

Development of 28 units of multi-family affordable housing consisting of one- and two-bedroom sizes.

# OLYMPIA CREST III APARTMENTS

## PROJECT TEAM

OWNER	ARCHITECTURAL	CIVIL	LANDSCAPE	STRUCTURAL	MEP
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## ABBREVIATIONS

ABV	ABOVE	LAV	LAVATORY
ACT	ACOUSTICAL CEILING TILE	MAX	MAXIMUM
ADJ	ADJACENT	MECH	MECHANICAL
ADJUST	ADJUSTABLE	MFR	MANUFACTURER
AFF	ABOVE FINISH FLOOR	MIN	MINIMUM
ALUM	ALUMINUM	MTL	METAL
APT	APARTMENT	NIC	NOT IN CONTRACT
ARCH	ARCHITECT(URAL)	NTS	NOT TO SCALE
AV	AUDIO VISUAL	OC	ON CENTER
BD	BOARD	OH	OPPOSITE HAND
BLDG	BUILDING	OPP	OPPOSITE
BO	BOTTOM OF	OSOI	OWNER SUPPLIED & OWNER INSTALLED
CG	CORNER GUARD	OSCI	OWNER SUPPLIED & CONTRACTOR INSTALLED
CH	CLOTHES HOOK	PNT	PAINT
CJ	CONTROL JOINT	PL	PLATE
CL	CENTER LINE	P-LAM	PLASTIC LAMINATE
CLG	CEILING	PLYWD	PLYWOOD
CLR	CLEAR	PNL	PANEL
CMU	CONCRETE MASONRY UNIT	PREFIN	PREFINISHED
CONC	CONCRETE	PT	PRESSURE TREATED
CONT	CONTINUOUS	PTD	PAPER TOWEL DISPENSER
CONST	CONSTRUCTION	R	RADIUS
CPT	CARPET	RB	RUBBER BASE
CSCI	CONTRACTOR SUPPLIED & CONTRACTOR INSTALLED	REF	REFRIGERATOR
DBL	DOUBLE	REINF	REINFORCE
DEMO	DEMOLITION	REQ'D	REQUIRED
DIA	DIAMETER	RM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DN	DOWN	SAM	SELF ADHESIVE MEMBRANE
DS	DOWNSPOUT	SC	SOLID CORE
DR	DOOR	SCHED	SCHEDULE
DTL	DETAIL	SD	SMOKE DETECTOR
DWG	DRAWING	SF	SQUARE FEET
DWR	DRAWER	SHT	SHEET
EXIST	EXISTING	SHTG	SHEATHING
EA	EACH	SIM	SIMILAR
ELECT	ELECTRICAL	SOG	SLAB ON GRADE
EQ	EQUAL	SPECS	SPECIFICATIONS
EQUIP	EQUIPMENT	SS	STAINLESS STEEL
ELEVATION	ELEVATION	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
FACT	FACTORY FINISH	STRUCT	STRUCTURAL
FEC	FIRE EXTINGUISHER CABINET	T/TEMP	TEMPERED GLASS
FD	FLOOR DRAIN	TO	TOP OF
FDC	FIRE DEPARTMENT CONNECTION	TOC	TOP OF CONCRETE
FF	FINISH FLOOR	TOSR	TOP OF SINK RIM
FIN	FINISH	TOLS	TOP OF LOWER SHELF
FLR	FLOOR	TOW	TOP OF WALL
FO	FACE OF	TS	TUBE STEEL
FOC	FACE OF CONCRETE	TYP	TYPICAL
FOS	FACE OF STRUCTURE	UNO	UNLESS NOTED OTHERWISE
FT	FEET	VCT	VINYL COMPOSITION TILE
GA	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACTOR	W	WASHER
GL	GLASS	W/	WITH
GYP BD	GYPSUM BOARD	WC	WATER CLOSET
HB	HOSE BIBB	WD	WOOD
HC	HOLLOW CORE	WDW	WINDOW
HM	HOLLOW METAL	W/O	WITHOUT
HOR	HORIZONTAL	WO	WHERE OCCURS
HT	HEIGHT	WRB	WEATHER RESISTIVE BARRIER/ AIR BARRIER
INT	INTERIOR		
INSUL	INSULATION		

## SHEET INDEX

### GENERAL

G1.00	COVER SHEET
G2.00	ZONING AND SITE CODE PLAN
G3.00	ASSEMBLIES

### CIVIL

C1.00	SITE PLAN
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### LANDSCAPE

L3.01	PLANTING PLAN
L4.01	FURNITURE AND NATURE PLAY
L4.02	PLANT PALETTE
L4.03	PLANT PALETTE

### ARCHITECTURAL

A1.00	SITE PLAN
A2.11	BUILDING 1 GROUND/SECOND FLOOR PLANS
A2.12	BUILDING 1 ROOF PLAN
A2.15	BUILDING 1 REFLECTED CEILING PLANS
A2.21	BUILDING 2 GROUND/SECOND FLOOR PLANS
A2.22	BUILDING 2 ROOF PLAN
A2.25	BUILDING 2 REFLECTED CEILING PLANS
A2.31	BUILDING 3 GROUND/SECOND FLOOR PLANS
A2.32	BUILDING 3 ROOF PLAN
A2.35	BUILDING 3 REFLECTED CEILING PLANS
A3.11	ENLARGED UNIT PLANS
A4.11	BUILDING 1 ELEVATIONS
A4.21	BUILDING 2 ELEVATIONS
A4.31	BUILDING 3 ELEVATIONS
A5.11	BUILDING 1 SECTIONS
A5.21	BUILDING 2 SECTIONS
A5.31	BUILDING 3 SECTIONS

### STRUCTURAL

S2.11	BUILDING 1 - FOUNDATION/SECOND FLOOR FRAMING PLAN
S2.12	BUILDING 1 - ROOF FRAMING PLAN
S2.31	BUILDING 3 - FOUNDATION/SECOND FLOOR FRAMING PLAN
S2.32	BUILDING 3 - ROOF FRAMING PLAN
S7.11	BUILDING 1 - SHEARWALL/HOLD-DOWN SCHEDULE AND DETAILS
S7.12	BUILDING 1 - TYPICAL WOOD DETAILS
S7.13	BUILDING 1 - TYPICAL WOOD DETAILS
S7.14	BUILDING 1 - TYPICAL WOOD DETAILS
S7.31	BUILDING 3 - SHEARWALL/HOLD-DOWN SCHEDULE AND DETAILS
S7.32	BUILDING 3 - TYPICAL WOOD DETAILS
S7.33	BUILDING 3 - TYPICAL WOOD DETAILS
S7.34	BUILDING 3 - TYPICAL WOOD DETAILS

## VICINITY MAP



206 LILLY RD NE  
OLYMPIA, WA 98506

N.T.S.



## SYMBOLS - ARCHITECTURAL

<b>1</b>	<b>VIEW NAME</b> SCALE: 1/8" = 1'-0"	DRAWING TITLE		FINISH TO BE FLUSH
	DETAIL NO. SHEET NO.	EXTERIOR ELEVATION		SLOPE TO DRAIN
	DETAIL NO. SHEET NO.	INTERIOR ELEVATION		CENTERLINE
	DETAIL NO. SHEET NO.	BUILDING SECTION		FIRE EXTINGUISHER CABINET
	DETAIL NO. SHEET NO.	WALL SECTION		INTERNATIONAL SYMBOL OF ACCESSIBILITY
	DETAIL NO. SHEET NO.	DETAIL KEY		NORTH ARROW
	ROOM NAME/NUMBER			GRID BUBBLE
	DOOR MARK			CEILING HEIGHT
	WINDOW MARK			FLOOR TRANSITION
	KEYNOTE			ELEVATION HEIGHT
	ASSEMBLY TYPE			WORK POINT, CONTROL POINT, OR DATUM POINT
				REVISION MARK AND CLOUD

INSULATION REQUIREMENTS PER 2019 OR ENERGY CODE (ASHRAE 90.1-2016) MULNOMAH COUNTY ZONE 4C			
PROVISIONS SHOWN ARE FOR RESIDENTIAL STRUCTURES			
	REQUIRED		PROVIDED
	ASSEMBLY MAXIMUM	MIN R VALUE	
<b>ROOFS</b>			
INSULATION ENTIRELY ABOVE DECK	U-0.032	R-30ci	X
METAL BUILDING	U-0.037	R-19+R-11 Ls R-25+R-8 Ls	X
ATTIC AND OTHER	U-0.021	R-49	X
<b>WALLS ABOVE GRADE</b>			
MASS	U-0.090	R-11.4ci	X
METAL BUILDING	U-0.050	R-0+R-19ci	X
STEEL FRAMED	U-0.064	R-13+R-7.5ci	X
WOOD FRAME AND OTHER	U-0.064	R-13+R-3.8ci or R-20	X
<b>WALLS BELOW GRADE</b>			X
BELOW GRADE WALL	C-0.092	R-10ci	X
<b>FLOORS</b>			
MASS	C-0.051	R-16.7ci	X
STEEL JOIST	C-0.038	R-30	X
WOOD FRAMED AND OTHER	C-0.033	R-30	X
<b>SLAB ON GRADE FLOORS</b>			
UNHEATED	F-0.520	R-15 for 24"	X
HEATED	F-0.668	R-20 for 48"	X
<b>OPAQUE DOORS</b>			
SWINGING	U-0.370		X
NON SWINGING	U-0.310		X

VERTICAL FENESTRATIONS	REQUIRED			PROVIDED
	MAX U	MAX SHGC	MIN VT/SHGC	
NON METAL FRAMING - ALL	0.31	0.36	1.10	X
METAL FRAME - FIXED	0.38	0.36	1.10	X
METAL FRAME - OPERABLE	0.46	0.36	1.10	X
METAL FRAME - ENTRANCE DOORS	0.68	0.36	1.10	X
SKYLIGHTS				X
ALL	0.50	0.40	0	X

THE AIR BARRIER SYSTEM IS AN AIR TIGHT BUILDING ENCLOSURE AND IS COMPRISED OF MULTIPLE PRODUCTS THAT FORM A CONTINUOUS PATH THAT CONTROLS INFILTRATION OR EXFILTRATION OF AIR. ADDITIONAL DESCRIPTIONS AND SYSTEM REQUIREMENTS ARE AS FOLLOWS:

1. THE AIR TIGHT COMPONENTS OF THE BUILDING ENCLOSURE AND THE JOINTS, JUNCTURES AND TRANSITIONS BETWEEN MATERIALS, PRODUCTS AND ASSEMBLIES FORMING THE AIR TIGHTNESS OF THE BUILDING ENCLOSURE ARE CALLED THE "AIR BARRIER SYSTEM". SERVICES INCLUDE COORDINATION BETWEEN THE TRADES, THE PROPER SCHEDULING AND SEQUENCING OF THE WORK, AND PRECONSTRUCTION MEETINGS.
2. THE CONTRACTOR MUST ENSURE THAT THE INTENT OF CONSTRUCTING THE BUILDING ENCLOSURE WITH A CONTINUOUS AIR BARRIER SYSTEM TO CONTROL AIR LEAKAGE, "AIR BARRIER SYSTEM". SERVICES INCLUDE COORDINATION BETWEEN THE TRADES, THE PROPER SCHEDULING AND SEQUENCING OF THE WORK, AND PRECONSTRUCTION MEETINGS.
3. THE CONTRACTOR SHALL HAVE THE FOLLOWING CHARACTERISTICS:
  - A. IT MUST BE CONTINUOUS, WITH ALL JOINTS SEALED.
  - B. IT MUST BE STRUCTURALLY SUPPORTED TO WITHSTAND POSITIVE AND NEGATIVE AIR PRESSURES APPLIED TO THE BUILDING ENCLOSURE.
  - C. CONNECTION SHALL BE MADE BETWEEN:
    1. FOUNDATION AND WALLS
    2. WALLS AND WINDOWS/DOORS
    3. DIFFERENT WALL SYSTEMS
    4. WALL AND ATTIC ROOF/CEILING ASSEMBLY
    5. WALLS, FLOORS, AND ROOF AT UTILITY, PIPE AND DUCT PENETRATIONS
3. AIR BARRIER PENETRATIONS: ALL PENETRATIONS OF THE AIR BARRIER AND PATHS OF AIR INFILTRATION/EXFILTRATION SHALL BE SEALED.
4. AIR BARRIER TESTING: (1) AIR BARRIER TEST MUST BE PERFORMED AND SUBMITTED TO THE JURISDICTION HAVING AUTHORITY THAT THE TEST IS COMPLETE; (2) IF TEST RESULTS EXCEED 0.4 CFM/F2 AT 0.3 IN. WG IN ACCORDANCE WITH ASTM E779 THEN VISUALLY INSPECT AIR BARRIER AND SEAL NOTED SOURCES OF LEAKAGE; (3) SUBMIT A FOLLOW-UP REPORT TO JURISDICTION HAVING AUTHORITY NOTING CORRECTIVE MEASURES TAKEN.

	FROM ZONING CODE	
	REQUIRED	PROVIDED
MIN ON SITE PARKING	42 SPACES	44
STANDARD		28
ACCESSIBLE		0
EXISTING		14
MINIMUM BICYCLE PARKING	SEE BELOW	SEE BELOW

FROM ZONING CODE		
# UNITS	REQUIRED ( 1 PER 10 UNITS)	PROVIDED
28	3	TBD

**CODE: 1 PER UNIT X 28 = 28**

1 BEDROOM: IN UNIT STORAGE	= 20
<u>2 BEDROOM: EXTERIOR STORAGE</u>	<u>= 8</u>

**TOTAL SPACES PROVIDED: 28**

FROM ZONING CODE				
ROOM NAME	ROOM NUM	ROOM AREA SF	WALL HUNG COUNT	STAPLE COUNT
XXX	XXX	XXX	XXX	XXX
		SUBTOTAL	XXX	XXX
TOTAL LONG TERM STORAGE			XXXX	

ROOM TYPE	ROOM AREA SF	BIKE HOOK COUNT
XXX	XXX	1 PER ROOM
	SUBTOTAL	XXX
<b>TOTAL LONG TERM STORAGE</b>		<b>XXXX</b>

SEE UNIT PLANS FOR LOCATION AND KEYNOTE.

ZONING CLASSIFICATION: MEDICAL SERVICE (MS)		
BASE ZONE:	MS - MEDICAL SERVICE	
PLAN OVERLAY	MS - MEDICAL SERVICE	
OVERLAY ZONE	DESIGN ZONE - D	
ALLOWED USES	FULL-SERVICE HEALTH CARE FACILITIES, COMPLEMENTARY HEALTH CARE FACILITIES, COMMERCIAL SERVICES FOR MEDICAL USERS AND EMPLOYEES, HIGH DENSITY HOUSING NEAR MEDICAL FACILITIES TO HELP MEET THE NEEDS OF THOSE EMPLOYED THERE.	
STREET CLASSIFICATIONS	LILLY RD NE - MINOR ARTERIAL	
FAR REQUIREMENTS		
MINIMUM FAR	REQUIRED	PROVIDED
MINIMUM DENSITY CHAPTER 18.06, TABLE 6.02	18 UNITS / ACRE	28 TOTAL
MAXIMUM DENSITY CHAPTER 18.06, TABLE 6.02	30 UNITS / ACRE	28 TOTAL
LOT SIZE REQUIREMENTS		
MINIMUM LOT SIZE	7,200 SF	62,292 SF
MAXIMUM LOT COVERAGE CHAPTER 18.06, TABLE 6.02	MAXIMUM - 50%	31,146 SF
MINIMUM LOT WIDTH	80'	100'
MINIMUM LOT DEPTH	NOT REGULATED	600'
SETBACK STANDARD REQUIREMENTS		
FRONT YARD (NORTH)	MINIMUM - 10'-0"	10'-0"
SIDE YARD (EAST)	MINIMUM - 10'-0"	41'-5" - 54'-0"
REAR YARD (SOUTH)	MINIMUM - 15'-0"	95'-3"
SIDE YARD (WEST)	MINIMUM - 10'-0"	15'-0"
OTHER REQUIREMENTS		
MAXIMUM LANDSCAPING AREA	60%	15% - 7,905 SF
PARKING	1.5 SPACES / UNIT	1.25 / UNIT
LONG-TERM BIKE PARKING SHORT-TERM BIKE PARKING	1 SPACE / UNIT 1 SPACE / 10 UNITS	TBD 1 SPACE / UNIT
HEIGHT	75'-0"	27'-8"

BUILDING OWNER:	HOUSING AUTHORITY OF THURSTON COUNTY (HATC)
PERMIT APPLICANT	HATC, MWA ARCHITECTS
PROJECT ADDRESS	206 LILLY RD NE, OLYMPIA, WA 98506
LEGAL DESCRIPTION	XXX
SEISMIC ZONE:	D

- **2015 INTERNATIONAL BUILDING CODE**
- **(IBC BASED ON 2015 IBC, 2015 EXISTING BUILDING CODE, AND 2009 ICC/ANSI A117.1)**
- **2015 INTERNATIONAL RESIDENTIAL CODE (IRC) W STATE AMENDMENTS 2<sup>ND</sup> EDITION**
- **2015 INTERNATIONAL MECHANICAL CODE (IMC) W STATE AMENDMENTS 3<sup>RD</sup> EDITION**
- **2015 INTERNATIONAL FIRE CODE (IFC) W STATE AMENDMENTS**
- **2015 UNIFORM PLUMBING CODE (UPC) W STATE AMENDMENTS**
- **2015 WASHINGTON ENERGY CODE (WAC)**
- **COMMERCIAL - WAC 51-11C 3<sup>RD</sup> ADDITION**
- **RESIDENTIAL - WAC 51-11C 4<sup>TH</sup> PRINTING**

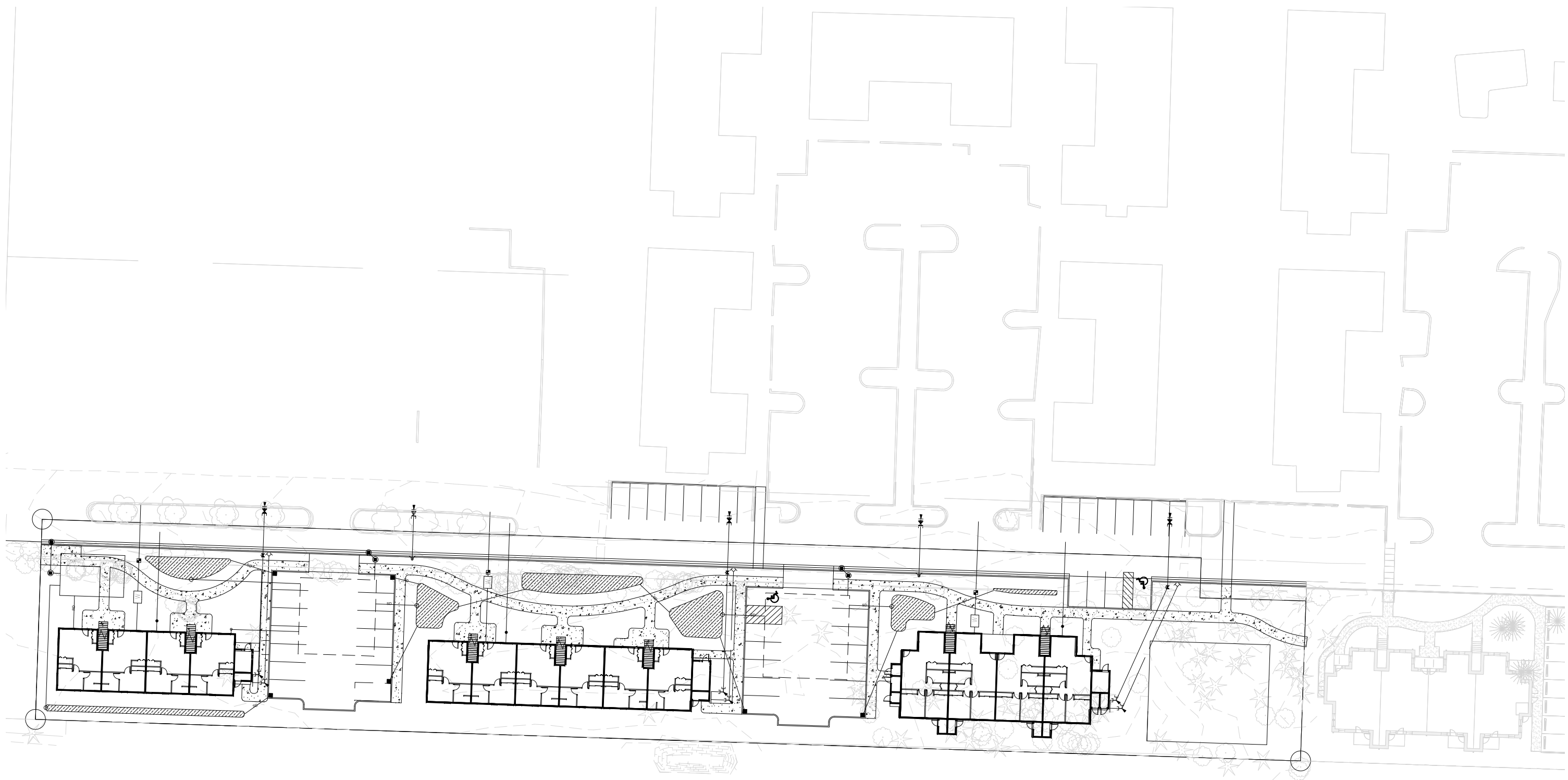
3) TWO-STORY APARTMENT BUILDINGS WITH (20) 1 BEDROOM AND (8) 2 BEDROOM UNITS FOR (28) UNITS TOTAL.

BUILDING SIZE:                BUILDING 1: 2,632 SF  
                                      BUILDING 2: 3,925 SF  
                                      BUILDING 3: 3,958 SF

BUILDING USE:                MULTI-FAMILY RESIDENTIAL HOUSING

BUILDING ADJACENCIES: MEDICAL OFFICES AND OLYMPIA CREST PHASES I & II

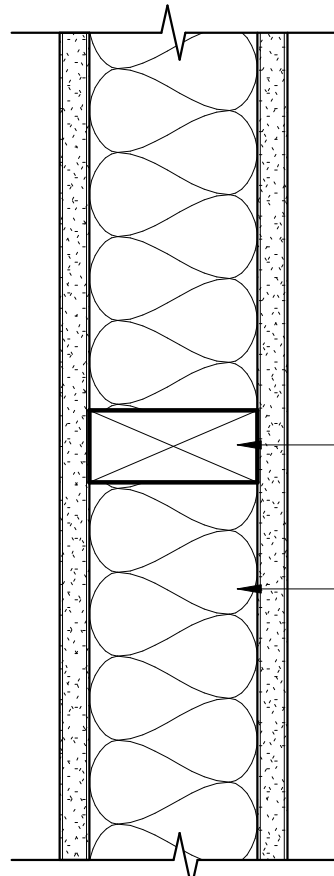
THE UNDERSIGNED HAS PROVIDED BUILDING ENCLOSURE DOCUMENTS THAT IN MY PROFESSIONAL JUDGEMENT ARE APPROPRIATE TO SATISFY THE REQUIREMENTS OF RCW 64.55.005 THROUGH 64.55.090 AND SECTIONS 1 THROUGH 10 OF HB1848 .





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PLAN



ONE HOUR RATED PER:  
GA FILE NO. WP 3614  
FIRE TEST: SWRI 01-4511-619[1],  
3-94

ONE LAYER 5/8" TYP 'X' GYPSUM  
WALLBOARD APPLIED PARALLEL  
OR AT RIGHT ANGLES TO EACH  
SIDE OF WOOD STUDS AT 16"  
O.C. WITH 1 1/4" TYPE 'W'  
DRYWALL SCREWS 12" O.C.

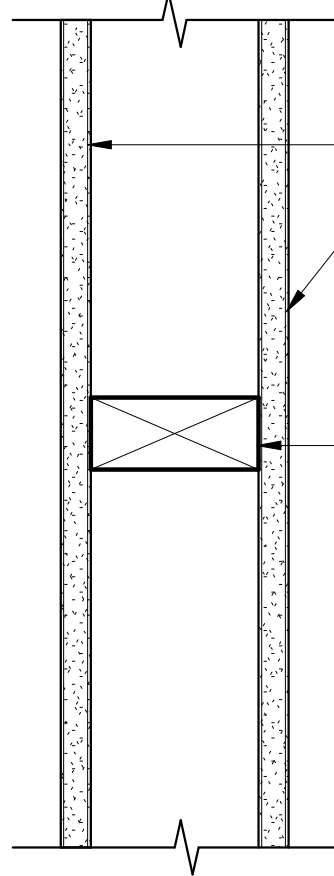
JOINTS STAGGERED 16" ON  
OPPOSITE SIDES (LOAD  
BEARING)

2x4 FRAMING  
2x6 AT SIM

BLOWN-IN INSULATION BETWEEN  
STUDS, TYP.

D 1HR INTERIOR WALL

PLAN



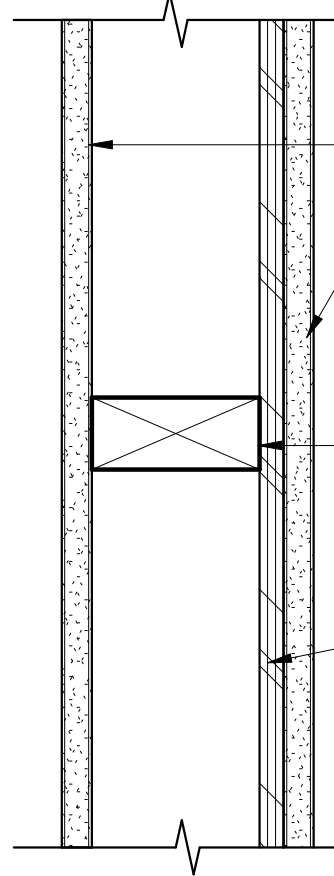
(1) LAYER 5/8" GYPSUM BOARD

2x4 FRAMING PER STRUCTURAL

PROVIDE MOLD-RESISTANT GYPSUM  
BOARD WHERE OCCURS PER  
SPECIFICATIONS

C TYP. PLUMBING WALL

PLAN



(1) LAYER 5/8" GYPSUM BOARD

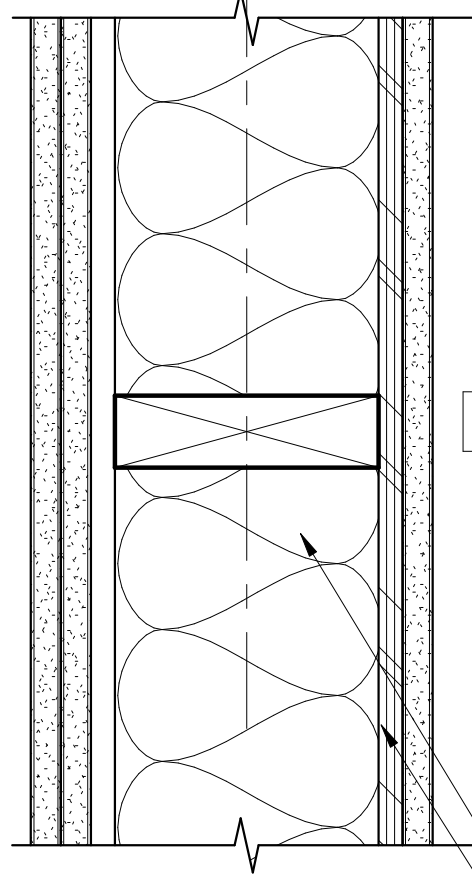
2x4 FRAMING PER STRUCTURAL

1/2" PLYWOOD SHEATHING  
WHERE OCCURS, SEE STR

PROVIDE MOLD-RESISTANT GYPSUM  
BOARD WHERE OCCURS PER  
SPECIFICATIONS

B TYP. INTERIOR WALL

PLAN



ONE HOUR FIRE RATING PER:  
GA FILE NO. WP 3244 FIRE TEST: UL R14196,  
05NKO5371,  
2-15-05, UL DESIGN U305  
SOUND TEST: NRCC TL-93-118  
STC = 50-55 : WEAL TL07-744

RESILIENT CHANNELS 24" o.c. ATTACHED  
AT RIGHT ANGLES TO ONE SIDE OF 2x6  
WOOD STUDS 16" o.c. W/ 1 1/4" TYPE S  
DRYWALL SCREWS. (ATTACH RESILIENT  
CHANNELS AT 16" OC IF STUDS ARE 24"  
OC)  
BASE LAYER 5/8" TYPE 'X' GYPSUM  
WALLBOARD APPLIED AT RIGHT ANGLES  
TO CHANNELS WITH 1" TYPE S DRYWALL  
SCREWS 8" o.c. W/ VERTICAL JOINTS  
LOCATED MIDWAY BETWEEN STUDS. FACE  
LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD  
APPLIED AT RIGHT ANGLES TO CHANNELS  
W/ 1 5/8" TYPE S DRYWALL SCREWS 8" o.c.  
FACE LAYER JOINTS 16" FROM BASE LAYER  
JOINTS. 3" MINERAL OR GLASS FIBER  
INSULATION IN STUD SPACE.

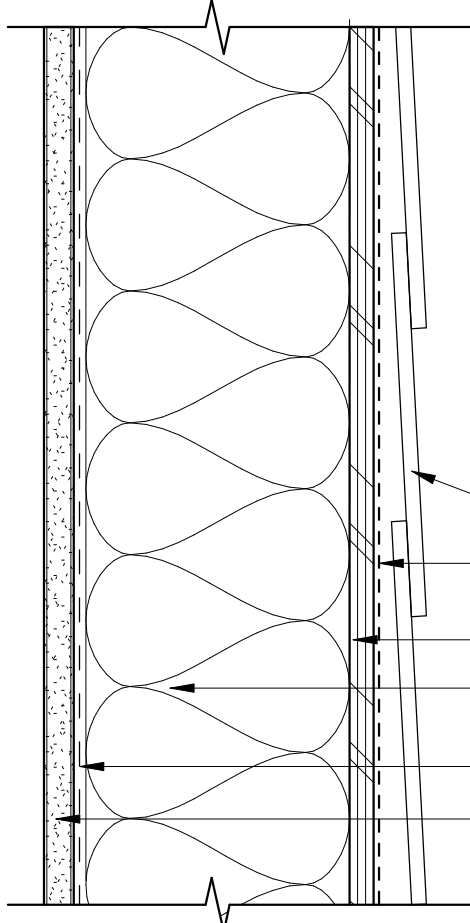
OPPOSITE SIDE: ONE LAYER 5/8" TYPE 'X'  
GYPSUM WALL BOARD BASE APPLIED  
PARALLEL OR AT RIGHT ANGLES TO STUDS  
WITH 6d CEMENT COATED NAILS, 1 7/8"  
LONG, 0.0915" SHANK, 15/64" HEADS, 7" O.C.

VERTICAL JOINTS STAGGERED 16" ON  
OPPOSITE SIDES. (LOAD-BEARING)

BLOWN-IN INSULATION  
PLYWOOD SHEATHING, SEE STR

A TYP. PARTY WALL

GRID

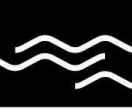


ONE HOUR RATED FROM THE INSIDE  
PER IBC ITEM 16-1.3: TABLE 721.1(2)

2x6 WOOD STUDS AT 16" CENTERS  
WITH DOUBLE TOP PLATES, SINGLE  
BOTTOM PLATES; INTERIOR SIDE  
COVERED WITH 5/8" TYPE 'X' GYPSUM  
WALLBOARD, APPLIED VERTICALLY  
WITH ALL JOINTS OVER FRAMING OR  
BLOCKING AND FASTENED WITH 2 1/4"  
TYPE S DRYWALL SCREWS SPACED 7"  
ON CENTER. JOINTS TO BE COVERED  
WITH TAPE AND JOINT COMPOUND.  
EXTERIOR COVERED WITH WOOD  
STRUCTURAL PANELS (PER  
STRUCTURAL), APPLIED VERTICALLY  
WITH EDGES OVER FRAMING OR  
BLOCKING AND FASTENED WITH 6d  
COMMON NAILS (BRIGHT) AT 12" ON  
CENTER IN THE FIELD AND 6" ON  
CENTER ON PANEL EDGES.

FIBER CEMENT PLANK SIDING  
WEATHER BARRIER/AIR BARRIER  
PLYWOOD SHEATHING PER STRUCTURAL  
R-23 GLASS-FIBER LOOSE-FILL INSULATION  
VAPOR RETARDER MEMBRANE  
(1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD  
(2) LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD  
AT SIM

E EXTERIOR WALL - FIBER CEMENT SIDING



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PRELIMINARY



REVISION NO DATE

OC-III  
APARTMENTS

206 LILLY RD NE  
OLYMPIA, WA  
95806

ISSUANCE  
SCHEMATIC DESIGN

DATE  
10/14/2020

SCALE  
3" = 1'-0"

PROJECT NUMBER  
202010.00

DRAWN BY  
OS

DRAWING TITLE

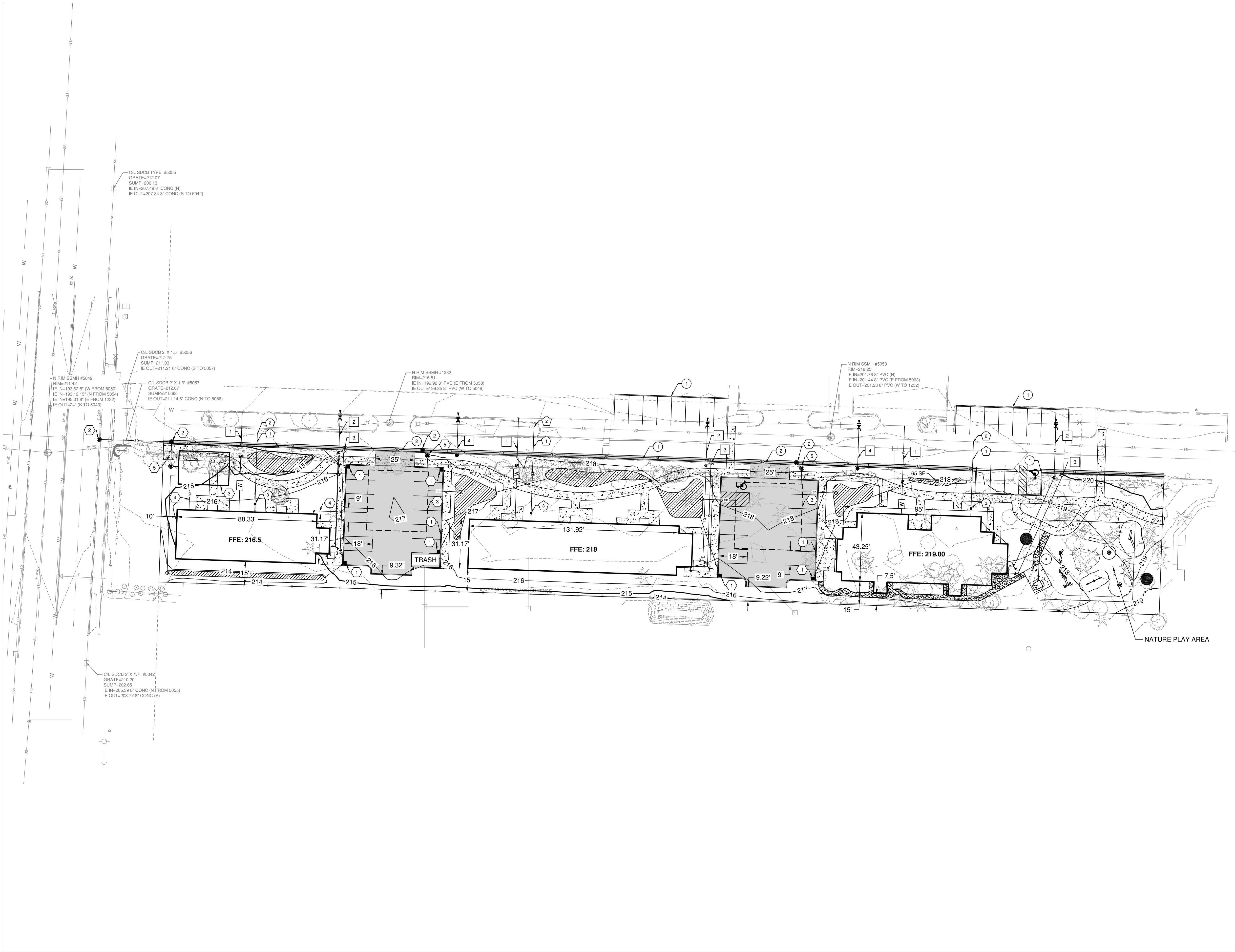
ASSEMBLIES

SHEET NUMBER

G3.00

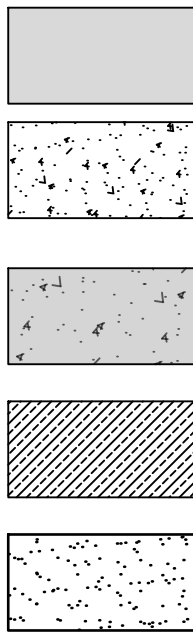


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Scale: (in Feet)

**LEGEND:**



- ASPHALT PAVEMENT
- SIDEWALK
- DRIVEWAY
- BIORETENTION
- DECOMPOSED GRANITE PATHWAY
- WATERLINE
- FIRE SUPPRESSION LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- PROPOSED CONTOUR
- WATER METER
- THRUST BLOCK
- HOT TAP
- HYDRANT
- POST INDICATOR VALVE
- DOUBLE CHECK VALVE
- FIRE DEPARTMENT CONNECTION
- SANITARY SEWER CLEANOUT

**SITE CONSTRUCTION NOTES:**

- 6-IN CURB
- DEPRESSED CURB FOR DRIVEWAY

**SEWER CONSTRUCTION NOTES:**

- INSTALL 6-IN SANITARY SEWER SERVICE LATERAL
- CONNECT SEWER LATERAL TO EXISTING SANITARY SEWER PIPE
- INSTALL 6-IN SANITARY SEWER CLEANOUT

**STORM DRAINAGE CONSTRUCTION NOTES:**

- INSTALL TYPE 1 CATCH BASIN
- INSTALL TYPE 2 MANHOLE
- UNDERGROUND DETENTION/INFILTRATION FACILITY
- INSTALL ROOF DOWNSPOUTS AND CONNECT TO UNDERGROUND DETENTION/INFILTRATION FACILITY
- INSTALL FLOW CONTROL MANHOLE

**WATER CONSTRUCTION NOTES:**

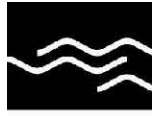
- DOMESTIC WATERLINE WITH METER AND DCVA
- FIRE SUPPRESSION LINE WITH GATE VALVE, DCDA, AND PIV
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT WITH GATE VALVE

**GENERAL SITE NOTES:**

- WITHIN ALL AREAS THAT HAVE BEEN SUBJECT TO CLEARING AND GRADING, ALL GRASS AND LANDSCAPED AREAS SHALL HAVE A MINIMUM 8-INCH SETTLED TOPSOIL LAYER PRIOR TO SEEDING AND PLANTING THAT MEETS THE CRITERIA PER BMP 15.13 IN THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, VOL. V.

**GENERAL DRAINAGE NOTES:**

- PIPING FOR DOWNSPOUTS SHALL BE A MIN. 6-IN DIA AT A MIN 1% SLOPE AND CONNECTED AT THE BLDG W/ REDUCER. DOWNSPOUTS SHALL OUTLET TO PERFORATED STUB OUT CONNECTION.
- CONTRACTOR TO POTHOLE AND VERIFY EXISTING UTILITIES PRIOR TO PROPOSED CONNECTIONS



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SCHEMATIC DESIGN

DATE  
10/14/2020

SCALE  
12" = 1'-0"

PROJECT NUMBER  
202010.00

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Author

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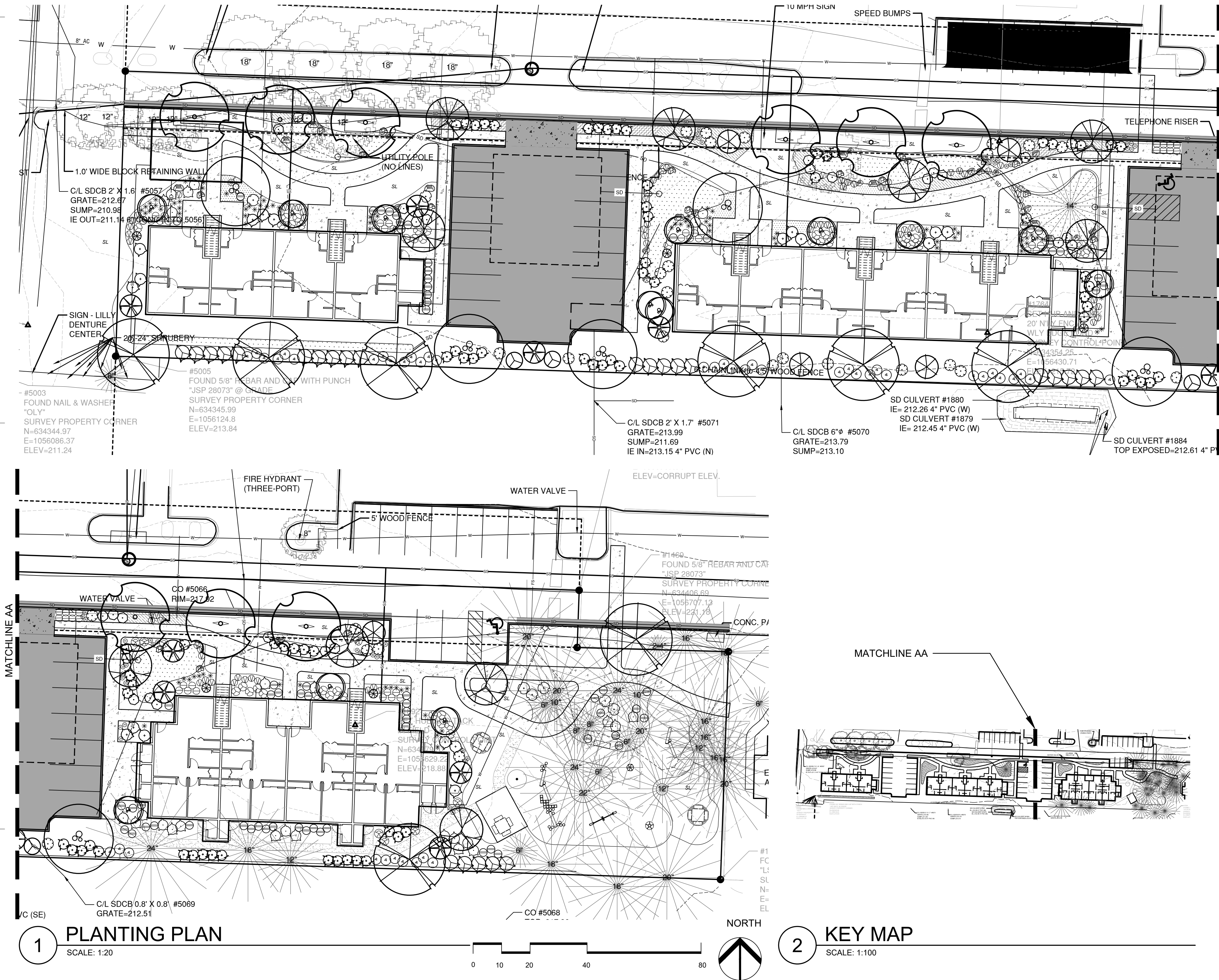
SITE PLAN

SHEET NUMBER

C1.00



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## PLANT LEGEND

TREES			
	<i>ACER PALMATUM</i> 'SANGO KAKU'	xx	2" CAL. B&B SPECIMEN
	Sango Kaku Japanese Maple		
	<i>ACER RUBRUM</i> 'SCARSEN'	9	2" CAL. B&B,
	Scarlet Sentinel Maple		
	<i>CALOCEDRUS DECURRENS</i>	4	8-10' HT. B&B
	Incense Cedar		
	<i>CERCIDIPHYLLUM JAPONICUM</i>	6	10-12' HT. 3 TRUNK MIN.
	Katsura		
	<i>CHAMACYPARIS NOOTKATENSIS</i>	9	8-9' HT. B&B
	Alaska Cedar		
	<i>CHAMACYPARIS OBTUSA</i> 'GRACILIS'	5	5-6' HT. B&B
	Slender Hinoki Cypress		
	<i>CORNUS KOUSA</i> x <i>NUTALLII</i> 'KN4-43' PP16293	10	2" CAL. B&B
	Starlight Dogwood		
	<i>CUPRESSUS SEMPERVIRENS</i> 'GLAUCA'	xx	5'-6" HT. B&B
	Blue Italian Cypress		
	<i>GINGKO BILOBA</i> 'MAGYAR'	xx	2" CAL. B&B
	Magyar Ginkgo		
	<i>NYSSA SYLVATICA</i> 'WILDFIRE'	8	2" CAL. B&B
	Wildfire Tupelo		
	<i>THUJA PLICATA</i>	5	8-9' HT. B&B
	Western Red Cedar		
DECIDUOUS SHRUBS			
	<i>ACER CIRCINATUM</i>	13	7-8' HT. 3 TRUNK MIN.
	Vine Maple		
	<i>CORNUS SERICEA</i> 'KELSEY'	72	2 GAL. CONTAINER
	Kelsey Red Osier Dogwood		
	<i>PHYSOCARPUS OPULIFOLIUS</i> 'SEAWARD'	29	5 GAL. CONTAINER
	Summer Wine® Ninebark		
	<i>RIBES S.</i> 'KING EDWARD VII'	24	5 GAL. CONTAINER
	King Edward VII Flowering Currant		
	<i>SPIRAEA</i> x <i>BUMALDA</i> 'GOLDFLAME'	7	3 GAL. CONTAINER
	Goldflame Bumald Spirea		
	<i>VACCINIUM OVATUM</i>	27	5 GAL. CONTAINER
	Evergreen Huckleberry		
EVERGREEN SHRUBS			
	<i>GAULTHERIA SHALLON</i>	45	5 GAL. CONTAINER
	Salal		
	<i>LONICERA PILEATA</i>	46	2 GAL. CONTAINER
	Privet Honeysuckle		
	<i>MAHONIA AQUIFOLIUM</i>	75	5 GAL. CONTAINER
	Tall Oregon Grape		
	<i>MYRICA CALIFORNICA</i>	25	7 GAL. CONTAINER
	California Wax Myrtle		
	<i>PIERIS JAPONICA</i> 'MT. FIRE'	18	24-30" CONTAINER
	Mountain Fire Andromeda		
	<i>RHODODENDRON</i> 'ELIZABETH'	42	21-24" CONTAINER
	Elizabeth Rhododendron		
	<i>RHODODENDRON MACROPHYLLUM</i>	7	5 GAL. CONTAINER
	Pacific Rhododendron		
GROUND COVERS & FERN			
	<i>ARCHTOSTAPHYLOS UVA URSI</i>	xx	1 GAL. 18" O.C.
	Kinnickinnick		
	<i>CAREX MORROWII</i> 'AUREA VARIEGATA'	85	2 GAL. CONTAINER
	Variegata Sedge		
	<i>FRAGERIA CHILOENSIS</i>	xx	1 GAL. 18" o.c.
	Coast Strawberry		
	<i>HEMEROCALIS</i> 'STELLA D ORRO'	19	1 GAL. CONTAINER
	Day Lily		
	<i>MAHONIA AQUIFOLIUM</i> 'COMPACTA'	xx	2 GAL. 18" O.C.
	Compact Oregon Grape		
	<i>OPHIPOGON PLANISCAPUS</i>	xx	1 GAL. 12" O.C.
	Green Mondo Grass		
	<i>POLYSTICHUM MUNITUM</i>	71	2 GAL. CONTAINER
	Western Sword Fern		
	<i>RUDBECKI FULGIDA</i> 'SULLIVANTII'	26	1 GAL. CONTAINER
	Goldstrum		
	<i>STORMWATER PLANTING</i>		
SEED MIXES			
	SL	Rough and Ready seeded lawn	est.

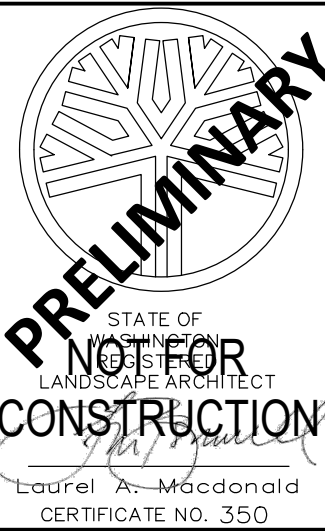
## NOTES

- SOUTHERN PROPERTY LINE STILL NEEDS TO BE PLANTED.
- ALL GROUND-COVERS HAVE NOT BEEN INCLUDED IN THIS PLAN AND STILL NEED TO BE ADDED.
- BOULDERS HAVE BEEN ADDED TO PLAN BUT HAVE NOT BEEN SCALED TO DESIRED SIZE EXPECT LARGER BOULDERS THEN DEPICTED AND POSSIBLE INCREASES IN QUANTITY.
- NATURE PLAYGROUND ELEMENTS SHALL BE BY TIMBERFORM AND WHAT IS SHOWN ARE PLACEHOLDERS .



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L3.01



1 CHOSEN SITE FURNITURE



PARKWAY BENCH (WOOD SLATS) - TIMBERFORM



PICNIC TABLE WITH SEATS (WOOD SLATS) - TIMBERFORM



PARKWAY PICNIC TABLE (WOOD SLATS) - TIMBERFORM



ARBOR PICNIC TABLE (WOOD SLATS) - TIMBERFORM

2 SITE FEATURES CHARACTER IMAGES



CHARACTER IMAGE OF SHADE STRUCTURE



CHARACTER IMAGE OF SHADE STRUCTURE



USE SAME TRENCH GRATE DETAIL FOR SWALES



SWALE DESIGN SIMILAR TO OC II

3 NATURE PLAY CHARACTER IMAGES



CHOSEN ALTERNATIVE 4' DROP EMBANKMENT SLIDE- TIMBERFORM



CHOSEN ALTERNATIVE FULL ROUND STEPPERS- TIMBERFORM

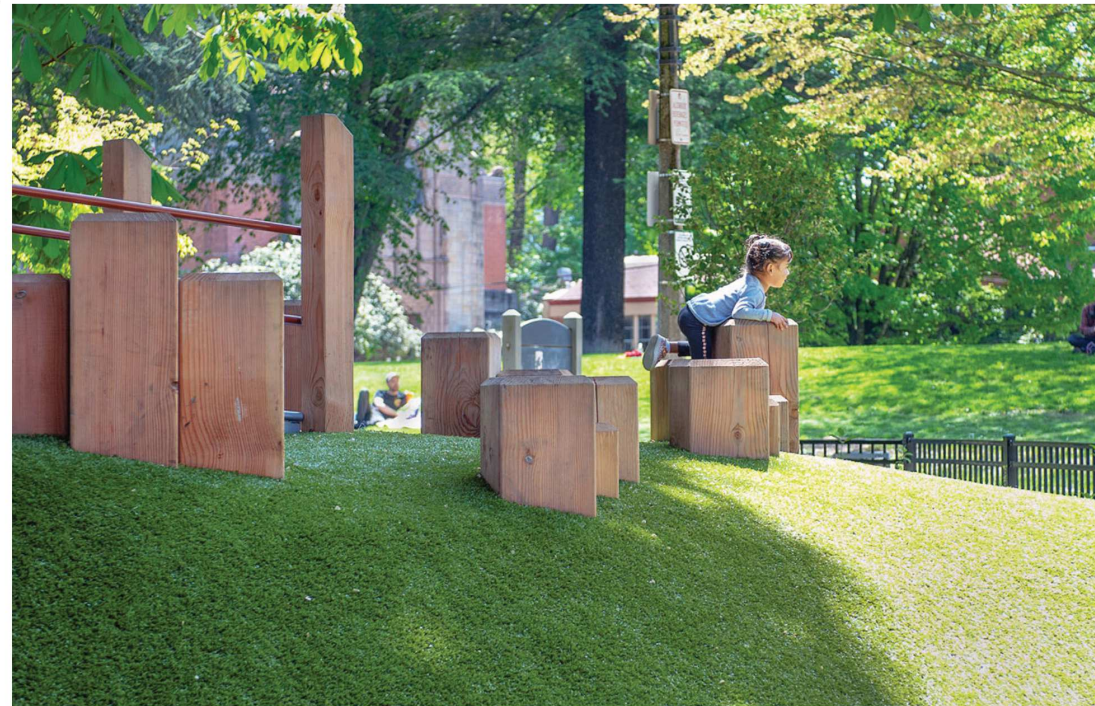


CHARACTER IMAGE



CHARACTER IMAGE

4 PLAYGROUND CHARACTER IMAGES



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FURNITURE  
AND NATURE  
PLAY

SHEET NUMBER

L4.01



1 TREES



SANGU KAKU JAPANESE MAPLE



SCARLET SENTINEL MAPLE



INCENSE CEDAR



KATSURA TREE



ALASKA CEDAR



SLENDER HINOKI CYPRESS



STARLIGHT DOGWOOD



BLUE ITALIAN CYPRESS



GOLDEN COLONNADE GINKGO



WILDFIRE TUPELO



WSTERN RED CEDAR

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**PLANT  
PALETTE**

SHEET NUMBER

**L4.02**



1 DECIDUOUS SHRUBS



VINE MAPLE



KELSEY RED TWIG DOGWOOD



SUMMER WINE NINEBARK



RED FLOWERING CURRENT



GOLD FLAME SPIRAEA

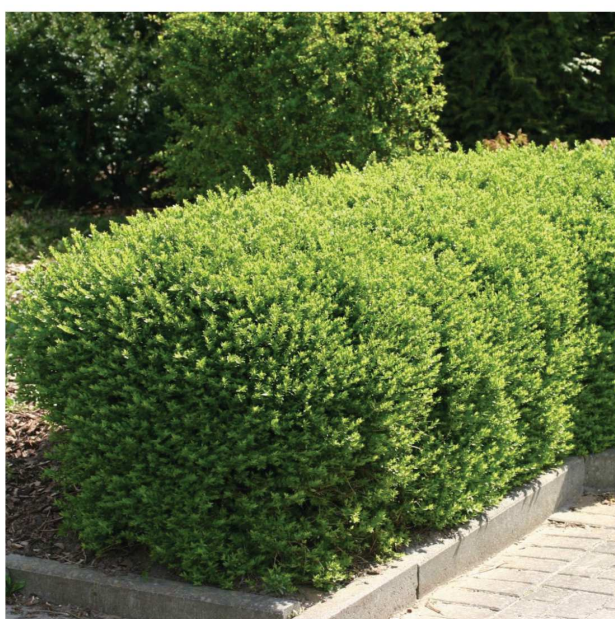


EVERGREEN HUCKLEBERRY

2 EVERGREEN SHRUBS



SALAL



PRIVET HONEYSUCKLE



TALL OREGON GRAPE



CALIFORNIA WAX MYRTLE



MOUNTAIN FIRE ANDROMEDIA



ELIZABETH RHODODENDRON



MACROPHYLLUM RHODODENDRON

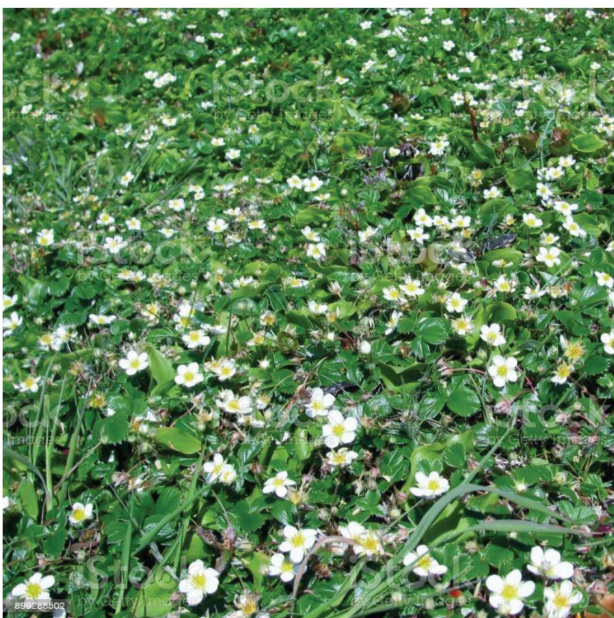
3 GROUND COVERS AND PERENNIALS



KINNIKINNICK



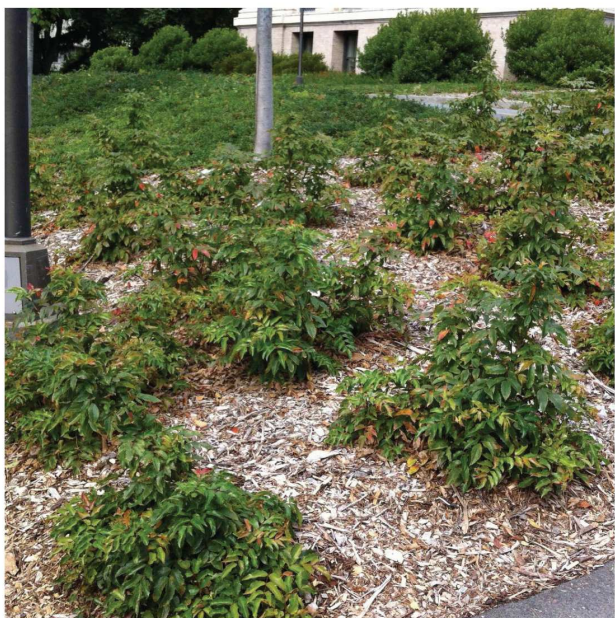
VARIEGATA SEDGE



COAST STRAWBERRY



DAY LILLY



CREeping OREGON GRAPE



GREEN MONDO GRASS



WESTERN SWORD FERN



EARLY BIRD GOLD BLACK-EYED SUSAN

4 SEEDED LAWN



ROUGH AND READY SEEDED TURF

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PLANT  
PALETTE

SHEET NUMBER

L4.03

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SHEET GENERAL NOTES

1. PROPERTY LINE BASED ON SURVEY PROVIDED BY OWNER.
2. SEE CIVIL DRAWINGS FOR UTILITY EASEMENT, SITE DIMENSIONS AT PARKING, SITE UTILITIES, GRADING, EROSION CONTROL, BUILDING PAD ELEVATIONS, AND RELATED DETAILS.
3. SEE LANDSCAPE DRAWINGS FOR HARDSCAPE DIMENSIONS, PLANTING, AND IRRIGATION INFORMATION.
4. SEE CIVIL DRAWINGS FOR ACCESSIBILITY SITE RELATED DETAILS.
5. SITE LIGHTING AND SERVICE DISTRIBUTION TO BE BIDDER DESIGNED.
6. SEE CIVIL DRAWINGS FOR FIRE HYDRANT AND FDC LOCATIONS.
7. DIMENSIONS AT BUILDINGS ARE TO FACE OF STUD.

KEYNOTES

- 1 NATURE PLAY AREA, SEE LANDSCAPE
- 2 MAILBOXES AND RECYCLING
- 3 SHARED LAUNDRY
- 4 SCHOOL BUS WAITING ZONE
- 5 PROVIDE ELECTRIC VEHICLE CHARGING INFRASTRUCTURE
- 6 PROVIDE COVERED AREA FOR SHORT-TERM BIKE PARKING
- 7 GRASS PLANTING AND GRADING WORK TO BE PROVIDED IN THIS AREA SEE LANDSCAPE

LEGEND

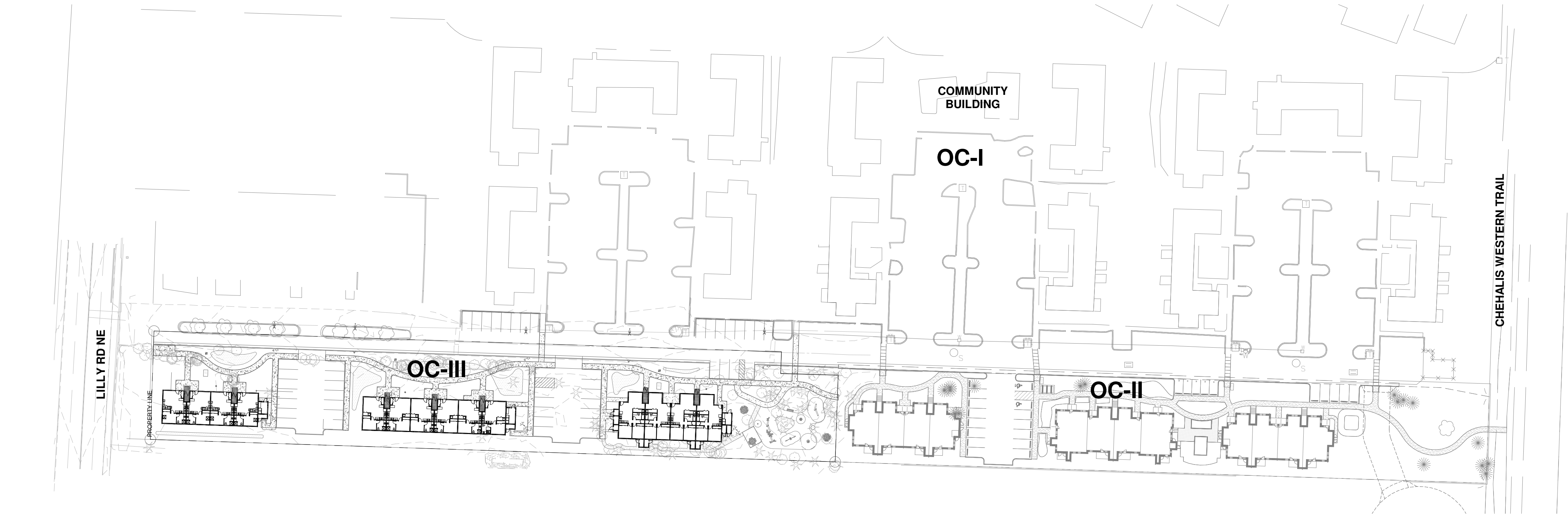
- PROPERTY LINE
- ① KEYNOTE
- ♿ LOCATION OF ACCESSIBLE PARKING SPACE/UNIT
- ▶ MAIN BUILDING ENTRY
- FR FIRE RISER ROOM
- T TRASH LOCATION

OC-III  
APARTMENTS

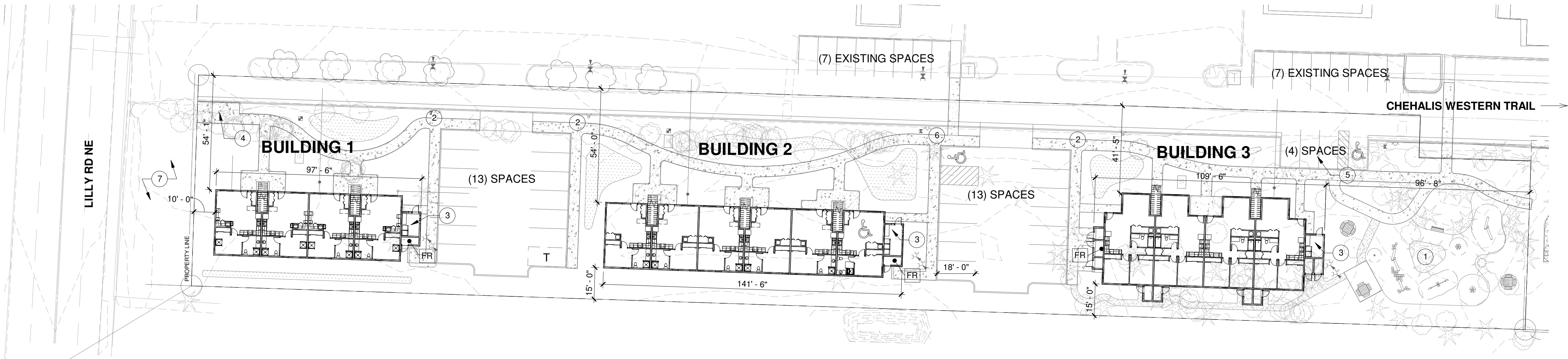
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SITE PLAN

SHEET NUMBER  
A1.00



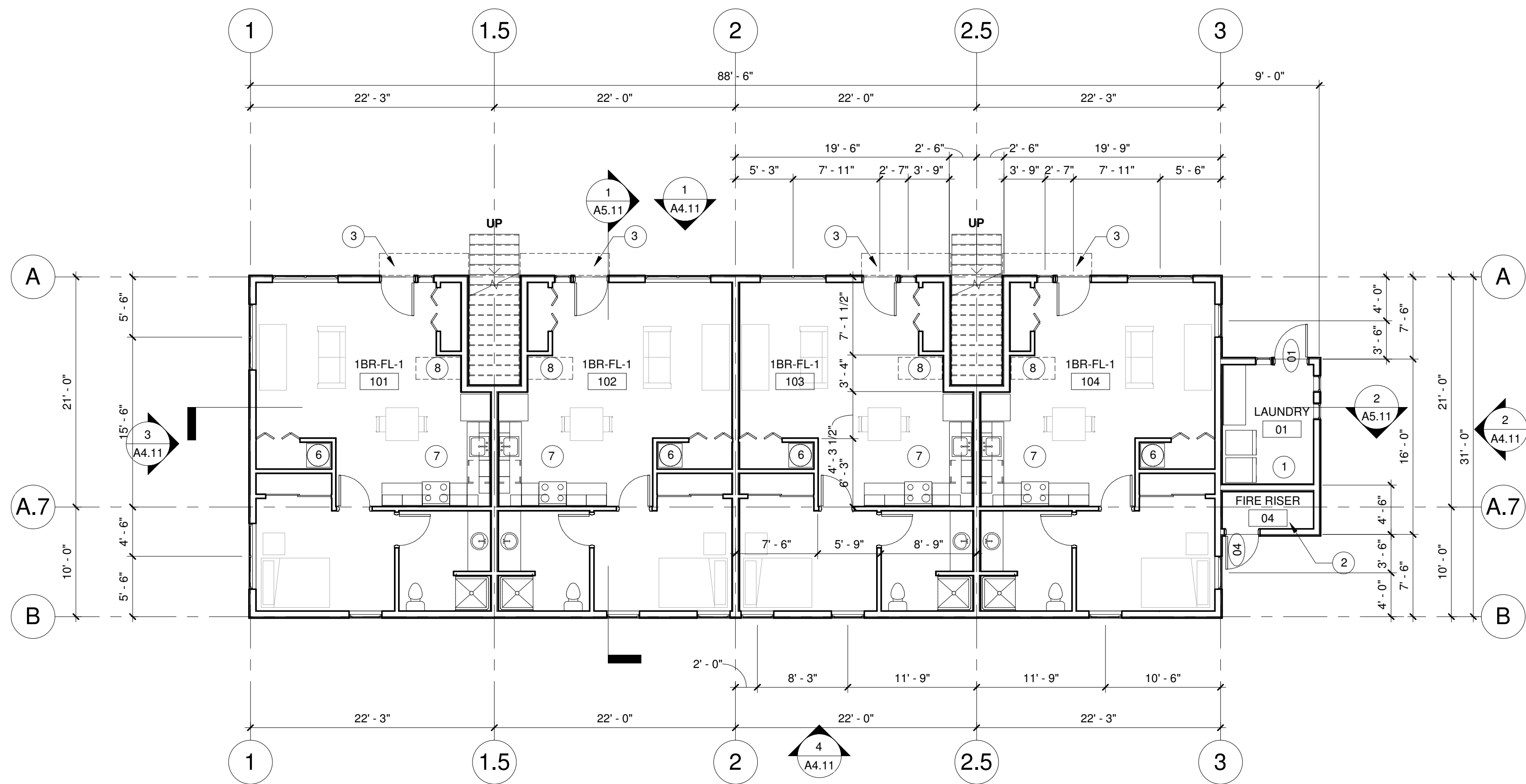
1 OVERALL SITE PLAN  
SCALE: 1" = 60'-0"



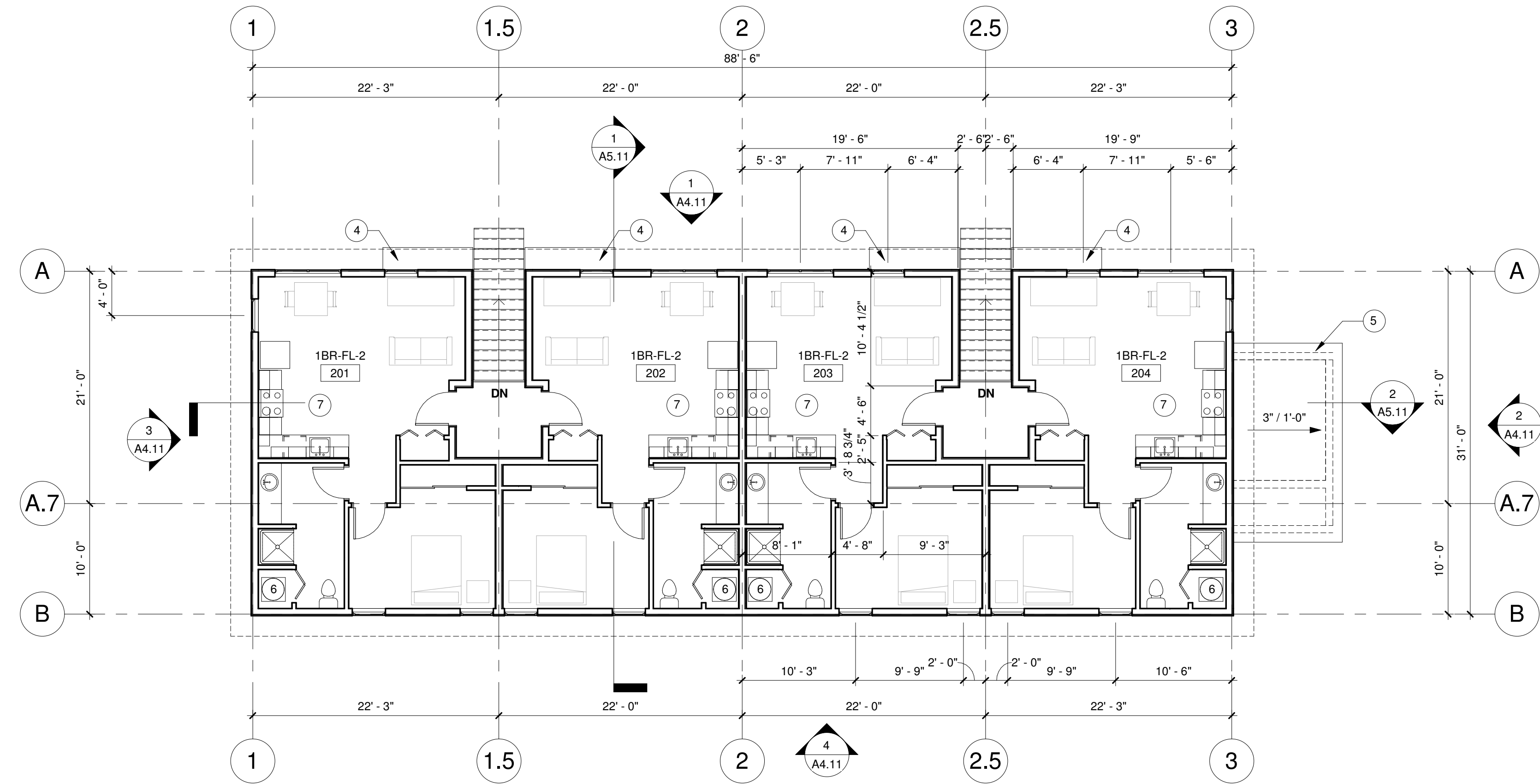
2 SITE PLAN  
SCALE: 1" = 30'-0"



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1 GROUND  
SCALE: 1/8" = 1'-0"



2 SECOND  
SCALE: 1/8" = 1'-0"

## SHEET GENERAL NOTES

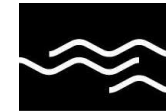
- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE UNIT PLANS FOR ADDITIONAL WALL TYPE AND DIMENSION INFORMATION.
- SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
- MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OR RATED WALL AND FLOOR/CEILING ASSEMBLIES.
- SEE CODE PLANS FOR LOCATION OF FIRE RATED WALLS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

## KEYNOTES

- SHARED LAUNDRY ROOM
- FIRE RISER ROOM
- LINE OF CANOPY ABOVE
- STEEL CANOPY BELOW
- LINE OF WALL BELOW
- WATER HEATER
- OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- BIKE STORAGE

## LEGEND

- 1 KEYNOTE



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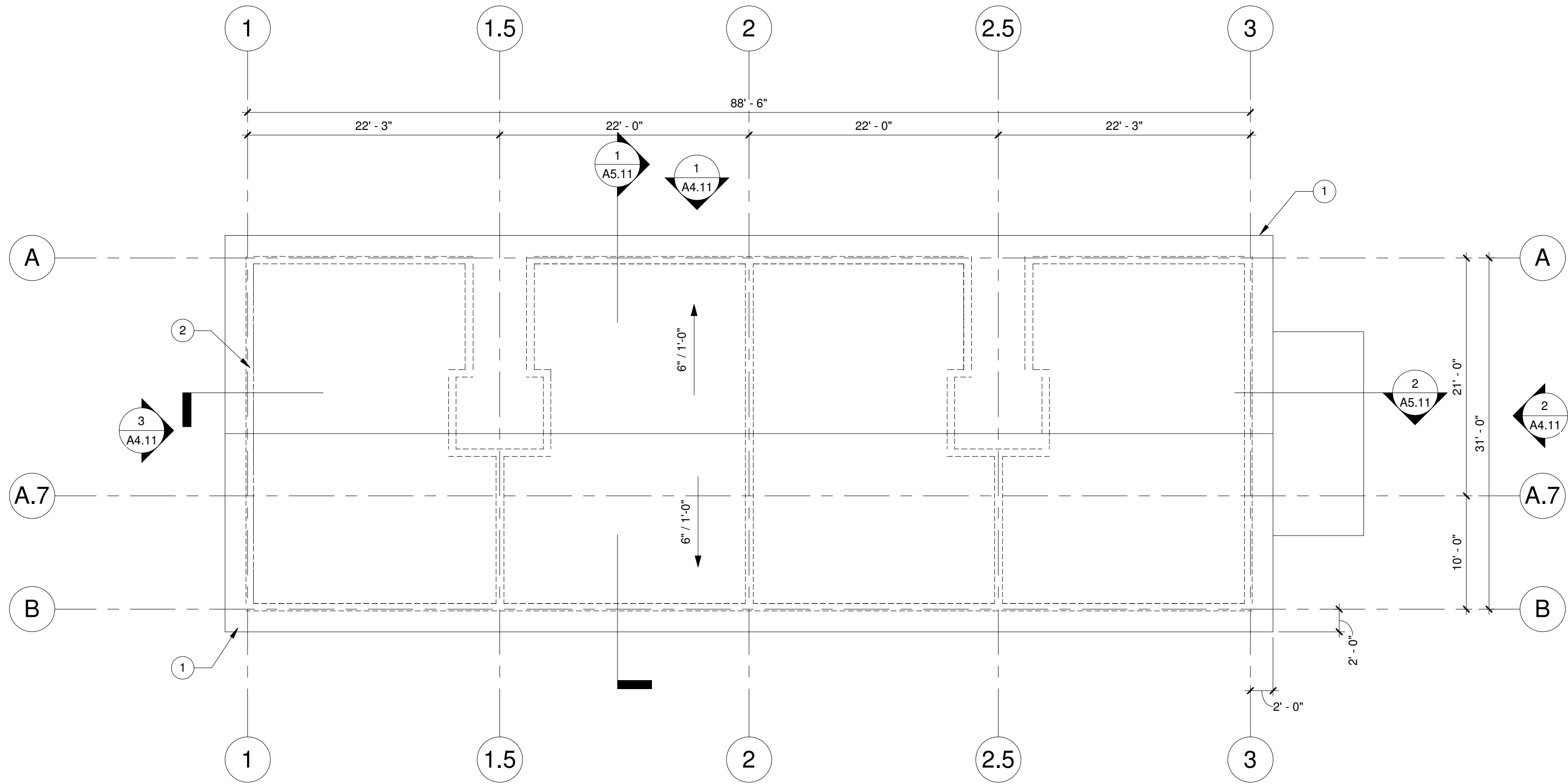
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BUILDING 1  
GROUND/SECOND  
FLOOR PLANS

SHEET NUMBER

A2.11

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1 ROOF  
SCALE: 1/8" = 1'-0"



SHEET GENERAL NOTES

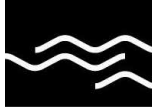
1. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
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5. SEE CODE PLANS FOR LOCATION OF FIRE RATED WALLS.
6. NOT ALL KEYNOTES OR LEGEND SYMBOLS ARE USED ON EVERY SHEET.

KEYNOTES

- 1 GUTTER AND DOWNSPOUT
- 2 LINE OF WALL BELOW

LEGEND

- 1 KEYNOTE



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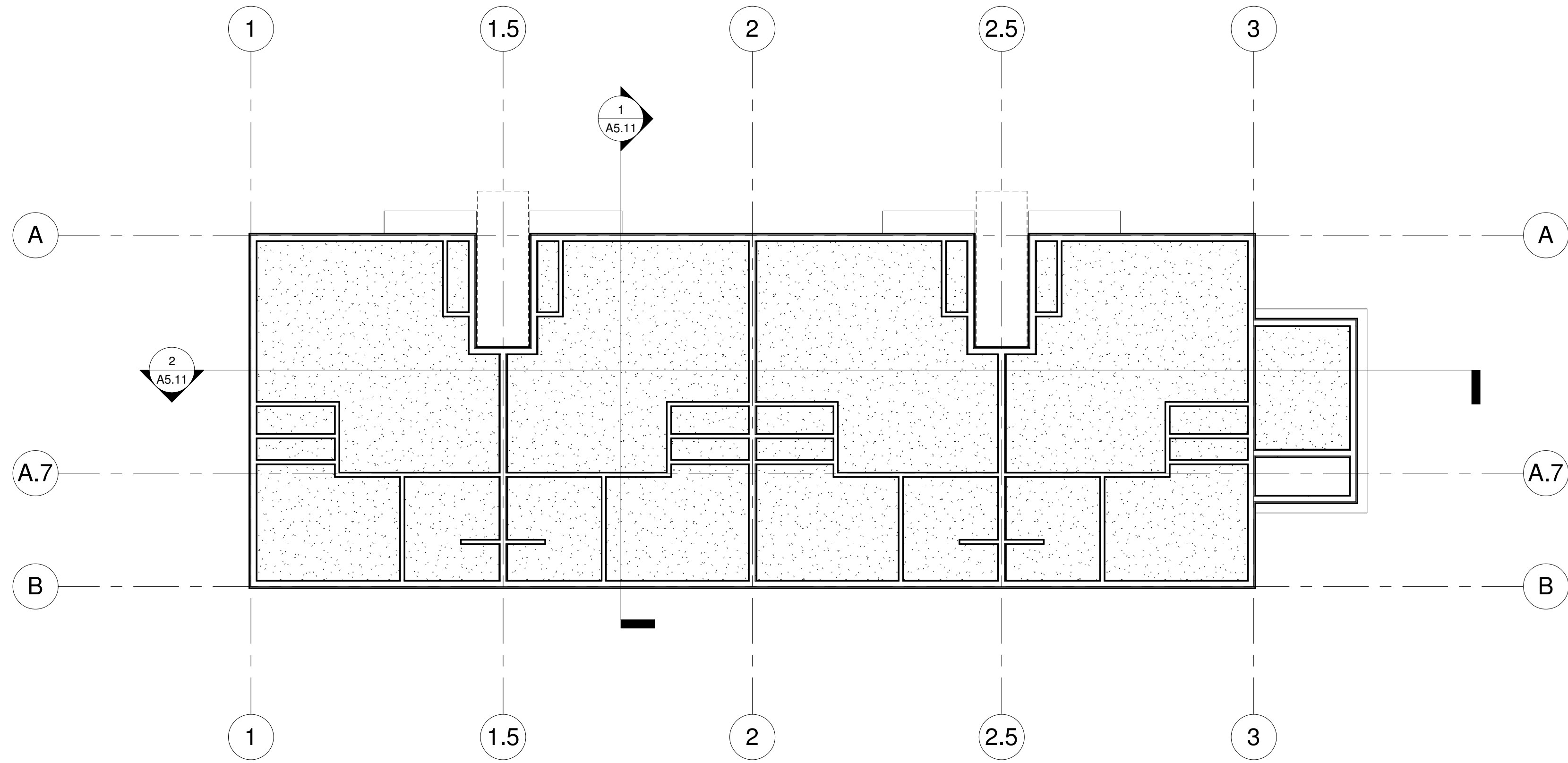
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BUILDING 1  
ROOF PLAN

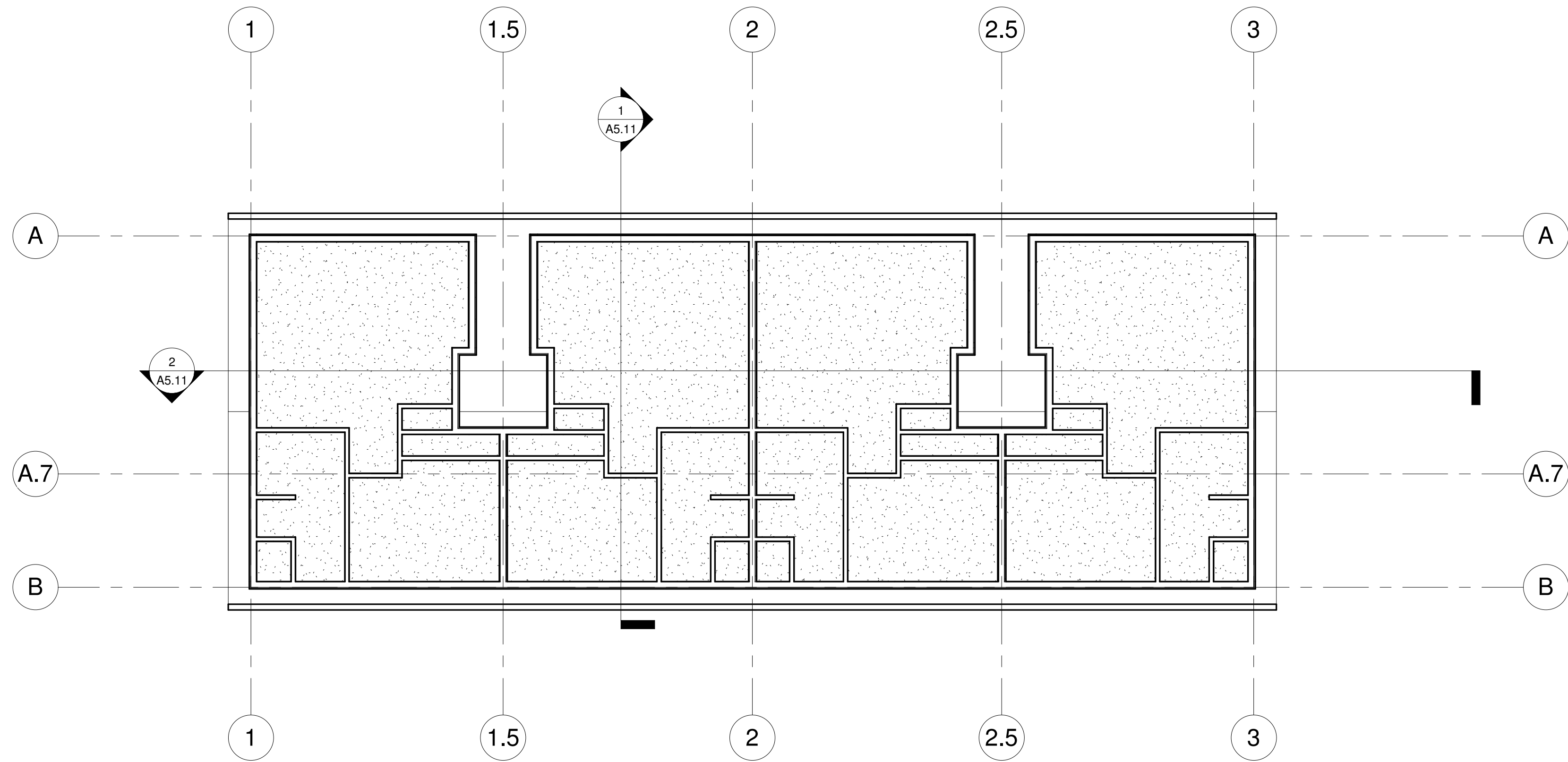
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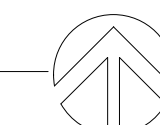
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**1** GROUND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"



**2** SECOND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"



## SHEET GENERAL NOTES

- NOTE

## KEYNOTES

## LEGEND

- 1 KEYNOTE



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BUILDING 1  
REFLECTED  
CEILING PLAN

SHEET NUMBER

**A2.15**



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SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
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- SEE CODE PLANS FOR LOCATION OF FIRE RATED WALLS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- SHARED LAUNDRY ROOM
- FIRE RISER ROOM
- LINE OF CANOPY ABOVE
- STEEL CANOPY BELOW
- LINE OF WALL BELOW
- WATER HEATER
- OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- BIKE STORAGE

LEGEND

- ① KEYNOTE

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BUILDING 2

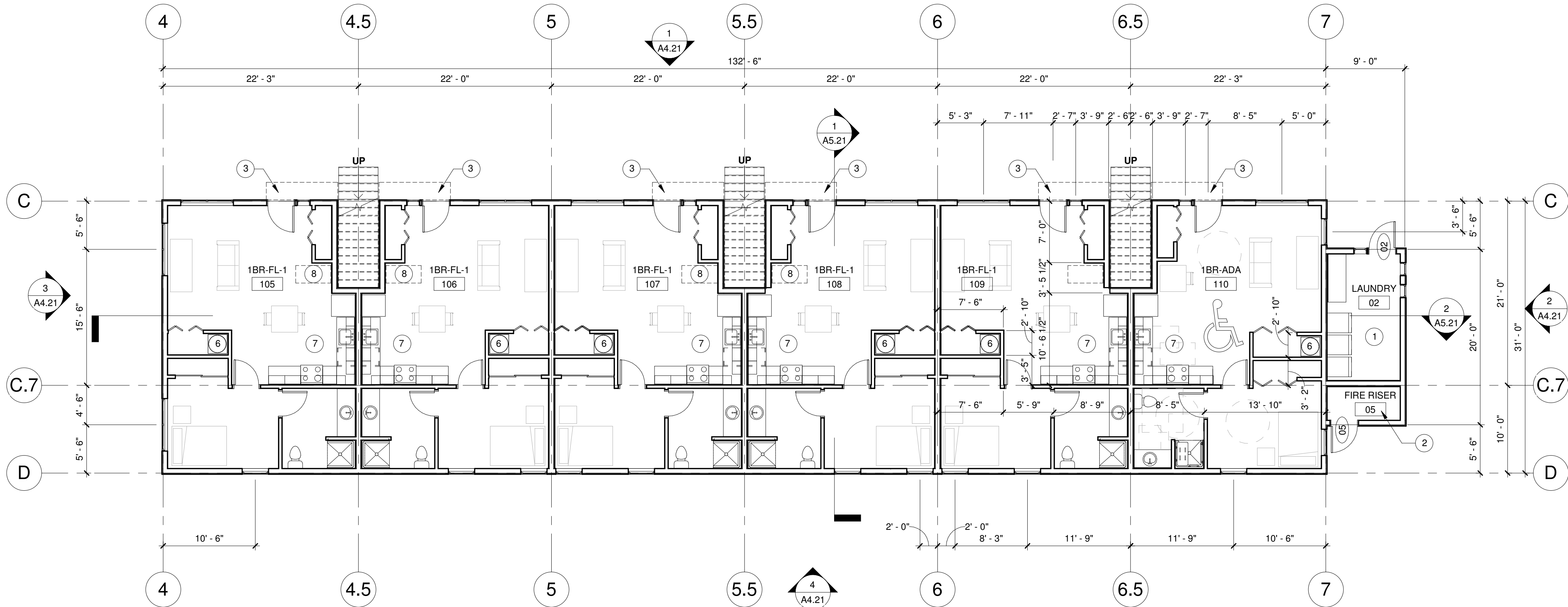
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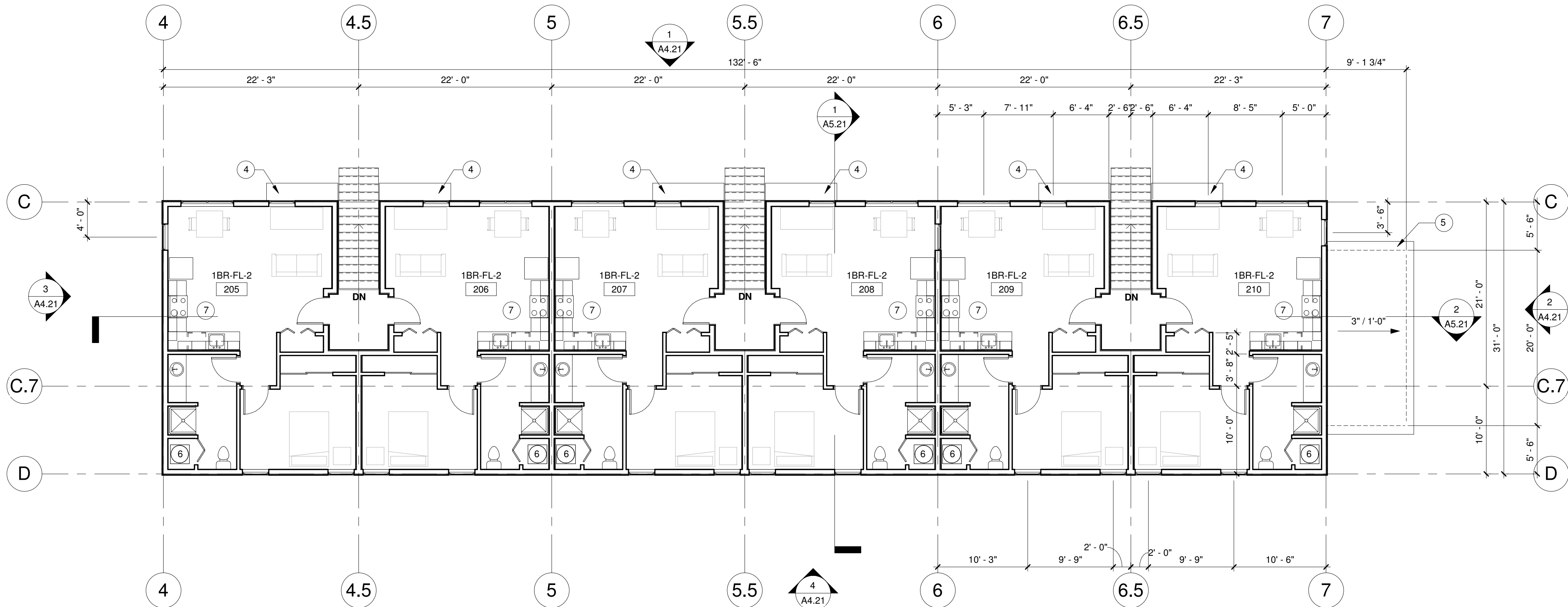
BUILDING 2  
GROUND/SECOND  
FLOOR PLANS

SHEET NUMBER

A2.21

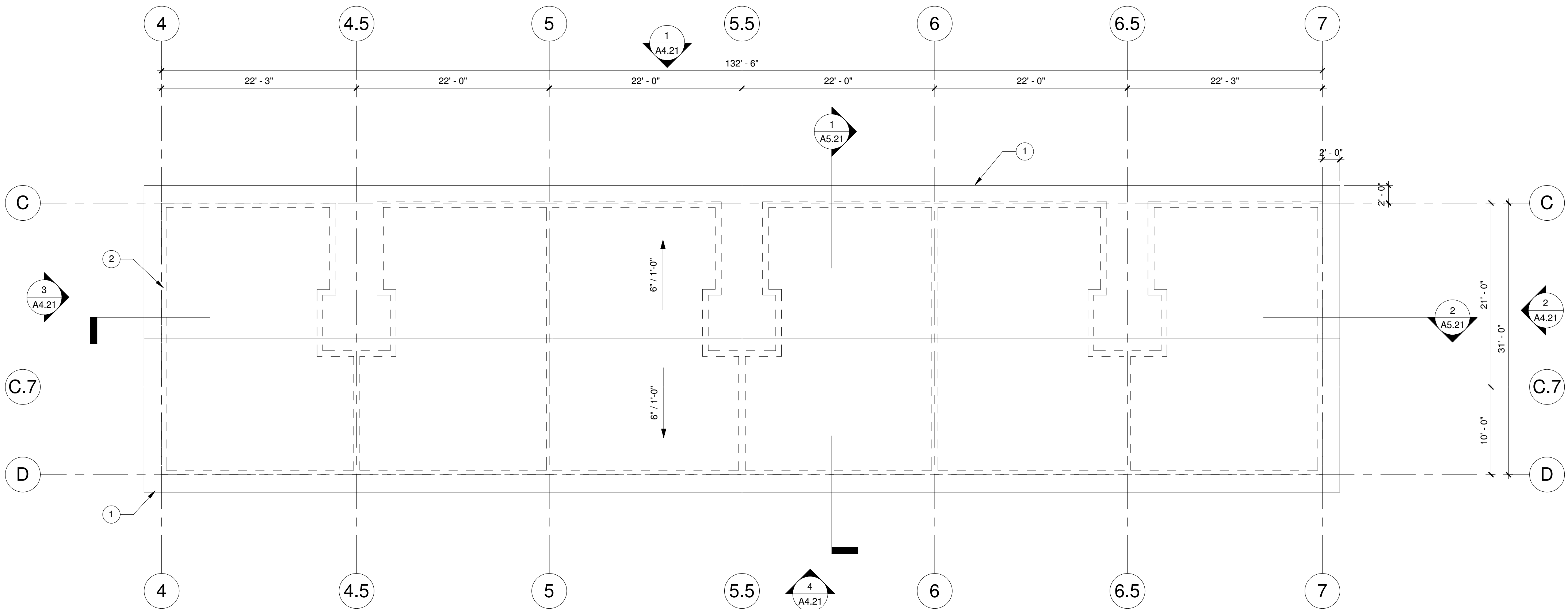


1 GROUND  
SCALE: 1/8" = 1'-0"



2 SECOND  
SCALE: 1/8" = 1'-0"

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1 ROOF  
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

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KEYNOTES

- GUTTER AND DOWNSPOUT
- LINE OF WALL BELOW

LEGEND

- 1 KEYNOTE

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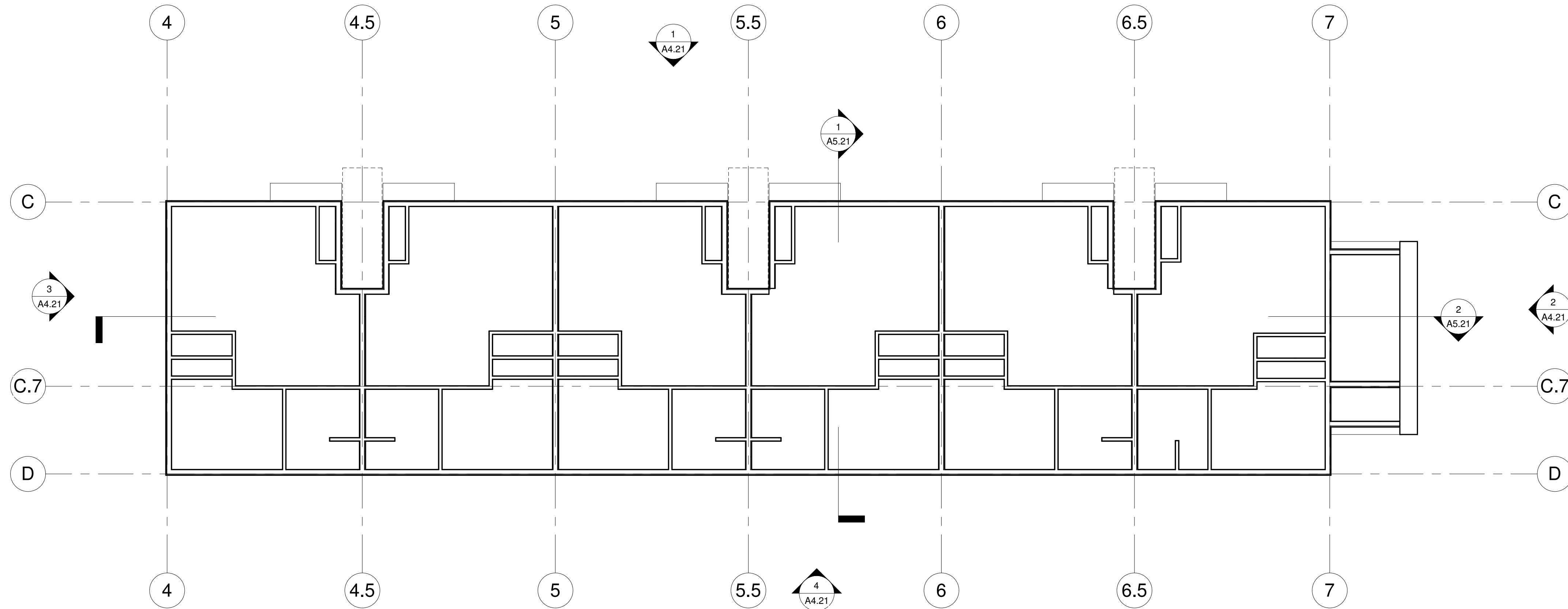
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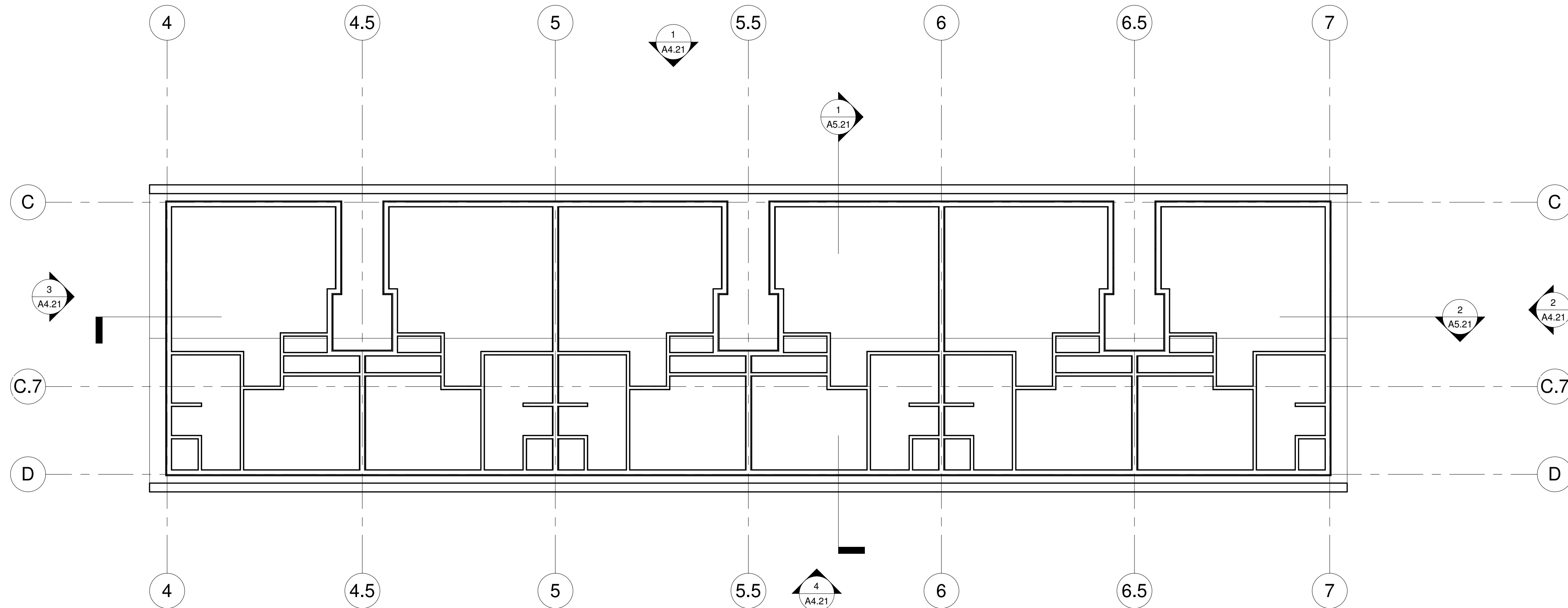
BUILDING 2  
ROOF PLAN

SHEET NUMBER  
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1 REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR RCP  
SCALE: 1/8" = 1'-0"

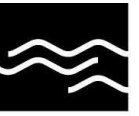
## SHEET GENERAL NOTES

1. NOTE

## KEYNOTES

## LEGEND

1 KEYNOTE



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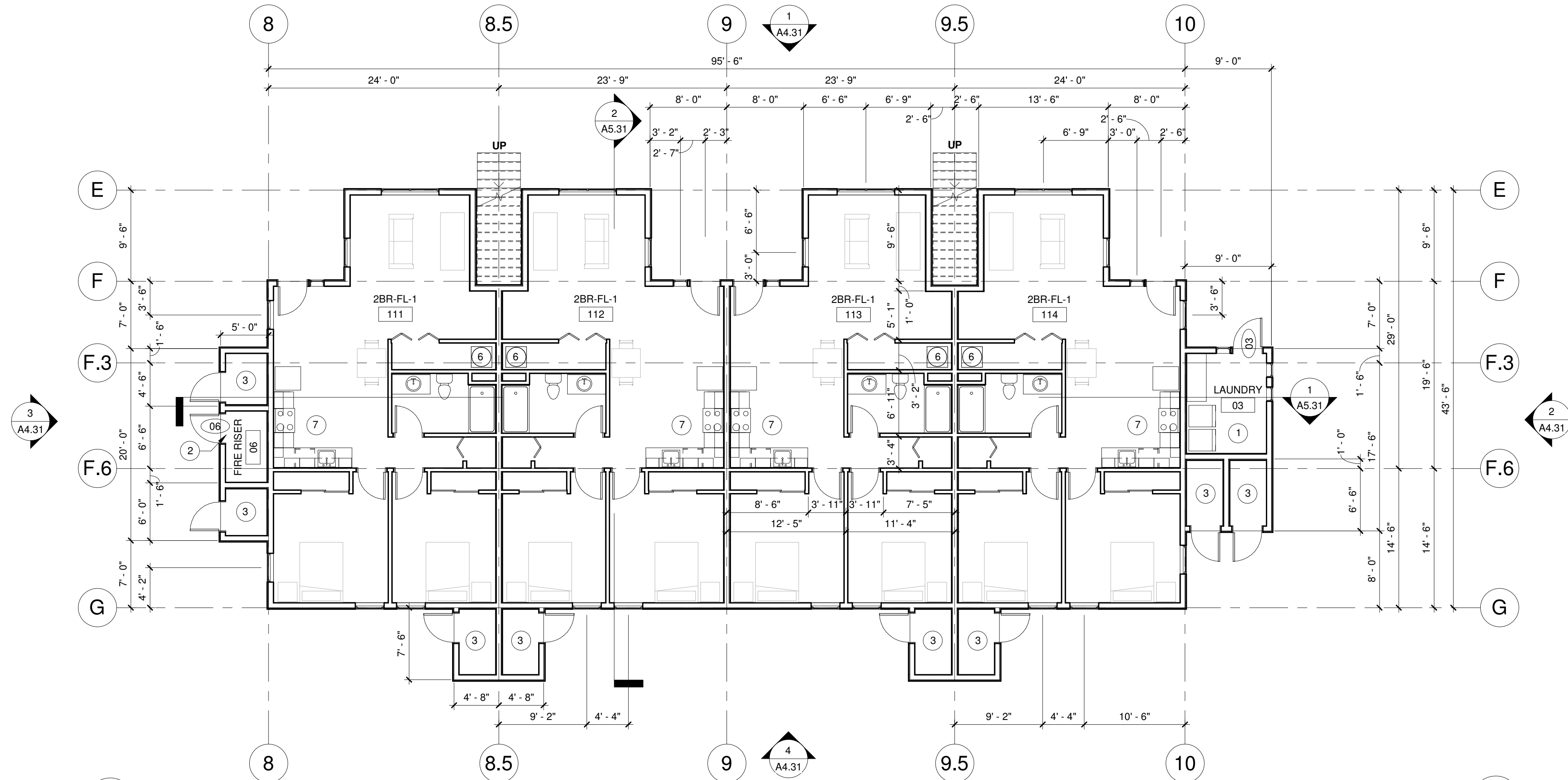
BUILDING 2  
REFLECTED  
CEILING PLAN

SHEET NUMBER

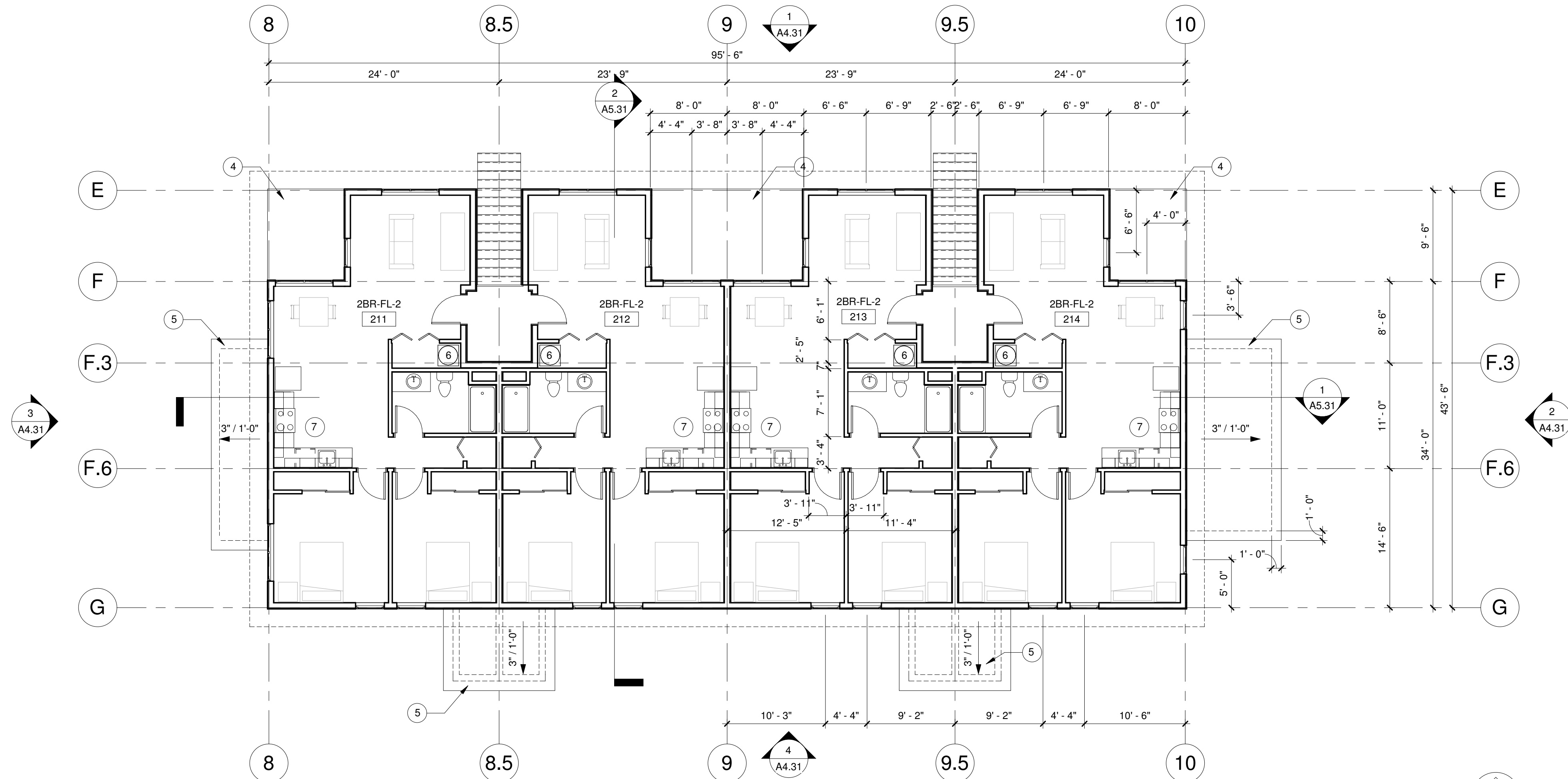
A2.25



10/14/2020 3:27:44 PM



1 GROUND  
SCALE: 1/8" = 1'-0"



2 SECOND  
SCALE: 1/8" = 1'-0"

## SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE UNIT PLANS FOR ADDITIONAL WALL TYPE AND DIMENSION INFORMATION.
- SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
- MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OR RATED WALL AND FLOOR/CEILING ASSEMBLIES.
- SEE CODE PLANS FOR LOCATION OF FIRE RATED WALLS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

## KEYNOTES

- SHARED LAUNDRY ROOM
- FIRE RISER ROOM
- EXTERIOR STORAGE
- LINE OF ROOF ABOVE
- LINE OF WALL BELOW
- WATER HEATER
- OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER

## LEGEND

- ① KEYNOTE



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REVISION NO      DATE

OC-III  
BUILDING 3

206 LILLY RD NE  
OLYMPIA, WA  
98506

ISSUANCE  
SCHEMATIC DESIGN

DATE  
10/14/2020

SCALE  
As indicated

PROJECT NUMBER  
202010.00

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Author

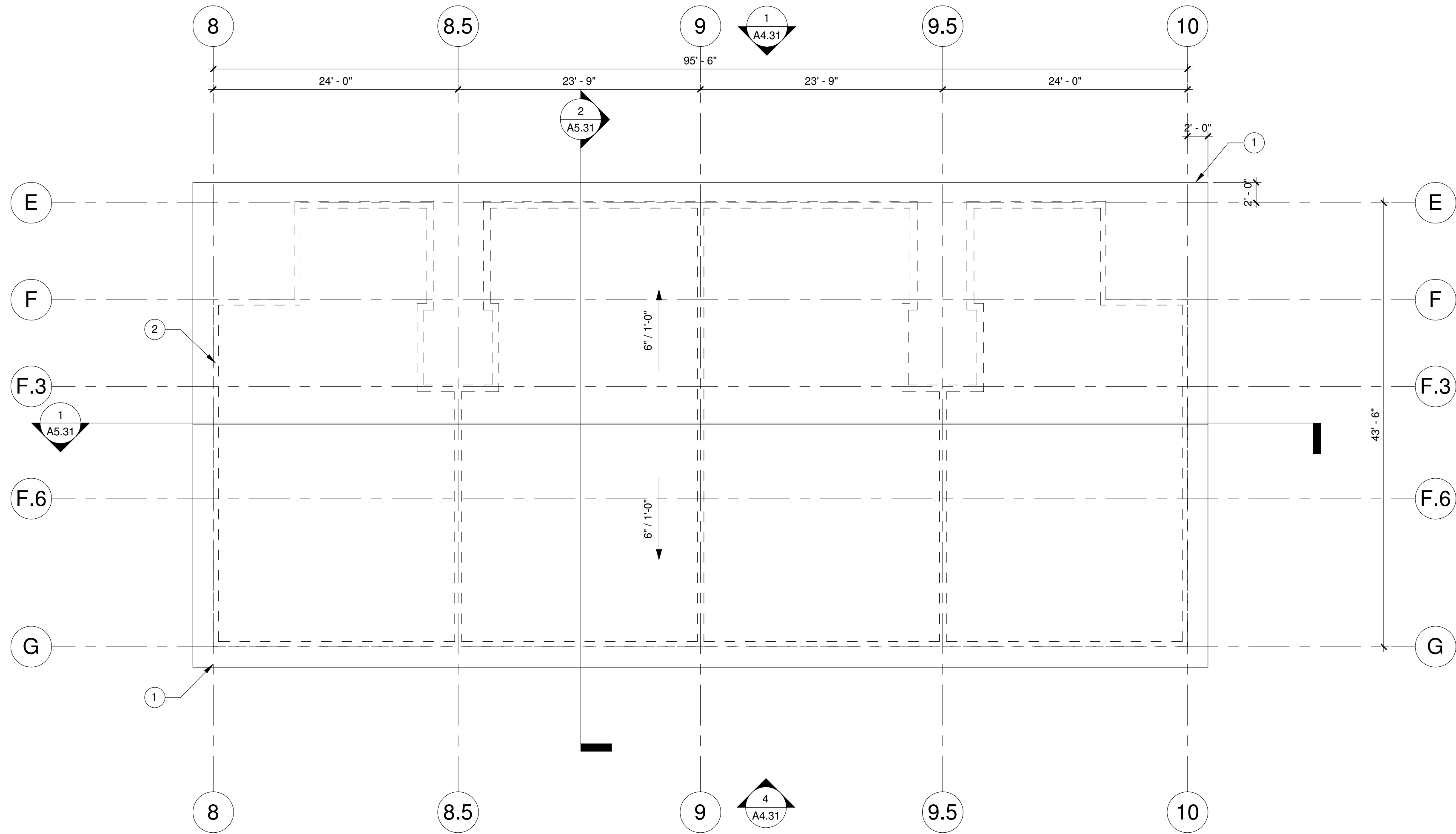
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BUILDING 3  
GROUND/SECOND  
FLOOR PLANS

SHEET NUMBER

A2.31

10/14/2020 3:27:44 PM



1 ROOF  
SCALE: 1/8" = 1'-0"

### SHEET GENERAL NOTES

1. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
2. SEE UNIT PLANS FOR ADDITIONAL WALL TYPE AND DIMENSION INFORMATION.
3. SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
4. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OR RATED WALL AND FLOOR/CEILING ASSEMBLIES.
5. SEE CODE PLANS FOR LOCATION OF FIRE RATED WALLS.
6. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

### KEYNOTES

- 1 GUTTER AND DOWNSPOUT
- 2 LINE OF WALL BELOW

### LEGEND

- 1 KEYNOTE

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BUILDING 3**

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10/14/2020

SCALE  
As indicated

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Author

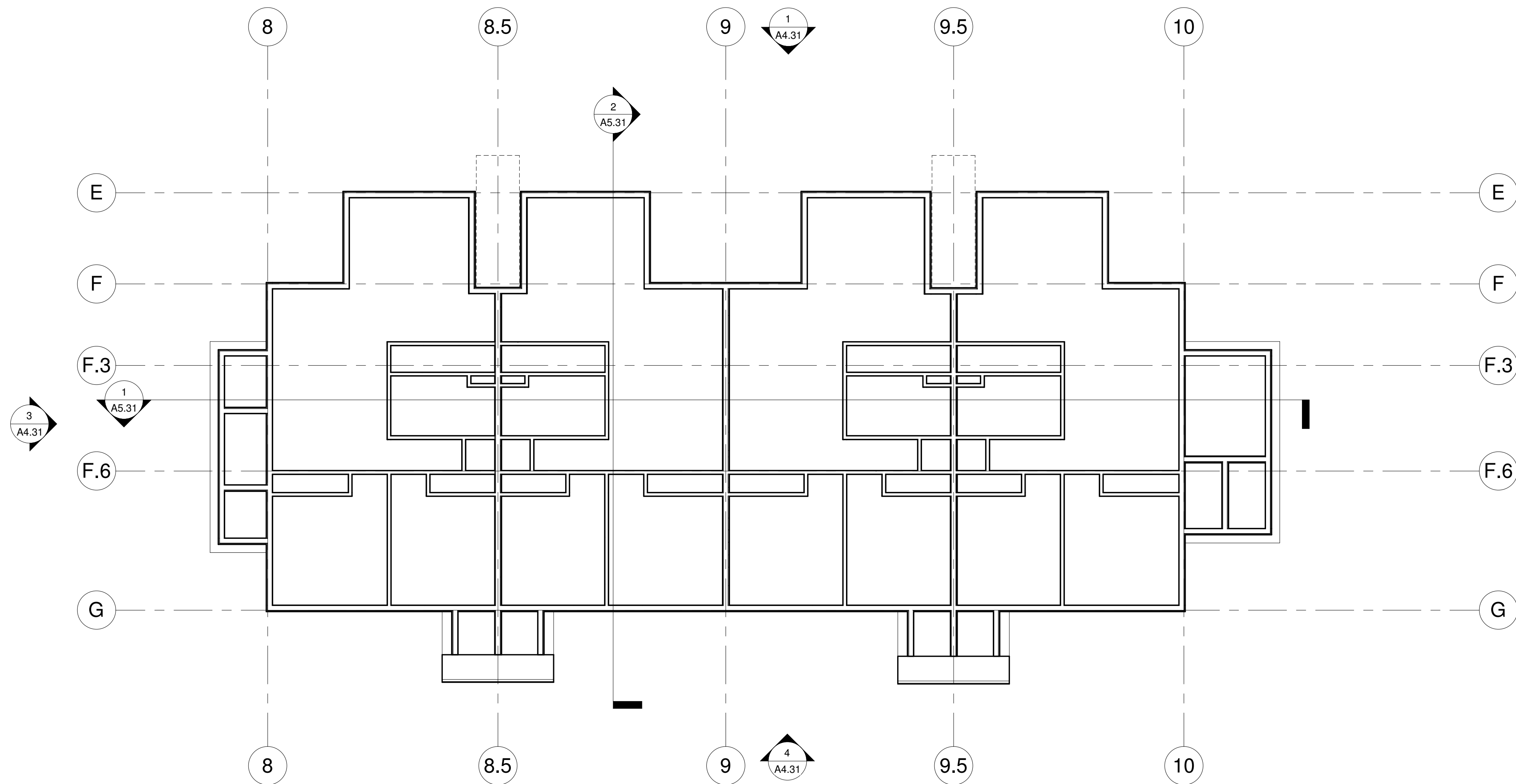
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**BUILDING 3  
ROOF PLAN**

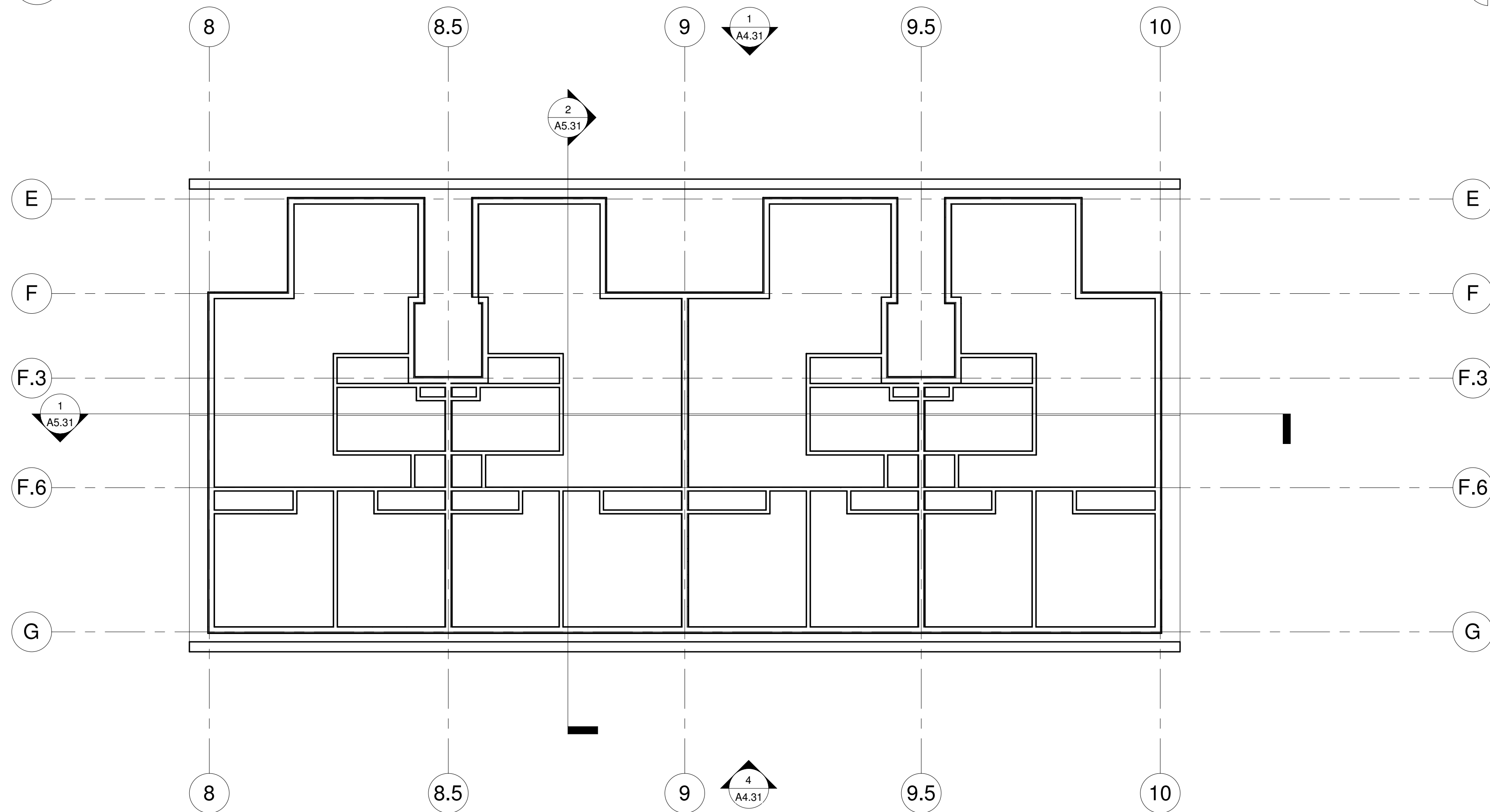
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**A2.32**

10/14/2020 3:27:45 PM



1 REFLECTED CEILING PLAN  
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR RCP  
SCALE: 1/8" = 1'-0"

## SHEET GENERAL NOTES

- NOTE

## KEYNOTES

## LEGEND

- KEYNOTE



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BUILDING 3

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Author

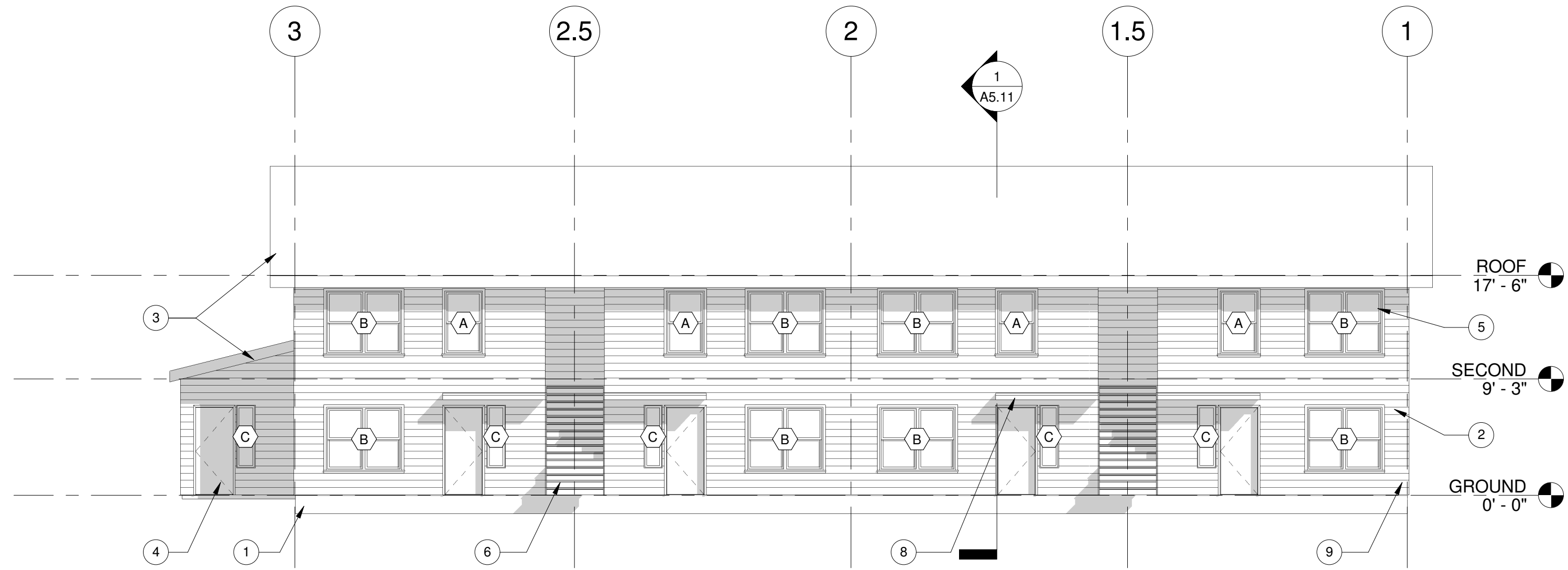
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BUILDING 3  
REFLECTED  
CEILING PLAN

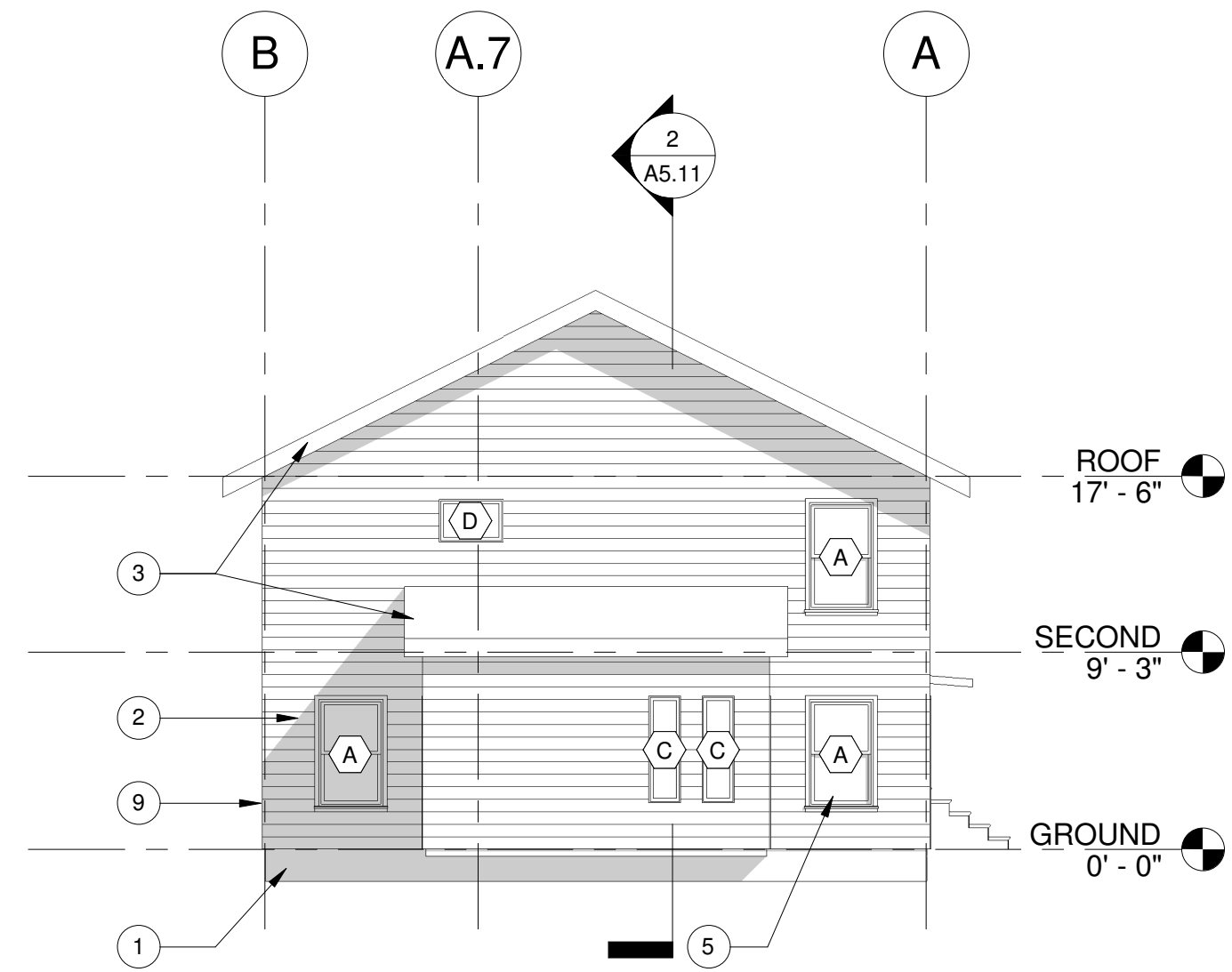
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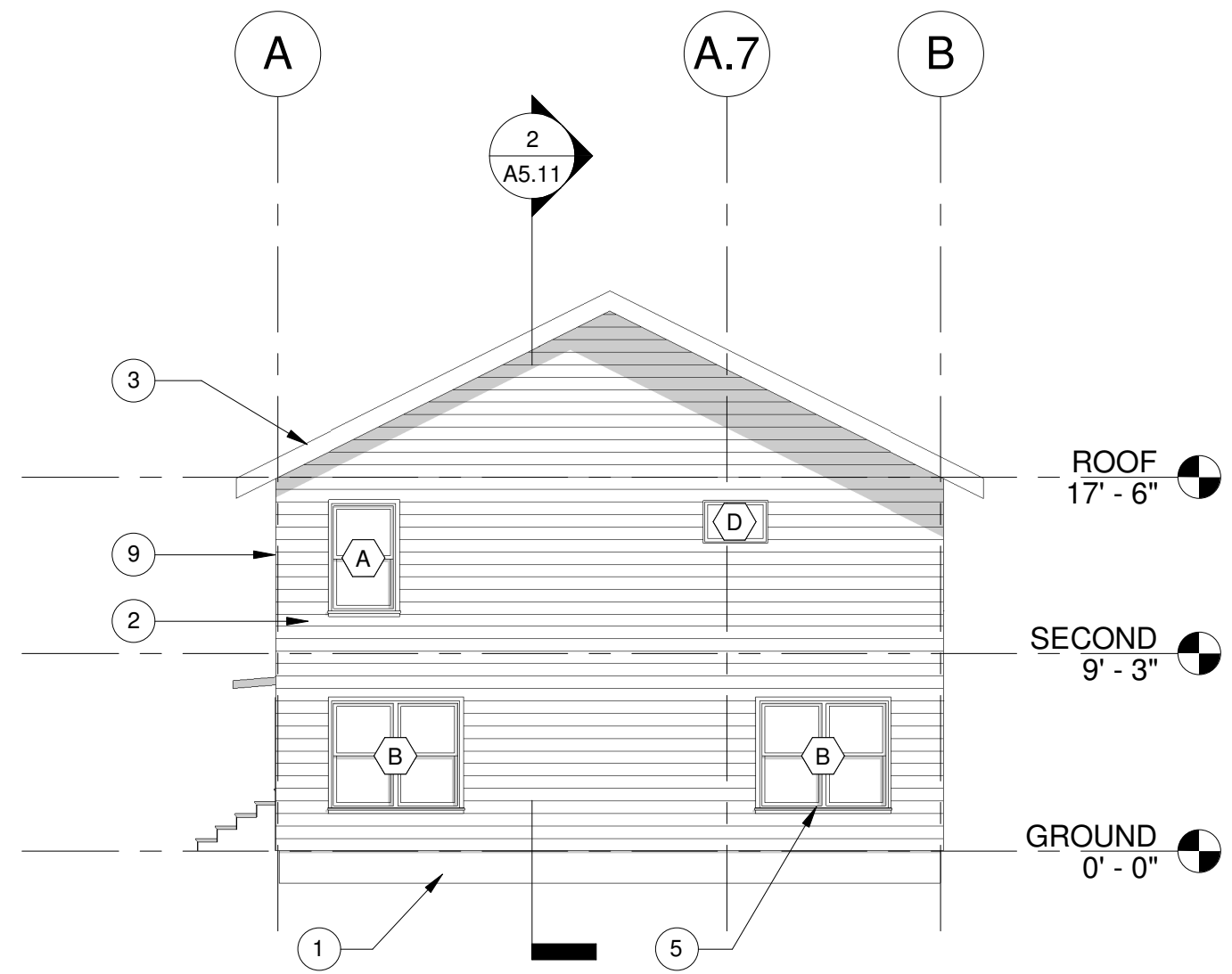
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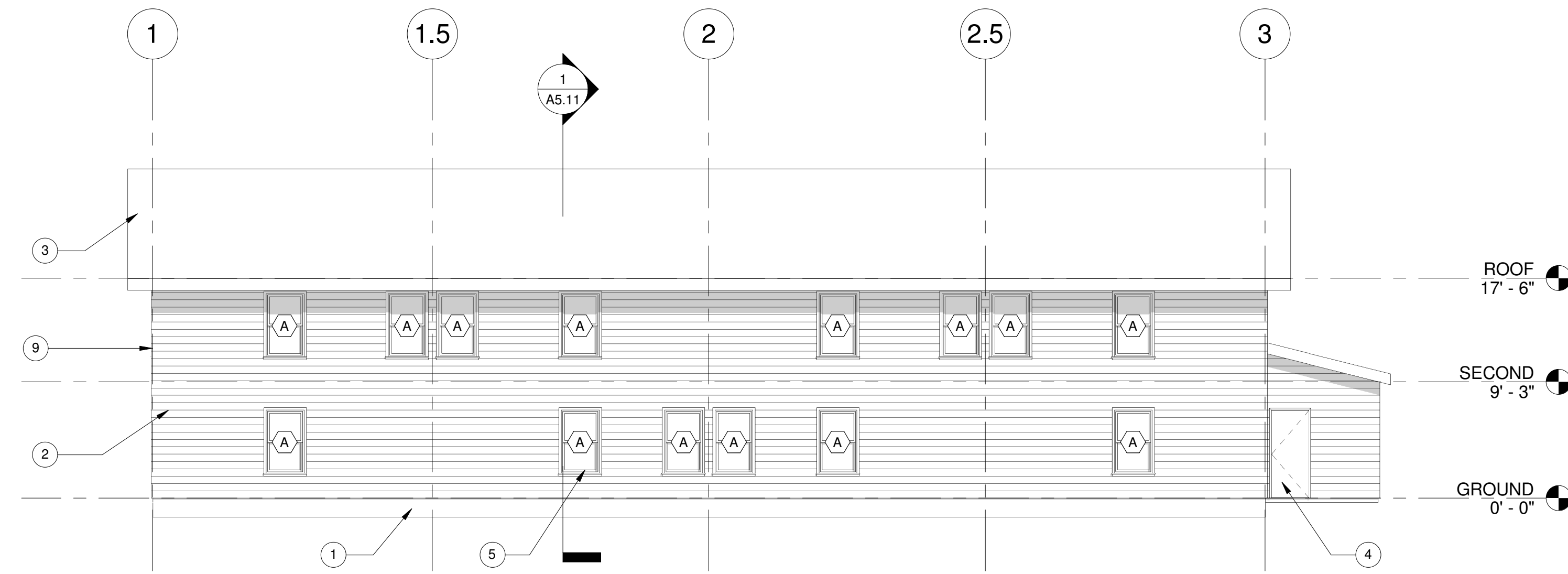
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SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

## SHEET GENERAL NOTES

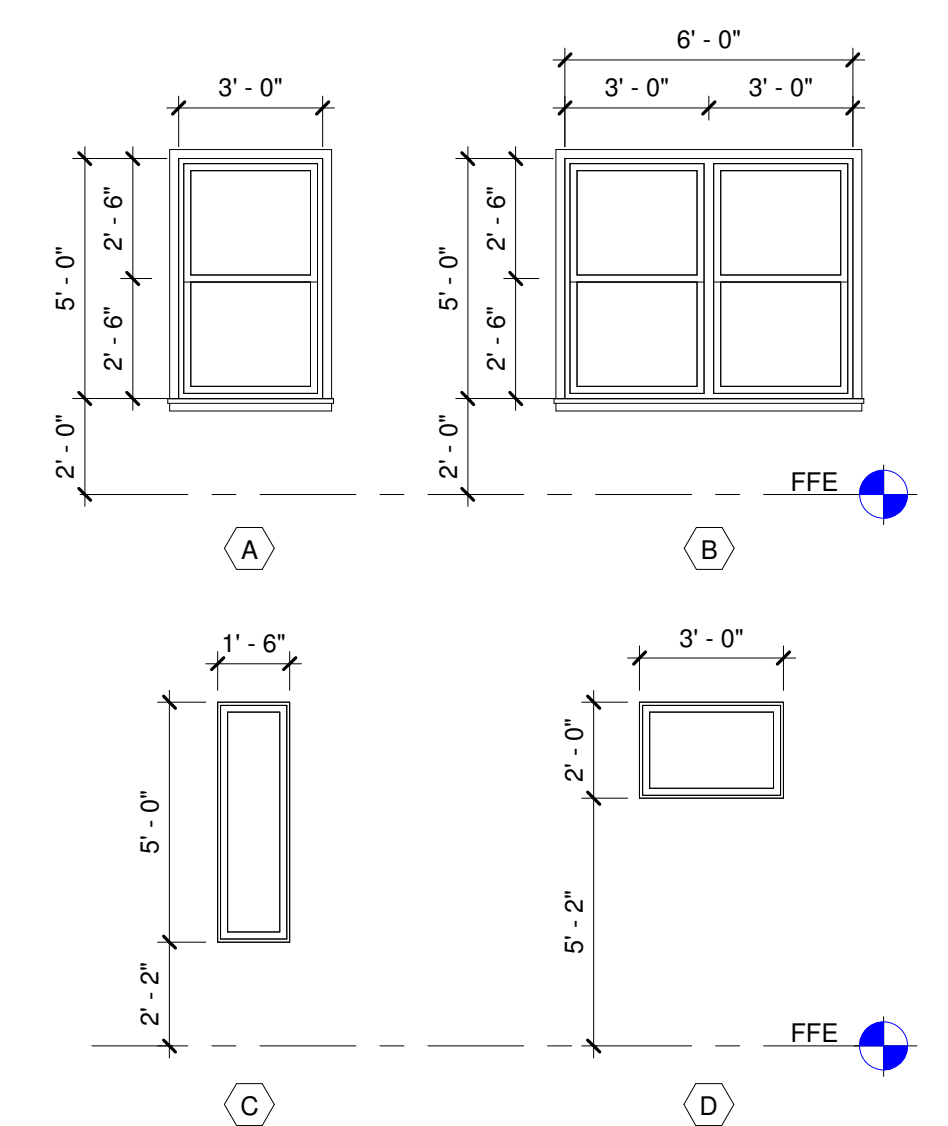
- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

## KEYNOTES

- CONCRETE BASE WALL TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRE-CAST TREADS AND METAL RAILINGS
- STEEL CANOPY
- GUTTER AND DOWNSPOUT

## LEGEND

- |   |            |
|---|------------|
| 1 | KEYNOTE    |
| X | WINDOW TAG |



5 WINDOW ELEVATIONS  
SCALE: 1/4" = 1'-0"



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BUILDING 1

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DRAWING TITLE

BUILDING 1  
ELEVATIONS

SHEET NUMBER

A4.11

10/14/2020 3:26:23 PM

**PRELIMINARY**

**SHEET GENERAL NOTES**

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

**KEYNOTES**

- CONCRETE BASE WALL TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRECAST TREADS AND METAL RAILINGS
- STEEL CANOPY
- GUTTER AND DOWNSPOUT

**LEGEND**

- ① KEYNOTE  
⊗ WINDOW TAG

REVISION NO	DATE

**OC-III  
BUILDING 2**

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98506

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SCHEMATIC DESIGN

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10/12/2020

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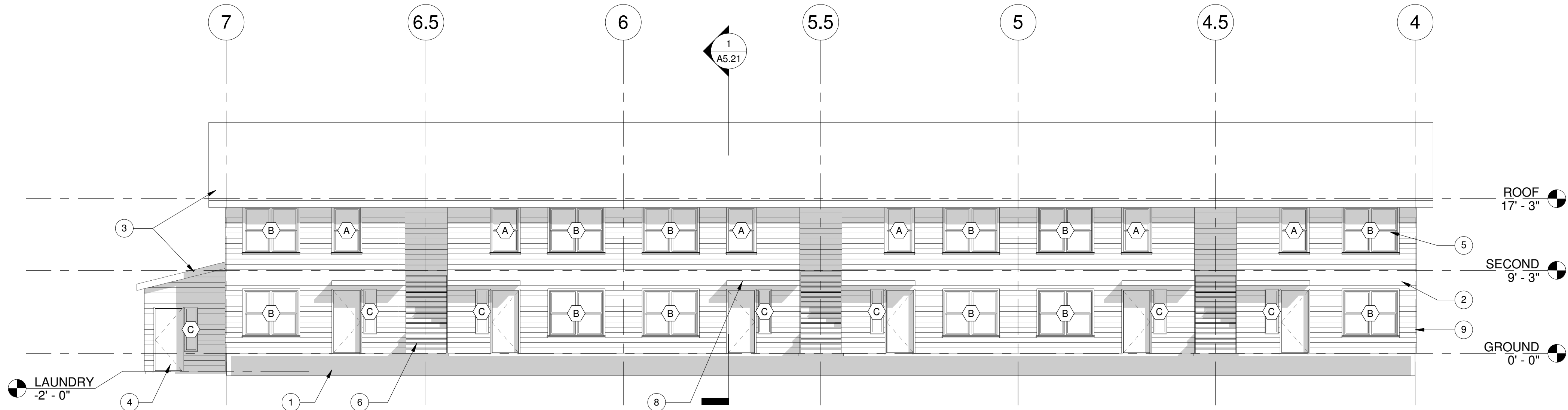
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DRAWING TITLE

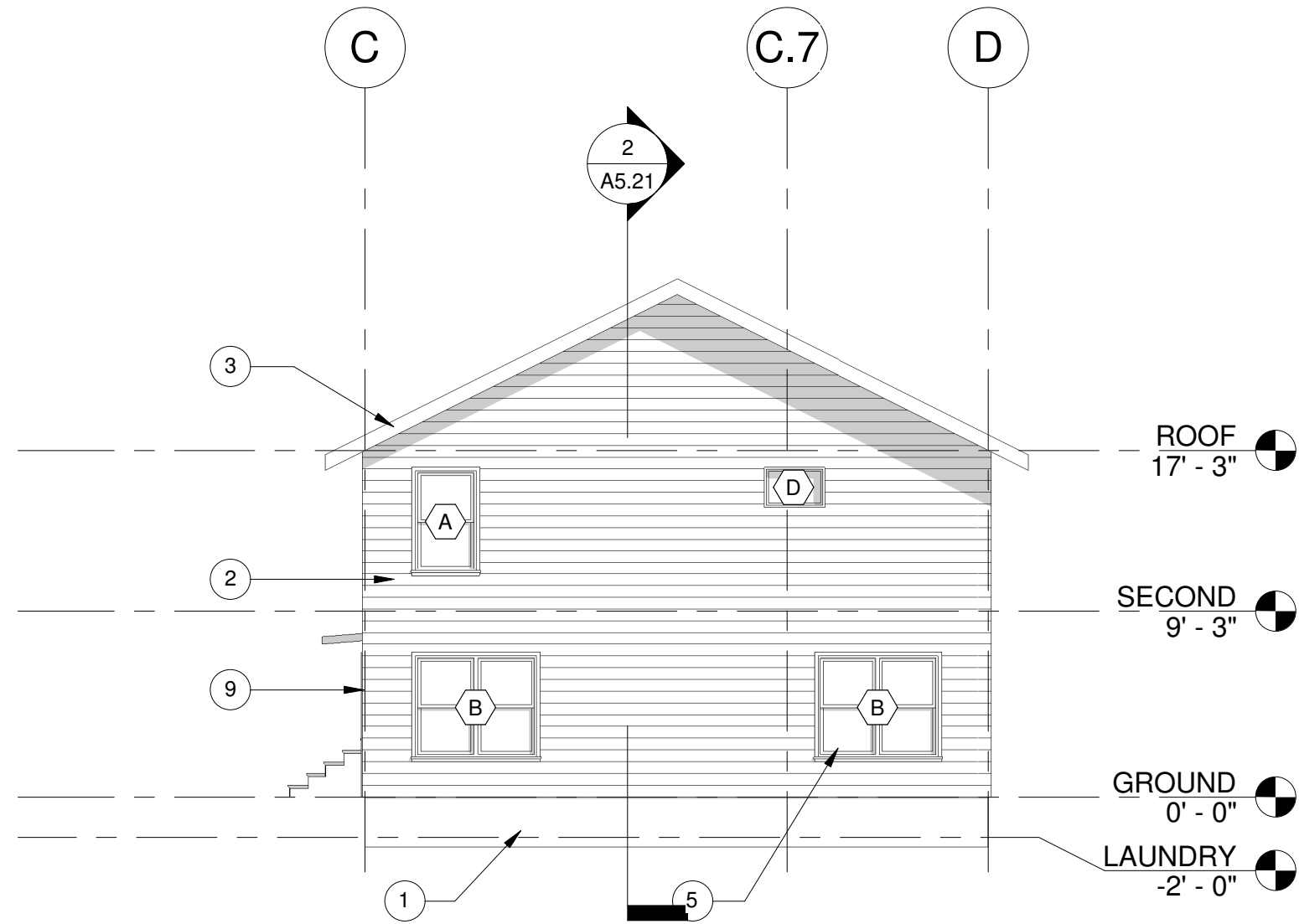
**BUILDING 2  
ELEVATIONS**

SHEET NUMBER

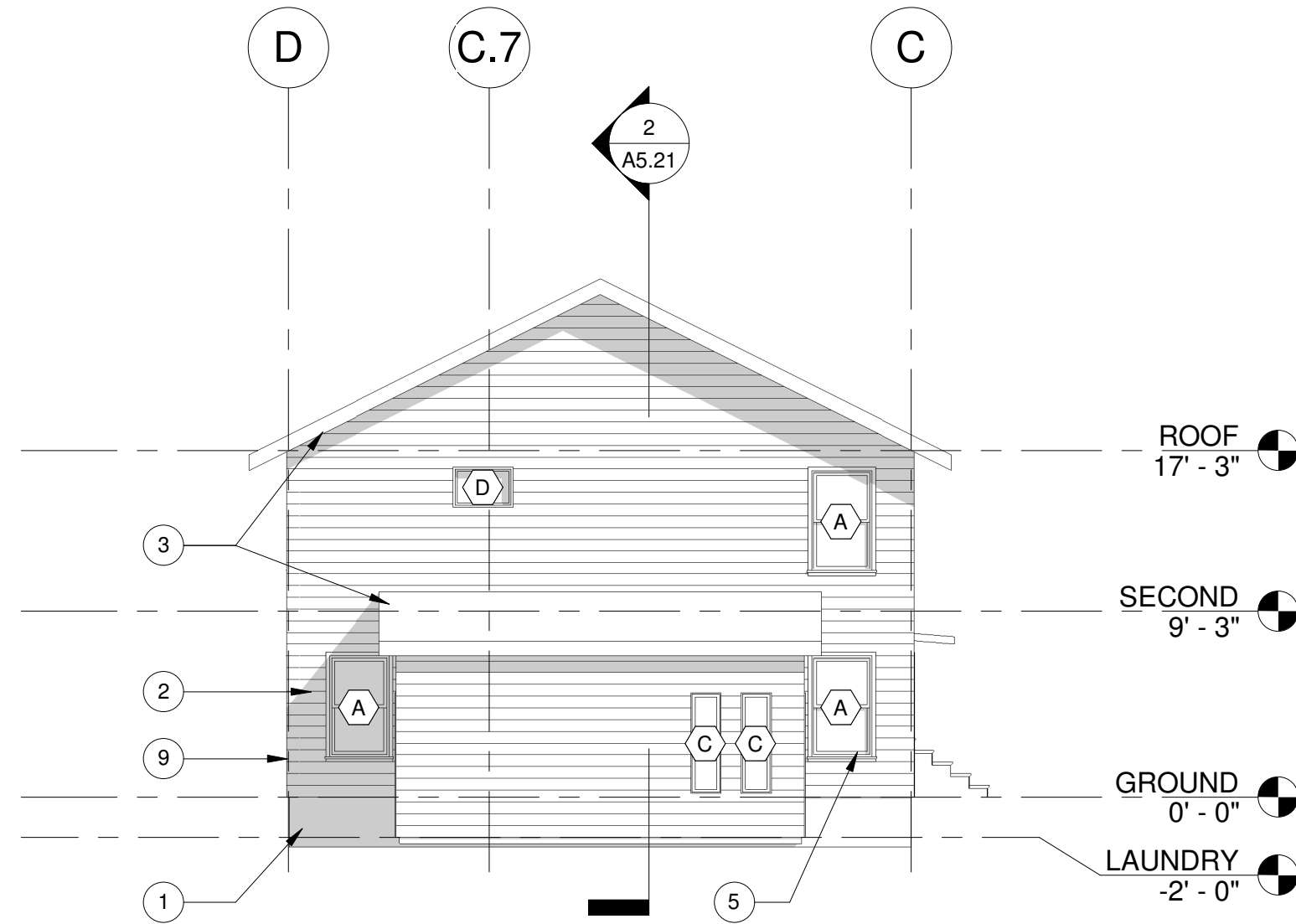
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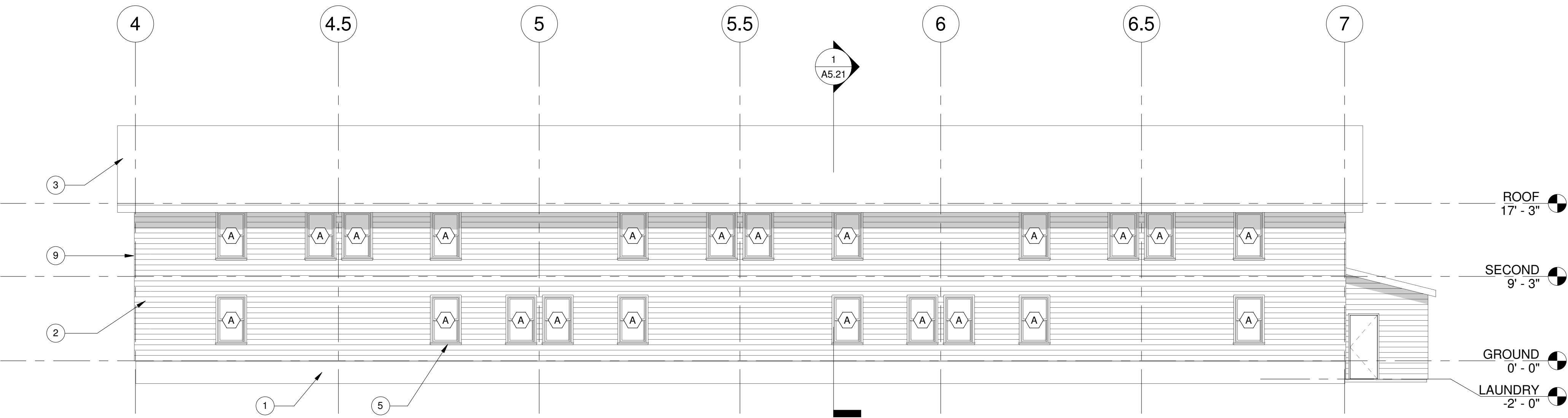
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SCALE: 1/8" = 1'-0"



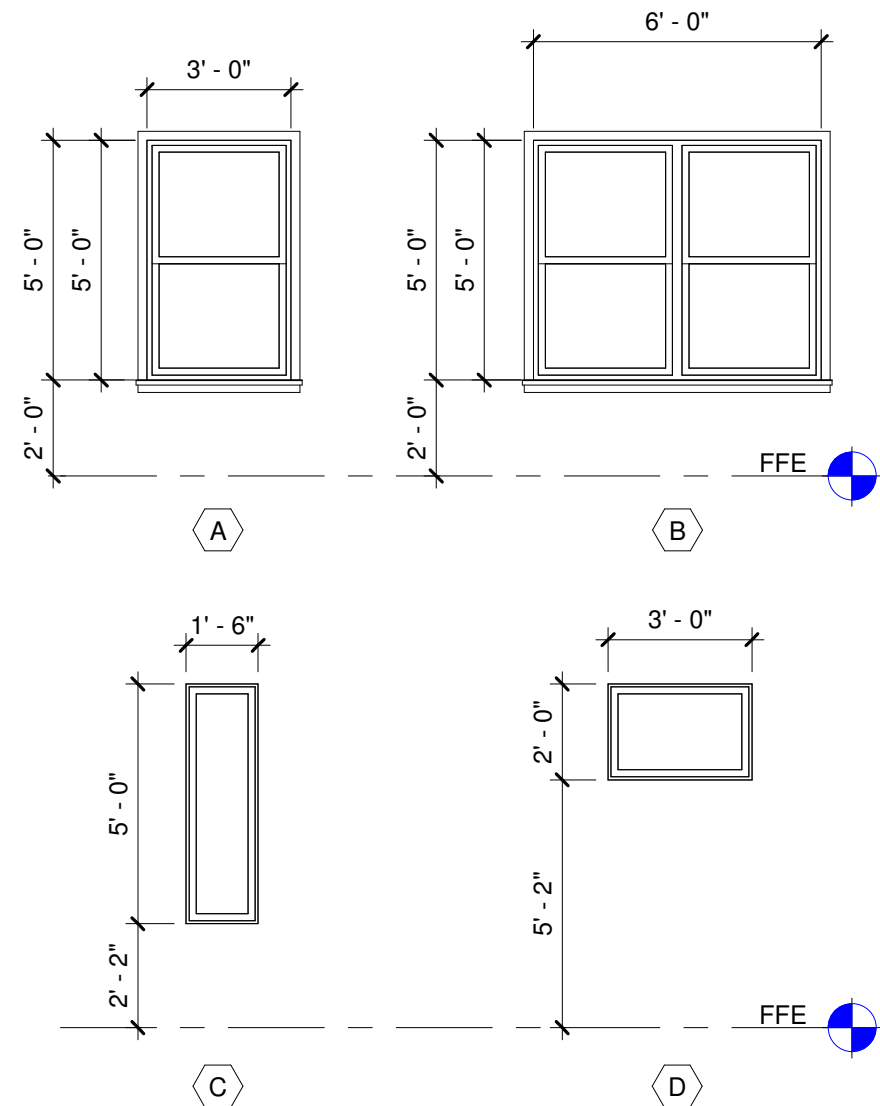
**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



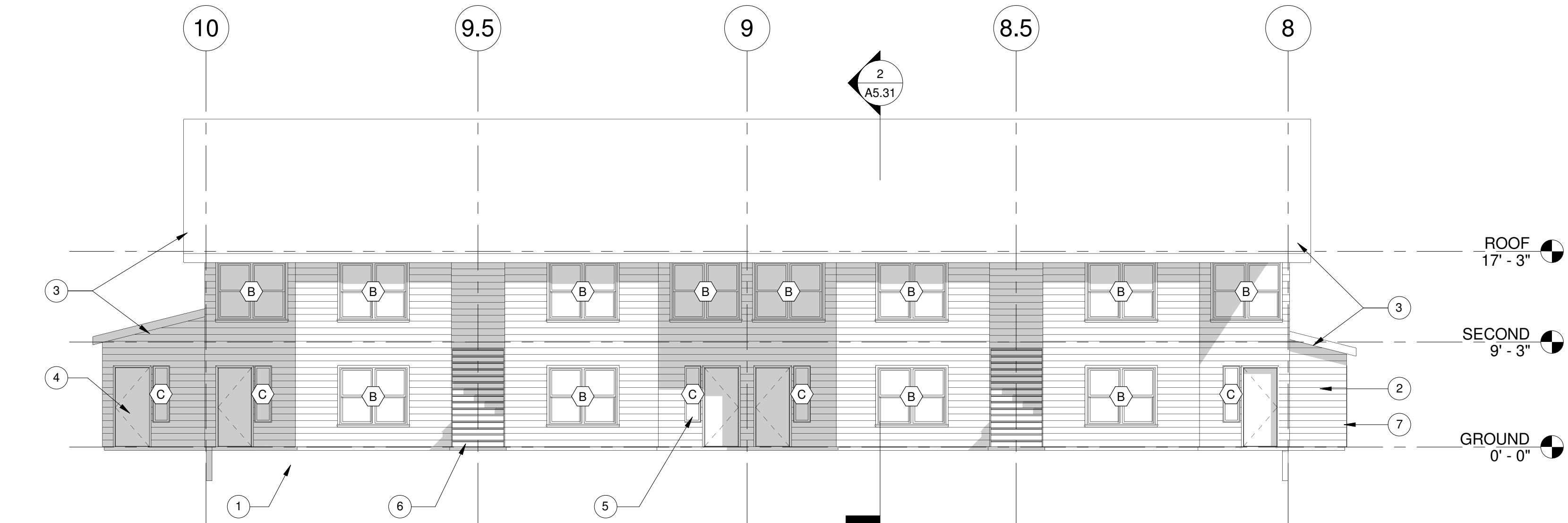
**4 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



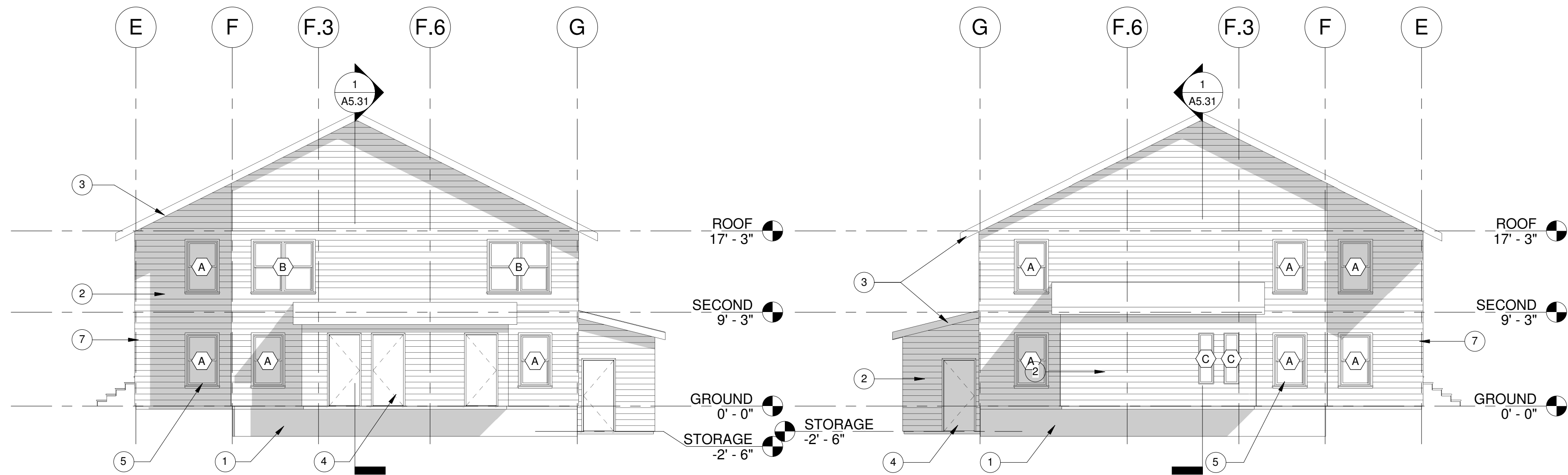
**5 WINDOW ELEVATIONS**  
SCALE: 1/4" = 1'-0"



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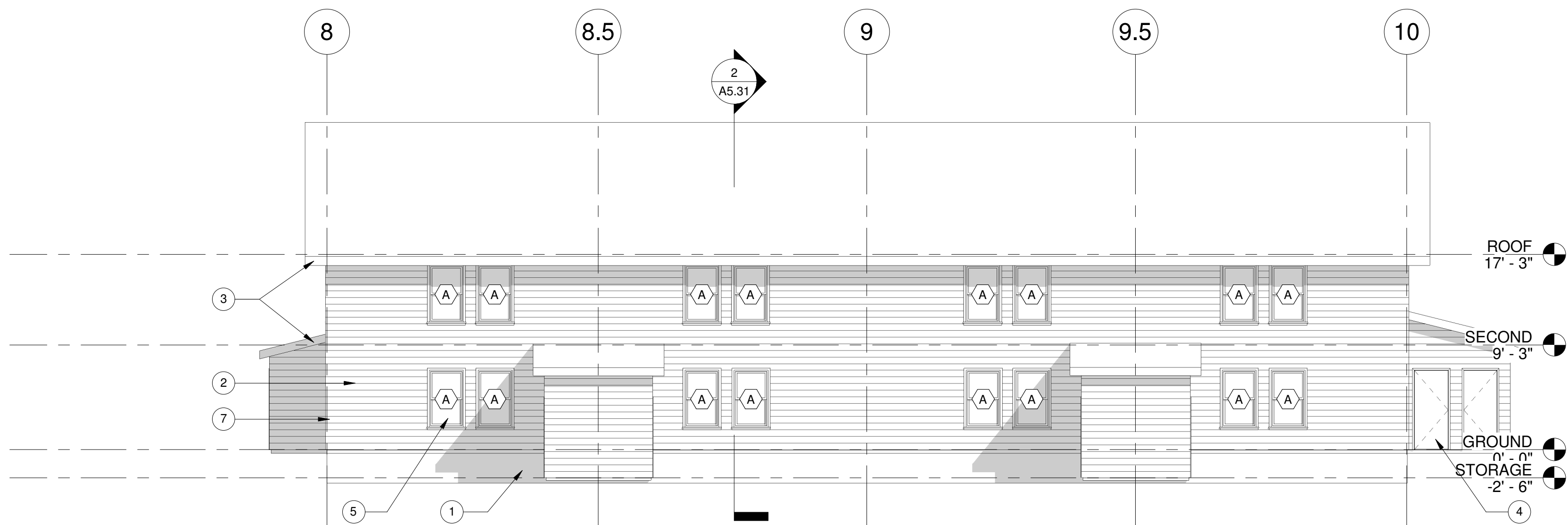


1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

## SHEET GENERAL NOTES

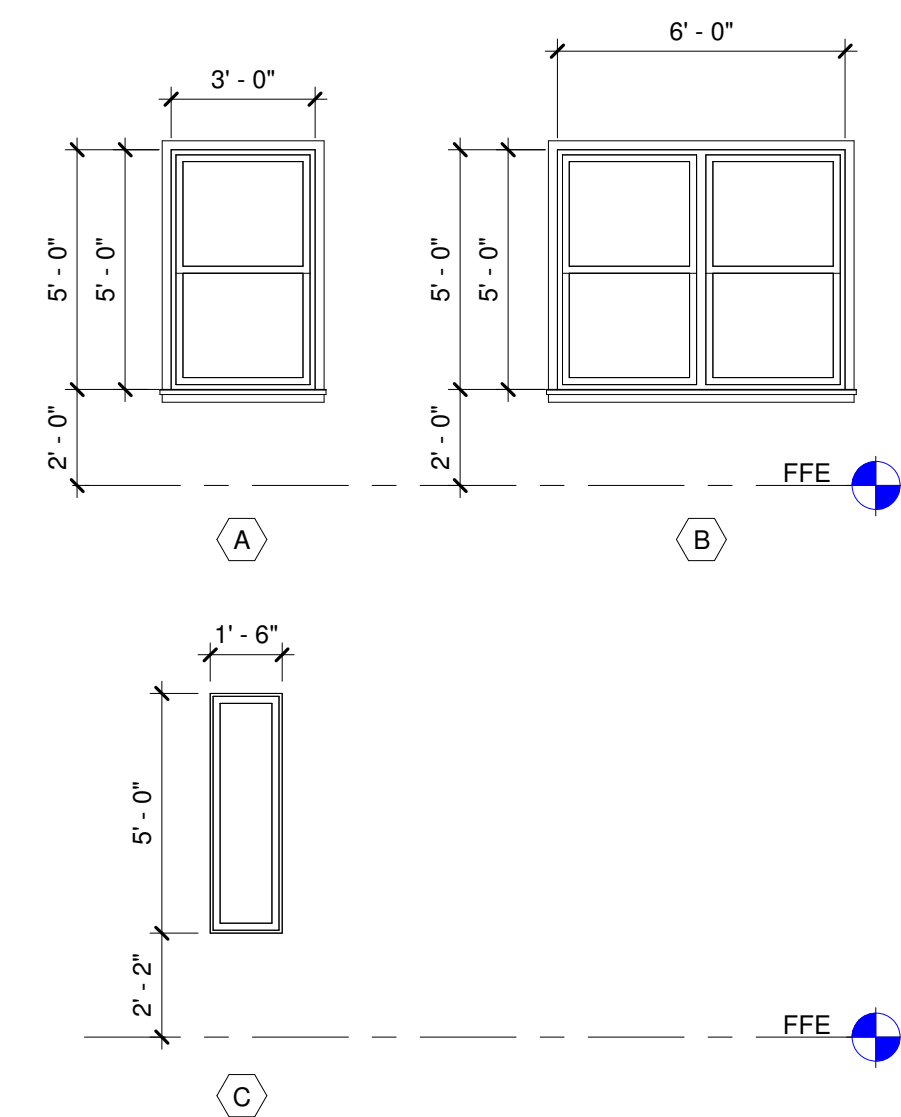
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## KEYNOTES

- CONCRETE BASE WALL TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRECAST TREADS AND METAL RAILINGS
- GUTTER AND DOWNSPOUT

## LEGEND

- 1 KEYNOTE  
X WINDOW TAG



5 WINDOW ELEVATIONS  
SCALE: 1/4" = 1'-0"



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OC-III  
BUILDING 3

206 LILLY RD NE  
OLYMPIA, WA  
98506

ISSUANCE  
SCHEMATIC DESIGN

DATE  
10/14/2020

SCALE  
As indicated

PROJECT NUMBER  
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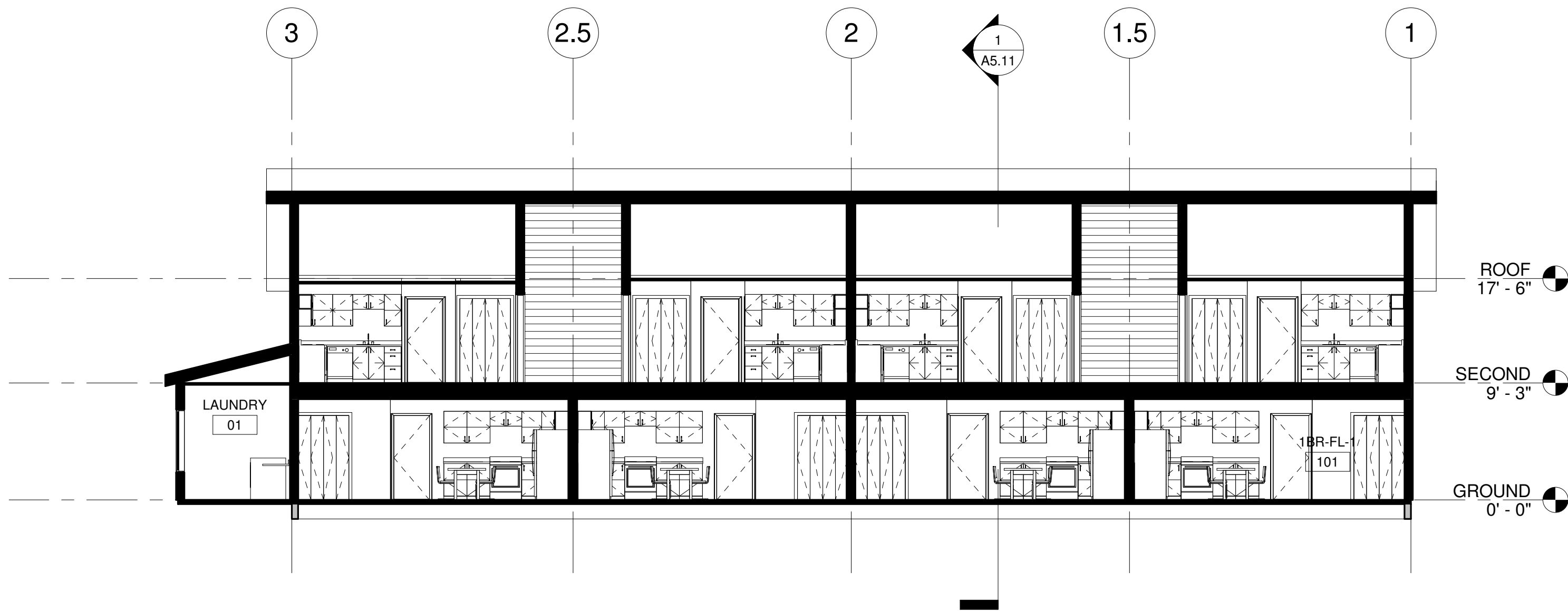
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BUILDING 3  
ELEVATIONS

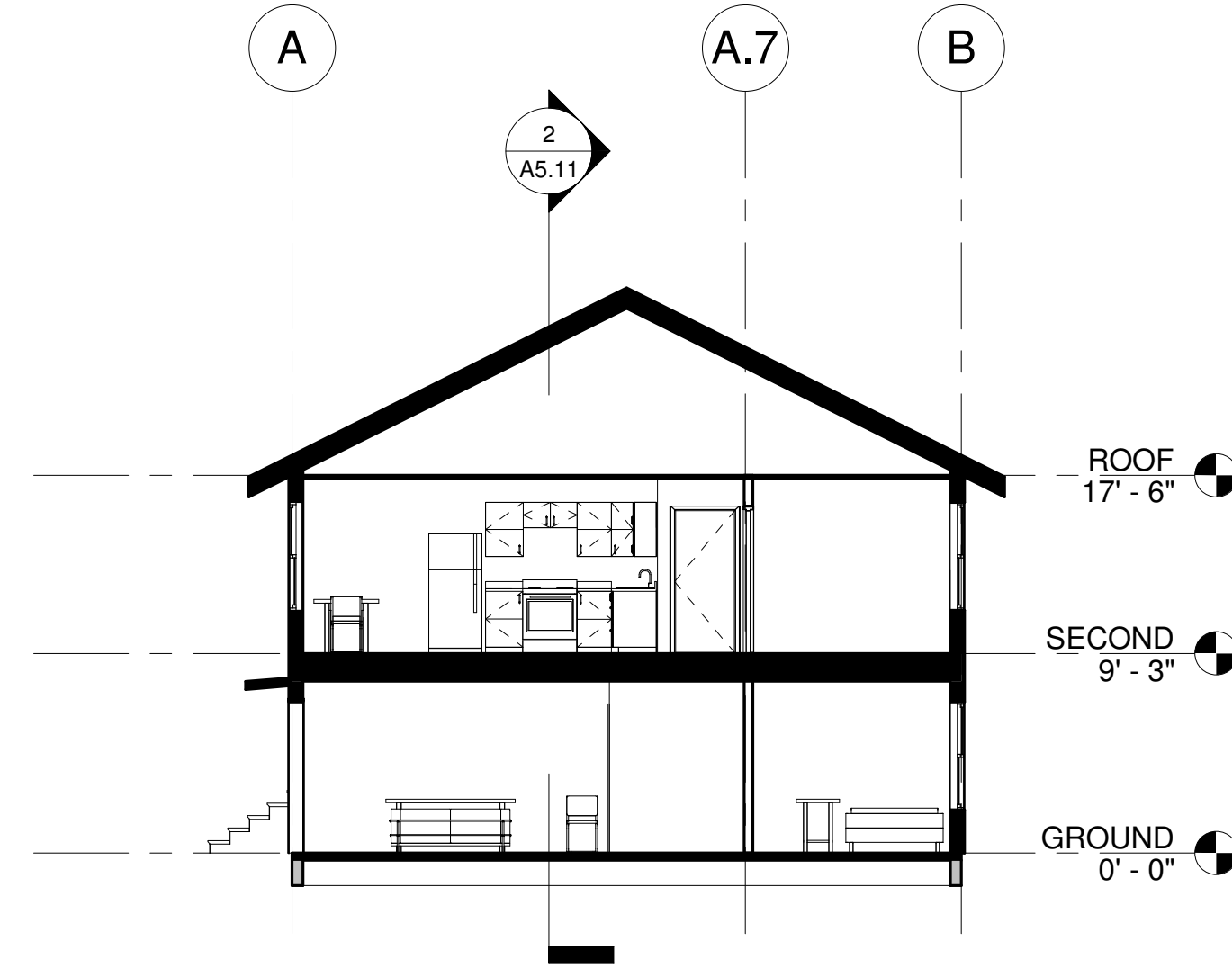
SHEET NUMBER

A4.31

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2 EAST WEST SECTION  
SCALE: 1/8" = 1'-0"



1 NORTH SOUTH SECTION  
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

1. NOTE

KEYNOTES

LEGEND

- 1 KEYNOTE

PRELIMINARY

REVISION NO	DATE

OC-III  
BUILDING 1

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SCHEMATIC DESIGN

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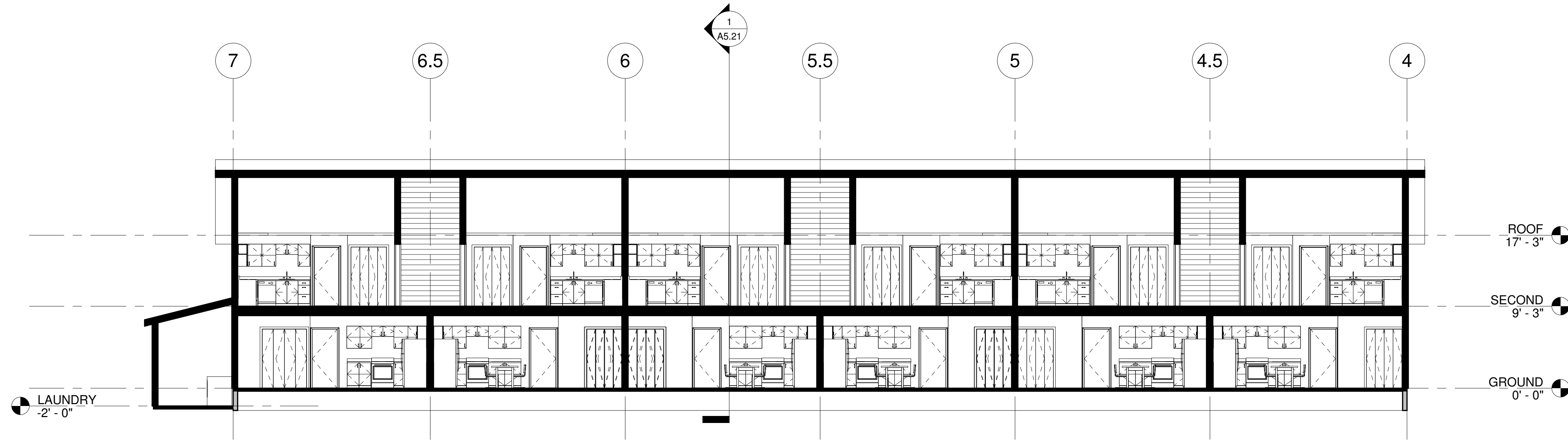
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BUILDING 1  
SECTIONS

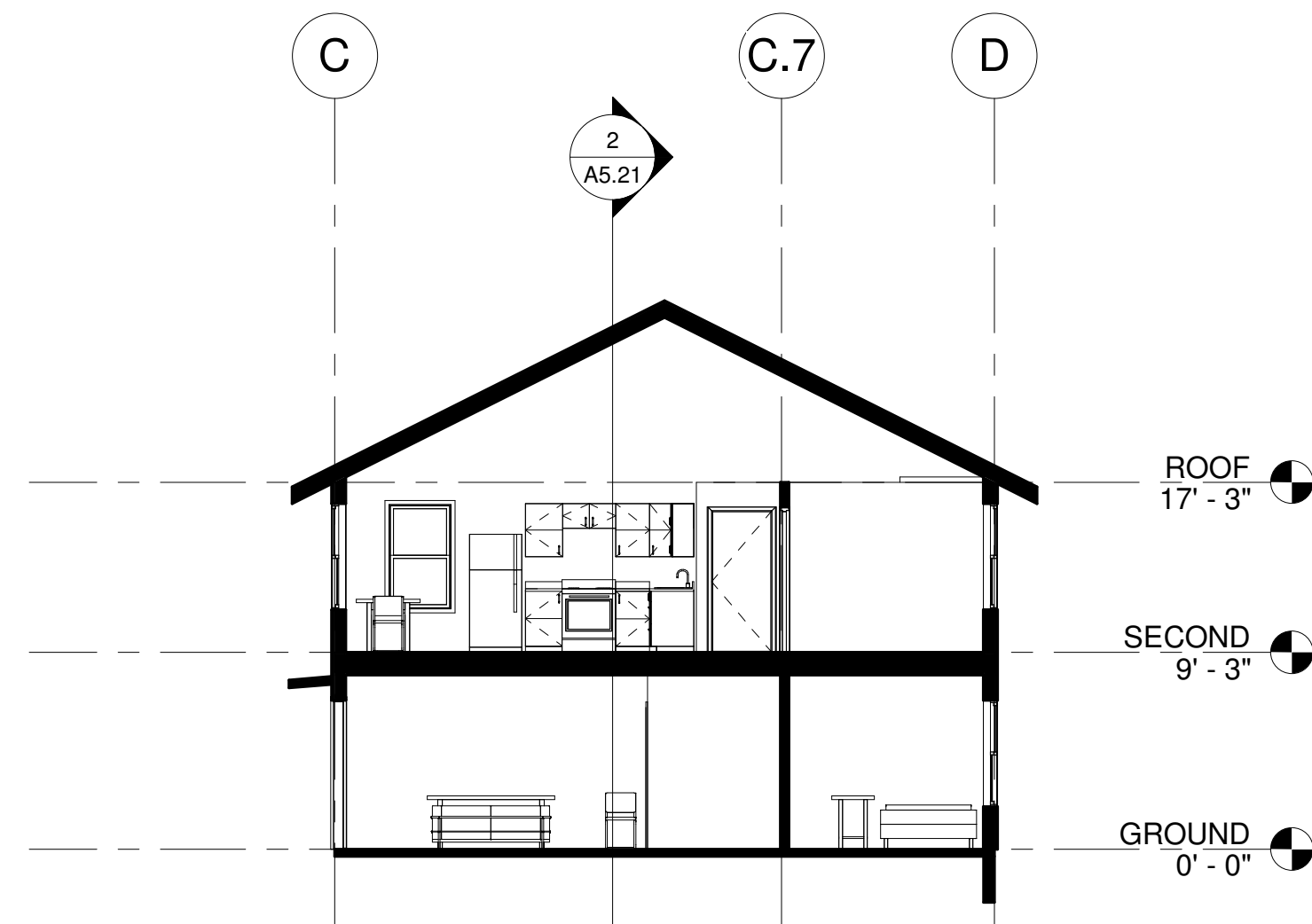
SHEET NUMBER

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2 EAST WEST SECTION  
SCALE: 1/8" = 1'-0"



1 NORTH SOUTH SECTION  
SCALE: 1/8" = 1'-0"

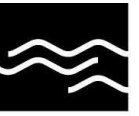
### SHEET GENERAL NOTES

1. NOTE

### KEYNOTES

### LEGEND

1 KEYNOTE



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BUILDING 2

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202010.00

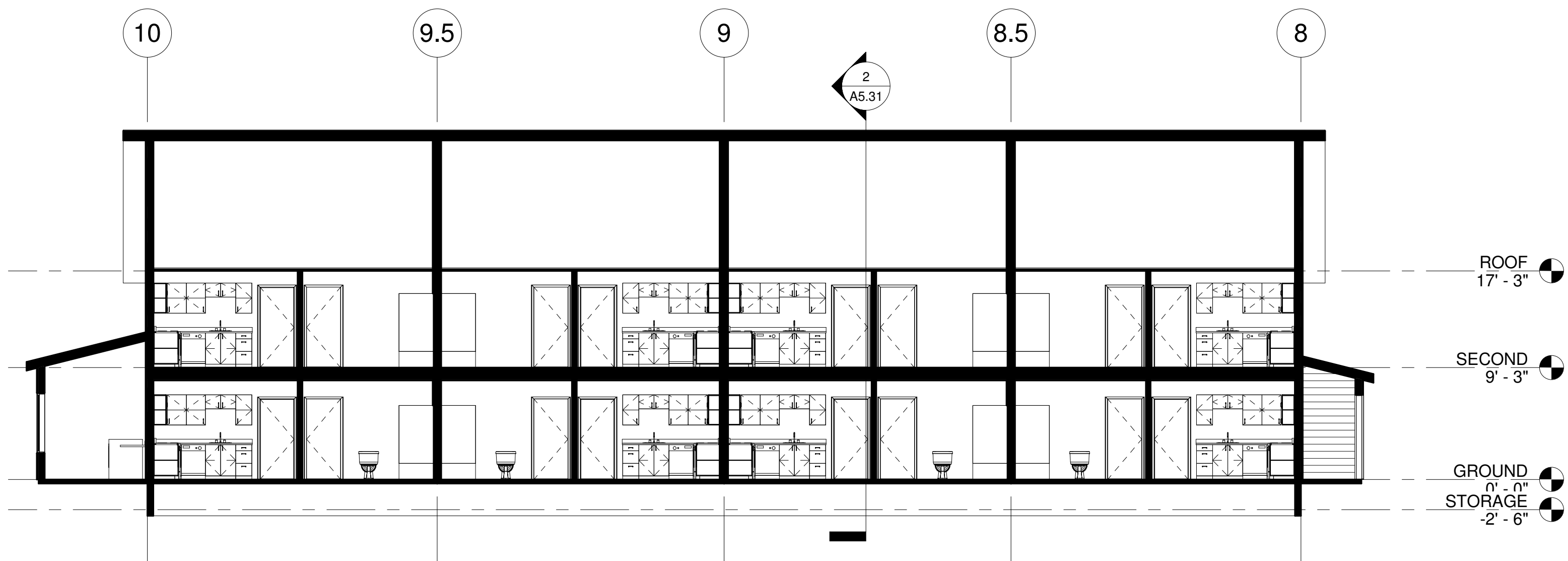
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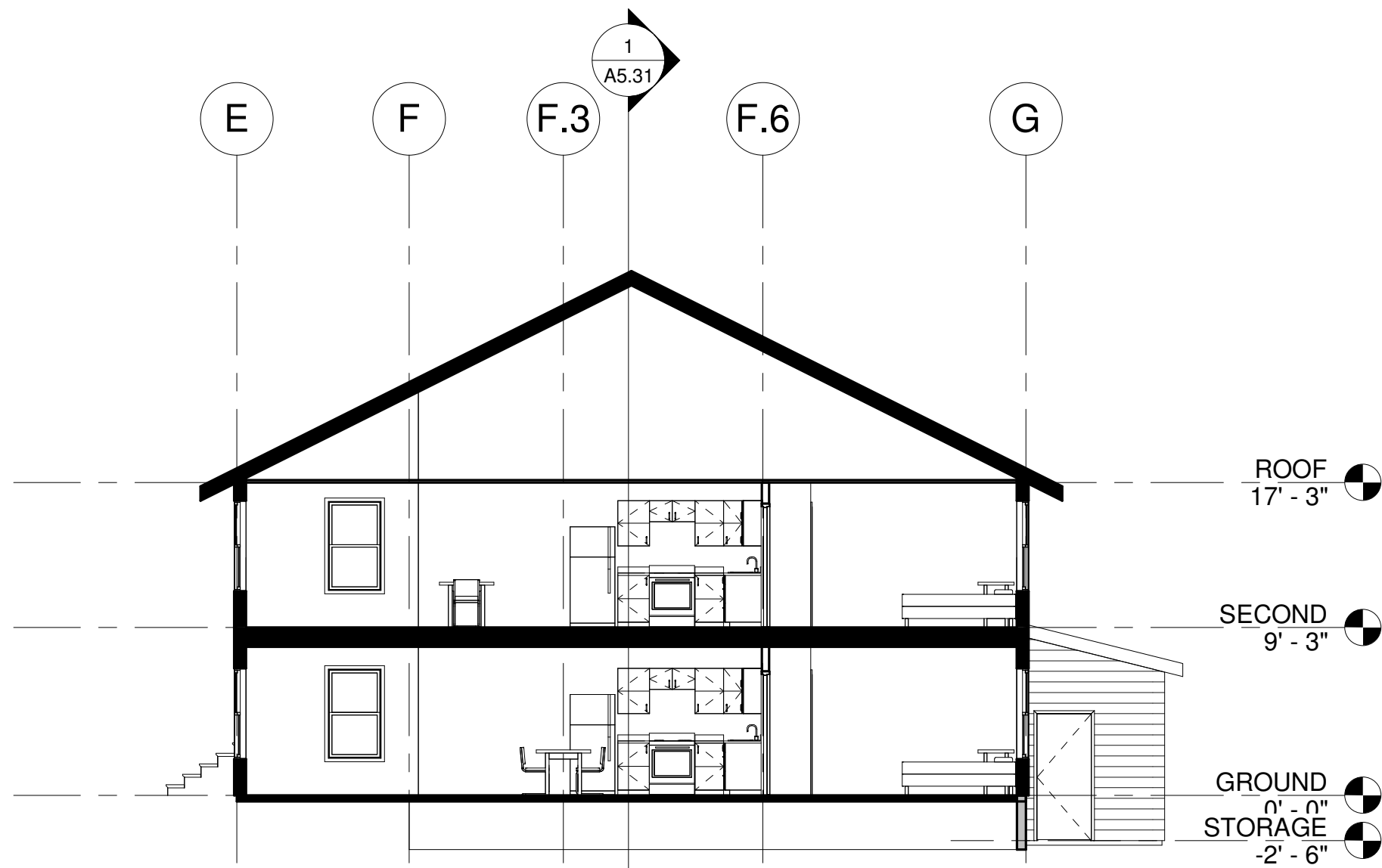
BUILDING 2  
SECTIONS

SHEET NUMBER

A5.21



1 EAST WEST SECTION  
SCALE: 1/8" = 1'-0"



2 NORTH SOUTH SECTION  
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

1. NOTE

KEYNOTES

LEGEND

1 KEYNOTE

PRELIMINARY

REVISION NO	DATE

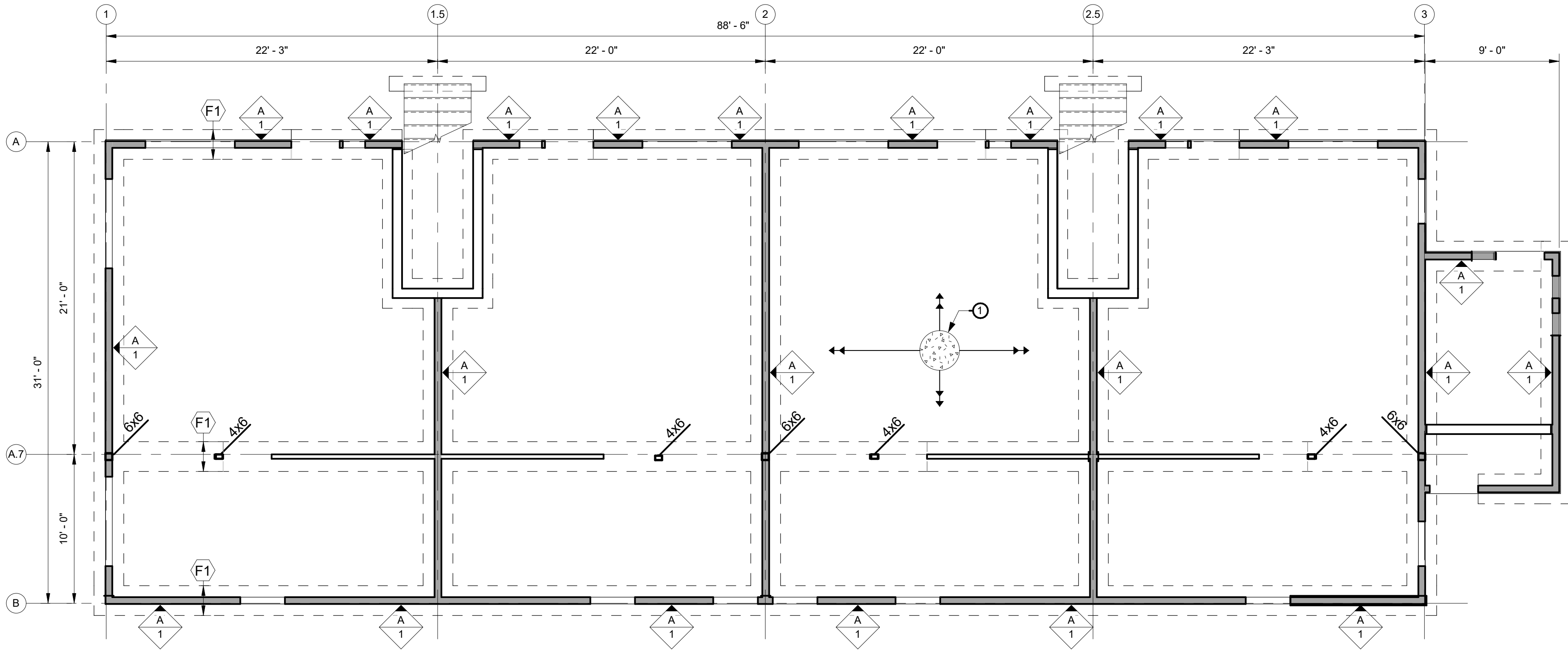
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BUILDING 3

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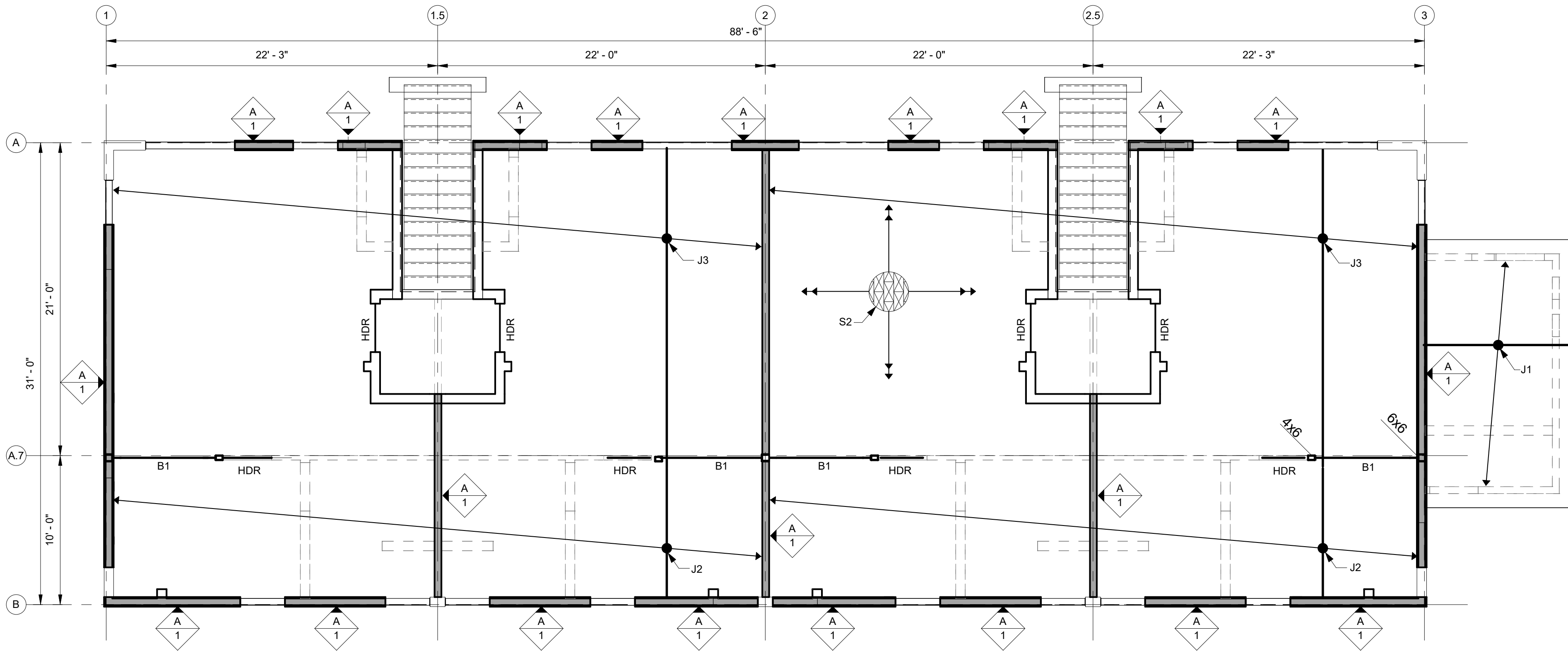
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BUILDING 3  
SECTIONS

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A5.31



1 FOUNDATION PLAN  
3/16" = 1'-0"



2 SECOND FLOOR FRAMING PLAN  
3/16" = 1'-0"

PLAN NOTES

1. SEE GSN's FOR ABBREVIATIONS AND SYMBOLS, AND MATERIAL GRADE REQUIREMENTS.
2. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS AND ALL ITEMS REQUIRED TO BE COORDINATED WITH THIS WORK, BUT NOT SHOWN ON THESE DRAWINGS.
3. REFER TO CIVIL AND MECH ENGINEERING DRAWINGS FOR EXTENT OF ALL STORM, WATER, SEWER PIPES, AND FOR PLACEMENT AND LOCATION OF ALL UNDER SLAB DRAINS AND DUCT PENETRATIONS.
4. SEE ARCH DWGS FOR DIMENSIONS FOR DRAINS AND SLOPED SLAB AREAS.

KEYED NOTES

1. INDICATES 6" SLAB ON GRADE W/ #4 AT 18" OC CENTERED VERT IN SLAB

NOTE: BUILDING 2 TO HAVE SIMILAR CONFIGURATION.

DIAPHRAGM SHEATHING SCHEDULE						
MARK	THICKNESS	PANEL EDGE ATTACHMENT	FIELD ATTACHMENT	BLOCKING REQUIREMENT	FASTENER ROWS	REFERENCE/ NOTES
S1	7/16"	8d AT 6" OC	8d AT 12" OC	UNBLOCKED	(1)	-
S2	23/32"	10d AT 6" OC	10d AT 12" OC	UNBLOCKED	(1)	-

JOIST SCHEDULE			
MARK	SIZE	SPACING	REFERENCE/ NOTES
J1	PMT	24" OC	-
J2	11 7/8" TJI 110	16" OC	HANGER PER MANUF
J3	11 7/8" TJI 360	16" OC	HANGER PER MANUF

BEAM SCHEDULE		
MARK	SIZE	REFERENCE/ NOTES
B1	5 1/2x11 7/8 GLB	(S) HU OR HB HANGER, UNO

COLUMN SCHEDULE				
MARK	SIZE	CAP/BUCKET	BASE/PLATE	REFERENCE/ NOTES
C1	4x6	PC4Z	(S) ABU44	-
C2	6x6	PC6Z	(S) ABU66	-

FOOTING SCHEDULE				
MARK	TRANSVERSE SIZE (WIDTH) AND REINFORCEMENT	LONGITUDINAL SIZE (LENGTH) AND REINFORCEMENT	THICKNESS	REFERENCE/ NOTES
F1	2'-0" W/ (2) #4 BOT	CONT.	12"	-

PERMIT SET

REVISIONS:

# DATE DESC.

SHEET TITLE:

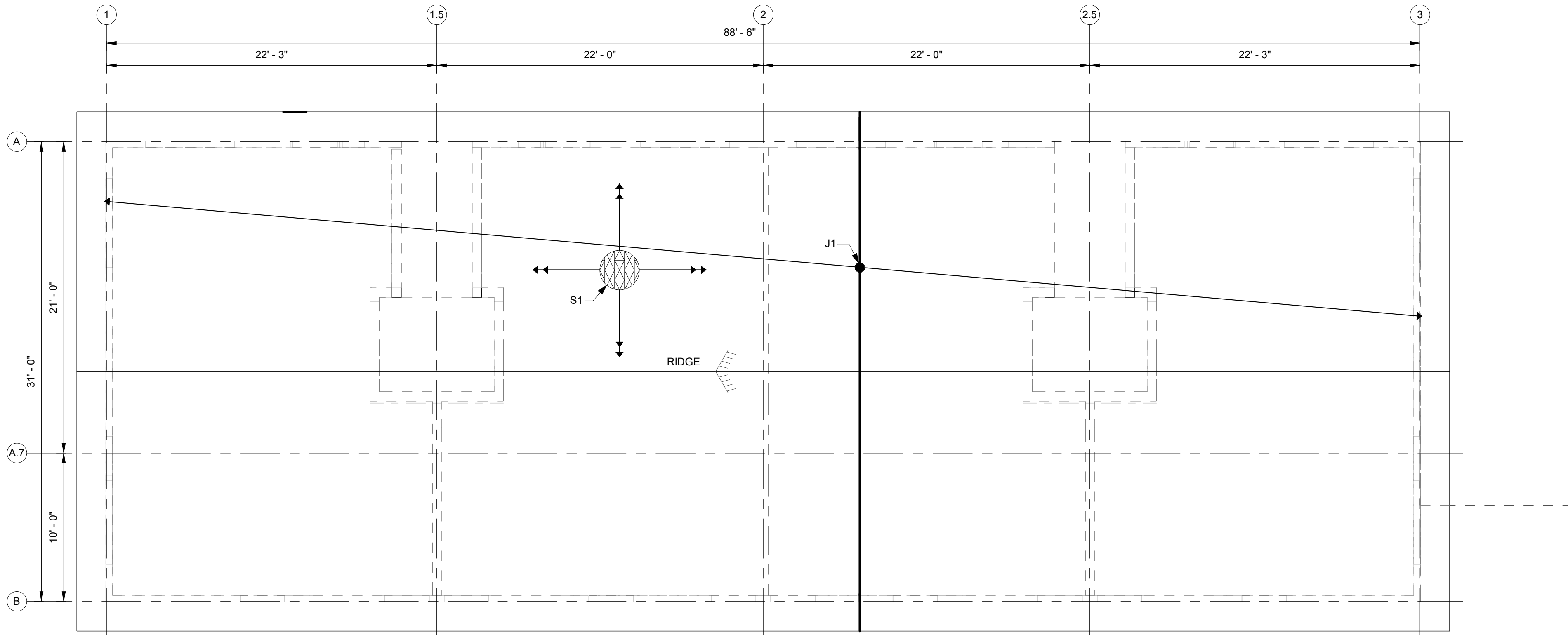
BUILDING 1 -  
FOUNDATION /  
SECOND FLOOR  
FRAMING PLAN

PROJECT # 20162

ISSUE DATE: 10/14/2020

AUTHOR: SD





1 ROOF FRAMING PLAN  
3/16" = 1'-0"

PLAN NOTES

- SEE GSN's FOR ABBREVIATIONS AND SYMBOLS, AND MATERIAL GRADE REQUIREMENTS.
- REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS AND ALL ITEMS REQUIRED TO BE COORDINATED WITH THIS WORK, BUT NOT SHOWN ON THESE DRAWINGS.
- REFER TO CIVIL AND MECH ENGINEERING DRAWINGS FOR EXTENT OF ALL STORM, WATER, SEWER PIPES, AND FOR PLACEMENT AND LOCATION OF ALL UNDER SLAB DRAINS AND DUCT PENETRATIONS.
- ALL FRAMING TO BE CENTERED ON WALLS, COLUMN, GRIDLINES,OR LOCATED AT EQUAL SPACES BETWEEN GRIDLINES, UNO.

KEYED NOTES

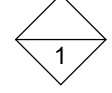
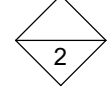
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NOTE: BUILDING 2 TO HAVE SIMILAR CONFIGURATION.

DIAPHRAGM SHEATHING SCHEDULE						
MARK	THICKNESS	PANEL EDGE ATTACHMENT	FIELD ATTACHMENT	BLOCKING REQUIREMENT	FASTENER ROWS	REFERENCE/ NOTES
S1	7/16"	8d AT 6" OC	8d AT 12" OC	UNBLOCKED	(1)	-

JOIST SCHEDULE			
MARK	SIZE	SPACING	REFERENCE/ NOTES
J1	PMT	24" OC	-

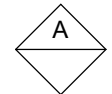
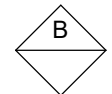
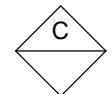


HOLDOWN SCHEDULE						
MARK	HOLDOWN	WOOD MEMBER	WOOD FASTENER	ANCHOR BOLT	ANCHOR BOLT EMBEDMENT (IN)	COMMENTS
	(S) HDU4-SDS2.5	(2) 2x	(10) 1/4" DIA x 2 1/2" SDS SCREWS	(S) PAB 5	de = 8"	N/A
	(S) HDU14-SDS2.5	(1) 6x	(36) (S) SDS SCREWS	(S) PAB 8	de = 11"	N/A

NOTES:

- DOUBLE STUDS ARE REQUIRED AT HOLDOWNS UNLESS NOTED OTHERWISE. DOUBLE STUDS SHALL BE LAMINATED TOGETHER WITH 16d NAILS AT 6" OC FULL HEIGHT, TYP.
- PROVIDE HOLDOWN NOTED WITHIN 6" FROM EACH END OF EACH SHEAR WALL SHOWN ON PLANS.
- PROVIDE (2) ADDL VERT DOWELS WITH STD HK IN FTG AT EA ANCHOR BOLT LOCATION.
- INSTALL ANCHORS PER MANUFACTURER'S RECOMMENDATIONS.
- ADJUST FOOTING AND STEM WALL HEIGHT TO ACCOMMODATE ANCHOR BOLT EMBEDMENT REQUIREMENTS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL HOLDOWN ANCHORS AND BOLTS SHALL BE INSTALLED IN THE CORRECT LOCATION IN THE TOP OF THE CONCRETE WALL AND SECURED TO THE FORMS PRIOR TO CONCRETE INSTALLATION. THERE IS NO PRACTICAL SOLUTION TO POST-INSTALLED HOLDOWN ANCHORS IN THE TOP OF THE CONCRETE STEM WALL. NO EPOXY OR MECHANICAL ANCHOR BOLT ALTERNATIVES WILL BE OFFERED FOR MISSING OR MISPLACED EMBEDDED ANCHORS. CONCRETE FOOTINGS AND STEM WALLS MAY HAVE TO BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE TO MITIGATE MISPLACED, MISALIGNED, OR MISSING HOLDOWN ANCHORS OR BOLTS.
- DO NOT NAIL BOTTOM HALF OF STRAP TO BUILT UP STUD UNTIL ALL FLOOR AND ROOF FRAMING HAS BEEN INSTALLED.
- IT IS ACCEPTABLE TO SUBSTITUTE ASTM F1554, GRADE 36 OR ASTM A36 THREADED ROD WITH DOUBLE HEAVY HEX NUT AND PLATE WASHER FOR (S) PAB ANCHOR. THE DIAMETER OF THE THREADED ROD SHALL BE EQUIVALENT TO THE DIAMETER OF THE SIMPSON ANCHOR SPECIFIED. SEE SIMPSON CATALOG FOR LOCATION OF PLATE WASHER AND DOUBLE NUT.

1 HOLDOWN SCHEDULE  
NTS

SHEAR WALL SCHEDULE										
MARK	SHEATHING	SIDE	PANEL NAILING			PANEL BLOCKING	SILL PLATE	ANCHOR BOLTS	SILL NAILING	VALUE (PLF)
			SIZE	EDGE	FIELD					
	15/32" APA RATED SHEATHING WITH STUDS AT 16" OC	ONE	10d	6" OC	12" OC	2x	2x	5/8" x 10" AT 40" OC	16d AT 4" OC	340
	15/32" APA RATED SHEATHING WITH STUDS AT 16" OC	ONE	10d	2" OC	12" OC	3x	<div>3x</div> <div>(2) 2x</div>	5/8" x 12" AT 18" OC	16d AT 1 1/2" OC ES	-
	15/32" APA RATED SHEATHING WITH STUDS AT 16" OC	TWO	10d	2" OC	12" OC	3x	<div>3x</div> <div>(2) 2x</div>	5/8" x 12" AT 12" OC	16d AT 1 1/2" OC ES	-

NOTES:

- 10d NAIL = 3" x 0.148" COMMON OR 3" x 0.128" GALVANIZED BOX.
- IF AB SPACING IS GREATER THAN SHEAR WALL LENGTH INSTALL (1) AB WITHIN 12" OF EACH END.
- NAIL SIZES SHOWN ARE FOR COMMON NAILS OR GALVANIZED BOX. POWER DRIVEN NAILS SHALL COMPLY WITH ESR 1539 FOR RECOMMENDED SPACING AND INSTALLATION TO COMPLY WITH THE ABOVE SHEAR WALL SCHEDULE.
- SILL PLATE ANCHORS SHALL INCLUDE A STEEL PLATE WASHER NOT LESS THAN 0.229"x3"x3" IN SIZE PER AFANDPA SDPWS SECTION 4.3.6.4.3. THE HOLE IN THE PLATE WASHERS SHALL BE PERMITTED TO BE DIAGONALLY SLOTTED W/ A WIDTH OF UP TO 3/16" LARGER THAN THE BOLT DIAMETER AND A SLOT LENGTH NOT TO EXCEED 1 3/4", PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING.
- WHERE SHEAR DESIGN VALUES EXCEED 700 POUNDS PER LINEAR FOOT (350 PLF ASD), ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER, OR TWO 2-INCH NOMINAL MEMBERS FASTENED TOGETHER IN ACCORDANCE WITH SECTION 2306.1 TO TRANSFER THE DESIGN SHEAR VALUES BETWEEN FRAMING MEMBERS. WOOD STRUCTURAL PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES. SEE 7/S7.0 FOR ADDITIONAL INFORMATION.
- WHERE PANELS ARE APPLIED TO BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" OC ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. ALTERNATIVELY, THE WIDTH OF THE NAILED FACE OF FRAMING SHALL BE 3-INCH NOMINAL OR GREATER AT ADJOINING PANEL EDGES AND NAILS AT ALL PANEL EDGES SHALL BE STAGGERED.
- SHEAR WALL NAILING MUST BE INSTALLED SUCH THAT THE NAIL HEAD OR CROWN IS FLUSH WITH THE SURFACE OF SHEATHING. OVERDRIVEN OR OVERPENETRATED NAILS WILL NOT BE ALLOWED OR COUNTED AS APPROPRIATE NAILING.

2 SHEAR WALL SCHEDULE  
NTS



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OLYMPIA CREST PHASE III - BUILDING 1

PERMIT SET

REVISIONS:

#	DATE	DESC.
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SHEET TITLE:

SHEARWALL /  
HOLD-DOWN  
SCHEDULE AND  
DETAILS

PROJECT # 20162

ISSUE DATE: 10/14/2020

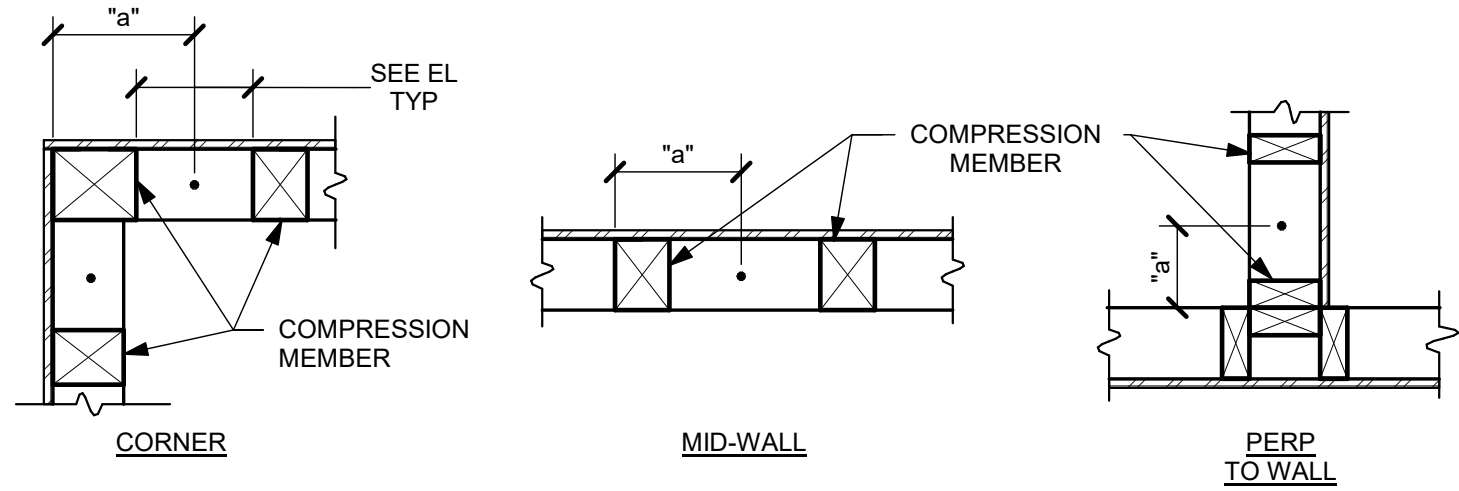
AUTHOR: SD

S7.11

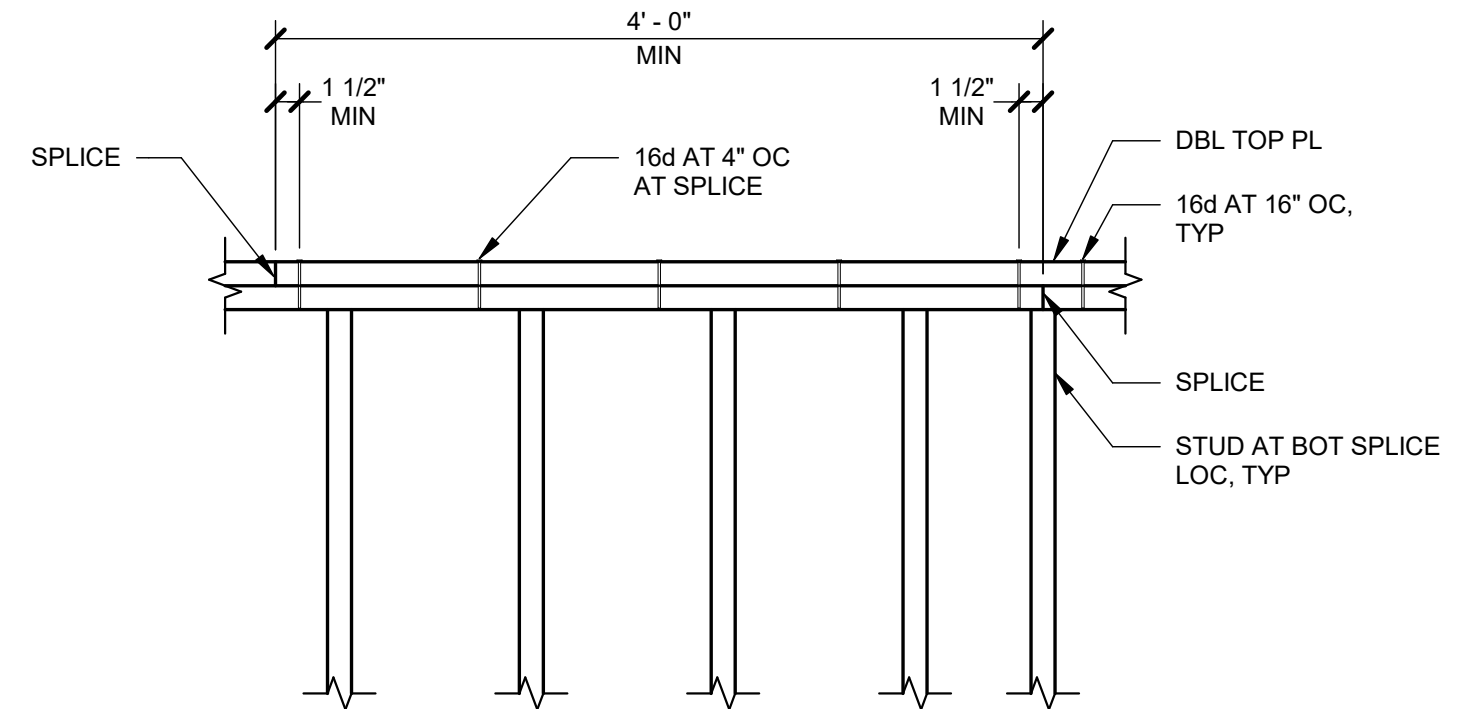


AB LAYOUT		
POST SIZE	"a" W/ 6" SPACING BTWN STUDS	"a" W/ 9" SPACING BTWN STUDS
2x4 OR 2x6	4 1/2"	6"
3x4 OR 3x6	5 1/2"	7"
(2) 2x4 OR (2) 2x6	6"	7 1/2"
(2) 3x4 OR (2) 3x6	8"	9 1/2"
4x6 OR 6x6	8 1/2"	10"
4x8	10 1/2"	11 3/4"
6x8	10 1/2"	12"
4x10	12 1/4"	13 3/4"
6x10	12 1/2"	14"

- NOTES:
1. COMPRESSION MEMBERS DO NOT INCLUDE TRIMMERS
  2. LOC AB W/ NARROWEST COMPRESSION MEMBER
  3. WHEN SHEARWALLS MEET IN A CORNER AND SHARE A COMMON CORNER POST, THE POST SHALL BE THE LARGER OF THAT SPECIFIED FOR EACH INDIVIDUAL SHEARWALL

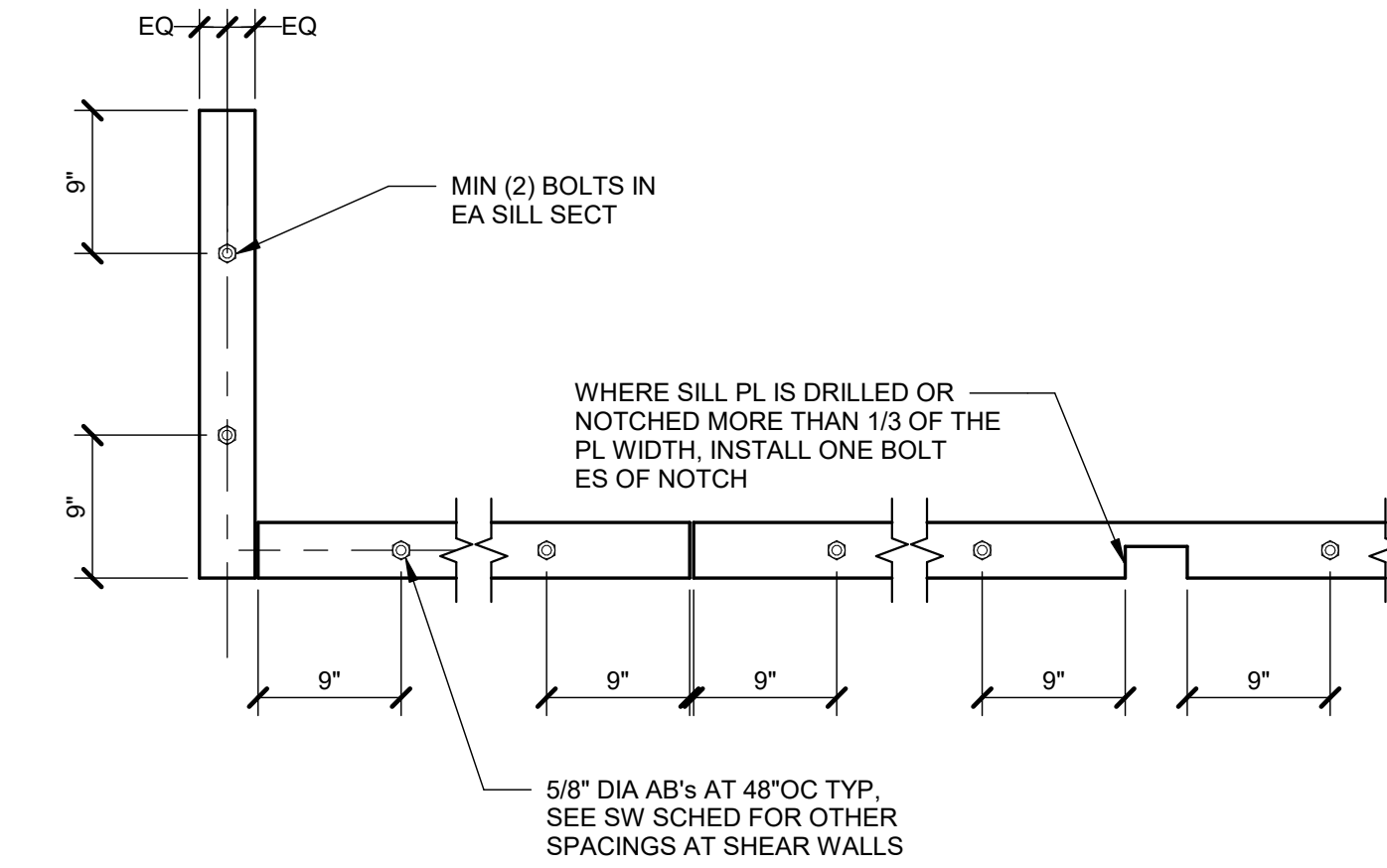


1 ANCHOR BOLT LAYOUT  
NTS

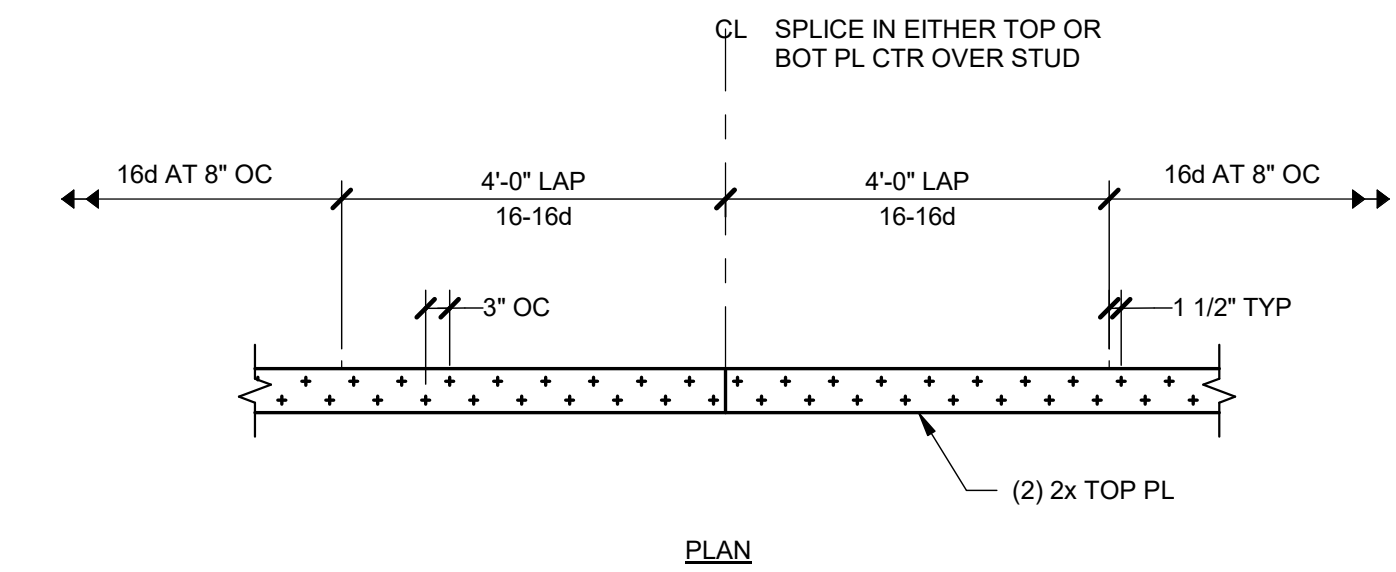


NOTE:  
WHERE PL DISCONTINUITIES ARE CREATED BY BMS AND PIPES, ETC. STRAP W/ (1) (S) ST6236 UNLESS NOTED OTHERWISE. STRAP MAY BE PLACED ON TOP OR SIDE OF PL AT CONTRACTOR'S OPTION.

4 TYPICAL TOP CHORD SPLICE  
NTS

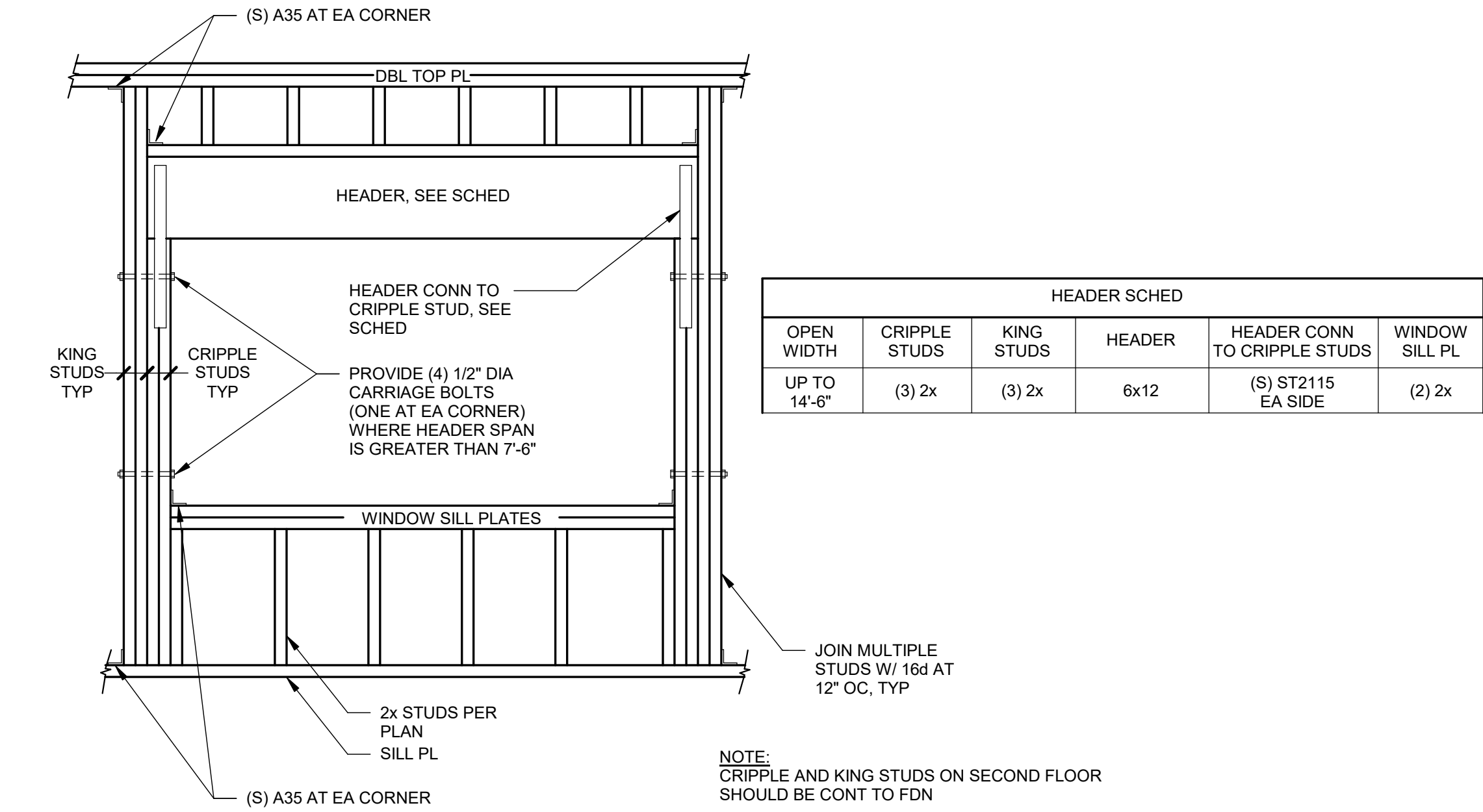


2 SILL PLATE ANCHORAGE  
NTS

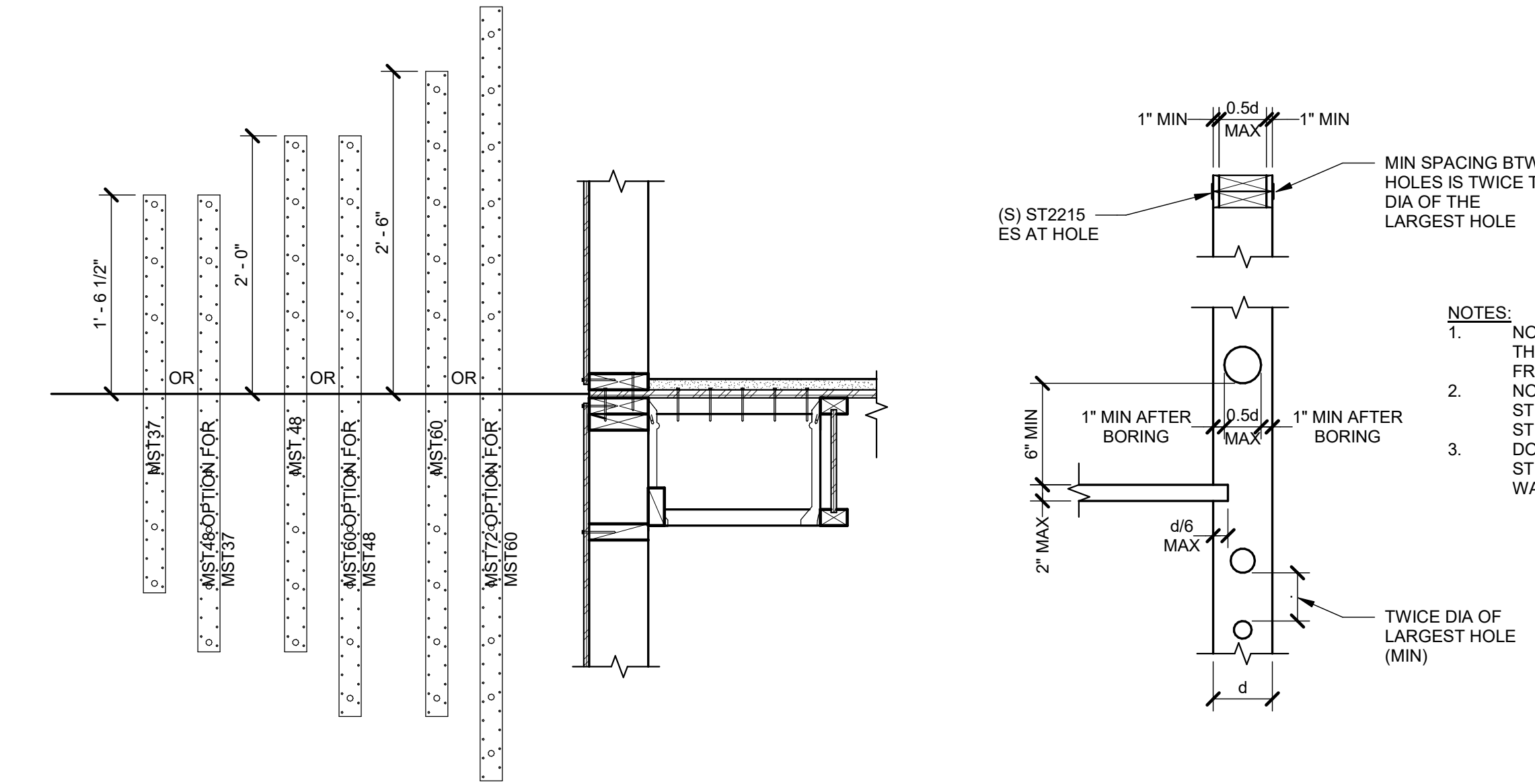


NOTE:  
SEE GSN'S FOR ADDL NAILING NOT SHOWN.

5 TYPICAL TOP PLATE SPLICE  
NTS

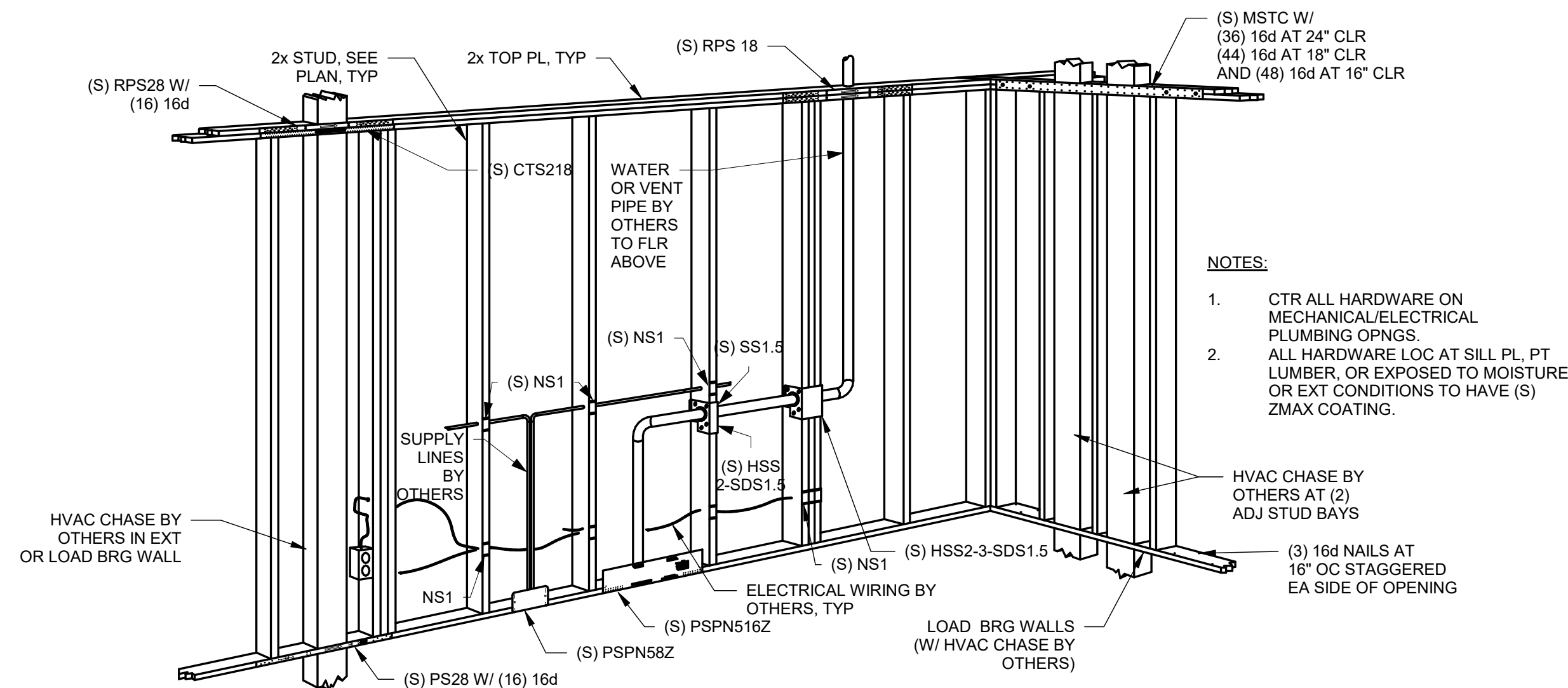


3 TYPICAL OPENING FRAMING  
NTS

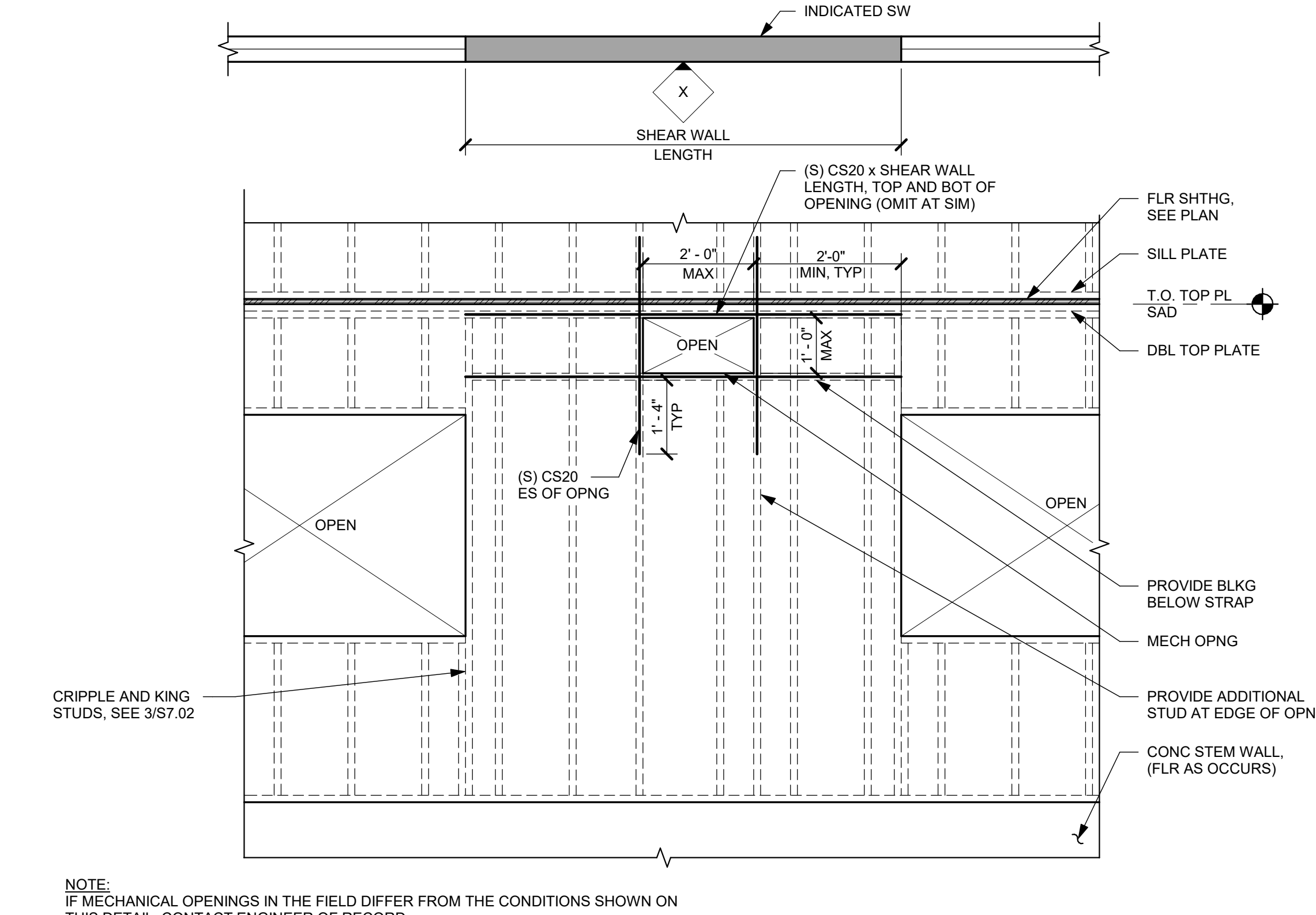


6 STRAP LAYOUT  
NTS

7 STUD NOTCHING AND HOLES  
NTS



8 FRAMING DETAILS FOR UTILITY PENETRATIONS  
1\"/>

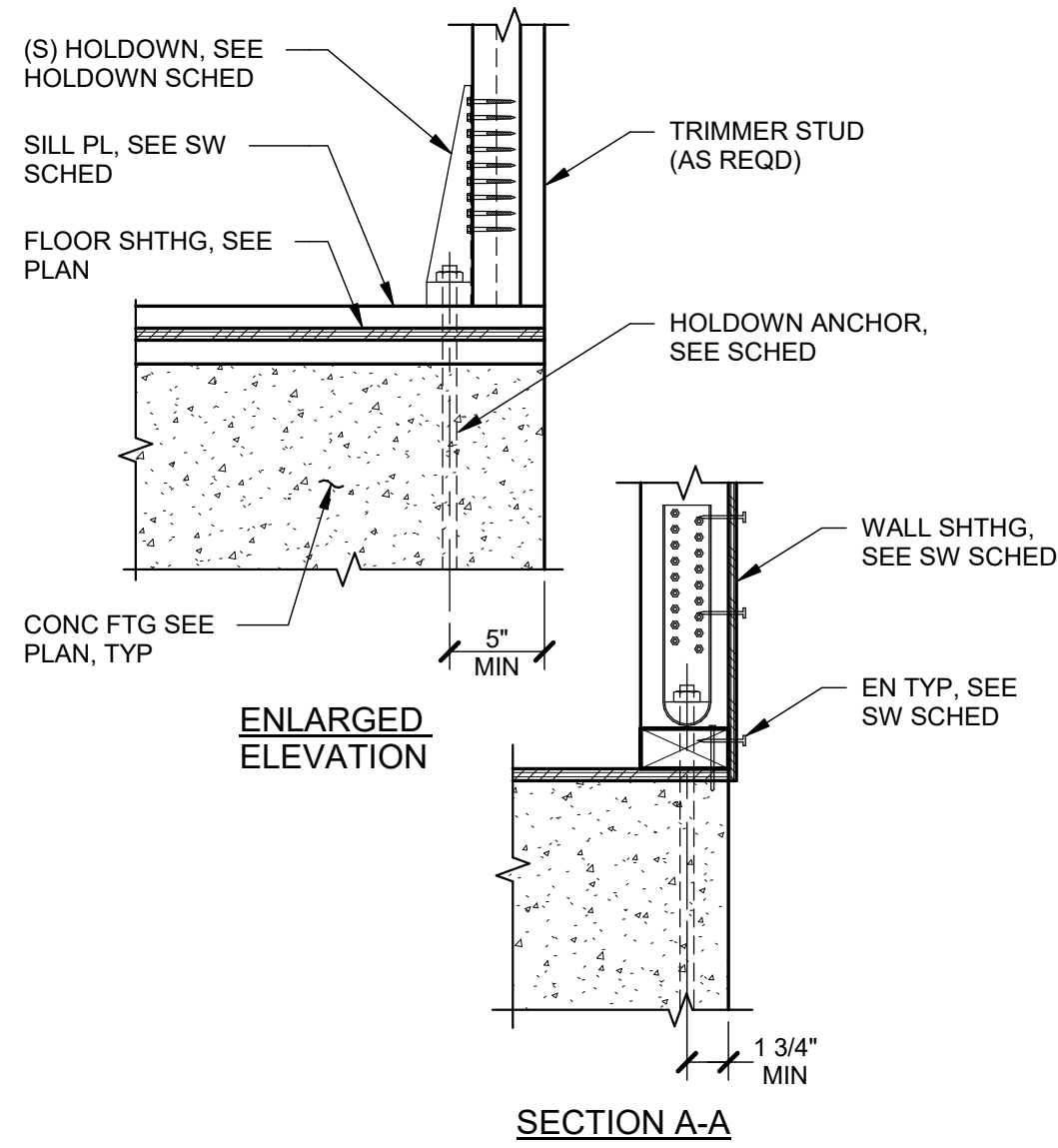


9 MECHANICAL OPENING IN SHEAR WALL  
NTS

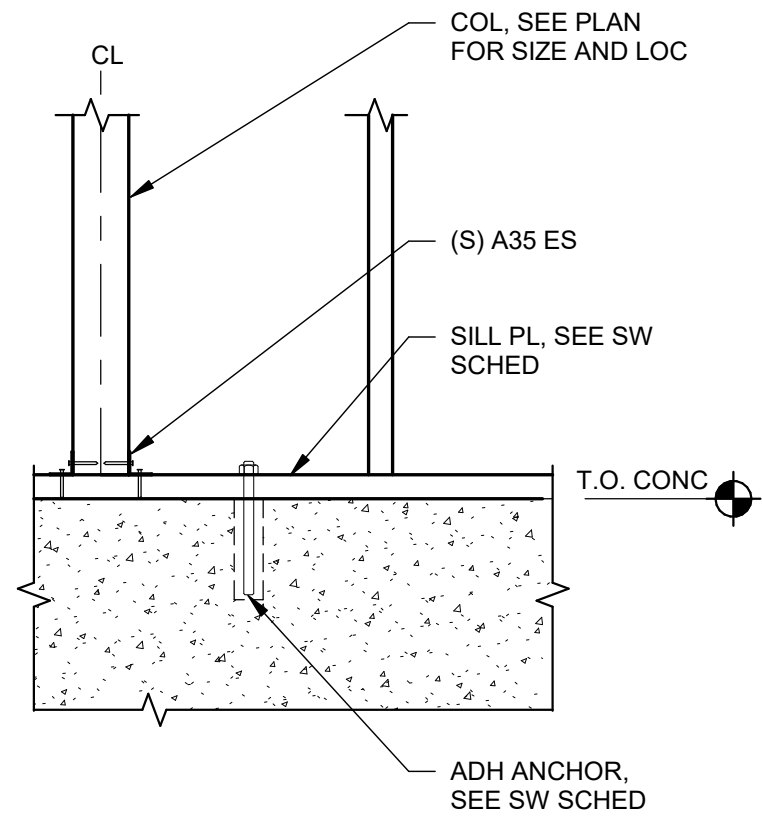
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PROJECT #	20162
ISSUE DATE:	10/14/2020
AUTHOR:	SD

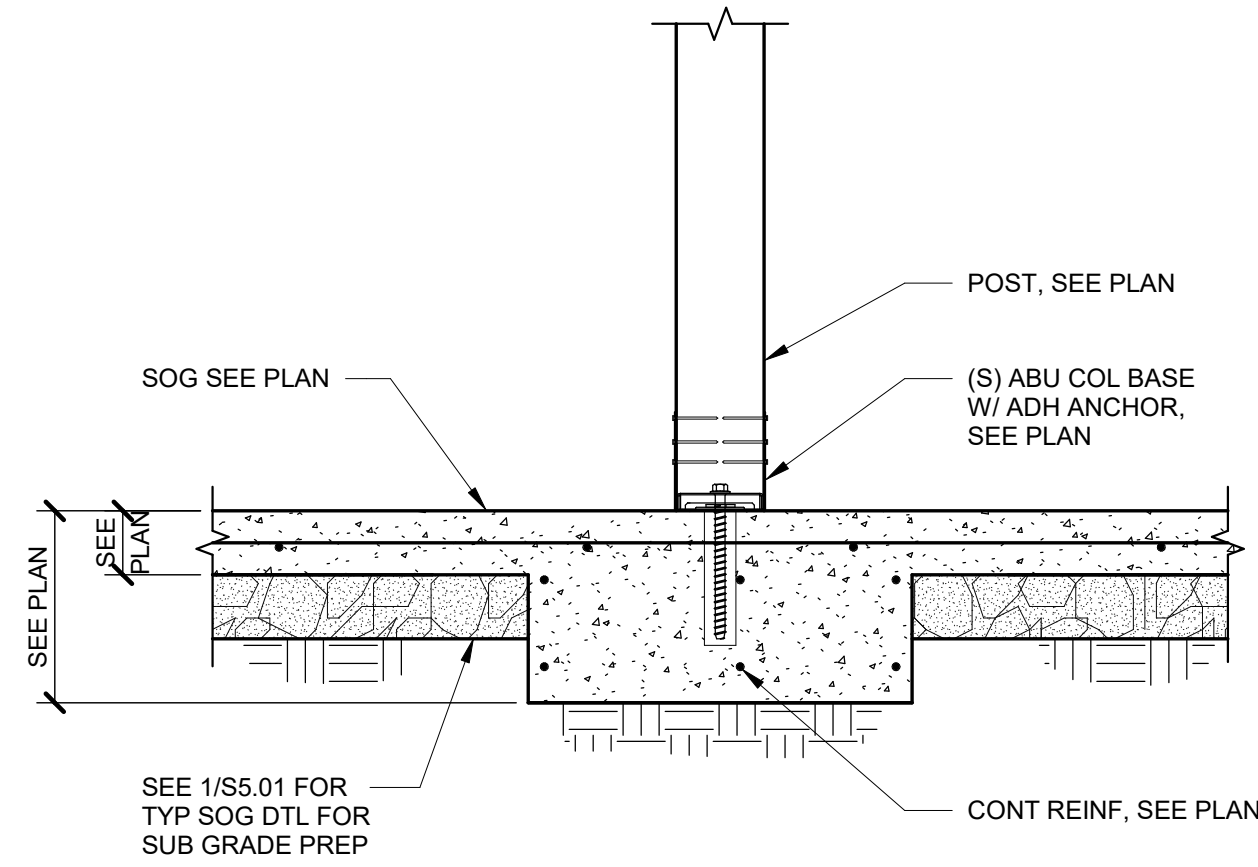




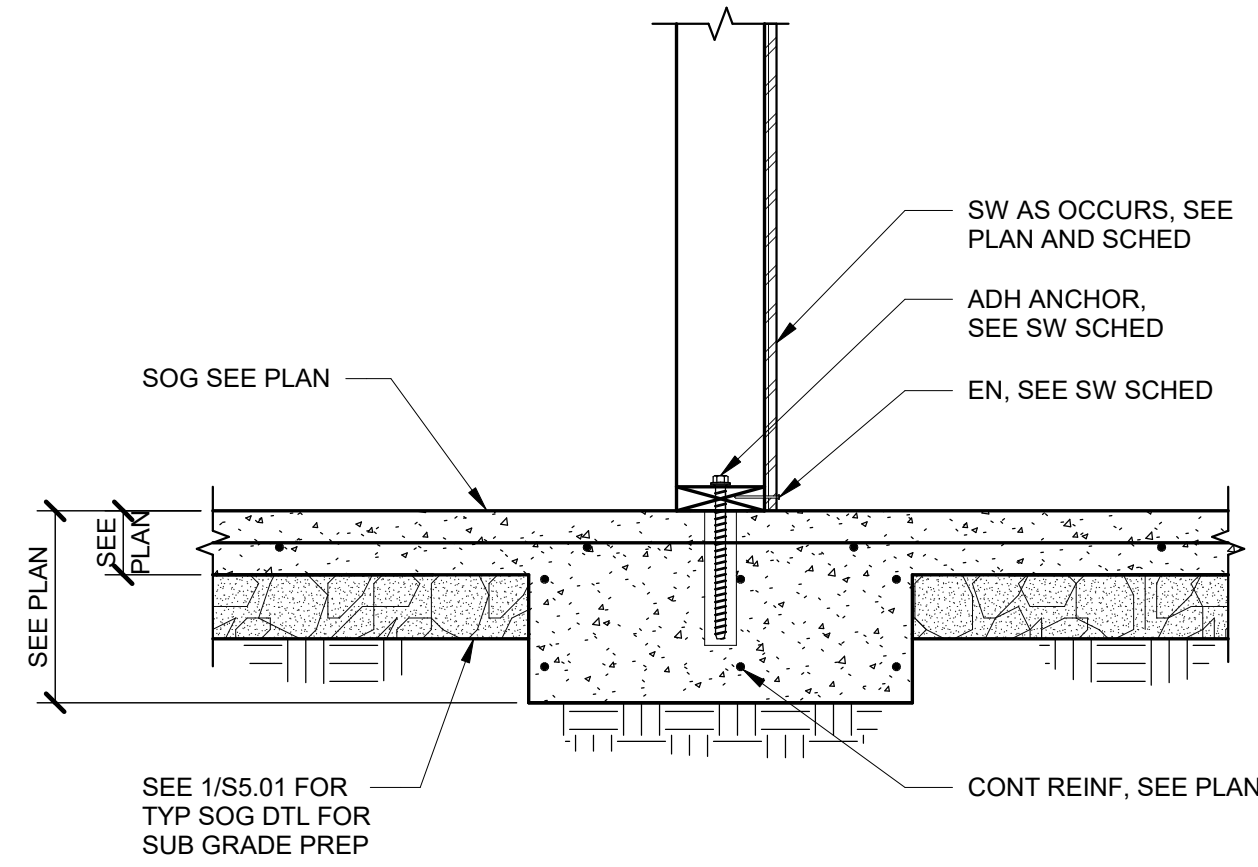
1 TYPICAL SHEAR WALL AND HOLDOWN ELEVATION  
1" = 1'-0"



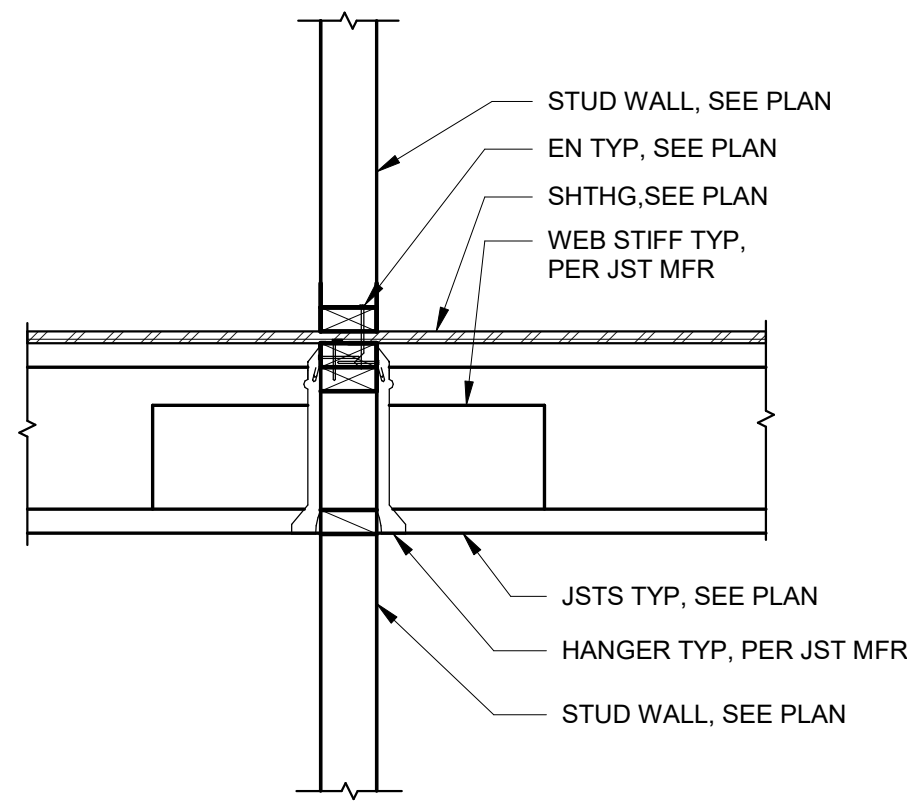
2 WOOD POST ON SILL PLATE  
NTS



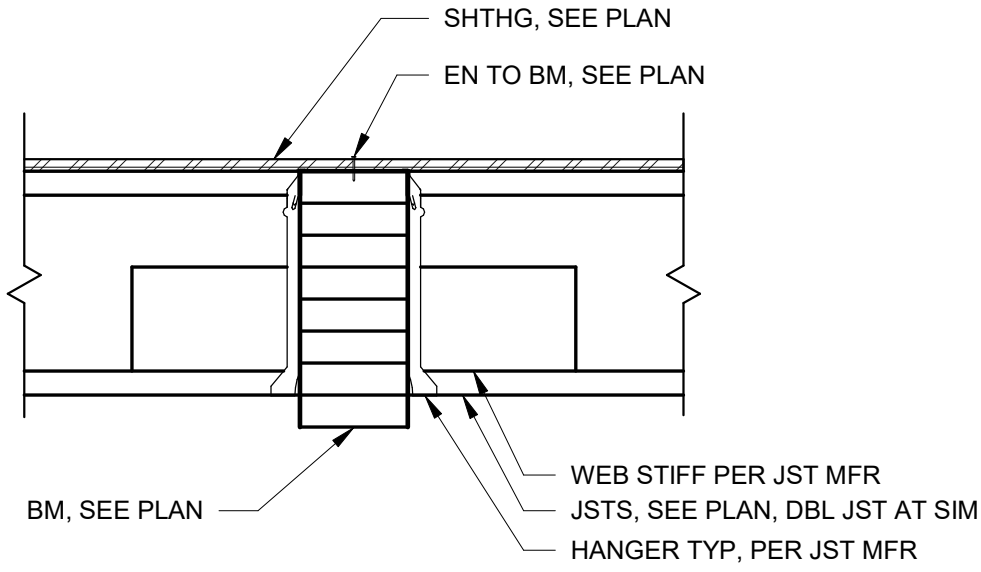
3 INTERIOR FOOTING AT WOOD COLUMN  
1" = 1'-0"



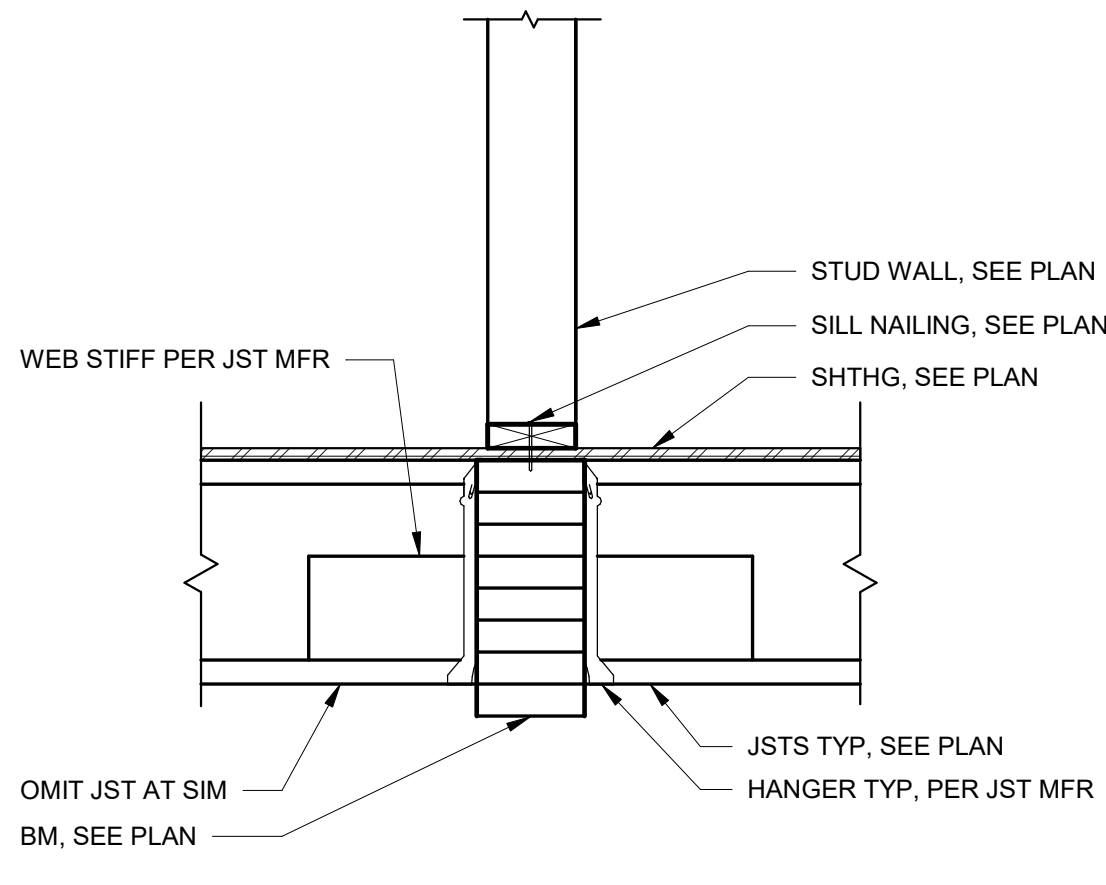
4 TYPICAL INTERIOR BEARING WALL FOOTING  
1" = 1'-0"



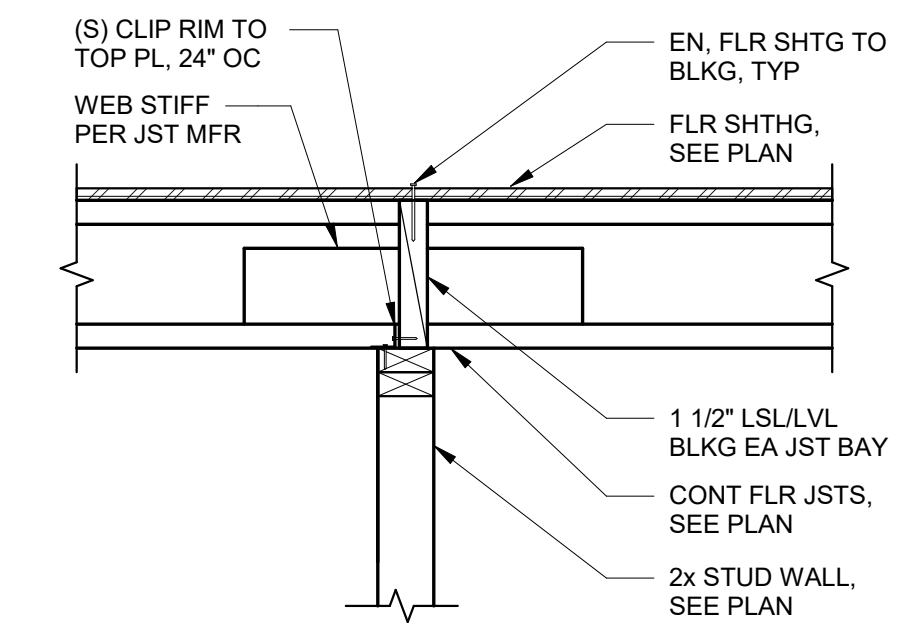
5 FLOOR JOIST AT STUD WALL (PERPENDICULAR W/ NO RIM)  
1" = 1'-0"



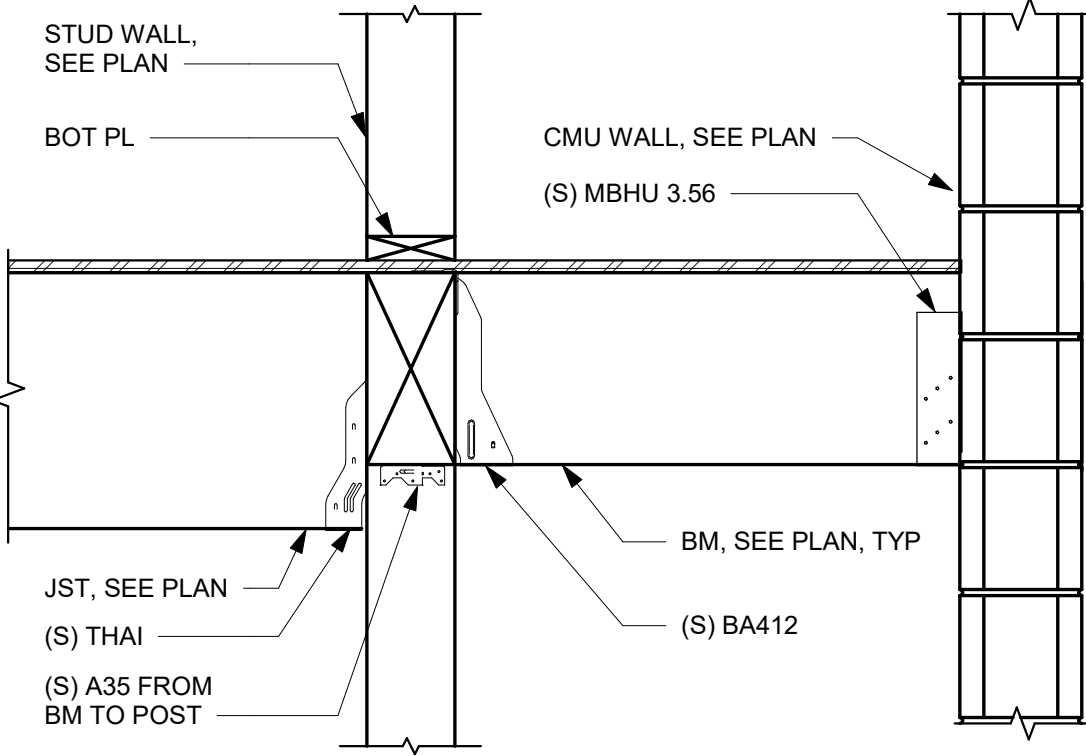
6 TYP JOIST AT BEAM  
1" = 1'-0"



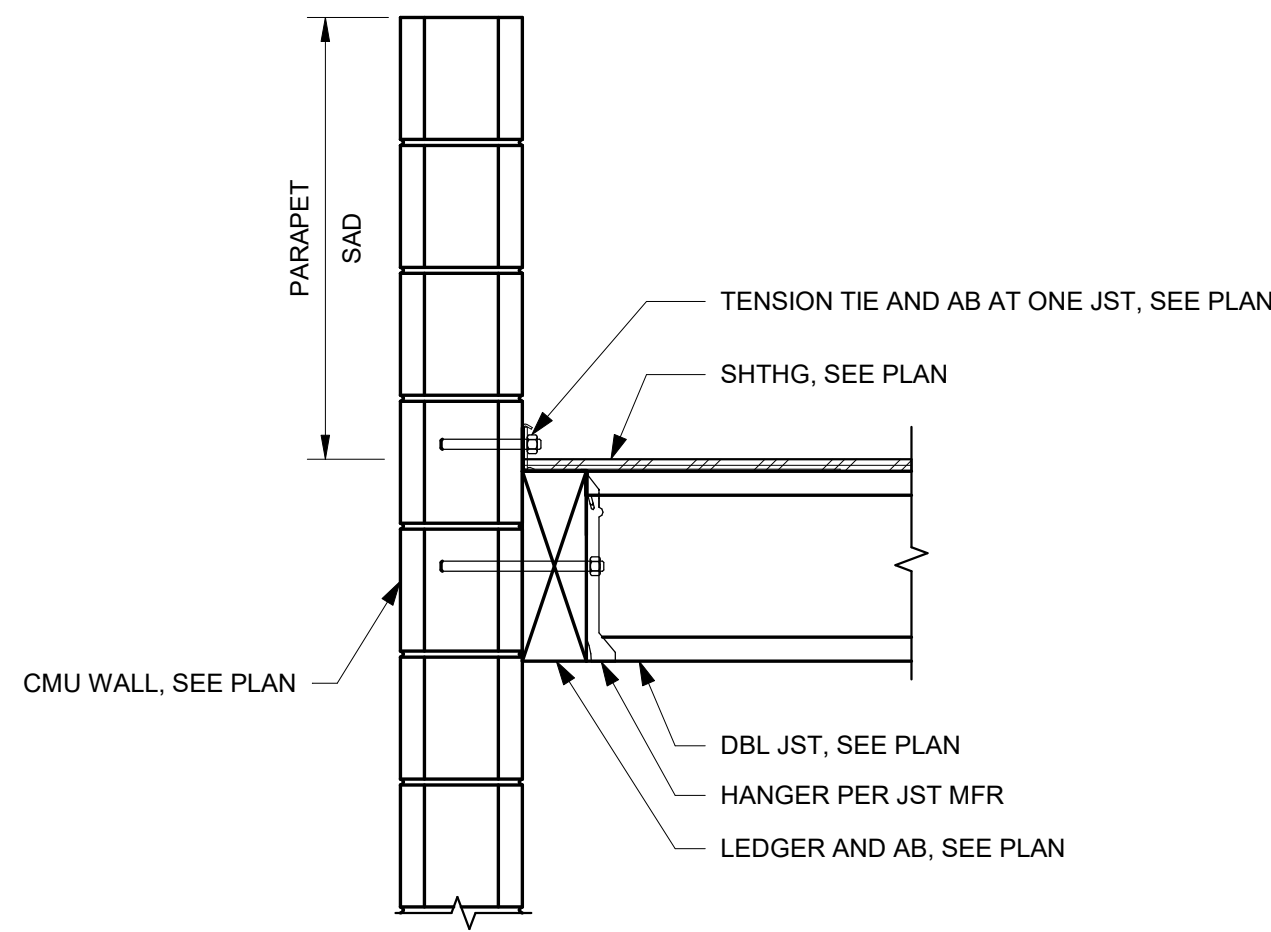
7 BEARING WALL AT BEAM  
1" = 1'-0"



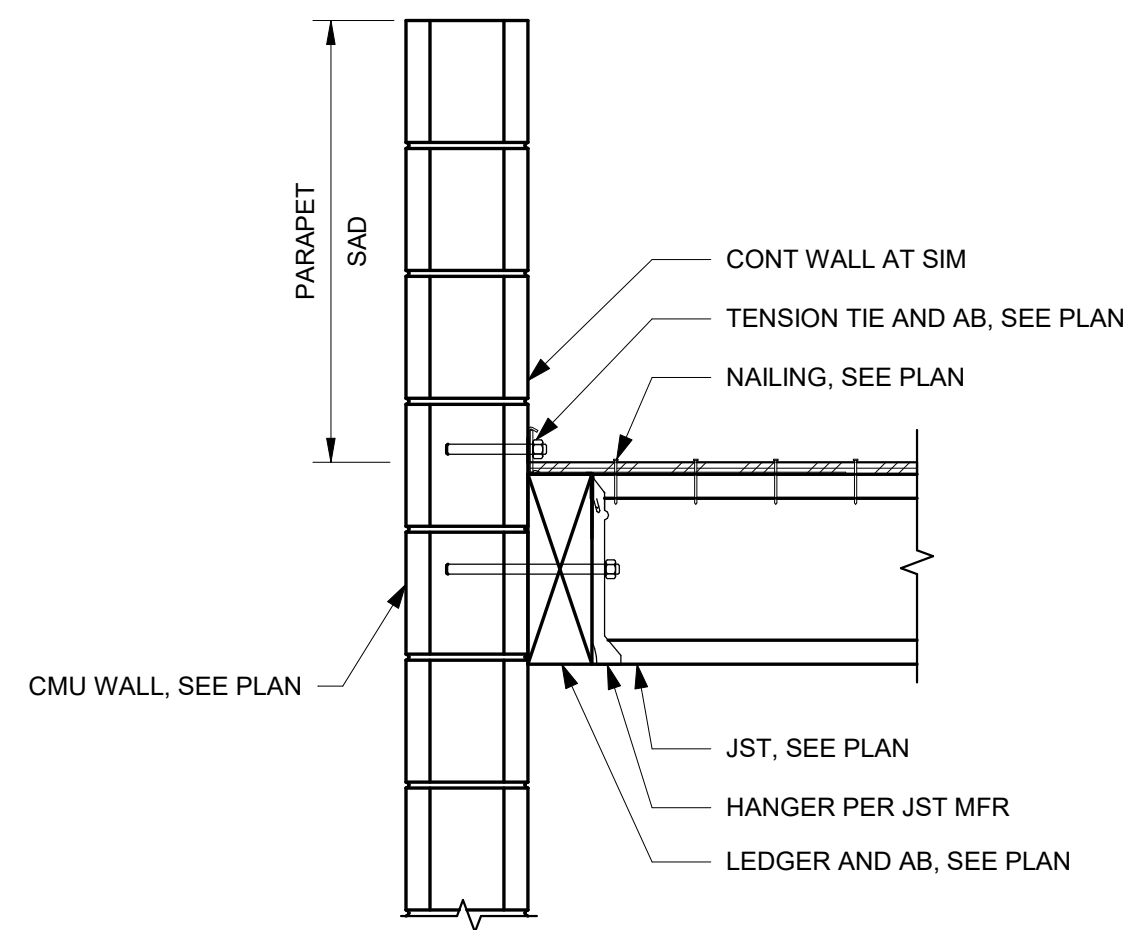
8 CONT JOIST PERPENDICULAR TO INTERIOR BEARING  
1" = 1'-0"



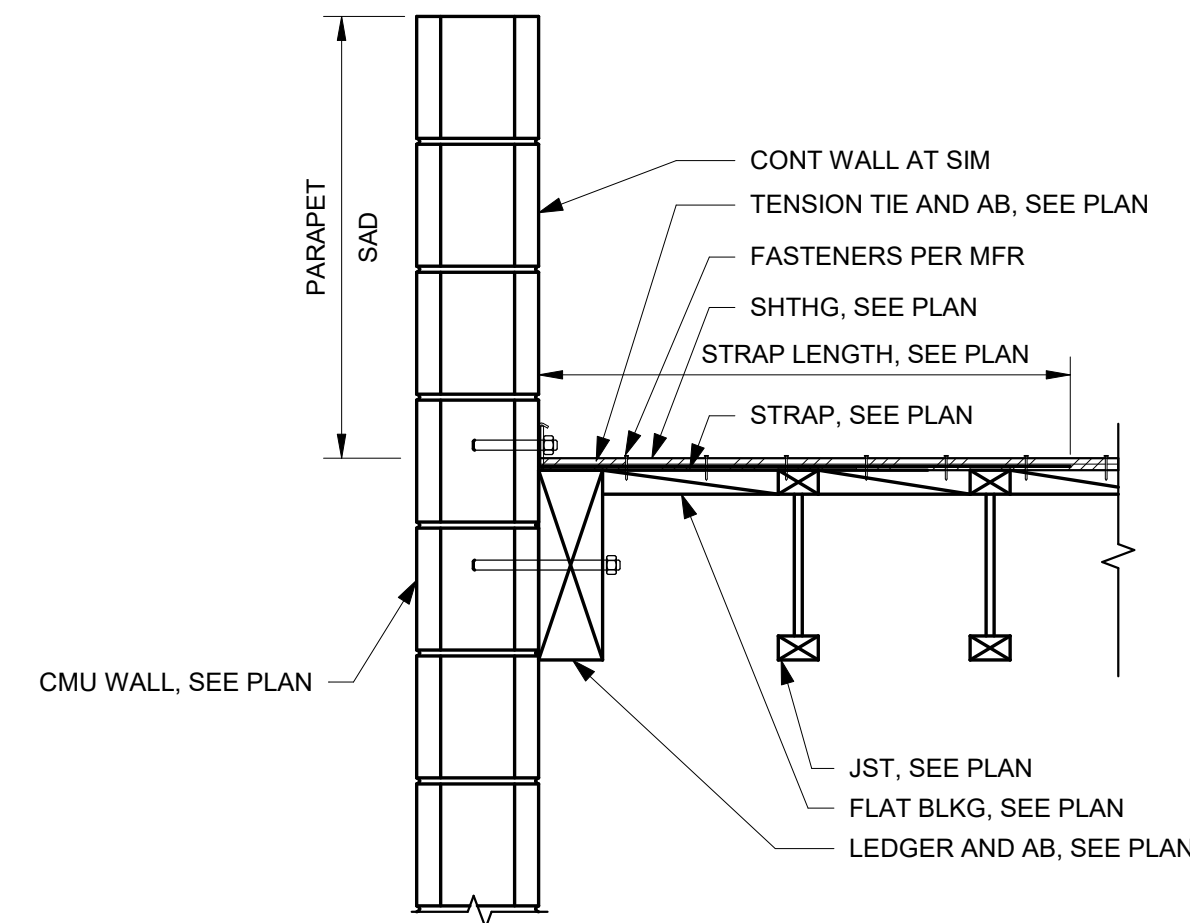
9 BEAM AT STAIRS  
1" = 1'-0"



10 DOUBLE JOIST PERP TO CMU WALL  
1" = 1'-0"



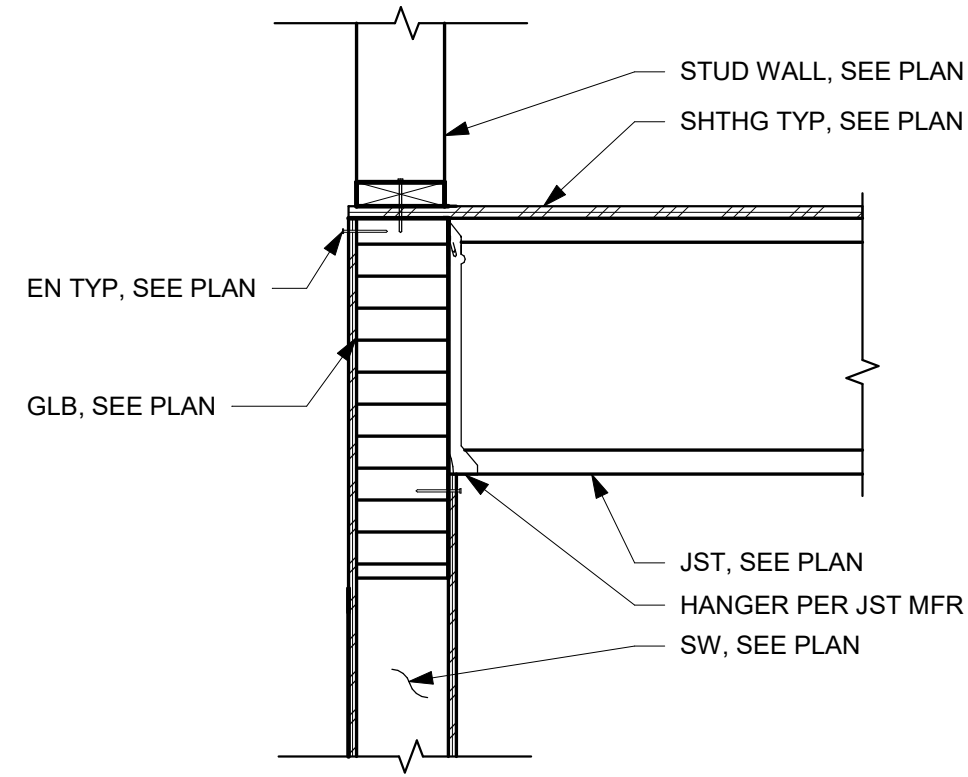
11 TYP EXTERIOR WALL- JOIST PERPENDICULAR  
1" = 1'-0"



12 TYP WALL ANCHORAGE  
1" = 1'-0"

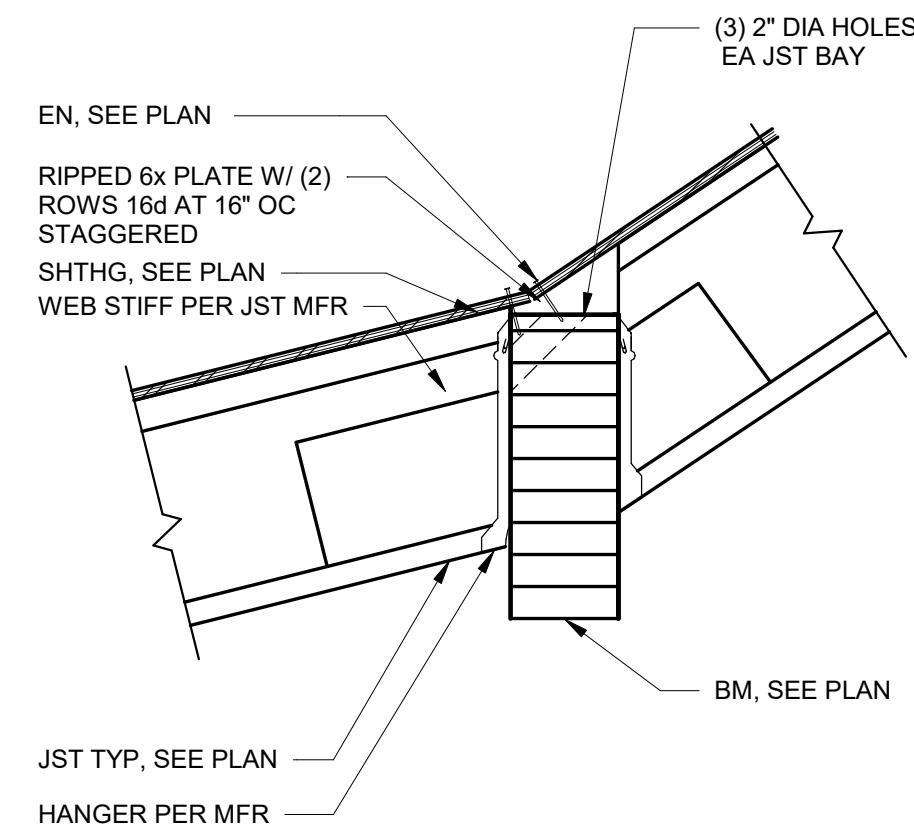
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REVISIONS:		
#	DATE	DESC.
SHEET TITLE:		
TYPICAL WOOD DETAILS		
PROJECT # 20162		
ISSUE DATE: 10/14/2020		
AUTHOR: SD		



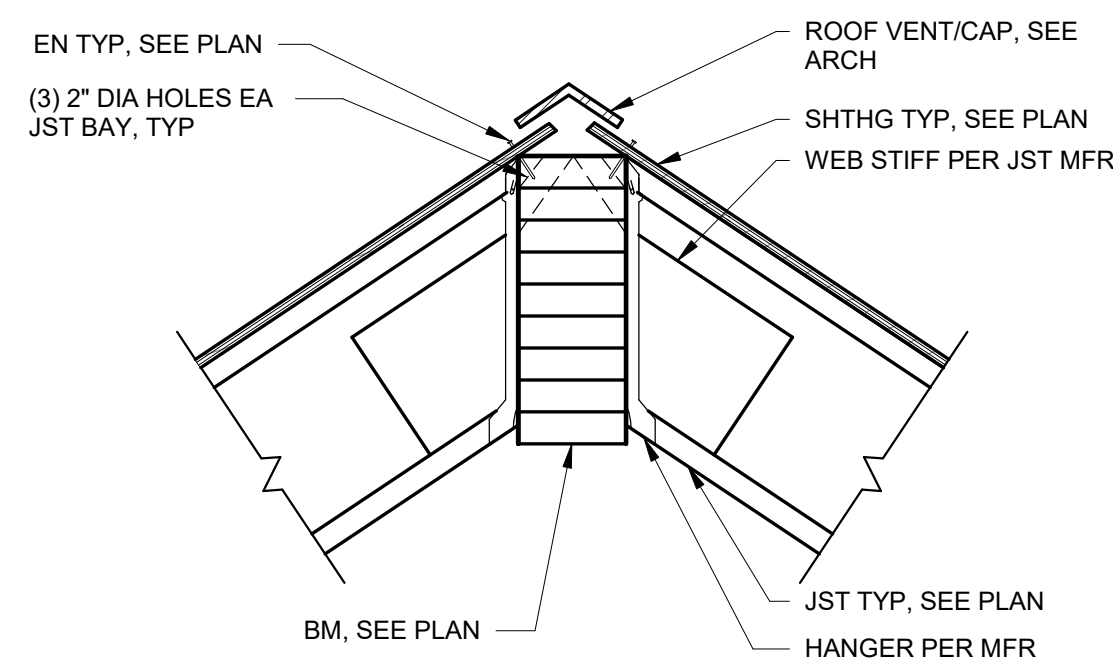


1 GLB ON TOP OF SW  
1" = 1'-0"

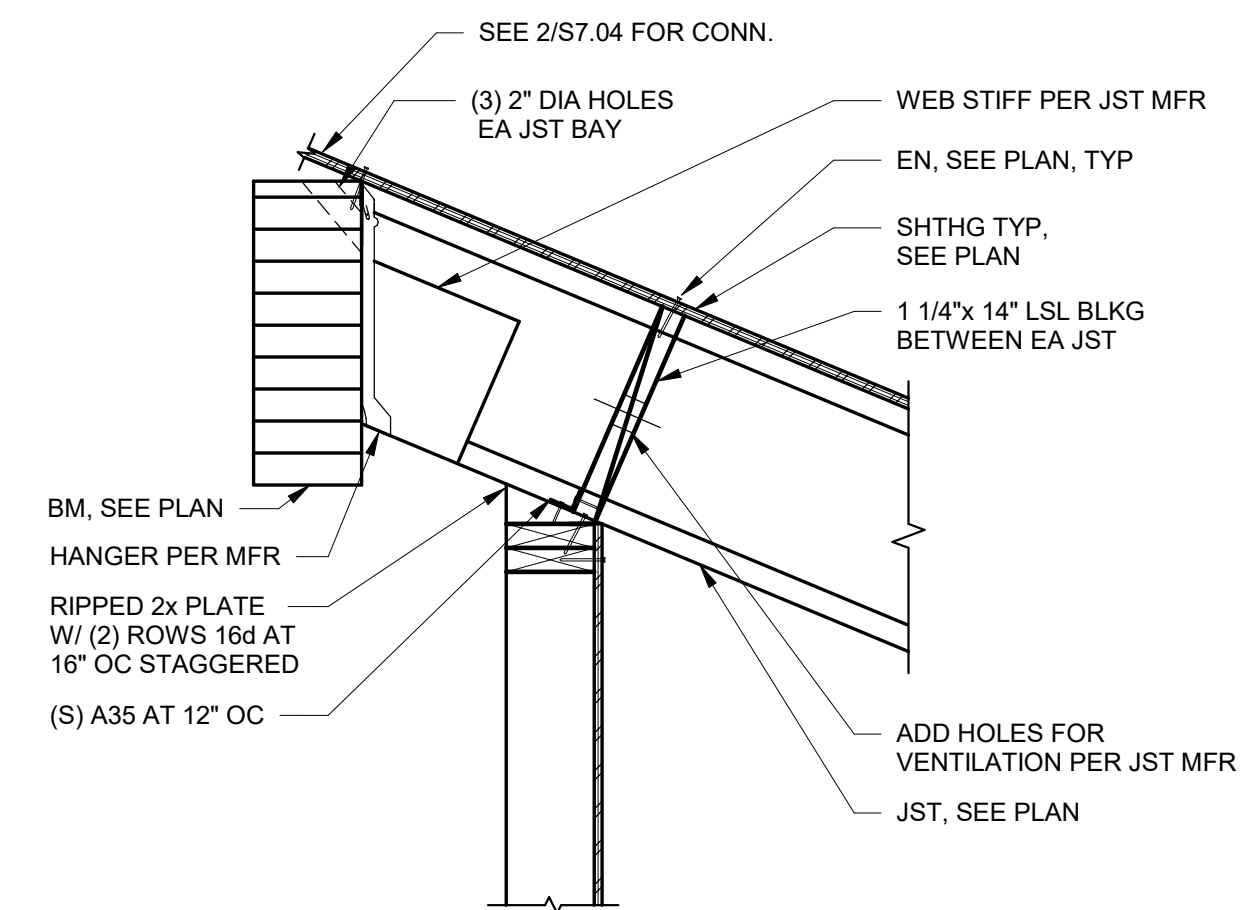
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2 ROOF PITCH  
1" = 1'-0"

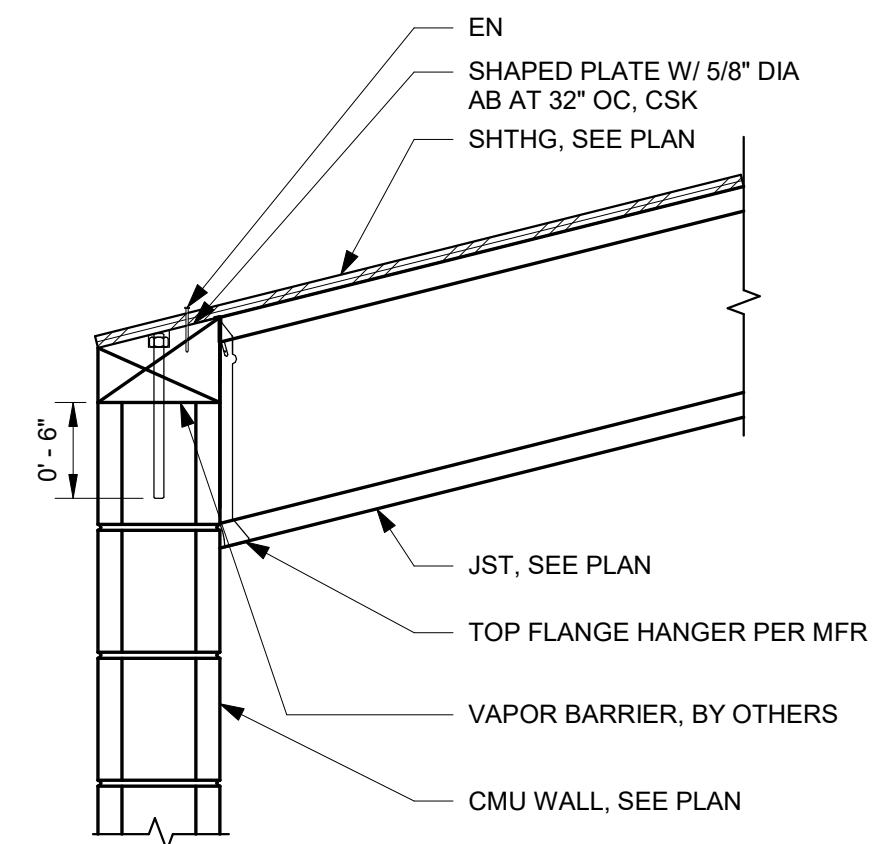


3 ROOF RIDGE  
1" = 1'-0"

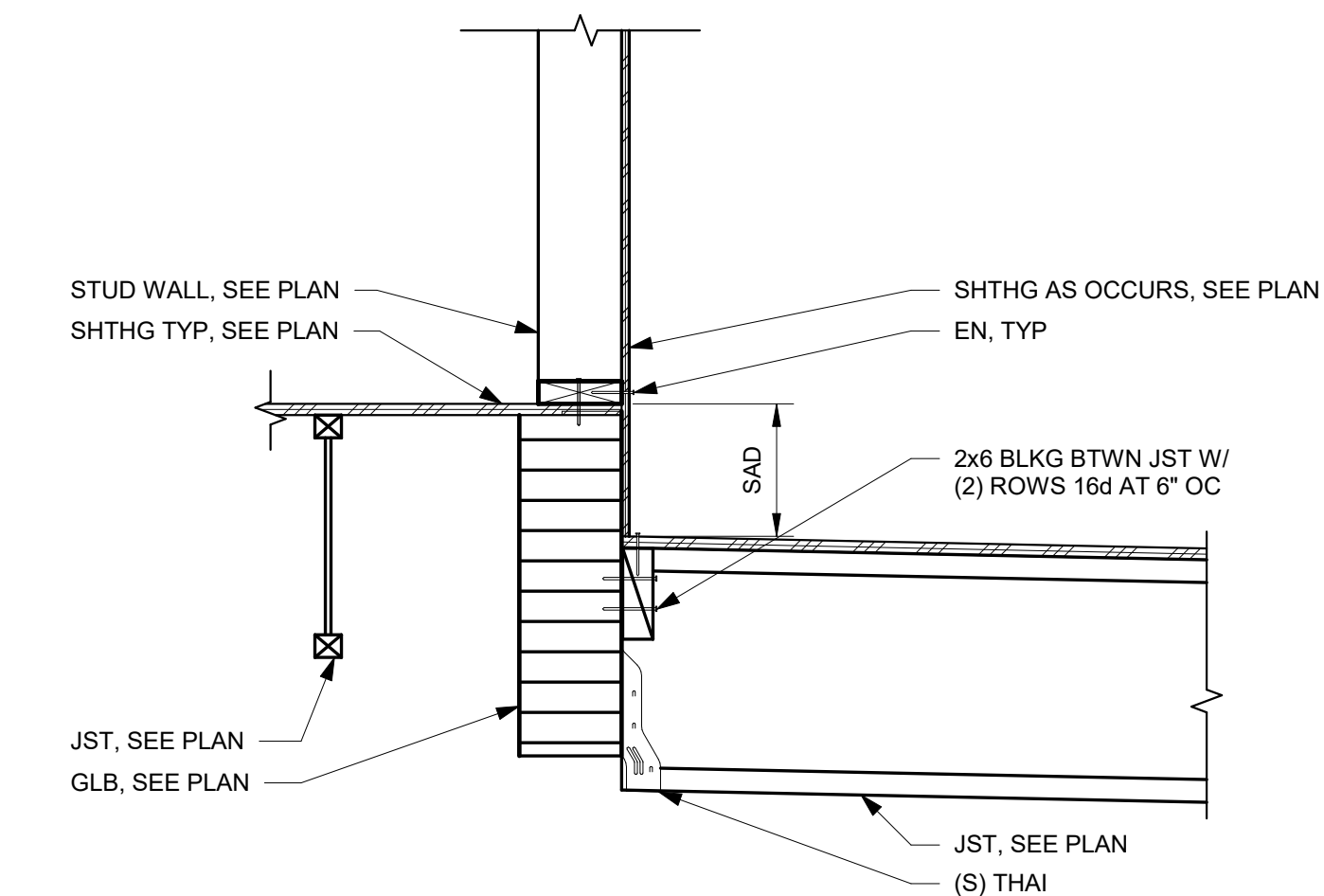


NOTE:  
SEE 2/S7.04 FOR CALLOUTS IN COMMUN.

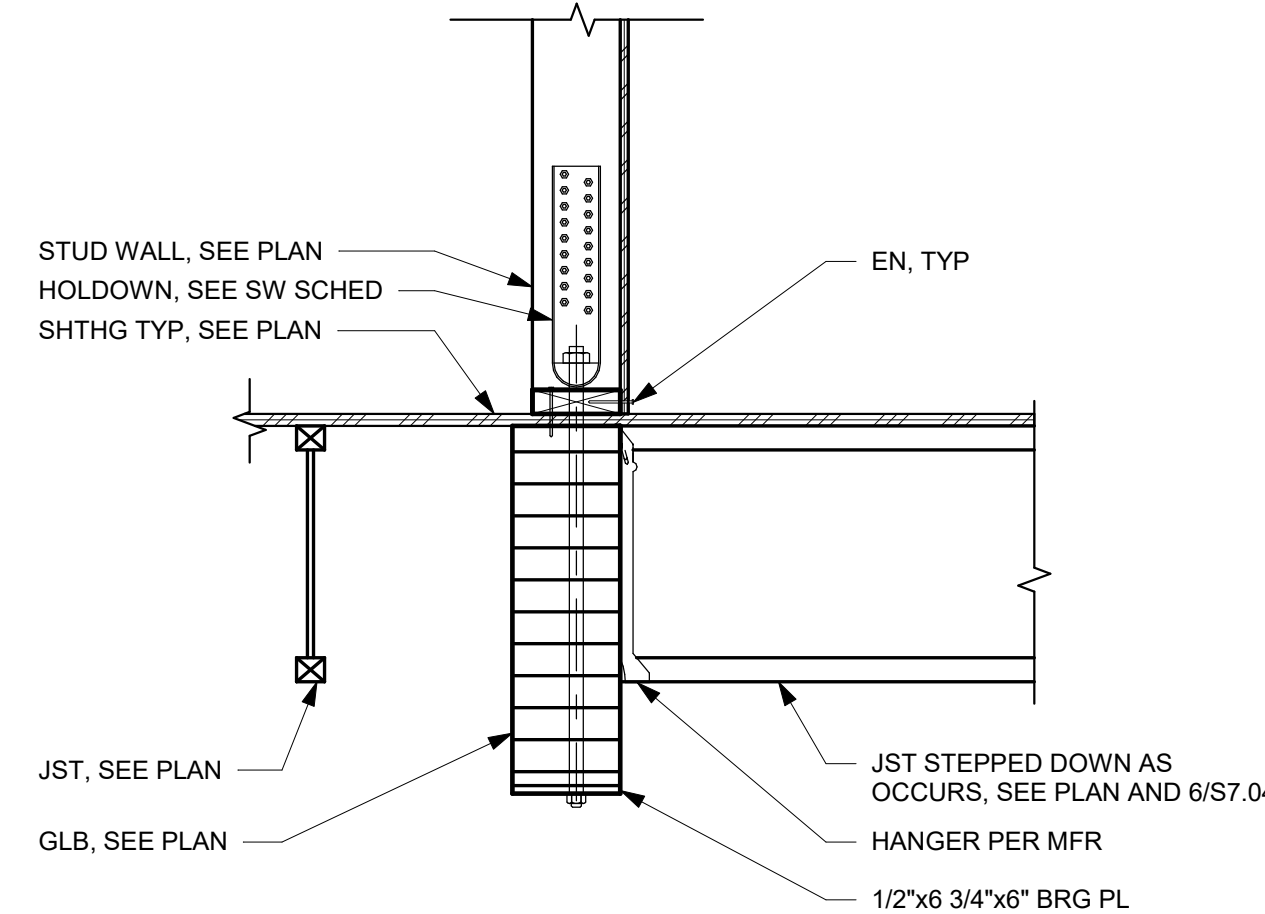
4 ROOF JST CANTILEVER  
1" = 1'-0"



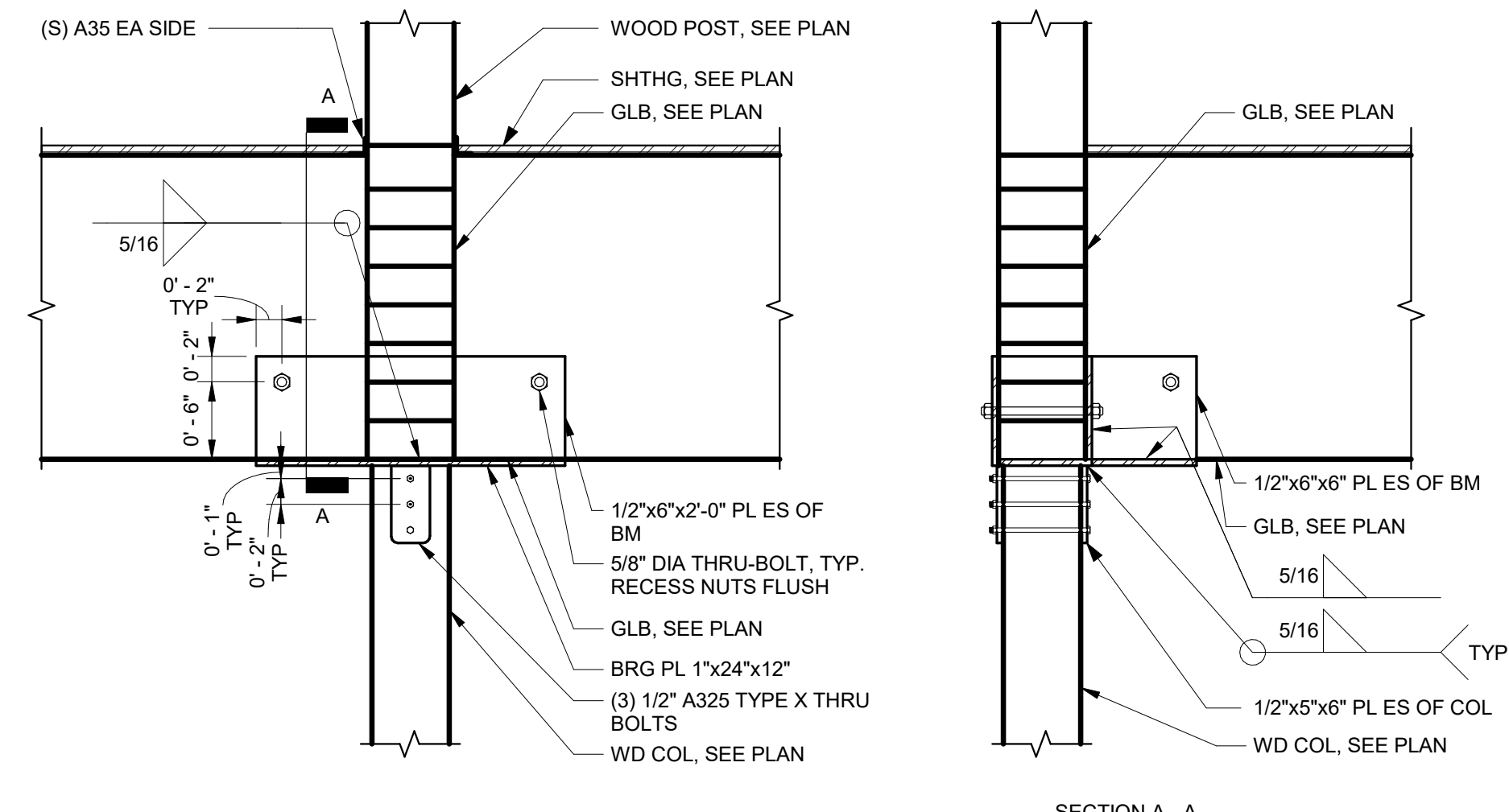
5 ROOF JST TO CMU WALL  
1" = 1'-0"



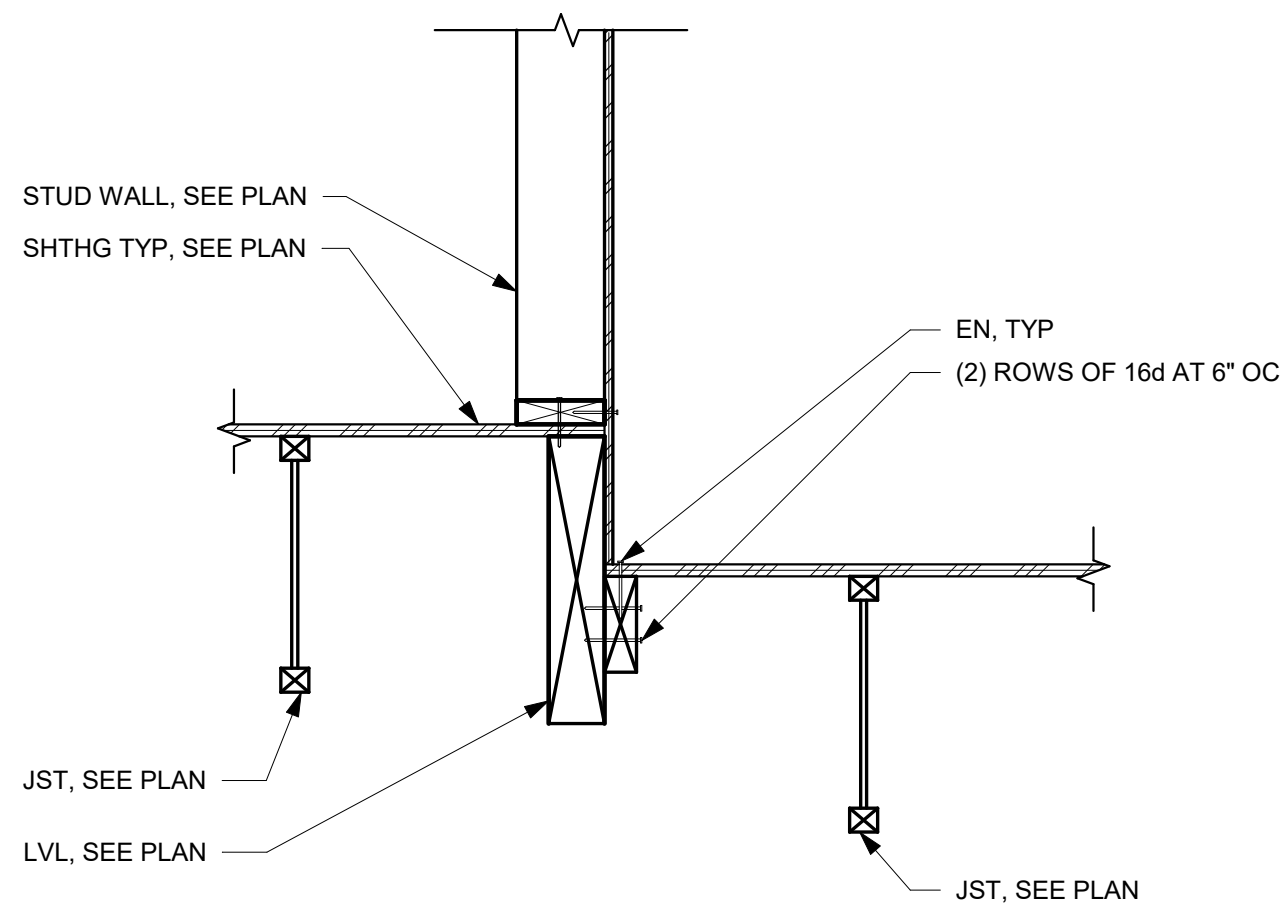
6 GLB AT STEP  
1" = 1'-0"



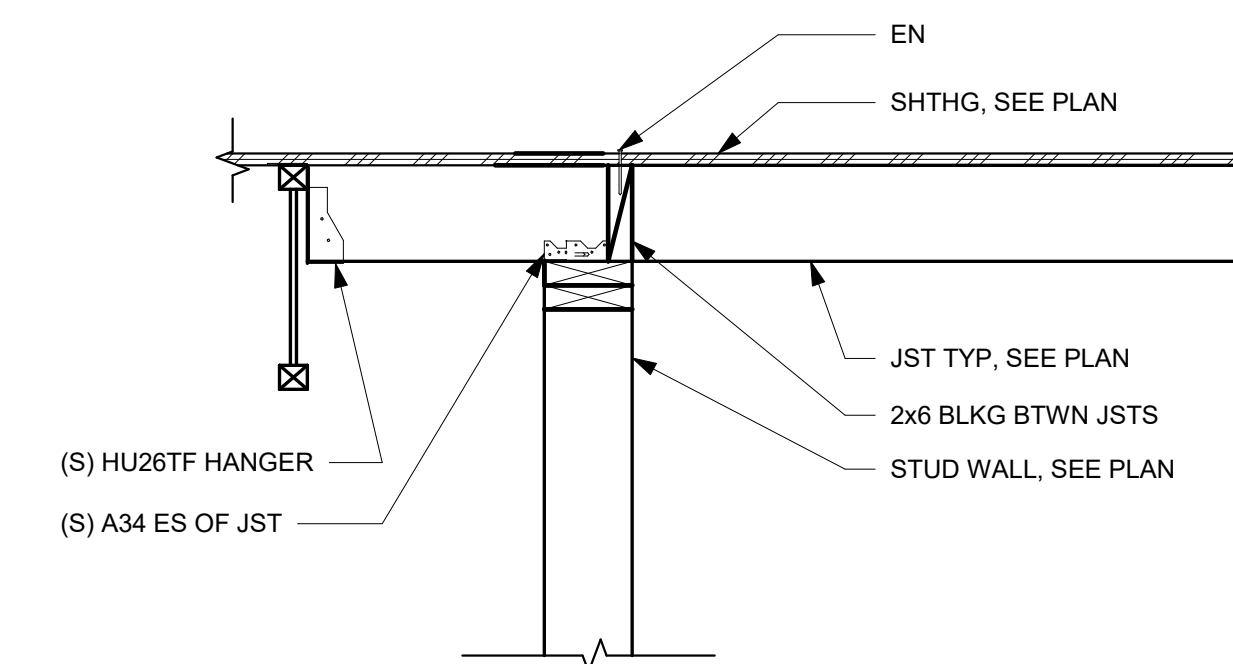
7 HOLDOWN AT GLB  
1" = 1'-0"



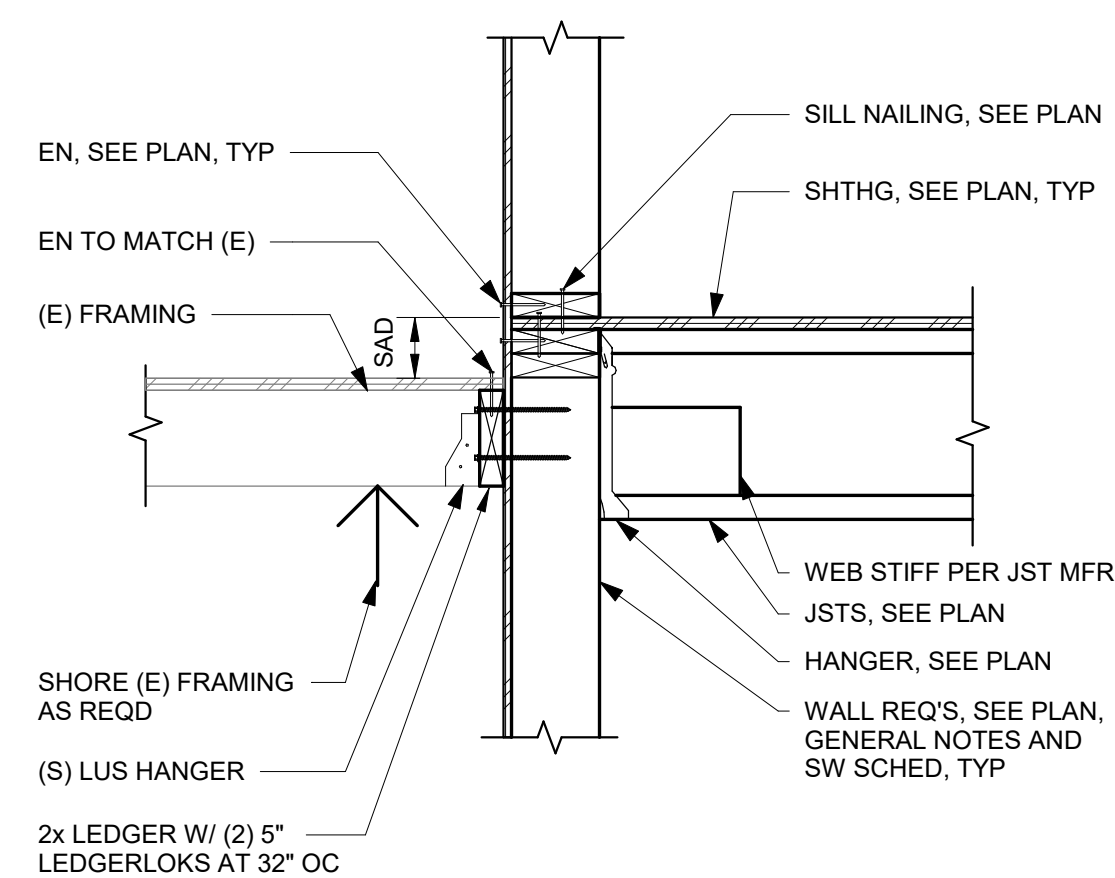
8 WOOD COLUMN TO GLULAM BEAM  
1" = 1'-0"



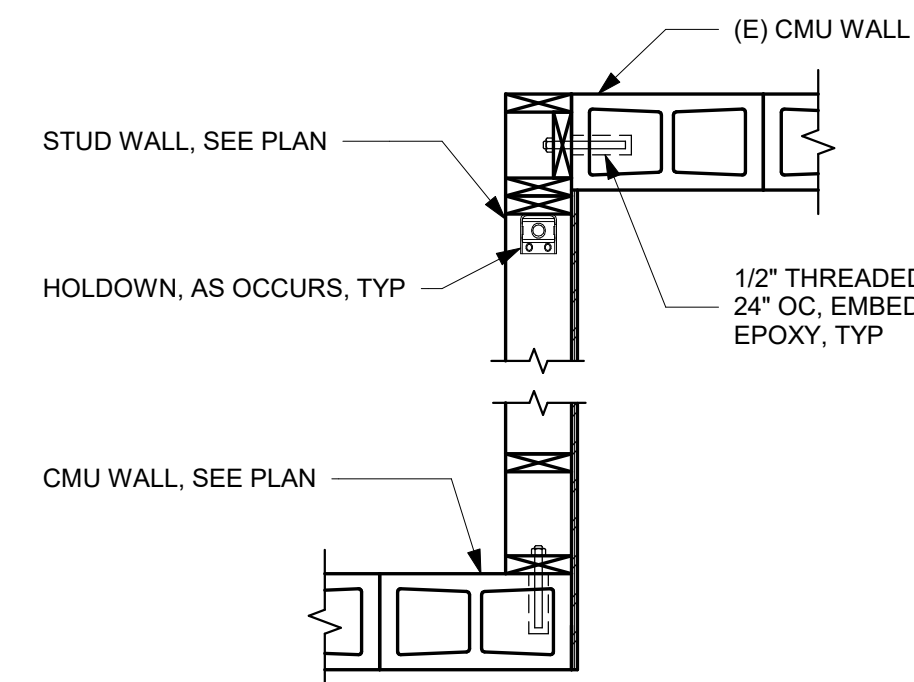
9 LVL AT STEP  
1" = 1'-0"



10 OUTRIGGER CONNECTION  
1" = 1'-0"



11 JOIST AT STUD WALL (PERP)  
1" = 1'-0"



12 STUD WALL TO CMU  
3/4" = 1'-0"



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## OLYMPIA CREST PHASE III - BUILDING 1

## PERMIT SET

## REVISIONS:

#	DATE	DESC.
1		

## SHEET TITLE:

TYPICAL WOOD  
DETAILS

PROJECT # 20162

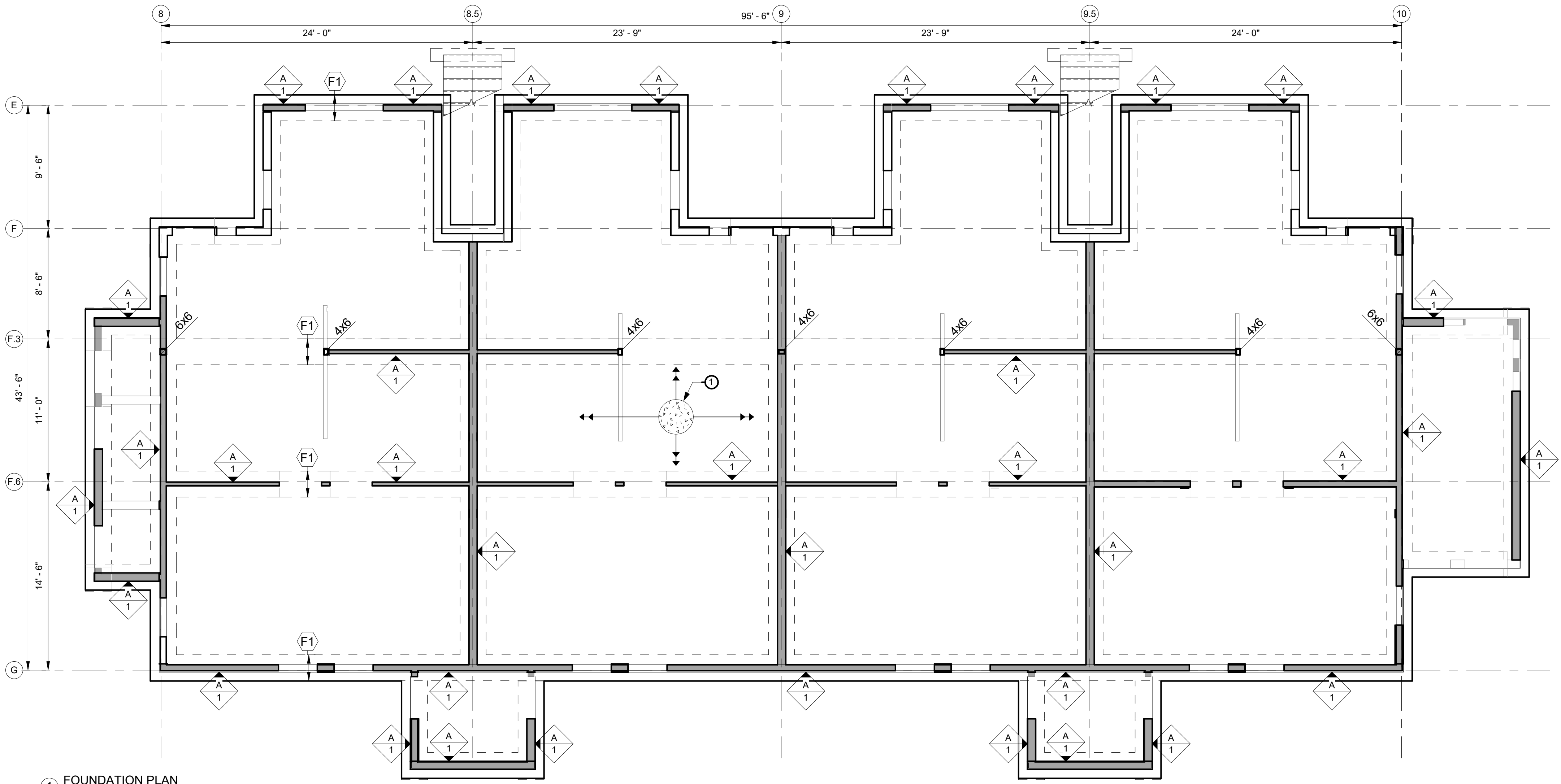
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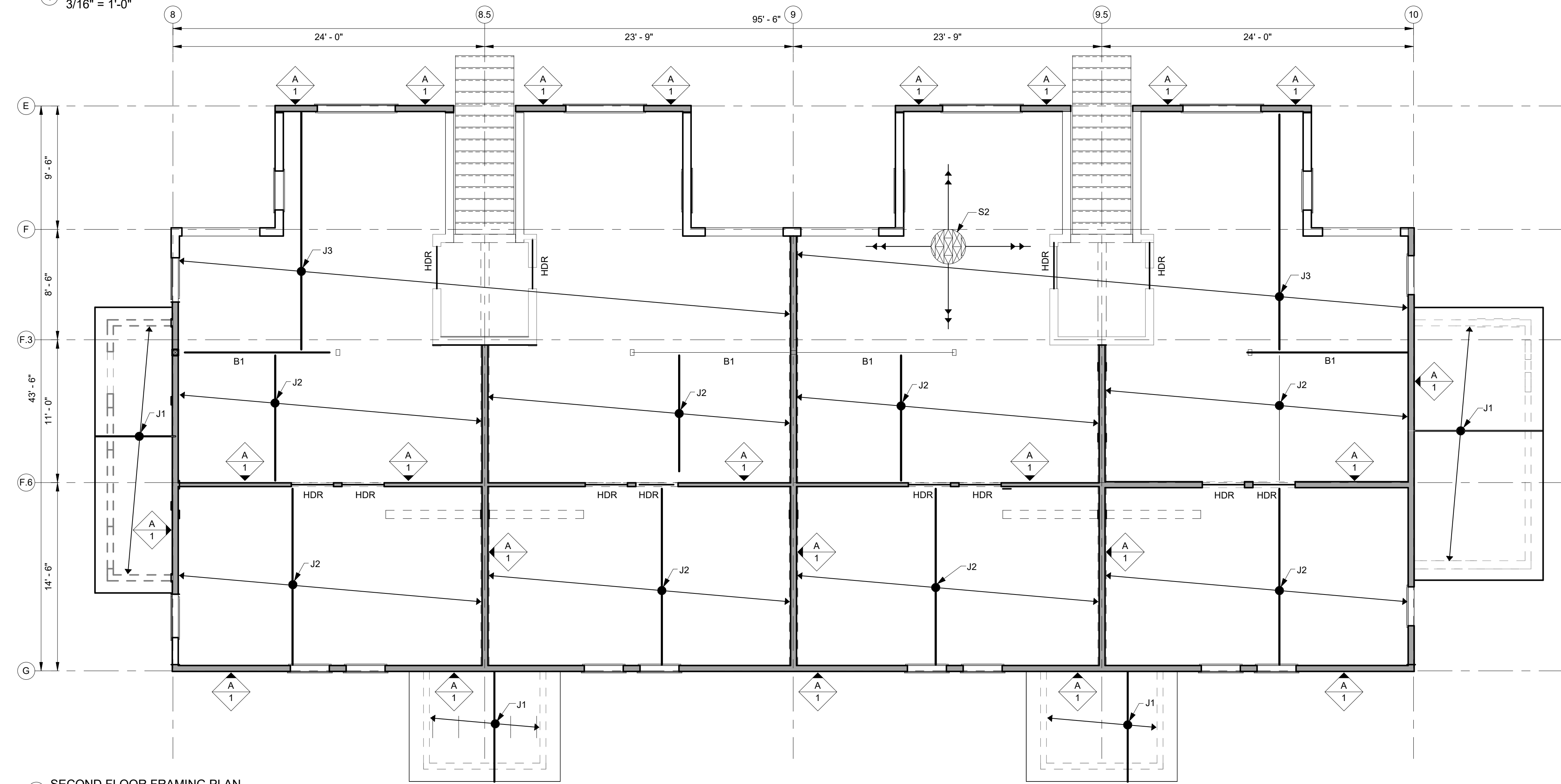
S7.14



SHEET SIZE : 24" x 36" 10/14/2020 6:11:13 PM



1 FOUNDATION PLAN  
3/16" = 1'-0"



2 SECOND FLOOR FRAMING PLAN  
3/16" = 1'-0"

PLAN NOTES

1. SEE GSN's FOR ABBREVIATIONS AND SYMBOLS, AND MATERIAL GRADE REQUIREMENTS.
2. REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS AND ALL ITEMS REQUIRED TO BE COORDINATED WITH THIS WORK, BUT NOT SHOWN ON THESE DRAWINGS.
3. REFER TO CIVIL AND MECH ENGINEERING DRAWINGS FOR EXTENT OF ALL STORM, WATER, SEWER PIPES, AND FOR PLACEMENT AND LOCATION OF ALL UNDER SLAB DRAINS AND DUCT PENETRATIONS.
4. SEE ARCH DWGS FOR DIMENSIONS FOR DRAINS AND SLOPED SLAB AREAS.

KEYED NOTES

1. INDICATES 6" SLAB ON GRADE W/ #4 AT 18" OC CENTERED VERT IN SLAB

DIAPHRAGM SHEATHING SCHEDULE					
MARK	THICKNESS	PANEL EDGE ATTACHMENT	FIELD ATTACHMENT	BLOCKING REQUIREMENT	FASTENER ROWS
S1	7/16"	8d AT 6" OC	8d AT 12" OC	UNBLOCKED	(1)
S2	23/32"	10d AT 6" OC	10d AT 12" OC	UNBLOCKED	(1)

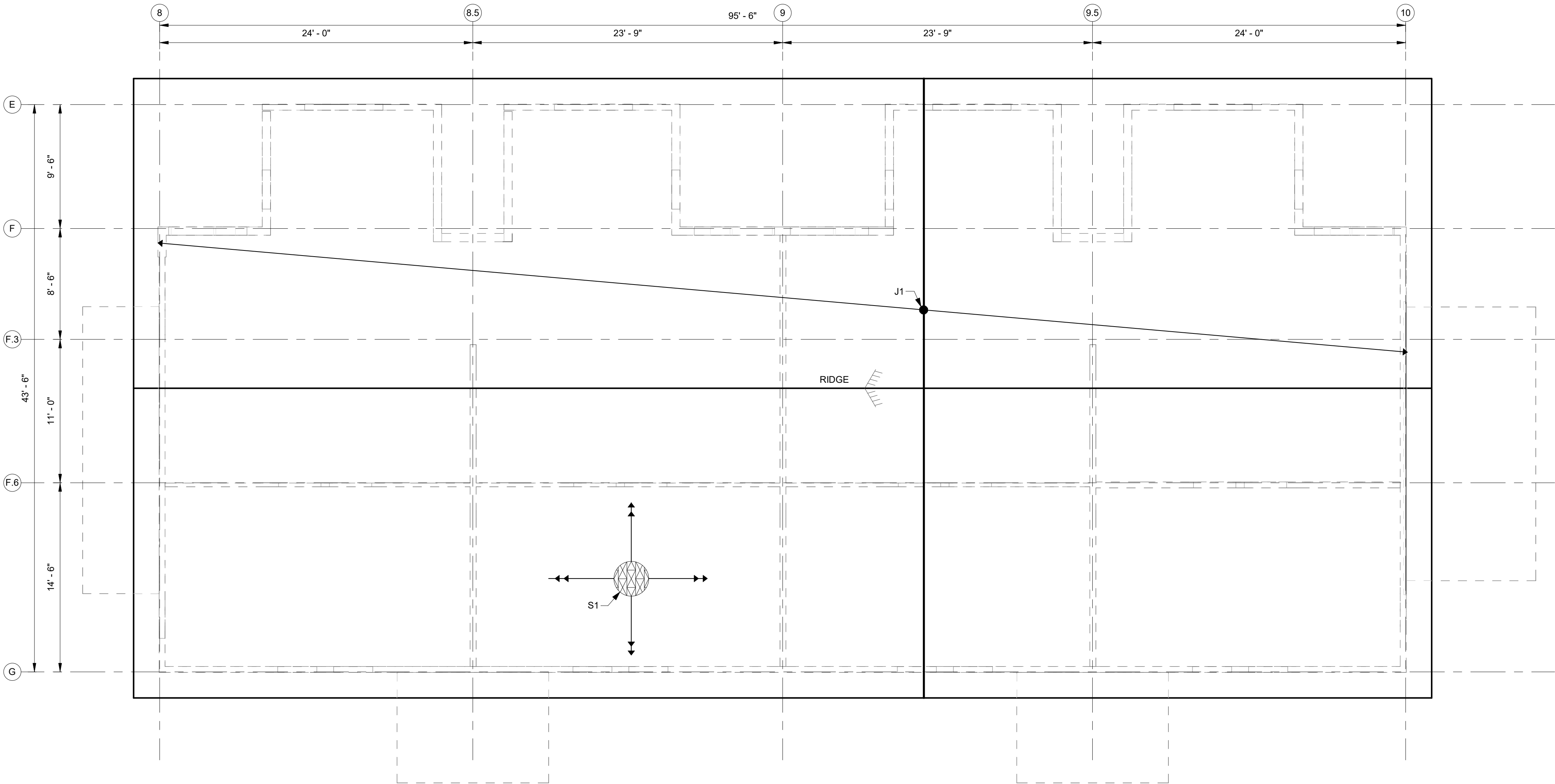
JOIST SCHEDULE			
MARK	SIZE	SPACING	REFERENCE/ NOTES
J1	PMT	24" OC	-
J2	11 7/8" TJI 110	16" OC	HANGER PER MANUF
J3	11 7/8" TJI 230	16" OC	HANGER PER MANUF

BEAM SCHEDULE	
MARK	SIZE
B1	5 1/2x11 7/8 GLB

COLUMN SCHEDULE				
MARK	SIZE	CAP/BUCKET	BASE/PLATE	REFERENCE/ NOTES
C1	4x6	PC4Z	(S) ABU44	-
C2	6x6	PC6Z	(S) ABU66	-

FOOTING SCHEDULE				
MARK	TRANSVERSE SIZE (WIDTH) AND REINFORCEMENT	LONGITUDINAL SIZE (LENGTH) AND REINFORCEMENT	THICKNESS	REFERENCE/ NOTES
F1	2'-0" W/ (2) #4 BOT	CONT.	12"	-





1 ROOF FRAMING PLAN  
3/16" = 1'-0"

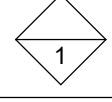
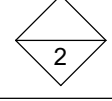
- PLAN NOTES**
- SEE GSN's FOR ABBREVIATIONS AND SYMBOLS, AND MATERIAL GRADE REQUIREMENTS.
  - REFER TO ARCH DRAWINGS FOR ALL DIMENSIONS AND ALL ITEMS REQUIRED TO BE COORDINATED WITH THIS WORK, BUT NOT SHOWN ON THESE DRAWINGS.
  - REFER TO CIVIL AND MECH ENGINEERING DRAWINGS FOR EXTENT OF ALL STORM, WATER, SEWER PIPES, AND FOR PLACEMENT AND LOCATION OF ALL UNDER SLAB DRAINS AND DUCT PENETRATIONS.
  - ALL FRAMING TO BE CENTERED ON WALLS, COLUMN, GRIDLINES,OR LOCATED AT EQUAL SPACES BETWEEN GRIDLINES, UNO.

- KEYED NOTES**
- 

DIAPHRAGM SHEATHING SCHEDULE						
MARK	THICKNESS	PANEL EDGE ATTACHMENT	FIELD ATTACHMENT	BLOCKING REQUIREMENT	FASTENER ROWS	REFERENCE/ NOTES
S1	7/16"	8d AT 6" OC	8d AT 12" OC	UNBLOCKED	(1)	-

JOIST SCHEDULE			
MARK	SIZE	SPACING	REFERENCE/ NOTES
J1	PMT	24" OC	-

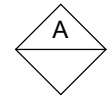
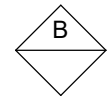
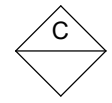


HOLDOWN SCHEDULE						
MARK	HOLDOWN	WOOD MEMBER	WOOD FASTENER	ANCHOR BOLT	ANCHOR BOLT EMBEDMENT (IN)	COMMENTS
	(S) HDU4-SDS2.5	(2) 2x	(10) 1/4" DIA x 2 1/2" SDS SCREWS	(S) PAB 5	de = 8"	N/A
	(S) HDU14-SDS2.5	(1) 6x	(36) (S) SDS SCREWS	(S) PAB 8	de = 11"	N/A

NOTES:

- DOUBLE STUDS ARE REQUIRED AT HOLDDOWNS UNLESS NOTED OTHERWISE. DOUBLE STUDS SHALL BE LAMINATED TOGETHER WITH 16d NAILS AT 6" OC FULL HEIGHT, TYP.
- PROVIDE HOLDOWN NOTED WITHIN 6" FROM EACH END OF EACH SHEAR WALL SHOWN ON PLANS.
- PROVIDE (2) ADDL VERT DOWELS WITH STD HK IN FTG AT EA ANCHOR BOLT LOCATION.
- INSTALL ANCHORS PER MANUFACTURER'S RECOMMENDATIONS.
- ADJUST FOOTING AND STEM WALL HEIGHT TO ACCOMMODATE ANCHOR BOLT EMBEDMENT REQUIREMENTS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL HOLDOWN ANCHORS AND BOLTS SHALL BE INSTALLED IN THE CORRECT LOCATION IN THE TOP OF THE CONCRETE WALL AND SECURED TO THE FORMS PRIOR TO CONCRETE INSTALLATION. THERE IS NO PRACTICAL SOLUTION TO POST-INSTALLED HOLDOWN ANCHORS IN THE TOP OF THE CONCRETE STEM WALL. NO EPOXY OR MECHANICAL ANCHOR BOLT ALTERNATIVES WILL BE OFFERED FOR MISSING OR MISPLACED EMBEDDED ANCHORS. CONCRETE FOOTINGS AND STEM WALLS MAY HAVE TO BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE TO MITIGATE MISPLACED, MISALIGNED, OR MISSING HOLDOWN ANCHORS OR BOLTS.
- DO NOT NAIL BOTTOM HALF OF STRAP TO BUILT UP STUD UNTIL ALL FLOOR AND ROOF FRAMING HAS BEEN INSTALLED.
- IT IS ACCEPTABLE TO SUBSTITUTE ASTM F1554, GRADE 36 OR ASTM A36 THREADED ROD WITH DOUBLE HEAVY HEX NUT AND PLATE WASHER FOR (S) PAB ANCHOR. THE DIAMETER OF THE THREADED ROD SHALL BE EQUIVALENT TO THE DIAMETER OF THE SIMPSON ANCHOR SPECIFIED. SEE SIMPSON CATALOG FOR LOCATION OF PLATE WASHER AND DOUBLE NUT.

1 HOLDOWN SCHEDULE  
NTS

SHEAR WALL SCHEDULE										
MARK	SHEATHING	SIDE	PANEL NAILING			PANEL BLOCKING	SILL PLATE	ANCHOR BOLTS	SILL NAILING	VALUE (PLF)
			SIZE	EDGE	FIELD					
	15/32" APA RATED SHEATHING WITH STUDS AT 16" OC	ONE	10d	6" OC	12" OC	2x	2x	5/8" x 10" AT 40" OC	16d AT 4" OC	340
	15/32" APA RATED SHEATHING WITH STUDS AT 16" OC	ONE	10d	2" OC	12" OC	3x	<div>3x</div> <div>(2) 2x</div>	5/8" x 12" AT 18" OC	16d AT 1 1/2" OC ES	-
	15/32" APA RATED SHEATHING WITH STUDS AT 16" OC	TWO	10d	2" OC	12" OC	3x	<div>3x</div> <div>(2) 2x</div>	5/8" x 12" AT 12" OC	16d AT 1 1/2" OC ES	-

NOTES:

- 10d NAIL = 3" x 0.148" COMMON OR 3" x 0.128" GALVANIZED BOX.
- IF AB SPACING IS GREATER THAN SHEAR WALL LENGTH INSTALL (1) AB WITHIN 12" OF EACH END.
- NAIL SIZES SHOWN ARE FOR COMMON NAILS OR GALVANIZED BOX. POWER DRIVEN NAILS SHALL COMPLY WITH ESR 1539 FOR RECOMMENDED SPACING AND INSTALLATION TO COMPLY WITH THE ABOVE SHEAR WALL SCHEDULE.
- SILL PLATE ANCHORS SHALL INCLUDE A STEEL PLATE WASHER NOT LESS THAN 0.229"x3"x3" IN SIZE PER AFANDPA SDPWS SECTION 4.3.6.4.3. THE HOLE IN THE PLATE WASHERS SHALL BE PERMITTED TO BE DIAGONALLY SLOTTED W/ A WIDTH OF UP TO 3/16" LARGER THAN THE BOLT DIAMETER AND A SLOT LENGTH NOT TO EXCEED 1 3/4", PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING.
- WHERE SHEAR DESIGN VALUES EXCEED 700 POUNDS PER LINEAR FOOT (350 PLF ASD), ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3-INCH NOMINAL MEMBER, OR TWO 2-INCH NOMINAL MEMBERS FASTENED TOGETHER IN ACCORDANCE WITH SECTION 2306.1 TO TRANSFER THE DESIGN SHEAR VALUES BETWEEN FRAMING MEMBERS. WOOD STRUCTURAL PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES. SEE 7/S7.0 FOR ADDITIONAL INFORMATION.
- WHERE PANELS ARE APPLIED TO BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" OC ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. ALTERNATIVELY, THE WIDTH OF THE NAILED FACE OF FRAMING SHALL BE 3-INCH NOMINAL OR GREATER AT ADJOINING PANEL EDGES AND NAILS AT ALL PANEL EDGES SHALL BE STAGGERED.
- SHEAR WALL NAILING MUST BE INSTALLED SUCH THAT THE NAIL HEAD OR CROWN IS FLUSH WITH THE SURFACE OF SHEATHING. OVERDRIVEN OR OVERPENETRATED NAILS WILL NOT BE ALLOWED OR COUNTED AS APPROPRIATE NAILING.

2 SHEAR WALL SCHEDULE  
NTS



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OLYMPIA CREST PHASE III - BUILDING 3

PERMIT SET

REVISIONS:

#	DATE	DESC.
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SHEET TITLE:

SHEARWALL /  
HOLD-DOWN  
SCHEDULE AND  
DETAILS

PROJECT # 20162

ISSUE DATE: 10/14/2020

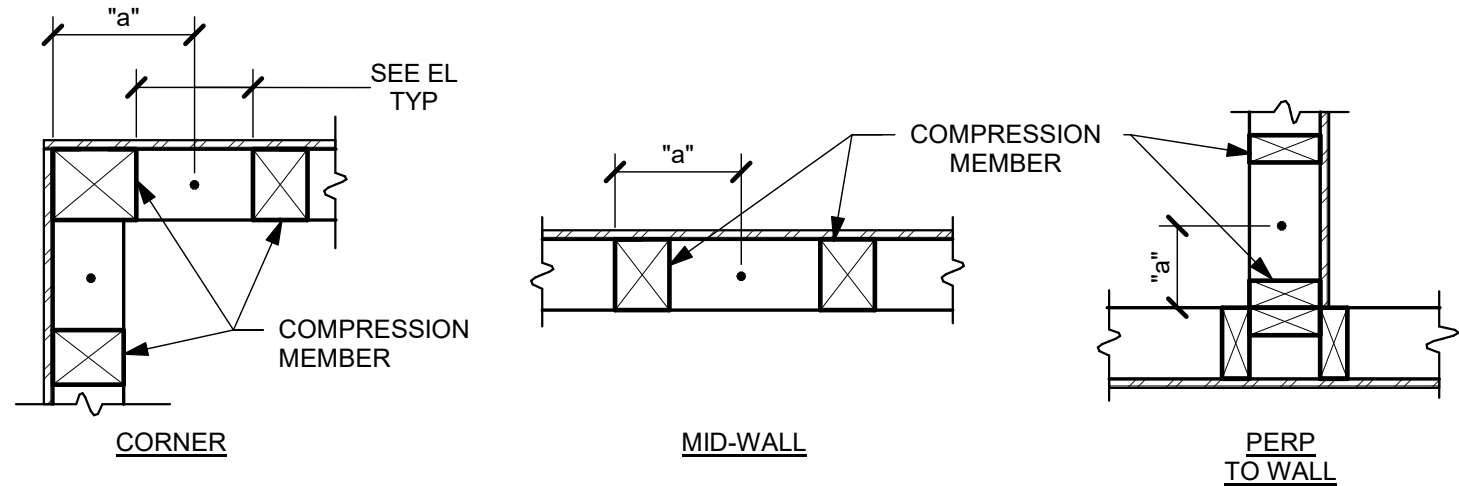
AUTHOR: SD

S7.31

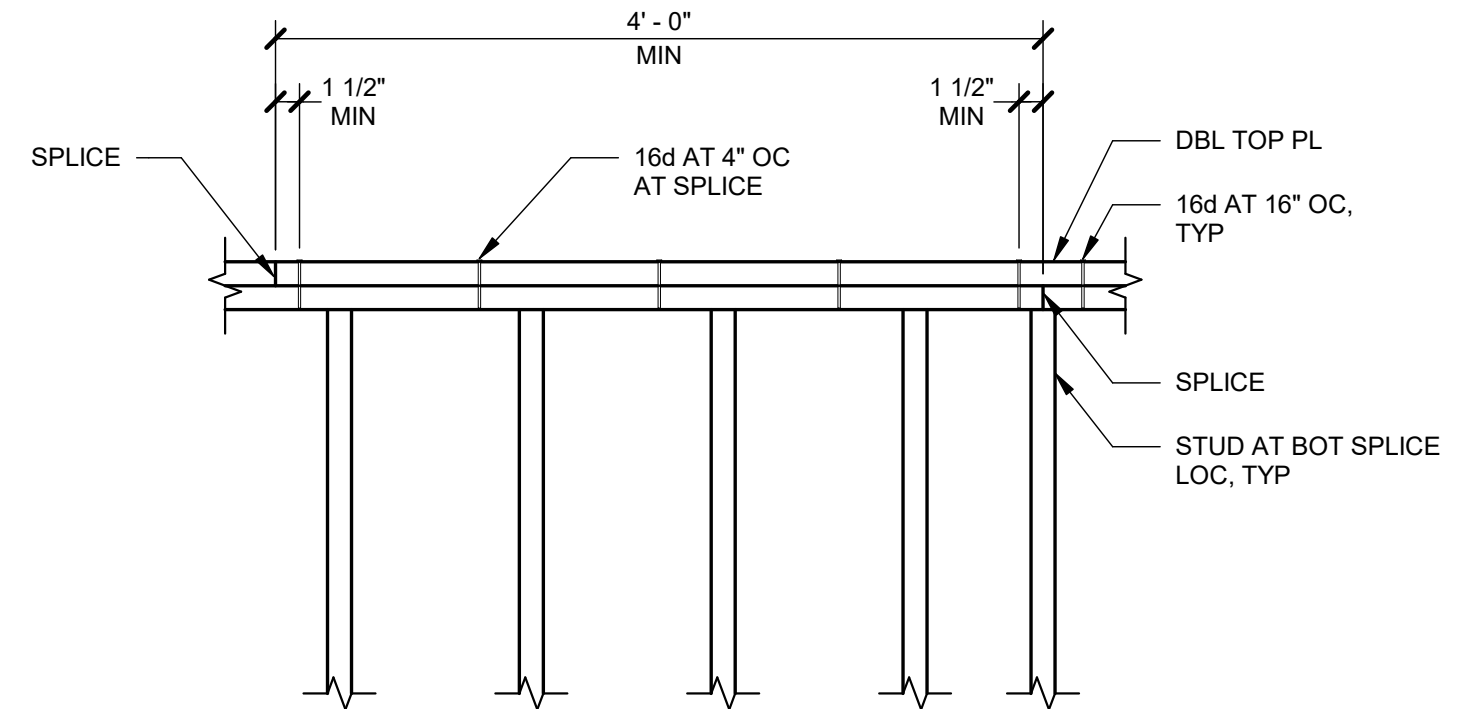


AB LAYOUT		
POST SIZE	"a" W/ 6" SPACING BTWN STUDS	"a" W/ 9" SPACING BTWN STUDS
2x4 OR 2x6	4 1/2"	6"
3x4 OR 3x6	5 1/2"	7"
(2) 2x4 OR (2) 2x6	6"	7 1/2"
(2) 3x4 OR (2) 3x6	8"	9 1/2"
4x6 OR 6x6	8 1/2"	10"
4x8	10 1/2"	11 3/4"
6x8	10 1/2"	12"
4x10	12 1/4"	13 3/4"
6x10	12 1/2"	14"

- NOTES:
1. COMPRESSION MEMBERS DO NOT INCLUDE TRIMMERS
  2. LOC AB W/ NARROWEST COMPRESSION MEMBER
  3. WHEN SHEARWALLS MEET IN A CORNER AND SHARE A COMMON CORNER POST, THE POST SHALL BE THE LARGER OF THAT SPECIFIED FOR EACH INDIVIDUAL SHEARWALL

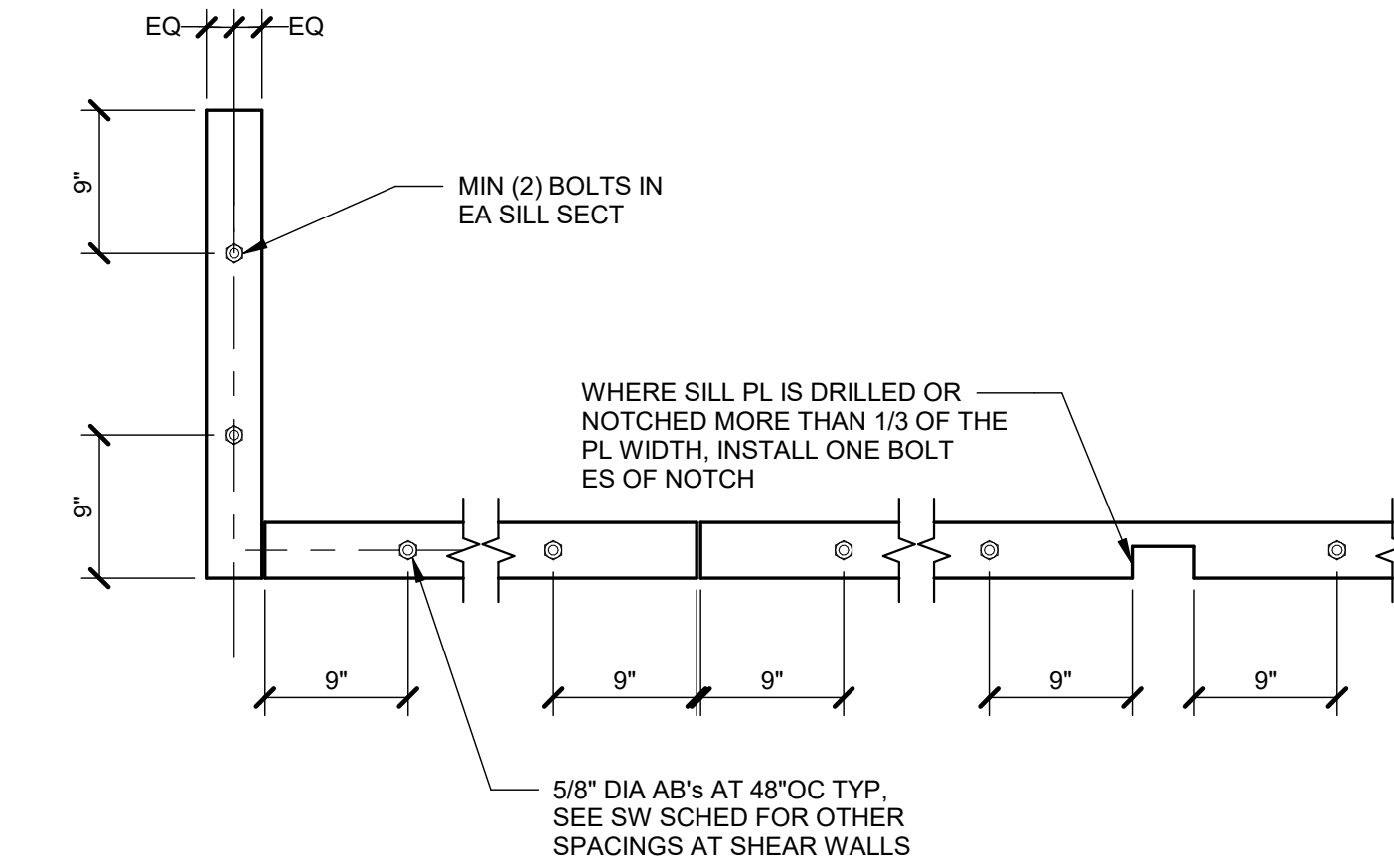


1 ANCHOR BOLT LAYOUT  
NTS

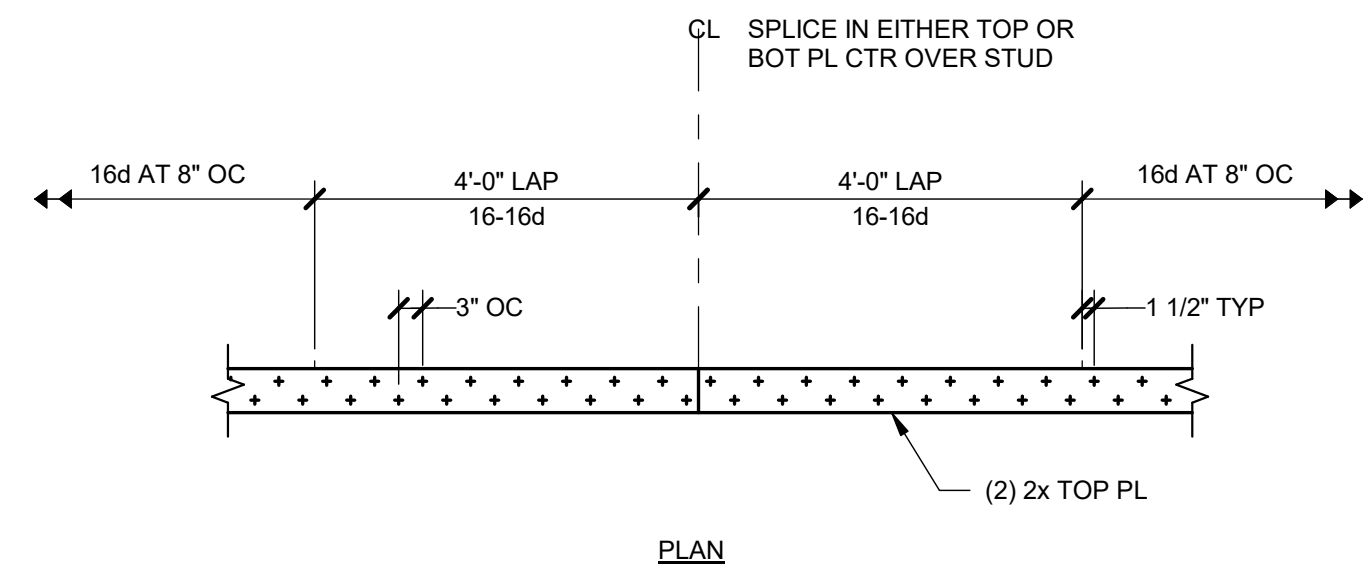


NOTE:  
WHERE PL DISCONTINUITIES ARE CREATED BY BMS AND PIPES, ETC. STRAP W/ (1) (S) ST6236 UNLESS NOTED OTHERWISE. STRAP MAY BE PLACED ON TOP OR SIDE OF PL AT CONTRACTOR'S OPTION.

4 TYPICAL TOP CHORD SPLICE  
NTS

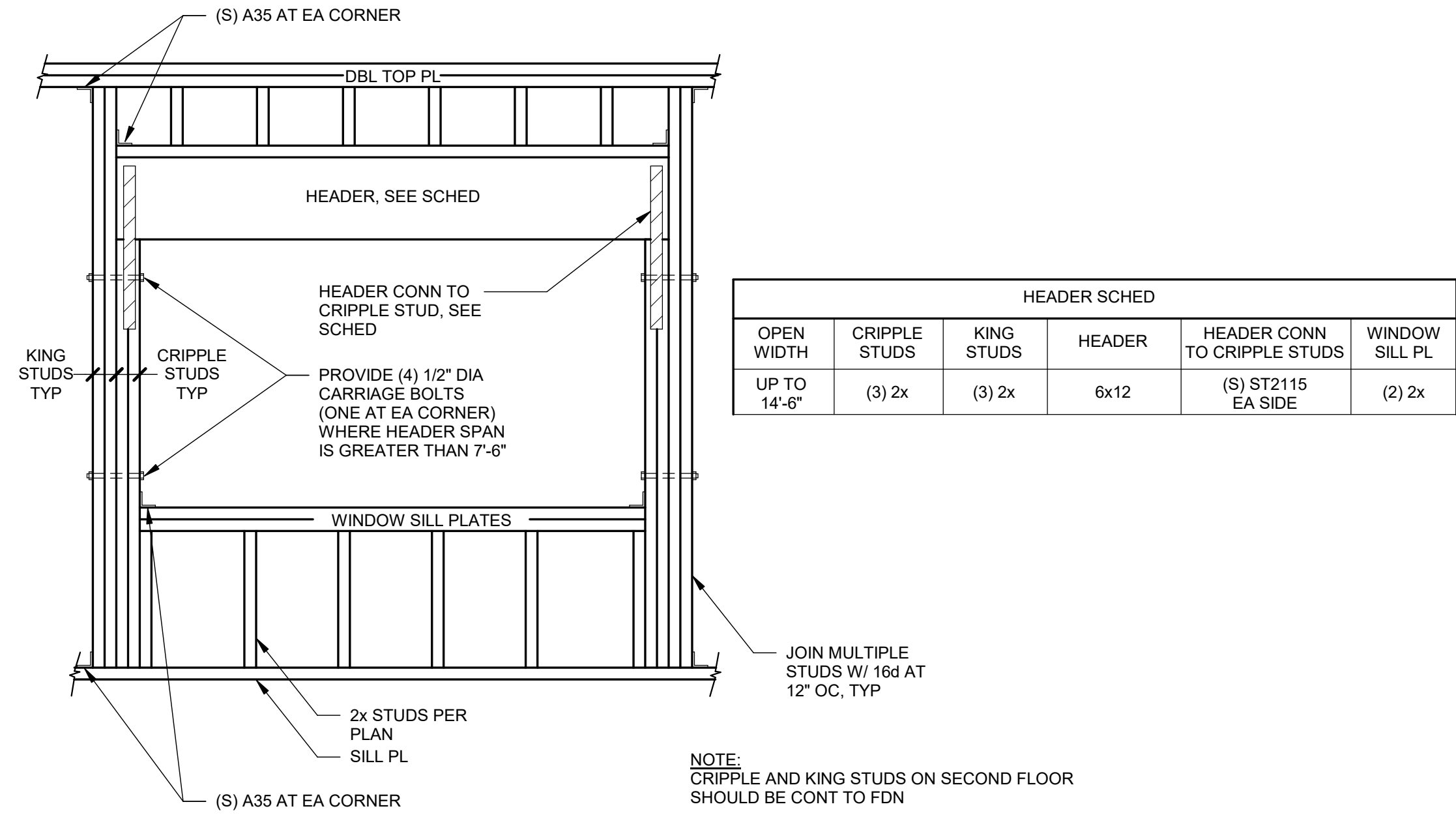


2 SILL PLATE ANCHORAGE  
NTS

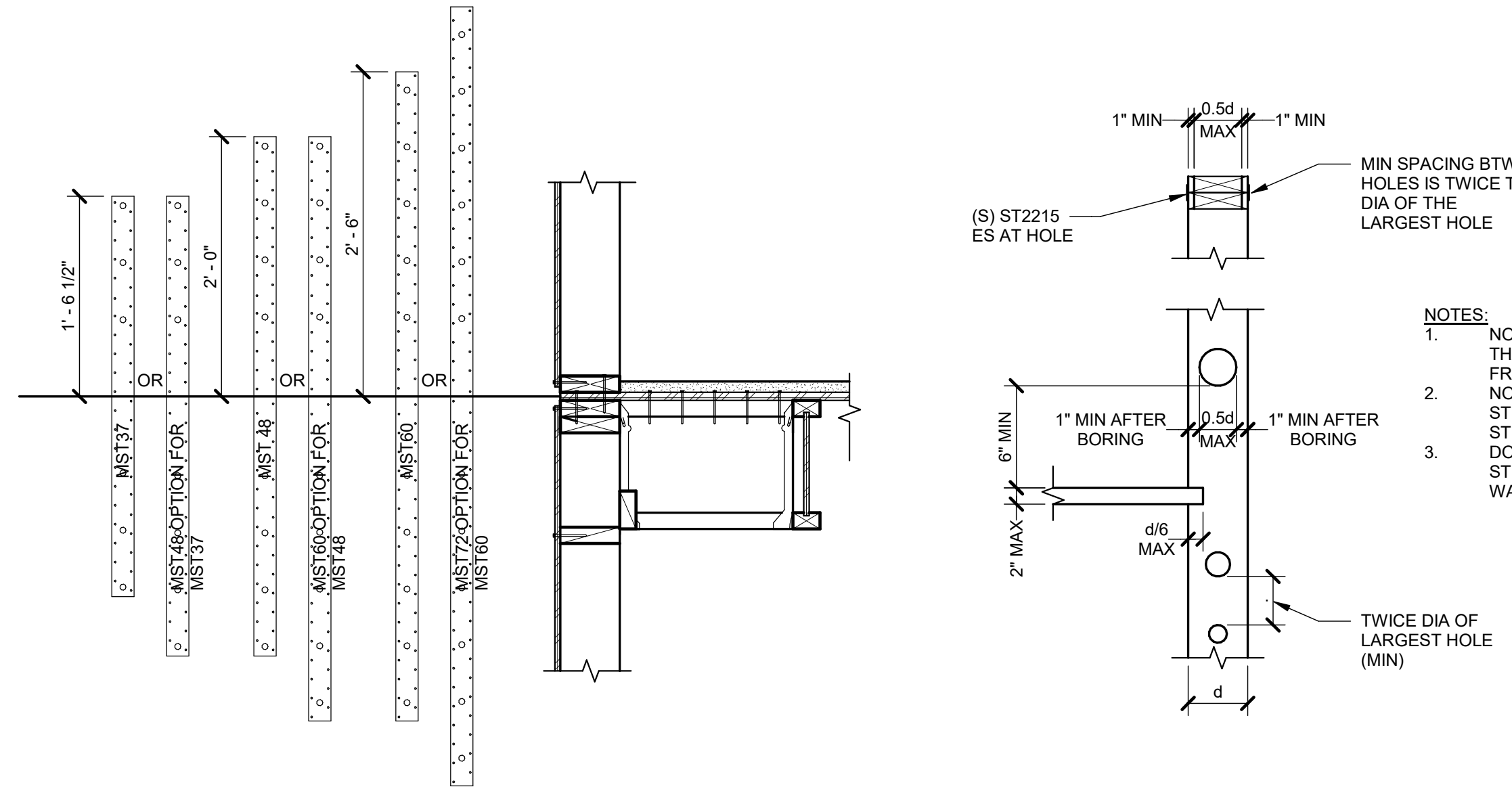


NOTE:  
SEE GSN'S FOR ADDL NAILING NOT SHOWN.

5 TYPICAL TOP PLATE SPLICE  
NTS



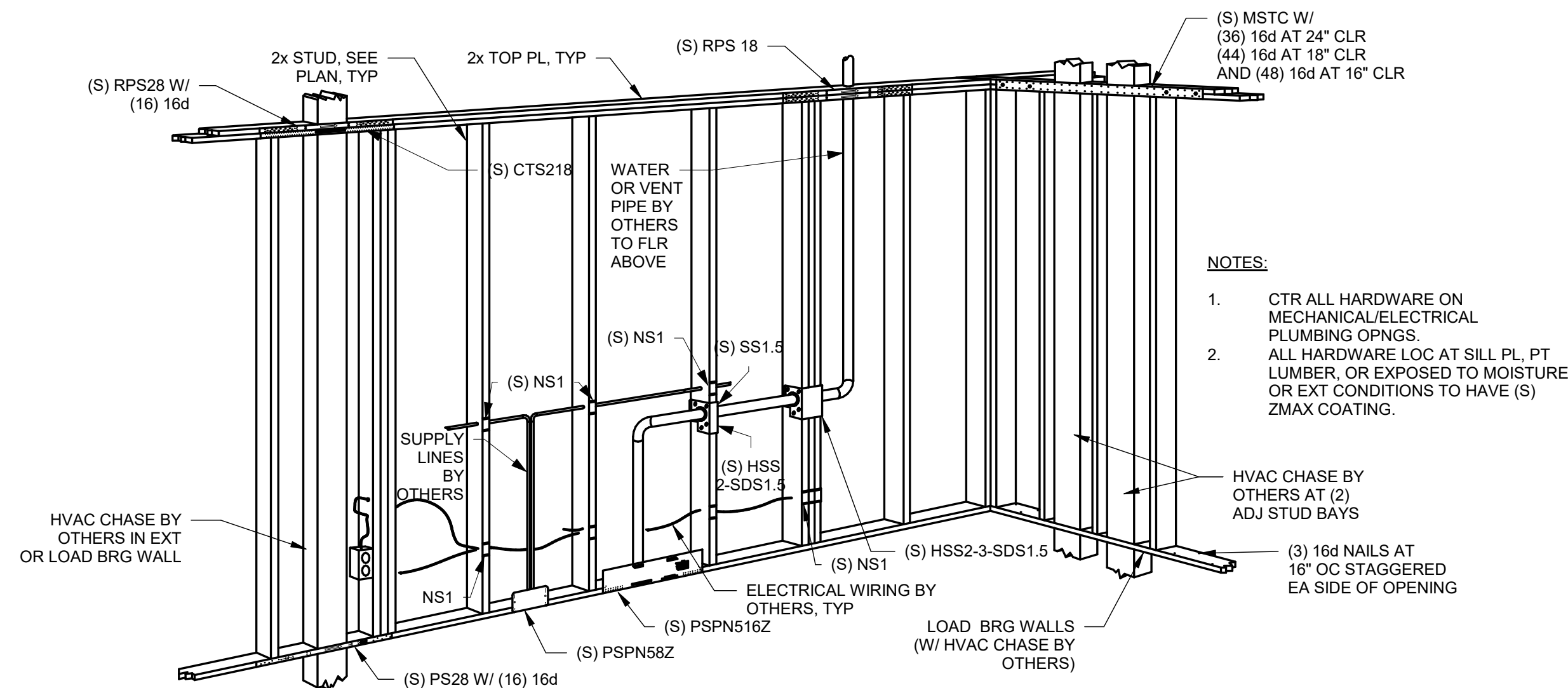
3 TYPICAL OPENING FRAMING  
NTS



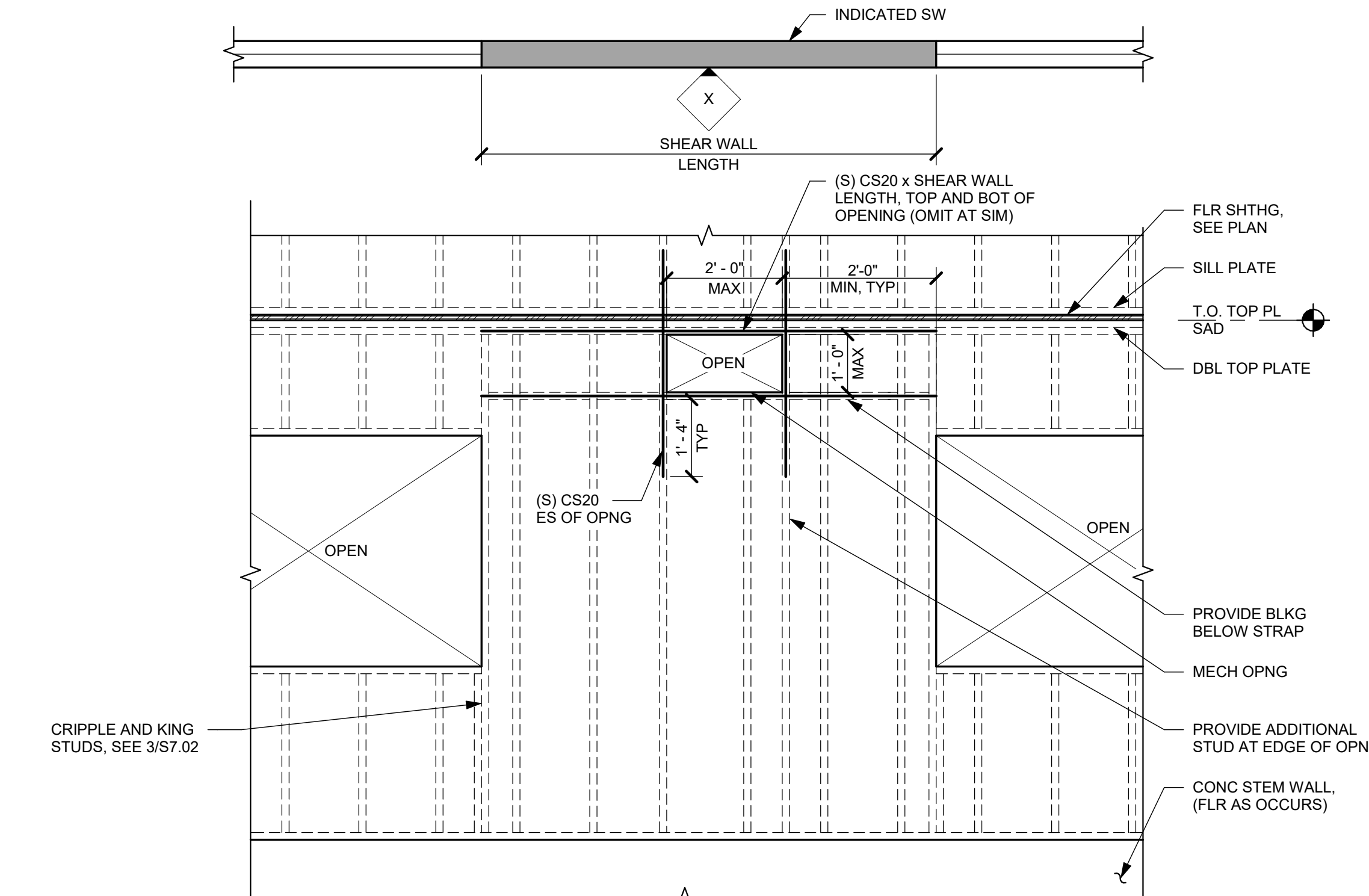
- NOTES:
1. NOTCHING, CUTTING AND BORING OTHER THAN SHOWN REQ PRIOR APPROVAL FROM EOR.
  2. NO NOTCHING, CUTTING OR BORING OF STUDS WITHIN THE MIDDLE 1/3 OF THE STUD HEIGHT.
  3. DO NOT CUT, NOTCH OR BORE MULTIPLE STUDS OR POSTS AT END OF SHEAR WALLS.

6 STRAP LAYOUT  
NTS

7 STUD NOTCHING AND HOLES  
NTS



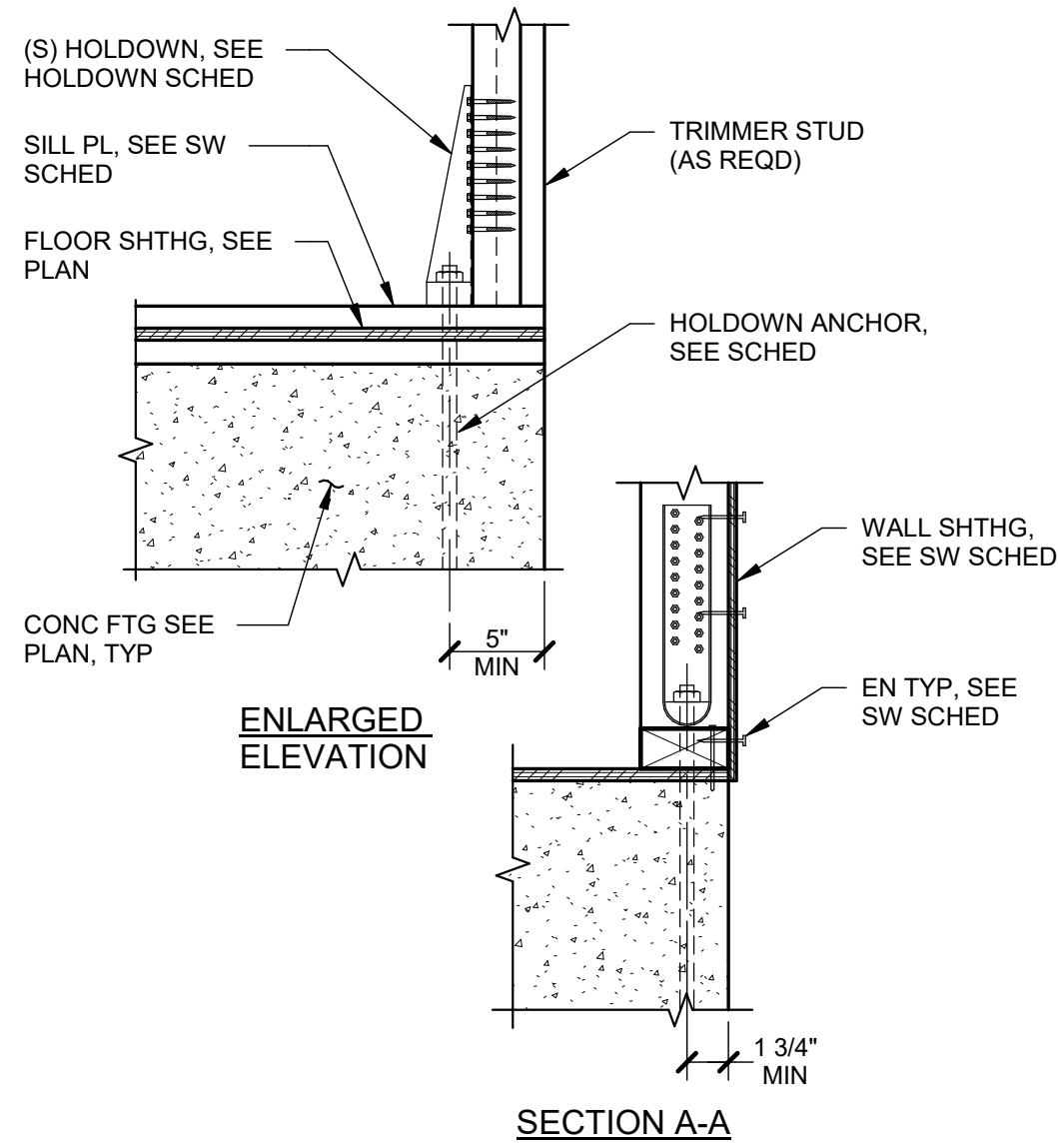
8 FRAMING DETAILS FOR UTILITY PENETRATIONS  
1" = 1'-0"



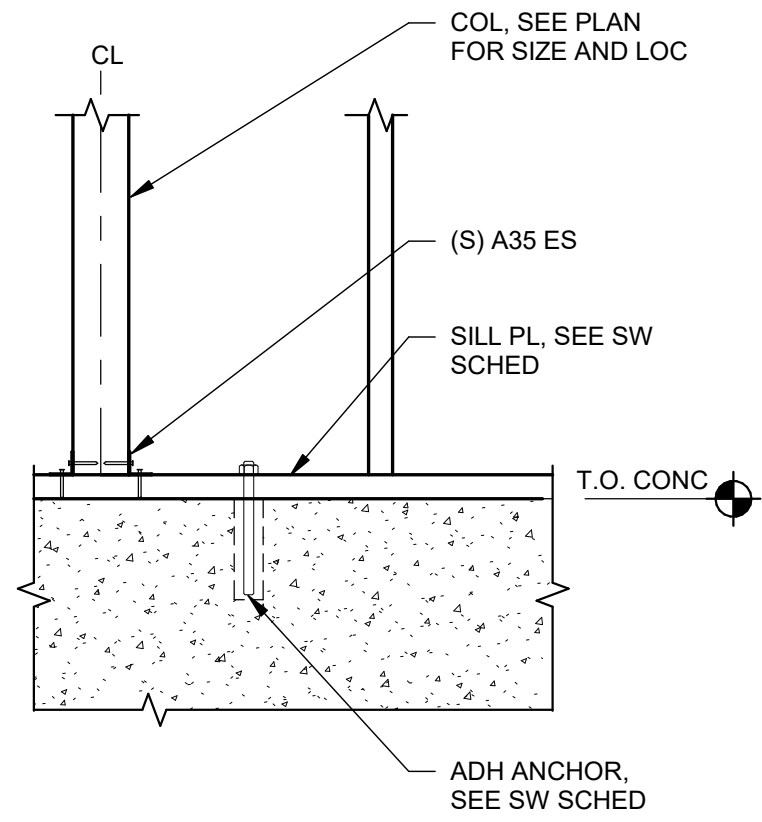
NOTE:  
IF MECHANICAL OPENINGS IN THE FIELD DIFFER FROM THE CONDITIONS SHOWN ON THIS DETAIL, CONTACT ENGINEER OF RECORD.

9 MECHANICAL OPENING IN SHEAR WALL  
NTS

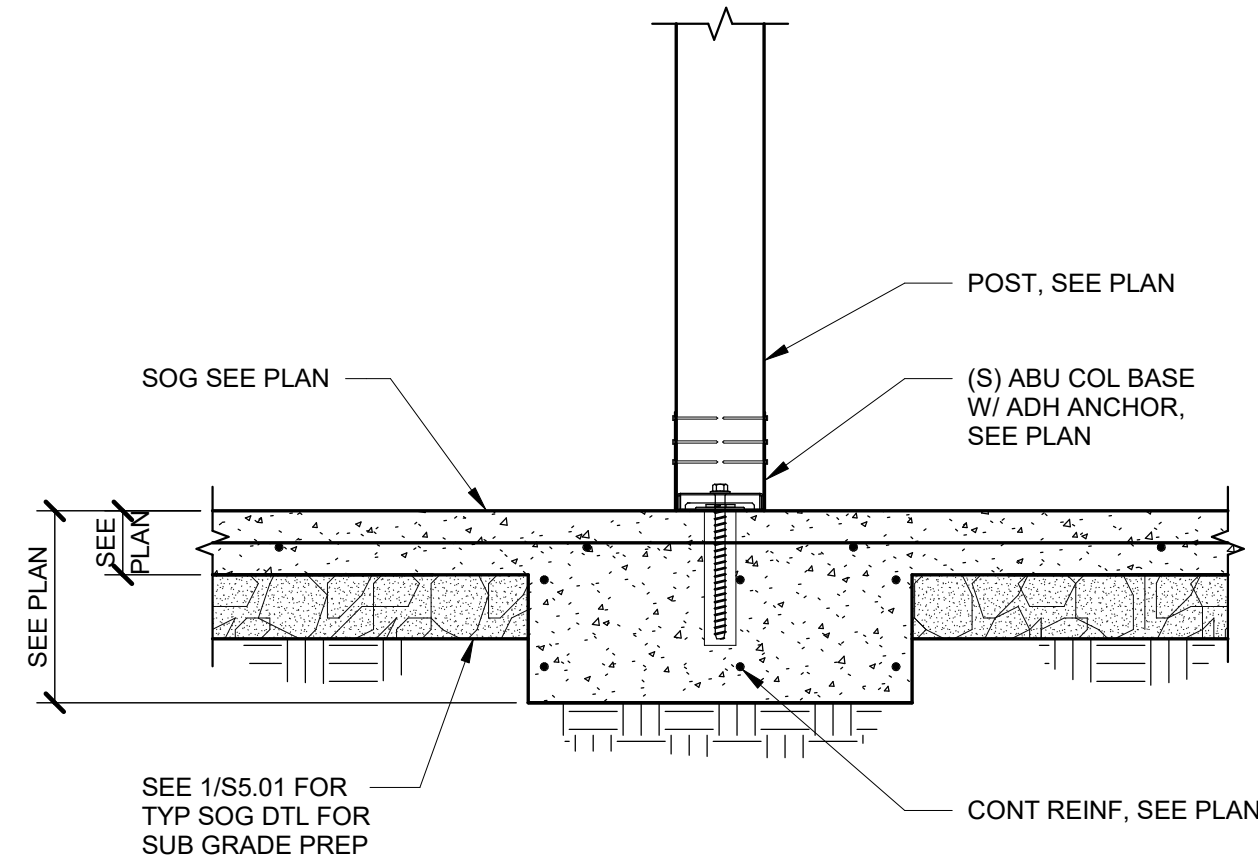




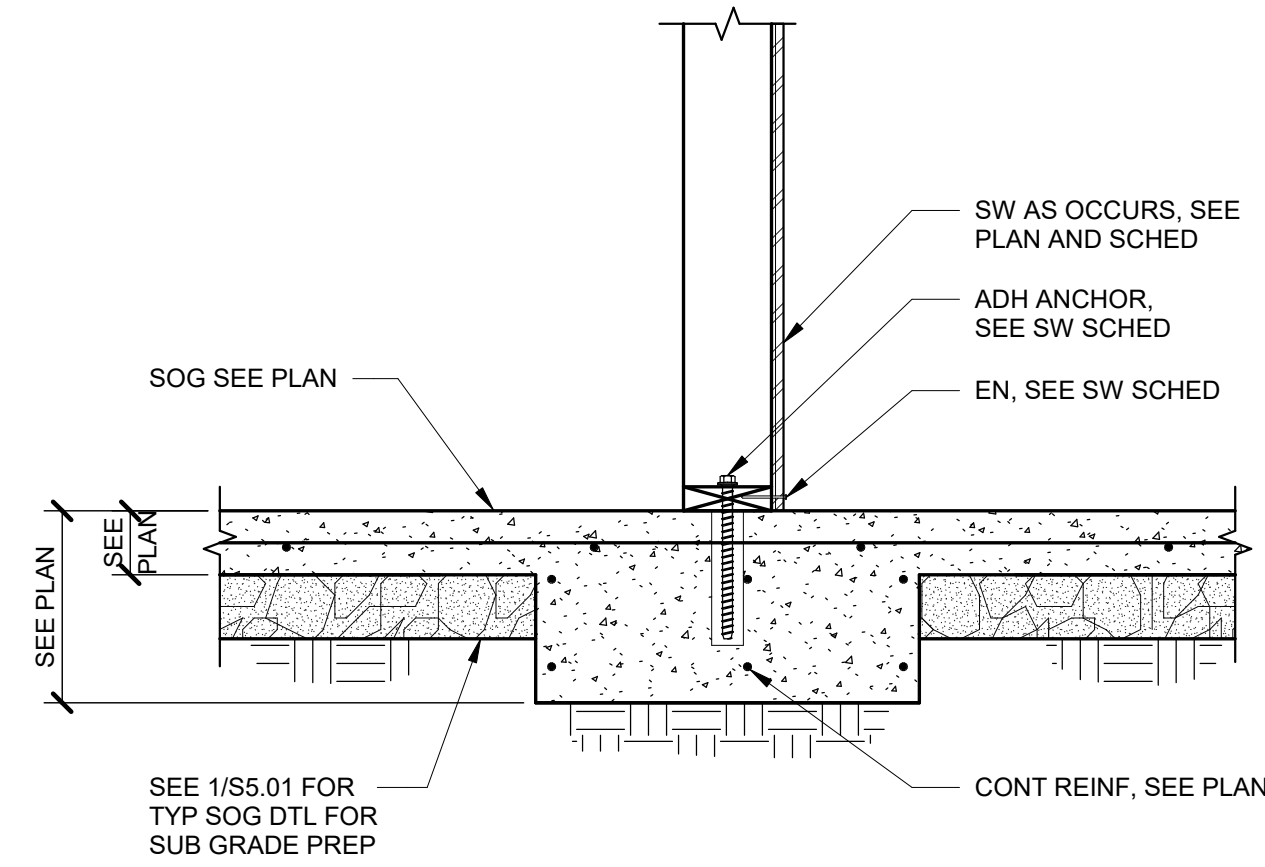
1 TYPICAL SHEAR WALL AND HOLDOWN ELEVATION  
1" = 1'-0"



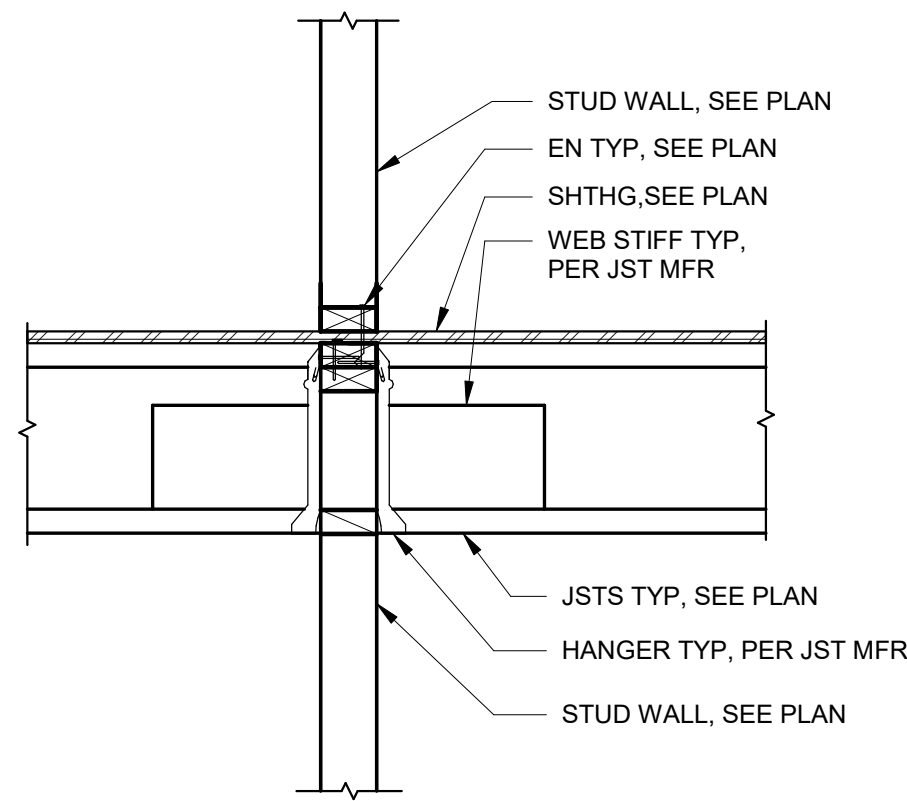
2 WOOD POST ON SILL PLATE  
NTS



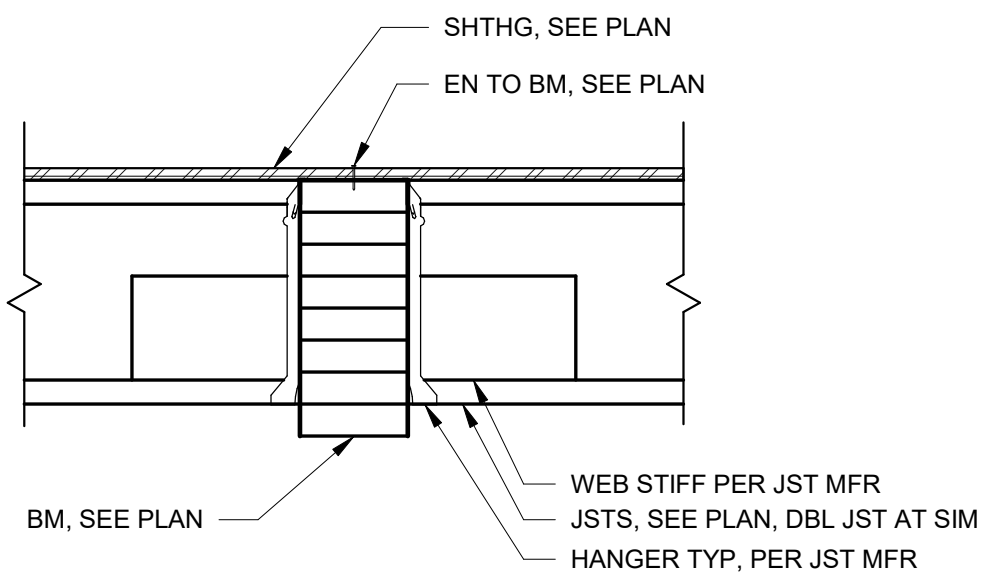
3 INTERIOR FOOTING AT WOOD COLUMN  
1" = 1'-0"



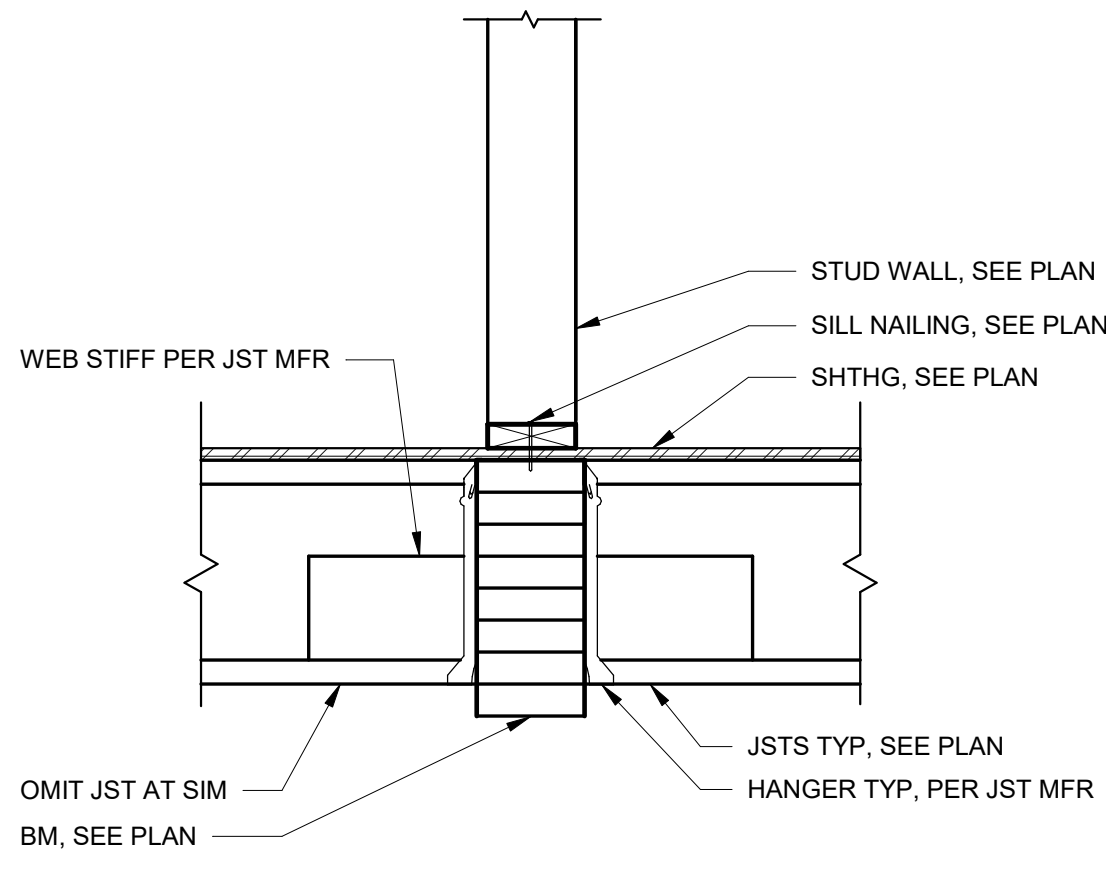
4 TYPICAL INTERIOR BEARING WALL FOOTING  
1" = 1'-0"



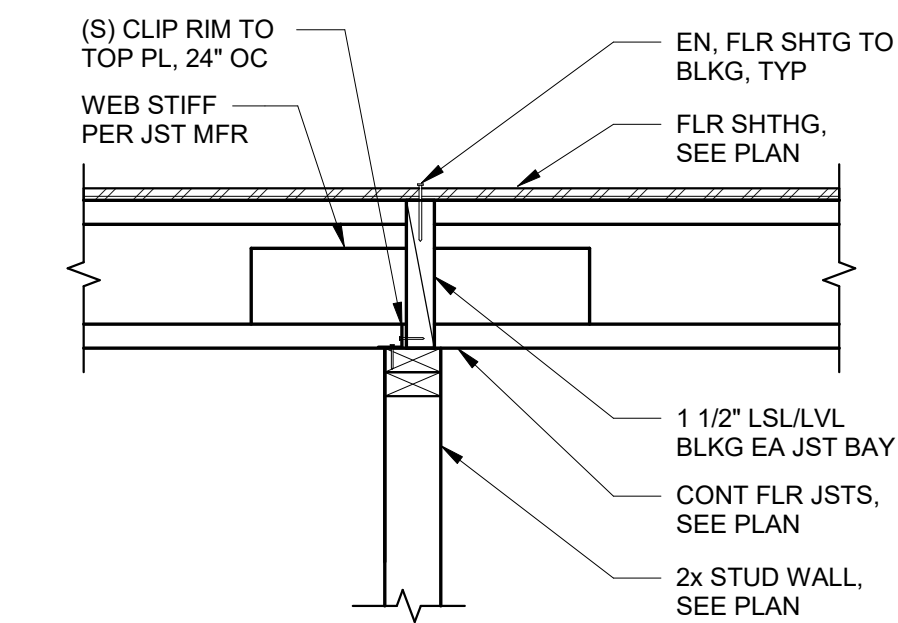
5 FLOOR JOIST AT STUD WALL (PERPENDICULAR W/ NO RIM)  
1" = 1'-0"



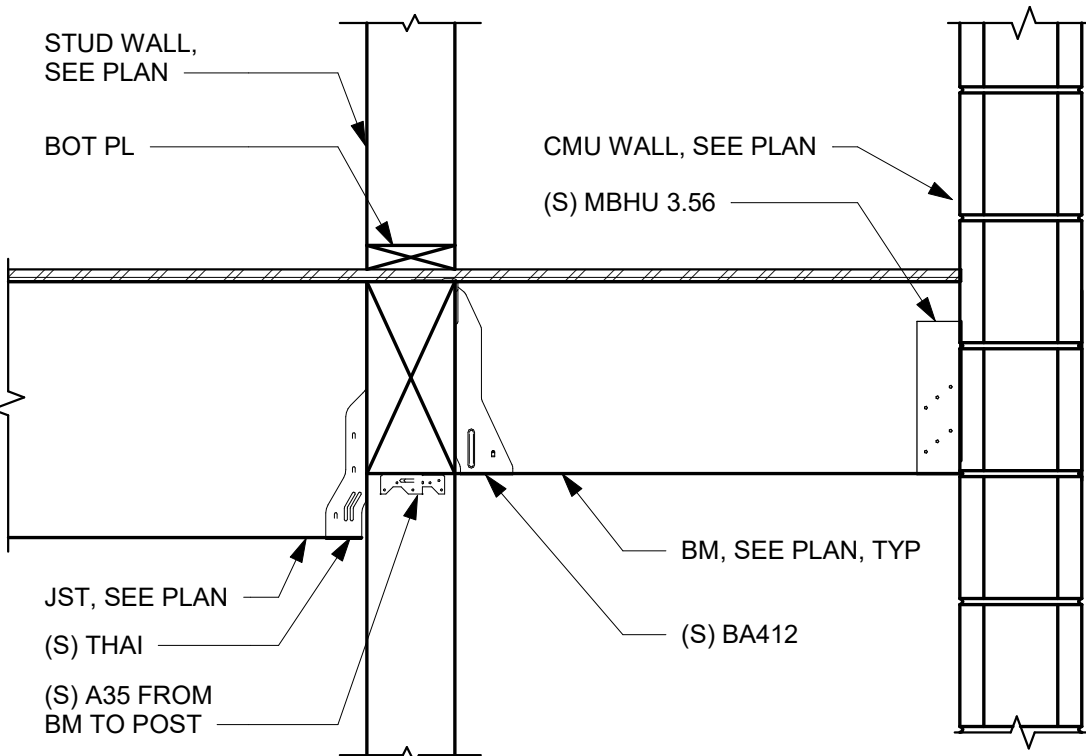
6 TYP JOIST AT BEAM  
1" = 1'-0"



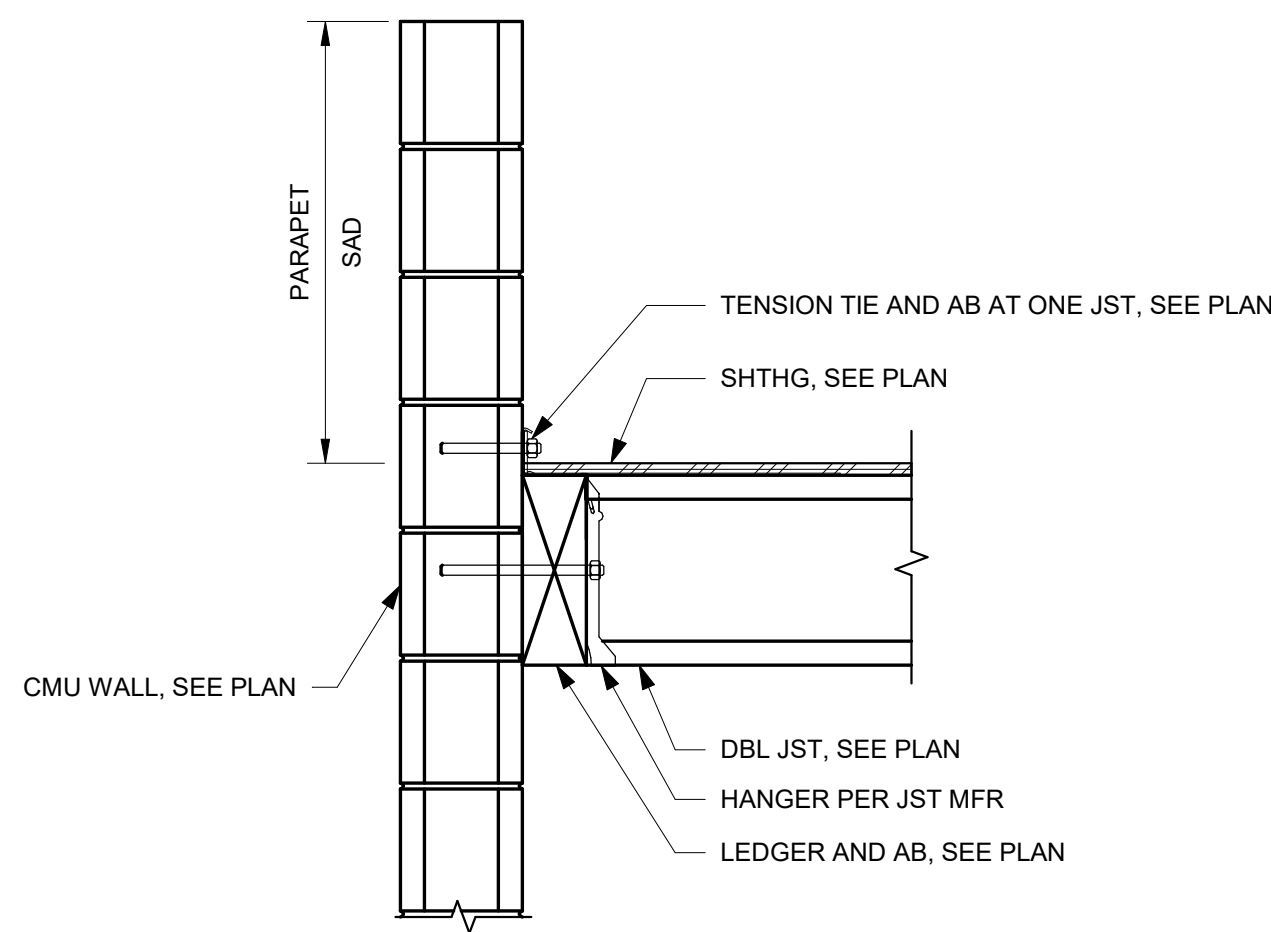
7 BEARING WALL AT BEAM  
1" = 1'-0"



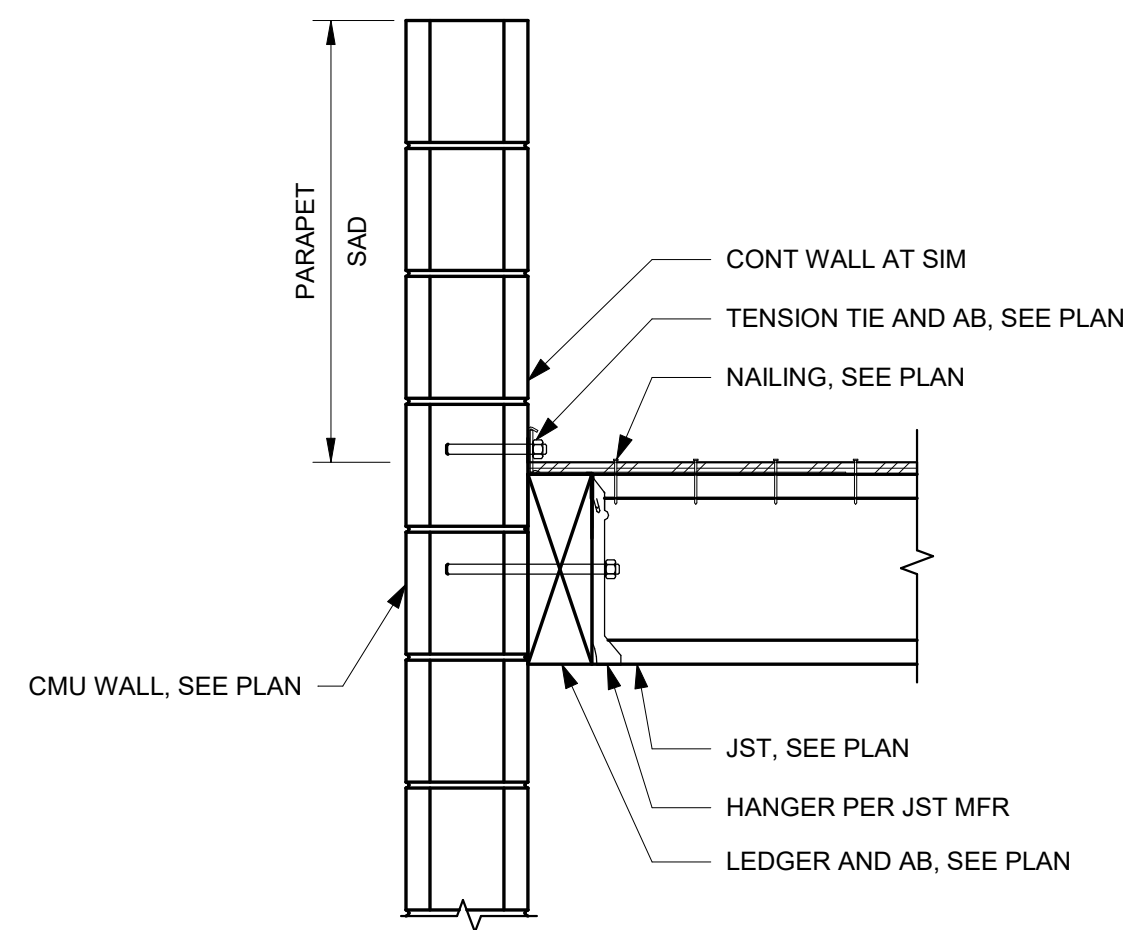
8 CONT JOIST PERPENDICULAR TO INTERIOR BEARING  
1" = 1'-0"



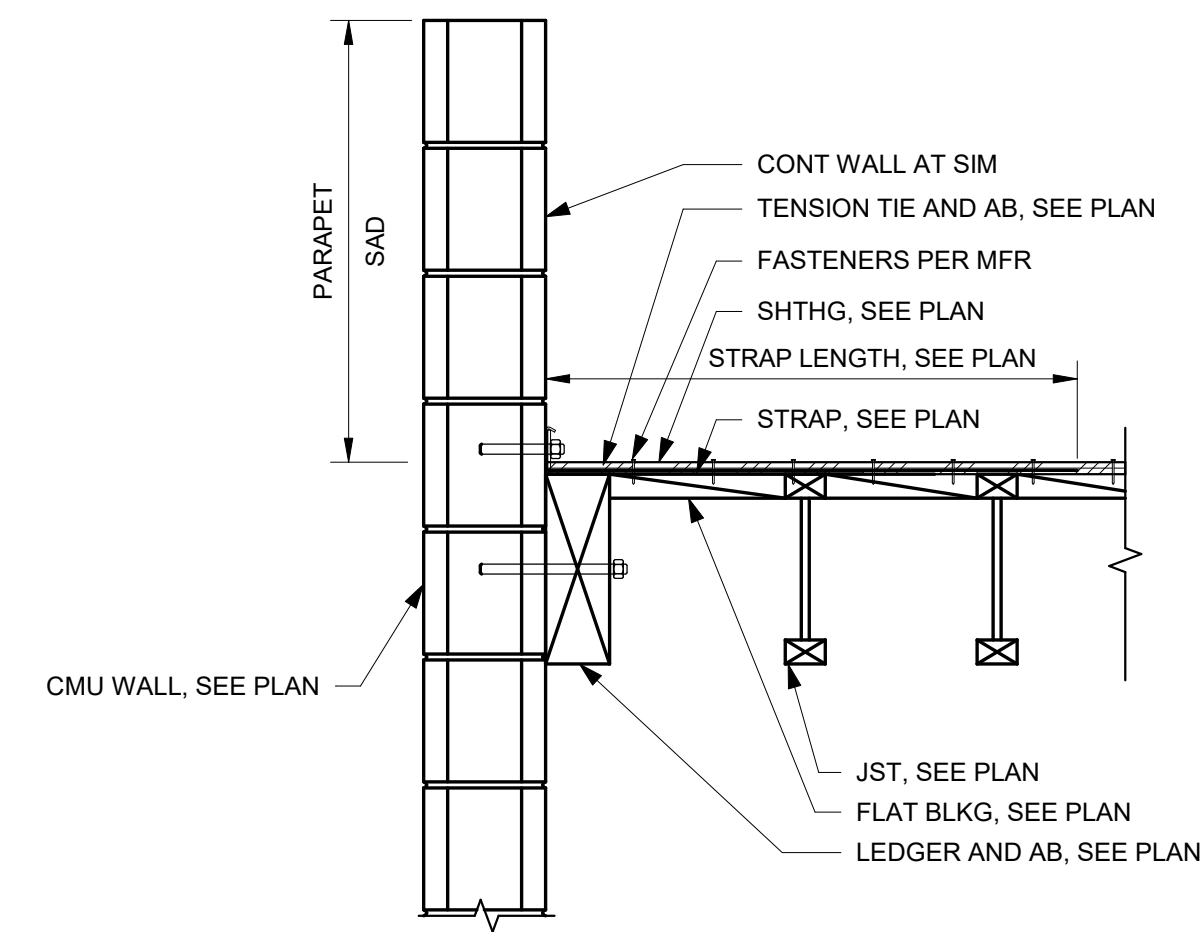
9 BEAM AT STAIRS  
1" = 1'-0"



10 DOUBLE JOIST PERP TO CMU WALL  
1" = 1'-0"



11 TYP EXTERIOR WALL- JOIST PERPENDICULAR  
1" = 1'-0"



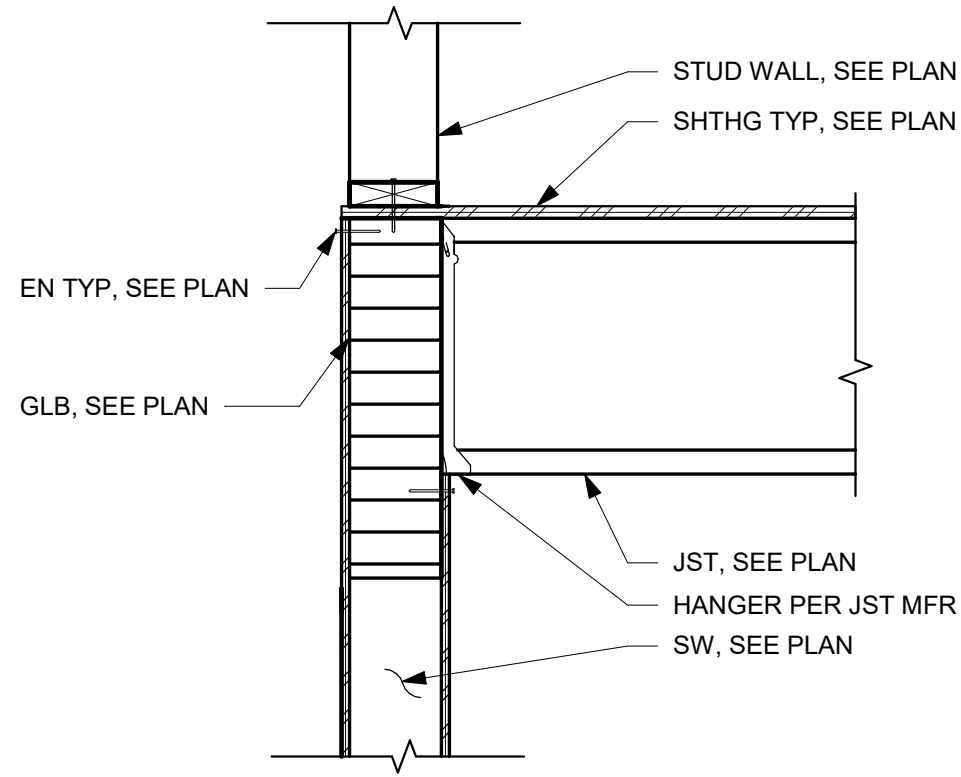
12 TYP WALL ANCHORAGE  
1" = 1'-0"

PERMIT SET		
REVISIONS:		
#	DATE	DESC.

SHEET TITLE:  
**TYPICAL WOOD DETAILS**

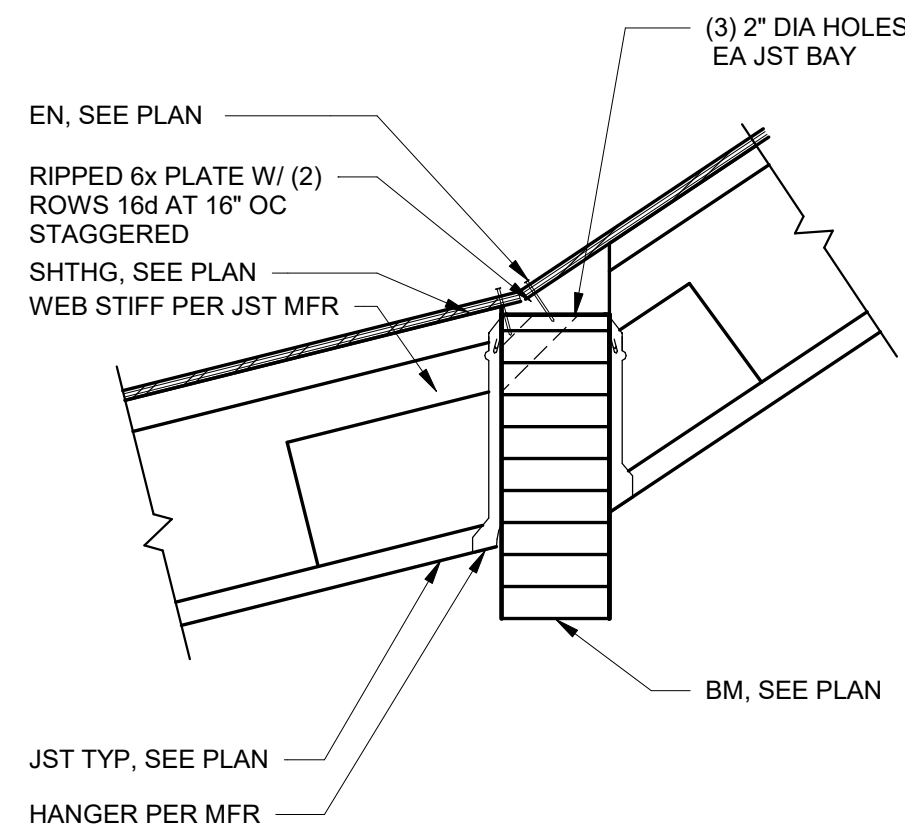
PROJECT # 20162  
ISSUE DATE: 10/14/2020  
AUTHOR: SD



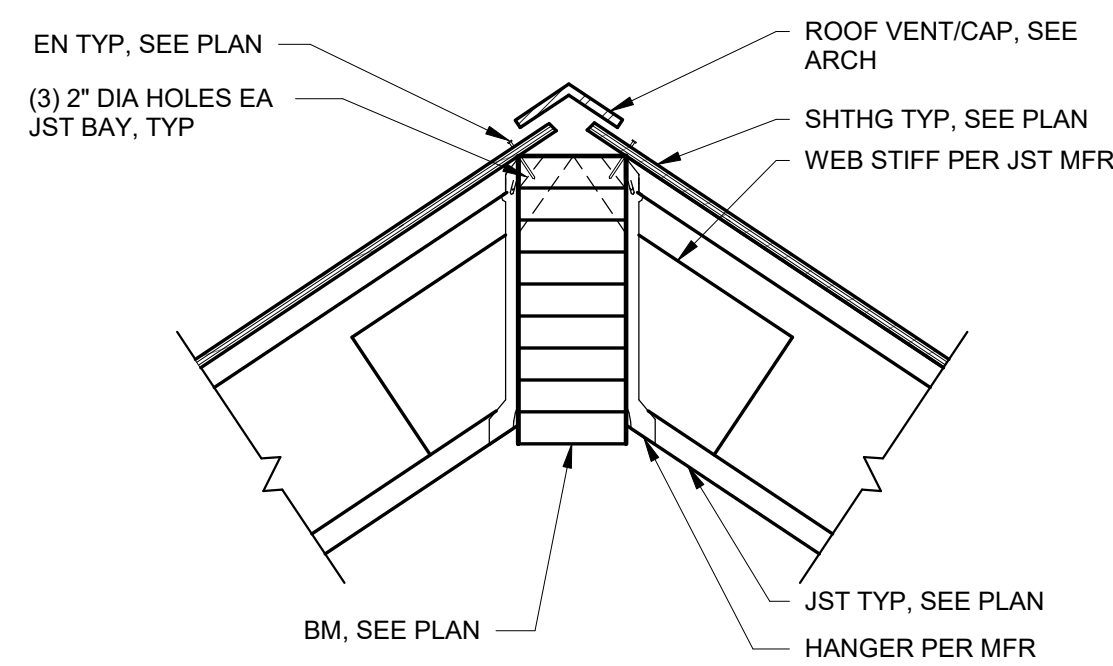


1 GLB ON TOP OF SW  
1" = 1'-0"

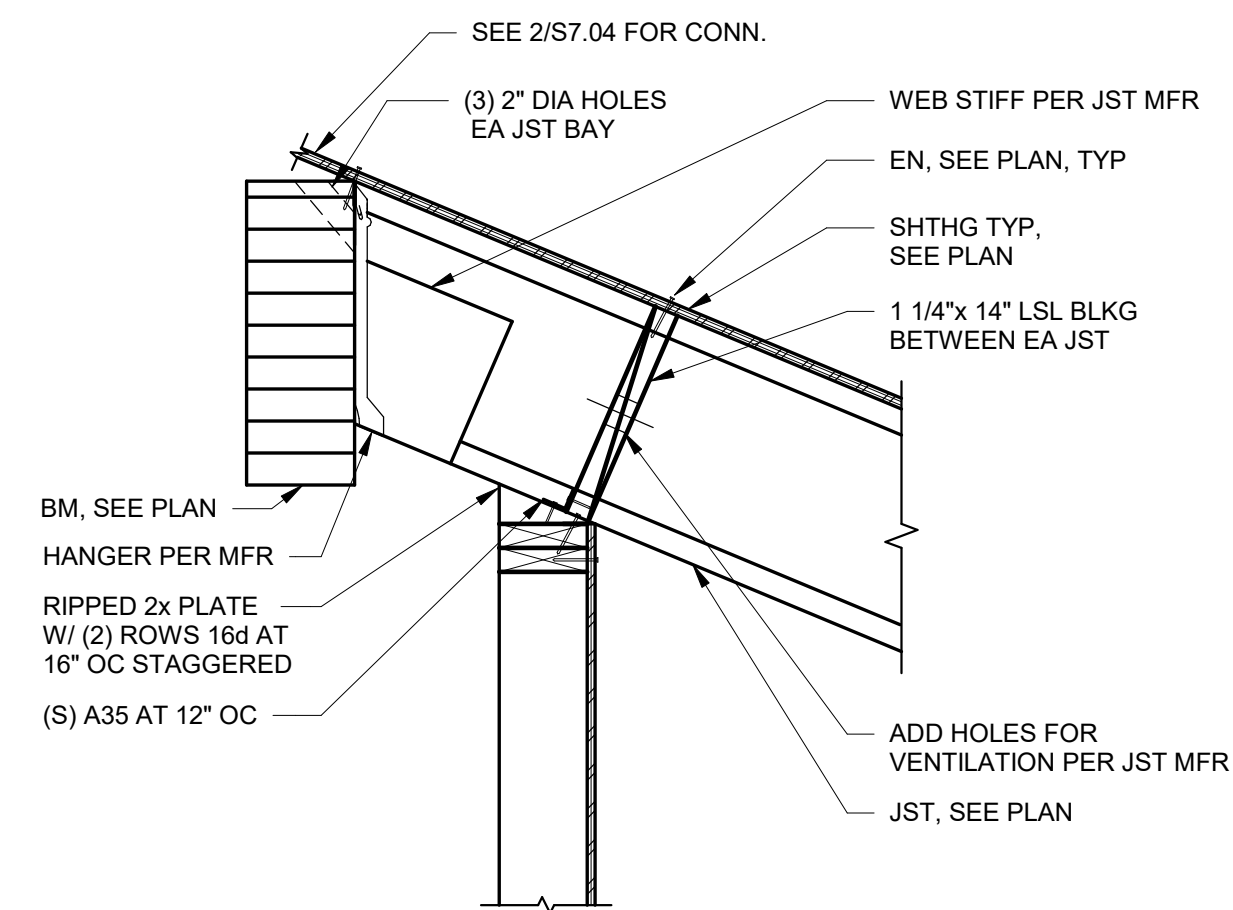
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2 ROOF PITCH  
1" = 1'-0"

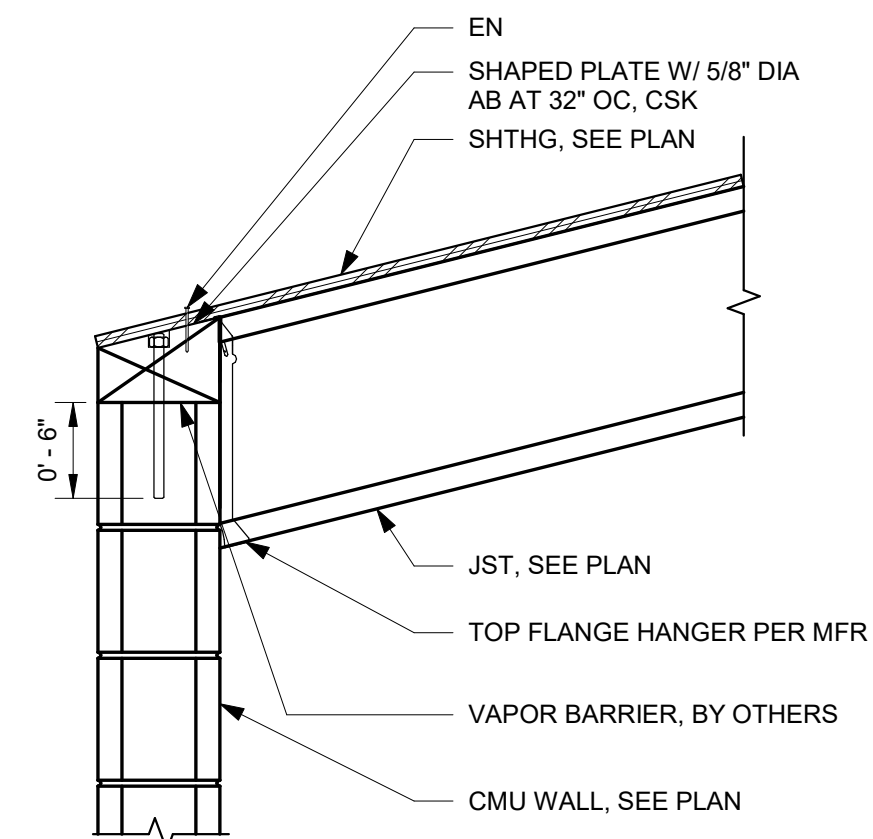


3 ROOF RIDGE  
1" = 1'-0"

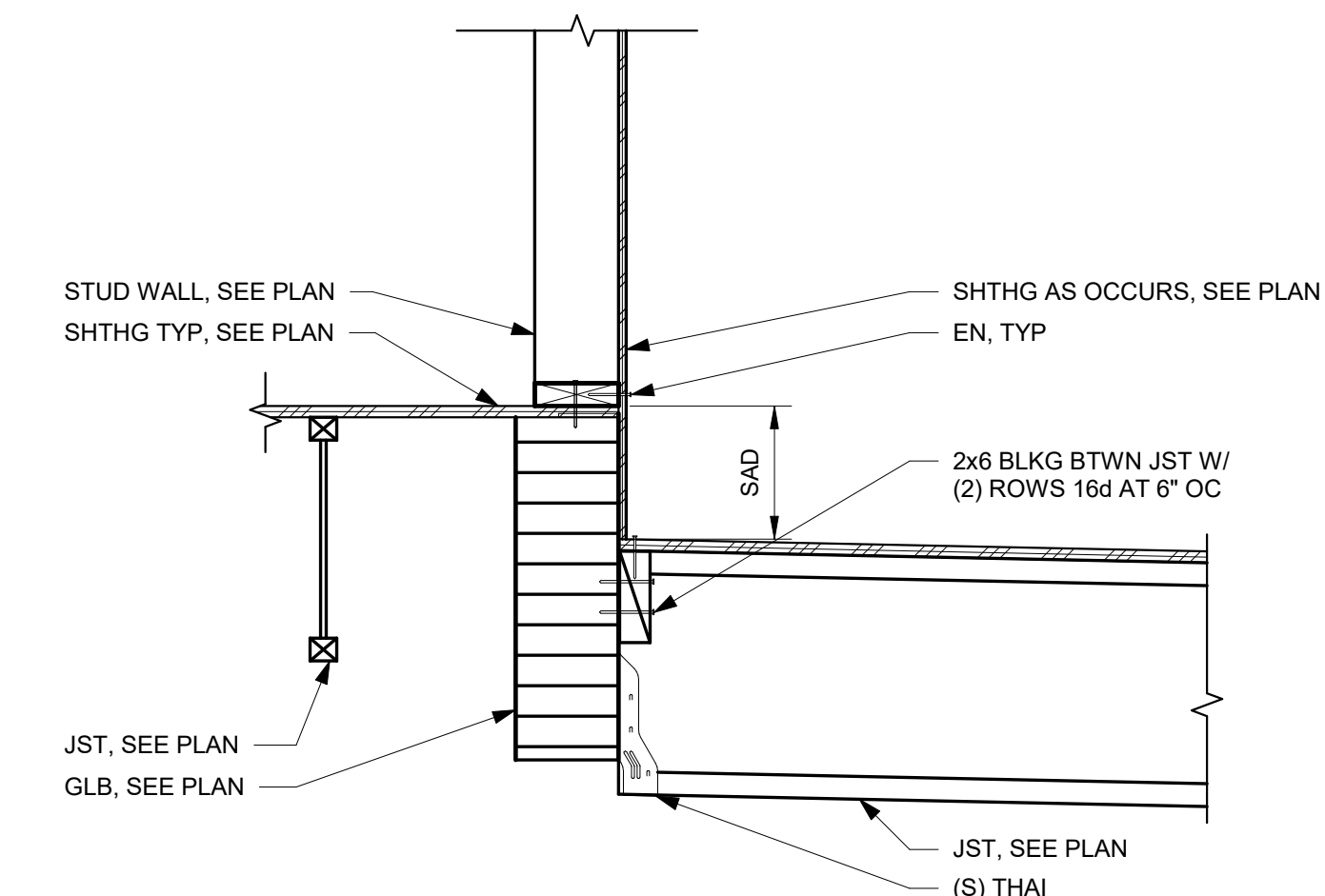


NOTE:  
SEE 2/S7.04 FOR CALLOUTS IN COMMUN.

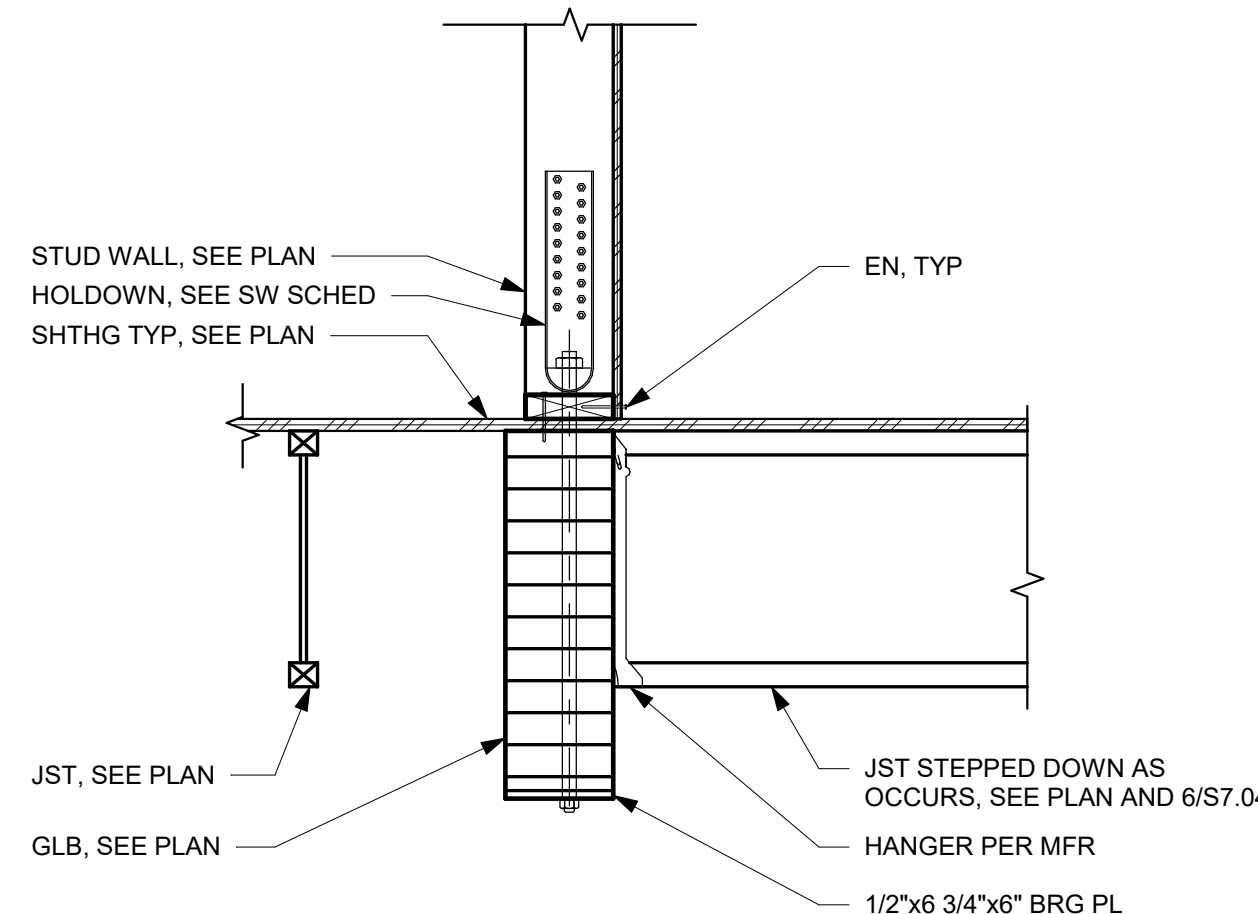
4 ROOF JST CANTILEVER  
1" = 1'-0"



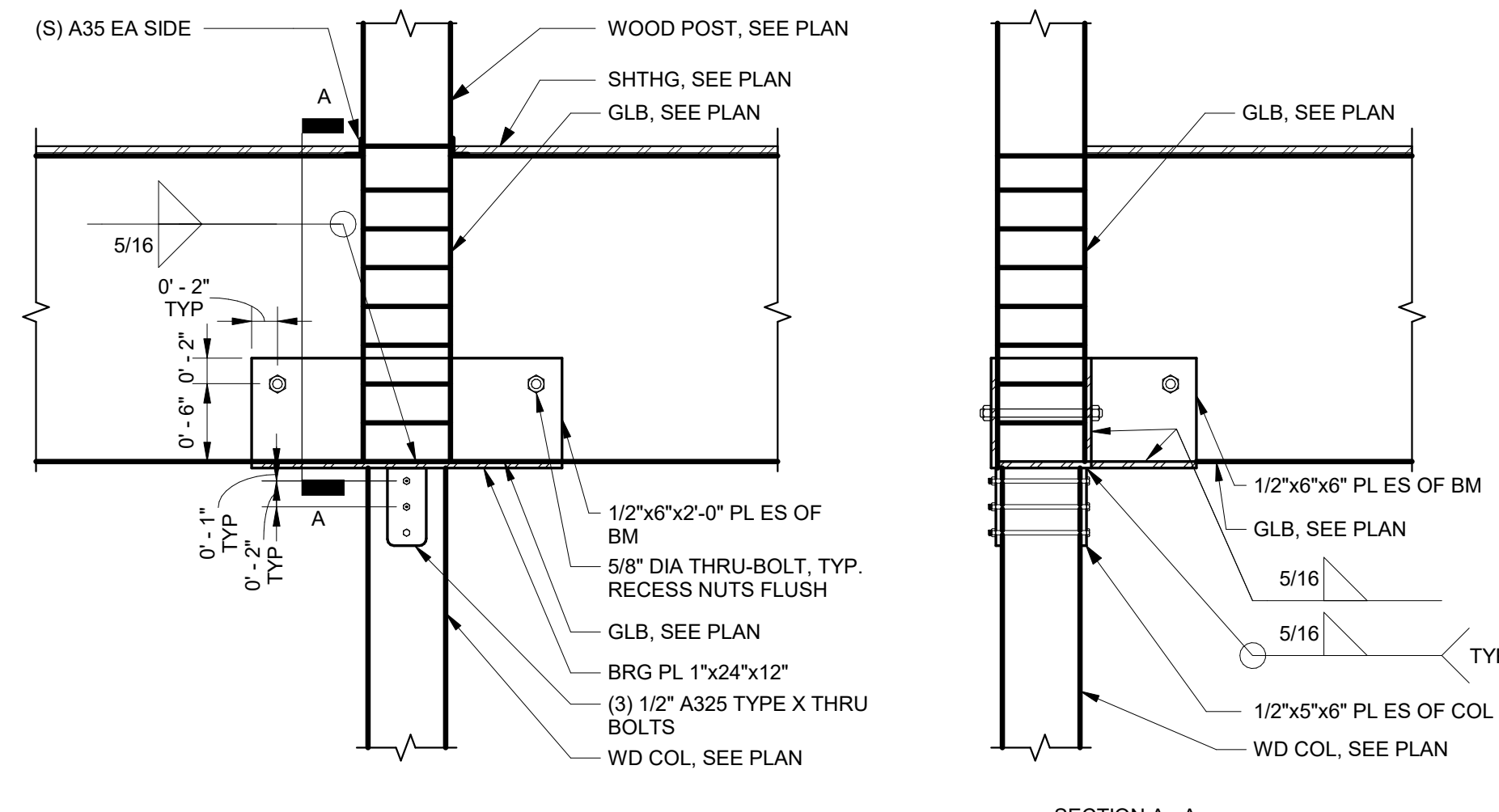
5 ROOF JST TO CMU WALL  
1" = 1'-0"



6 GLB AT STEP  
1" = 1'-0"

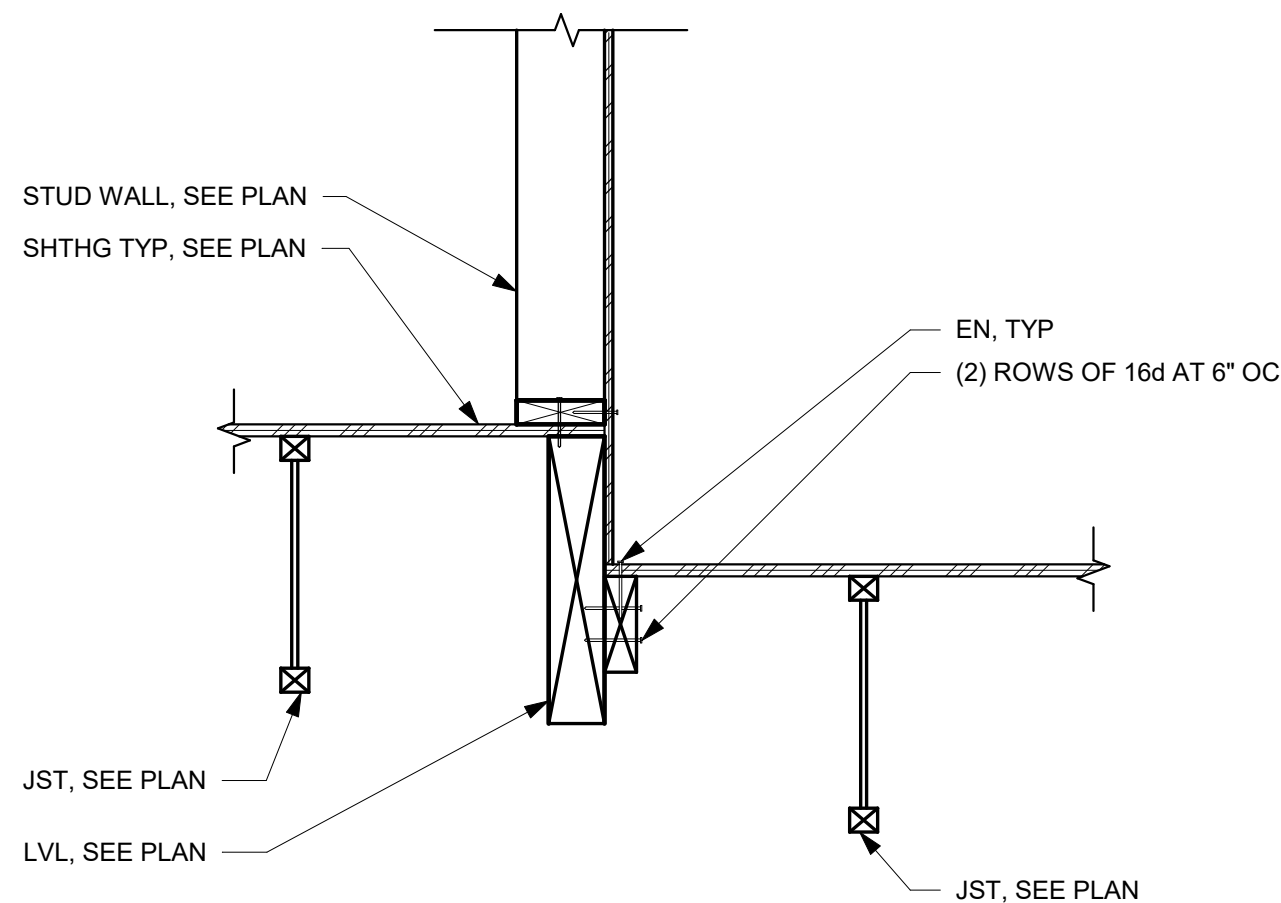


7 HOLDOWN AT GLB  
1" = 1'-0"

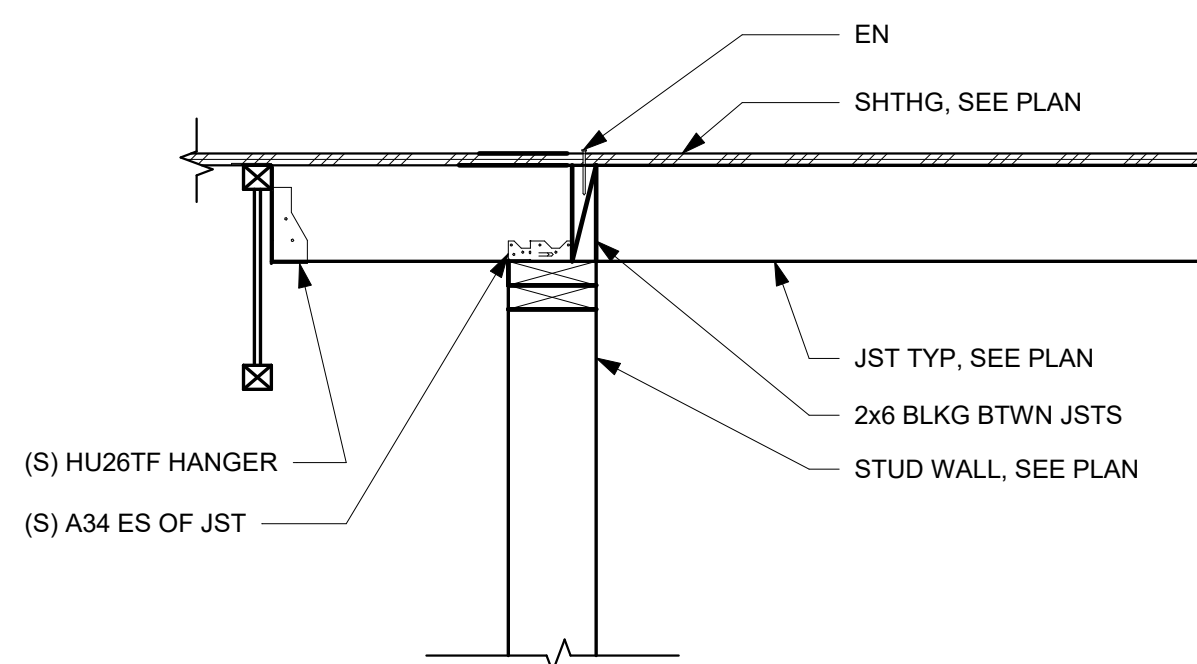


8 WOOD COLUMN TO GLULAM BEAM  
1" = 1'-0"

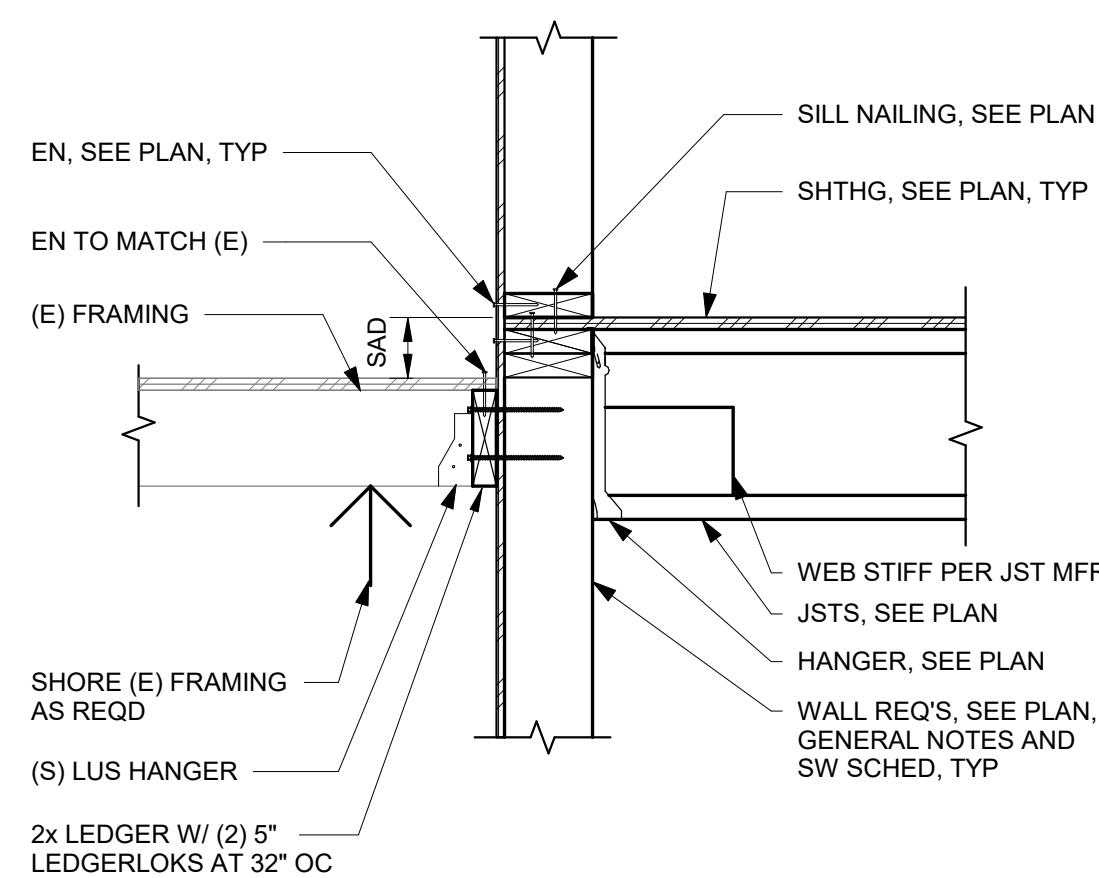
SECTION A - A



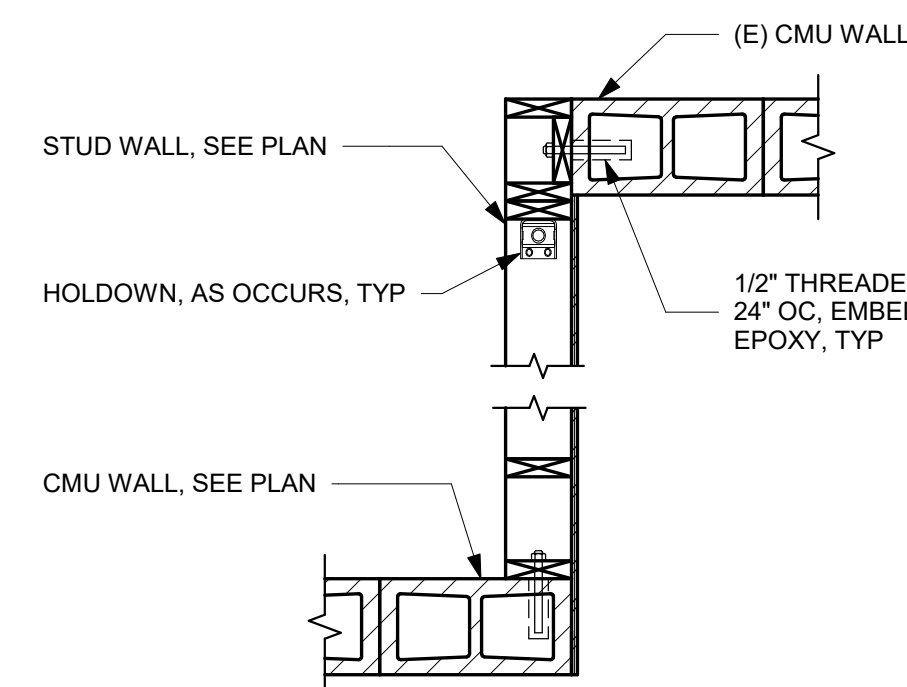
9 LVL AT STEP  
1" = 1'-0"



10 OUTRIGGER CONNECTION  
1" = 1'-0"



11 JOIST AT STUD WALL (PERP)  
1" = 1'-0"



12 STUD WALL TO CMU  
3/4" = 1'-0"

## OLYMPIA CREST PHASE III - BUILDING 3

PERMIT SET

REVISIONS:

# DATE DESC.

SHEET TITLE:

TYPICAL WOOD  
DETAILS

PROJECT # 20162

ISSUE DATE: 10/14/2020

AUTHOR: SD

S7.34