



THOMAS
architecture studios



MALT HOUSE

DETAIL DESIGN REVIEW

FEBRUARY 10, 2021

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MALT HOUSE

Detail Design Review:

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SECTION 6: Lighting Details, Hardscape Materials and Pedestrian Amenities

SECTION 7: Colors & Materials

SECTION 2: Vicinity Map, Context Plans, Context Elevations and Context Images

Architectural context plan and Vicinity Map/ Sheet A010:

- Context plan with 100-foot perimeter boundary.
- Vicinity Map

Architectural context elevations/ Sheets A011 & A012:

- Context elevations with 100-foot perimeter boundary.

Context Images/ Sheet A013.

VICINITY MAP - SITE LOCATION

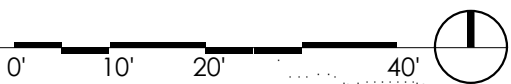


SITE LEGEND

- BUILDING FOOTPRINT
- NEW INTERIOR PAVED HARDSCAPE (IMPERVIOUS)
- NEW CONCRETE HARDSCAPE (IMPERVIOUS)
- EXISTING HARDSCAPE (IMPERVIOUS)
- NEW ASPHALT HARDSCAPE (IMPERVIOUS)
- NEW LANDSCAPE (PERVIOUS)
SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING ADJACENT BUILDINGS.
- PROPERTY LINE
- DASHED LINE OF BUILDING ABOVE, TYPICAL.
- 100' CONTEXT
- 1 TAQUERIA LA ESQUINITA
- 2 FISH TALE BREW PUB
- 3 'GOTTI SWEETS'
- 4 FISH BREWING COMPANY
- 5 RC TRUCKS SHOP
- 6 SAFE PLACE
- 7 622 JEFFERSON ST NE

1 SITE CONTEXT - 100'

1" = 20'-0"



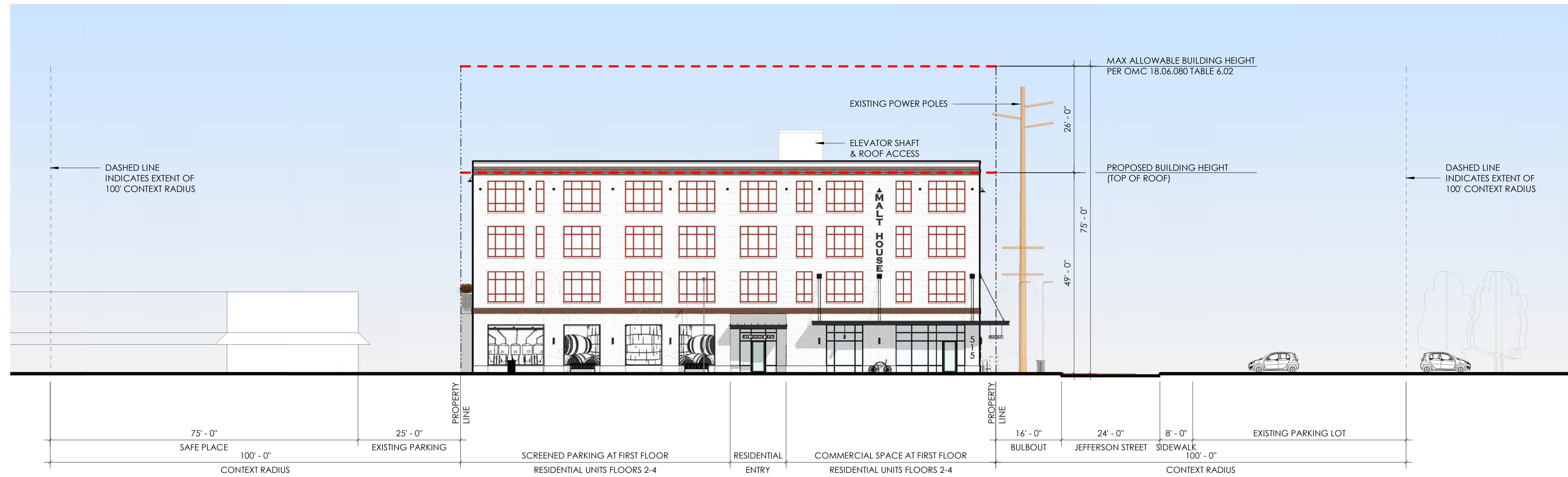
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515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

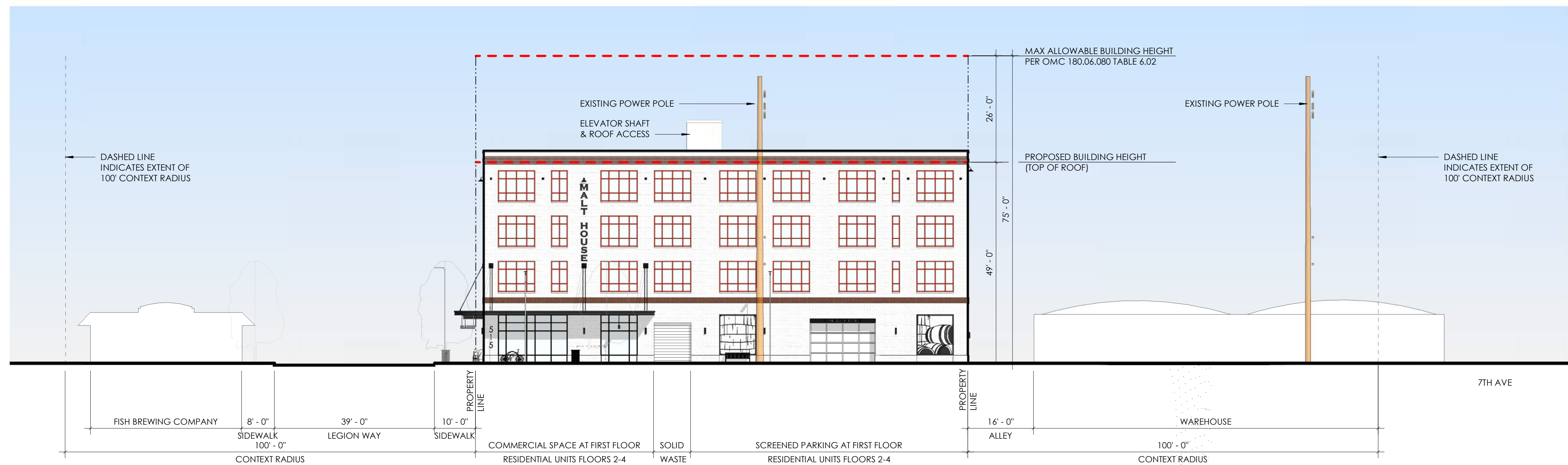
A010
SITE CONTEXT 100'





1 NORTH ELEVATION - 100' CONTEXT (LEGION)
1/16" = 1'-0"

0' 8' 16' 32'



2 WEST ELEVATION - 100' CONTEXT (JEFFERSON)
1/16" = 1'-0"

0' 8' 16' 32'

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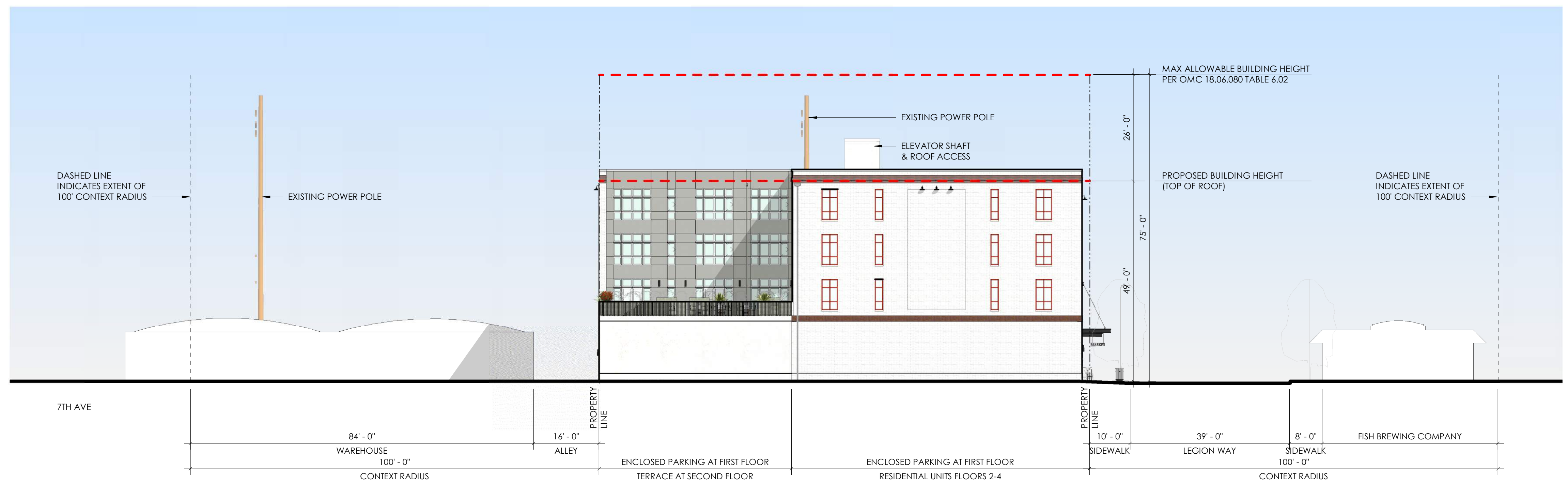
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A011

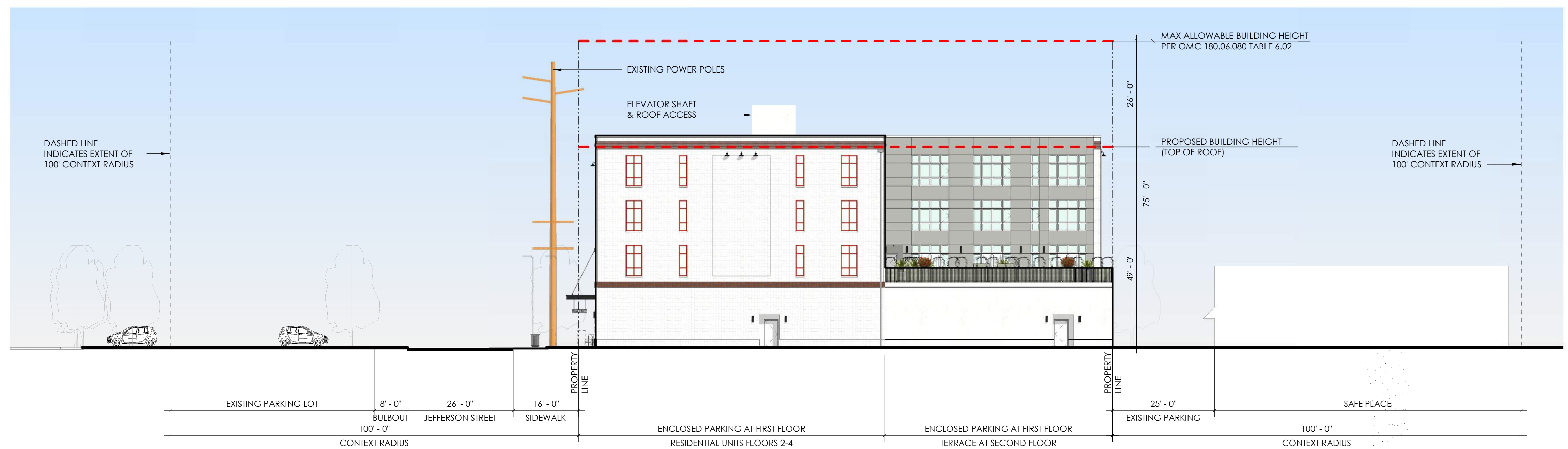
CONTEXT - ELEVATIONS





1 EAST ELEVATION - 100' CONTEXT (LEGION)
1/16" = 1'-0"

0' 8' 16' 32'



2 SOUTH ELEVATION - 100' CONTEXT
1/16" = 1'-0"

0' 8' 16' 32'

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A012

CONTEXT - ELEVATIONS





LEGION WAY & JEFFERSON STREET INTERSECTION LOOKING SOUTH



LEGION WAY & CHERRY STREET INTERSECTION LOOKING WEST



7TH AVE & JEFFERSON STREET INTERSECTION LOOKING NORTH

KEY MAP



7TH AVE & CHERRY STREET INTERSECTION LOOKING WEST

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A013
CONTEXT - IMAGES



SECTION 3: Site Plans, Floor Plans, and Solid waste

Architectural site plan/sheet A101 and site features/ sheet A102:

- Property lines with distances.
- Adjacent public rights-of-way.
- Existing, less than a 1-foot elevation change over the entire site. Contour intervals not necessary.
- Existing and proposed site features. Storm water facilities shown on Civil Plan.
- Existing and proposed building footprint(s) with dimensioned setbacks from property lines.
- Location of above ground mechanical or utility equipment not on public right of way, screening not required.
- Clearly delineated and labeled landscape and hardscape areas.
- Parking area layout and short-term bike parking.
- Location of all other site features including pedestrian amenities, bicycle racks, tree grates, etc.

Long term bicycle parking provided in unit per plan. Equipment shall be "Velo Hinge" by Feedback Sports, or similar. For more info. see A900 (Bike Parking).

Short term bicycle parking provided at perimeter of building near entrances using Arc Rack by Dero, or similar. For more info. see A900 (Bike Parking).

No monument or free-standing sign shall be provided. All signage will be mounted to the building or canopies.

Sidewalk pattern plan/ sheet A103:

- Detail and size of proposed sidewalk pattern.

Solid waste collection enclosure plan/ sheet A104:

- Solid waste collection location and enclosure/screening option(s).

Location as indicated on plan.

Architectural building and roof plan/ sheets A201, A202, A203 & A204.

VICINITY MAP - SITE LOCATION



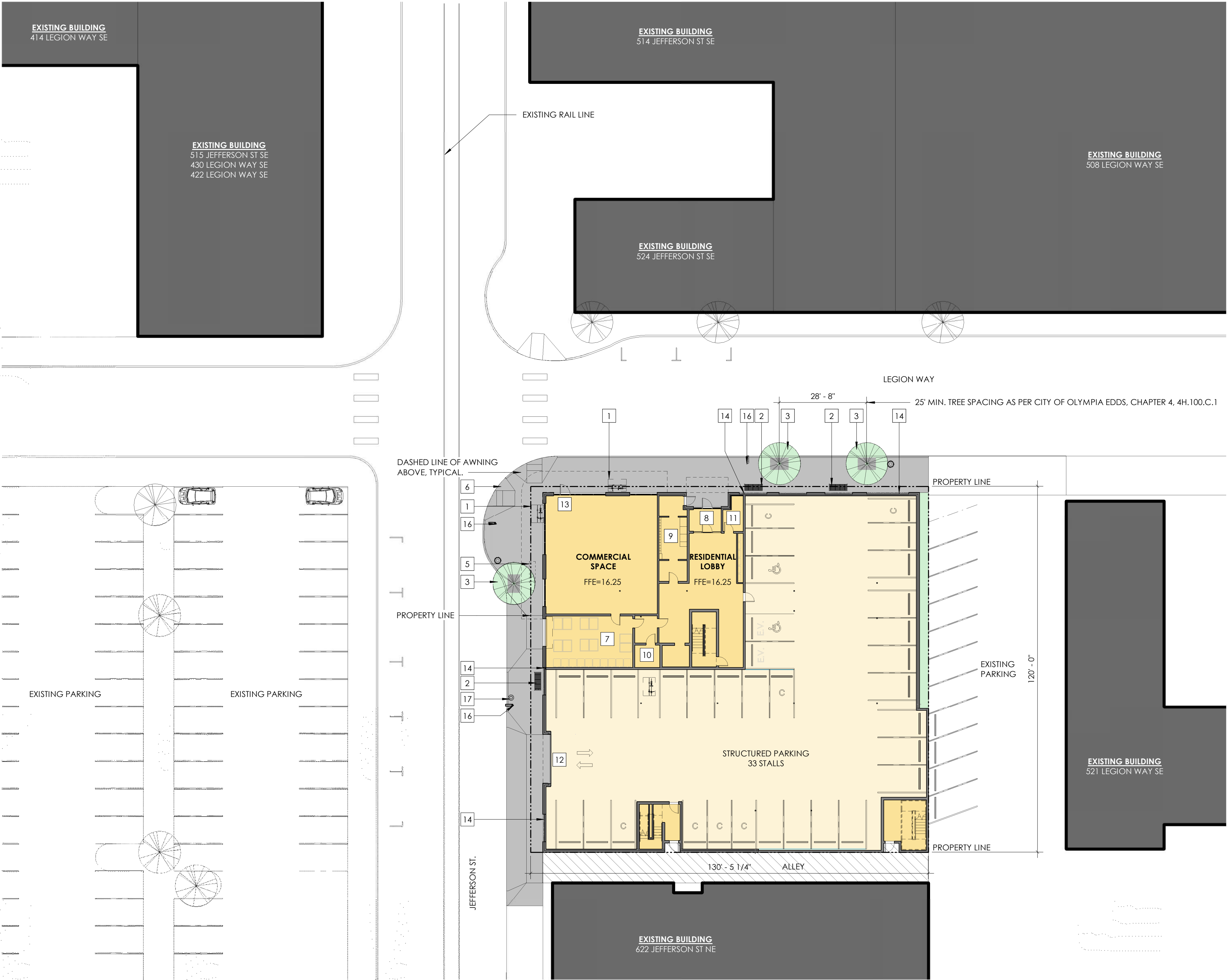
GENERAL SITE INFO

ADDRESS: 515 LEGION WAY SE, OLYMPIA WA 98501
TAX PARCEL NUMBER: #78505600100
SECTION: 14
TOWNSHIP: 18
RANGE: 2W
ZONING: DB

EXISTING SITE AREAS:	
TOTAL SITE AREA:	15,653 SF
TOTAL LANDSCAPE AREA:	0 SF
TOTAL HARD SURFACE COVERAGE:	15,653 SF
PROPOSED SITE AREAS:	
PROPOSED BUILDING FOOTPRINT (IMPERVIOUS):	4,315 SF
PROPOSED PARKING AREA (IMPERVIOUS):	10,308 SF
LANDSCAPE AREA:	0 SF
TOTAL PERVIOUS:	0 SF
TOTAL IMPERVIOUS:	14,623 SF

PARKING SUMMARY

REQUIRED VEHICLE PARKING REQUIREMENTS (OMC 18.38.040)	
VEHICLE PARKING PROPOSED:	
OFF STREET PARKING PROVIDED =	33 SPACES
ON STREET PARKING PROVIDED =	SPACES
TOTAL SPACES PROVIDED =	33 SPACES
30 % OF ALL SPACES CAN BE COMPACT =	
33 X 0.30 =	10 SPACES
PROVIDED =	9 SPACE
ACCESSIBLE PARKING REQUIRED (OMC 18.38.120)	
2 SPACES MIN. REQUIRED PER 26-50 PARKING SPACES =	2 SPACES
PROVIDED =	2 SPACES
5% OF ALL SPACES SHALL BE ELECTRICAL VEHICLE SPACES	
33 X 0.05 =	2 SPACES
LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38. TABLE 38.01):	
(31) STUDIOS @ 0 STORAGE SPACE PER UNIT =	0 SPACES
(20) ONE BEDROOMS @ 1 STORAGE SPACE PER UNIT =	20 SPACES
(3) TWO BEDROOMS @ 1 STORAGE SPACE PER UNIT =	3 SPACES
RETAIL 1,854 SF (UNDER 3000 SF = NOT REQUIRED)	0 SPACES
TOTAL FOR ALL THE SPACES PROVIDED =	23 SPACES
SHORT TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38. TABLE 38.01):	
(31) STUDIOS @ 1/10 UNITS, 2 MIN. =	3 SPACES
(20) ONE BEDROOMS @ 1/10 UNITS, 2 MIN. =	2 SPACES
(3) TWO BEDROOMS @ 1/10 UNITS, 2 MIN. =	2 SPACES
RETAIL 1,854 SF (UNDER 3000 SF = NOT REQUIRED)	0 SPACES
TOTAL FOR ALL THE SPACES PROVIDED =	7 SPACES



1 SITE PLAN
1" = 20'-0"

GENERAL SITE NOTES

1. DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT. SEE SEPARATE CIVIL DRAWINGS FOR ADDITIONAL SITE DEVELOPMENT SPECIFICS.
2. DRAWINGS ARE FOR GENERAL BUILDING AND SITE LAYOUT. SEE SEPARATE LANDSCAPE ARCHITECTURAL DRAWINGS FOR SPECIFICS.
3. SITE LIGHTING PER ELECTRICAL DRAWINGS.
4. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.

SITE LEGEND

- BUILDING FOOTPRINT
- NEW INTERIOR PAVED HARDSCAPE (IMPERVIOUS)
- NEW CONCRETE HARDSCAPE (IMPERVIOUS)
- EXISTING HARDSCAPE (IMPERVIOUS)
- NEW ASPHALT HARDSCAPE (IMPERVIOUS)
- NEW LANDSCAPE (PERVIOUS)
SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING ADJACENT BUILDINGS.

- 1 SHORT TERM BICYCLE PARKING. PROVIDE DERO, ARC RACK OR SIMILAR. SEE SHEET A104 DETAIL #5 & 6 FOR ADDITIONAL INFORMATION.
- 2 PEDESTRIAN BENCH SEATING. PROVIDE DUMOR SIGNATURES BENCH 160 WITH CENTER ARMREST, COLOR: BLACK.
- 3 NEW STREET TREES. PROVIDE WITH MINIMUM 4X6' PEDESTRIAN FRIENDLY TREE IRON GRATE, TYPICAL.
- 4 EXISTING STREET TREES TO BE REMOVED AND REPLACED.
- 5 EXISTING RAILROAD CONTROL. EASEMENT.
- 6 NEW BULB OUT. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 7 LOCATION OF WASTE COLLECTION. SEE SHEET A-102 FOR ADDITIONAL INFORMATION.
- 8 LOCATION OF RESIDENTIAL BUILDING ENTRY. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 9 LOCATION OF ELECTRICAL ROOM. SEE FIRST FLOOR PLAN FOR ADDITIONAL INFORMATION.
- 10 MECHANICAL ROOM.
- 11 SPRINKLER RISER ROOM.
- 12 LOCATION OF STRUCTURED PARKING ENTRY. SEE FIRST FLOOR PLAN.
- 13 LOCATION OF COMMERCIAL/RETAIL SPACE ENTRY. SEE FIRST FLOOR PLAN.
- 14 PROPOSED NEW MURAL /ART WALL LOCATION. SEE ELEVATION. SEE SHEET A-103 FOR ADDITIONAL INFORMATION.
- 15 EXISTING LIGHT POLE. SEE CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 16 NEW LIGHT POLE. SEE CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 17 EXISTING POWER POLE.

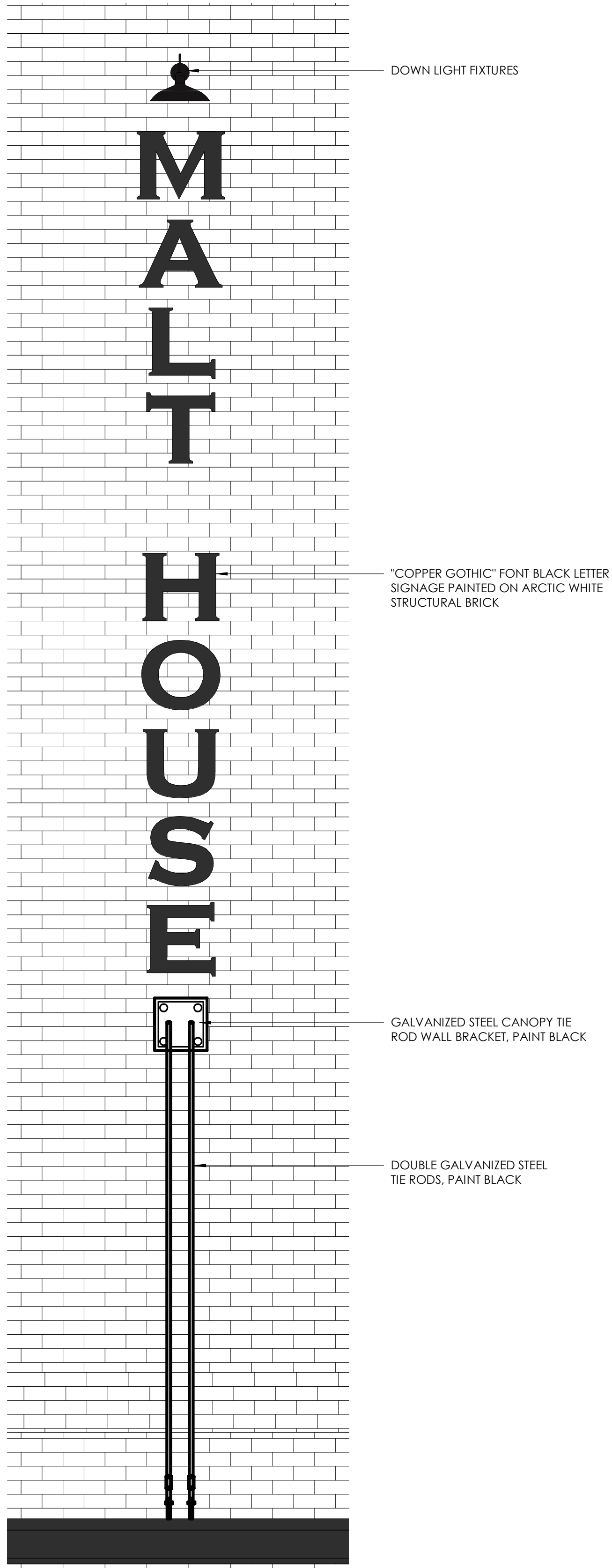
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A101
SITE PLAN



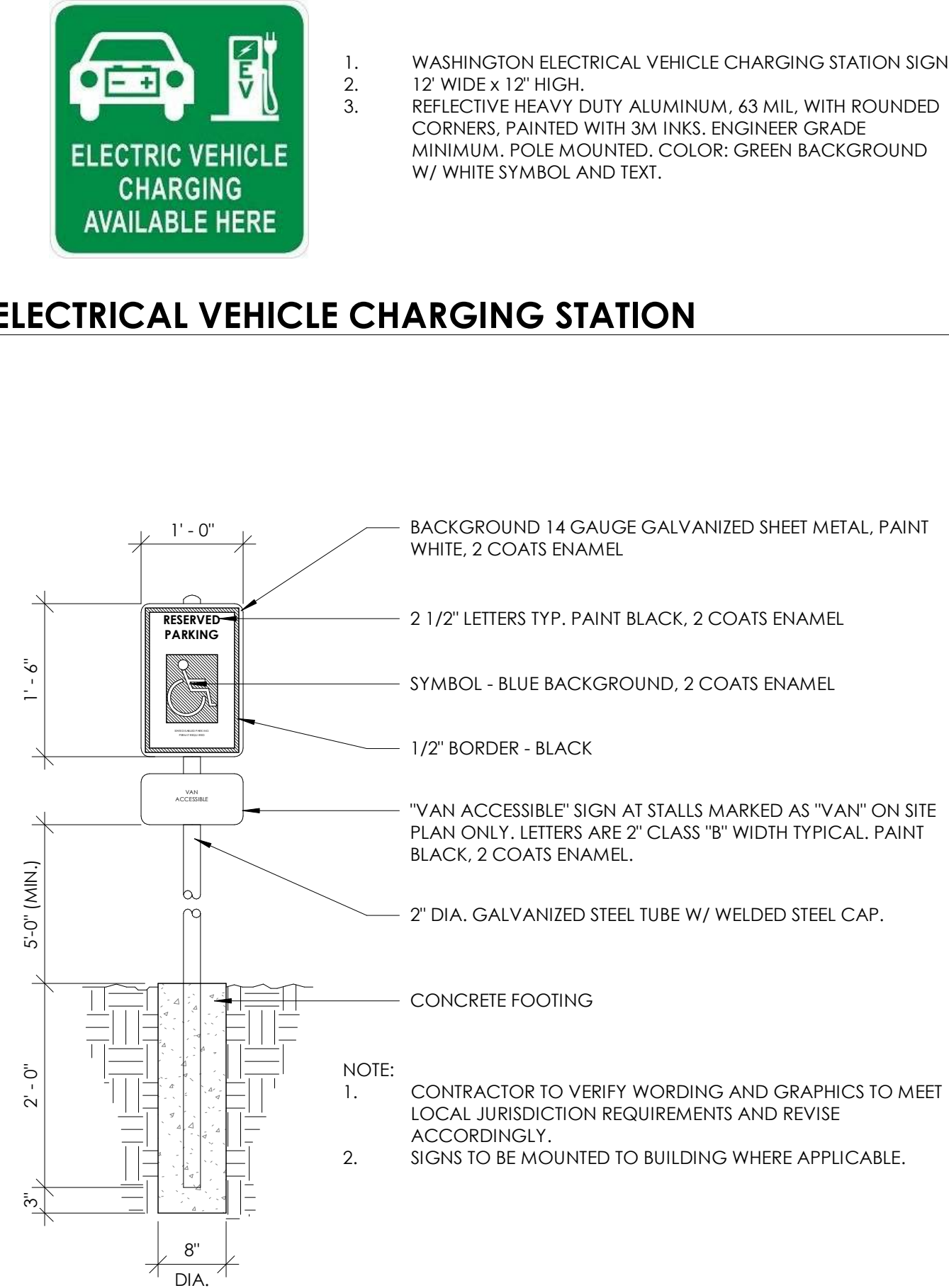


12 BUILDING NAME SIGNAGE
1/2" = 1'-0"

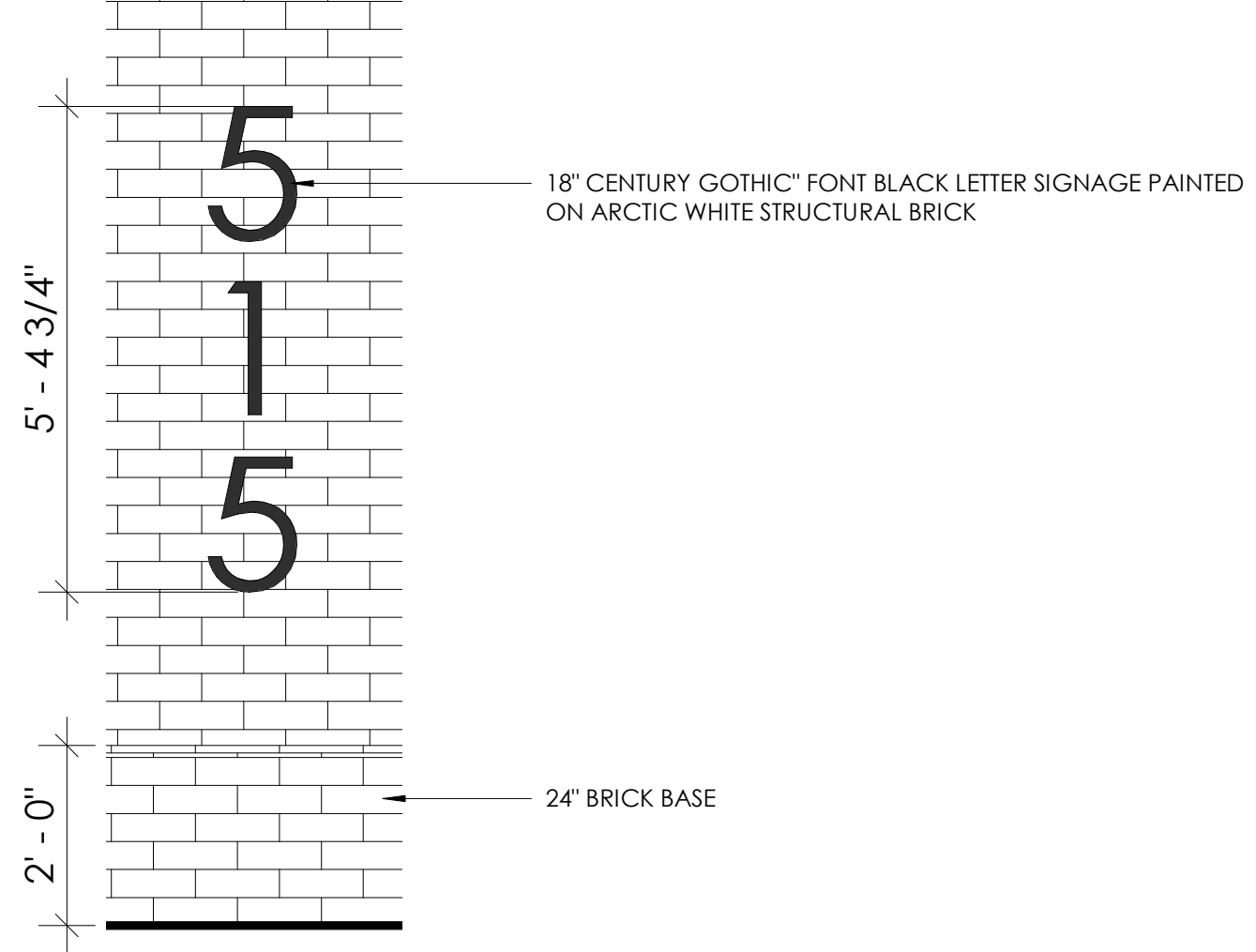
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11 ELECTRICAL VEHICLE CHARGING STATION



10 ACCESSIBLE SIGNS
3/4" = 1'-0"

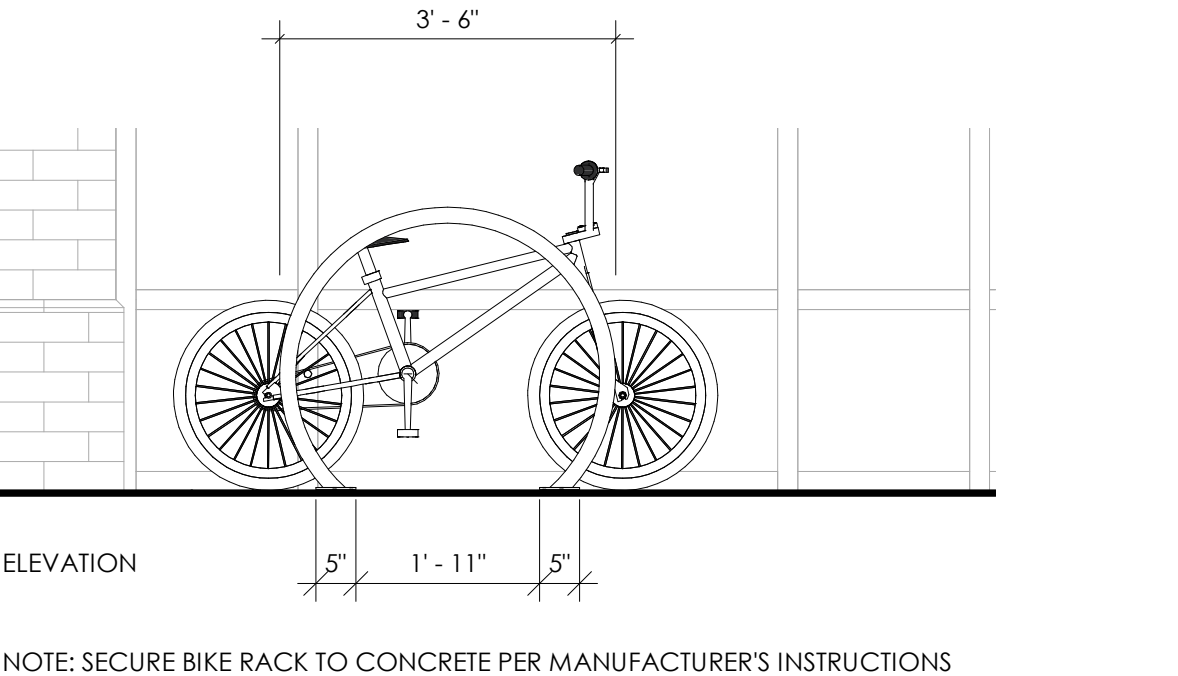


9 BUILDING NUMBER SIGNAGE
1/2" = 1'-0"

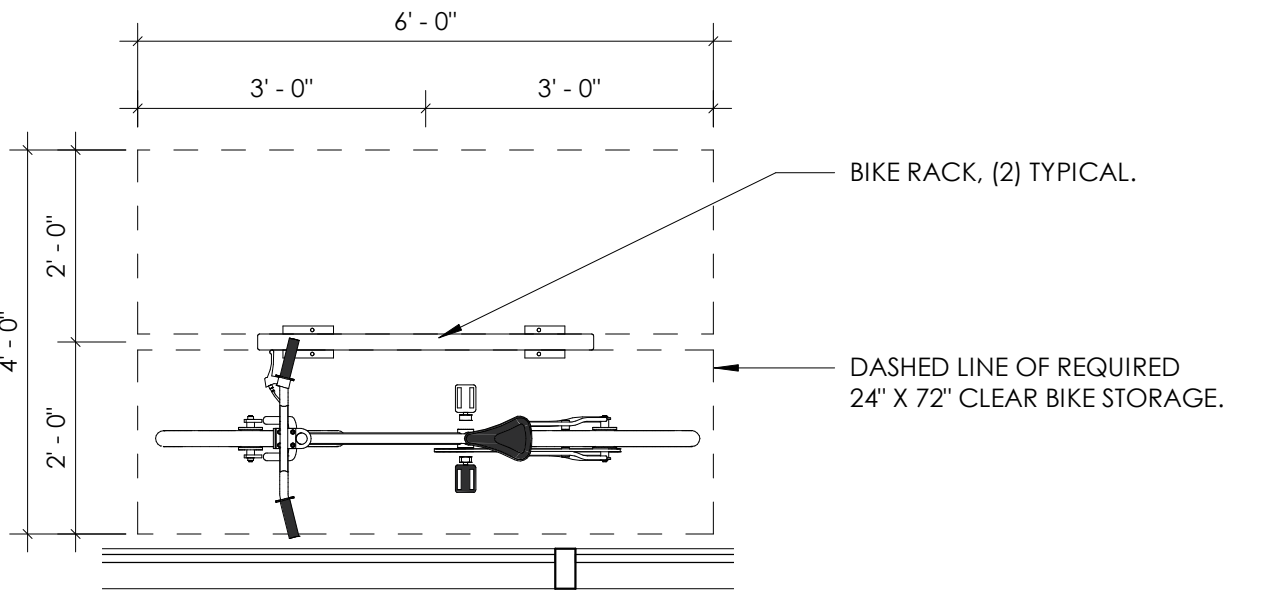
8 ACCESSIBLE PARKING MARKINGS



7 PEDESTRIAN BENCH
1/2" = 1'-0"

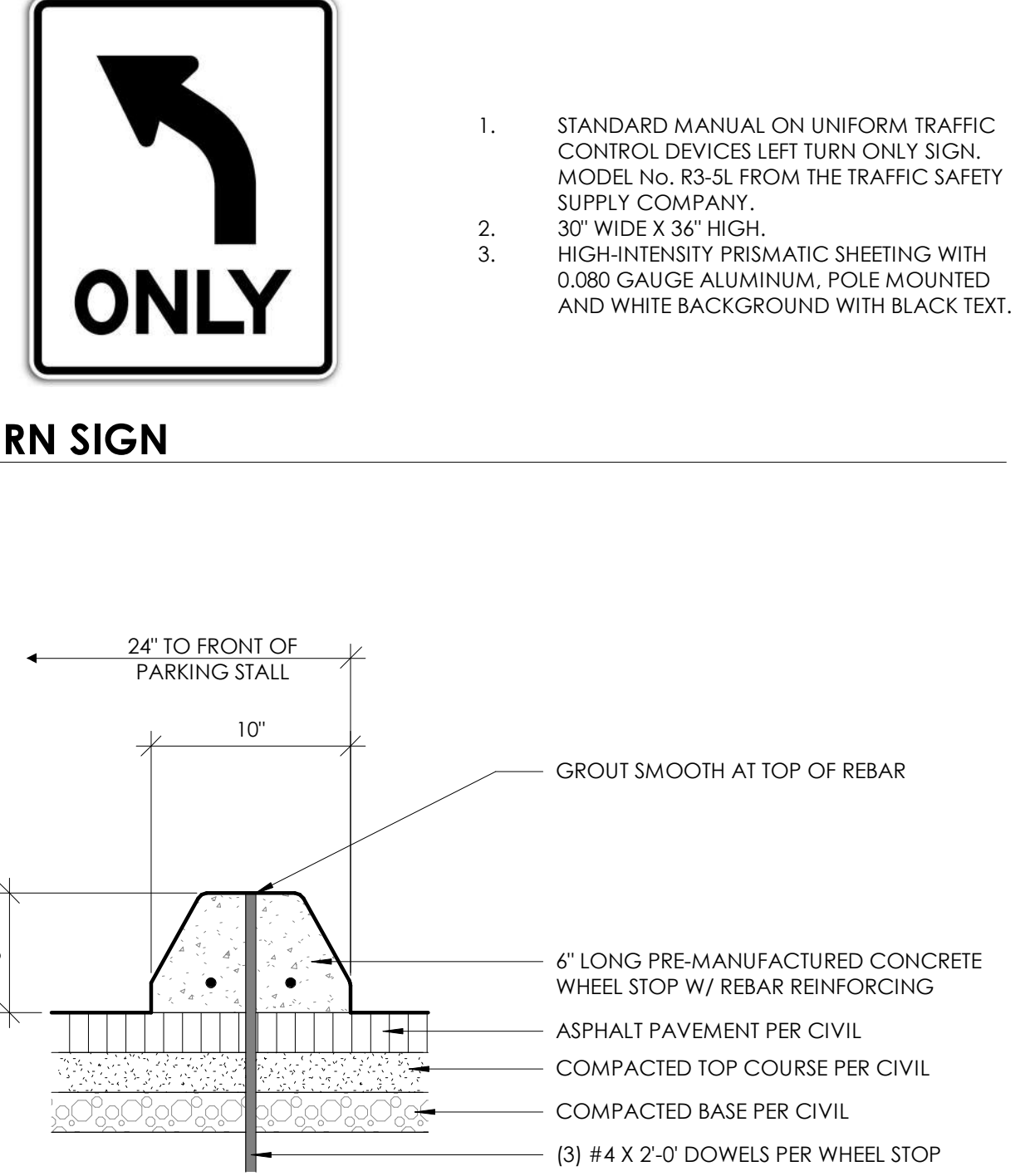


6 SHORT TERM BIKE STORAGE
1/2" = 1'-0"

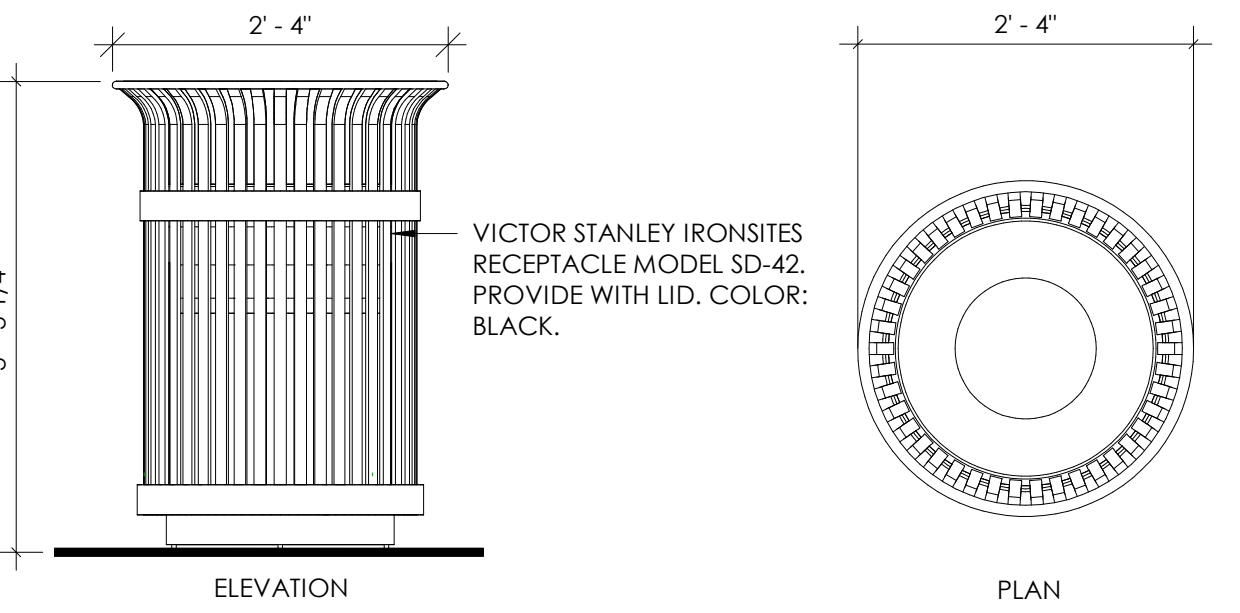


5 SHORT TERM BIKE STORAGE
1/2" = 1'-0"

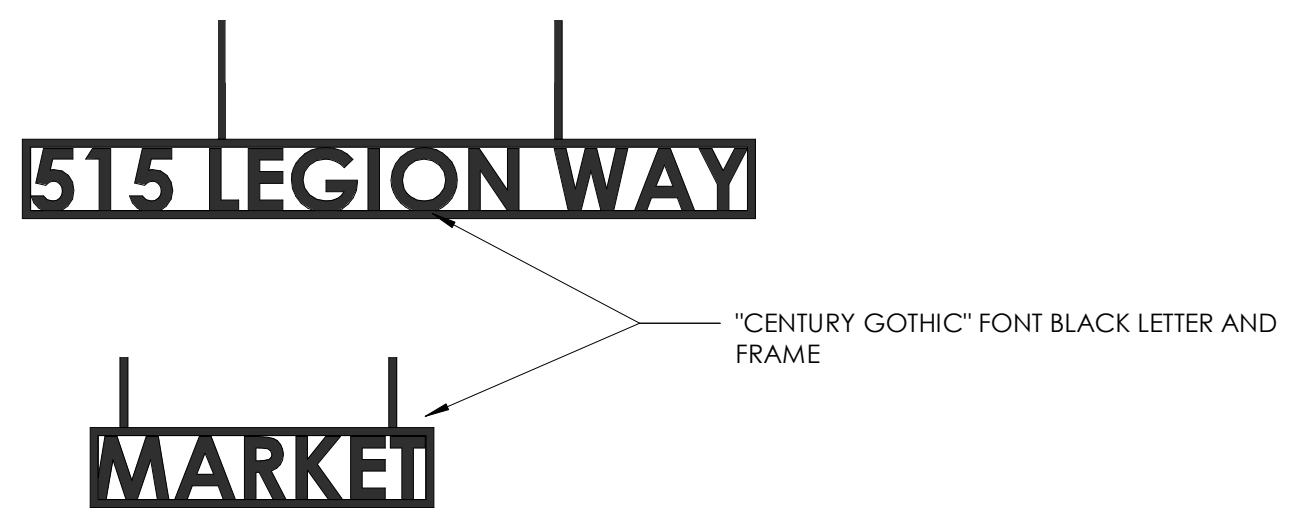
4 TURN SIGN



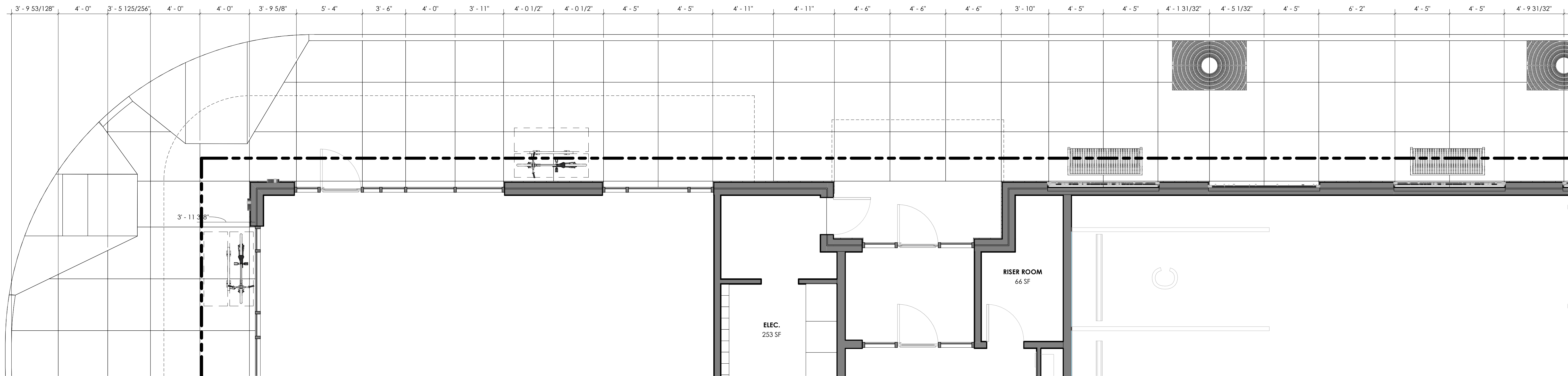
3 WHEELSTOP
1 1/2" = 1'-0"



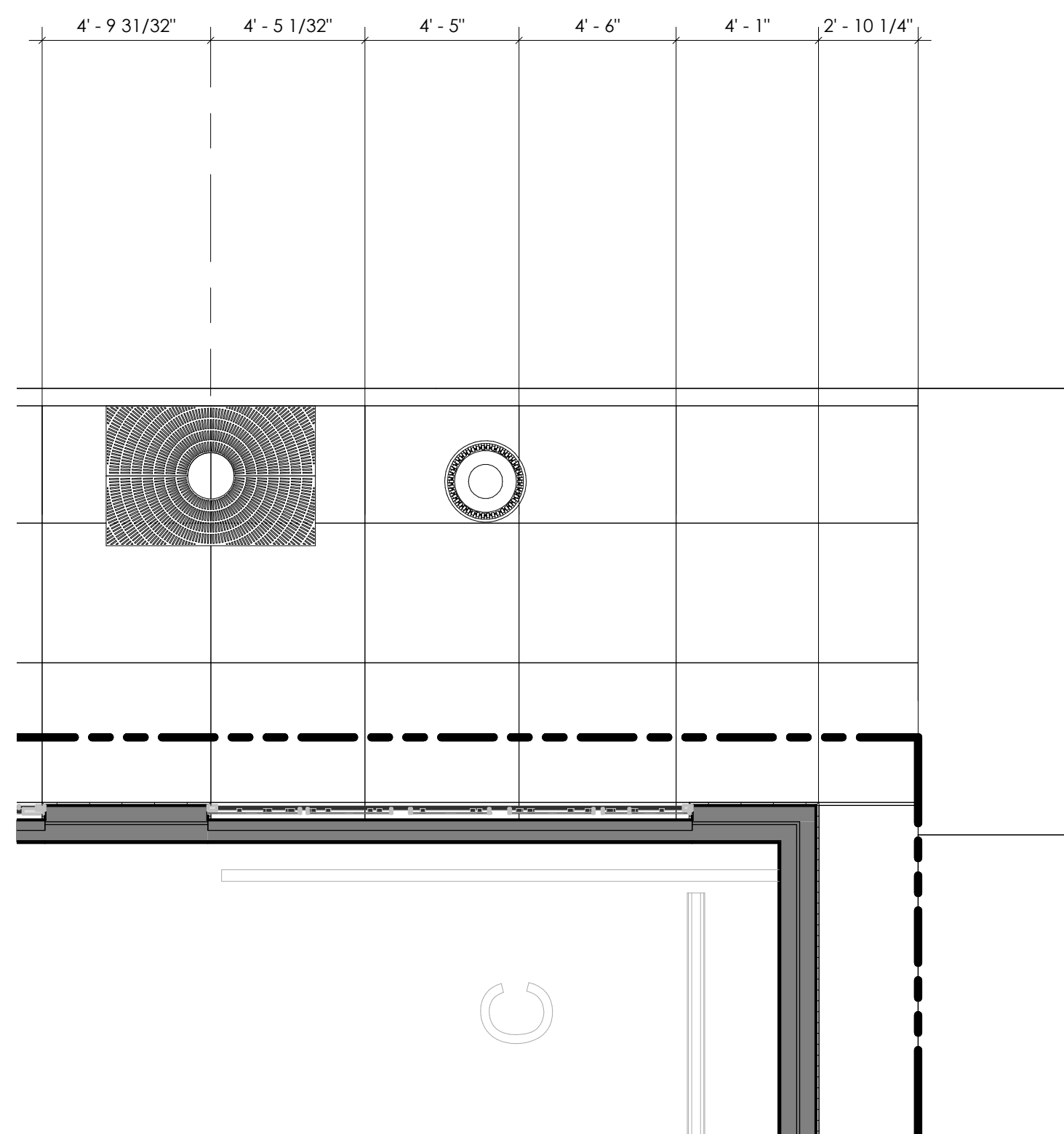
2 SITE GARBAGE RECEPTACLE
3/4" = 1'-0"



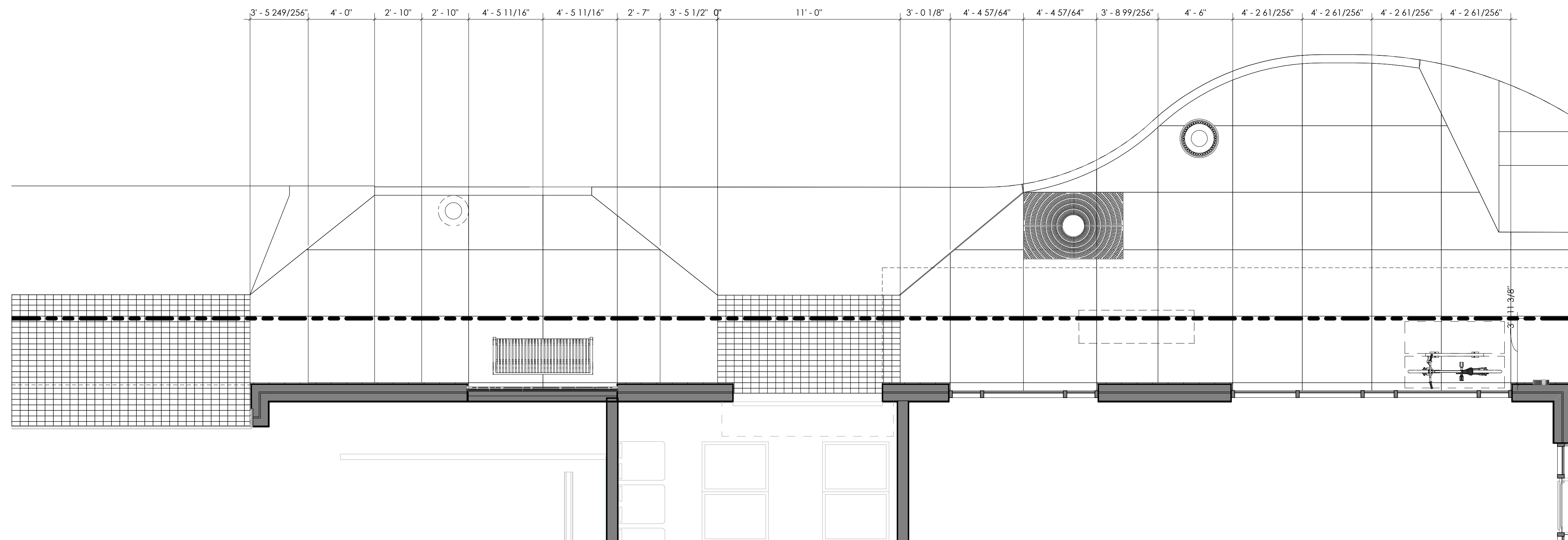
1 SIGNAGE @ CANOPIES
1/2" = 1'-0"



1 FLOOR 1 -SIDEWALK PLAN (NORTH) A
 1/4" = 1'-0" 0' 2' 4' 8' 1



2 FLOOR 1 -SIDEWALK PLAN (NORTH) B
 1/4" = 1'-0" 0' 2' 4' 8' 1



3 FLOOR 1 -SIDEWALK PLAN (WEST)
 1/4" = 1'-0" 0' 2' 4' 8' 1

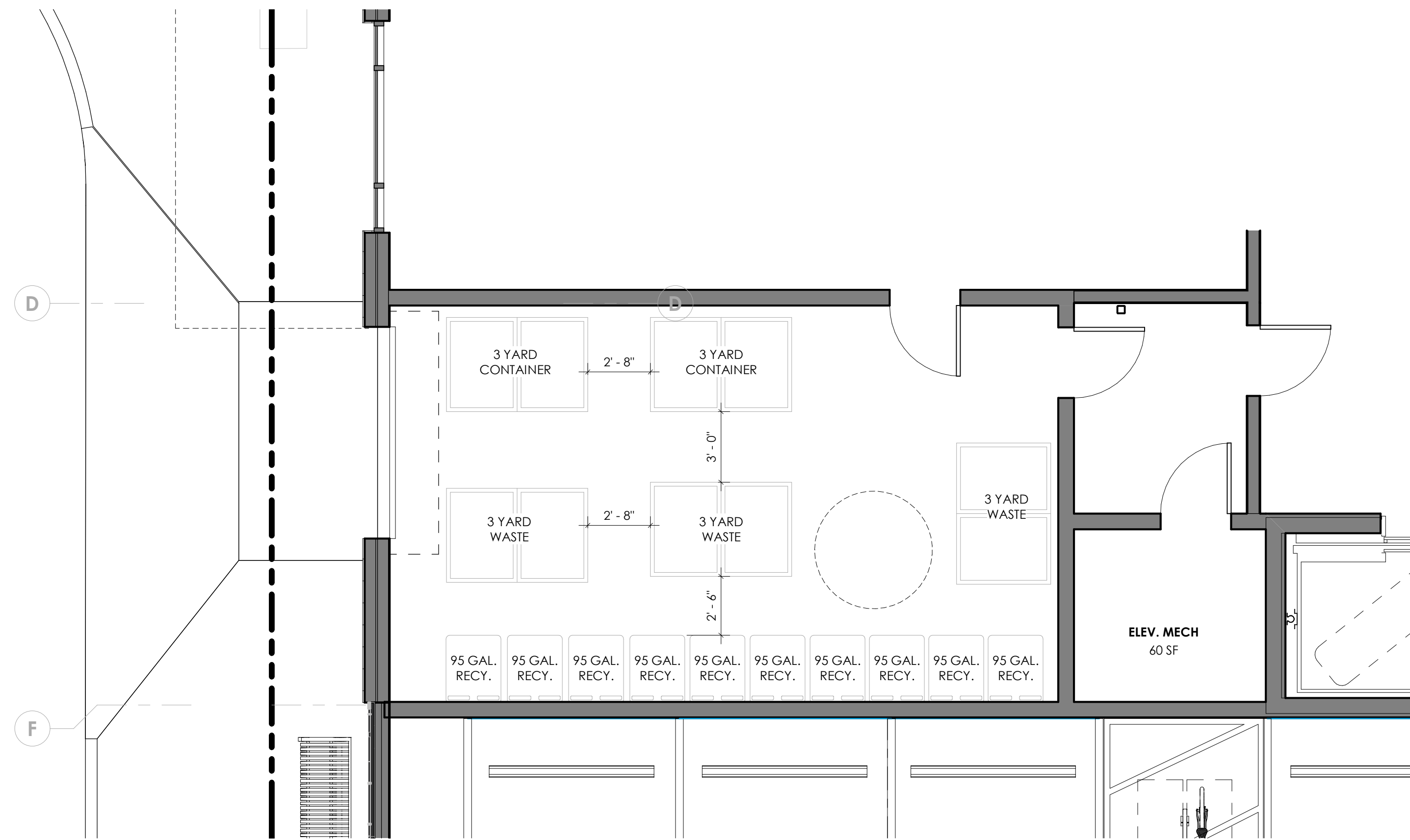
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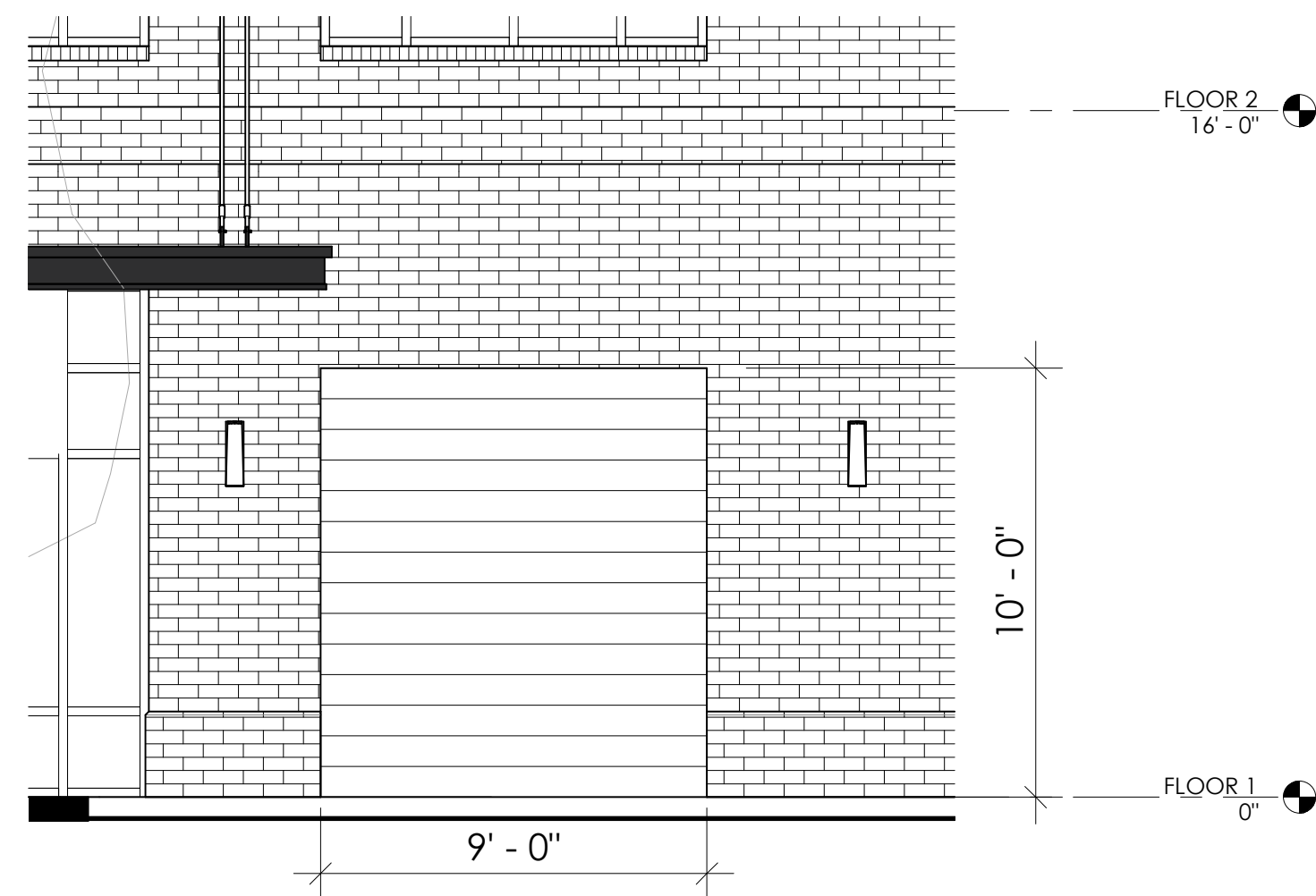
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A103
 SIDEWALK PATTERN





1 ENLARGED PLAN- SOLID WASTE
1/4" = 1'-0"



2 ELEVATION- SOLID WASTE EXIT
1/4" = 1'-0"

WASTE RESOURCE SUMMARY

GOAL: COLLECT AND STORE WASTE FOR FULL BLOCK.
COLLECTION CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH
ALLOCATE 50% TO RECYCLING AND 50% TO GARBAGE.

WASTE COLLECTION PER WEEK:

(57) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 =	14.48 CY
1,520 RETAIL @ 1CY/500 SF=	3.04 CY
TOTAL WASTE COLLECTED =	17.52 CY

18 CY X 50% = 9 CY TO GARBAGE, 9 CY TO RECYCLE

9CY OF WASTE TO BE COLLECTED FROM SITE. NO COMPACTOR, USE FRONT LOAD CARTS AND SMALLER RECYCLE CARTS.

CONTAINERS REQUIRED FOR GARBAGE:

3 YARD CONTAINERS USED FOR ALLEY COLLECTION
9CY / 3CY = 3
PROVIDE (3) 3 YARD CONTAINERS

CONTAINERS REQUIRED FOR RECYCLING:

SPLIT ROUGHLY EQUAL BETWEEN CARDBOARD AND OTHER RECYCLING.
CARDBOARD CONTAINERS ARE 4.5 YARD,
OTHER RECYCLING USED 95 GALLON CARTS.

50% CARDBOARD=	4.5 CY
50% RECYCLE=	4.5 CY

4.5 CY (CARDBOARD)
PROVIDE (2) 3 YARD CARDBOARD CONTAINER

4.5 CY (RECYCLE) = 4.5CY X 202 GALLONS/CY =909 GALLONS REQUIRED
= 909 GALLONS/95 GALLON CARTS
= 9.5 CARTS

PROVIDE (10) 95 GALLON CARTS

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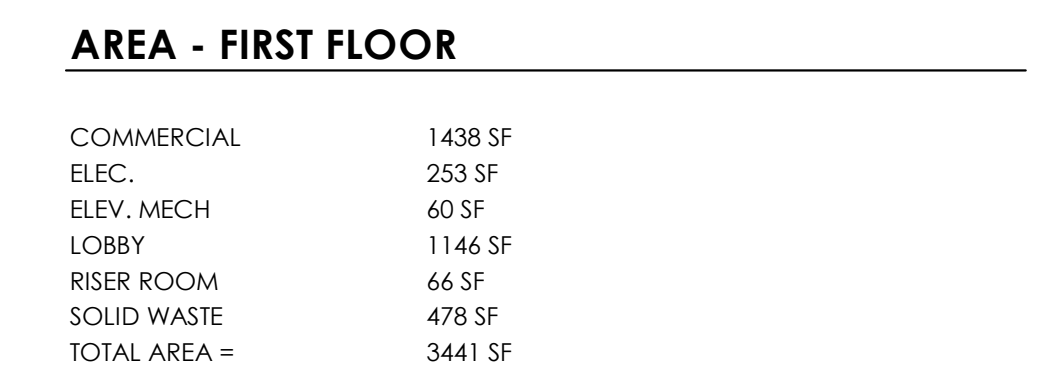
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A104

SOLID WASTE ENCLOSURE





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PLAN LEGEND

- ARROW INDICATES PRIMARY BUILDING ENTRANCE
- SECTION MARKER, NUMBER BELOW INDICATES PAGE WHERE SECTION CAN BE FOUND, NUMBER ABOVE INDICATES THE SECTION LOCATION ON THE PAGE.
- DETAIL MARKER, NUMBER BELOW INDICATES PAGE WHERE DETAIL CAN BE FOUND, NUMBER ABOVE INDICATES THE DETAIL LOCATION ON THE PAGE.
- SYMBOL INDICATES TYPE 'A' ACCESSIBLE PARKING SPACE.
- EV INDICATES ELECTRICAL VEHICLE PARKING SPACE.
- C INDICATES COMPACT PARKING SPACE.

UNIT AREA SCHEDULE

Note: Open space provided >10% of Residential Unit Floor Area (OMC 18.120.270)

LAYOUT	NAME	TYPE	UNIT NO.	COUNT	AREA
FLOOR 2					
M1 SERIES	STUDIO	TYPE A	216	1	413 SF
M2 SERIES	STUDIO	TYPE B	203-209,212-215,217	12	4628 SF
M3 SERIES	1BR	TYPE A	210	1	621 SF
M4 SERIES	1BR	TYPE B	201-202	2	1203 SF
M5 SERIES	1BR	TYPE B	218-219	2	1170 SF
M6 SERIES	2BR	TYPE A	211	1	951 SF
19					8984 SF
FLOOR 3					
M1 SERIES	STUDIO	TYPE B	316	1	413 SF
M2 SERIES	STUDIO	TYPE B	303-309,312-315,317	12	4797 SF
M3 SERIES	1BR	TYPE B	310	1	621 SF
M4 SERIES	1BR	TYPE B	301-302	2	1203 SF
M5 SERIES	1BR	TYPE B	318-319	2	1170 SF
M6 SERIES	2BR	TYPE B	311	1	951 SF
19					9154 SF
FLOOR 4					
M1 SERIES	STUDIO	TYPE B	416	1	413 SF
M2 SERIES	STUDIO	TYPE B	403-409,412-415,417	12	4797 SF
M3 SERIES	1BR	TYPE B	410	1	621 SF
M4 SERIES	1BR	TYPE B	401-402	2	1203 SF
M5 SERIES	1BR	TYPE B	418-419	2	1170 SF
M6 SERIES	2BR	TYPE B	411	1	951 SF
19					9155 SF
RESIDENTIAL UNIT COUNT & FLOOR AREA : 57					27293 SF

A202

FLOOR PLAN - 2ND FLOOR



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FLOOR 3
1/8" = 1'-0"

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19					9155 SF
RESIDENTIAL UNIT COUNT & FLOOR AREA : 57					27293 SF

FLOOR PLAN - 3RD & 4TH FLOOR

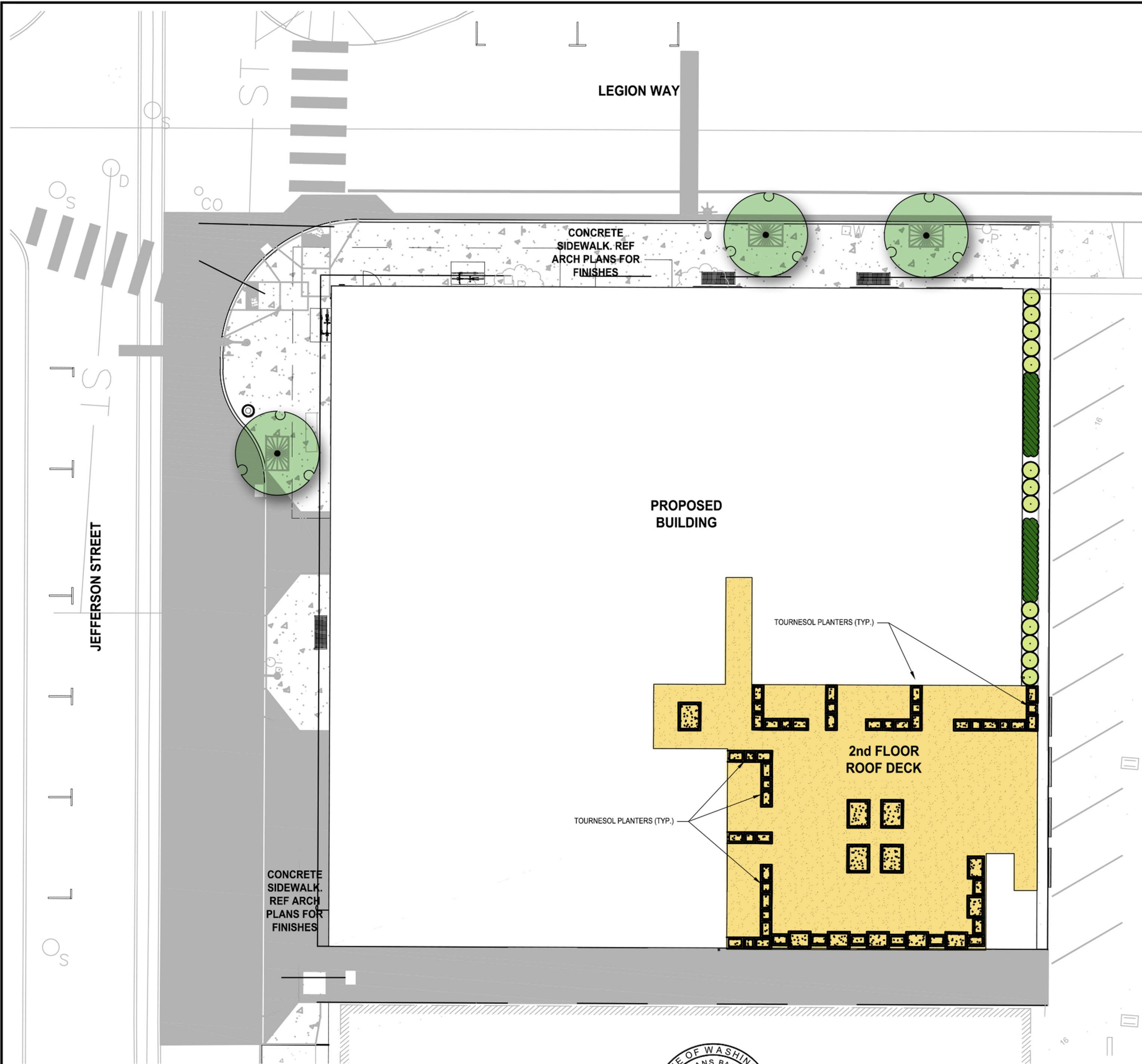


SECTION 4: Landscape Plans

Landscape Plan consistent with OMC 18.36 – Landscaping and Screening/ Sheets L001, L002 & L003:

- All features included on the detailed site plan.
- Location of existing (to remain) and proposed plants.
- Type of existing and proposed plants (i.e., groundcover, shrub, tree).
- Graphic depiction of the size of proposed tree canopies at maturity on plan (photos, sketches, other).
- Clearly delineated and labeled landscape, hardscape and building areas.
- Location and spacing of proposed plantings.
- Common and botanical names of each species, including native (N) or non-native (NN).
- Container or caliper size of plants at installation.
- Quantities of plant material by species and size at installation.
Plan notes indicating types of hardscape material.

PATH: U:\PSO\Projects\Clients\Urban Olympia III LLC\277-7257-007 515 Legion Residential Development\995\cadd\DWG\ PLOTTED BY: baileyj DATE: Thursday, February 4, 2021 3:15:33 PM LAYOUT: LS-01



GENERAL LANDSCAPE NOTES & SPECS:

- CONTRACTOR IS REQUIRED TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR A THOROUGH CLEAN-UP FOR THEIR RESPECTIVE WORK, DAILY AND AT PROJECT CLOSE-OUT.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS. DAMAGE TO THE EXISTING IMPROVEMENTS BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AND/OR QUALIFIED INSTALLERS ACCEPTABLE TO F THE CONSTRUCTION OBSERVER AND AT NO COST ADDED TO THE OWNER.
- INSTALL 12" MIN. DEPTH IMPORT TOPSOIL TYPE A IN ALL PLANTER STRIPS.
- PLANT MATERIALS SHALL MEET STANDARDS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARD (ANSI Z60.1) AND WASHINGTON STATE STANDARDS FOR NURSERY STOCK ORDER NO. 1627. ALL PLANT MATERIALS SHALL HAVE SUFFICIENT ROOT DEVELOPMENT TO ASSURE SURVIVAL AND HEALTHY GROWTH. CONTAINER GROWN PLANT MATERIALS ARE REQUIRED TO HAVE SUFFICIENT ROOT GROWTH TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER, BUT SHALL NOT BE ROOT BOUND.
- PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH PLAN CALL-OUTS AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIC SPACING.
- PRIOR TO BARK MULCH PLACEMENT, ALL SHRUB BED AREAS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. FOLLOW ALL MANUFACTURER'S APPLICATION INSTRUCTIONS. PRE-EMERGENT HERBICIDE SHALL BE ELANCO XL2G OR APPROVED EQUAL.
- BARK MULCH SHALL BE INSTALLED TO DEPTH OF 4" IN ALL NEW PLANTING AREAS. PRIOR TO MULCH PLACEMENT GRADE SHALL BE BROUGHT TO A UNIFORM LINE WITH NO SURFACE IRREGULARITIES. WATERING BERMS AROUND PLANTS SHALL BE HAND COMPACTED AND OF A SMOOTH AND EVEN GRADE PRIOR TO MULCH PLACEMENT. MULCH SHALL BE WATER-COMPACTED UPON PLACEMENT.
- NO SUBSTITUTIONS SHALL BE CONSIDERED FOR PLANTS OR OTHER MATERIALS DURING THE BIDDING PROCESS.
- ALL PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE CITY AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND PLANS UPDATED SHOWING ACCURATE PLANTING MATERIALS WILL BE PROVIDED TO THE CITY PRIOR TO BUILDING OCCUPANCY.
- ALL LANDSCAPING AREAS SHALL BE PLANTED TO ACHIEVE 80% PLANT DENSITY WITHIN 3 YEARS OF PLANTING. ADDITIONAL PLANTINGS MAY BE NECESSARY UPON INSPECTION BY THE CITY.
- PRIOR TO PLANT INSTALLATION, AN INSPECTION OF THE SOIL AMENDMENT AND PLANTS TO BE INSTALLED WILL BE SCHEDULED BY THE APPLICANT AND PERFORMED BY THE CITY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE HAS BEEN GRANTED. OWNER SHALL THEN ASSUME ALL RESPONSIBILITIES FOR MAINTAINING ALL PLANTS IN A HEALTHY GROWING CONDITION FOR THE LIFE OF THIS PROJECT.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	(H' X W')
(NN)	PV	3	PARROTIA PERSICA 'VANESSA' / PERSIAN PARROTIA STRAIGHT TRUNK, FULL CROWN	3" CAL / B&B	12' X 8'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	(H' X W')
(NN)	AK	13	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / KALEIDOSCOPE GLOSSY ABELIA	#2 CONT	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
(NN)	PL	22	PRUNUS LAUROCERASUS 'MOUNT VERNON' / MOUNT VERNON LAUREL	#2	24" o.c.

(NN) = NON-NATIVE

SITE FURNISHINGS

- 2nd FLOOR ROOF DECK CONCRETE SLAB. SLOPED TO DRAIN
- TREE GRATE PER CITY OF OLYMPIA STANDARDS
- TOURNESOL SITEWORKS "DOWNTOWN" PLANTER POTS WITH IRRIGATION INSERT. SIZES VARY, REF PLANS FOR MODEL NUMBER/SIZE. SPACE EQUALLY ALONG EACH ROW. COLOR & FINISH PER OWNER. PLANTER POTS TO BE PLANTED WITH PERENNIALS & LARGE EVERGREEN SCREEN SHRUBS AT WINDOWS.

EXISTING SOIL TYPE NOTES

According to the 2021 Level II Soil & Vegetation Plan provided by Sound Urban Forestry, the following conditions and soil types were encountered on the site:

SOIL CONDITIONS: The soil type at the site is Skipopa silt loam. This moderately deep, somewhat poorly drained soil offers an effective rooting depth of 15-30". Permeability is moderat in the subsoil and very slow in the substratum.

Based on our experience, we are recommending that all plant beds have 12" of import topsoil mix installed as per specifications. In tree wells for street trees, the existing fill shall be removed to the full depth of the planting pit.

TREE UNIT CALCULATIONS

Buildable Site Area	15,682 sf (0.36 ac)
Required Tree Units/Acres	11 Units/AC
Existing Tree Units to Remain	0
New Tree Units Provided (Includes Street Trees)	3
Tree units below required tree units	8

A fee of \$380 per tree unit (\$380 x 5) below the minimum tree density of X will be paid to the City of Olympia Tree Fund at the time of engineering permit fees.



Know what's below.
Call before you dig.
PERMIT SUBMITTAL
NOT FOR CONSTRUCTION

REVISIONS	DATE	BY	DESIGNED
			D. BAILEY
			D. BAILEY
			CHECKED
			APPROVED

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY
FILE NAME PS7257007-LS Land Use Set
JOB No. 277-7257-007
DATE FEBRUARY 2021



Parametrix
ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES

1019 39TH AVENUE SE, SUITE 100 | PUYALLUP, WA 98374
P 253.604.6600
WWW.PARAMETRIX.COM

PROJECT NAME

**515 LEGION RESIDENTIAL DEVELOPMENT
URBAN OLYMPIA #11, LLC**

OLYMPIA, WA

**LANDSCAPE PLAN, NOTES,
PLANT SCHEDULE, &
CALCULATIONS**

DRAWING NO.
16 OF 17

LS-01



PERSIAN PARROTIA



MOUNT VERNON ENGLISH LAUREL



‘KALEIDOSCOPE’ ABELIA



DOWNTOWN COLLECTION PLANTERS BY TOURNESOL

LAYOUT: LS-02 PATH: U:\PSO\Projects\Clients\7257-Urban Olympia III LLC\277-7257-007 515 Legion Resident Devel\995vcs\CA00\DWG\ PLOTTED BY: bailey DATE: Thursday, February 4, 2021 3:16:10 PM

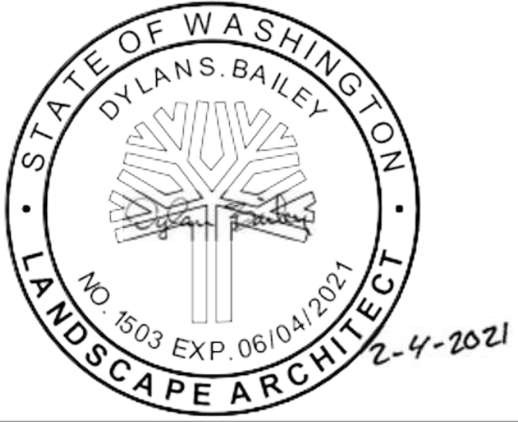
REVISIONS	DATE	BY	DESIGNED D. BAILEY
			DRAWN D. BAILEY
			CHECKED
			APPROVED

ONE INCH AT FULL SCALE,
IF NOT, SCALE ACCORDINGLY

FILE NAME
PS7257007-LS Land Use Set

JOB No.
277-7257-007

DATE
FEBRUARY 2021



Parametrix
ENGINEERING · PLANNING · ENVIRONMENTAL SCIENCES

1019 39TH AVENUE SE, SUITE 100 | PUYALLUP, WA 98374
P 253.604.6600
WWW.PARAMETRIX.COM

PROJECT NAME

515 LEGION RESIDENTIAL DEVELOPMENT
URBAN OLYMPIA #11, LLC
OLYMPIA, WA

LANDSCAPE PLANTS
& SITE FURNISHINGS

DRAWING NO.
17 OF 17

LS-02


Know what's below.
Call before you dig.
PERMIT SUBMITTAL
NOT FOR CONSTRUCTION

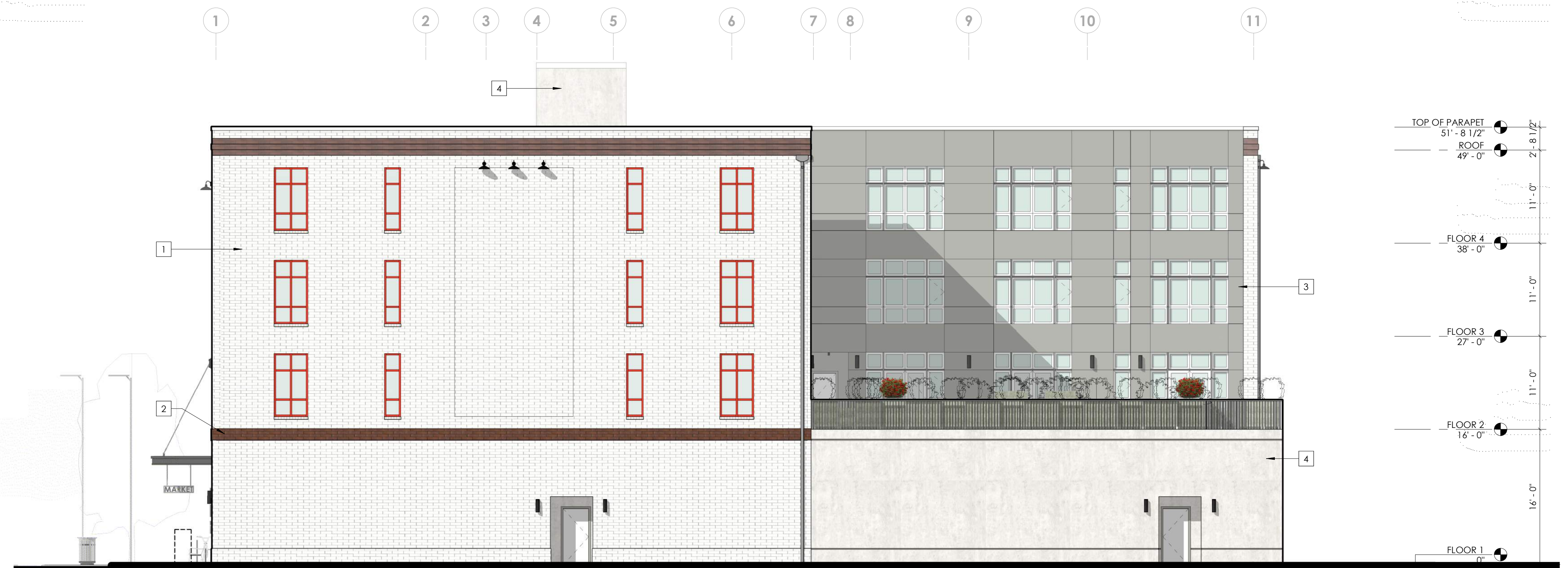
SECTION 5: Building Elevations

Architectural Elevations/ Sheets A301 & A302:

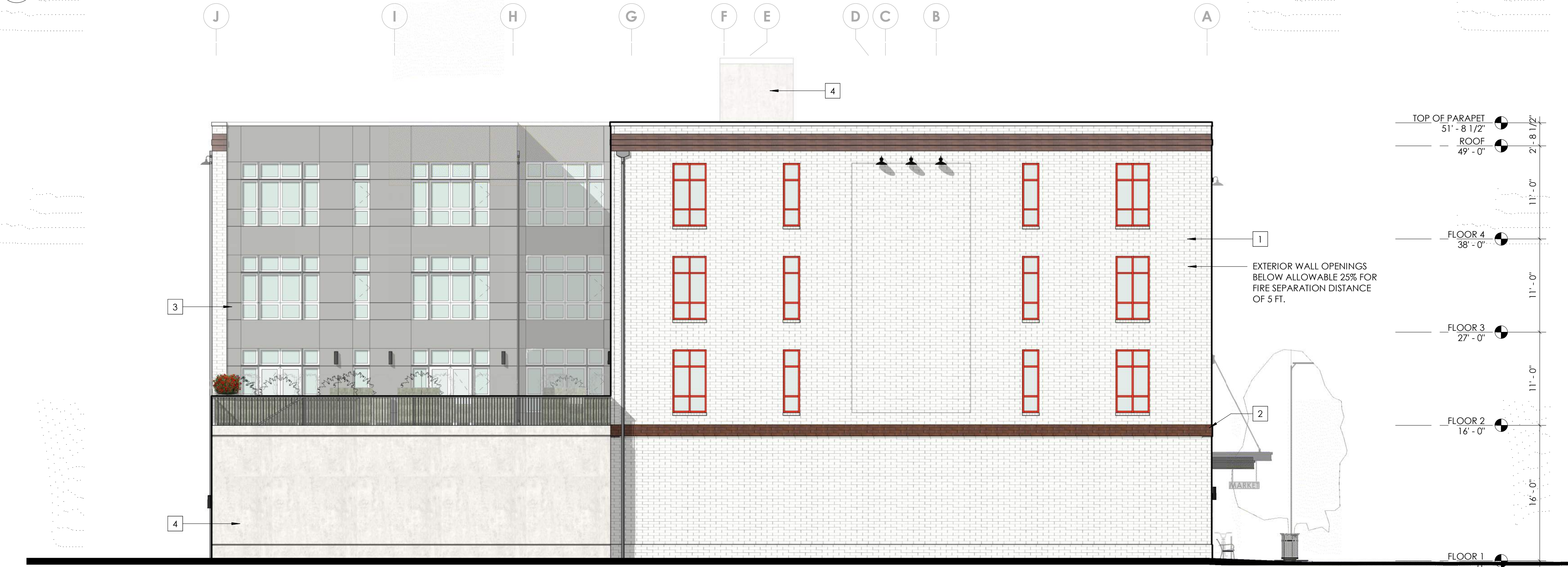
- Building elevations of all sides of the building labeled as North, South, East or West elevation.
- Finished floor elevation(s).
- Location of building doors and windows.
- Proposed building and roof/awning materials.
- Location of exterior steps and stairways.
- Color rendering of any building elevation visible from a public right-of-way.
- Location of exterior light fixture(s). For more info. See A904 to A907 (Lighting Specs/Details).
- Door details, including materials and colors. For more info. see A909 (Colors & Materials – Door).
- Window & storefront details, including materials and colors of framing and glazing materials. For more info. see A910, A911 and A912 (Colors & Materials – Windows/Storefront).
- Building details, including colors and texture of exterior building materials. For more info. See A913 (Colors & Materials - Building)
- Location and type of major sign(s).

Perspectives/ Sheets A303, A304 & A305.



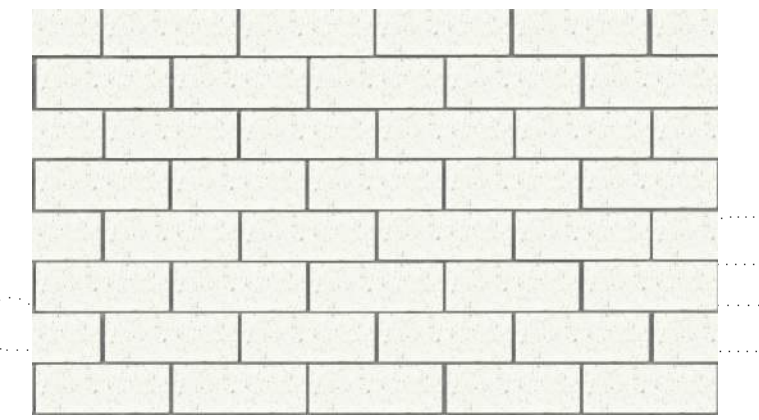


2 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

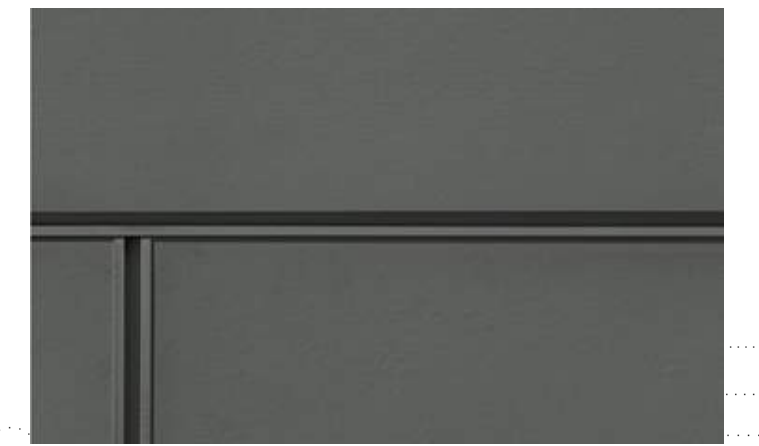
BUILDING MATERIALS



1 SUMMIT BRICK STRUCTURAL - ALASKAN WHITE



2 SUMMIT BRICK STRUCTURAL - CHARCOAL IRONSPOT



3 FIBER CEMENT PANEL - DARK GREY



4 CONCRETE - SMOOTH FINISH

MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A302

ELEVATIONS - SOUTH & EAST





MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A303

PERSPECTIVE EXTERIOR





UNIT PERSPECTIVE- TWO BEDROOM



UNIT PERSPECTIVE- ONE BEDROOM

MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A304

PERSPECTIVE INTERIOR





1 OUTDOOR DECK

MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A305

PERSPECTIVE TERRACE



SECTION 6: Lighting Details and Pedestrian Amenities

Bike Parking Detail/ Sheet A900:

- Detail of short and long-term bicycle parking.

Hardscape Materials and Pedestrian Amenities/ Sheets A901 & A902:

- Detail of hardscape material and each type of pedestrian amenity (i.e. size, type, and color of pavers, etc.).

Parking Screening – Art/ Sheet A903:

- Detail of perforated screening panels and metal cut artwork

Lighting Specs/ Sheet A904 & A905:

- Exterior light fixtures proposed.

Lighting Details/ Sheets A906 & A907:

- Location and style of building lighting.

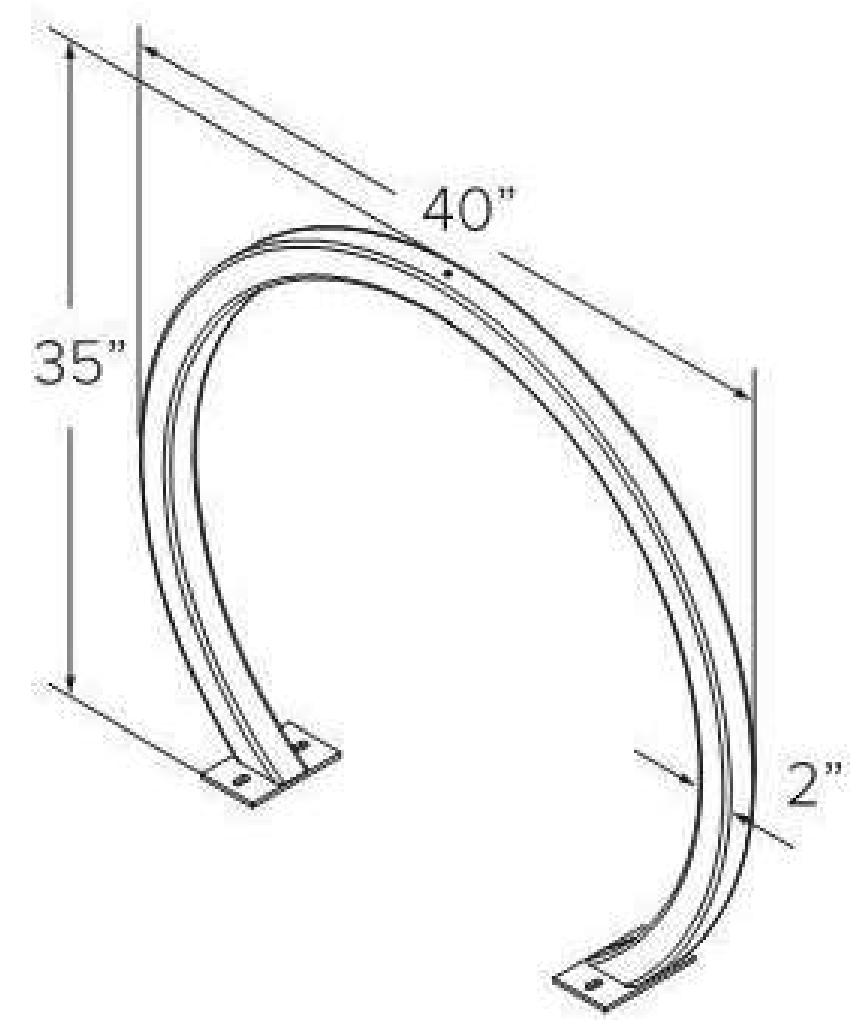
Solid waste collection enclosure and screen details:

- Refer to Previous Sheet A104.

DERO BIKE ARC RACK - SHORT TERM BIKE STORAGE
COLOR: BLACK WITH GALVANIZED FINISH



ARC RACK
Submittal Sheet



- CAPACITY

2 Bikes
- MATERIALS

2" x 2" x 11g square tube
- FINISHES

☐ Galvanized

An after fabrication hot dipped galvanized finish is our standard option.

☐ Powder Coat

Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat

☐ Stainless

Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

- MOUNT OPTIONS

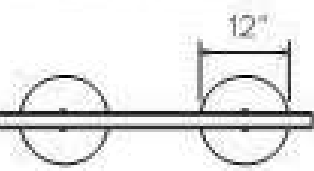
☐ In-ground

In ground mount is embedded into concrete base. Specify in ground mount for this option.

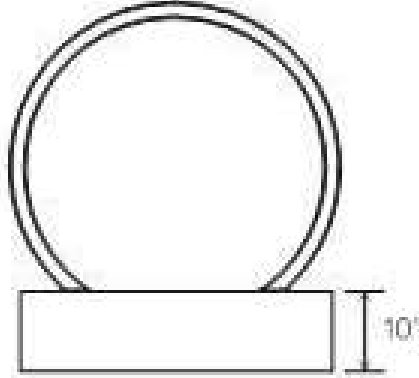
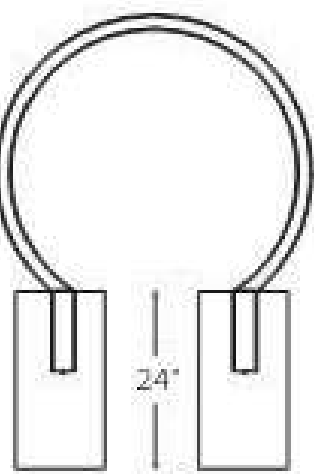
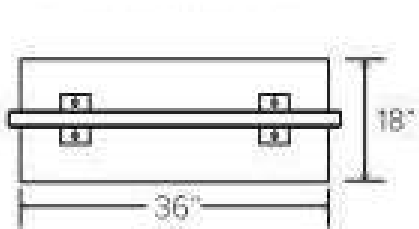
☐ Surface

Foot Mount has two 2.5"x6"x.25" feet with two anchors per foot. Specify foot mount for this option.

IN-GROUND MOUNT



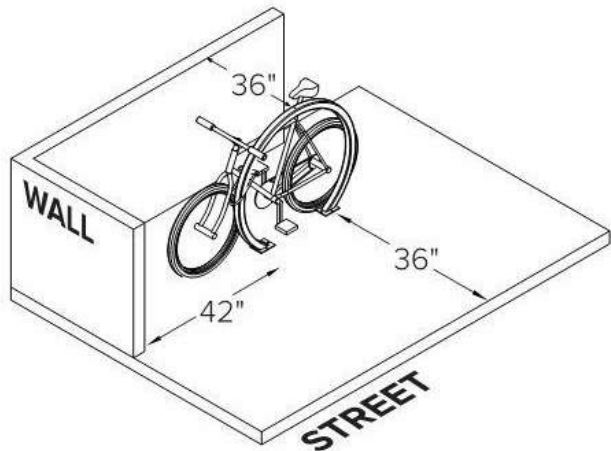
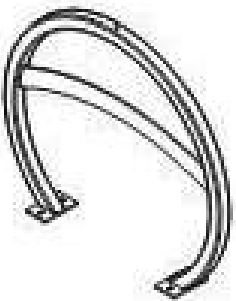
SURFACE MOUNT



(or standard 4" sidewalk slab)

- OPTIONAL LEAN BAR

☐ Add Lean Bar



FEEDBACK SPORTS - VELO BIKE HINGE - LONG TERM BIKE STORAGE
COLOR: BLACK



VELO HINGE
[PIVOTING BIKE STORAGE HOOK]

Part #16724

Because you love your bicycles, when you're not riding them you want to protect them, but you also need to be space conscious. Introducing the Velo Hinge, an innovative and elegant bike storage idea that hangs your bike by the front wheel and allows it to safely swing sideways, to its smallest footprint. Fitting almost any bike (does your bike require a Long Hook?) and swinging left or right to match your needs, the Velo Hinge maximizes your space while showing love to your bicycles and your living space. And when not in use, it tucks away so you'll hardly know its there.

\$28.00



Watch Product Video

Get notified when this product is back in stock.

Name Email Join Waitlist



DESIGN

- Available Velo Hinge Long Hook accessory for deep profile road wheels and wide mountain bike rims/tires
- Hook opening of 2.8" (7.4cm) can accommodate most road, cyclocross and mountain bikes
- Maximizes available bicycle storage space for apartments, garages, basements and sheds
- Patented hinge design allows the bike to pivot left or right
- System fits most any road bike, cyclocross bike, mountain bike, or kids bikes
- Ideal for storing bikes in a small space
- Front wheel hook mounts to any standard wall stud
- Rear wheel bumper stabilizes the bike to prevent swaying
- Wheel retaining hook folds away when not in use
- Durable powder coated steel maintains a long-term clean finish
- Secure load capacity of 50lbs (22.7kg) when properly stud mounted
- 3-Year Warranty

WARNING: Cancer and Reproductive Harm - www.p65warnings.ca.gov

PRODUCT INFORMATION:

- POWDER COATED STEEL
 - MOUNT AREA: 7.25" X 3.5" X 0.63" (185MM X 90 MM X 16 MM)
 - LOAD CAPACITY: 50 LBS (22 KG)
 - ASSEMBLED TO PIVOT LEFT (REVERSIBLE PIVOT RIGHT)
 - SHIPS BEST IN 10 PACKS
 - 3-YEAR WARRANTY
 - PATENT PENDING
 - WEIGHT OF 2 LBS
 - 11.25" X 5.5" X 0.75"
- HINGE DESIGN ALLOWS BIKE TO SWING LEFT TO RIGHT
 - OPTIMIZES AVAILABLE STORAGE AREA
 - FOLD HOOK AWAY WHEN NOT IN USE
 - WHEEL BUMPER (INCLUDED) STABILIZES BIKE AND PREVENTS SWAYING
 - FITS MOST STANDARD ROAD, MOUNTAIN, CHILDREN'S BIKES
 - MOUNTS TO ANY STANDARD WALL STUD
 - DURABLE MOUNTING HARDWARE INCLUDED

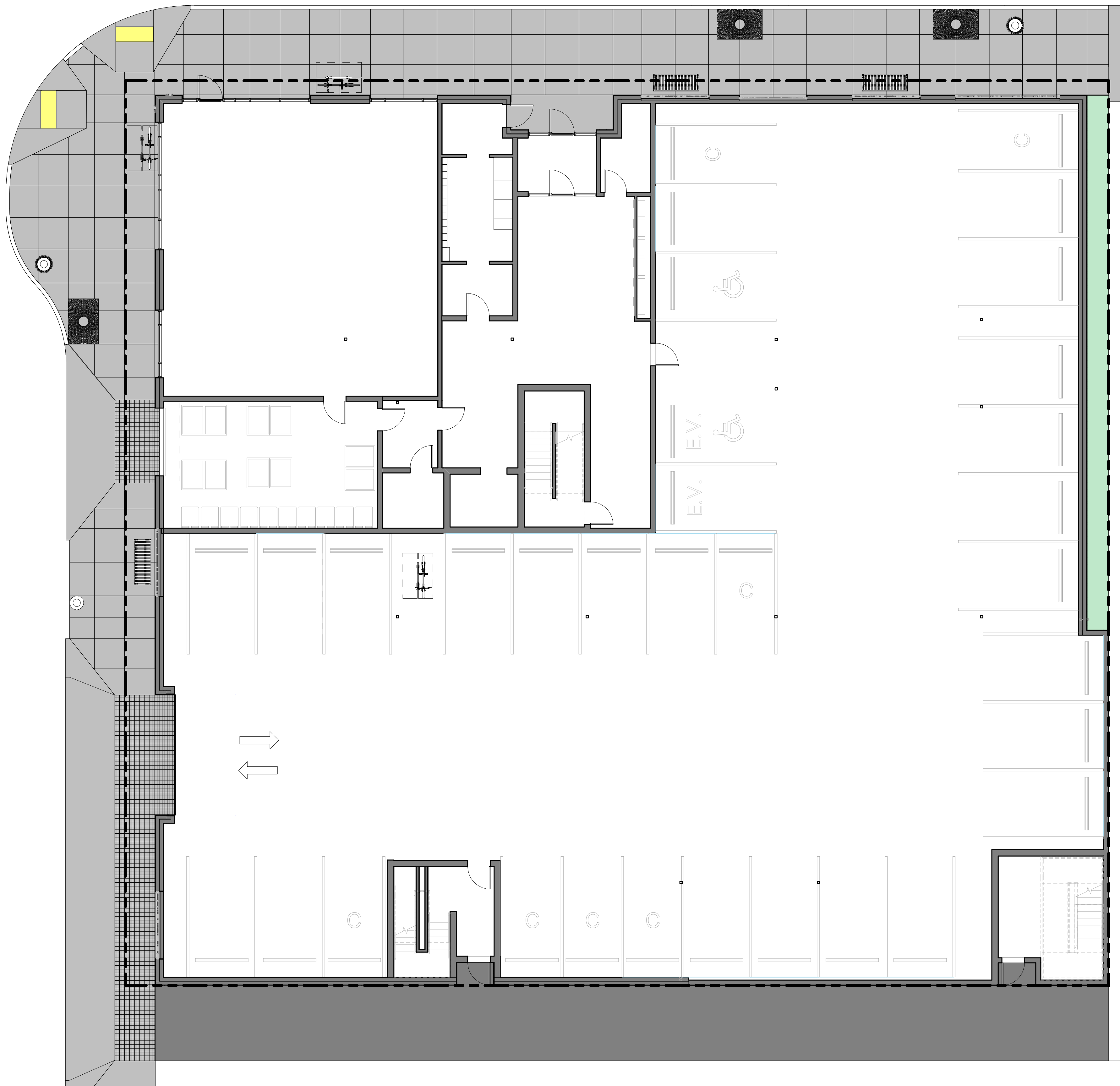
MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A900
BIKE PARKING





CONCRETE:
NATURAL COLOR
SMOOTH FINISH



CONCRETE TEXTURED:
NATURAL COLOR
4'x6' TILE PATTERN



ASPHALT:
NATURAL MID-GRAY
TEXTURED



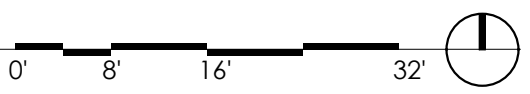
TREE GRATE:
URBAN ACCESSORIES
4'X6' "COHO" IRON GRATE



ADA TILE:
STEP-SAFE MODEL:
CAST-IN-PLACE ADA TILE
YELLOW

1 HARDSCAPE MATERIAL

1/8" = 1'-0"



MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A901
HARDSCAPE MATERIAL





SHORT TERM BIKE STORAGE
DERO ARC RACK
COLOR: LIGHT GREY WITH GALVANIZED FINISH



LONG TERM BIKE STORAGE
30" x 60" SPACE ALLOCATED FOR BIKE STORAGE ON VELO HINGES

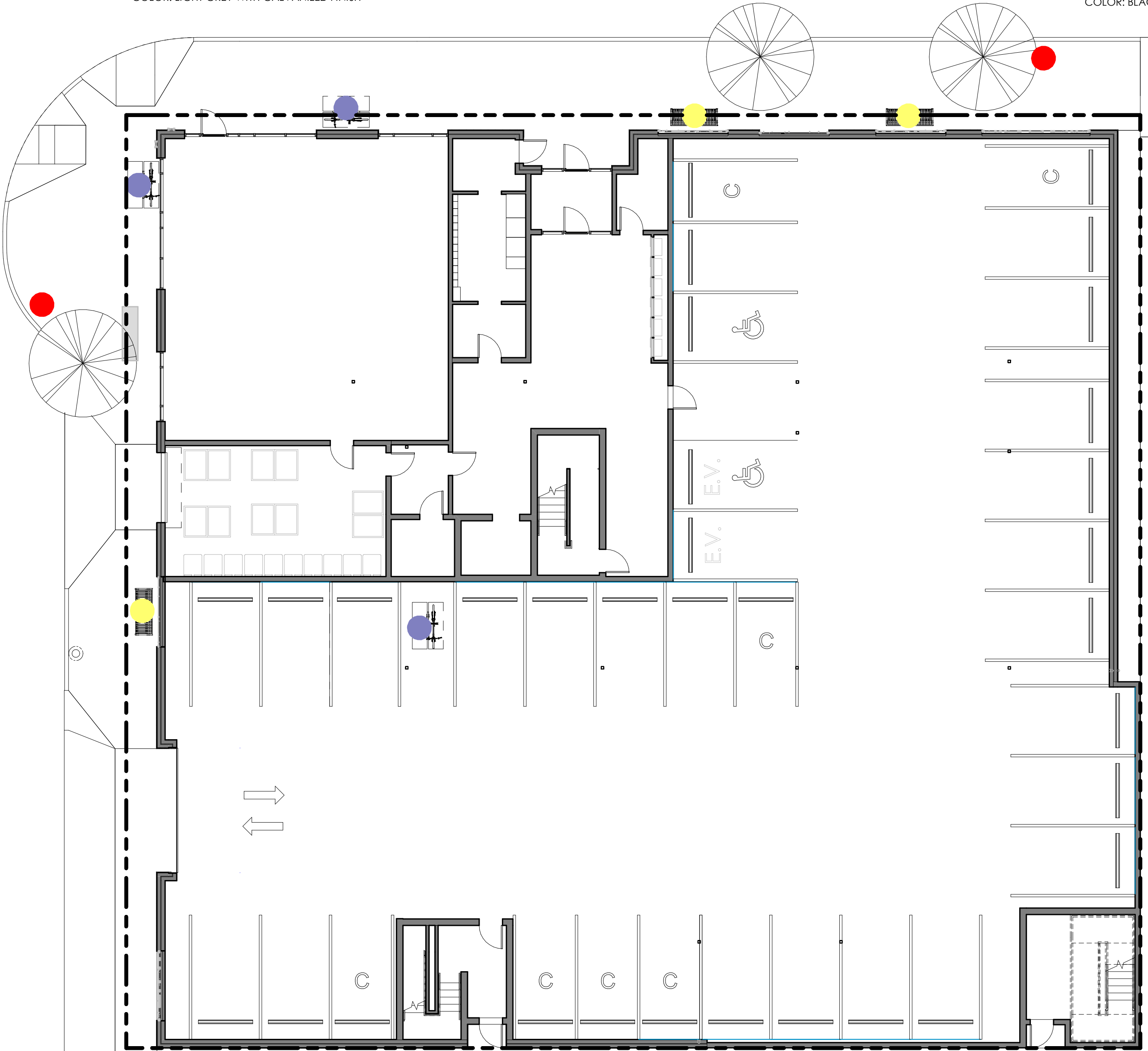


PEDESTRIAN BENCH
VICTOR STANLEY RB-28
COLOR: BLACK



PEDESTRIAN RECEPTACLES
VICTOR STANLEY S-42
COLOR: BLACK

	LEGION WAY	JEFFERSON ST.
● PEDESTRIAN RECEPTACLES	1	1
● PEDESTRIAN BENCH	2	1
● SHORT TERM BIKE STORAGE	1	1



1 PEDESTRIAN AMENITIES
1" = 10'-0"



2 FLOOR 2-4 - PEDESTRIAN AMENITIES
1" = 10'-0"

MALT HOUSE

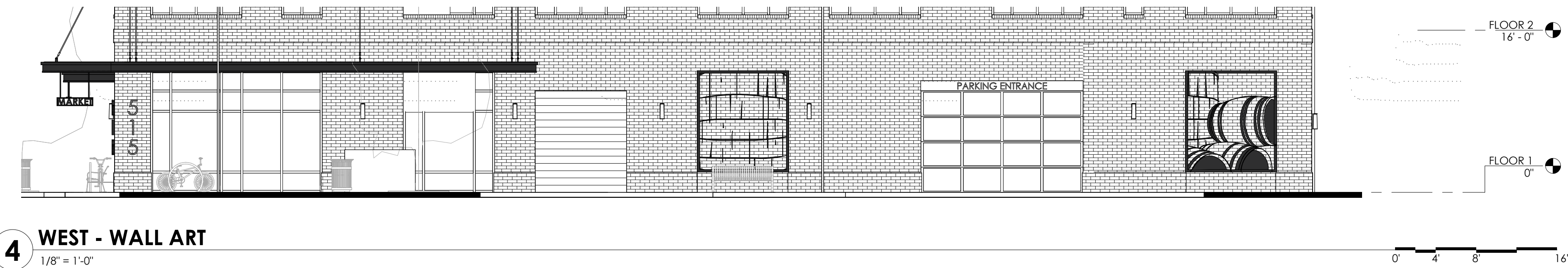
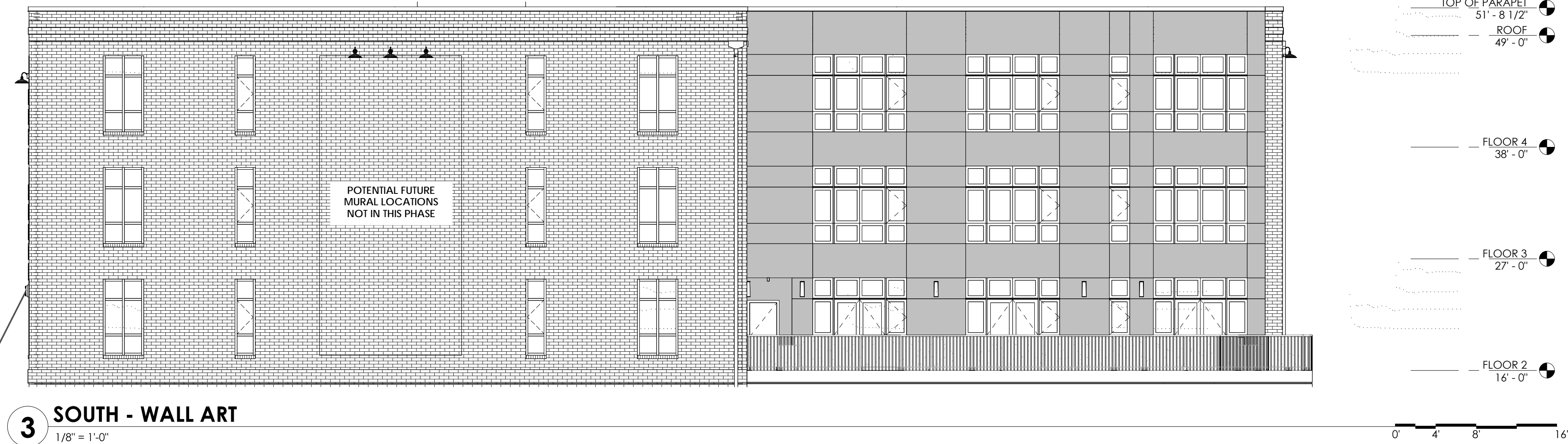
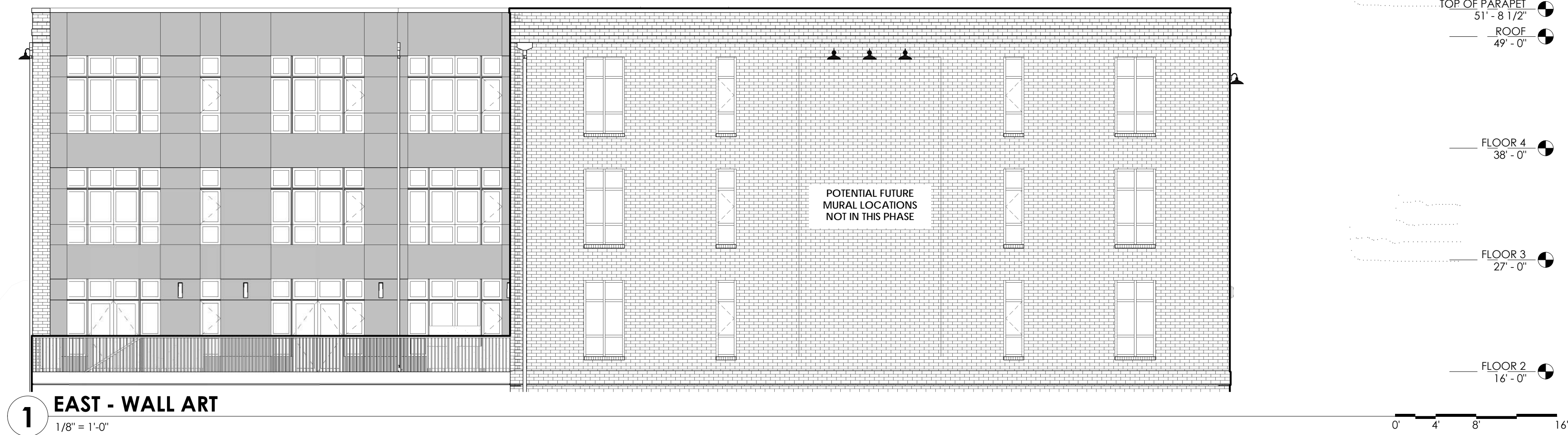
515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A902

PEDESTRIAN AMENITIES

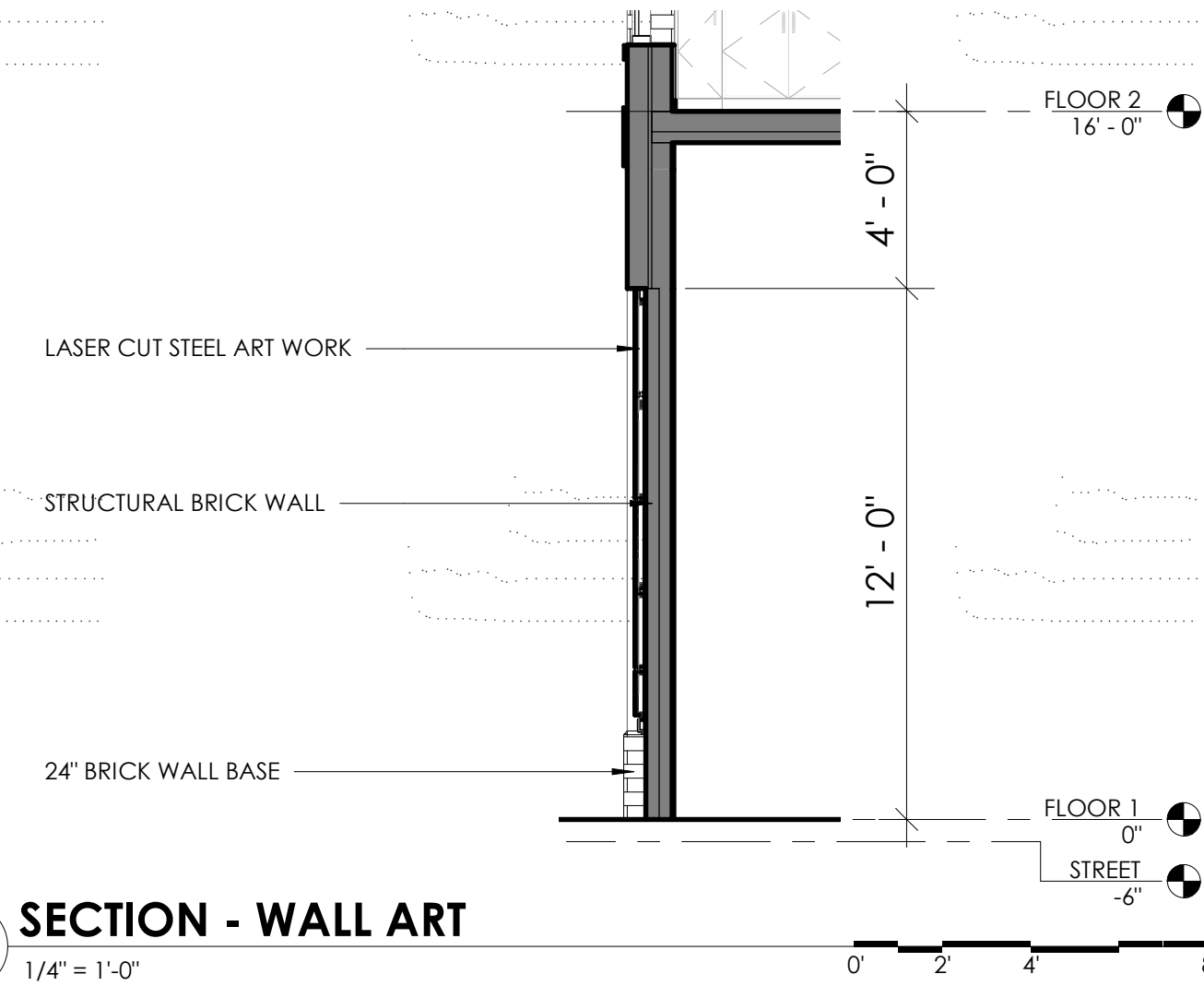




BLACK LASER CUT STEEL ART WORK EXAMPLES:



NOTE: IMAGE DISPLAYED IN ART PANELS AND ABOVE IS FOR REFERENCE ONLY AND TO DEPICT ARTISTIC STYLE OF ARTWORK AND ARTIST. FINAL IMAGE WILL BE UNIQUE TO PROJECT.



MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A903

PARKING - SCREENING/ART



LUMENS - GOOSENECK WALL WASH
SERIES F6902-31-LED
HLCP313816 - WAREHOUSE C SWIVEL ARM OUTDOOR WALL SCONCE
COLOR: BLACK

Warehouse C Swivel Arm Outdoor Wall Sconce
By Hi Lite

Product Options

Finish: Black , Galvanized , Oil Rubbed Bronze , White
Size: 14 in , 16 in , 17 in , 18 in
Wire Guard: With , Without

Details

- Material: Aluminum
- Dimmable When Used With a Standard Dimmer (Not Included)
- Dark Sky compliant
- UL Listed Wet
- Made in USA

Dimensions

14 in Option Backplate: Diameter 4.75"
14 in Option Fixture: Width 14", Height 8.5", Depth 37", Weight 8Lbs
16 in Option Backplate: Diameter 4.75"
16 in Option Fixture: Width 16", Height 8.75", Depth 38", Weight 9Lbs
17 in Option Backplate: Diameter 4.75"
17 in Option Fixture: Width 17", Height 8.5", Depth 38.5", Weight 9Lbs
18 in Option Backplate: Diameter 4.75"
18 in Option Fixture: Width 18", Height 10", Depth 39", Weight 1Lbs, 11Lbs

Lighting

- One 200 Watt (2850 Lumens) 120 Volt E26 Medium Base Incandescent Lamp(s) (Not Included)

Additional Details

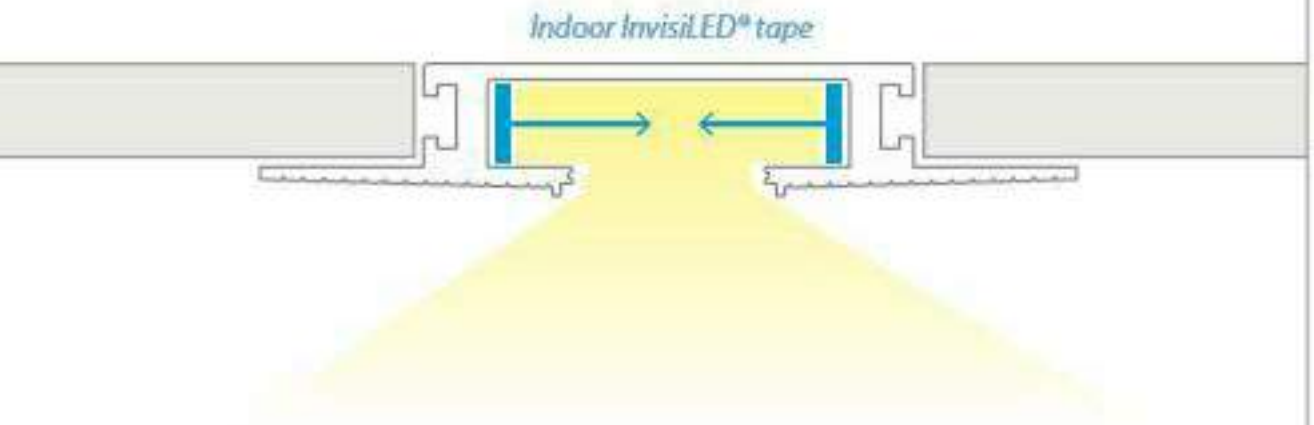
Product URL: <https://www.lumens.com/warehouse-c-swivel-arm-outdoor-wall-sconce-by-hi-lite-HLCP313816.html>
Rating: UL Listed Wet

Product ID: HLCP313816

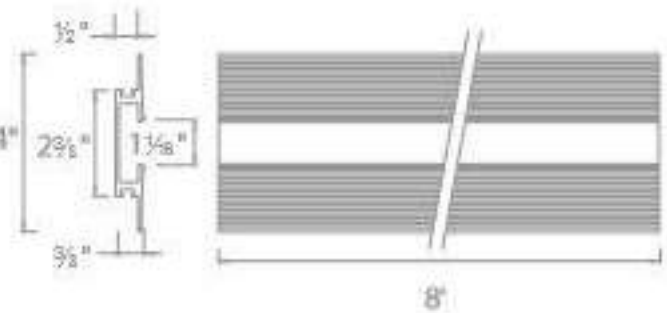


WAC LIGHTING - AWNING/ARTWORK LIGHTING:
LED-T-RCH1-WT
SYMMETRICAL RECESSED CHANNEL LINEAR

SYMMETRICAL RECESSED CHANNEL LED-T-RCH1 WAC LIGHTING
Responsible Lighting®



- Installs within drywall depth
- Linear channel can be field cut
- Accomodates either one or two runs of InvisiLED® indoor tape
See individual InvisiLED spec sheets.
- Includes a translucent white acrylic diffuser
- Dense foam insert for spackling
- Aluminum extrusion powder coated in matte white
- Remote transformer is required



8 ft linear channel

Includes an end cap and diffuser
Can be field cut

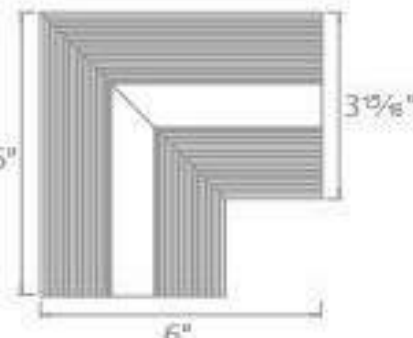
LED-T-RCH1-WT



Lateral corner

Includes diffuser

LED-T-CTC1-WT



PERFORMANCE CHART

	InvisiLED® Pro3	InvisiLED® Pro2	InvisiLED® Pro	InvisiLED® LITE
2200K	120			
2700K	215	180	110	85
3000K	220	165	110	100
3500K	245	185	115	
4500K	265	185	120	

Two strips of tapes were used under the diffuser, data shows lumen output per foot

MALT HOUSE

515 LEGION | OLYMPIA, WA

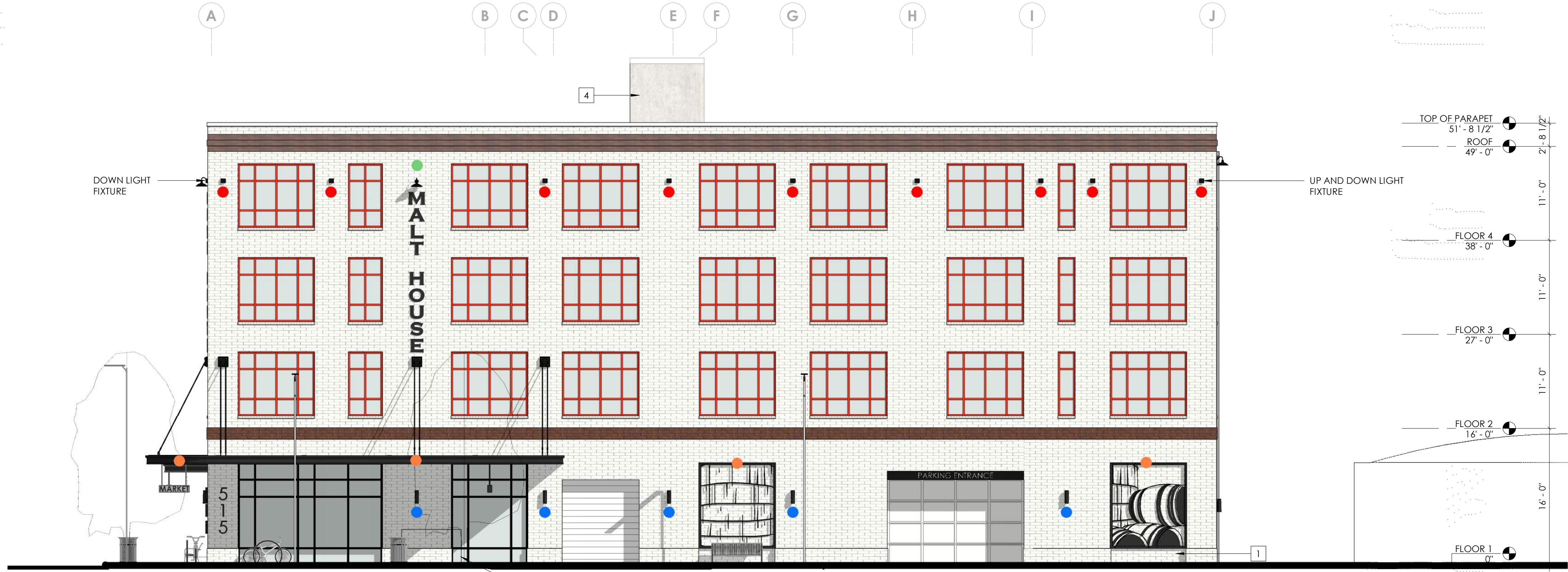
SCHEMATIC DESIGN | 02/10/21

A905
LIGHTING SPECS





1 NORTH ELEVATION - LIGHTING
1/8" = 1'-0"



2 WEST ELEVATION - LIGHTING
1/8" = 1'-0"



WALL SCONCE:
LUMINANCE LED
SERIES F6902-31-LED
CYLINDER UP/DOWN LIGHT, OR COMBINED
ALUMINUM MATERIAL WITH A BLACK FINISH



ACCENT LIGHT:
LIGHTOLOGY
LEDWALL001D-BK
ITEM #: DLS597987
SQUARE OUTDOOR WALL LIGHT
COLOR: BLACK



AWNING/ARTWORK LIGHTING:
WAC LIGHTING
LED-T-RCH1-WT
SYMMETRICAL RECESSED CHANNEL LINEAR



GOOSENECK WALL WASH:
LUMENS
HLCP313816
WAREHOUSE C SWIVEL ARM OUTDOOR WALL SCONCE

MALT HOUSE

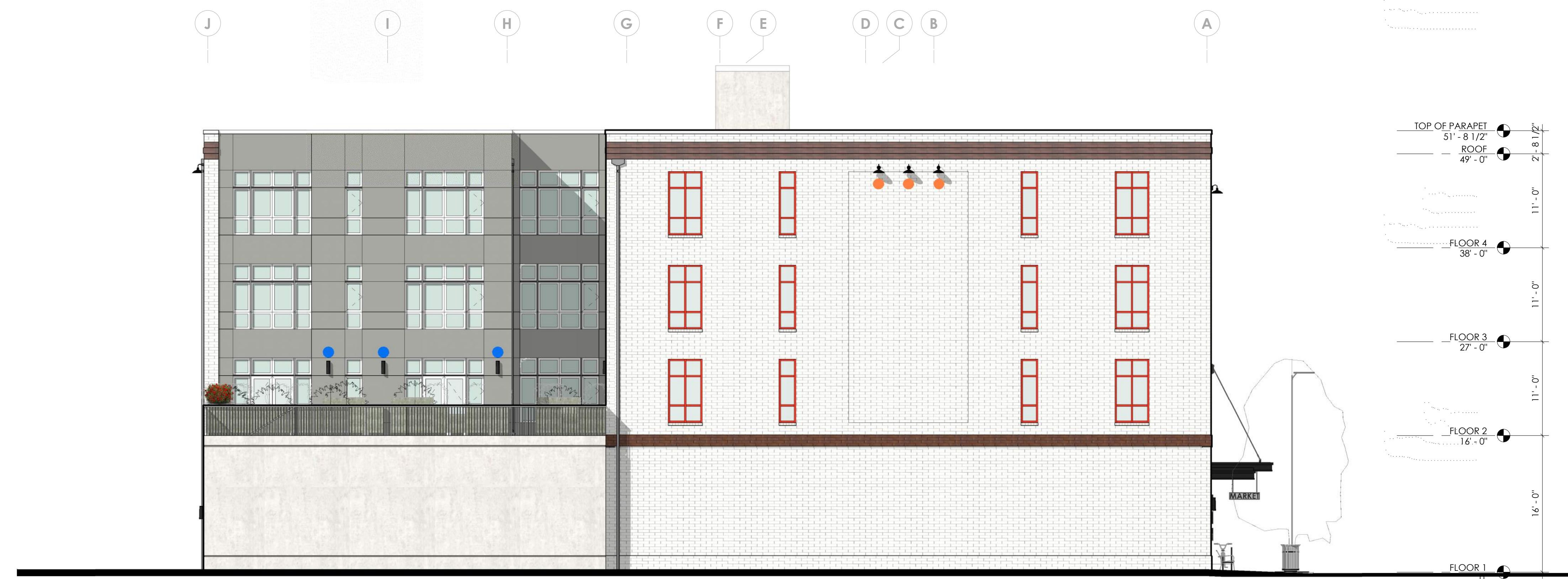
515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

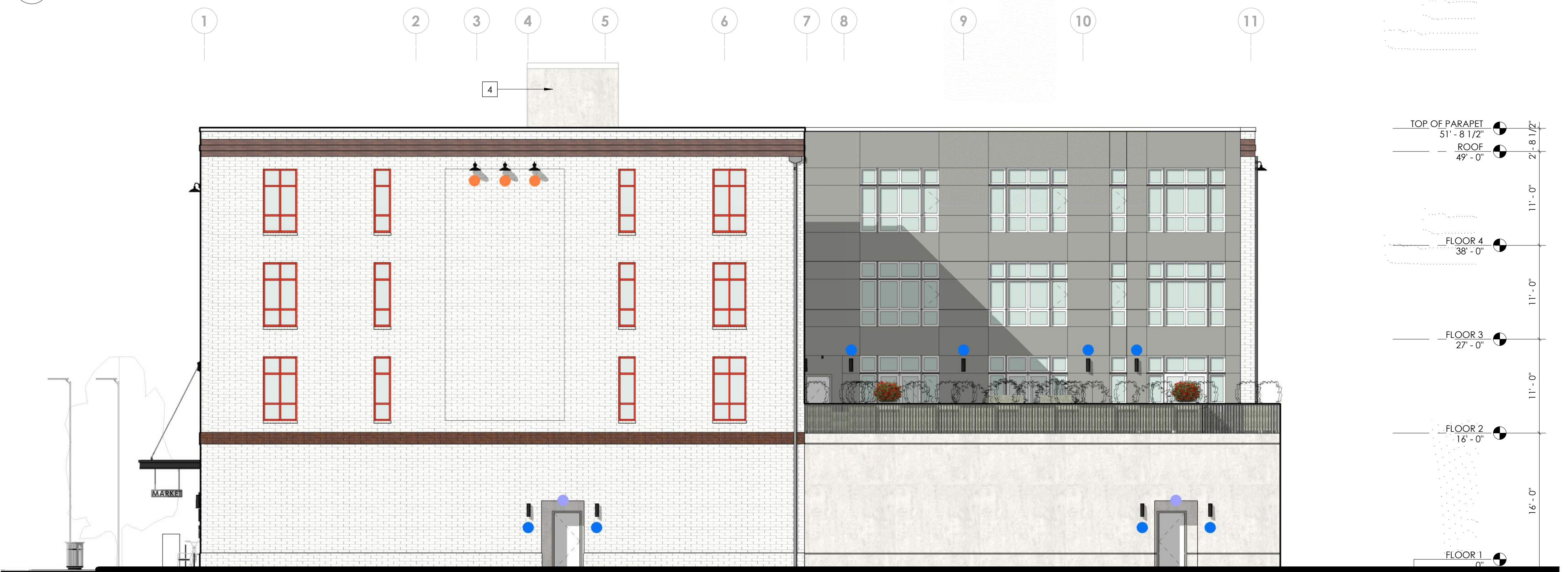
A906

LIGHTING DETAILS - ELEVATION





1 EAST ELEVATION - LIGHTING
1/8" = 1'-0"



2 SOUTH ELEVATION - LIGHTING
1/8" = 1'-0"



WALL SCONCE:
LUMINANCE LED
SERIES F6902-31-LED
CYLINDER UP/DOWN LIGHT, OR COMBINED
ALUMINUM MATERIAL WITH A BLACK FINISH



RECESSED/SUSPENDED LED LIGHT:
CYBER TECH LIGHTING INC.
ST4840L-LED840
4FT LED COVERED STRIP LIGHT
MOTION SENSOR AVAILABLE



AWNING/ARTWORK LIGHTING:
WAC LIGHTING
LED-T-RCH1-WT
SYMMETRICAL RECESSED CHANNEL LINEAR



GOOSENECK WALL WASH:
LUMENS
HLCP313816
WAREHOUSE C SWIVEL ARM OUTDOOR WALL SCONCE

MALT HOUSE

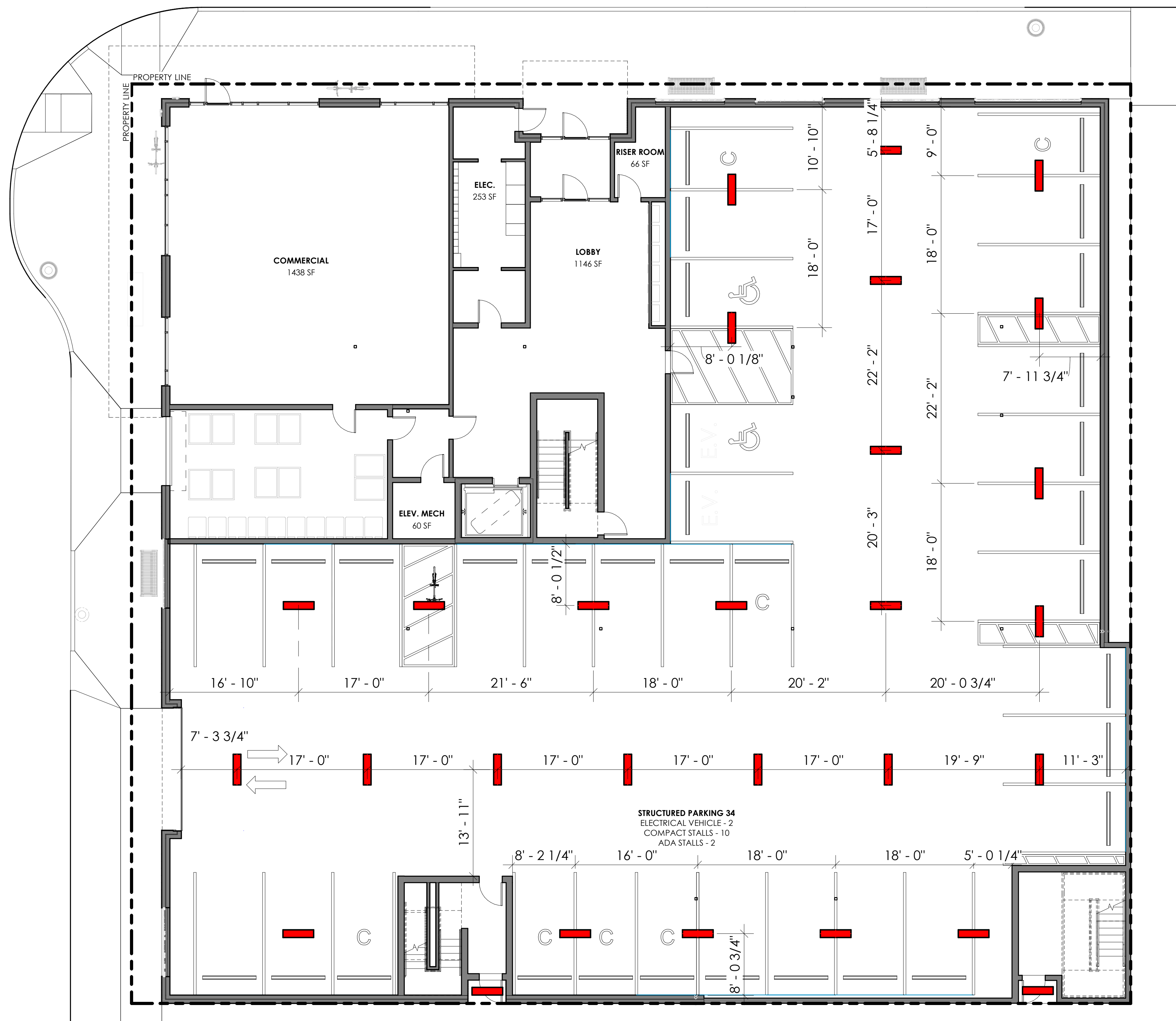
515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A907

LIGHTING DETAILS - ELEVATION





RECESSED/SUSPENDED LED LIGHT:
CYBER TECH LIGHTING INC.
ST4840L-LED840
4FT LED COVERED STRIP LIGHT
MOTION SENSOR AVAILABLE

1 FLOOR 1 - LIGHTING PARKING
1/8" = 1'-0"

MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A908

LIGHTING DETAILS - PARKING



SECTION 7: Colors & Materials

Exterior Materials – Doors/ Sheet A909:

- Door materials and colors.

Exterior Materials – Windows/ Sheet A910 & A911:

- Window materials and colors.

Exterior Materials – Storefront/ Sheet A912:

- Storefront materials and colors.

Exterior Materials – Building/ Sheet A913:

- Building façade materials and colors.

Colors of major signs:

- Refer to Previous Sheet A102 (Site Features).

SIMPSON DOOR COMPANY - MAIN STOREFRONT RESIDENTIAL ENTRY
COLOR: WALNUT (BLACK)
SIZE: 3'6" W X 8' H
4976 - ARTIST



4976 — ARTIST



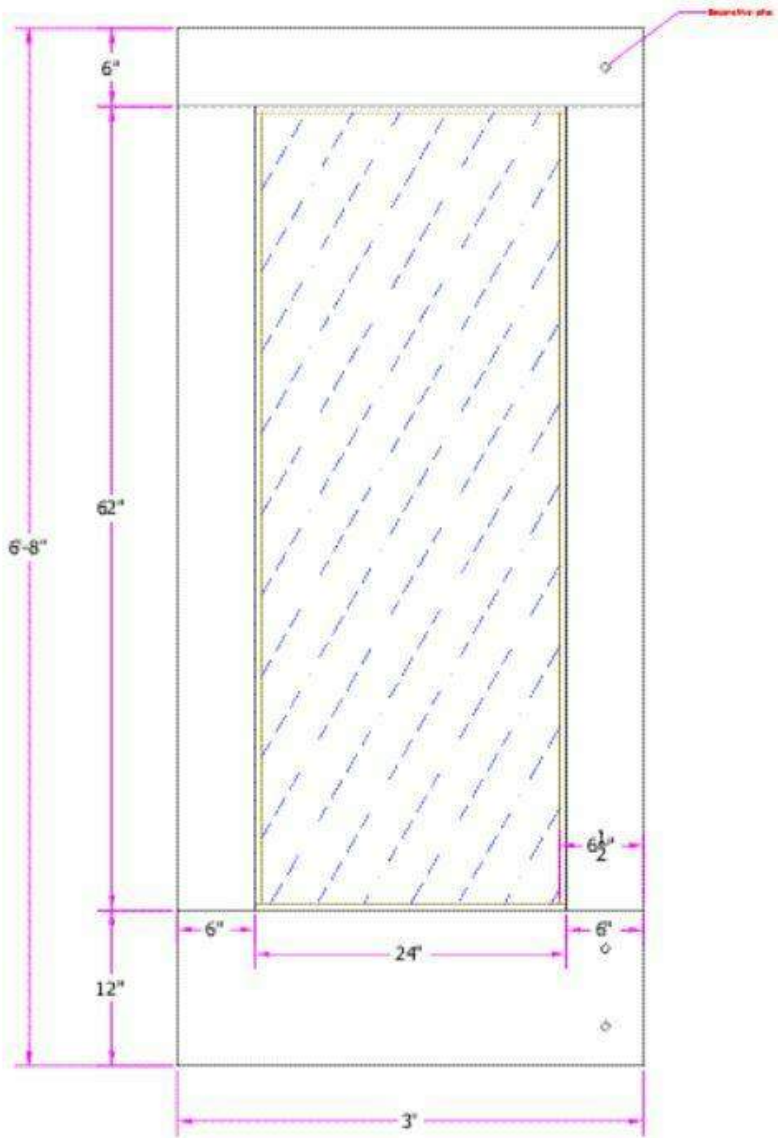
SERIES: Artist Collection®
TYPE: Exterior French & Sash
APPLICATIONS: Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type:
Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

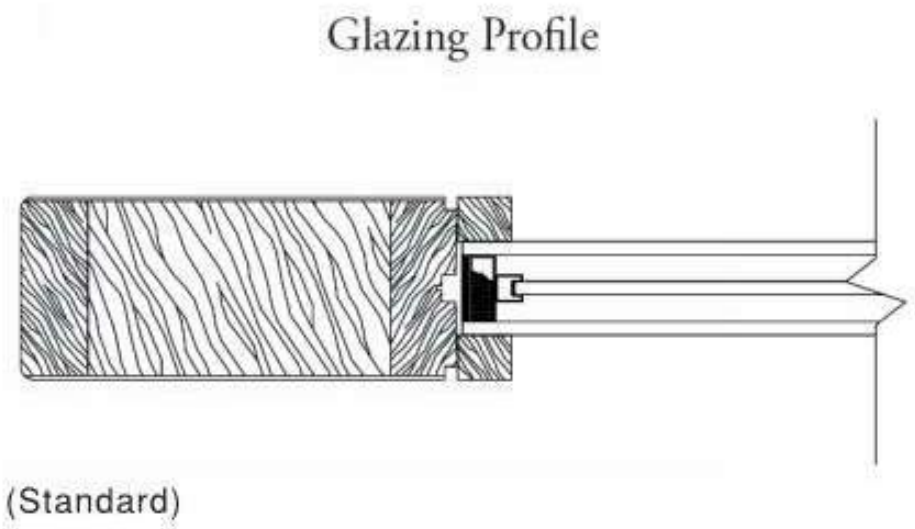
Panels: 1-3/4" Panels with Square Groove
Profile: Square Groove
Glass: 3/4" Insulated Glazing

- STANDARD FEATURES**
- Any Wood Species
 - Virtually Any Size
 - Glass Options
 - Privacy Rating: 1

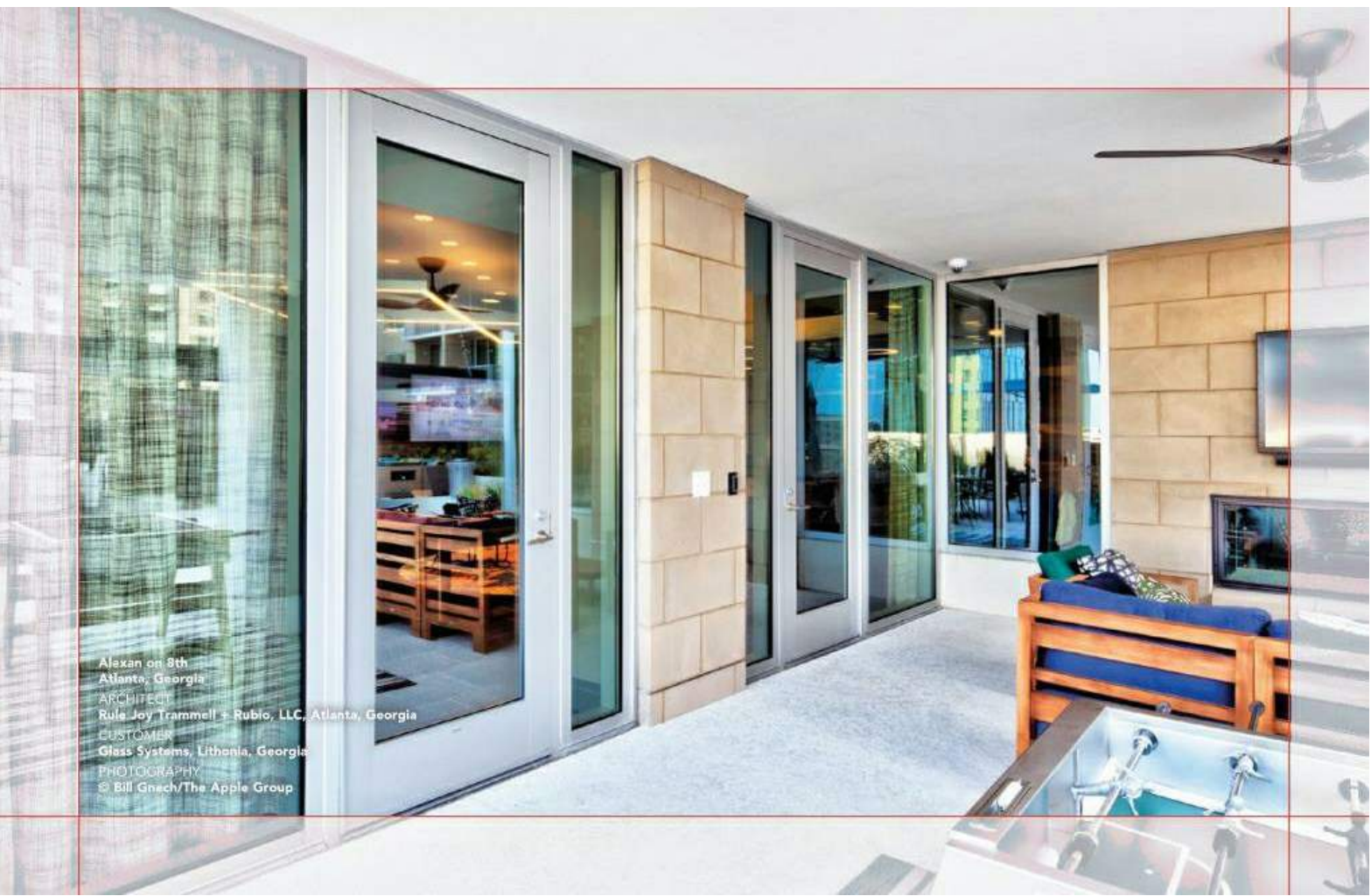
DETAILED DRAWING



DETAILS



KAWNEER - COMMERCIAL STOREFRONT ENTRY
AA 250/425 THERMAL ENTRANCES
COLOR: BLACK



PERFORMANCE
The door frame jambs and transom bar/door header tout a dual perimeter weather seal featuring Kawneer's Sealair bulb weathering. Also featured is triple-finned, soft pile weather-stripping that minimizes airflow around the perimeter edge of the door. At the bottom of the door, the combination of a thermally broken threshold and dual bottom door sweeps minimizes air infiltration. All of this adds up to a superior thermal roadblock that provides improved comfort and savings in heating and cooling costs.

AA™250/425 Thermal Entrances accommodate 1" insulating glass and insulating laminated glass to improve thermal and sound reduction performance. Laminated glass enhances STC and OITC (sound resistance) performance as well as improves occupant safety. Kawneer's thermal entrance doors have been tested and proven in accordance with North American performance standards for air, structural, sound transmission, condensation and thermal transmittance.

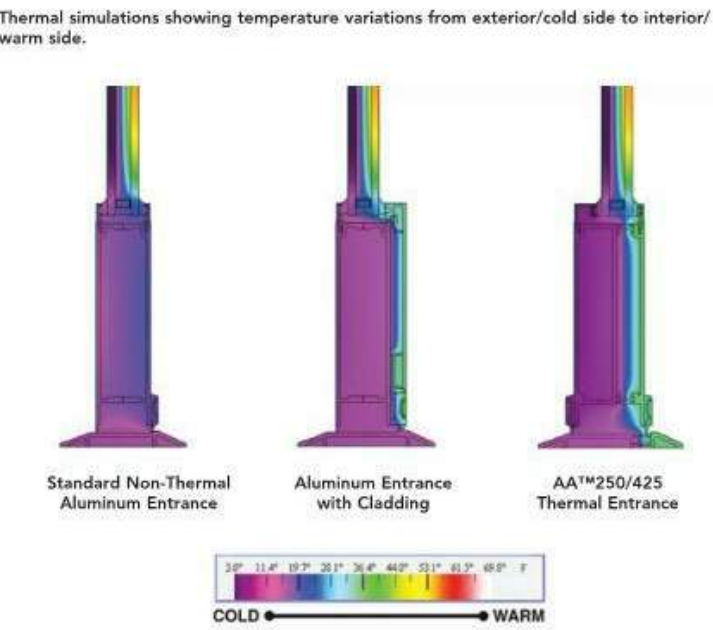
PERFORMANCE LEVELS	
Air Infiltration	ASTM E283
Structural – uniform wind load	ASTM E330
Sound Transmission (STC, OITC)	ASTM E90, E1425
Condensation Resistance (CRF, I, CR)	AAMA 1503; CSA A440.2; NFRC 500
Thermal Transmittance – U-Factor	AAMA 1503, 507; NFRC 100

AESTHETICS
Breaking from tradition, Kawneer's AA™250/425 Thermal Entrances deliver a new aesthetic look with a 2-1/2" narrow stile and a 4-1/4" wide stile, respectively. To meet aesthetic and hardware application requirements, the entrances are also offered with a range of top and bottom rails.

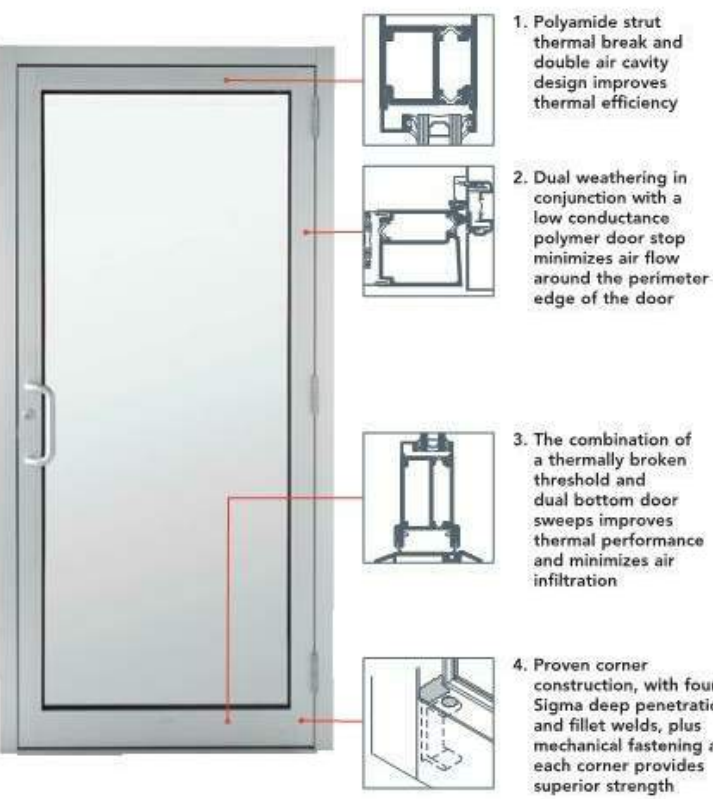
	AA™250	AA™425
Stile widths	2-1/2" (63.5 mm)	4-1/4" (108 mm)
Top rail	2-1/2" (63.5 mm)	4-1/4" (108 mm)
Bottom rail	3-7/8" (98.4 mm)	6-1/2" (165.1 mm)

Horizontal mid-rails are available in 1-3/8" (34.9 mm) and 8-1/4" (209.6 mm) sizes. In addition, a 10" (254 mm) bottom rail option can be specified.

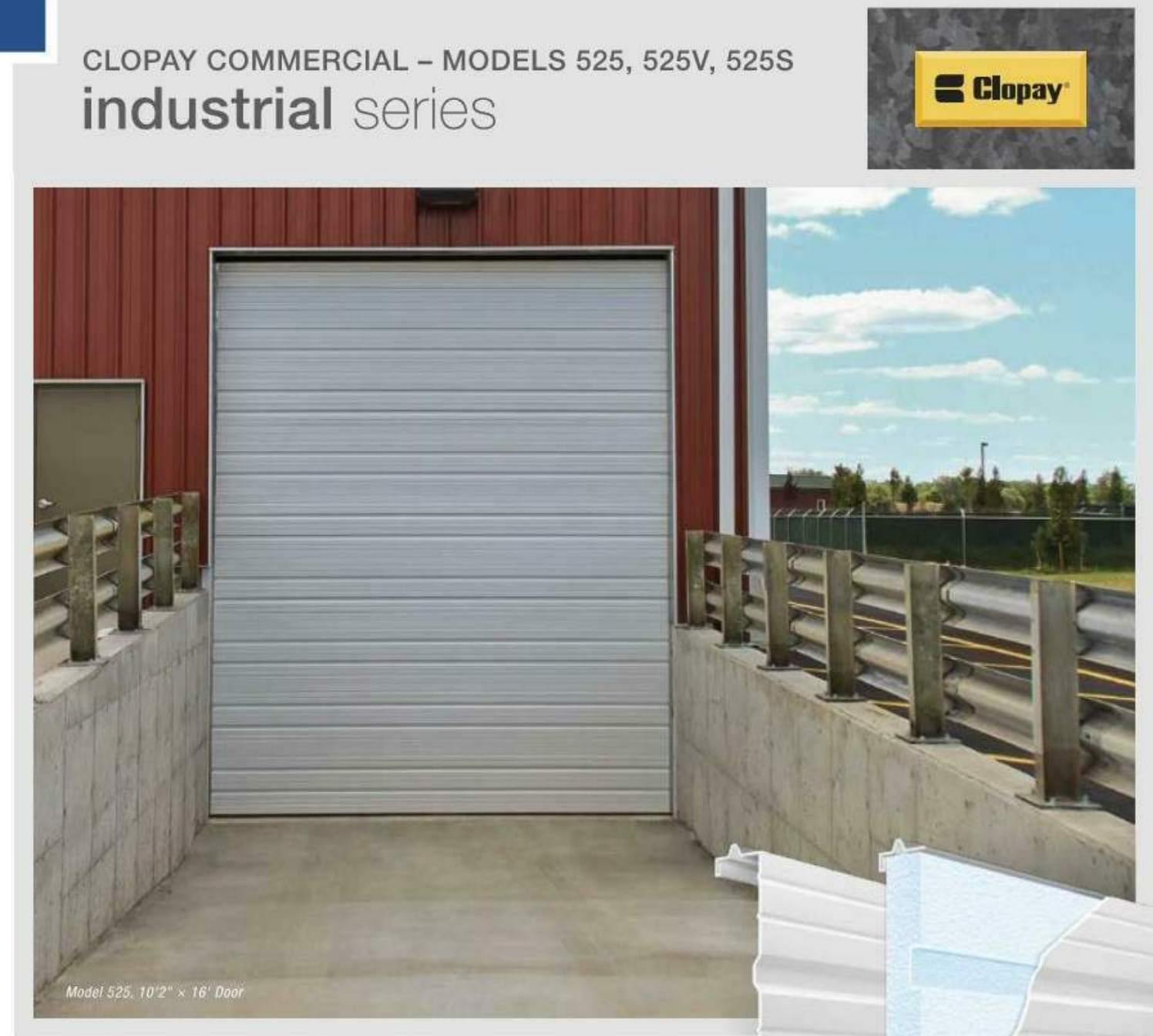
The 2-1/4" (57.2 mm) depth door uses a 14 mm polyamide strut thermal break that accommodates a dual finish as well as various combinations of hinging and locking hardware. These include offset pivots, butt hinges, continuous gear hinges, MS locking, concealed vertical rod exit devices and rim exit devices.



FOR THE FINISHING TOUCH
Architectural Class I anodized aluminum finishes are available in clear and color choices. Painted finishes, including fluoropolymer, that meet AAMA 2605 standards and solvent-free powder coatings that meet AAMA 2604 standards are available in a variety of color choices.



CLOPAY COMMERCIAL - WASTE COLLECTION RIBBED STEEL DOOR
OVERHEAD DOORS MODEL 525, 525V, 525S
SIZE: 9' W X 10' H
COLOR: STANDARD WHITE



RIBBED STEEL DOORS

Available non-insulated (525) or insulated (525V/525S) with environmentally safe polystyrene insulation conformed to panel. Ideal for commercial and industrial building applications. R-Value 6.6 (models 525V, 525S).

- Polystyrene insulation available on 525V and 525S.
- 3-stage paint process delivers a virtually maintenance-free finish.
- Tog-L-Loc® advanced design, eliminates the need for antiquated welds and rivet construction, improving rust and leak prevention.
- Injection-molded life frames with integral weatherseal are durable and seal against the elements. Many glass options available for visibility, privacy or energy efficiency.

clopaycommercial.com

CURRIES - SECONDARY ENTRIES & SOLID WASTE DOOR
707 SERIES - COMPOSITE - INSULATED CORE METAL DOOR
SIZE: 9' W X 10' H
COLOR: MATCH WALL

707 Series - Composite



Standard Features

- Available with Embossed Panels
- Insulated Polystyrene Core (optional Polyurethane Core)
- 1-3/8 or 1-3/4 Inches Thick
- Polystyrene R-Factor - 6.37
- Polyurethane R-Factor - 10.04
- 16 Gauge Top & Bottom Channels
- 20, 18, 16 or 14 Gauge Face Skins
- Fire Rated up to 3 Hours
- Rugged Perimeter Channel Construction
- Sizes from 2068 to 50100
- Versatile and Dependable.

A909

COLORS & MATERIALS - DOORS



MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

PLYGEM - CASEMENT WINDOWS
700 SERIES
COLOR: WHITE



PLY GEM

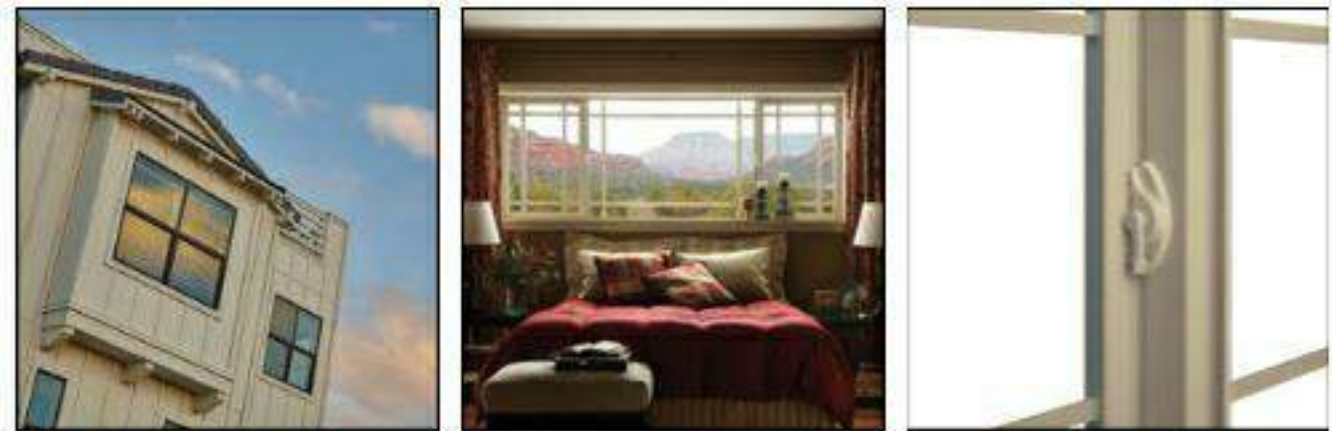
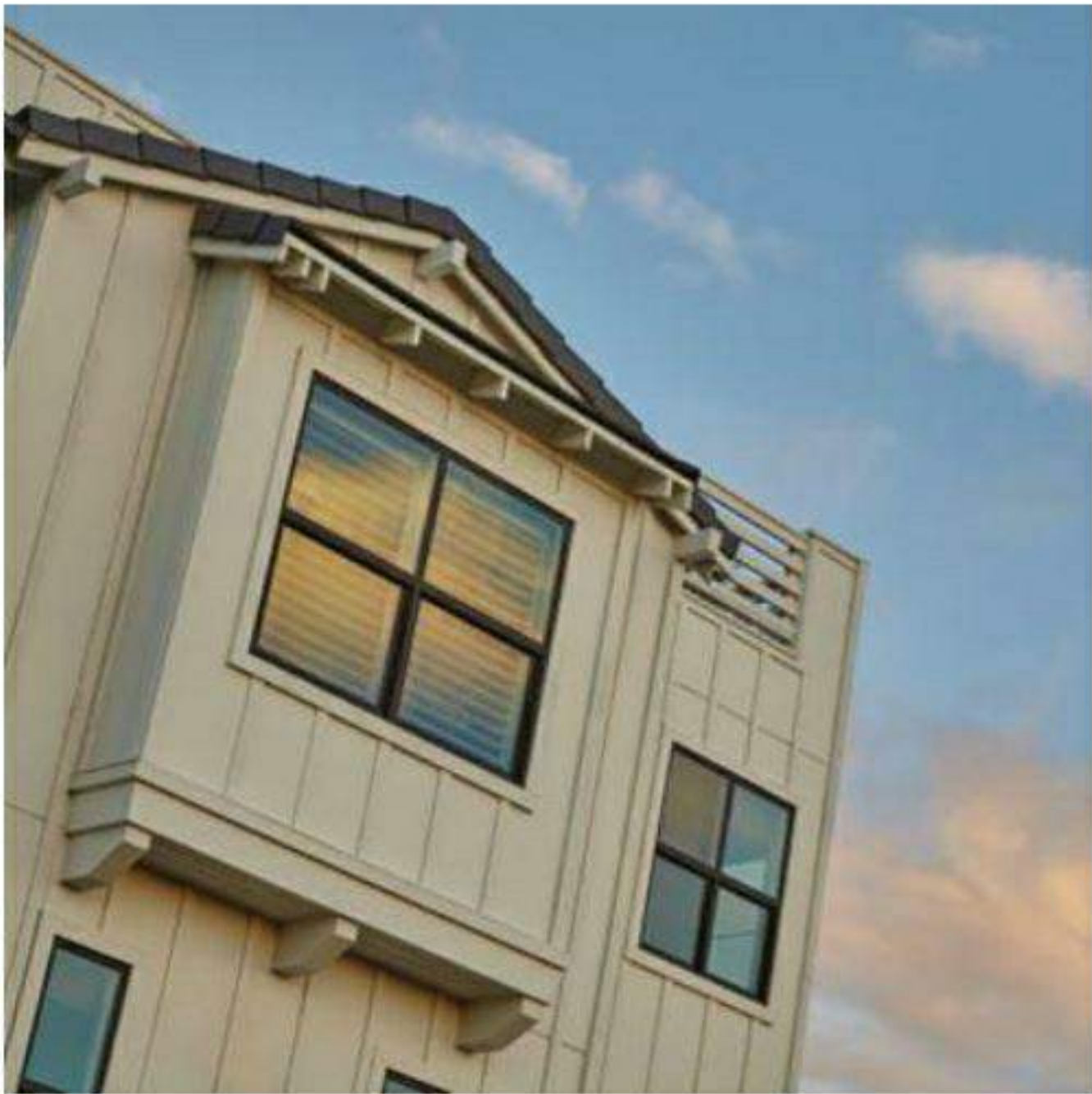
West Pro Series 700 Windows

NEW CONSTRUCTION, REPLACEMENT — VINYL

With beauty designed to last and the options homeowners want, the 700 vinyl window series provides the versatility to fit any project or budget. Recognized as the **Most Efficient of ENERGY STAR®** in 2020.



PLYGEM - PICTURE WINDOWS
200 SERIES
COLOR: WHITE



PLY GEM

West Pro Series 200 Windows

NEW CONSTRUCTION, REPLACEMENT — VINYL

West Pro Series 200 vinyl windows feature large, sweeping views that will open up your home and maximize natural light while helping you conserve energy and lower your heating and cooling costs. Recognized as the **Most Efficient of ENERGY STAR®** in 2020.



MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

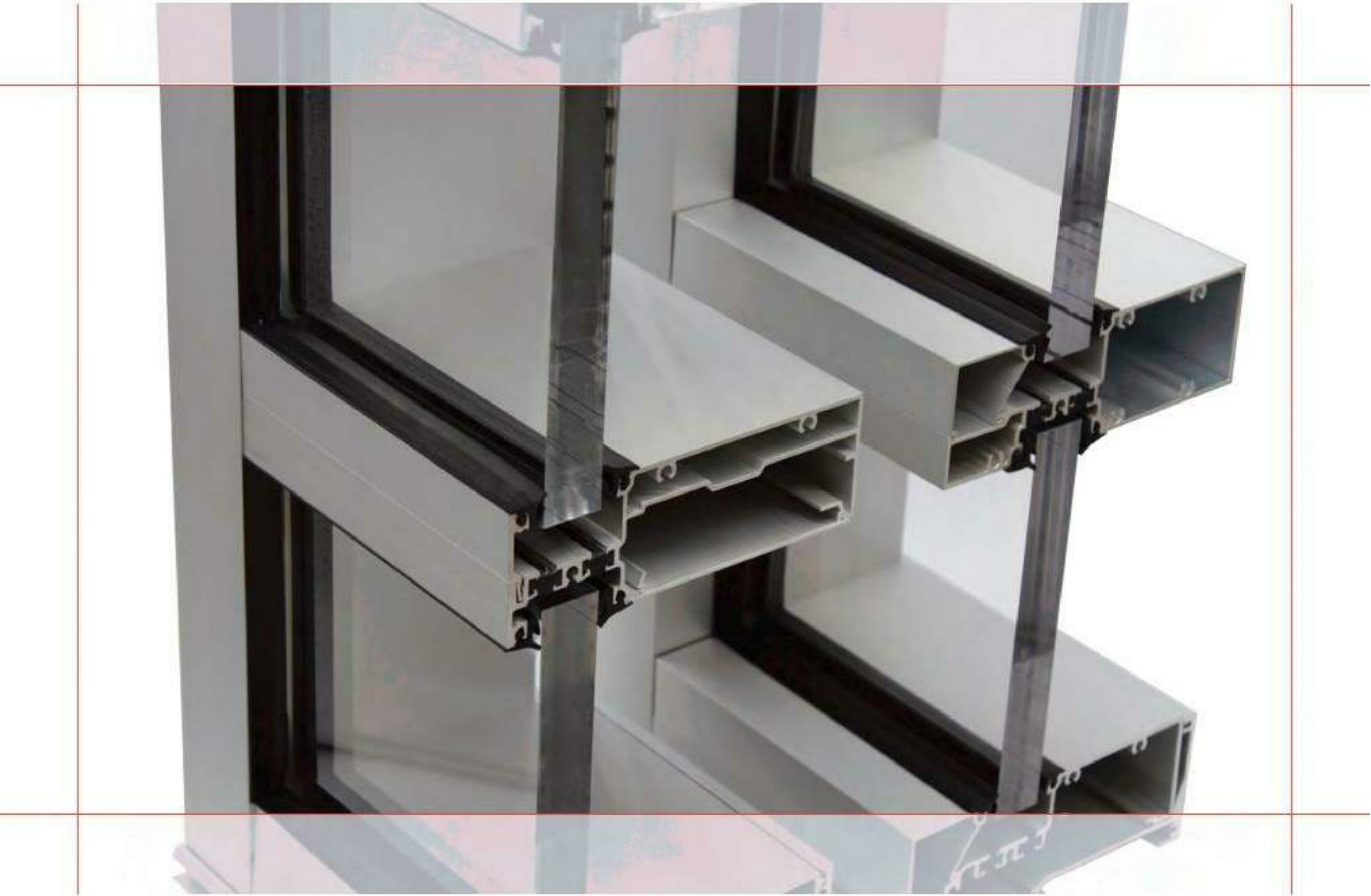
A910

COLORS & MATERIALS - WINDOWS





Versatility, Ultra-Thermal Performance and More Design Possibilities Front and Center

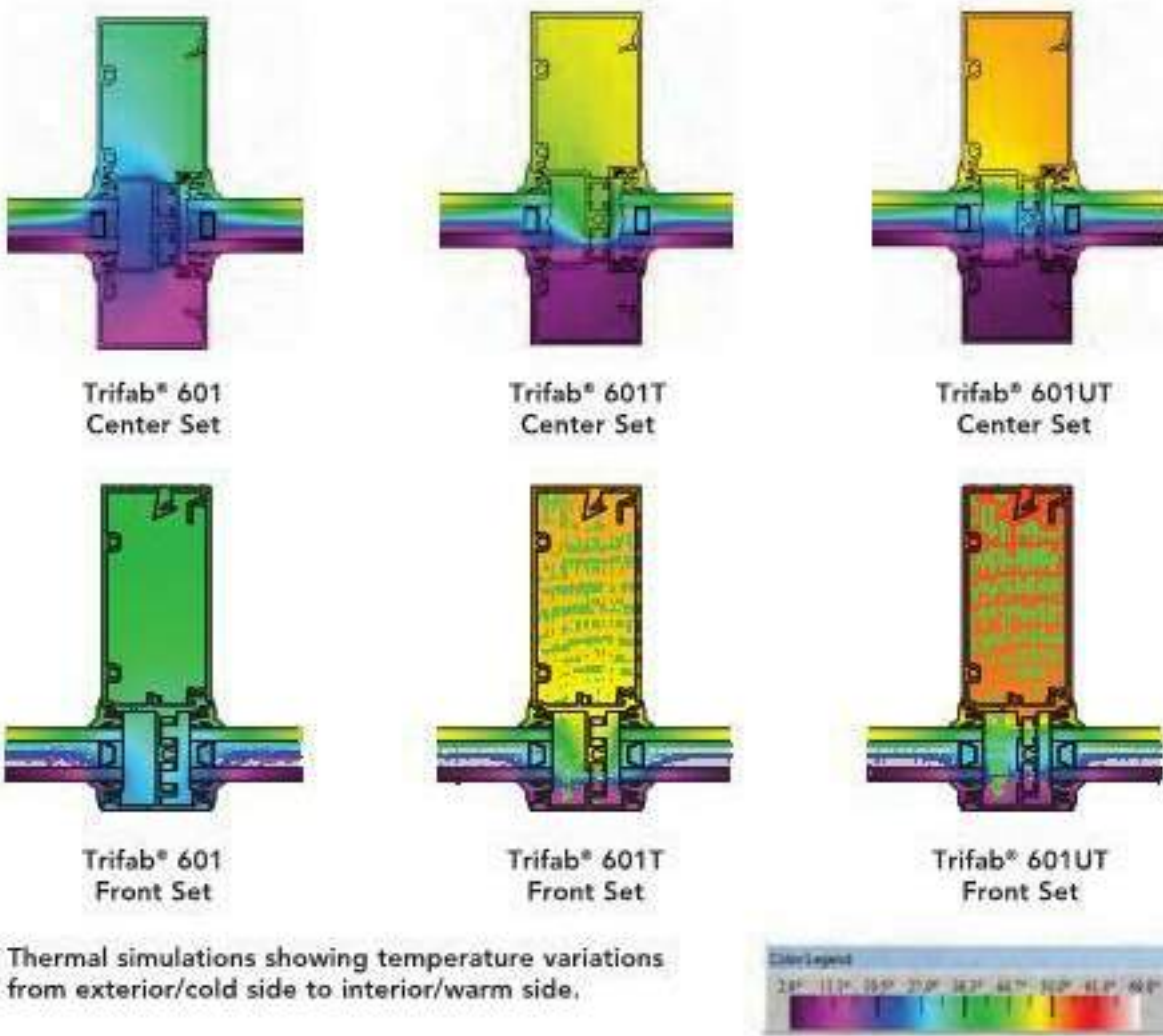


Kawneer's Trifab® VersaGlaze® 601/601T/601UT Framing System touts the first front set, ultra-thermal 6" storefront system available. By expanding on a proven platform, Trifab® VersaGlaze® 601 offers a choice of front and center plane glass applications in non-thermal, thermal and ultra-thermal configurations. Structural silicone glazing (SSG) options allow for an even greater range of design possibilities for specific project requirements and architectural styles.

PERFORMANCE

Flexible enough for a wide range of building projects, the Trifab® VersaGlaze® 601/601T/601UT Framing System has a 6" depth, which accommodates higher spans than conventional 4-1/2" storefront framing systems. The 3-in-1 series includes the non-thermal Trifab® 601, the single thermal break Trifab® 601T and the dual thermal break Trifab® 601UT. The greater system depth combined with three thermal performance options and two glass plane options make this one of the most versatile framing systems available. By combining the greater 6" depth with superior thermal performance and versatility, Kawneer is able to bridge the gap between traditional framing systems and low-rise curtain walls.

The Trifab® 601/601T/601UT Framing System is perfect for projects where an economical alternative to a low-rise curtain wall is desired. These systems meet the same high standards for air and water infiltration and thermal performance that are traditionally found in Kawneer products. The Trifab® 601/601T/601UT Framing System also has a high-performance sill design. The sill attaches to the sill flashing by way of a raceway and eliminates the troublesome blind seal method used on many flashing systems. The sill includes a screw-applied end dam, which ensures positive and tight joints between the sill flashing and end dam.



PERFORMANCE TEST STANDARDS

Air Performance:	ASTM E283
Water Performance:	ASTM E331
Uniform Static Structural	ASTM E330
Sound Transmission Class (STC)	AAMA 1801 and in accordance with ASTM E1425
Condensation Resistance (CRF)	AAMA 1503 and CAN/CSA-A440
Thermal Transmittance (U-Value)	AAMA 1503.1
U-Value Simulations for Other Glazing Options:	AAMA 507, NFRC 100, NFRC 200, NFRC 500 and CAN/CSA-A440.2

DIVERSE FABRICATION AND INSTALLATION METHODS

The Trifab® 601/601T/601UT Framing System employs various joinery construction types for efficient fabrication and installation.

Glass Plane	Center Set			Front Set		
	601	601T	601UT	601	601T	601UT
Thermal Level	Non-Thermal	Thermal	Ultra-Thermal	Non-Thermal	Thermal	Ultra-Thermal
Screw Spline Fabrication	•	•	•	•	•	•
Shear Block Fabrication	—	—	—	•	•	•
Stick Fabrication	—	—	—	•	•	•
Stick Fabrication SSG	—	—	—	•	•	•

The framing can be specified for glazing from either the inside or outside. Inside glazing can help reduce field labor costs by eliminating the need for exterior scaffolding or swing stages for installation on floors above the ground level. In addition, the frames have a two-piece receptor option that easily accommodates attachment of air-barrier systems.

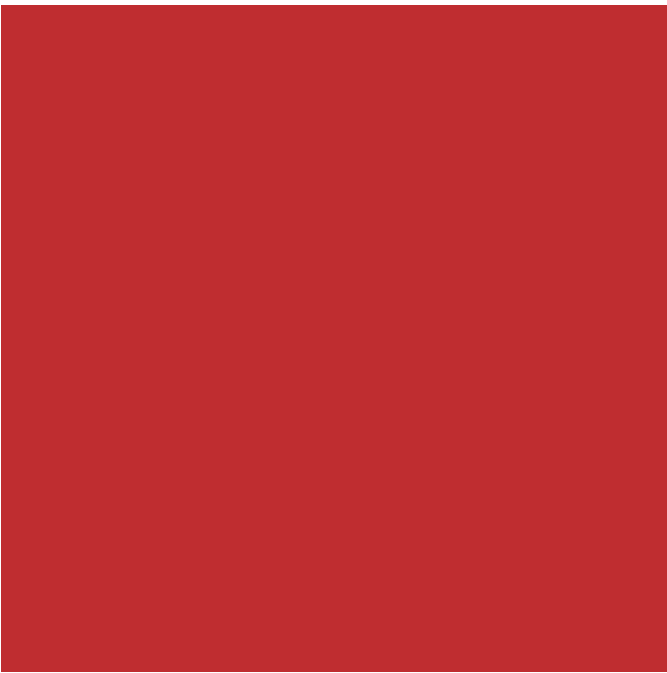
AESTHETICS AND VERSATILITY



The Trifab® 601/601T/601UT Framing System is designed with cost and flexibility in mind. With a 2" x 6" frame profile, the sightline is consistent with current framing systems and the glass pockets are aligned to 4-1/2"-deep Trifab® framing systems. This allows for a shallow horizontal member that not only lowers overall metal costs, but also provides

flexibility to accommodate interior finishes, such as blinds, that can span the full uninterrupted elevation height. The flexibility of the 3-in-1 series provides a pre-designed solution for non-thermal as well as thermal entrances. Framing options include non-thermal and thermally broken door framing members to accommodate 1-3/4"-deep and 2-1/4"-deep entrance doors, an expansion mullion and a two-piece head and jamb receptor. The 6" depth accommodates higher spans than conventional 4-1/2" storefront framing systems, and an optional 2-1/4" wide vertical mullion allows for internal steel reinforcement for projects with greater structural performance requirements.

SHERWIN WILLIAMS
REAL RED



MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

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kawneer.com



ARCHITECTURAL SYSTEMS | ENTRANCES + FRAMING | CURTAIN WALLS | WINDOWS

A911

COLORS & MATERIALS - STOREFRONT
WINDOWS



TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance

Versatility with Unmatched Fabrication Flexibility



Geisinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Mericle Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
© Perzel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



Brighton Landing
Cambridge, Massachusetts
ARCHITECT
ADD Inc., Cambridge, Massachusetts
GLAZING CONTRACTOR
Ipswich Bay Glass Company, Inc., Rowley, Massachusetts
PHOTOGRAPHER
© Gordon Schenck, Jr.

All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

PERFORMANCE

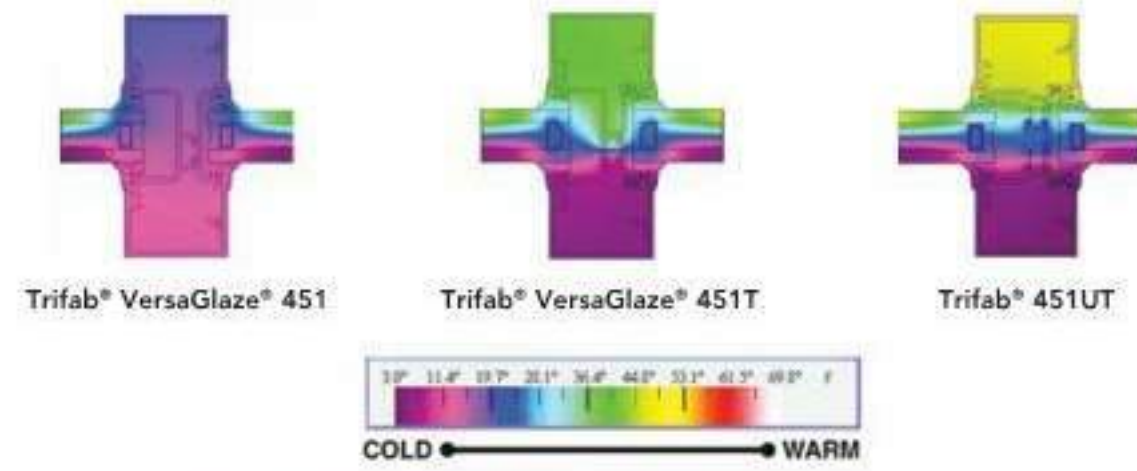
Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

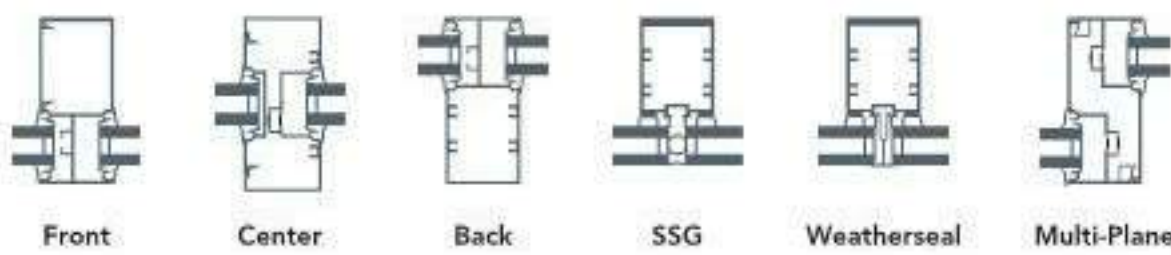
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425



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ARCHITECTURAL SYSTEMS | ENTRANCES + FRAMING | CURTAIN WALLS | WINDOWS

MALT HOUSE

515 LEGION | OLYMPIA, WA

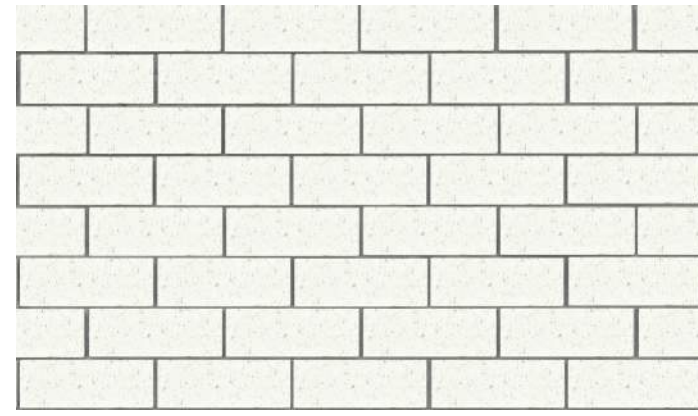
SCHEMATIC DESIGN | 02/10/21

A912

COLORS & MATERIALS - STOREFRONT



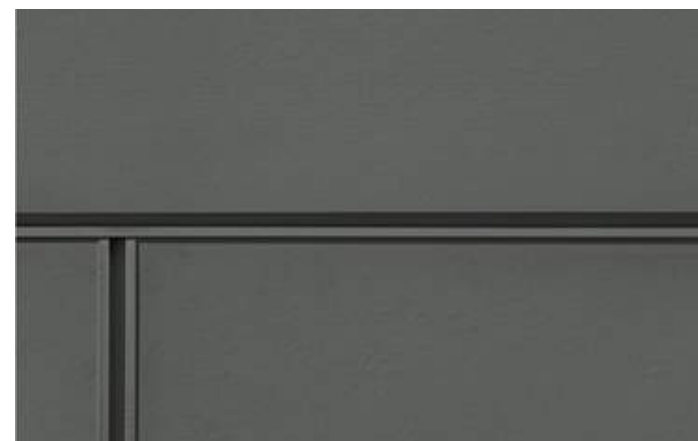
BUILDING MATERIALS



1 SUMMIT BRICK STRUCTURAL- ALASKAN WHITE



2 SUMMIT BRICK STRUCTURAL - CHARCOAL IRONSPOT



3 FIBER CEMENT PANEL - DARK GREY



4 CONCRETE - SMOOTH FINISH



Hardie® Reveal®
Panel System

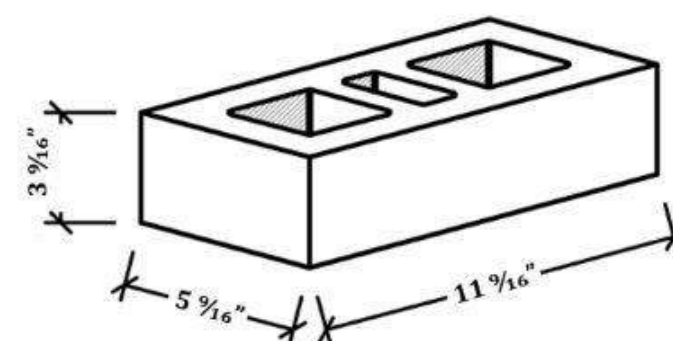
Embody a modern aesthetic

Get the look you are after with the solution that offers design flexibility. The Hardie® Reveal® Panel system can be utilized to create an effective modern, durable, panelized look.

A system of components specifically developed for multi-family and light commercial applications, the Hardie Reveal Panel system is a complete solution for creating a panelized look. Eliminate the guesswork in creating this look with the Hardie Reveal Panel system, with all parts including panels and trims supplied by James Hardie. Check for availability and call us to request a James Hardie Preferred Installer when specifying the Hardie Reveal Panel system.

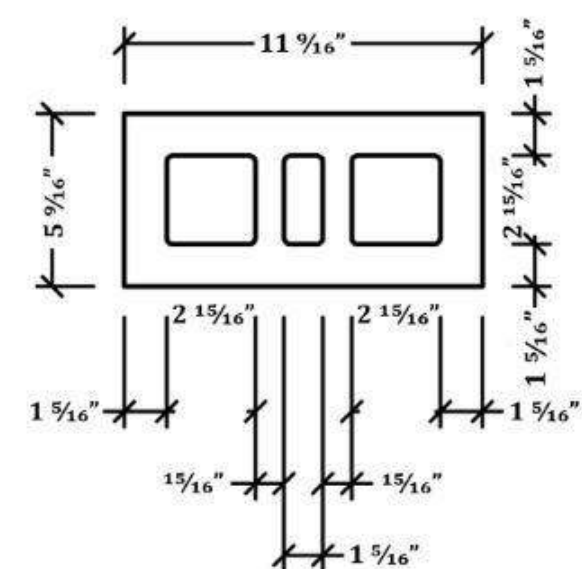
Beginning with a commercial grade panel developed for multi-family and light commercial applications, the Hardie Reveal Panel system is a complete solution for creating a panelized look. Eliminate the guesswork in creating this look with the Hardie Reveal Panel system, with all parts including panels and trims supplied by James Hardie. Check for availability and call us to request a James Hardie Preferred Installer when specifying the Hardie Reveal Panel system.

For details about technical information and specs, visit JamesHardieCommercial.com

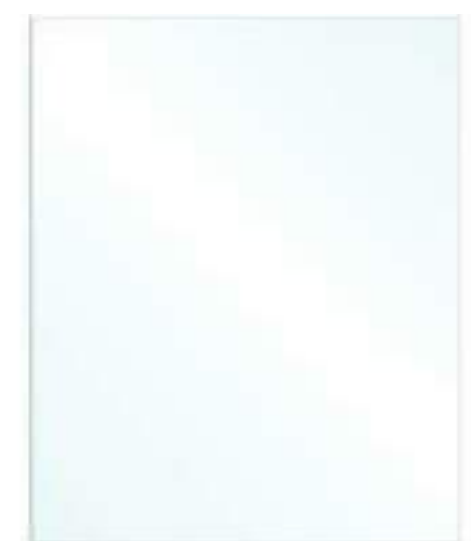


PUEBLO PLANT
SIX INCH UNIWALL

TOP VIEW



SHERWIN WILLIAMS (C-CHANNEL AND ALL METAL PARTS)
COLOR: SW 6258
TRICORN BLACK
R:47 G:47 B:48



SHERWIN WILLIAMS (C-CHANNEL AND ALL METAL PARTS)
COLOR: SW 6258
TRICORN BLACK
R:47 G:47 B:48

MALT HOUSE

515 LEGION | OLYMPIA, WA

SCHEMATIC DESIGN | 02/10/21

A913

COLORS & MATERIALS - BUILDING