Design Criteria**

A. Requirements and Guidelines. Each section of the design review chapters consists of a requirement and possibly several guidelines. Compliance with each requirement is necessary; the guidelines provide methods to achieve compliance with the requirement. Applicable guidelines must be incorporated into the project design except in cases where proposed design solutions are considered by the Board and/or staff to be equal to or better than the guidelines, and meet the intent of the requirement. If the project does not conform to the design criteria, the Board and/or staff will indicate the requirements that have not been met.

B. Illustrations. Illustrations contained within specific criteria sections are intended to be in harmony with the text of the same section. In the event of conflict between text and an illustration, the text shall govern.

C. Design Review Criteria Chapters. Design criteria are separated into chapters, depending on whether the development is commercial or residential, and the location or type of that development, as outlined below.

18.105 Historic Structures and Buildings within the Historic Districts. This Chapter applies to structures listed on the Olympia Heritage Register, Washington Heritage Register, and the National Register of Historic Places, and all structures within a Historic District.

18.110 Basic Commercial Design Criteria. This chapter applies to all commercial projects throughout the City that require design review, in addition to the district-specific requirements found in the following chapters, as applicable. It also applies to projects with a building area greater than 5,000 square feet in gross floor area that require a Conditional Use Permit in a residential zone, to commercial projects adjacent to residential buildings, to commercial or residential projects. The design districts are shown on the Official Design Review Districts and Corridors.

18.120 ~~Commercial-Downtown~~ Design Criteria—~~Downtown-District~~. This chapter applies to all commercial, ~~mixed use, and residential~~ projects that require design review that are located in the Downtown Design Review District. ~~In addition, commercial projects in the Downtown Design District may also be subject to the requirements of Chapter 18.16, Pedestrian Streets.~~

18.130 Commercial Design Criteria - High Density Corridors. This chapter applies to all projects that require design review that are located in the HDC districts.

18.135 Commercial Design Criteria - Residential Scale District. This chapter applies to all projects that require design review that are located in the Residential Scale District.

18.140 Commercial Design Criteria - Auto Oriented District. This chapter applies to all projects that require design review that are located in the Auto Oriented District.

18.145 Commercial Design Criteria - Freeway Corridor. This chapter applies to all projects that require design review that are located in the Freeway Corridor District.

18.150 Commercial Design Criteria - Port Peninsula. This chapter applies to all projects that require design review that are located in the Port Peninsula design review district. This chapter contains the only design criteria that apply to the Port Peninsula.

18.155 Commercial Design Criteria - West Bay Drive District. This chapter applies to all projects that require design review that are located in the West Bay Drive District.

18.170 Residential Design Criteria - Multifamily. Design criteria contained in this chapter (Sections [18.170.030](#) - 18.170.160) apply to all multifamily residential buildings with five or more units and any multifamily development with twenty (20) units or more throughout the city. Projects of this type and size are reviewed by the Design Review Board.

18.175 Residential Design Criteria - Infill and other residential. Sections [18.175.020](#) through [18.175.060](#) of this chapter apply to single-family dwellings, including designated manufactured housing, proposed on lots within the area depicted on Figure 4-2a, on lots less than 5000 square feet, or on substandard lots, duplexes, triplexes, fourplexes, and townhouse buildings of four (4) units or less throughout the city. Sections [18.175.080](#) and [18.175.090](#) apply to accessory dwelling units throughout the city. Section [18.175.100](#) applies to cottage development.

18.180 Residential Design Criteria - Manufactured home parks. This chapter applies only to manufactured home parks.

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6581 §8, 2008; Ord. 6491 §13, 2007; Ord. 6306 §2, 2004).

#### **18.100.110 Submission Requirements**

A. Conceptual Design Review. Applications for review of the Conceptual Design shall be filed with the Department as part of a land use review application on forms provided by the Department.

B. Detailed Design Review. Applications for review of the Detailed Design shall be submitted to the Department prior to or at the same time as a building permit application on forms provided by the Department.

C. Combined Conceptual & Detailed Design Review. For those projects which have had a presubmission conference, do not have any apparent environmental issues, (such as those listed in the Critical Areas Ordinance, Title 14.10, or transportation issues), and which do not require a public hearing, upon request by the applicant and with the concurrence of staff, the Design Review Board may conduct both Conceptual and Detailed Design Review of a project at the time of Land Use Review.

D. Time Limitations. Except in cases where the applicant agrees to an extension of time, the Design Review Board shall have a public meeting on an application for a major project within thirty (30) days after an application is deemed complete pursuant to OMC [18.72](#).

(Ord. 7032 §8 (Exh. G), 2016; Ord. 6306 §2, 2004).

Chapter 18.120  
~~COMMERCIAL DESIGN CRITERIA DOWNTOWN~~ Revised 3/19

~~18.120.000 Chapter Contents~~

~~Sections:~~

- ~~18.120.020 Setbacks.~~
- ~~18.120.030 Waterfront view corridors.~~
- ~~18.120.040 Parking lots.~~
- ~~18.120.050 Building design.~~
- ~~18.120.060 Building materials.~~
- ~~18.120.070 Building design Building rhythm.~~
- ~~18.120.080 Building orientation.~~
- ~~18.120.090 Awnings, canopies, and marquees.~~
- ~~18.120.100 Walkways.~~
- ~~18.120.110 Pedestrian access from parking areas.~~
- ~~18.120.120 Waterfront public access.~~
- ~~18.120.130 Visual context of streetscape.~~

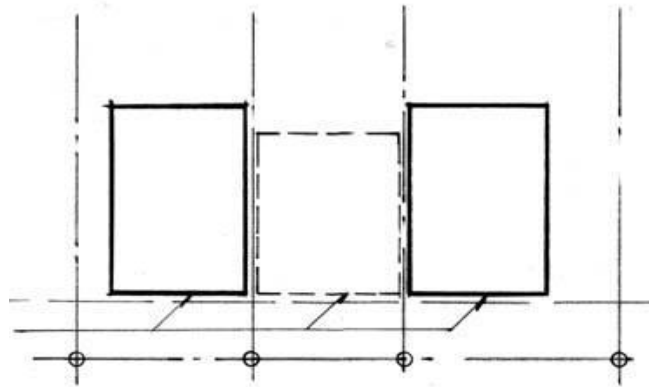
**~~18.120.020 Setbacks~~**

~~A. REQUIREMENT: Maintain the continuity of the streetscape with the setbacks of buildings.~~

~~B. GUIDELINES:~~

- ~~1. Align buildings according to the existing pattern.~~
- ~~2. Use walls, railings, planters, or other built and landscape elements at the property line if the building or a portion of it is set back from the property line.~~

~~(See Also Pedestrian Streets Overlay, Chapter 18.16.)~~



**FIGURE 18.120.020**

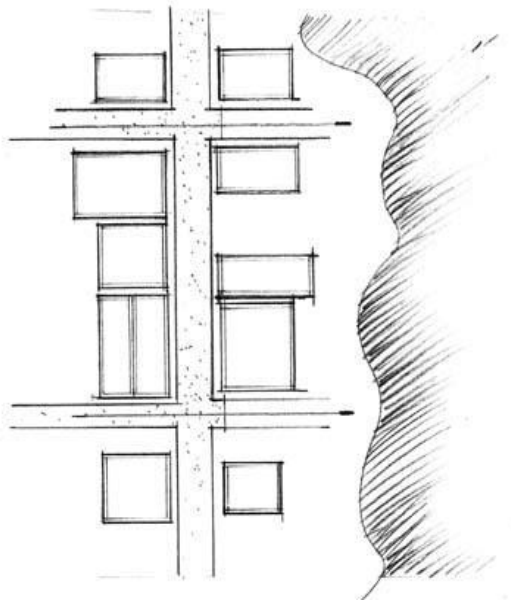
### **~~18.120.030 Waterfront view corridors~~**

#### **~~A.— REQUIREMENT:~~**

~~On waterfront sites, provide for public view corridors of Capitol Lake and Budd Inlet. All development shall incorporate into the site and building design both territorial and immediate views for significant numbers of people from public rights-of-way. (EXCEPT: Intermittent or partial views of the water may not be deemed necessary to incorporate into the site and building design.) See Scenic Vista overlay zoning maps, which are available at the Community Planning and Development Department. (See also Pedestrian Streets Overlay, OMC 18.16)~~

#### **~~B.— GUIDELINES:~~**

- ~~1.— Locate buildings on the site and design roofs so that they do not interfere with views and vistas.~~
- ~~2.— Design and site waterfront buildings to avoid blocking view corridors on adjacent streets that point toward the water.~~



**FIGURE 18.120.030**

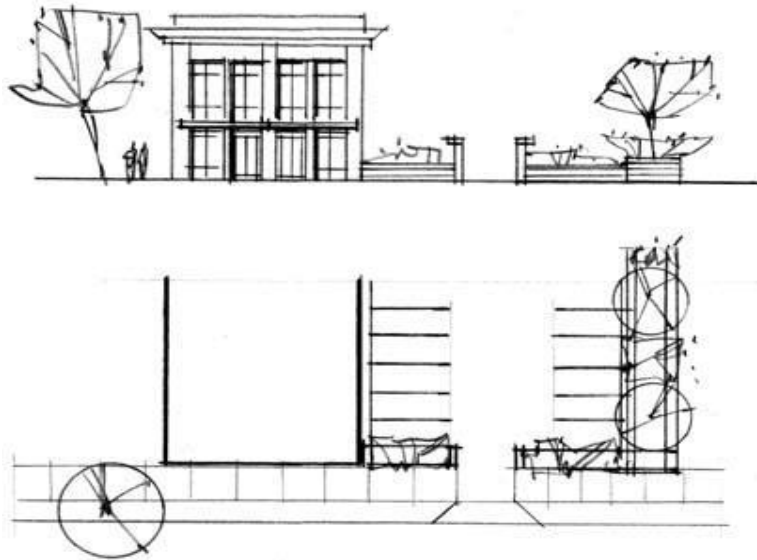
### **~~18.120.040 Parking lots~~**

~~A.— REQUIREMENT: Locate and design parking lots which maintain the visual continuity of the street and do not create vacant space in the street pattern. Allow for both pedestrian and vehicular circulation, and provide clear access between parking and the principal building(s) on the site.~~

~~(See also Section 18.38.160, Specific Zone District Requirements, and Chapter 18.16, Pedestrian Streets Overlay.)~~

## ~~B. GUIDELINES:~~

- ~~1. Minimize the width of parking lots located adjacent to the street.~~
- ~~2. Screen parking lots which abut the street with hedges, fences, raised planters, or low walls combined with plantings. These screening materials shall not obscure vehicular sight lines as a safety requisite. (See Section 18.38.200, Parking Facility Location.)~~



**FIGURE 18.120.040**

## **18.120.050 Building design**

~~A. REQUIREMENT: Buildings must have streetscape characteristics, such as pedestrian-oriented businesses and/or shops, corner entries, and building edges abutting the sidewalk. For additional Building Design requirements please refer to:~~

- ~~1. Development Standards in the zoning district where the project is located, and,~~
- ~~2. Pedestrian Streets Overlay District (OMC 18.16).~~



**FIGURE 18.120.050**

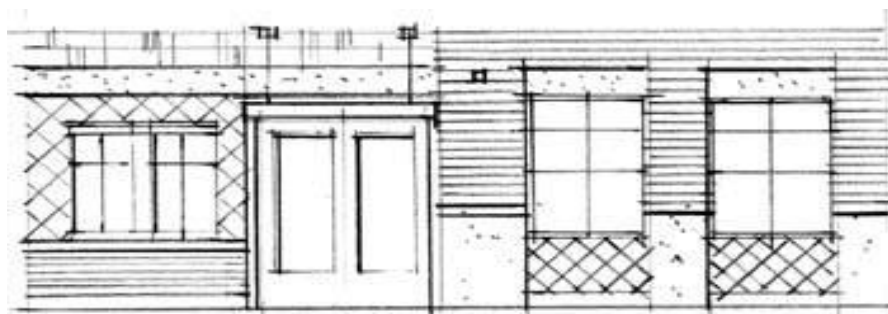
### **18.120.060 Building materials**

**A.— REQUIREMENT:** Maintain the character of the existing downtown buildings by using similar enduring materials such as stone, brick, and stucco.

**B.— GUIDELINE:** Applied brick tiles or exterior insulation finish system (EIFS) that attempt to give the appearance of genuine masonry or stucco are not preferred. Decorative ceramic tiles may be used as accent features.



**FIGURE 18.120.060-A**

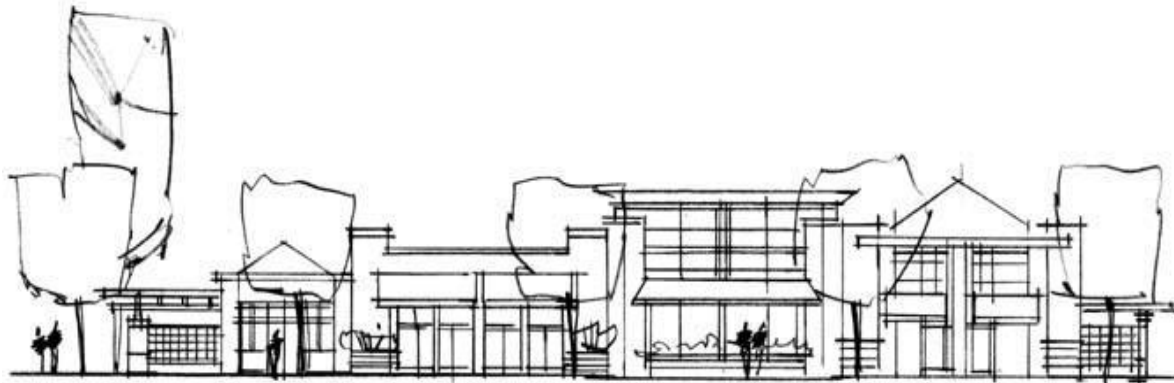


**FIGURE 18.120.060-B**

### **~~18.120.070 Building design—Building rhythm~~**

~~A.— REQUIREMENT: Create visually interesting street walls with variations in horizontal and vertical wall surfaces. Use architectural elements that clearly define a base at street level.~~

~~B.— GUIDELINE: Provide variation in fenestration, architectural elements, building materials, and/or building planes at varying intervals. (See also Basic Commercial Design Criteria, 18.110.080 Maintaining Human Scale, for additional direction.)~~



**~~FIGURE 18.120.070~~**

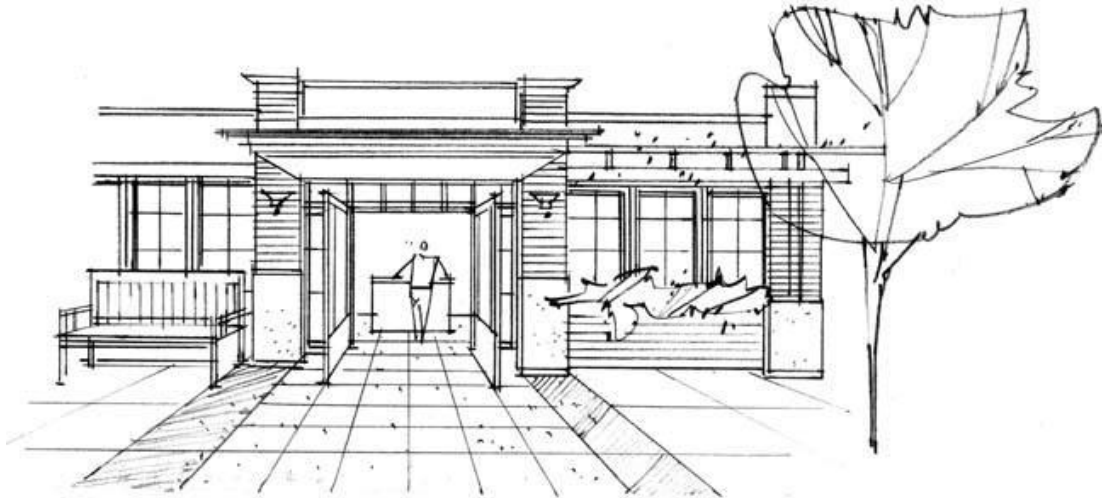
### **~~18.120.080 Building orientation~~**

~~A.— REQUIREMENT: Orient the primary building entrance and active uses such as retail storefront window displays or restaurants to the street. (See also Chapter 18.16, Pedestrian Streets Overlay District.)~~

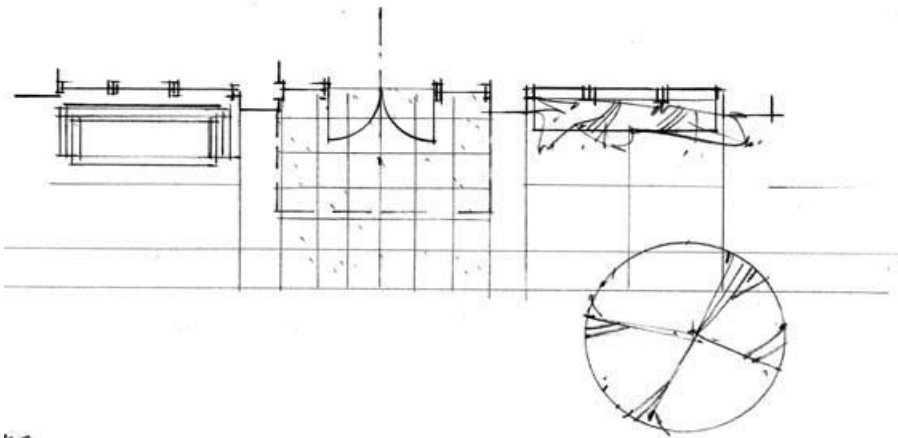
~~B.— GUIDELINES:~~

- ~~1.— Provide views and access into interior activities of the building from the street. Use a high proportion of glazing at the street level for displays or to reveal services available.~~
- ~~2.— Use landscaping, surface texture, or art work on buildings where revealing active uses is inappropriate.~~





**FIGURE 18.120.080-A**



**FIGURE 18.120.080-B**

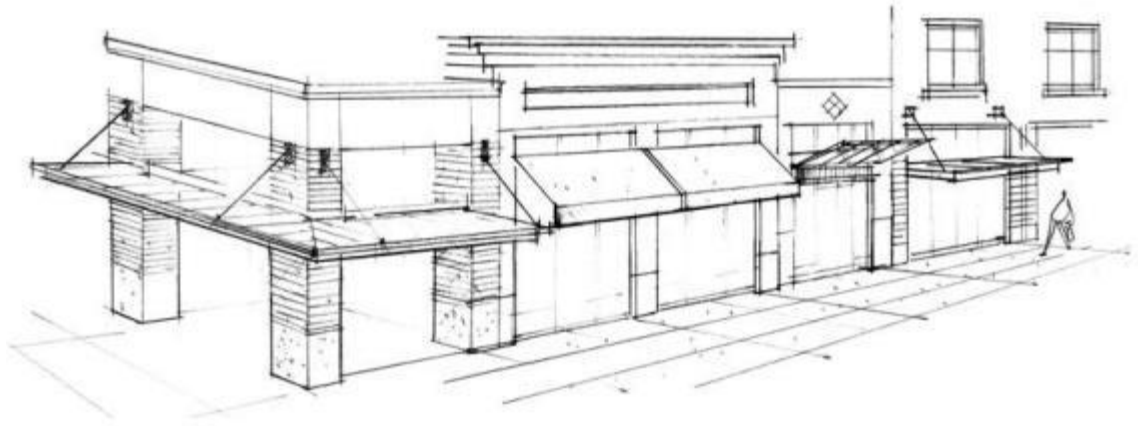
### **~~18.120.090 Awnings, canopies, and marquees~~**

~~A.— REQUIREMENT: Provide awnings, canopies, and marquees on buildings that abut the sidewalk. (See also Chapter 18.16, Pedestrian Streets Overlay District.)~~

#### ~~B.— GUIDELINES:~~

- ~~1.— Maintain the visual and spatial horizontal plane of the street by employing a horizontal alignment of awnings, canopies, and marquees in areas where they are an existing element in the street pattern.~~
- ~~2.— Select awnings, canopies, and marquees which emphasize the architectural and/or historical character, color, and material of the building without covering or obscuring details of the facade.~~

~~3.— Provide continuity of coverage on both sides and the corner when a building is located on a corner.~~



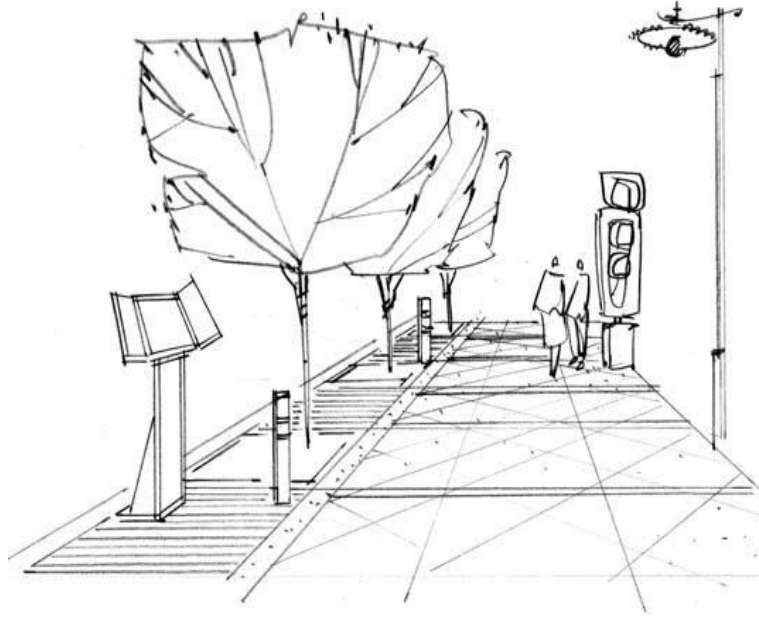
**FIGURE 18.120.090**

### **~~18.120.100 Walkways~~**

~~A.— REQUIREMENT: Provide character and visual diversity to walkways.~~

~~B.— GUIDELINES:~~

- ~~1.— Vary sidewalk colors and materials by combining pavers, brick, stone, exposed aggregate and other materials set in geometric or free form patterns.~~
- ~~2.— Identify street and driveway crossings through changes in colors, materials, or patterns.~~
- ~~3.— Separate the pedestrian from the street by the use of planters, bollards, or similar elements at the street edge of the sidewalk.~~
- ~~4.— Provide alleys with lighting, plantings, and paving materials in areas of the City where the alley is or may be used as a pedestrian link.~~
- ~~5.— Incorporate information about historic events or structures into the walkway by use of plaques, signs, and art work.~~



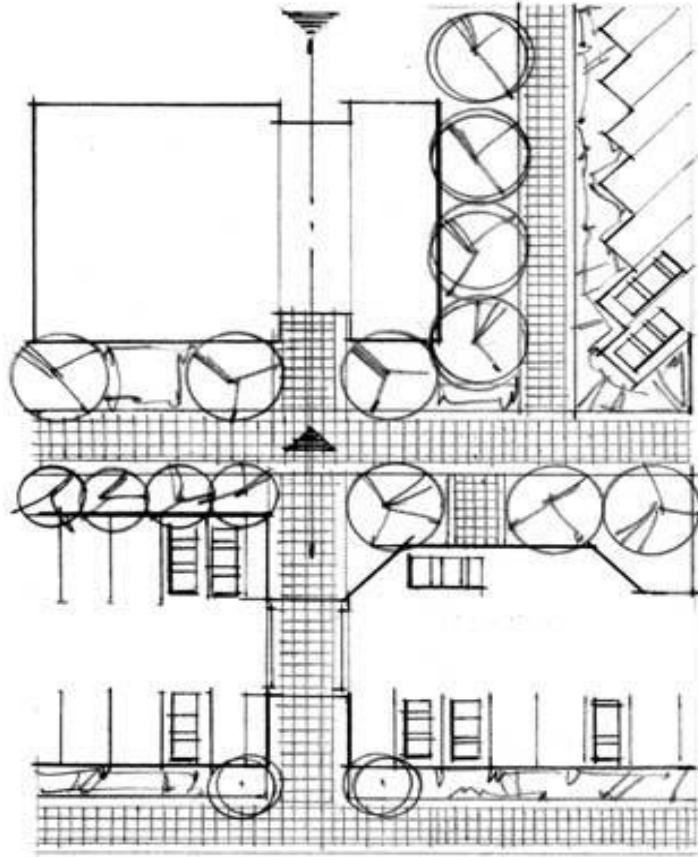
**FIGURE 18.120.100**

#### **~~18.120.110 Pedestrian access from parking areas~~**

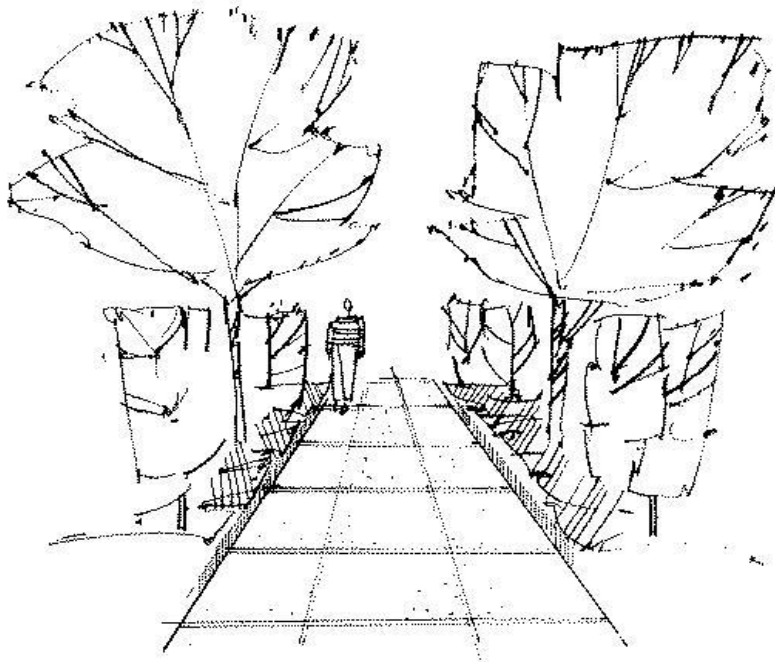
~~A.— REQUIREMENT: Provide direct and visible pedestrian access through parking areas to building entrances and to adjoining pedestrian ways. Minimize crossings of traffic lanes.~~

#### ~~B.— GUIDELINES:~~

- ~~1.— Provide sidewalks through parking bays.~~
- ~~2.— Define walkways with vertical plantings, such as trees or shrubs.~~
- ~~3.— Use materials, textures, patterns, or colors to differentiate pedestrian paths from parking areas. Use non-slip materials.~~
- ~~4.— Emphasize the entrance to the building by the use of paving materials and landscaping. Avoid locating parking spaces directly in front of the building entrance or in such a way as to interfere with entrance visibility and access.~~
- ~~5.— Use signs to direct customers to the building entrances and back to the parking areas.~~



**FIGURE 18.120.110-A**



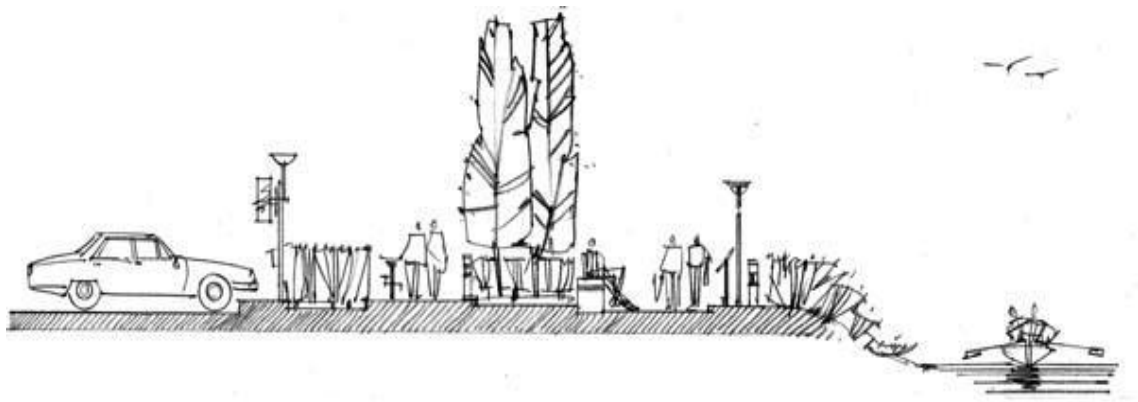
**FIGURE 18.120.110-B**

### **~~18.120.120 Waterfront public access~~**

~~A.—REQUIREMENTS: On waterfront sites used for commercial, residential, or recreational uses, incorporate shoreline public access pursuant to the goals of the Shoreline Management Act in a manner roughly proportionate to the impact created by the development.~~

#### ~~B.—GUIDELINES:~~

- ~~1.— Provide a water-edge trail and view corridors.~~
- ~~2.— Provide public access to the water-edge trail and/or view corridors.~~
- ~~3.— Provide necessary improvements appropriate to these facilities, such as signage, seating, and lighting.~~



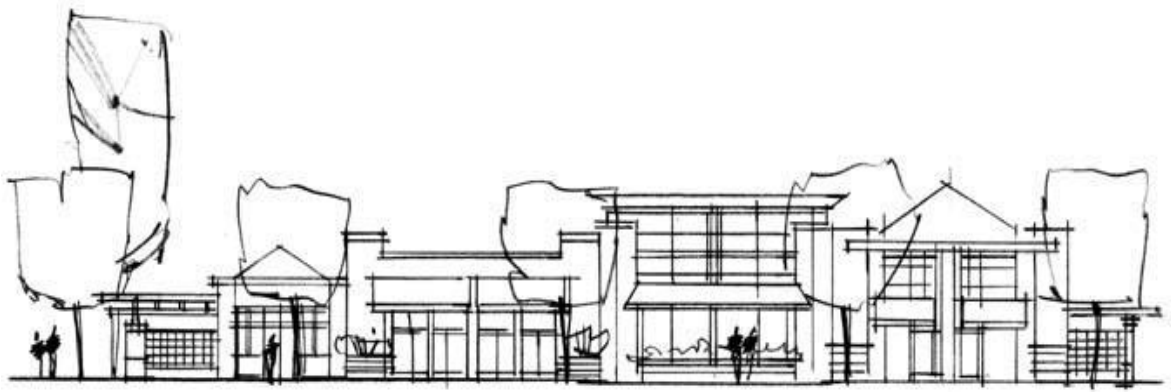
**FIGURE 18.120.120**

### **~~18.120.130 Visual context of streetscape~~**

~~A.—REQUIREMENT: Develop visual linkages between adjacent properties through building design, street trees, and streetscape improvements.~~

#### ~~B.—GUIDELINES:~~

- ~~1.— Link dissimilar buildings by using common elements of existing development. Maintain setbacks from the street; repeat or incorporate similar proportions and scale of buildings; use similar exterior materials, paving materials, and lighting standards.~~
- ~~2.— Plant the same or similar street trees to maintain the continuity of the street.~~
- ~~3.— Continue walls, screening, and planters where they exist.~~
- ~~4.— Repeat common elements and/or materials of landscape design.~~



**FIGURE 18.120.130**



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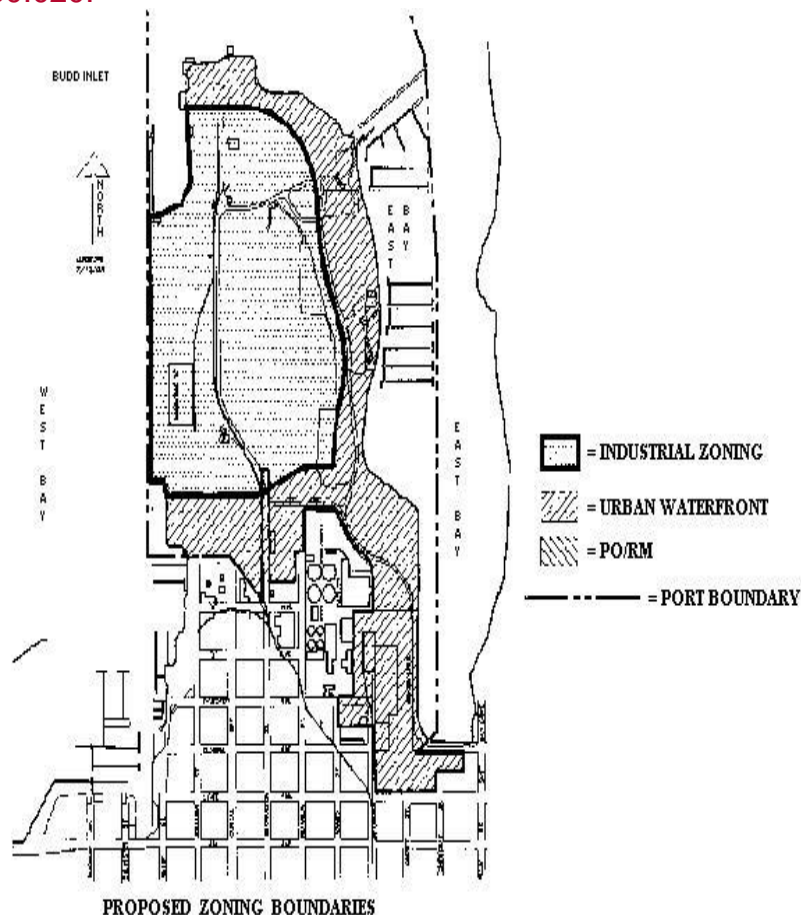
18.150.000 Chapter Contents

Sections:

- 18.150.020 Design guidelines.
- 18.150.030 Site design - Pedestrian connections.
- 18.150.040 Site design - Lighting.
- 18.150.050 Site design - View corridors.
- 18.150.060 Building design - Creation of human scale.
- 18.150.070 Building design - Color and materials.
- 18.150.080 Landscape design.
- 18.150.090 Building design - Landscape design - Suitability of materials.

**18.150.020 Design Guidelines**

The following guidelines apply to the Port of Olympia's Urban Waterfront-zoned properties on the Port Peninsula, and are the only City design guidelines which apply to the Port Peninsula. These guidelines were developed in a cooperative effort between the City and the Port. A map indicating the Urban Waterfront-zoned properties is shown on Figure 18.150.020.



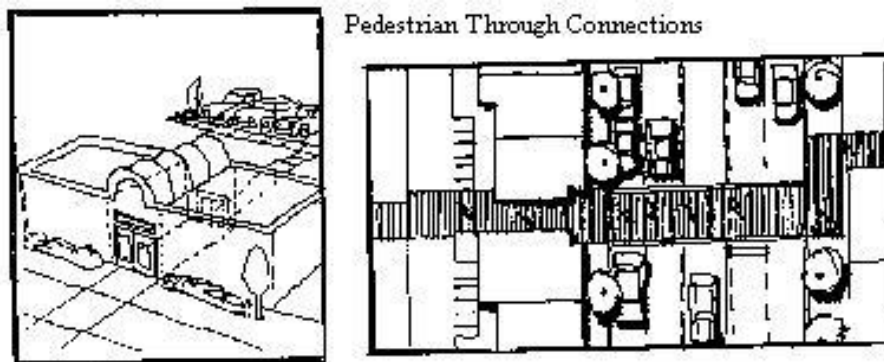
**FIGURE 18.150.020**

### **18.150.030 Site design—Pedestrian Connections**

A.—~~REQUIREMENT: Incorporate pedestrian access into the site plan where pedestrian access exists and where site security is not in questions.~~

B.—~~GUIDELINE:~~

- ~~1.—Incorporate cross-site pedestrian connections within projects where feasible.~~
- ~~2.—Coordinate signing to facilitate movement of pedestrians through the site and vehicles around the site.~~
- ~~3.—Provide walkways through parking bays and adjacent to planters.~~
- ~~4.—Define walkways with vertical plantings, such as trees or shrubs.~~



**FIGURE 18.150.030**

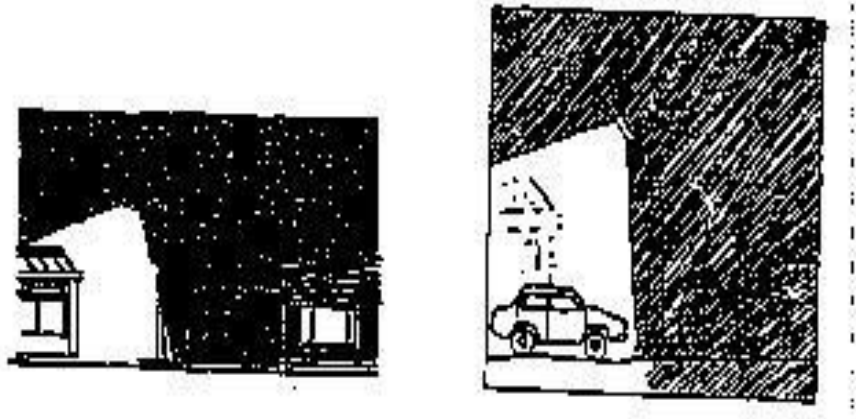
### **18.150.040 Site design—Lighting**

A.—~~REQUIREMENT: Accent structures, as well as provide visibility, security, and conserve energy with lighting.~~

B.—~~GUIDELINE:~~

- ~~1.—Use lighting to accent key architectural elements or to emphasize landscape features.~~
- ~~2.—Add adequate lighting to sidewalks and alleys, to provide for well lighted pedestrian walkways in accordance with Chapter 4 of the Engineering Design and Development Design Standards.~~
- ~~3.—Locate lighting so as not to have a negative impact on adjacent properties such as shining off site into adjacent buildings.~~





**FIGURE 18.150.040**

### **18.150.050 Site Design—View Corridors**

**A. REQUIREMENT:** Provide for public view corridors of the Capitol Building, Olympic Mountains and Budd Inlet.

#### **B. GUIDELINE:**

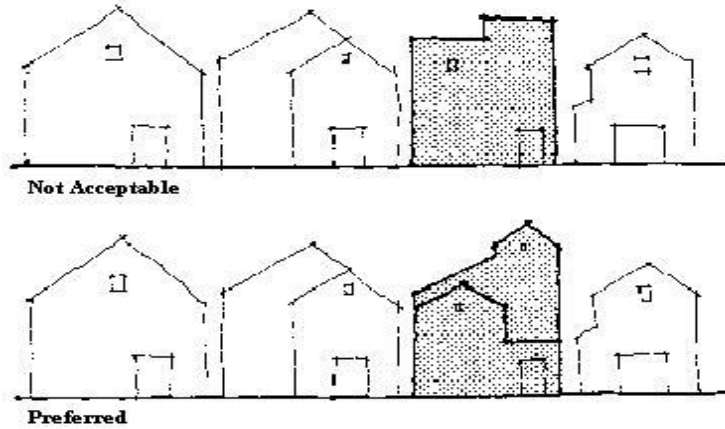
1. Intermittent or partial views to the scenic vistas mentioned above may not be deemed necessary to incorporate into the site and building design.
2. Refer to the Scenic Vista overlay zoning maps available at the Community Planning and Development Department.

### **18.150.060 Building Design—Creation of Human Scale**

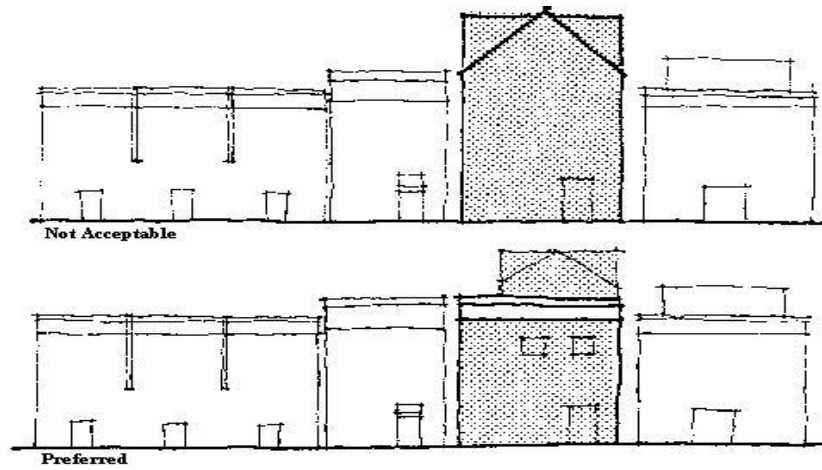
**A. REQUIREMENT:** Use design elements that result in buildings with a perceived size that maintains a human-scale street that is comfortable for pedestrians and attractive to them.

#### **B. GUIDELINE:**

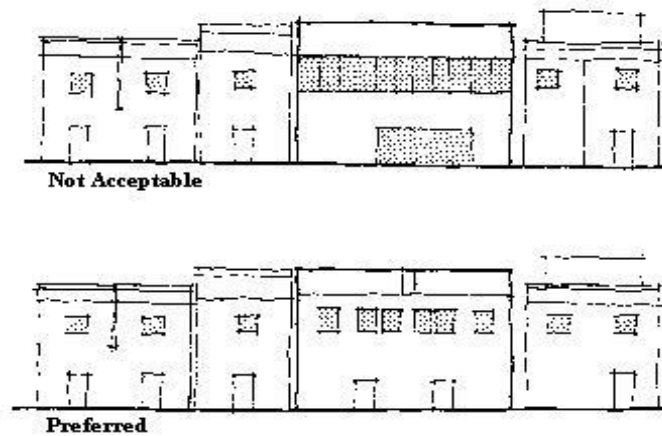
1. Use articulation on building facades to achieve smaller building massing. Methods include:
  - a. Modulation;
  - b. Broken rooflines; and
  - c. Building elements such as balconies, chimneys, porches or other entry details, and landscaping.



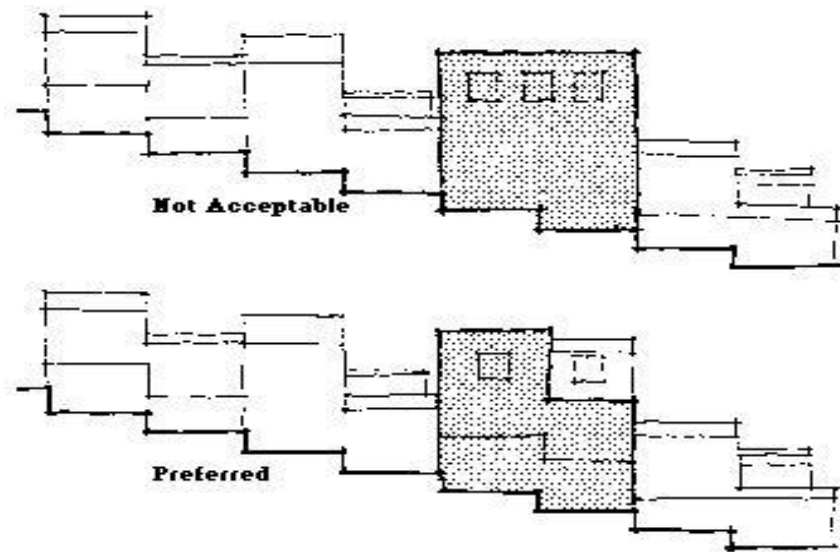
Rooflines can reinforce the architectural character of a street.  
**FIGURE 18.150.060-A**



Architectural features like cornices can relate to adjacent buildings, lowering the apparent, conflicting height of the building.  
**FIGURE 18.150.060-B**

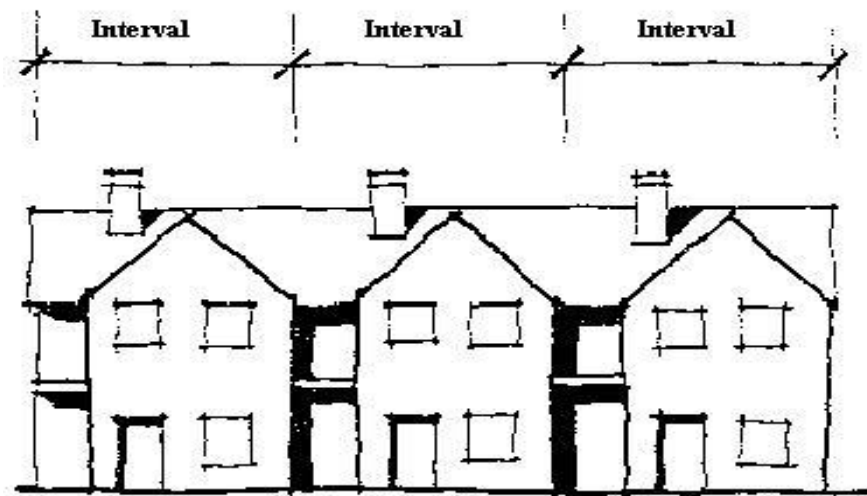


**FIGURE 18.150.060-C**



The pattern and proportion of windows, doors and other glazed areas (fenestration) is important in determining the building's architectural character. Following the proportion and pattern of neighboring buildings will increase the consistency of the overall streetscapes.

**FIGURE 18.150.060-D**



This building is articulated into intervals. Articulation methods include modulation, broken rooflines, building elements (chimneys, entries, etc.) and landscaping.

**FIGURE 18.150.060-E**

### **18.150.070 Building Design—Color and Materials**

A.—REQUIREMENT: Using appropriate color and material on new and remodeled buildings. Use subdued colors on exterior building walls and large surfaces.

**~~B.—GUIDELINE:~~**

- ~~1.—Reserve bright colors for trim or accents.~~
- ~~2.—Avoid large expanses of highly tinted or mirrored glass (except stained-glass windows). Use of tinted glass as an accent is acceptable.~~
- ~~3.—Avoid use of reflective exterior materials (except windows) where glare would shine into nearby buildings.~~

**~~18.150.080 Landscape Design~~**

**~~A.—REQUIREMENT:~~** Use plants as screening, canopy, and as space-defining elements.

**~~B.—GUIDELINE:~~**

- ~~1.—Plantings and paving can serve to define the appropriate location for pedestrian and vehicle traffic.~~
- ~~2.—Plantings such as street trees, hedges and screening hedgerows can be used to create and reinforce the functional definition of the site plan.~~
- ~~3.—Repeating landscape material throughout the project can unify the development.~~
- ~~4.—Parking lots can be divided into smaller lots with separations created by grouping landscaping and trees as buffers between parking areas. Where large planting areas are impractical or inefficient, canopy trees can be planted in protected planting locations.~~

**~~18.150.090 Building Design—Landscape Design—Suitability of Materials~~**

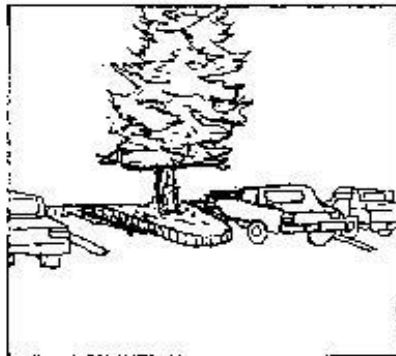
**~~A.—REQUIREMENT:~~** Plant materials shall be suited to the climate and at their mature, natural size, suitable for their planting location.

**~~B.—GUIDELINE:~~**

- ~~1.—Select trees for parking lots and sidewalk areas which do not interfere with the visibility and movement of vehicles or pedestrians.~~
- ~~2.—Avoid trees which may create problems by dropping fruit or seeds, have brittle wood, and/or cause pavement or other hard surfaces to heave.~~
- ~~3.—Use shrubs or vines trained to grow upright on wires or trellises (espaliers) next to blank walls with narrow planting areas.~~

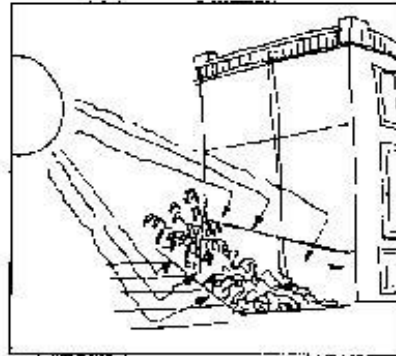
4.— Projects must also comply with the adopted Street Tree Plan, and the Landscaping and Screening Chapter of the Olympia Zoning Code 18.36 for more information on landscaping requirements.

5.— Choose hardy plant materials that can survive the effects of building or large paved areas (in terms of heat, shade, wind, etc.)



**Acceptable**

**Trees should not interfere with visibility for vehicles and pedestrians.**



**Not Acceptable**

**Plant choices should be suited to the site conditions.**

**FIGURE 18.150.090**