

- ☐ Concept Design Review
☒ Detail Design Review

DRB Meeting Date: September 24, 2020

The Applicant response to the design review criteria is included in this checklist and are in blue font.

MULTI-FAMILY RESIDENTIAL
Chapter 18.170

18.170.010 Grading and tree retention

A. REQUIREMENT:

Complies

Conflicts

N/A



Incorporate existing topography and mature trees in the project design to the extent feasible.

B. GUIDELINES:

- Minimize encroachment into areas of site containing steep slopes.
 - Building and Landscaping maintains a distance away from the berm to the West of the Site. The building structure to the north sets approximately no more than 5-6 feet into the northern berm elevation.
- When grading is necessary, minimize impacts to natural topography through use of contour grading.
 - Structural retaining wall is provided to the north of the site. The west landscape retaining walls for the exterior space for the shelter responds slope of the existing berm, incorporating a seat wall and planting area.
- Locate buildings so that rooftops do not extend above the natural bluff.
 - The location of the building steps down from east to west from 5 stories along Pattison St NE to one story to the West, meeting the elevation of the level 1 roof, approaching the elevation along the NW property line.
- Minimize encroachment into areas of site containing mature tree stands.
 - The majority of development is on an existing parking lot. In coordination with Urban Forester and Landscape architect, the design works to maintain trees on site while adding additional to meeting the 33 tree unit requirements.
- To facilitate stormwater infiltration, minimize disturbance of natural open space areas.
 - The majority of development is on an existing parking lot. The berm to the north and west is maintained. Additional landscape areas will be incorporated along Pattison St NE meeting city open space area standards.
- Design buildings with continuous perimeter foundations; avoid cantilevering large portions of the building over slopes.
 - Perimeter foundations with slab on grade. Perimeter foundation retaining wall at North of building. Level 2 cantilevers approximately 2 feet over foundation with head height below.

Applicant Response: See response to points above.

Staff Response:

The site currently does not have any existing mature tree stands. The project will be planting additional trees and required to meet the minimum tree density. Plans include significantly more vegetation than were identified on the concept plan set. The project utilizes existing topography into design of their project as referenced in the applicant's response above.

18.170.020 – Pedestrian and vehicular circulation**A. REQUIREMENT:**

Complies

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Conflicts

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N/A

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Integrate the project with the existing neighborhood through pedestrian and vehicular connections. Provide attractively designed pedestrian and vehicular connections to adjacent public rights-of-way, including any existing or planned bus stops. Provide adequate pedestrian and vehicular access to site features such as mailboxes and other shared facilities.

B. GUIDELINES:

- Mark pedestrian pathways with vertical plantings. [The plantings provided mark vertical plantings](#)
- Distinguish pedestrian pathways through use of surface material such as colored concrete or special pavers. [Paving and striping meet city standards along Pattison St NE while incorporating striping to match rhythm of building at entry and entry plaza.](#)
- Provide internal pedestrian connections (apart from public rights-of-way) between project and adjacent properties. [This design incorporates and interior entry court between the residential and shelter entry. This incorporates short term bike parking.](#)
- Provide barrier-free pedestrian access to all shared facilities such as mailboxes, recreation centers, and open space areas. [Grading, striping and signage shall meet all accessible requirements.](#)
- Provide parking and bicycle parking at shared facilities. [Approximately 22 stalls are maintained on the existing parking lot to the south with 3 additional compact stalls located west and interior from the entry plaza and parking entry and 3 stalls on Pattison Street NE. Short Bicycle Parking is provided near the shelter entry the entry plaza.](#)

[Applicants Response:](#) [Provided above in blue.](#)

[Staff Response:](#) As recommended by the Board at Concept, the applicant modified the proposal to add visual interest along the ground floor east façade with areas designated for art to enhance the pedestrian experience along Pattison Street. The project provides adequate vehicle and pedestrian connections.

18.170.030 – Parking location and design**A. REQUIREMENT:**

Complies

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Conflicts

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N/A

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Reduce the visual impacts of driveways and parking lots on pedestrians and neighboring properties by constructing parking facilities with materials that match or complement the building materials.

B. GUIDELINES:

- Break-up large parking lots by designing significant landscape areas with walkways for pedestrian access.
 - [While maintaining the existing parking lot to the south in the interim for phase 1, the design incorporates new stalls to the western interior of the site. A landscape buffer is provided between the shelter entry and the 3 new compact stalls.](#)
- Share driveways with adjacent property owners.
 - [This site is planned to be developed in 2 phases. Phase 1, currently proposed, will introduce a new curb cut and drive aisle from Pattison St NE. This entry will lead to the main drive aisle that will incorporate stalls to the south in phase 2.](#)
- Minimize width of driveways linking the project to the public right-of-way.
 - [The driveway entry will meet parking traffic requirements.](#)
- Landscape areas along all driveways and drive aisles that are visible from the street.
 - [Landscape will provide planter areas and buffers for screening of parking.](#)

- Limit parking lots on street frontage to thirty (30) percent of the street frontage.
 - Upon completion of phase 2 to the south, the portion of parking and drive aisle along Pattison St NE will be less than 30% of the Pattison St NE frontage.
- Screen parking lots or structures adjacent to residential properties with a landscape area at least ten (10) feet wide.
 - Additional trees and landscaping provided to the West and North.

Applicant Response: See responses to points above.

Staff Response: As determined at time of conceptual design review, most of the existing parking lot on the south side of the property will remain the same in phase one of this development and then will be eliminated during the development of the phase 2 portion of the project. The existing parking lot does not meet current landscaping requirements for parking lot landscaping. The parking lot as designed is considered legal non-conforming. No further changes to the parking area are proposed from the conceptual design.

18.170.040 – Usable open space			
A. REQUIREMENT:			Provide usable open space for use by residents of the development that is not occupied by buildings, streets, driveways, or parking areas. Usable open space shall include a minimum dimension of ten (10) feet with an overall grade of less than ten percent (refer to each zoning district for specific open space requirement).
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Situate playground areas in locations visible from residential buildings.
- Provide a mix of passive and active recreation areas. Active recreation areas may include facilities such as sport courts or swimming pools.

Applicant Response: For the shelter, an activity room on level 1 is set adjacent to an exterior open space, screened from the south. For residents, a level 2 Amenity space opens to an exterior roof deck located to the west of the 5-story portion of the building, over the level 1 shelter area.

Staff Response: The project design is similar to what was proposed at concept review and includes outdoor useable space with outdoor patio areas for the residents of the site.

18.170.050 – Fences and walls			
A. REQUIREMENT:			Minimize the use of fences that inhibit pedestrian movement or separate the project from the neighborhood. Front yards shall be visually open to the street. Where fencing is used, provide gates or openings at frequent intervals. Provide variation in fencing to avoid blank walls.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Provide variation in fencing though use of setbacks, or stepped fence heights.
 - A perimeter fence is provided to secure the west and north areas of the site. A decorative screen element is used to enclose the outdoor shelter area and trash enclosure.
- Provide variation in texture, color or materials to add visual interest.
 - A metal screen with decorative pattern will be used to screen the shelter outdoor area
- Provide landscape screening to break up expanses of fencing.
 - Landscape planter areas are located in front of the building at the entry plaza to the south, and along Pattison St NE.

- Repeat use of building facade material on fence columns and/or stringers.
 - The decorative screen element is used as a pattern motif along the south façade to reinforce the pedestrian/parking area.
- Provide lighting, canopies, trellises, or other features to add visual interest.
 - Lighting will be provided at the building entries and canopies and along the entry plaza in the building soffit.

Applicant Response: See responses to points above.

Staff Response: As determined at time of conceptual design review, a privacy fence will be placed on the west and north boundary of the property to provide privacy and security to the shelter and residents of the site. There are no existing pedestrian connections from adjacent developments that currently exist and based on existing topography, pedestrian connection to the west and north do not seem viable connections to be made. As provided in the applicant response above, the project will provide a variation of decorative screening elements that encloses the shelters outdoor area and trash enclosure.

18.170.060 – Landscape plant selection			
A. REQUIREMENT:			Select plants that are compatible with available planting conditions. In particular, ensure that trees will be suited to the planting location at their natural mature size. Avoid use of species that have a high potential to invade or disrupt natural areas.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Provide visual continuity with the existing streetscape by coordinating tree and shrub species with established, healthy landscaping.
 - This site is situated on a fairly undeveloped section of Pattison St NE. The adjacent properties to the north and east do not have street trees, sidewalk or a planting strip. This project will be the first typical streetscape and aims to set the tone for future development with plantings that have a variety of texture and color while being hardy and primarily evergreen. Street trees will be coordinated with the City Arborist.
- When choosing a tree species, consider the size of the tree at maturity in relation to: the dimensions of the planting area, the soil type and water holding capacity of the soil, and the depth of the planting bed.
 - A lot of care has been given to the planting design with the above factors in mind. We will import 8" of sandy loam topsoil to improve the overall quality of the soil and there will be an automatic irrigation system installed.
- Create a natural appearance by using a limited number of plant species
 - The number of plant species is limited and focuses on large swaths of plantings to give a natural appearance.
- Follow recommendations from the Thurston County Noxious Weed Control Program in regard to problem and noxious weeds.
 - No noxious weeds will be planted and the topsoil and mulch specifications prohibit weeds as well.
- Choose native plant species for landscaping. When established in the appropriate location, native plants are drought tolerant and provide food and/or habitat for native birds and other wildlife.
 - A good portion of the plant list is native species, primarily on the north and west slopes further from the building. There are several adapted plant species that are also included for their drought tolerance and general longevity in this climate.

Applicant Response: See responses to points above.

Staff Response: The detailed landscaping plan shows appropriate plants for the environment.

18.170.070 – Screening mechanical equipment			
A. REQUIREMENT:			Screen mechanical equipment and utility vaults so that they are not visible from adjacent public rights-of-way, parks, or adjacent dwelling units. Screen roof-top mechanical equipment on all sides.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Locate mechanical equipment and utility vaults on the least visible side of the building and/or site.
 - The trash enclosure is screened behind a decorative pattern metal screen. Additional mechanical and utility elements shall be screened behind parapet walls on the roof. A 3'-6" Parapet is provided at Level 2 to screen equipment. An approximate 2' Parapet is provided at the main roof.
- Screen at-grade mechanical equipment utilities with vertical plants such as trees, shrubs or ornamental grasses.
 - The trash enclosure is screened behind a decorative pattern metal screen. Additional mechanical and utility elements shall be screened.
- Screen or paint wall-mounted mechanical equipment to match the building.
 - Equipment in the design shall be screened or incorporated to match the building language.

Applicant Response: See responses to points above.

Staff Response: As shown on the site plan on page 9 of the Design Review Plans, a transformer is located in the northeast corner of the site. Based on the landscaping plan, adequate landscaping is proposed around this utility box which will provide adequate screening. Roof top units are screened on all sides. As noted by the applicant above, city staff concurs that the screening of mechanical equipment is adequately provided.

18.170.080 – Site lighting			
A. REQUIREMENT:			Provide adequate lighting along all pedestrian walkways and building entrances. Site lighting shall not unduly illuminate surrounding properties. Direct lighting away from windows of residential units. Locate all light posts away from tree canopies (at least half the width of canopy at maturity).
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Use low-intensity landscape lighting along walkways.
 - Lighting shall be provided in the building Soffit and at Building entries and exits.
- Use fixtures with directive shields to prevent lighting spill-over.
 - Lighting fixtures shall be used in the design to direct lighting and prevent spill-over.
- Use light posts of medium height to avoid spill-over lighting.
 - See Civil plans for light post.

Applicant Response: See responses to points above.

Staff Response: Three types of lighting fixtures are being proposed, wall scones, canopy lights and recessing lighting (see pages 36-38 of the Design Review plans). Lighting is provided along the pedestrian pathway that leads to the shelter entrance with recessed light fixtures. The main residential building entrance provides recessed lighting with canopy lighting that provides adequate lighting for the residential entrance at the

southeast corner of the building. The lighting does not appear excessive whereas it would illuminate the surrounding properties.

18.170.90 – Screening blank walls and fences			
A. REQUIREMENT:			Use vertical landscaping to screen or break-up long expanses of blank building walls or fences.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Screen walls or fences with a combination of trees, shrubs and vines.
 - Decorative metal screens shall be used for architectural character at the parking and trash enclosure. Fences are mostly screened with a mix of native shrubs and evergreen trees.
- Use trees or shrubs planted in raised planter boxes that are irrigated.
 - Most of the planting is planting in-ground due to the large site. There are raised vegetable gardens for tenant use. All landscaping will be watered with an automatic irrigation system.
- In narrow planting areas adjacent to walls or fences, use espaliered trees or shrubs and vines.
 - NA.

Applicant Response: See responses to points above.

Staff Response: The “Street Frontage” landscaping planting plan (page 17 of Design Review Packet Plans) shows a variety of shrubs and ground cover. Since conceptual design, the Pattison Street frontage building façade on the ground floor has changed to incorporate windows and place for art, which help break up the areas of wall that were blank. The detail design review plans do not shown what type of art will be placed there. The Board may want to inquire as what type of art is proposed. Staff recommends that the area proposed as art be clearly depicted on the building permit set of plans and be installed prior to final inspection.

18.170.100 – Building orientation and entries			
A. REQUIREMENT:			Provide a clearly defined building or courtyard entry to the building from the primary street.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

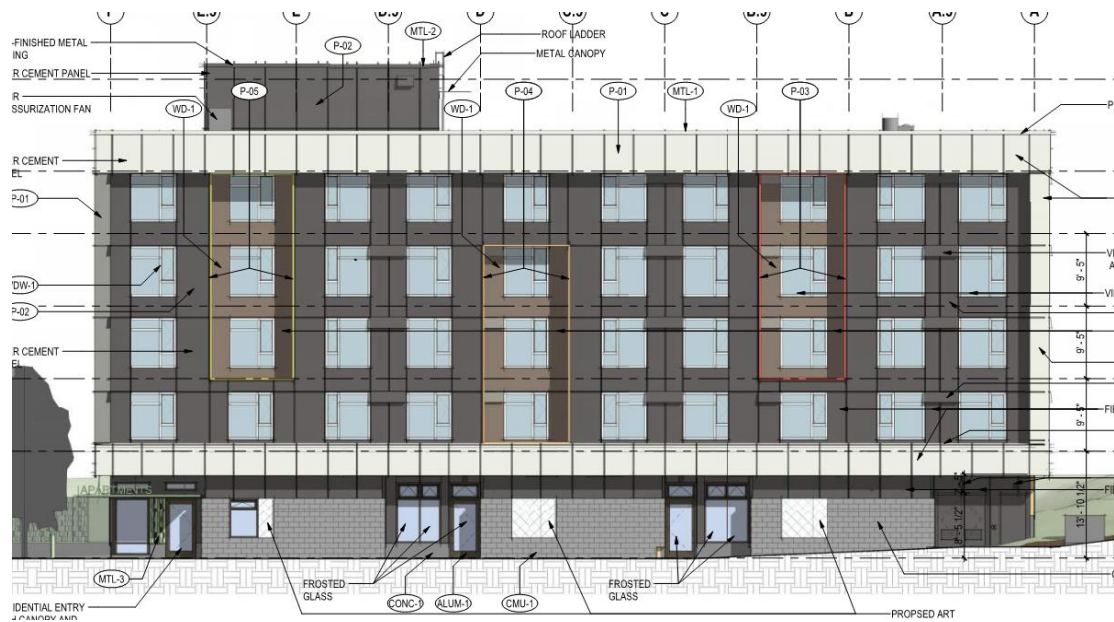
- Use distinctive architectural elements and materials to indicate the entry.
 - The level 1 entries are recessed from the upper levels and have a higher degree of transparency. The residential and shelter entries incorporate a metal canopy and signage for wayfinding.
- Define the transition space from the sidewalk to the entry with a terrace, plaza, or landscaped area.
 - From the sidewalk entrance along Pattison St NE, an interior entry court with paving is located to the south of the structure, spanning the residential and shelter entries. A landscape area with trees and vegetation and bollards is provided to the south of the entry plaza to buffer from the parking drive aisle to the south.
- Avoid the use of exterior stairways to second stories that are visible from the street.
 - All stairwells are located within the building.

Applicant Response: See responses to points above.

Staff Response: One of the conditions that the Board made at the Conceptual design review meeting asked the applicant to incorporate similar building materials and colors found on the south elevation and wrap around to the east façade. The intent of the Board was to enhance the building facade with a clearly defined entry for the residential entry. The following are the elevation of the east façade at time of conceptual design review and the south and southeast elevation of the proposed plans for detail that show how the project has been modified to meet the condition. Staff find that the revisions adequately address the concern and therefore have not added any further conditions of approval related to this topic.



CONCEPTUAL DESIGN REVIEW- EAST ELEVATION



DETAIL DESIGN REVIEW- EAST ELEVATION



DETAIL DESIGN REVIEW- SOUTH AND SOUTHEAST CORNER

18.170.110 – Neighborhood scale and character

A. REQUIREMENT:

Complies



Conflicts



N/A



The building scale identified for the district may be larger than the building scale that exists in the neighborhood. Minimize any appearance of scale differences between project building(s) and existing neighborhood buildings by stepping the height of the building mass, and dividing large building facades into smaller segments. Reflect the architectural character of the neighborhood (within 300' on the same street) through use of related building elements.

B. GUIDELINES:

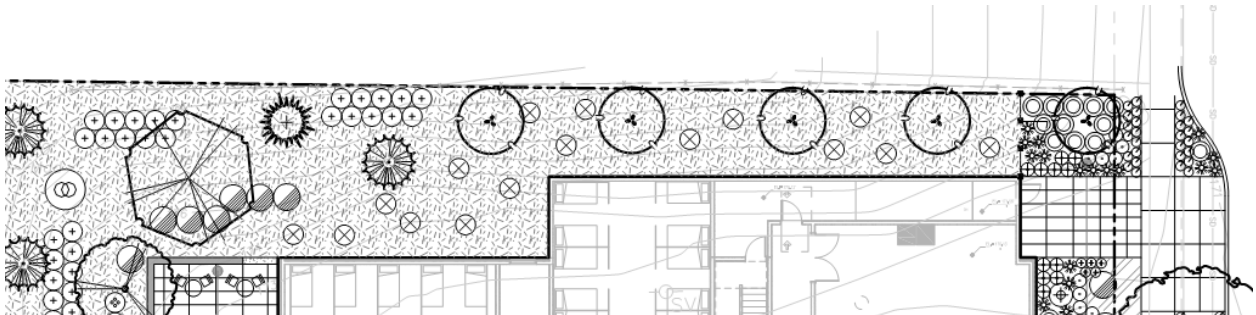
- Step the roof on the building perimeter segments to transition between a proposed taller building and an existing residential structure.
 - The proposed design of the building identifies massing and material elements that relate to the scale and character of the neighborhood. For the upper apartment levels 2-5, primary massing is defined by dividing a north/south corridor, breaking the masses into 2, more masses, approximately 35 feet wide. This dimension relates to the width of the 2-story apartment units immediately to the north. These two level 2-5 masses are defined by frame elements that

encapsulate smaller, more refined massing moves. A level 1 base relates to the street and surrounding 1 story structures.

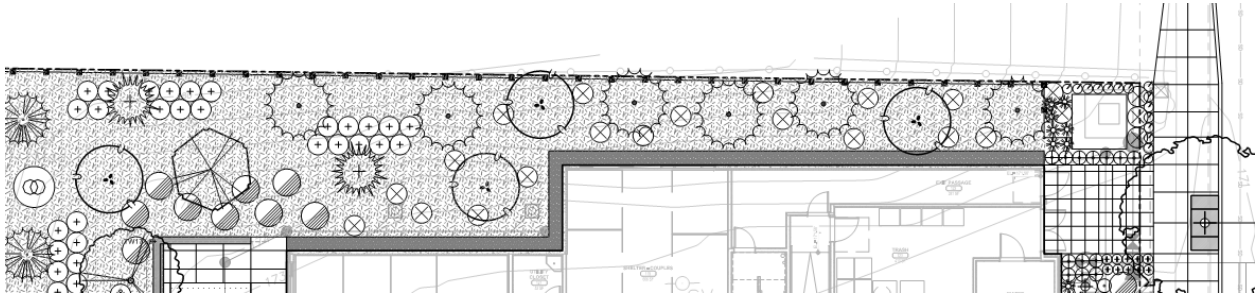
- Replicate or approximate roof forms and pitch found on existing residential structures in the neighborhood.
 - On the north and south facades, the parapet steps in and lowers at the corridor, breaking up the roofline. To the west, the building steps down to one story level one approaching the one-story lodging to the adjacent west property.
- Use wall plane modulation to divide the building facade into house-size building segments.
 - Within the upper level 2-5 frame is an interior face with alternating inset bays. These incorporate color and texture. This modulation breaks down to smaller volumes, their scale relating to smaller residential structures.
- Use window patterns and proportions similar to those on existing residential structures in the neighborhood.
 - Windows work to fit within the proportions of the responsive massing of the overall building. On Level 1, Storefront glazing relates to a more pedestrian scale toward Martin Way E on the south elevation. Unit windows relate to language of similar multi-family projects in the area with vertical and horizontal mullions.
- Use building facade materials similar to those used on existing residential buildings in the neighborhood.
 - The upper massing inset bays incorporate a composite wood-tone lap siding that relates to the materiality of residential structures. The gradient change of color adds visual character that is found in adjacent residential single-family properties.
- Maintain a relationship to the street (i.e., building setbacks and entryways) similar to existing buildings.
 - While meeting setback requirements established by the city, the building clearly labels entries with open storefront and canopies. The bottom portion of the Level 2-5 Frame defines the street and pedestrian realm.

Applicant Response: See responses to points above.

Staff Response: At time of conceptual design review application the Board recommended that the detail design review plans show additional sight obscuring landscape with larger evergreen tree species be provided at the north boundary to improve transition between the project and the adjacent properties. The landscaping plans shows additional evergreen type trees proposed along the north boundary. See conceptual plan and details plans below showing the proposed change. Staff finds that the revision to this perimeter landscaping is adequate that will improve the transitioning between the 5 story building and the adjacent uses to the north.



Conceptual Design Review- Landscaping on the north boundary



Detail Design Review- Landscaping on the north boundary

18.170.120 – Building modulation

A. REQUIREMENT:

Complies

Conflicts

N/A

Use building modulation at least every 30 feet to reduce the appearance of large building masses.



B. GUIDELINES:

- Modulate the building facade at regular intervals.
 - The building façade incorporates a program defining frame for the upper 2-5 residential levels. Within this upper level frame, is an interior plane set back 2 feet with inset bays set back 2 feet along the length of the façade with an interval set every 36 feet. This breaks down the length of the building with visual interest of color.
- Articulate roofline by stepping the roof and by using dormers and gables.
 - The roofline works to frame the program of the upper residential levels. The roofline is broken in line with the residential corridor on the north and south. This helps to break down the east/west dimension of the building.
- Incorporate prominent cornice, fascia or soffit details that emphasize the top of the building.
 - A strong band defines the top of the building and the bottom of the residential program at level 2.
- Use prominent roof overhangs.
 - The building frame overhangs level 1, defining the programmatic elements within the building.
- Provide porches, balconies, and covered entries.
 - Covered canopies are provided at the residential and shelter entries. An outdoor area for the shelter is located to the west of the building. A level 2 amenity outdoor area is provided for the residents of the building.
- Provide deeply recessed or protruding windows.
 - Windows are contrasted in color against their adjacent wall for a striking visual presence.
- Provide light fixtures, trellises or architectural to accentuate modulation intervals.
 - Lighting at the building will work with the architectural rhythm and language.

Applicant Response: See responses to points above.

Staff Response: The building design provides a variety of vertical modulation placed every 24 feet on the east and west elevation and building modulation on the north and south provides full length vertical modulation at mid span. The modulation helps to reveal color aspects on the building and with the cornice at the top and a band at the second floor helps to break up the building mass.

18.170.130 – Building windows**A. REQUIREMENT:**

Complies

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Conflicts

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N/A

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Provide relief, detail, and visual rhythm on the facade with well-proportioned windows. Minimize window locations where residents from one unit may look directly into another unit.

B. GUIDELINES:

- Use vertically proportioned windows (i.e., windows that have a height of at least one and one-half times their width).
 - The designed windows work with the rhythm and proportions of the overall massing and work to provide the best light into the interior units.
- Use multiple-pane windows.
 - Windows incorporate multiple panes that work to accent the language of the overall building.
- Provide windows that are designed to create shadows (either recessed or protruding).
 - Windows selected will work with the massing language of the overall building.
- Use visually significant window elements (i.e., frame dimensions, lintels, sills, casings, and trim).
 - Windows selected will work with the massing language of the overall building.

Applicant Response: See responses to points above.

Staff Response: The design review plans show the windows that provide relief, detail and visual rhythm to the facades of the building. Adjacent uses are far enough away which minimizes the potential of any resident to look directly into another adjacent unit. Additional windows were added along the ground floor east façade as recommended by the Board.

18.170.140 – Materials and colors**A. REQUIREMENT:**

Complies

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Conflicts

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N/A

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Use building materials with texture and pattern and a high level of visual and constructed quality and detailing. Reserve brightly saturated colors for trim features.

B. GUIDELINES:

- Use natural appearing materials such as painted or natural finish horizontal lap siding, brick, stone, stucco, ceramic or terra cotta tile.
 - At the base of the building, materials are selected to meet the pedestrian scale. Textured concrete block gives a textures, and open glazing storefront lets light into the entry areas of the building. On the upper levels, contrasting tones work to accent massing moves. Painted fiber cement panel is used as the primary canvas for the massing. Woodtone accent material within the recessed bays gives a natural warmth to the façade, while introducing accents of color adjacent.
- Coordinate change in materials and color with building modulation.
 - The color and material change works with the overall massing, modulation and diagram of the building.
- Use changes in colors or building materials to differentiate the ground floor from upper floors of the building.
 - Change in color, plane, and material occur between levels 1 and, further accenting the programmatic uses of the building.
- When remodeling or adding to an existing building, use materials and colors that preserve or enhance the character of the original building.
 - This building will be new construction.

- In multi-building projects, vary building colors and/or materials on different buildings.
 - This site is planned to be set in 2 phases with two different buildings. The massing and material language for phase 1 can be translated to phase 2 as an overall cohesive project.

Applicant Response: See responses to points above.

Staff Response: Page 40 of the design review plans provides information on the exterior material and colors of the proposed project. With the mix of the exterior materials proposed, provides the building with texture and pattern especially with the pops of colors provides visual interest. The decorative screening proposed between the parking lot and building is well designed.

☐ Concept Design Review
☒ Detail Design Review

DRB Meeting Date: September 24, 2020

COMMERCIAL DESIGN CRITERIA
HIGH DENSITY CORRIDOR (HDC)
Chapter 18.130

18.130.020 Building Orientation			
A. REQUIREMENT:			
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none">1. Primary building entries, storefront windows, and building facades shall face the street, create a continuous row of storefronts along the street frontage, and provide direct access from the street to the building. In the case of multifamily housing or townhouse projects, stoops and porches or distinctive entryways can substitute for commercial storefront window openings.2. In the case of buildings at corners of street intersections, this requirement applies to both street frontages. An entrance at the corner would meet this requirement.3. HDC-4 exceptions: The following exceptions apply if excellent pedestrian connections to the HDC street are provided:<ol style="list-style-type: none">a. Building entries need not face the HDC street edge but may be located on the corner, off a publicly accessible pedestrian plaza or on the side of the building. All other applicable design guidelines apply.b. Hotels and multifamily developments may be set back greater than 10 feet provided that the setback area does not include parking.c. Setbacks may be increased where street improvements do not exist or where they do not provide the separation from vehicles as described in the Development Guidelines and Public Works Standards (Street Standards) to include the additional distance required by those standards for sidewalk and planter strips. The setback area may not include parking.

B. GUIDELINES:

- Locate service and delivery entries in the rear whenever possible.
- On transit routes, site design should accommodate transit.

Applicant Response:

Primary building entries are located on the south of the building. The residential entry is located at the southeast corner of the building facing Pattison St NE. The shelter entry is placed on the southwest corner facing south. Each entry has its own canopy and signage for wayfinding. They are connected by a publicly accessible plaza. Setback area along Pattison St includes planting areas.

The interior trash room and utility areas are located to the northeast of the building, toward the rear of the site, but with access to Pattison St NE. The exterior trash enclosure is located to the west of the site, away from Pattison St NE. East/west connections are provided along Martin Way E. a current bus shelter sits on the corner to the southwest of the site for west-bound, and an east bound stop sits across Martin Way E.

Staff Response: One of the Boards recommendations made at Conceptual stage was to revise the project to incorporate materials found on the south façade of the building and wrap those around to the east façade in order to provide a more defined building entrance. Staff feels the revised plans demonstrates that this has been achieved and what the Board was looking for when then made their recommendation.

18.130.030 – Building design			
A. REQUIREMENT:			Where visible to pedestrians, walls over thirty (30) feet in length shall be modulated and building elements shall be articulated. Orient buildings and locate windows to provide privacy, to the extent practical, both within the project and to the adjacent residential neighborhood.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

B. GUIDELINES:

- Provide vertical and horizontal modulation in the façade;
 - Vertical and horizontal modulation is provided by the use of plane and material changes at a regular rhythm.
- Provide features that identify a clear base to the building;
 - Storefront, Concrete block and metal help to establish the material palette of the building. A Clear massing change is accented between the base level 1 and the upper 4 stories above through the use of a frame element.
- Provide recessed entries;
 - Entries are recessed below the level 2-5 massing with an additional canopy to mark the entry point.
- Provide awnings, canopies, marquees, building overhangs, or similar forms of pedestrian weather protection. Such elements should be at least four and one half (4-1/2) feet wide and cover at least eighty percent (80%) of the length of buildings, including entries, which abut a pedestrian walkway, subject to Section 18.06.080, Commercial Development Standards.
 - Canopies are provided at building entries. There is an overhang at level 2, defining the upper stories.
- Use fenestration;
 - Larger, more open storefront is used at level 1 for more publicly accessible areas. Each unit are provided a series of windows that integrate with the overall massing of the building.
- Vary roof lines; use dormers;
 - The roofline works to frame the program of the upper residential levels. The roofline is broken in line with the residential corridor on the north and south. This helps to break down the east/west dimension of the building.
- Provide porches or balconies.
 - Covered canopies are provided at the residential and shelter entries. An outdoor area for the shelter is located to the west of the building. A level 2 amenity outdoor area is provided for the residents of the building.

Applicant Response: See comments per point above.

Staff Response: The project also has met the multifamily design criteria 18.170.120 building modulation and 18.170.130 building windows of which is the similar design criteria. The applicant made modifications along the ground floor front façade of the east side to include windows and areas designated for art which will enhance the pedestrian experience along Pattison Street. These efforts bring the projects design into alignment with the criteria.

18.130.040 – Surface parking			
A. REQUIREMENT:			Locate parking behind or on the side of buildings. On corner lots, parking shall not be located on the corner. Minimize curb cuts and provide landscaping, berms and/or low walls for screening.
Complies	Conflicts	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Applicant Response: One curb cut for vehicular access will be provided mid-site along Pattison St NE. The project will incorporate existing parking to the south until the development of phase 2. The new additional stalls are located within the interior of the site, screened by landscaping west of the entry plaza.

Staff Response: At time of conceptual design review, staff concluded that the project complied. Further review of the overall site design will occur when Phase II is designed and reviewed by the City.

18.130.050 – Historic building types – HDC 1 and HDC 2			
A. REQUIREMENT:			In HDC 1 and 2 districts, buildings shall include similar details to one of the historic building types as found on the corridor and in the adjacent neighborhoods. Orient buildings and locate windows to provide privacy, to the extent practical, both within the project and to the adjacent residential neighborhood. In the case of multifamily housing or townhouse projects, stoops and porches or distinctive entryways can substitute for commercial storefront window openings.
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18.130.060 – HDC 4-Capital Mall			
A. REQUIREMENT:			A. Pedestrian Streets - 4th Avenue West and Kenyon Street. (Pedestrian Street Requirement does not apply to existing mall vehicular circulation.) 1. Building Frontages. Buildings are required to front the sidewalk and be a minimum of 20 feet in height. The building facades shall convey an urban character and include significant retail office storefronts at the ground level. (Building frontage requirement does not apply to below grade structures.) No less than 60% of the street-level building facade, between 2 feet and 8 feet above grade, shall be transparent storefront. Mixed-Use development, including residential and office uses, is encouraged on upper levels. Variations from the setback are allowed in order to encourage
Complies	Conflicts	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

unique storefront building design features, and to create plazas. Canopies, arcades and/or colonnades shall be provided as overhead weather protection.

2. Interim Surface Parking Allowance. Interim surface parking is allowed along 4th Avenue W and Kenyon Street as long as minimum 20 foot sidewalk / landscape area (see required sidewalks below) is provided. The area within 60 feet of the sidewalk/landscape link should be planned for future infill development. The planning of this area shall be reviewed by the Design Review Board for consistency with Pedestrian Street requirements, other design standards and street slope conditions along 4th Avenue W. and Kenyon Street.
 3. Required Sidewalks. 15 foot sidewalk with street trees when building faces street; (Staff note: Current major commercial collector street standards include a 10 foot sidewalk. Urban designers suggest that a wider sidewalk is necessary where a retail/commercial storefront is combined with a canopy and street tree.) 20 foot linkage when parking lot faces the street. The linkage will include a 10 foot sidewalk and a 10 foot landscaped planter. See street cross section illustrations. (This allows for development of full street improvements when buildings are developed that face the street edge.)
- B. Building Focal Points. A focal point, including tower elements and entryway features shall enhance street intersections, plaza areas and mall entry points. (Renovation of existing mall entries shall not be required when minor renovations - such as a new coat of paint or new signage - or interior remodeling by tenant or anchor store are constructed within existing building envelope.) Renovated exterior entry and new mall entries shall include significant entry features, retail facades, display windows and streetscape elements to enhance the pedestrian experience, improve safety, and encourage walking between uses in the area.
- C. Transit Facility. A Transit stop or facility shall be integrated into the Capital Mall Area. It shall be located to provide a direct link to the shopping mall while supporting transit plans for the area. Transit stop or facility location can change as mall area expansion occurs over time. Transit stops will: a) be a short walking distance to the significant building entrance, b) be located at a safe and attractive location, c) be weather protected, d) have adequate space to accommodate transit arrivals and departures and, e) be efficiently integrated into a transit route.
- D. Significant Building Entry. At the north side of the mall a significant entry shall be provided. (Development of this site feature is required when expansion on the north side of the Capital Mall Area meets or exceeds a cumulative total of 100,000

SF of new floor area). It is recommended that the Significant Building Entry be oriented toward Kenyon Street. The design of this entry shall include a tower element that is visible from intersection of Black Lake Blvd. and Capital Mall Drive. This element is allowed to extend up to 30 feet beyond the height limit. The feature tower shall be subject to Design Review Board approval based on design appropriateness and compatibility with overall shopping center renovation design.

- E. Urban Plaza. An urban plaza shall be located in the general area shown on the attached diagram. (Development of this site feature is required when expansion on the north side of the Capital Mall Area meets or exceeds a cumulative total of 100,000 SF of new floor area.) The plaza shall be integrated with a Significant Building Entry.
- F. Pedestrian Linkages. Increments of new development, including parking lot expansion, shall include landscaped illuminated walkways or paths that link the new mall development to surrounding commercial development, allowing people to walk or bike through parking areas safely and conveniently. (Pedestrian linkages shall be added and integrated into any parking lot expansion consistent with UDC Chapter 18.36 Landscaping and Screening regulations.) The intent is that pedestrian linkages and parking lot improvements be made incrementally as building improvements are made--not to require the entire mall parking lot to be improved at once but in proportion to the amount of mall area being developed.
- G. Site Access Points. These would create an urban block pattern along 4th Avenue by locating intersecting streets or pedestrian paths between buildings. (The Site Access Point may be connected to parking or internal circulation in the mall, but not impose block pattern to the mall as long as adequate vehicle and illuminated pedestrian connections are maintained to the surrounding High Density Corridor street network.) These shall be developed incrementally when buildings are added in the Capital Mall area and when 4th Avenue street improvements are made.