

OLYMPIA CREST III APARTMENTS

PROJECT TEAM

OWNER	ARCHITECTURAL	CIVIL	LANDSCAPE	STRUCTURAL	MEP
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NARRATIVE

OLYMPIA CREST III APARTMENTS IS THE DEVELOPMENT OF 28 UNITS OF MULTI-FAMILY AFFORDABLE HOUSING FOR THE HOUSING AUTHORITY OF THURSTON COUNTY. THIS PROJECT IS A CONTINUATION OF OLYMPIA CREST I, COMPLETED IN 1978, AND OLYMPIA CREST II, COMPLETED IN 2010, ON THE NEIGHBORING PROPERTY.

PHASE III CONSISTS OF 20 ONE-BEDROOM UNITS AND 8 TWO-BEDROOM UNITS IN A TOTAL OF THREE BUILDINGS ON A 1.43-ACRE SITE THAT BORDERS LILLY RD. THIS PROPERTY FALLS UNDER MIS ZONING, BUT HAS BEEN REVISED VIA TEXT AMENDMENT TO PROVIDE MULTI-FAMILY AFFORDABLE HOUSING.

ABBREVIATIONS

ABV	ABOVE	LAV	LAVATORY
ACT	ACOUSTICAL CEILING TILE		
ADJ	ADJACENT	MAX	MAXIMUM
ADJUST	ADJUSTABLE	MECH	MECHANICAL
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ALUM	ALUMINUM	MIN	MINIMUM
APT	APARTMENT	MTL	METAL
ARCH	ARCHITECT(URAL)		
AV	AUDIO VISUAL	NIC	NOT IN CONTRACT
		NTS	NOT TO SCALE
BD	BOARD	OC	ON CENTER
BLDG	BUILDING	OH	OPPOSITE HAND
BO	BOTTOM OF	OPP	OPPOSITE
		OSOI	OWNER SUPPLIED & OWNER INSTALLED
CG	CORNER GUARD	OSCI	OWNER SUPPLIED & CONTRACTOR INSTALLED
CH	CLOTHES HOOK		
CJ	CONTROL JOINT		
CL	CENTER LINE		
CLG	CEILING	PNT	PAINT
CLR	CLEAR	PL	PLATE
CMU	CONCRETE MASONRY UNIT	P-LAM	PLASTIC LAMINATE
CONC	CONCRETE	PLYWD	PLYWOOD
CONT	CONTINUOUS	PNL	PANEL
CONST	CONSTRUCTION	PREFIN	PREFINISHED
CPT	CARPET	PT	PRESSURE TREATED
CSCI	CONTRACTOR SUPPLIED & CONTRACTOR INSTALLED	PTD	PAPER TOWEL DISPENSER
		R	RADIUS
DBL	DOUBLE	RB	RUBBER BASE
DEMO	DEMOLITION	REF	REFRIGERATOR
DIA	DIAMETER	REINF	REINFORCE
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	RM	ROOM
DS	DOWNSPOUT	RO	ROUGH OPENING
DR	DOOR		
DTL	DETAIL	SAM	SELF ADHESIVE MEMBRANE
DWG	DRAWING	SC	SOLID CORE
DWR	DRAWER	SCHE	SCHEDULE
		SD	SMOKE DETECTOR
EXIST	EXISTING	SF	SQUARE FEET
EA	EACH	SHT	SHEET
ELECT	ELECTRICAL	SHTG	SHEATHING
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SOG	SLAB ON GRADE
EUELEV	ELEVATION	SPECS	SPECIFICATIONS
EXT	EXTERIOR	SS	STAINLESS STEEL
		STD	STANDARD
FACT	FACTORY FINISH	STL	STEEL
FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FD	FLOOR DRAIN		
FDC	FIRE DEPARTMENT CONNECTION	T/TEMP	TEMPERED GLASS
FF	FINISH FLOOR	TO	TOP OF
FIN	FINISH	TOC	TOP OF CONCRETE
FLR	FLOOR	TOSR	TOP OF SINK RIM
FO	FACE OF	TOLS	TOP OF LOWER SHELF
FOC	FACE OF CONCRETE	TOW	TOP OF WALL
FOS	FACE OF STRUCTURE	TS	TUBE STEEL
FT	FEET	TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
GA	GAUGE		
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	VIF	VERIFY IN FIELD
GL	GLASS	VERT	VERTICAL
GYP BD	GYPSON BOARD		
		W	WASHER
HB	HOSE BIBB	W/	WITH
HC	HOLLOW CORE	WC	WATER CLOSET
HM	HOLLOW METAL	WD	WOOD
HOR	HORIZONTAL	WDW	WINDOW
HT	HEIGHT	W/O	WITHOUT
		WO	WHERE OCCURS
INT	INTERIOR	WRB	WEATHER RESISTIVE BARRIER/ AIR BARRIER
INSUL	INSULATION		

SHEET INDEX

GENERAL

G1.00	COVER SHEET
G2.00	ZONING AND SITE CODE PLAN
G3.00	ASSEMBLIES
DRA1.00	ARCHITECTURAL SITE PLAN
DRA1.10	SITE CONTEXT PLAN

CIVIL

C0.0	LEGENDS, ABBREVIATIONS, & SHEET INDEX
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS PLAN
C1.1	EXISTING CONDITIONS PLAN
C2.0	SITE PREPARATION PLAN
C2.1	SITE PREPARATION DETAILS
C3.0	SITE & UTILITIES PLAN
C3.1	SITE DETAILS
C3.2	SITE DETAILS
C3.3	SEWER & WATER DETAILS
C3.4	WATER DETAILS
C3.5	WATER DETAILS
C4.0	STORM DRAINAGE & GRADING PLAN
C4.1	STORM DRAINAGE DETAILS
C4.2	STORM DRAINAGE DETAILS
C5.0	CHANNELIZATION PLAN
C5.1	CHANNELIZATION DETAILS

LANDSCAPE

L0.01	TREE PRESERVATION PLAN
L0.02	TREE PRESERVATION PLAN
L1.00	HARDSCAPE PLAN
L1.01	HARDSCAPE PLAN
L1.02	HARDSCAPE PLAN
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION PLAN
L3.00	PLANTING PLAN
L3.01	PLANTING PLAN DETAILS
L3.02	STORMWATER PLANTING PLANS

ARCHITECTURAL

DRA2.11	BUILDING 1 GROUND/SECOND FLOOR PLANS
DRA2.21	BUILDING 2 GROUND/SECOND FLOOR PLANS
DRA2.31	BUILDING 3 GROUND/SECOND FLOOR PLANS
DRA4.11	BUILDING 1 ELEVATIONS
DRA4.12	BUILDING 2 ELEVATIONS
DRA4.13	BUILDING 3 ELEVATIONS

VICINITY MAP



SYMBOLS - ARCHITECTURAL

1	VIEW NAME	DRAWING TITLE	ALIGN	FINISH TO BE FLUSH
	SCALE: 1/8" = 1'-0"			
1	DETAIL NO.	EXTERIOR ELEVATION		SLOPE TO DRAIN
AX.XX	SHEET NO.			
1	DETAIL NO.	INTERIOR ELEVATION		CENTERLINE
AX.XX	SHEET NO.			
1	DETAIL NO.	BUILDING SECTION		AREA/FLOOR DRAIN
AX.XX	SHEET NO.			
1	DETAIL NO.	WALL SECTION		FIRE EXTINGUISHER CABINET
AX.XX	SHEET NO.			
1	DETAIL NO.	DETAIL KEY		INTERNATIONAL SYMBOL OF ACCESSIBILITY
AX.XX	SHEET NO.			
	ROOM NAME	ROOM NAME/NUMBER		NORTH ARROW
	101			
X	DOOR MARK			GRID BUBBLE
X	WINDOW MARK			
X	KEYNOTE			
X	ASSEMBLY TYPE			
				CEILING HEIGHT
				FLOOR TRANSITION
				ELEVATION HEIGHT
				WORK POINT, CONTROL POINT, OR DATUM POINT
				REVISION MARK AND CLOUD

CITY STAMP

ENERGY CODE REQUIREMENTS

INSULATION REQUIREMENTS PER 2019 OR ENERGY CODE (ASHRAE 90.1-2016) MULTNOMAH COUNTY ZONE 4C				
PROVISIONS SHOWN ARE FOR RESIDENTIAL STRUCTURES				
	REQUIRED		PROVIDED	
	ASSEMBLY MAXIMUM	MIN R VALUE		
ROOFS				
INSULATION ENTIRELY ABOVE DECK	U-0.032	R-30ci		X
METAL BUILDING	U-0.037	R-19+R-11 Ls R-25+R-8 Ls		X
ATTIC AND OTHER	U-0.021	R-49		X
WALLS ABOVE GRADE				
MASS	U-0.090	R-11.4ci		X
METAL BUILDING	U-0.050	R-0+R-19ci		X
STEEL FRAMED	U-0.064	R-13+R-7.5ci		X
WOOD FRAME AND OTHER	U-0.064	R-13+R-3.8ci or R-20		X
WALLS BELOW GRADE				
BELOW GRADE WALL	C-0.092	R-10ci		X
FLOORS				
MASS	C-0.051	R-16.7ci		X
STEEL JOIST	C-0.038	R-30		X
WOOD FRAMED AND OTHER	C-0.033	R-30		X
SLAB ON GRADE FLOORS				
UNHEATED	F-0.520	R-15 for 24"		X
HEATED	F-0.668	R-20 for 48"		X
OPAQUE DOORS				
SWINGING	U-0.370			X
NON SWINGING	U-0.310			X

VERTICAL FENESTRATIONS	REQUIRED			PROVIDED
	MAX U	MAX SHGC	MIN VT/SHGC	
NON METAL FRAMING - ALL	0.31	0.36	1.10	X
METAL FRAME - FIXED	0.38	0.36	1.10	X
METAL FRAME - OPERABLE	0.46	0.36	1.10	X
METAL FRAME - ENTRANCE DOORS	0.68	0.36	1.10	X
SKYLIGHTS				
ALL	0.50	0.40	0	X

AIR BARRIER SYSTEM REQUIREMENTS

THE AIR BARRIER SYSTEM IS AN AIR TIGHT BUILDING ENCLOSURE AND IS COMPRISED OF MULTIPLE PRODUCTS THAT FORM A CONTINUOUS PATH THAT CONTROLS INFILTRATION OR EXFILTRATION OF AIR. ADDITIONAL DESCRIPTIONS AND SYSTEM REQUIREMENTS ARE AS FOLLOWS:

1. THE AIR TIGHT COMPONENTS OF THE BUILDING ENCLOSURE AND THE JOINTS, JUNCTURES AND TRANSITIONS BETWEEN MATERIALS, PRODUCTS AND ASSEMBLIES FORMING THE AIR TIGHTNESS OF THE BUILDING ENCLOSURE ARE CALLED THE "AIR BARRIER SYSTEM." SERVICES INCLUDE COORDINATION BETWEEN THE TRADES, THE PROPER SCHEDULING AND SEQUENCING OF THE WORK, AND PRECONSTRUCTION MEETINGS.
2. THE CONTRACTOR SHALL ENSURE THAT THE INTENT OF CONSTRUCTING THE BUILDING ENCLOSURE WITH A CONTINUOUS AIR BARRIER SYSTEM TO CONTROL AIR LEAKAGE, INTO OR OUT OF THE CONDITIONED SPACE IS ACHIEVED. THE AIR BARRIER SYSTEM SHALL HAVE THE FOLLOWING CHARACTERISTICS:

A. IT MUST BE CONTINUOUS, WITH ALL JOINTS SEALED.

B. IT MUST BE STRUCTURALLY SUPPORTED TO WITHSTAND POSITIVE AND NEGATIVE AIR PRESSURES APPLIED TO THE BUILDING ENCLOSURE.

C. CONNECTION SHALL BE MADE BETWEEN:

1. FOUNDATION AND WALLS

2. WALLS AND WINDOWS/DOORS

3. DIFFERENT WALL SYSTEMS

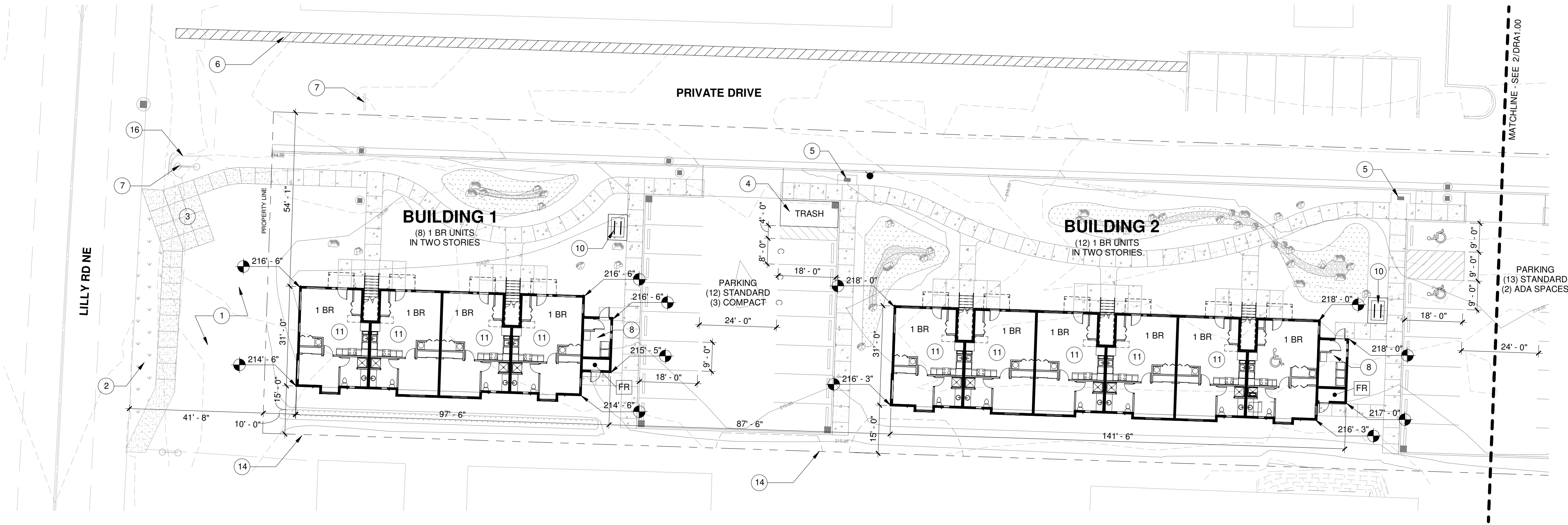
4. WALL AND ATTIC ROOF/CEILING ASSEMBLY

5. WALLS, FLOORS, AND ROOF AT UTILITY, PIPE AND DUCT PENETRATIONS

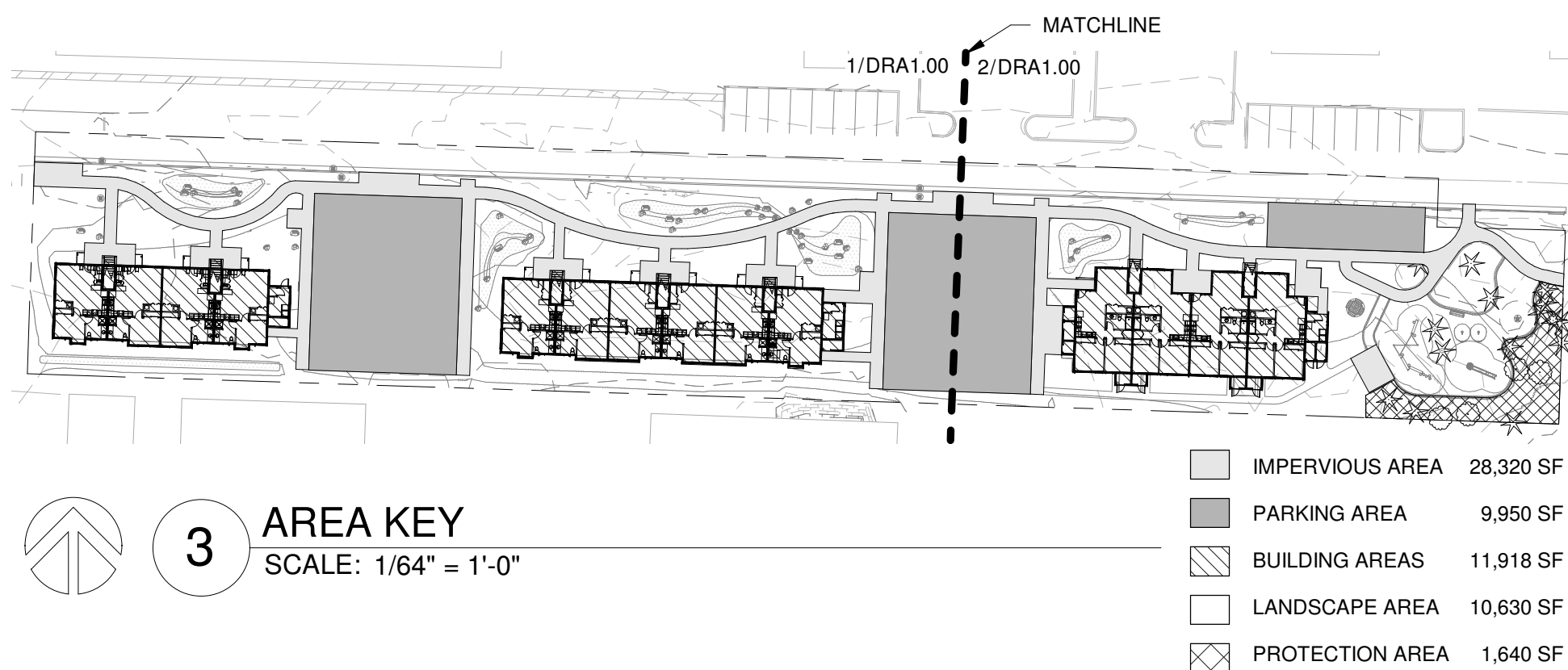
3. AIR BARRIER PENETRATIONS: ALL PENETRATIONS OF THE AIR BARRIER AND PATHS OF AIR INFILTRATION/EXFILTRATION SHALL BE SEALED.

4. AIR BARRIER TESTING: (1) AIR BARRIER TEST MUST BE PERFORMED AND SUBMITTED TO THE JURISDICTION HAVING AUTHORITY ONCE THE TEST IS COMPLETE; (2) IF TEST RESULTS EXCEED 0.4 CFM/FT2 AT 0.3 IN. WG IN ACCORDANCE WITH ASTM E779 THEN VISUALLY INSPECT AIR BARRIER AND SEAL NOTED SOURCES OF LEAKAGE; (3) SUBMIT A FOLLOW-UP REPORT TO JURISDICTION HAVING AUTHORITY NOTING CORRECTIVE MEASURES TAKEN.
- ZONING DATA
- | | | |
|---|--|-----------------------------------|
| ZONING CLASSIFICATION: MEDICAL SERVICE (MS) | | |
| BASE ZONE: | MS - MEDICAL SERVICE | |
| PLAN OVERLAY | MS - MEDICAL SERVICE | |
| OVERLAY ZONE | DESIGN ZONE - D | |
| ALLOWED USES | FULL-SERVICE HEALTH CARE FACILITIES, COMPLEMENTARY HEALTH CARE FACILITIES, COMMERCIAL SERVICES FOR MEDICAL USERS AND EMPLOYEES, HIGH DENSITY HOUSING NEAR MEDICAL FACILITIES TO HELP MEET THE NEEDS OF THOSE EMPLOYED THERE. | |
| STREET CLASSIFICATIONS | LILLY RD NE - MINOR ARTERIAL | |
| FAR REQUIREMENTS | | |
| MINIMUM FAR | REQUIRED | PROVIDED |
| MINIMUM DENSITY CHAPTER 18.06, TABLE 6.02 | 18 UNITS / ACRE | 28 TOTAL |
| MAXIMUM DENSITY CHAPTER 18.06, TABLE 6.02 | 30 UNITS / ACRE | 28 TOTAL |
| LOT SIZE REQUIREMENTS | | |
| MINIMUM LOT SIZE | 7,200 SF | 62,292 SF |
| MAXIMUM LOT COVERAGE CHAPTER 18.06, TABLE 6.02 | MAXIMUM - 50% | 31,146 SF |
| MINIMUM LOT WIDTH | 80' | 100' |
| MINIMUM LOT DEPTH | NOT REGULATED | 600' |
| SETBACK STANDARD REQUIREMENTS | | |
| FRONT YARD (WEST) | MAXIMUM - 10'-0" | 10'-0" |
| SIDE YARD (NORTH) | MINIMUM - 10'-0" | 41'-5" - 54'-0" |
| REAR YARD (EAST) | MINIMUM - 15'-0" | 95'-3" |
| SIDE YARD (SOUTH) | MINIMUM - 10'-0" | 15'-0" |
| OTHER REQUIREMENTS | | |
| MAXIMUM LANDSCAPING AREA | 60% | 15% - 7,905 SF |
| PARKING | 1.5 SPACES / UNIT | 1.25 / UNIT |
| LONG-TERM BIKE PARKING
SHORT-TERM BIKE PARKING | 1 SPACE / UNIT
1 SPACE / 10 UNITS | 1 SPACE / UNIT
2 SPACES / BLDG |
| HEIGHT | 75'-0" | 27'-8" |
- PARKING SUMMARY
- | | REQUIRED | PROVIDED |
|-------------------------|-----------|-----------|
| MINIMUM ON SITE PARKING | 42 SPACES | 38 |
| STANDARD | | 25 |
| ACCESSIBLE | | 2 |
| COMPACT | | 11 |
| MINIMUM BICYCLE PARKING | SEE BELOW | SEE BELOW |
- 1.5 : 1 RATIO IS REQUIRED, BUT A 10% REDUCTION IS ACCEPTABLE
- SHORT TERM BIKE PARKING
- CODE: 2 PER BUILDING X 3 = 6
- BUILDING 1: OUTDOOR COVERED BIKE PARKING = 2
BUILDING 2: OUTDOOR COVERED BIKE PARKING = 2
BUILDING 3: OUTDOOR COVERED BIKE PARKING = 2
- TOTAL SPACES PROVIDED: 6
- LONG TERM BIKE PARKING
- CODE: 1 PER UNIT X 28 = 28
- 1 BEDROOM: IN UNIT STORAGE = 20
2 BEDROOM: EXTERIOR STORAGE = 8
- TOTAL SPACES PROVIDED: 28
- GENERAL BUILDING INFO
- | | |
|-------------------|---|
| BUILDING OWNER: | HOUSING AUTHORITY OF THURSTON COUNTY (HATC) |
| PERMIT APPLICANT: | HATC, MWA ARCHITECTS |
| PROJECT ADDRESS: | 204 LILLY RD NE, OLYMPIA, WA 95806 |
| SITE AREA: | 1.43 ACRES |
| PARCEL NUMBER: | 1181-72-30500 |
| SEISMIC ZONE: | D |
- APPLICABLE CODES:
- 2018 INTERNATIONAL BUILDING CODE
 - (INCLUDES ADOPTION OF AND AMENDMENTS TO THE 2018 INTERNATIONAL EXISTING BUILDING CODE AND ICC/ANSI A117.1-2009)
 - 2018 INTERNATIONAL MECHANICAL CODE (IMC) W STATE AMENDMENTS
 - 2018 INTERNATIONAL FIRE CODE (IFC) W STATE AMENDMENTS
 - 2018 UNIFORM PLUMBING CODE (UPC) W STATE AMENDMENTS
 - 2018 WASHINGTON STATE ENERGY CODE (WAC)
- BUILDING DESCRIPTION
- (3) TWO-STORY APARTMENT BUILDINGS WITH (20) 1 BEDRROM AND (8) 2 BEDROOM UNITS FOR (28) UNITS TOTAL.
- | | | |
|---|--|--|
| BUILDING SIZE: | FIRST FLOOR: | SECOND FLOOR: |
| | BUILDING 1: 2,922 SF
BUILDING 2: 4,298 SF
BUILDING 3: 4,206 SF | BUILDING 1: 2,661 SF
BUILDING 2: 3,959 SF
BUILDING 3: 3,695 SF |
| | TOTAL: 11,426 SF | TOTAL: 10,315 SF |
| BUILDING USE: | MULTI-FAMILY RESIDENTIAL HOUSING | |
| BUILDING ADJACENCIES: MEDICAL OFFICES AND OLYMPIA CREST PHASES I & II | | |
- OCCUPANCY AND USE
- CH 3 AND TABLE 1006.2.1
- APPLICABLE OCCUPANCY CLASSIFICATION GROUPS:
R-2: RESIDENTIAL
- | OCCUPANT LOAD SUMMARY (BUILDING 1) | | | | |
|------------------------------------|-------|-----------|-------------------------|---------------|
| UNITS | LEVEL | AREA (SF) | FUNCTION (PER 1004.1.1) | OCCUPANT LOAD |
| (4) 1BR | 1 | 2,922 | RESIDENTIAL | 10 |
| (4) 1BR | 2 | 2,661 | RESIDENTIAL | 10 |
- | OCCUPANT LOAD SUMMARY (BUILDING 2) | | | | |
|------------------------------------|-------|-----------|-------------------------|---------------|
| UNITS | LEVEL | AREA (SF) | FUNCTION (PER 1004.1.1) | OCCUPANT LOAD |
| (6) 1BR | 1 | 4,298 | RESIDENTIAL | 10 |
| (6) 1BR | 2 | 3,959 | RESIDENTIAL | 10 |
- | OCCUPANT LOAD SUMMARY (BUILDING 3) | | | | |
|------------------------------------|-------|-----------|-------------------------|---------------|
| UNITS | LEVEL | AREA (SF) | FUNCTION (PER 1004.1.1) | OCCUPANT LOAD |
| (4) 2BR | 1 | 4,206 | RESIDENTIAL | 10 |
| (4) 2BR | 2 | 3,695 | RESIDENTIAL | 10 |
-
- mwa architects
- 70 NW COUCH STREET
SUITE 401
PORTLAND, OR 97209
P 503 973 5151
F 503 973 5060
MWAARCHITECTS.COM
- PRELIMINARY
-
- REVISION NO DATE
- | | |
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| | |
| | |
| | |
- OC-III
APARTMENTS
- 204 LILLY RD NE
OLYMPIA, WA
95806
- ISSUANCE
CONCEPT DESIGN REVIEW
- DATE
2/10/21
- SCALE
12" = 1'-0"
- PROJECT NUMBER
202010.00
- DRAWN BY
OS
- DRAWING TITLE
- ZONING AND
SITE CODE
PLAN
- SHEET NUMBER
- G2.00
- CITY STAMP

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1 ARCHITECTURAL SITE PLAN - WEST
SCALE: 1" = 20'-0"



3 AREA KEY
SCALE: 1/64" = 1'-0"

PARKING SUMMARY

	NEW	
	REQUIRED	OC-III PROVIDED
NUMBER OF UNITS		28 UNITS
NUMBER OF SPACES	42 SPACES	
STANDARD SPACES		25
ACCESSIBLE SPACES		2
COMPACT SPACES		11
TOTAL SPACES		38 SPACES

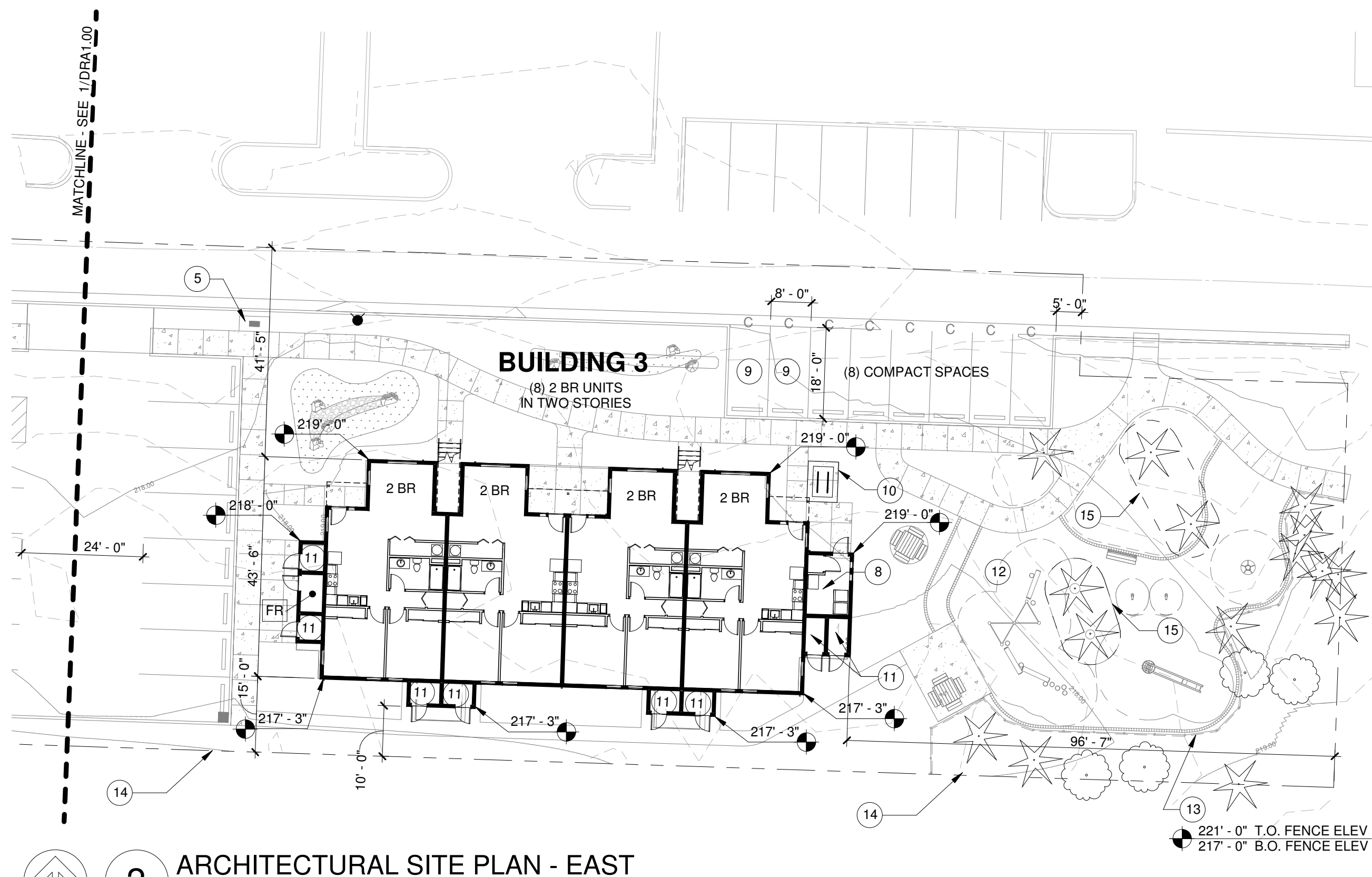
1.5 : 1 RATIO IS REQUIRED, BUT A 10% REDUCTION IS ACCEPTABLE

EXISTING FOR REFERENCE	
OC-II PROVIDED	OC-I PROVIDED
24 UNITS	140 UNITS
23	223
2	VIF
25 SPACES	223 SPACES

TREES FOR RETENTION

SPECIES	DIAMETER	NUMBER OF TREES	POTENTIAL TREE UNITS
PACIFIC MADRONE	4"	1	1
	6"	2	2
	12"	3	3
	14"	2	3
	18"	1	4
DOUGLAS FIR	20"	4	20
	22"	2	12
	24"	2	14
	26"	2	12
BIG LEAF MAPLE	4"	1	1
WILLOW	6"	1	1
WESTERN RED CEDAR	14"	1	3
TOTALS		20 TREES	64 UNITS

SITE IS 1.43 ACRES - A MINIMUM OF 43 UNITS MUST BE RETAINED



2 ARCHITECTURAL SITE PLAN - EAST
SCALE: 1" = 20'-0"

SHEET GENERAL NOTES

- PROPERTY LINE BASED ON SURVEY PROVIDED BY OWNER.
- SEE CIVIL DRAWINGS FOR UTILITY EASEMENT, SITE DIMENSIONS AT PARKING, SITE UTILITIES, GRADING, EROSION CONTROL, BUILDING PAD ELEVATIONS, AND RELATED DETAILS.
- SEE LANDSCAPE DRAWINGS FOR HARDSCAPE DIMENSIONS, PLANTING, AND IRRIGATION INFORMATION.
- SEE CIVIL DRAWINGS FOR ACCESSIBILITY SITE RELATED DETAILS.
- SITE LIGHTING AND SERVICE DISTRIBUTION TO BE BIDDER DESIGNED.
- SEE CIVIL DRAWINGS FOR FIRE HYDRANT AND FDC LOCATIONS.
- DIMENSIONS AT BUILDINGS ARE TO FACE OF STUD.

KEYNOTES

- LANDSCAPING AND GRADING TO BE PROVIDED IN THE CITY RIGHT OF WAY
- ROW IMPROVEMENTS, SEE CIVIL
- SCHOOL BUS WAITING ZONE
- FENCED TRASH ENCLOSURE
- MAILBOXES AND RECYCLING
- EXISTING WALK PATH TO LILLY RD
- EXISTING SIGNAGE, COORDINATE RELOCATION WITH THE CITY IF REQUIRED
- SHARED LAUNDRY ROOM
- PROVIDE ELECTRIC VEHICLE CHARGING INFRASTRUCTURE
- COVERED AREA FOR SHORT-TERM BIKE PARKING
- STORAGE FOR LONG-TERM BIKE PARKING
- PLAY AREA, SEE LANDSCAPE
- SVPA, SEE LANDSCAPE FOR SPLIT RAIL FENCE
- EXISTING 6" CHAIN LINK TO 4.5' WOOD FENCE TO REMAIN
- TEMPORARY PROTECTION FENCE DURING CONSTRUCTION
- EXISTING 1' WIDE BLOCK RETAINING WALL

LEGEND

- PROPERTY LINE
- CONTEXT LINE 100' FROM PROPERTY LINE
- KEYNOTE
- LOCATION OF ACCESSIBLE PARKING SPACE/UNIT
- FIRE RISER ROOM
- TRASH LOCATION
- RECYCLING LOCATION
- EXISTING TREE TO REMAIN
- STORM DRAIN LOCATION PER CIVIL
- FIRE HYDRANT LOCATION PER CIVIL

CITY STAMP

PRELIMINARY



REVISION NO DATE

OC-III APARTMENTS

204 LILLY RD NE
OLYMPIA, WA
95806

ISSUANCE
CONCEPT DESIGN REVIEW

DATE
2/10/21

SCALE
As indicated

PROJECT NUMBER
202010.00

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OS

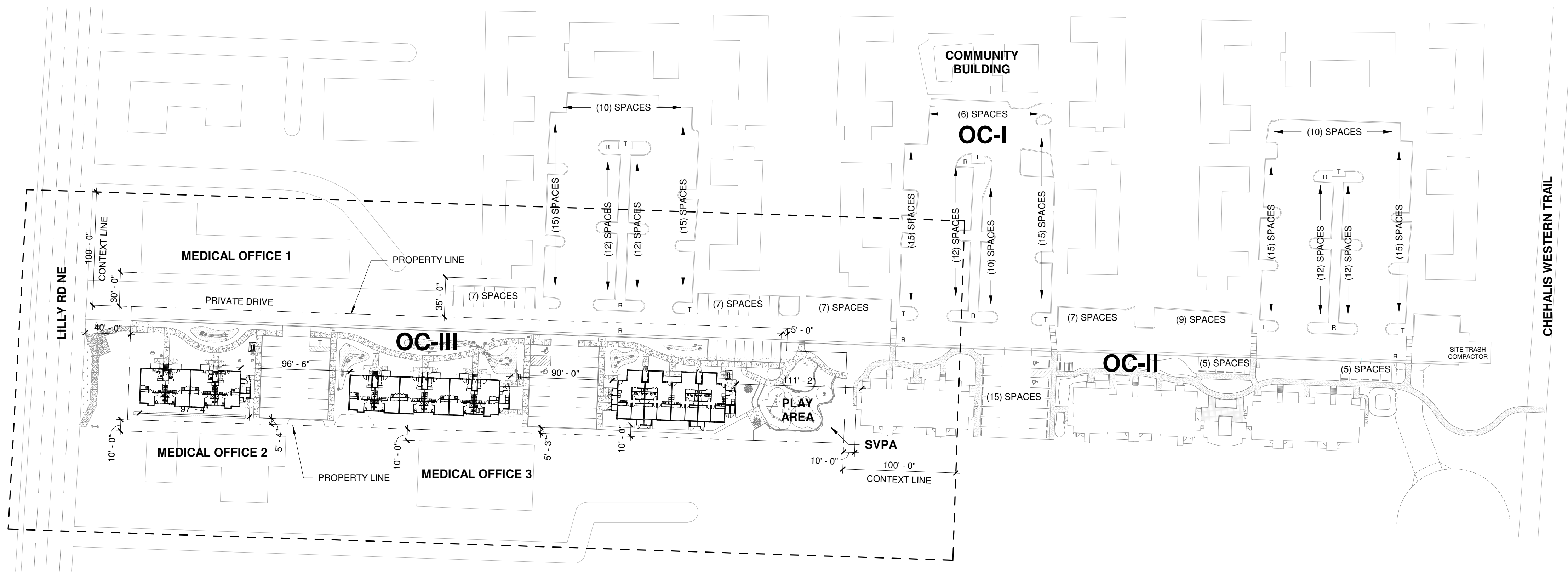
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ARCHITECTURAL
SITE PLAN

SHEET NUMBER

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1 OVERALL SITE PLAN
SCALE: 1" = 60'-0"



MEDICAL OFFICE 1



MEDICAL OFFICE 2



MEDICAL OFFICE 3



OC-I (1978)



OC-II (2010)



2 EXISTING SITE ADJACENCIES
SCALE: 12" = 1'-0"

SHEET GENERAL NOTES

- PROPERTY LINE BASED ON SURVEY PROVIDED BY OWNER.
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- SITE LIGHTING AND SERVICE DISTRIBUTION TO BE BIDDER DESIGNED.
- SEE CIVIL DRAWINGS FOR FIRE HYDRANT AND FDC LOCATIONS.
- DIMENSIONS AT BUILDINGS ARE TO FACE OF STUD.

KEYNOTES

LEGEND

- PROPERTY LINE
- CONTEXT LINE 100' FROM PROPERTY LINE
- KEYNOTE
- LOCATION OF ACCESSIBLE PARKING SPACE/UNIT
- FIRE RISER ROOM
- TRASH LOCATION
- RECYCLING LOCATION
- EXISTING TREE TO REMAIN
- STORM DRAIN LOCATION PER CIVIL
- FIRE HYDRANT LOCATION PER CIVIL

CITY STAMP

PRELIMINARY



REVISION NO DATE

OC-III
APARTMENTS

204 LILLY RD NE
OLYMPIA, WA
95806

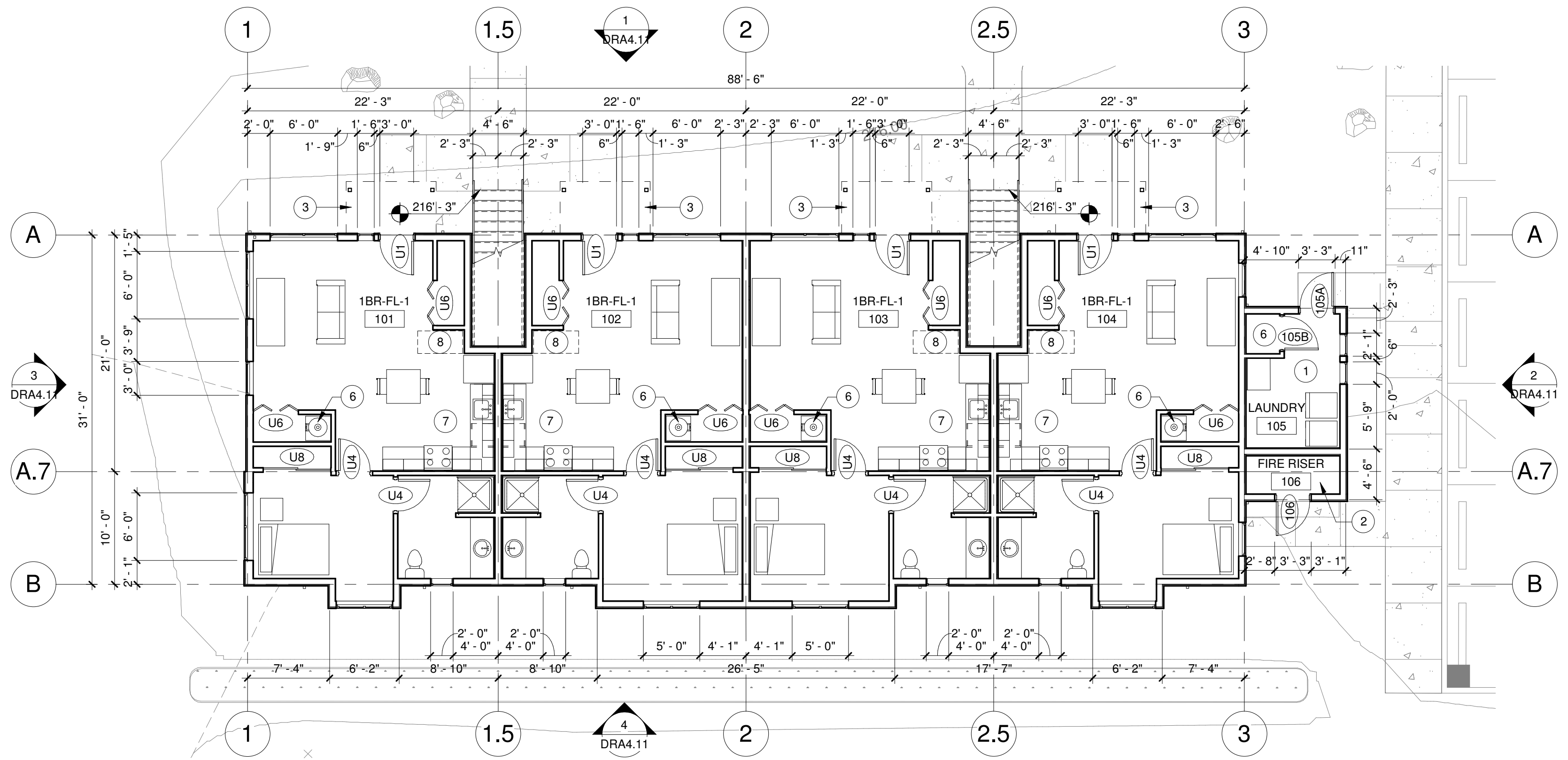
ISSUANCE
CONCEPT DESIGN REVIEW
DATE
2/10/21
SCALE
As indicated
PROJECT NUMBER
202010.00
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OS
DRAWING TITLE

SITE CONTEXT
PLAN

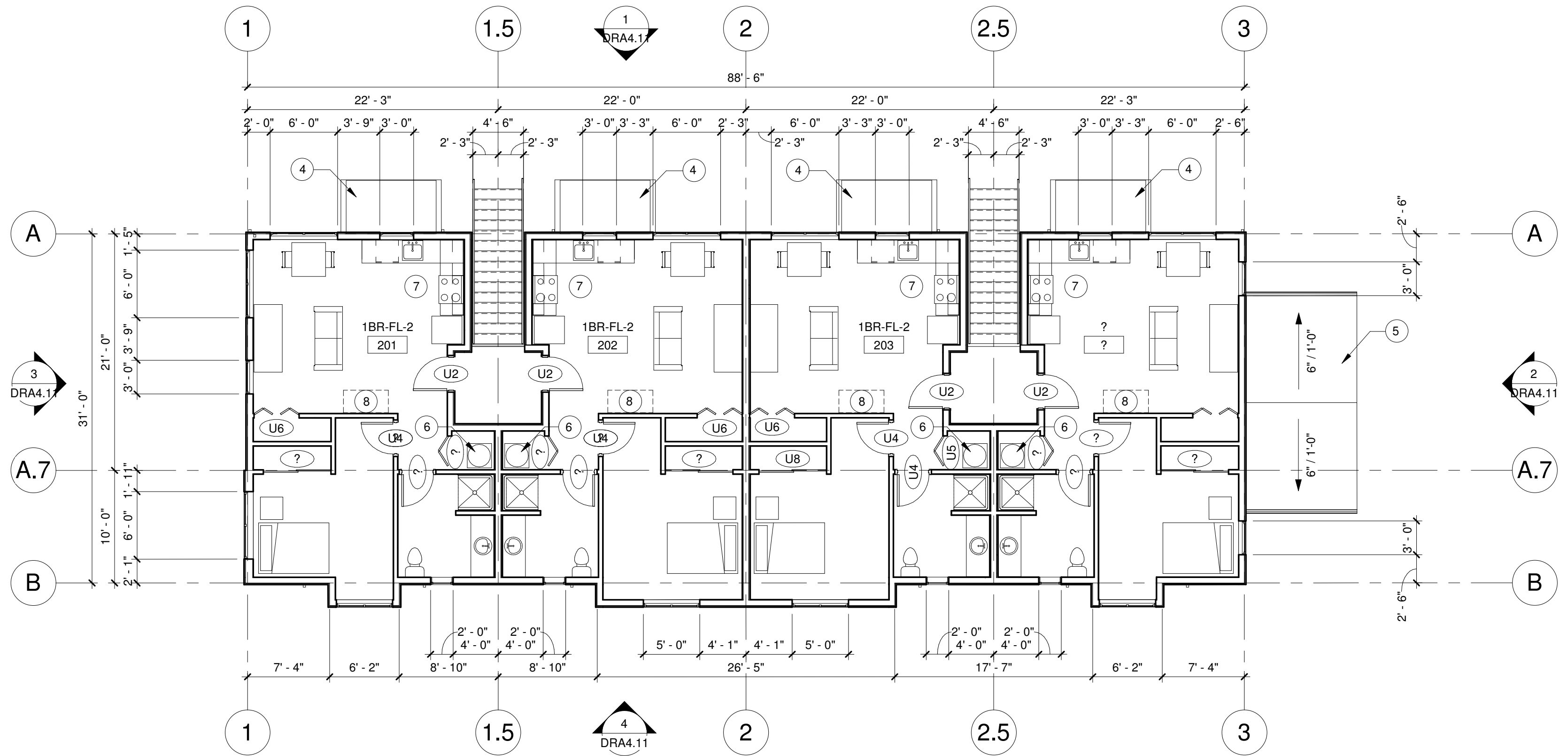
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1 BUILDING 1 - GROUND FLOOR
SCALE: 1/8" = 1'-0"



2 BUILDING 1 - SECOND FLOOR
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE UNIT PLANS FOR ADDITIONAL WALL TYPE AND DIMENSION INFORMATION.
- SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
- MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OR RATED WALL AND FLOOR/CEILING ASSEMBLIES.
- SEE CODE PLANS FOR LOCATION OF FIRE RATED WALLS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- SHARED LAUNDRY ROOM. MACHINES LEASED BY OWNER
- FIRE RISER ROOM
- LINE OF CANOPY ABOVE
- CANOPY BELOW
- ROOF BELOW
- WATER HEATER
- OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- LONG-TERM BIKE STORAGE

LEGEND

- 1 KEYNOTE

CITY STAMP

PRELIMINARY



REVISION NO	DATE

OC-III APARTMENTS

204 LILLY RD NE
OLYMPIA, WA
95806

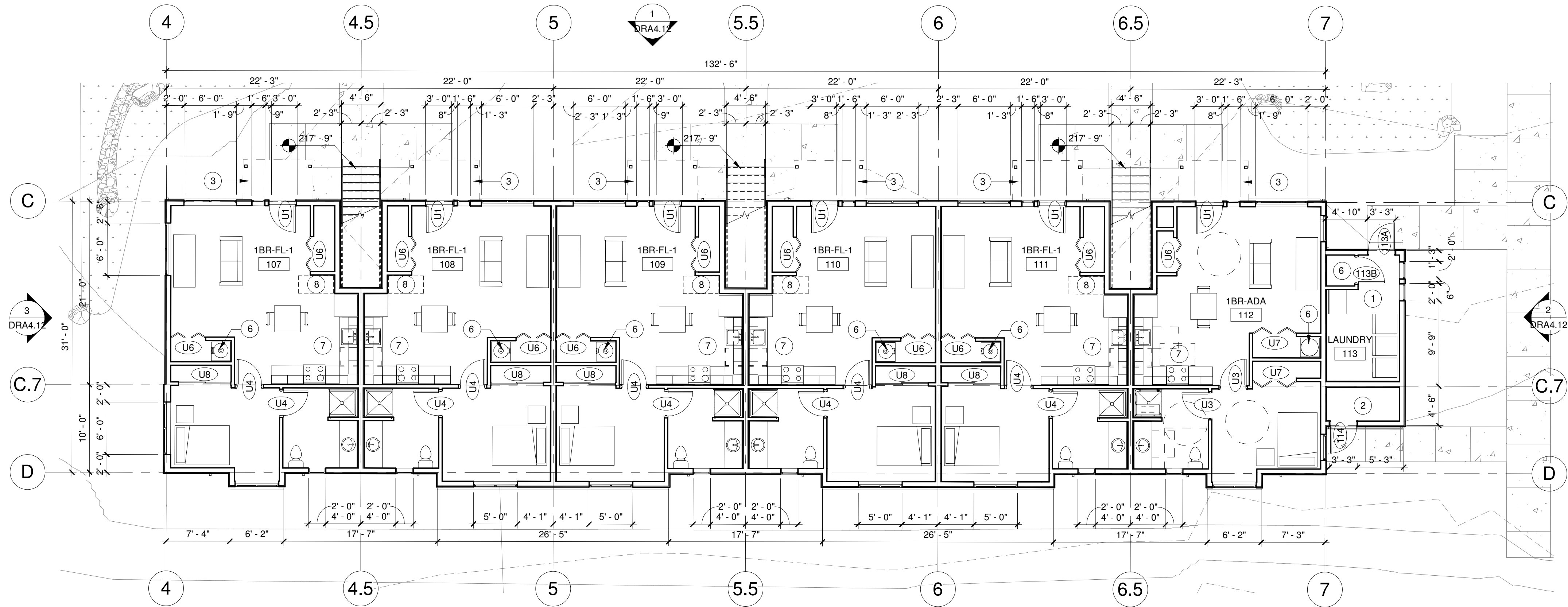
ISSUANCE CONCEPT DESIGN REVIEW
DATE 2/10/21
SCALE As indicated
PROJECT NUMBER 202010.00
DRAWN BY OS
DRAWING TITLE

**BUILDING 1
GROUND/SECOND
FLOOR PLANS**

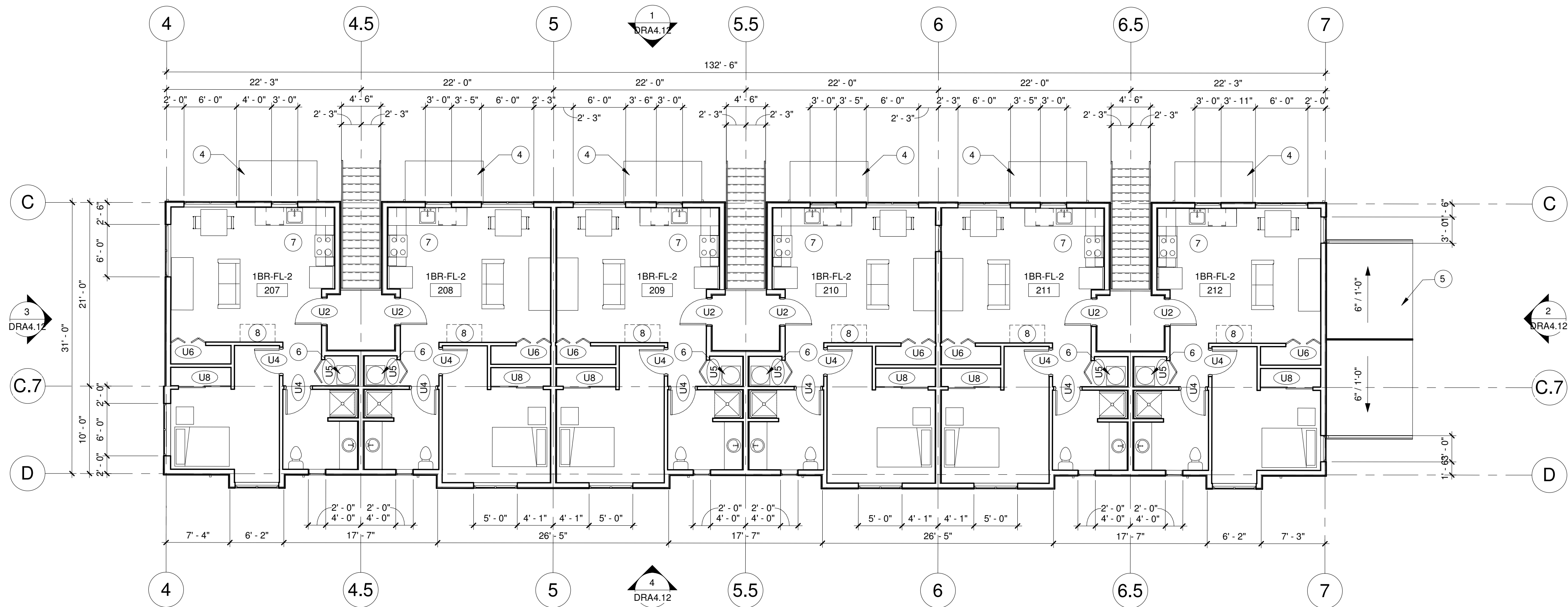
SHEET NUMBER

DRA2.11

2/10/2021 12:26:46 PM



1 BUILDING 2 - GROUND FLOOR
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - SECOND FLOOR
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
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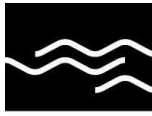
KEYNOTES

- SHARED LAUNDRY ROOM. MACHINES LEASED BY OWNER
- FIRE RISER ROOM
- LINE OF CANOPY ABOVE
- CANOPY BELOW
- ROOF BELOW
- WATER HEATER
- OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- LONG-TERM BIKE STORAGE

LEGEND

- 1 KEYNOTE

CITY STAMP



mwa architects

70 NW COUCH STREET
SUITE 401
PORTLAND, OR 97209
P 503 973 5151
F 503 973 5060
MWAARCHITECTS.COM

PRELIMINARY



REVISION NO DATE

OC-III
APARTMENTS

204 LILLY RD NE
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95806

ISSUANCE
CONCEPT DESIGN REVIEW

DATE
2/10/21

SCALE
As indicated

PROJECT NUMBER
202010.00

DRAWN BY
OS

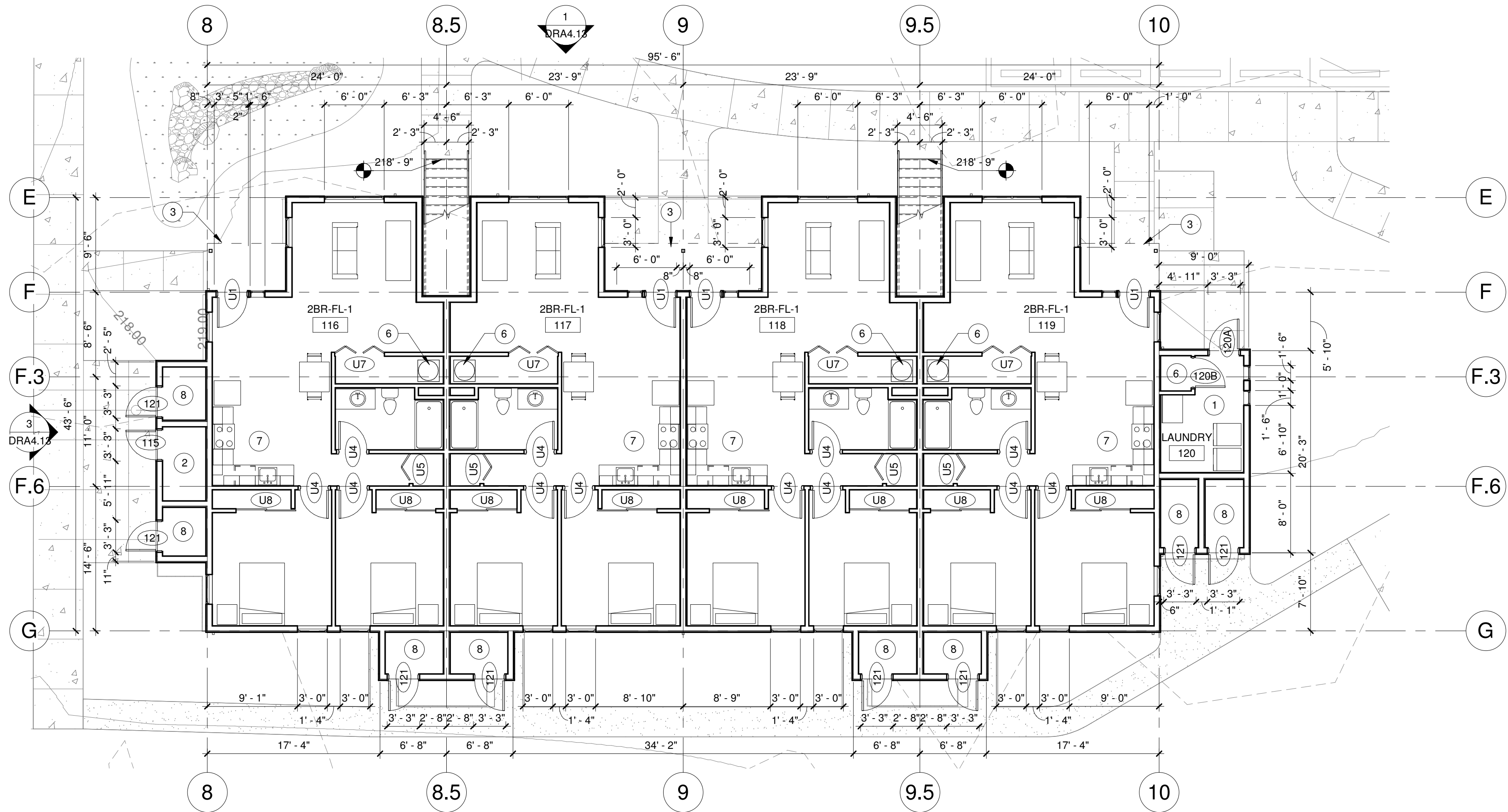
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BUILDING 2
GROUND/SECOND
FLOOR PLANS

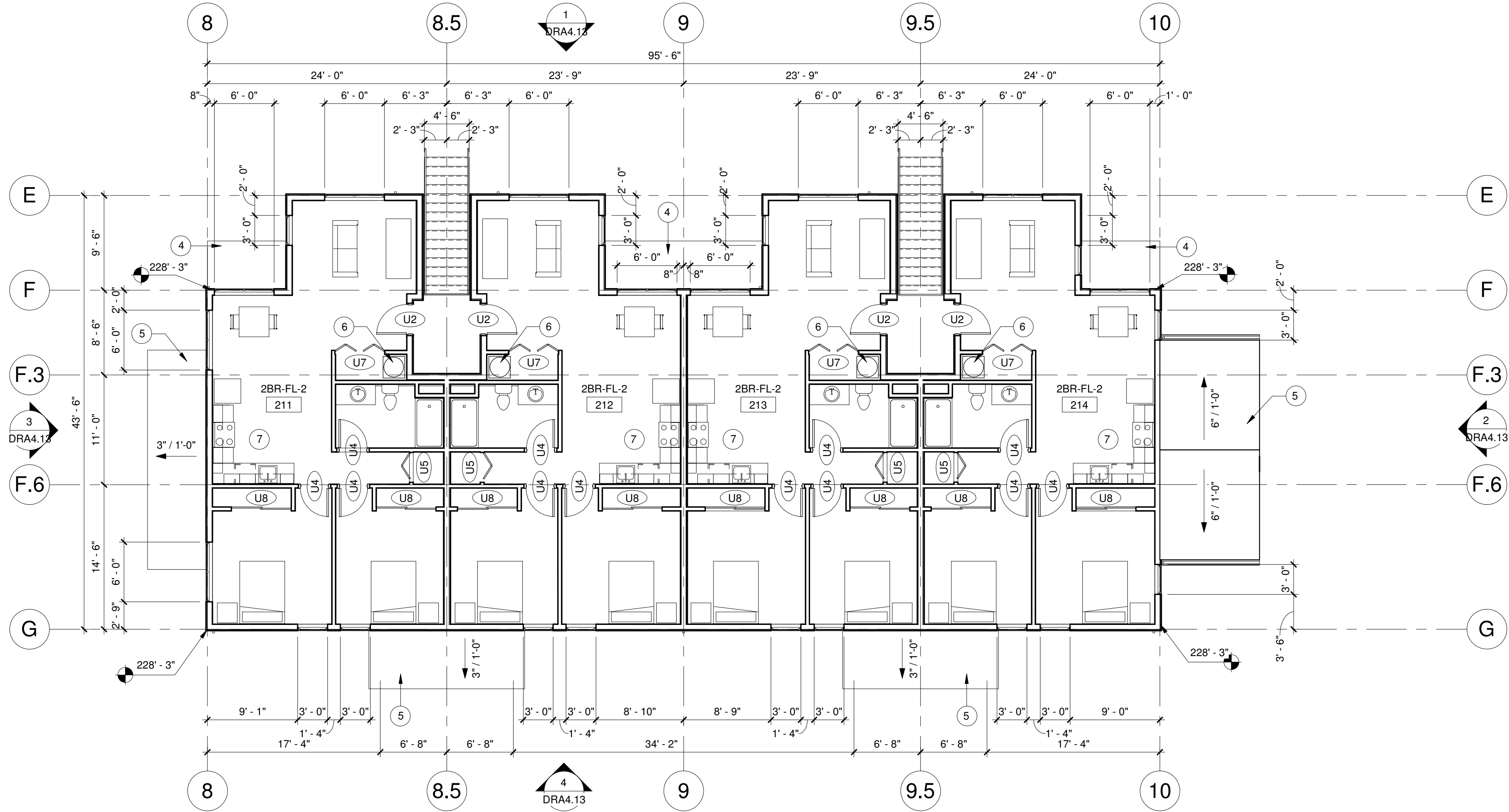
SHEET NUMBER

DRA2.21

2/10/2021 12:26:48 PM



1 BUILDING 3 - GROUND FLOOR
SCALE: 1/8" = 1'-0"



2 BUILDING 3 - SECOND FLOOR
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE UNIT PLANS FOR ADDITIONAL WALL TYPE AND DIMENSION INFORMATION.
- SEE ELEVATION SHEETS FOR SIDING PATTERNS AND MATERIALS.
- MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY W/ FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OR RATED WALL AND FLOOR/CEILING ASSEMBLIES.
- SEE CODE PLANS FOR LOCATION OF FIRE RATED WALLS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- SHARED LAUNDRY ROOM. MACHINES LEASED BY OWNER
- FIRE RISER ROOM
- LINE OF CANOPY ABOVE
- CANOPY BELOW
- ROOF BELOW
- WATER HEATER
- OWNER PROVIDED REFRIGERATOR, STOVE, AND DISHWASHER
- LONG-TERM BIKE STORAGE

LEGEND

- 1 KEYNOTE

CITY STAMP

REVISION NO DATE

OC-III
APARTMENTS

204 LILLY RD NE
OLYMPIA, WA
95806

ISSUANCE
CONCEPT DESIGN REVIEW

DATE
2/10/21

SCALE
As indicated

PROJECT NUMBER
202010.00

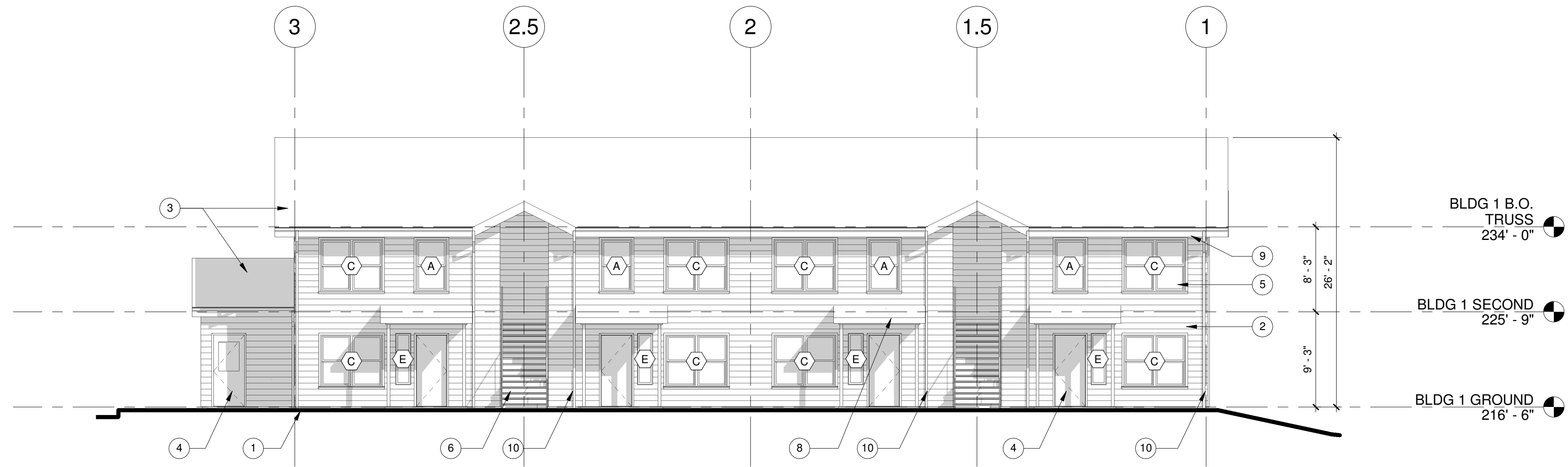
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OS

DRAWING TITLE

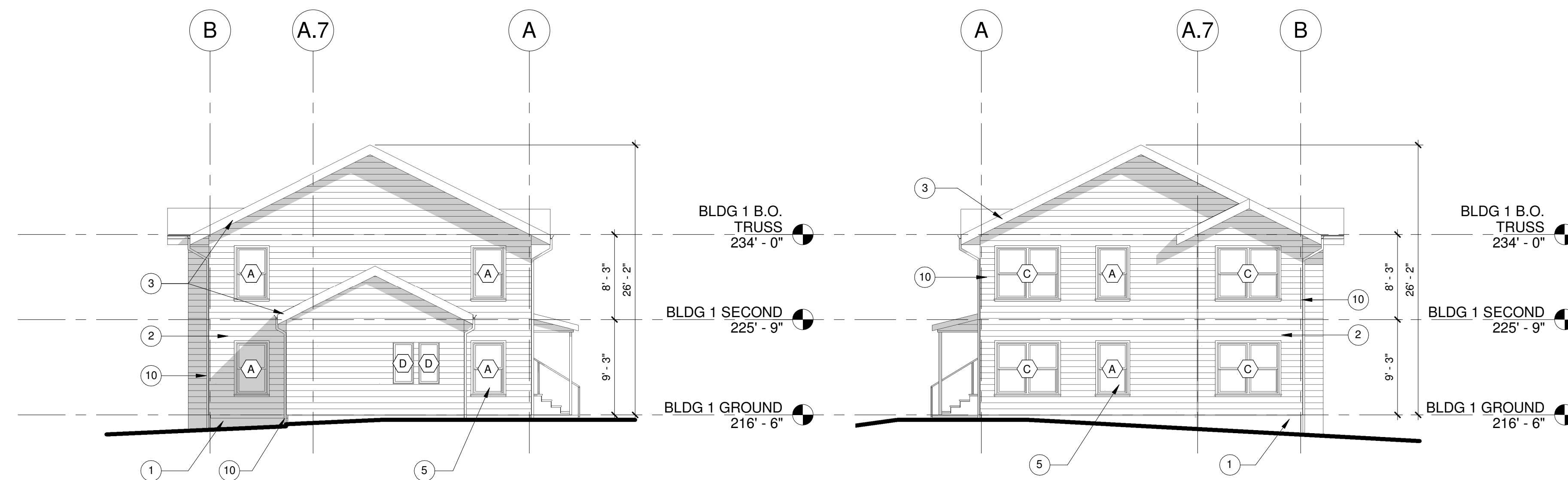
**BUILDING 3
GROUND/SECOND
FLOOR PLANS**

SHEET NUMBER

DRA2.31



1 BUILDING 1 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"

3 BUILDING 1 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 1 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

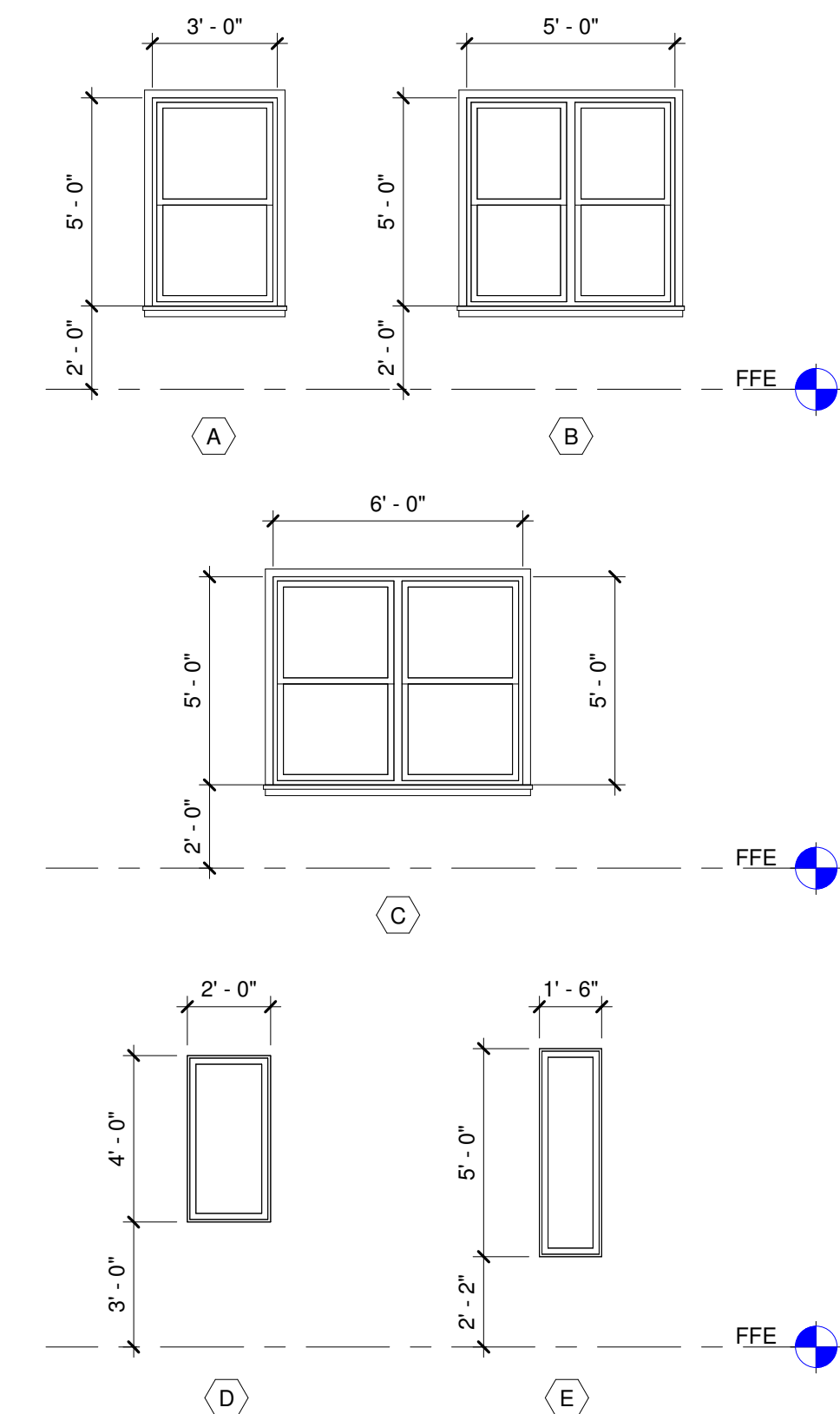
- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

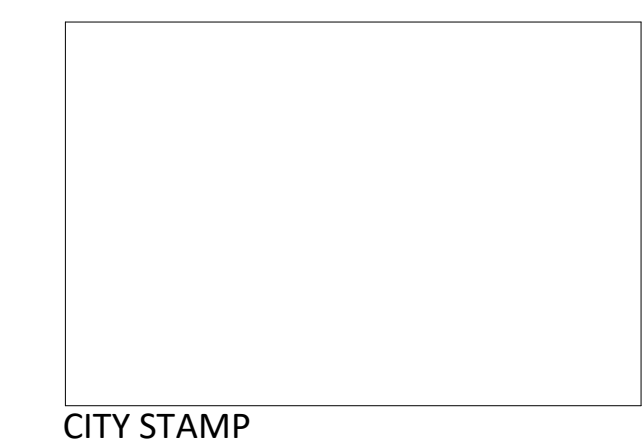
- CONCRETE BASE WALL, TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRE-CAST TREADS AND METAL RAILINGS
- CANOPY
- GUTTER
- DOWNSPOUT

LEGEND

- 1 KEYNOTE
X WINDOW TAG



5 WINDOW SCHEDULE
SCALE: 1/4" = 1'-0"



REVISION NO	DATE

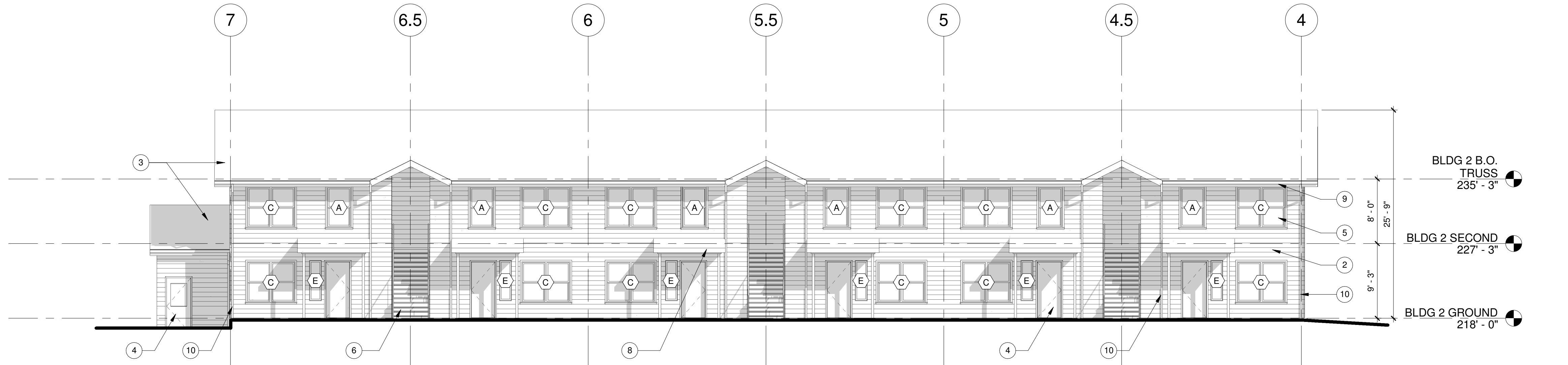
OC-III APARTMENTS

204 LILLY RD NE
OLYMPIA, WA
95806

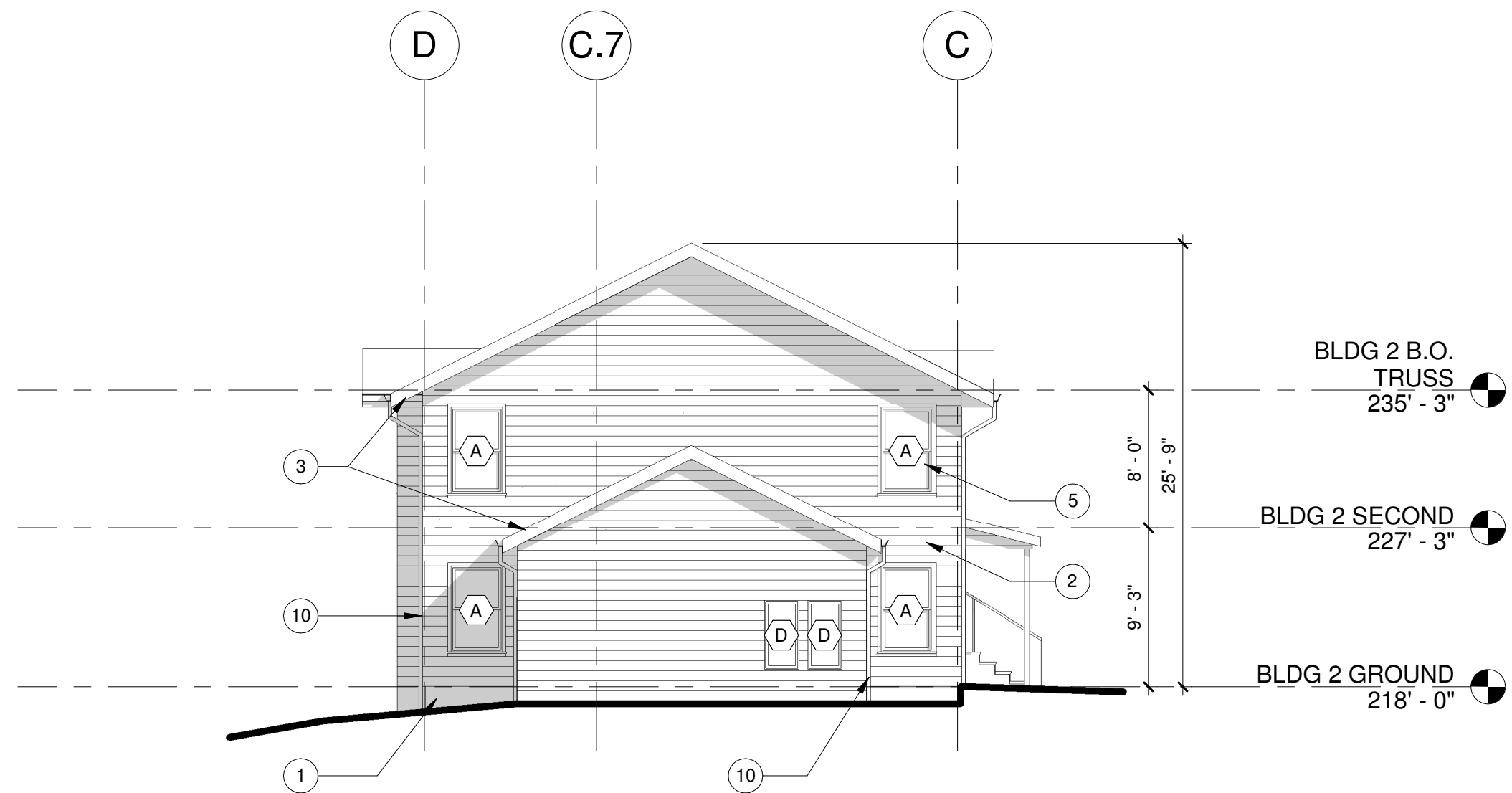
ISSUANCE
CONCEPT DESIGN REVIEW
DATE
2/10/21
SCALE
As indicated
PROJECT NUMBER
202010.00
DRAWN BY
OS
DRAWING TITLE
BUILDING 1
ELEVATIONS

SHEET NUMBER
DRA4.11

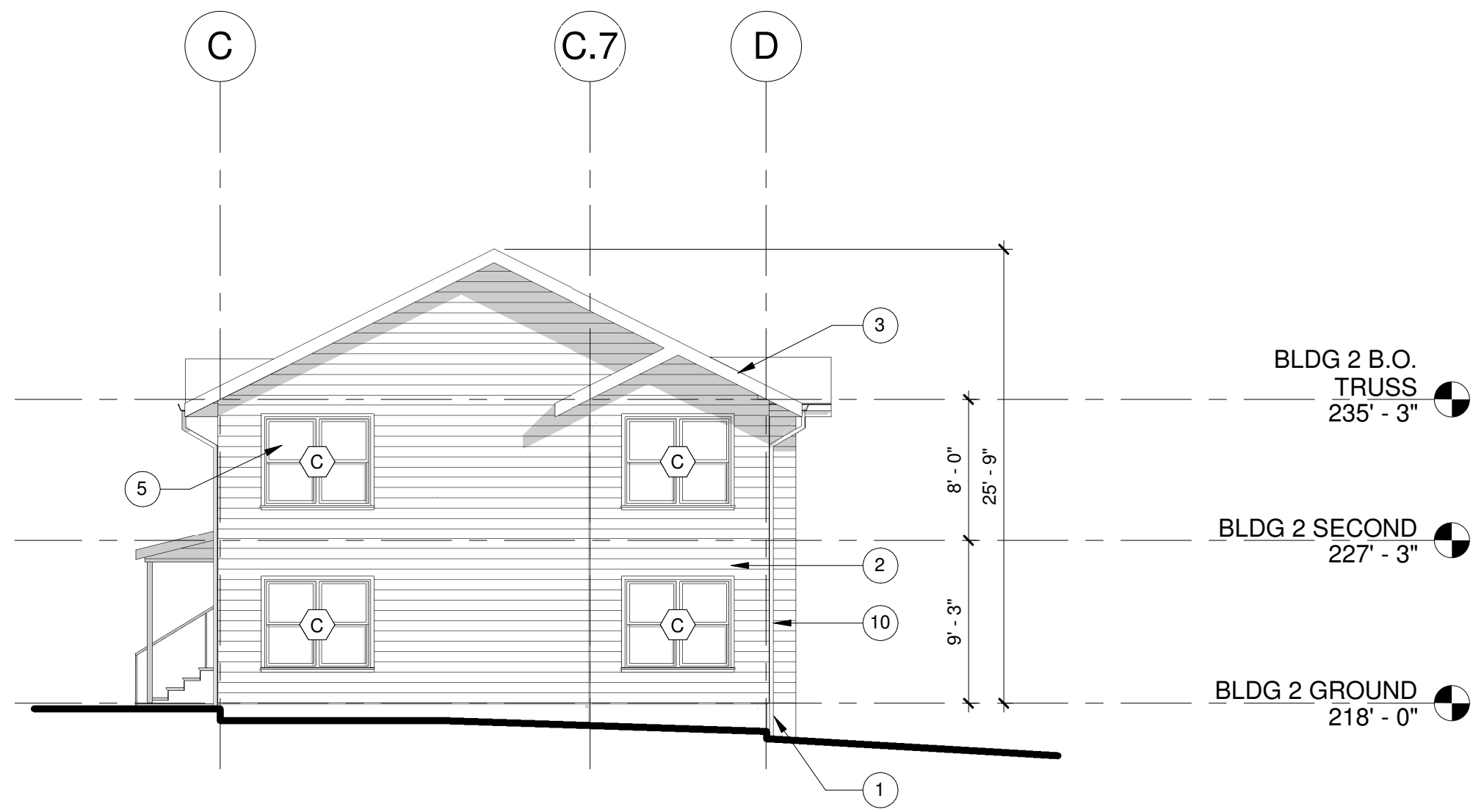
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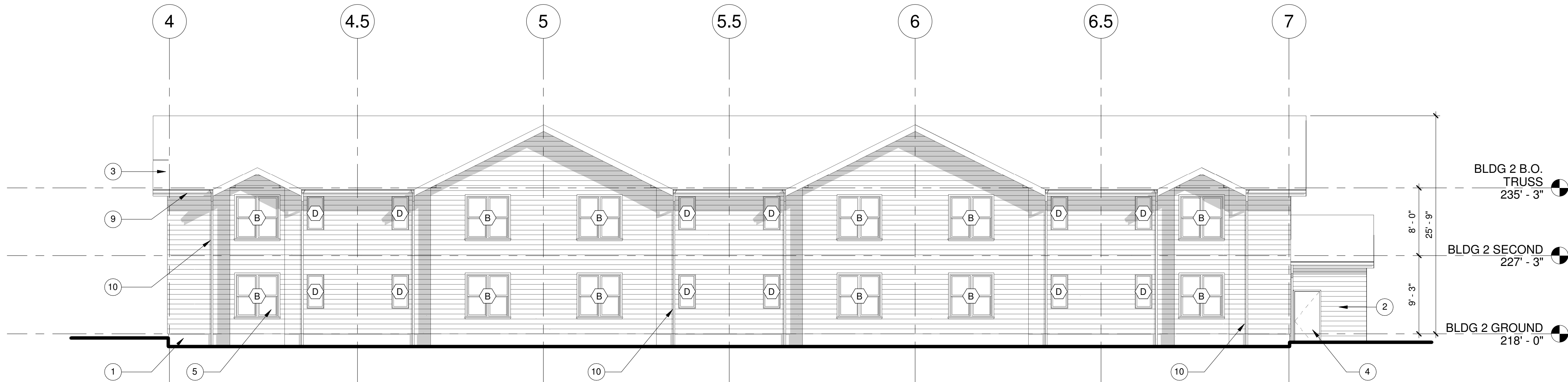
1 BUILDING 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 2 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SHEET GENERAL NOTES

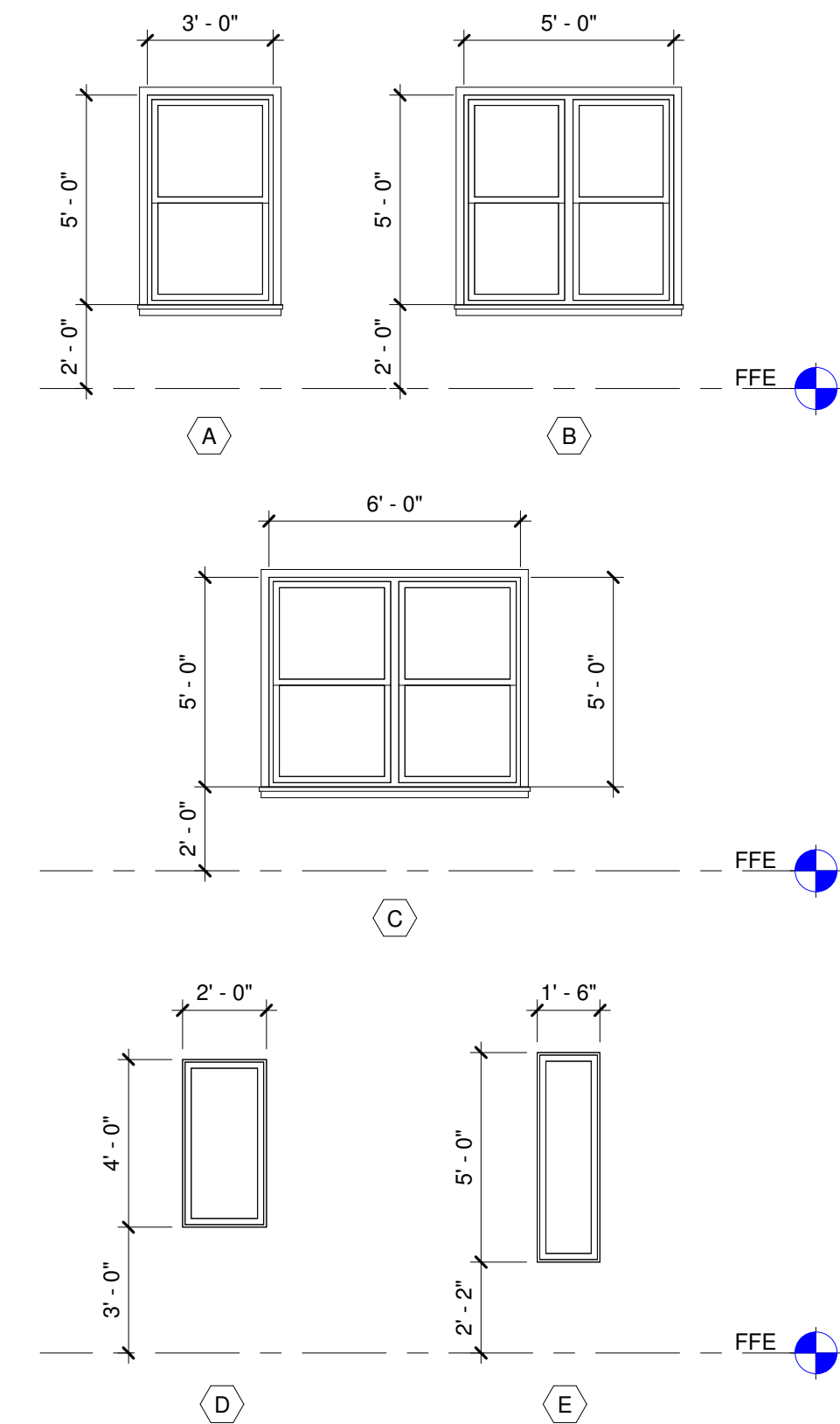
- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- CONCRETE BASE WALL TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRE-CAST TREADS AND METAL RAILINGS
- CANOPY
- GUTTER
- DOWNSPOUT

LEGEND

- ① KEYNOTE
ⓧ WINDOW TAG



5 WINDOW SCHEDULE
SCALE: 1/4" = 1'-0"

CITY STAMP

PRELIMINARY



REVISION NO. DATE

OC-III
APARTMENTS

204 LILLY RD NE
OLYMPIA, WA
95806

ISSUANCE
CONCEPT DESIGN REVIEW

DATE
2/10/21

SCALE
As indicated

PROJECT NUMBER
202010.00

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OS

DRAWING TITLE

**BUILDING 2
ELEVATIONS**

SHEET NUMBER

DRA4.12

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REVISION NO	DATE

**OC-III
APARTMENTS**

204 LILLY RD NE
OLYMPIA, WA
95806

ISSUANCE
CONCEPT DESIGN REVIEW

DATE
2/10/21

SCALE
As indicated

PROJECT NUMBER
202010.00

DRAWN BY
OS

DRAWING TITLE
**BUILDING 3
ELEVATIONS**

SHEET NUMBER
DRA4.13

SHEET GENERAL NOTES

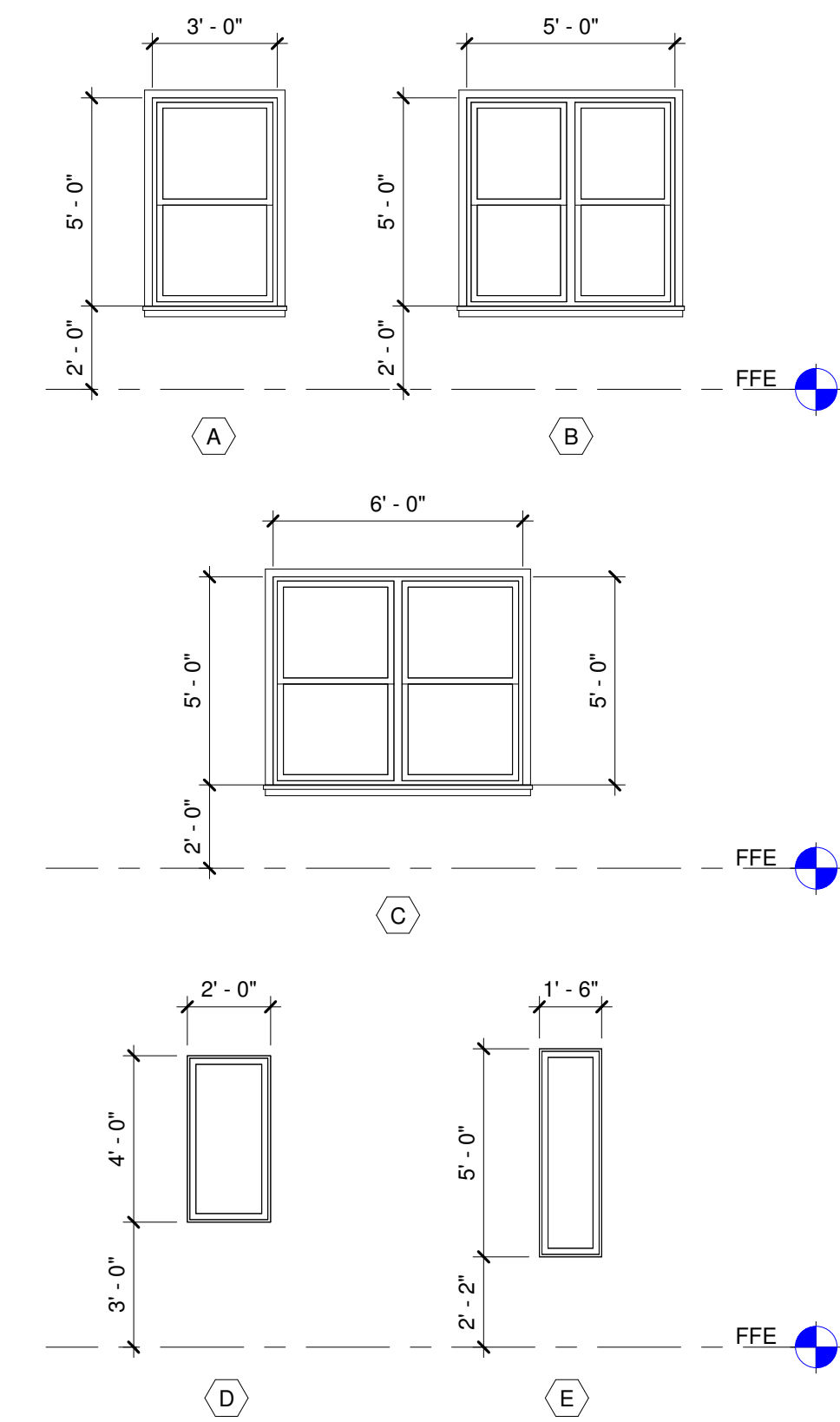
- DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS, AND WINDOWS, U.N.O.
- SEE ROOF PLAN FOR ROOF SLOPES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPES.
- ALL EXHAUST VENTS TO BE A MINIMUM OF 3'-0" AWAY FROM OPERABLE OPENINGS.
- NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

- CONCRETE BASE WALL, TYP.
- FIBER CEMENT PLANK SIDING
- ASPHALT SHINGLE ROOFING SYSTEM
- INSULATED FIBERGLASS DOOR, TYP.
- VINYL WINDOW SYSTEM, TYP.
- STEEL STAIRS W/ PRE-CAST TREADS AND METAL RAILINGS
- CANOPY
- GUTTER
- DOWNSPOUT

LEGEND

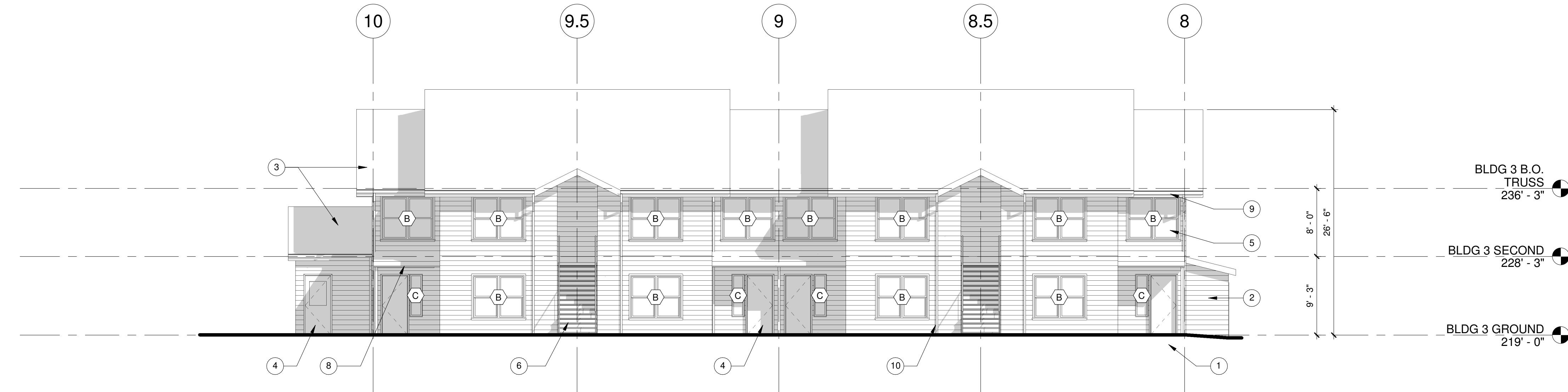
- ① KEYNOTE
- ⓧ WINDOW TAG



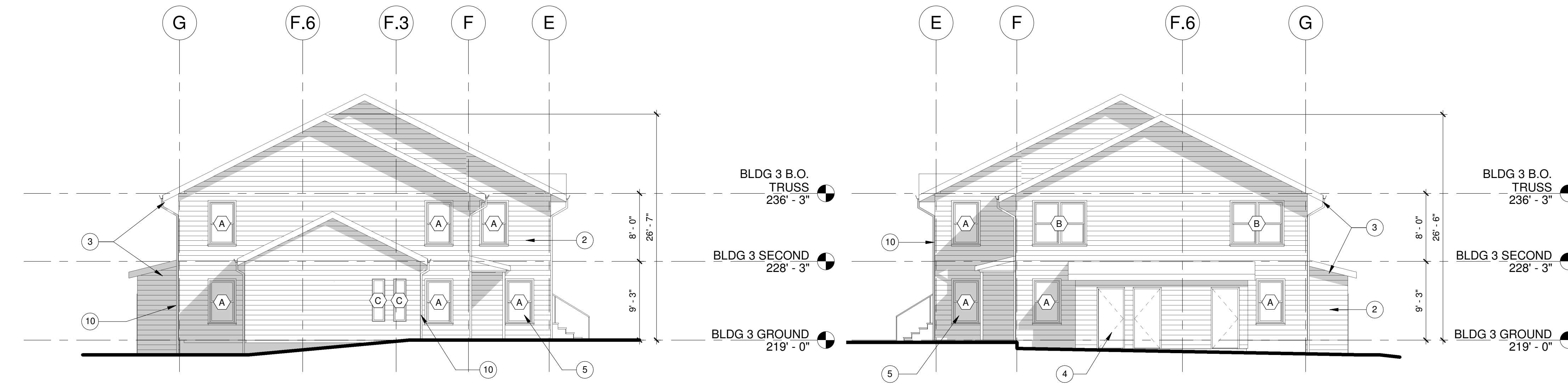
5 WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

CITY STAMP

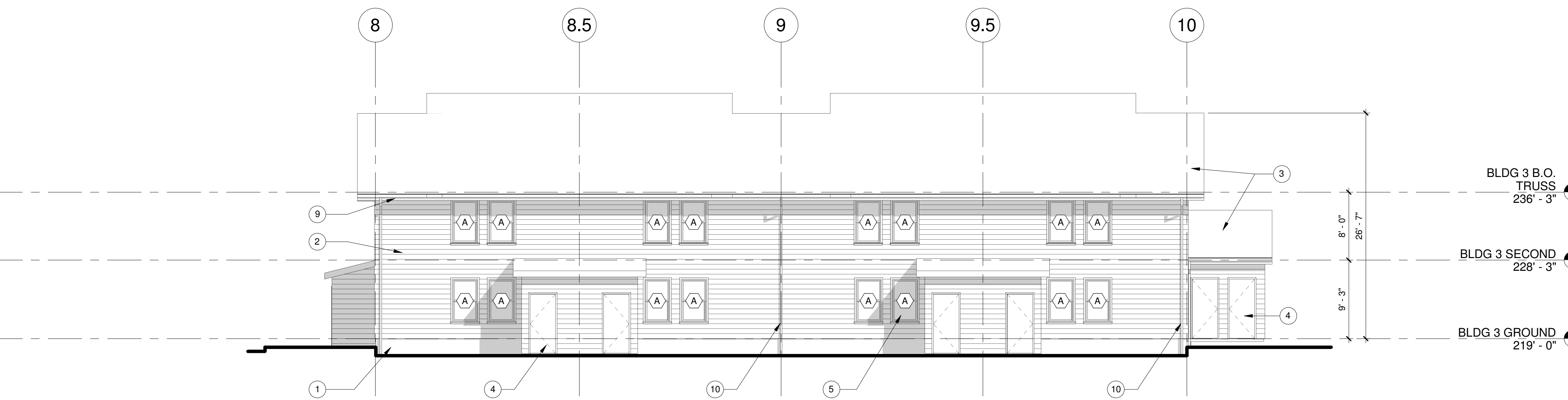


1 BUILDING 3 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



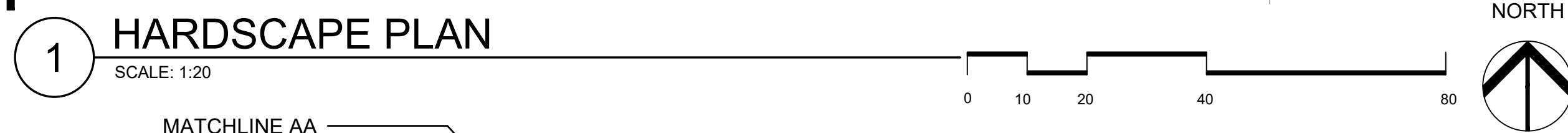
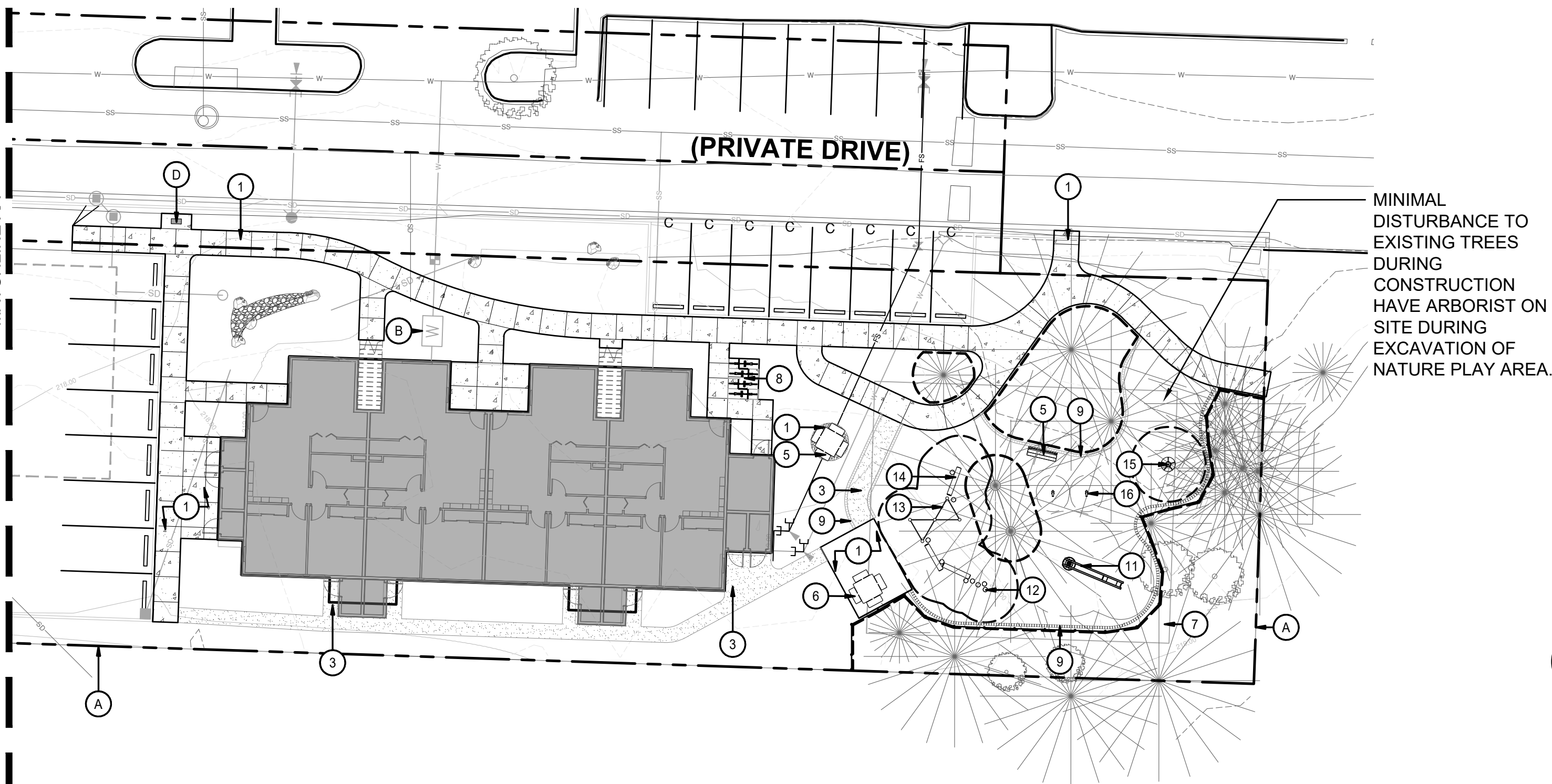
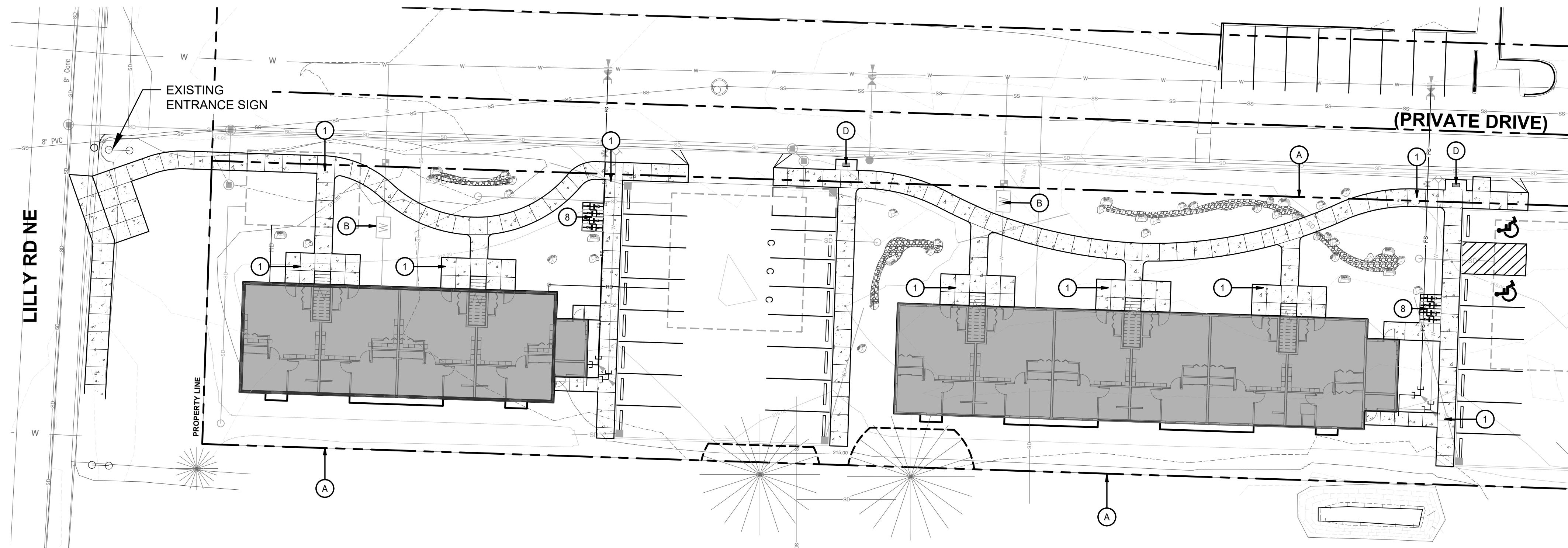
2 BUILDING 3 - EAST ELEVATION
SCALE: 1/8" = 1'-0"

3 BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 3 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

10/13/2020 3:36:43 PM



1 HARDSCAPE PLAN
SCALE: 1:20

2 KEY MAP
SCALE: 1:100

BOULDER LEGEND:

TOTAL QUANTITY: 43

Rock Size ¹	Approximate Size
One Man	12" - 18"
Two Man	18" - 28"
Three Man	28" - 36"
Four Man	36" - 48"
Five Man	48" - 54"
Six Man	54" - 60"

¹Approximate Size can be determined by taking the average dimension of the three axes of the rock, Length, Width, and Thickness, by use of the following calculation:

$$\frac{\text{Length} + \text{Width} + \text{Thickness}}{3} = \text{Approximate Size}$$

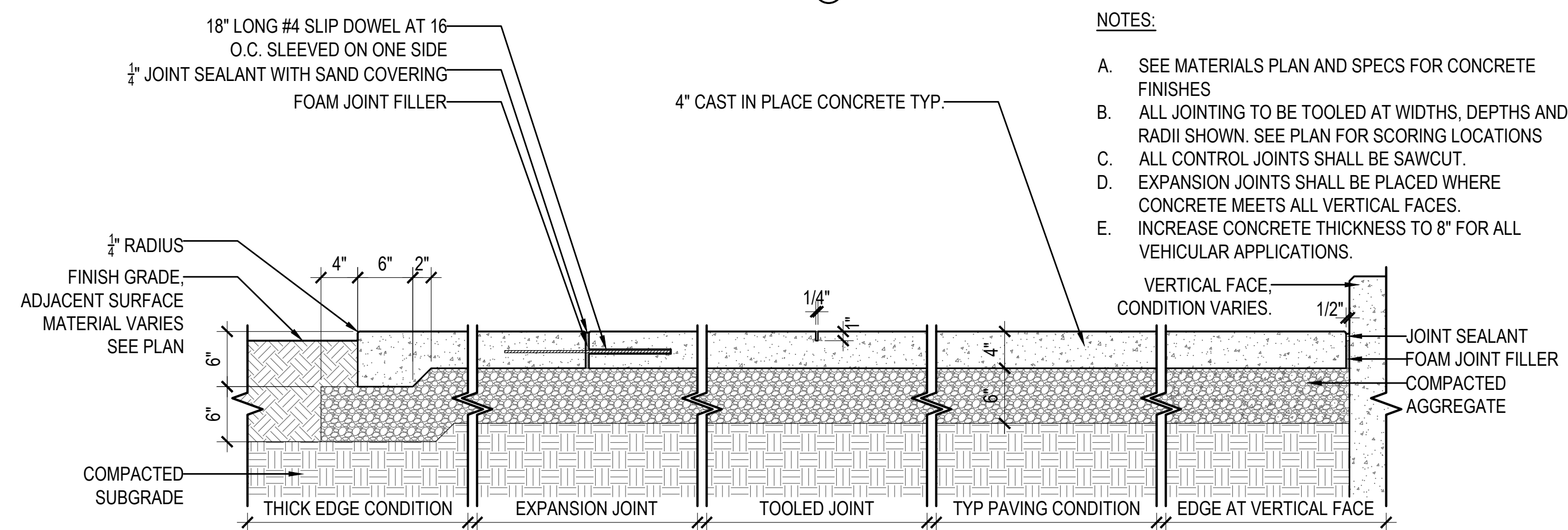
Length is the longest axis, width is the second longest axis, and thickness is the shortest axis.

KEY NOTES:

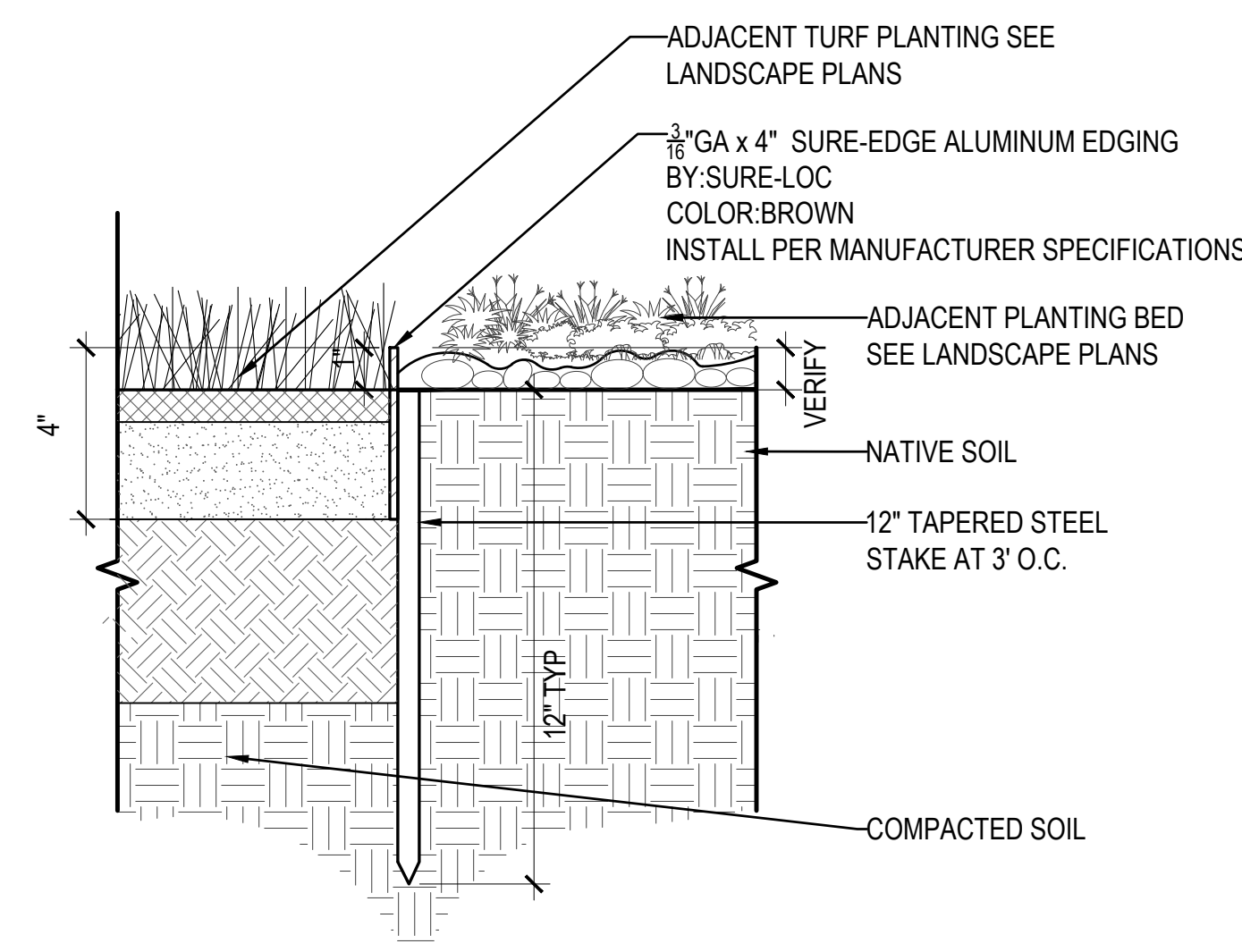
- 1 CONCRETE PAVING SEE DETAIL 3 / L1.00
- 2 LANDSCAPE EDGING SEE DETAIL 4 / L1.00
- 3 DECOMPOSED GRANITE AND EDGING SEE DETAIL 5 / L1.00
- 4 BOULDER INSTALLATION SEE DETAIL 3 / L1.01
- 5 6' PARKWAY BENCH SEE DETAIL 4 / L1.01
- 6 PICNIC TABLE SEE DETAIL 5 / L1.01, 6/L1.101
- 7 6' SIGHT SPLIT RAIL FENCE SEE DETAIL 1 / L1.02
- 8 BIKE RACK SEE DETAIL 2 / L1.02
- 9 PAVER EDGING SEE DETAIL 3 / L1.02
- 10 ENGINEERED WOOD FIBERS SEE DETAIL 4 / L1.02
- 11 CANTILEVER TYRESWING 5 / L1.02
- 12 TIMBER COLUMNS 6 / L1.02
- 13 POLE CLIMBER 7 / L1.02
- 14 LOG SCRAMBLE 8 / L1.02
- 15 CLIMBING TREE 9 / L1.02
- 16 LOGGIE SPRING RIDER 10 / L1.02
- A PROPERTY LINE
- B WATER METER BY CIVIL
- C BUILDING OVERHANG
- D MAIL BOXES BY CIVIL

NOTES:

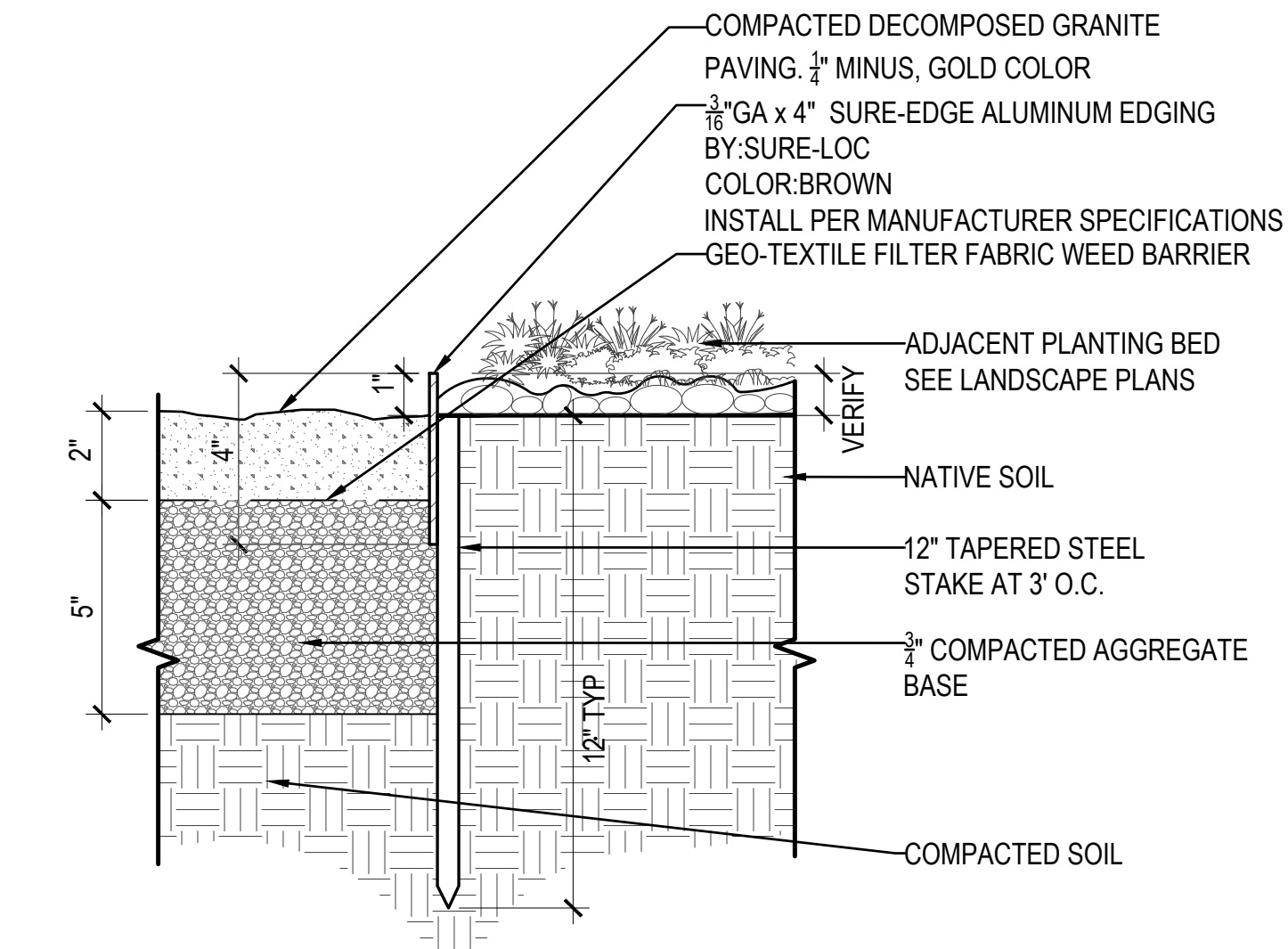
- A. SEE MATERIALS PLAN AND SPECS FOR CONCRETE FINISHES
- B. ALL JOINTING TO BE TOOLED AT WIDTHS, DEPTHS AND RADII SHOWN. SEE PLAN FOR SCORING LOCATIONS
- C. ALL CONTROL JOINTS SHALL BE SAWCUT.
- D. EXPANSION JOINTS SHALL BE PLACED WHERE CONCRETE MEETS ALL VERTICAL FACES.
- E. INCREASE CONCRETE THICKNESS TO 8" FOR ALL VEHICULAR APPLICATIONS.



3 CONCRETE PAVING.
SCALE: 1"=1'-0"



4 LANDSCAPE EDGING
SCALE: 3"=1'-0"



5 DECOMPOSED GRANITE & EDGING
SCALE: 3"=1'-0"

OC-III
APARTMENTS

206 LILLY RD NE
OLYMPIA, WA
95806

ISSUANCE
DESIGN DEVELOPMENT

DATE
02/08/2020

SCALE
1:20

PROJECT NUMBER
202010.00

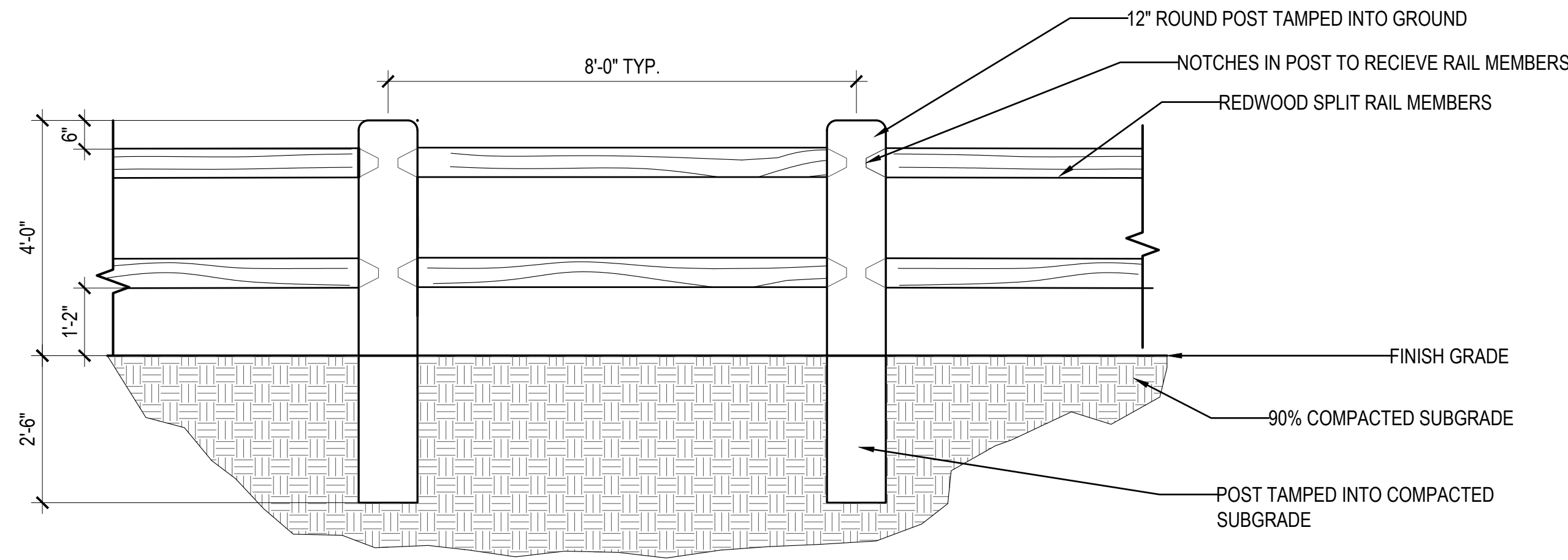
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SF

DRAWING TITLE

Hardscape
Plan

SHEET NUMBER

L1.00

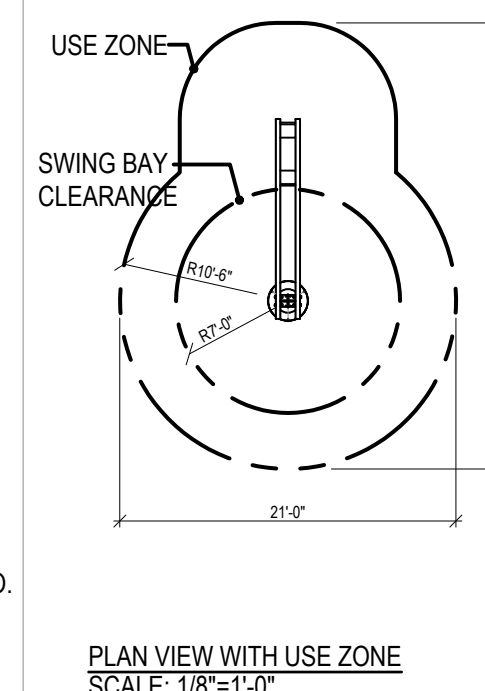
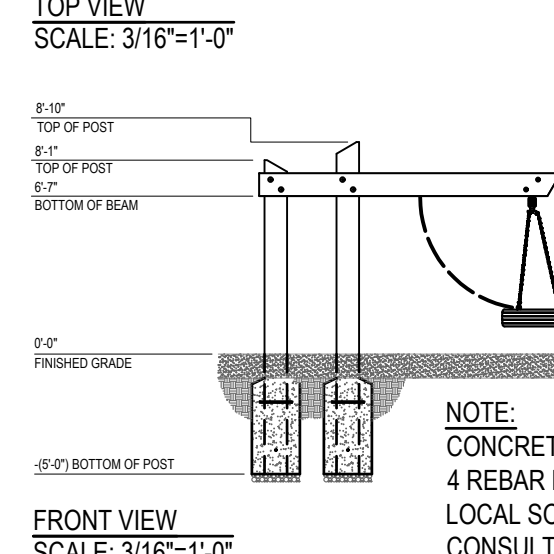
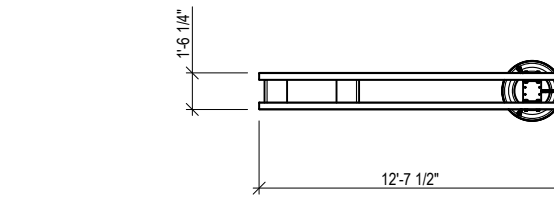
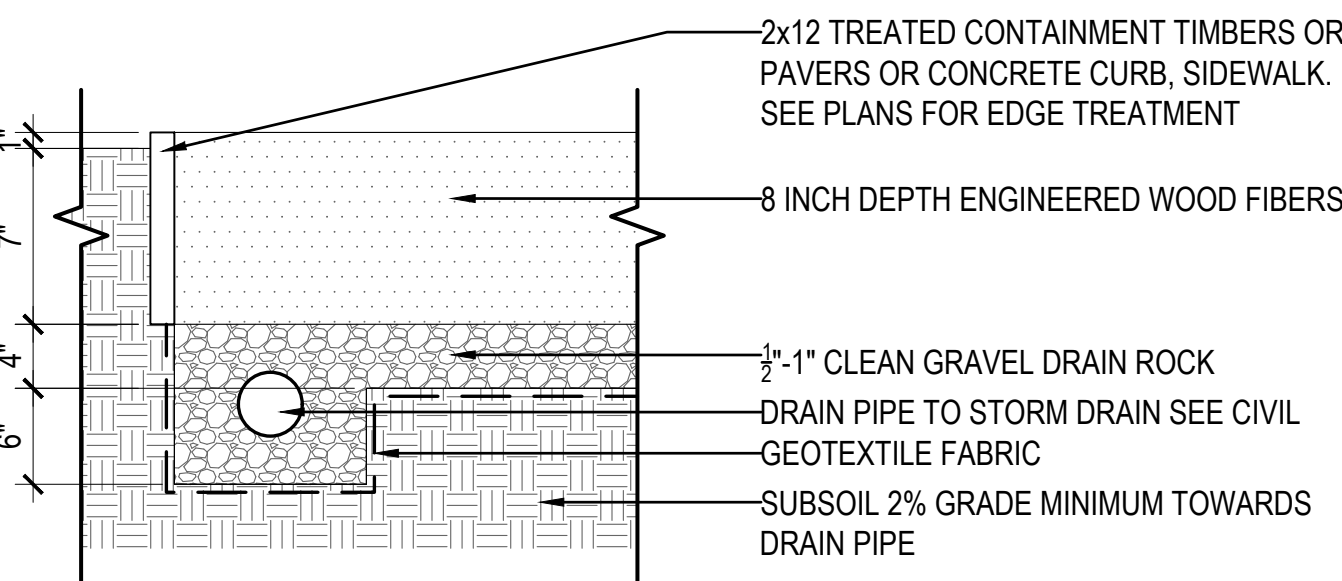


1 WOOD SPLIT RAIL FENCE

SCALE: 1/2"=1'-0"

NOTES:

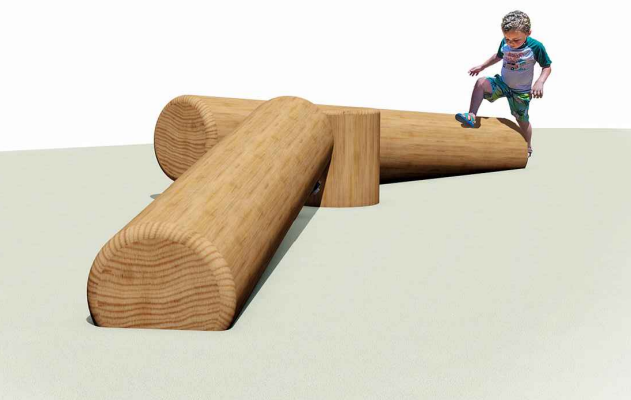
PRODUCT: ZEAGER WOOD CARPET
CONTACT: CLAYTON ZEISER 717.546.5016
WEBSITE: www.zeager.com
INSTALL PER MANUFACTURE SPECIFICATIONS



NOTE: CONCRETE FOOTING AND NO. 4 REBAR (BY OTHERS) PER LOCAL SOIL CONDITIONS. CONSULT PROJECT ENGINEER FOR EXACT REQUIREMENTS.

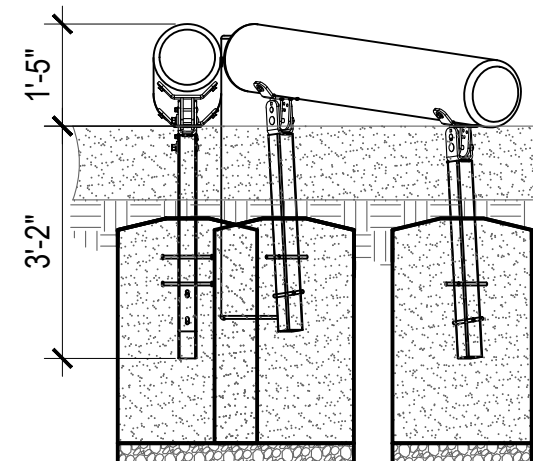
4 ENGINEERED WOOD FIBERS

SCALE: 1"=1'-0"



CHARACTER IMAGE

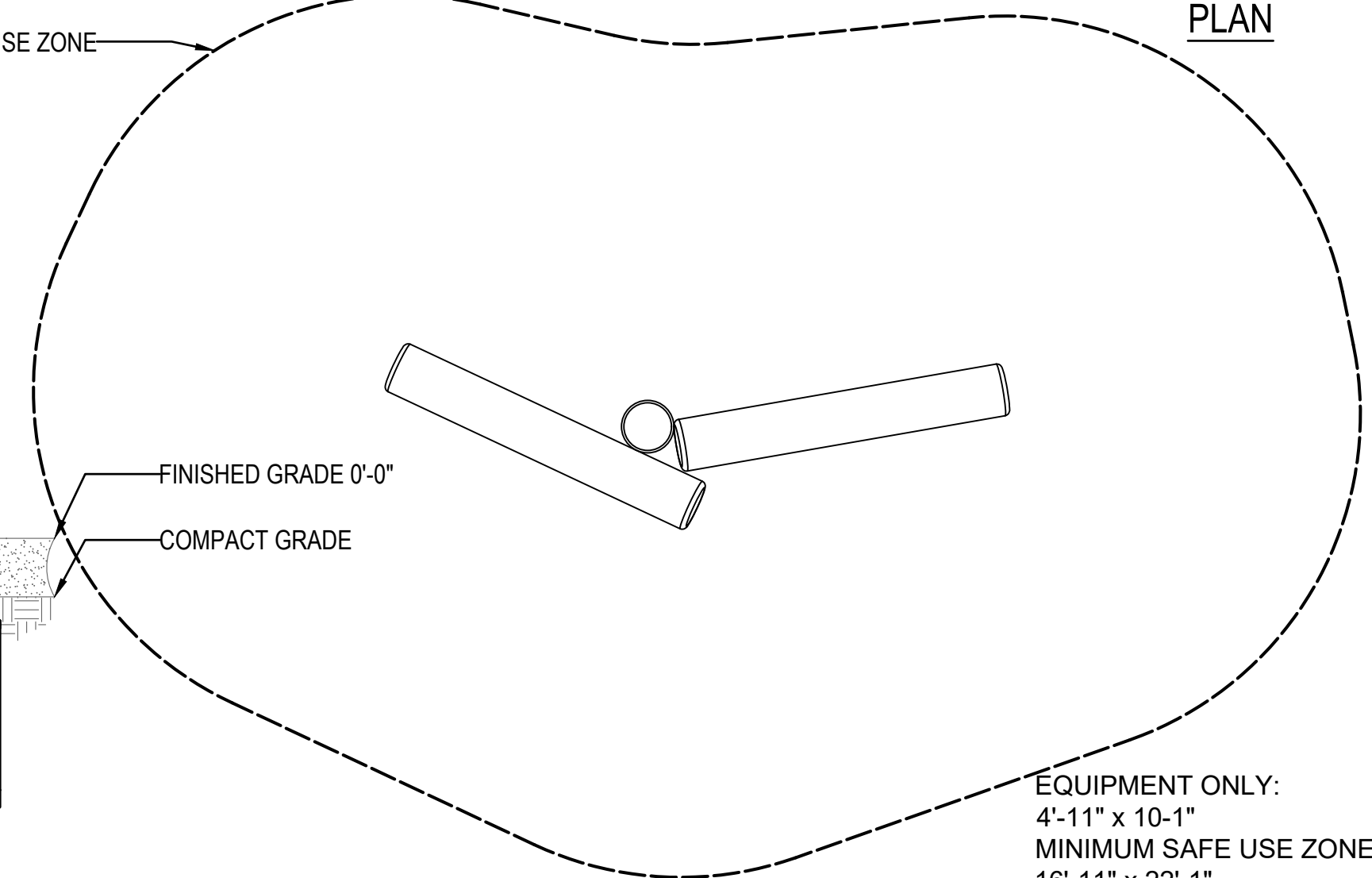
DESCRIPTION: LOG SCRAMBLE
MODEL NUMBER: 4500-304
QUANTITY: 1
MATERIALS: DOUGLAS FIR TIMBERS, POWDER COATED STEEL
COLORS: POWDER COATED STEEL - BLACK
BY: TIMBERFORM
CONTACT: DAVID GASTON
David@timberform.com
INSTALL PER MANUFACTURE SPECIFICATIONS



SECTION

5 CANTILEVER TYRESWING

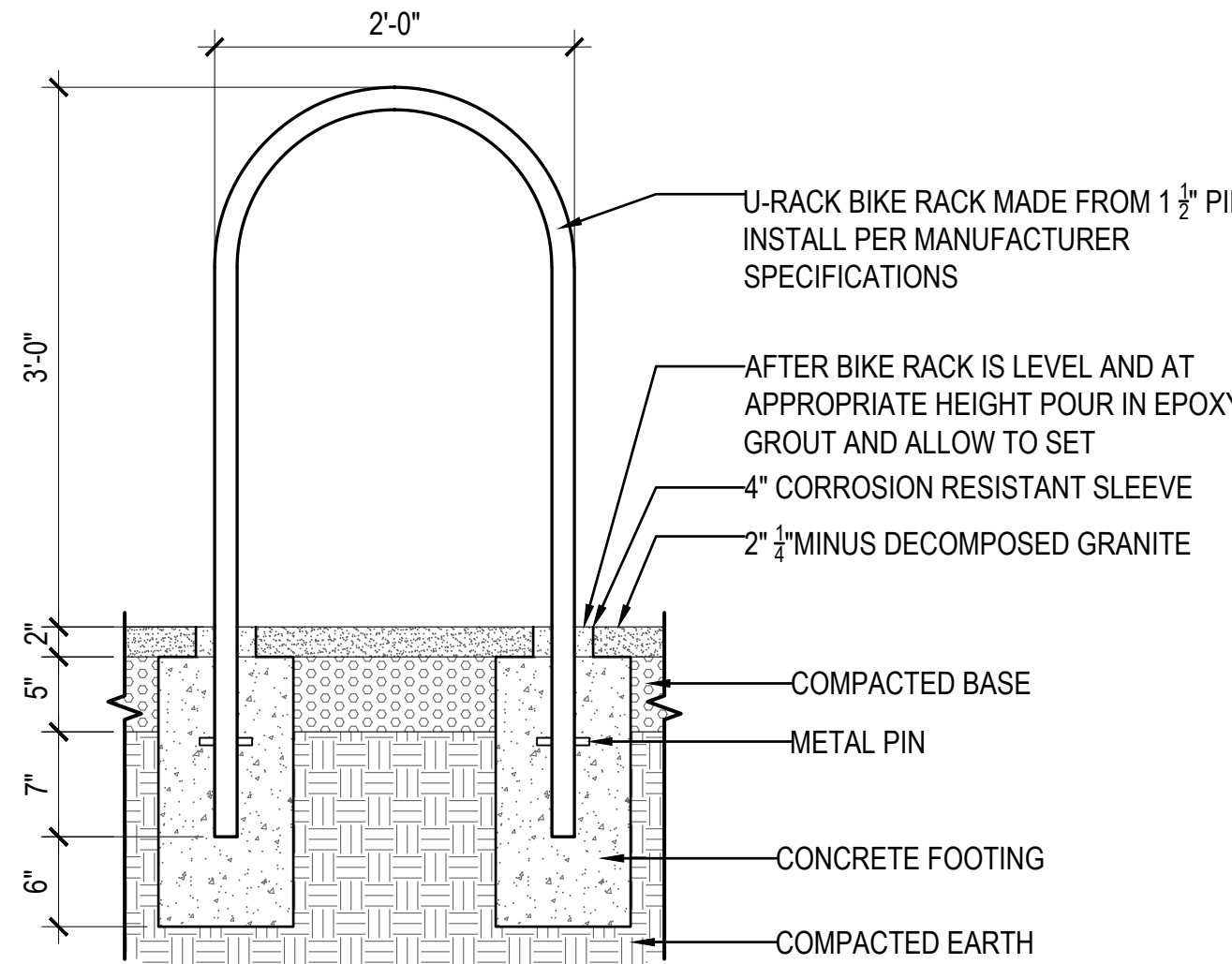
SCALE: 1/8"=1'-0"



EQUIPMENT ONLY: 4'-11" x 10'-1"
MINIMUM SAFE USE ZONE: 16'-11" x 22'-1"
PLAN VIEW WITH USE ZONE SCALE: 3/16"=1'-0"

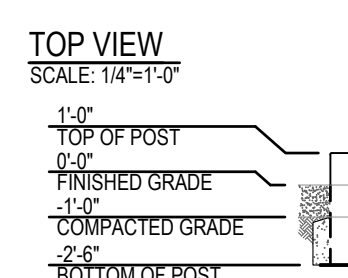
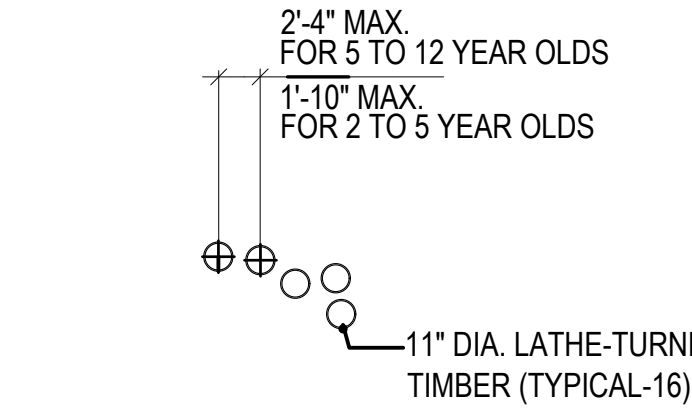
8 LOG SCRAMBLE

SCALE: 3/8"=1'-0"



2 BIKE RACK

SCALE: 1"=1'-0"



NOTE: CONCRETE FOOTING AND NO. 4 REBAR (BY OTHERS) PER LOCAL SOIL CONDITIONS. CONSULT PROJECT ENGINEER FOR EXACT REQUIREMENTS.

PLAN VIEW WITH USE ZONE

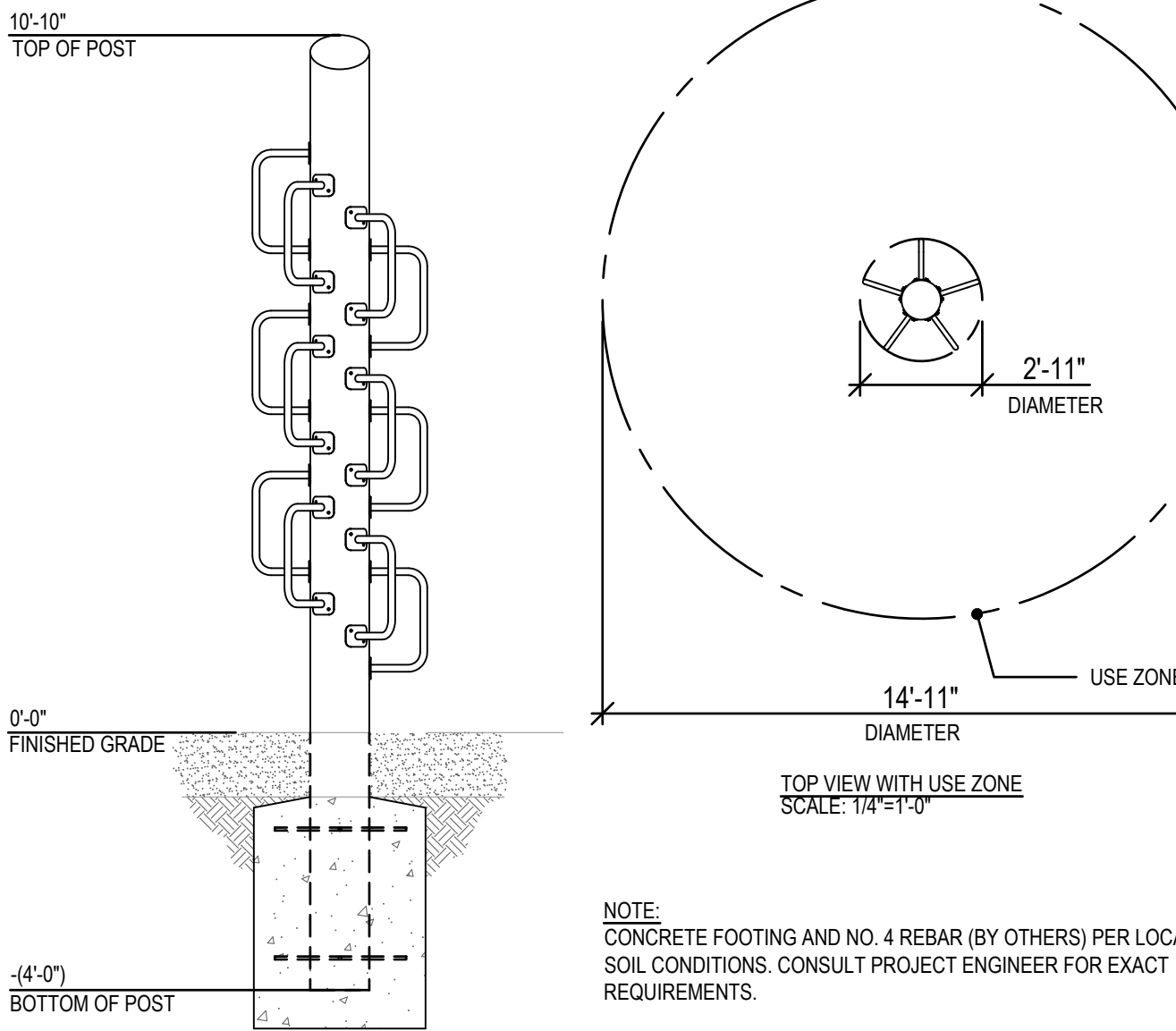
SCALE: 1/8"=1'-0"

5 TO 12 YEAR OLDS (SHOWN)
EQUIPMENT ONLY: 14'-2" DIA.
MINIMUM SAFE USE ZONE: 26'-2" DIA.

2 TO 5 YEAR OLDS
EQUIPMENT ONLY: 11'-2" DIA.
MINIMUM SAFE USE ZONE: 23'-2" DIA.

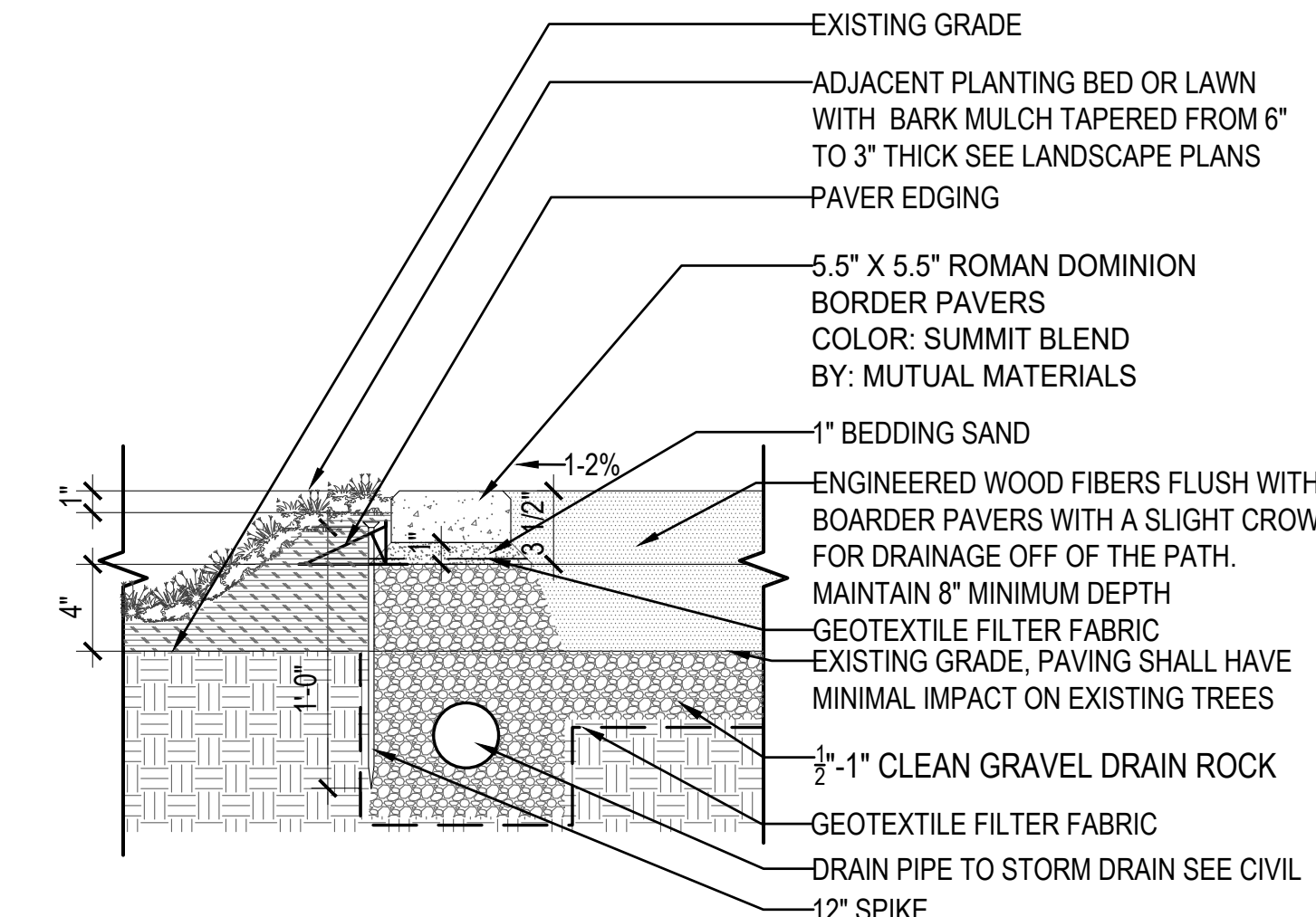
6 TIMBER COLUMNS

SCALE: 1"=1'-0"



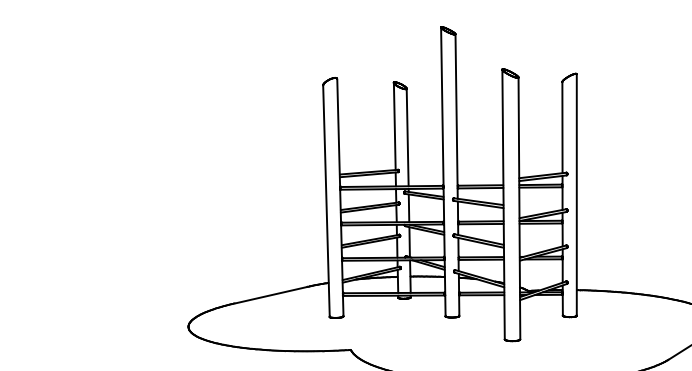
9 CLASSIC CLIMBING TREE

SCALE: 1/4"=1'-0"



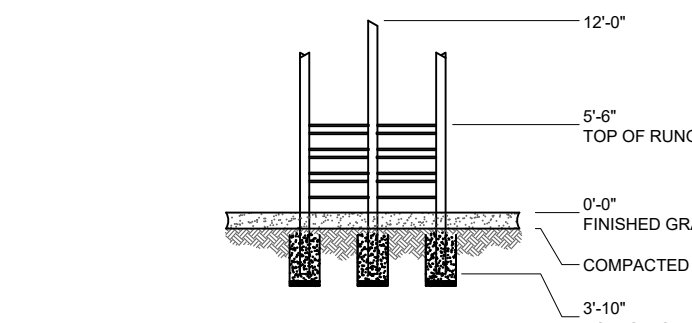
3 PAVER EDGING

SCALE: 1 1/2"=1'-0"



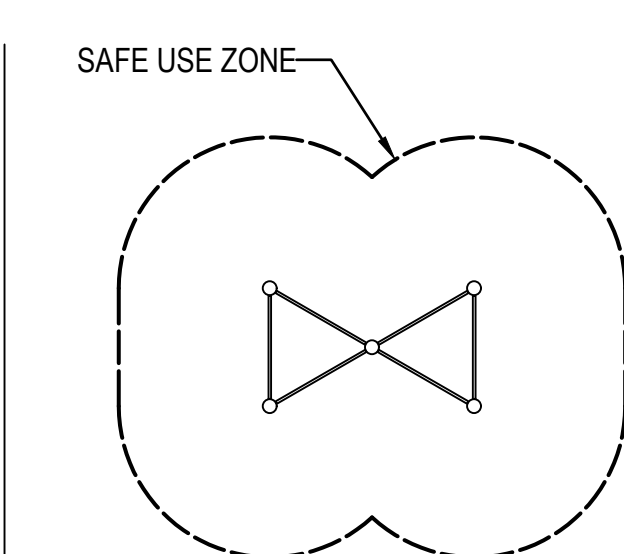
ISO VIEW

SCALE: NONE



FRONT VIEW

SCALE: 1/8"=1'-0"



PLAN VIEW WITH USE ZONE

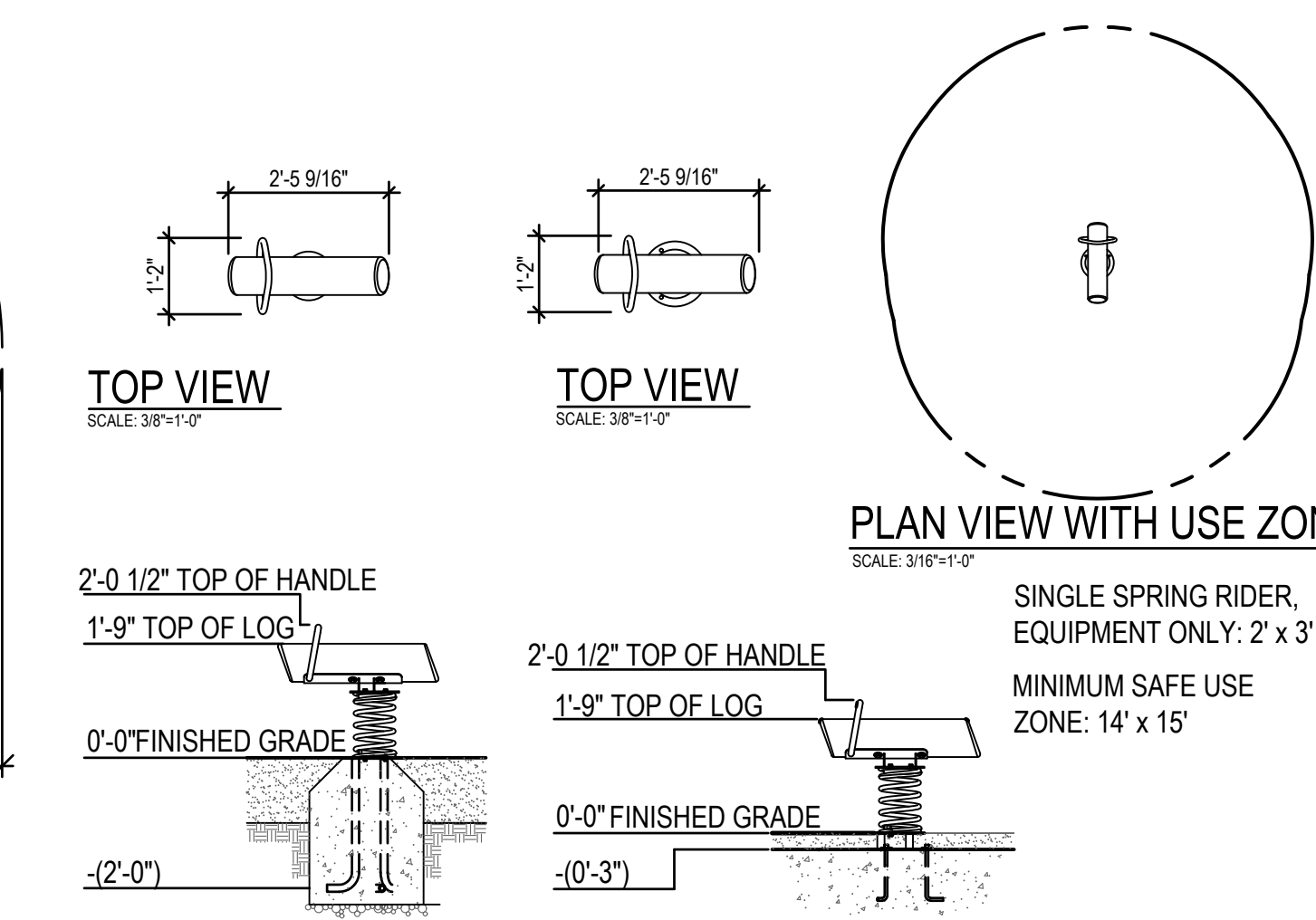
SCALE: 3/16"=1'-0"

EQUIPMENT ONLY: 9'-1" x 5'-6"
MINIMUM SAFE USE ZONE: 21'-1" x 17'-6"

NOTE: CONCRETE FOOTING AND NO. 4 REBAR (BY OTHERS) PER LOCAL SOIL CONDITIONS. CONSULT PROJECT ENGINEER FOR EXACT REQUIREMENTS.

7 POLE CLIMBER

SCALE: 1/8"=1'-0"



NOTE: CONCRETE FOOTING (BY OTHERS) PER LOCAL CONDITIONS. CONSULT PROJECT ENGINEER FOR EXACT SIZE AND REQUIREMENTS. THREE 5/8" DIAMETER HOLES PROVIDED IN PEDESTAL ASSEMBLY FOR ANCHORING DEVICES (BY OTHERS).

FRONT VIEW

3886-01-E (EMBEDMENT)

FRONT VIEW

3886-01-P (PEDESTAL)

10 LOGGIE SPRING RIDER

SCALE: NTS

OC-III APARTMENTS

206 LILLY RD NE
OLYMPIA, WA
95806

ISSUANCE

DESIGN DEVELOPMENT

DATE

02/08/2020

SCALE

PER PLAN

PROJECT NUMBER

202010.00

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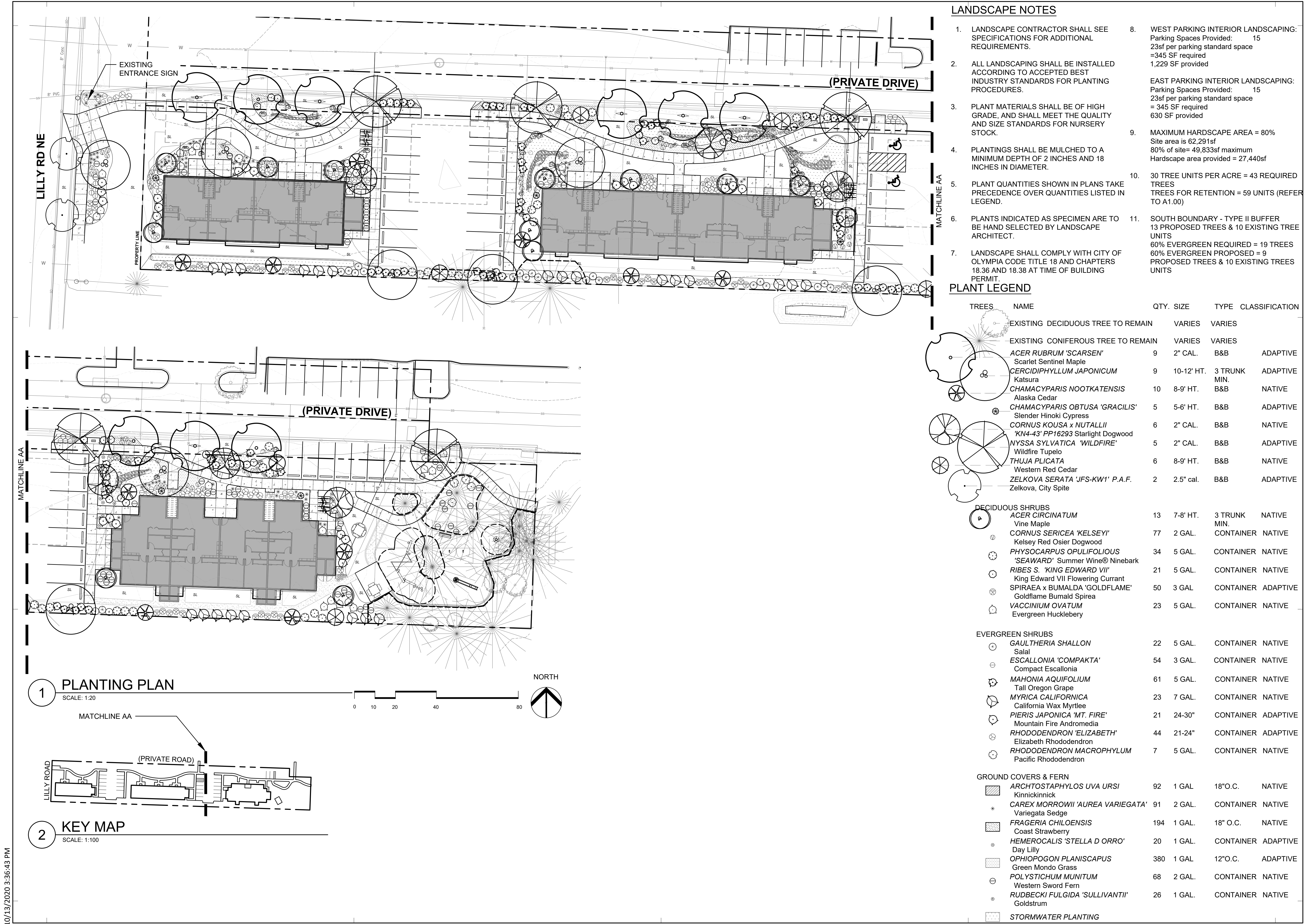
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Hardscape Plan

SHEET NUMBER

L1.02

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LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
2. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED BEST INDUSTRY STANDARDS FOR PLANTING PROCEDURES.
3. PLANT MATERIALS SHALL BE OF HIGH GRADE, AND SHALL MEET THE QUALITY AND SIZE STANDARDS FOR NURSERY STOCK.
4. PLANTINGS SHALL BE MULCHED TO A MINIMUM DEPTH OF 2 INCHES AND 18 INCHES IN DIAMETER.
5. PLANT QUANTITIES SHOWN IN PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN LEGEND.
6. PLANTS INDICATED AS SPECIMEN ARE TO BE HAND SELECTED BY LANDSCAPE ARCHITECT.
7. LANDSCAPE SHALL COMPLY WITH CITY OF OLYMPIA CODE TITLE 18 AND CHAPTERS 18.36 AND 18.38 AT TIME OF BUILDING PERMIT.
8. WEST PARKING INTERIOR LANDSCAPING:
Parking Spaces Provided: 15
23sf per parking standard space
=345 SF required
1,229 SF provided
9. EAST PARKING INTERIOR LANDSCAPING:
Parking Spaces Provided: 15
23sf per parking standard space
= 345 SF required
630 SF provided
10. MAXIMUM HARDSCAPE AREA = 80%
Site area is 62,291sf
80% of site= 49,833sf maximum
Hardscape area provided = 27,440sf
11. 30 TREE UNITS PER ACRE = 43 REQUIRED TREES
TREES FOR RETENTION = 59 UNITS (REFER TO A1.00)
12. SOUTH BOUNDARY - TYPE II BUFFER
13 PROPOSED TREES & 10 EXISTING TREE UNITS
60% EVERGREEN REQUIRED = 19 TREES
60% EVERGREEN PROPOSED = 9 PROPOSED TREES & 10 EXISTING TREES UNITS

PLANT LEGEND

TREES	NAME	QTY.	SIZE	TYPE	CLASSIFICATION
EXISTING	DECIDUOUS TREE TO REMAIN		VARIABLES	VARIABLES	
EXISTING	CONIFEROUS TREE TO REMAIN		VARIABLES	VARIABLES	
9	ACER RUBRUM 'SCARSEN' Scarlet Sentinel Maple	2"	CAL.	B&B	ADAPTIVE
9	CERCIDIPHYLLUM JAPONICUM Katsura	10-12'	HT.	3 TRUNK MIN.	ADAPTIVE
10	CHAMACYPARIS NOOTKATENSIS Alaska Cedar	8-9'	HT.	B&B	NATIVE
5	CHAMACYPARIS OBTUSA 'GRACILIS' Slender Hinoki Cypress	5-6'	HT.	B&B	ADAPTIVE
6	CORNUS KOUSA x NUTALLII 'KN4-43' PP16293 Starlight Dogwood	2"	CAL.	B&B	NATIVE
5	NYSSA SYLVATICA 'WILDFIRE' Wildfire Tupelo	2"	CAL.	B&B	ADAPTIVE
6	THUJA PLICATA Western Red Cedar	8-9'	HT.	B&B	NATIVE
2	ZELKOVA SERATA 'JFS-KW1' P.A.F. Zelkova, City Spite	2.5"	cal.	B&B	ADAPTIVE
DECIDUOUS SHRUBS					
13	ACER CIRCINATUM Vine Maple	7-8'	HT.	3 TRUNK MIN.	NATIVE
77	CORNUS SERICEA 'KELSEY' Kelsey Red Osier Dogwood	2	GAL.	CONTAINER	NATIVE
34	PHYSOCARPUS OPULIFOLIUS 'SEAWARD' Summer Wine® Ninebark	5	GAL.	CONTAINER	NATIVE
21	RIBES S. 'KING EDWARD VII' King Edward VII Flowering Currant	5	GAL.	CONTAINER	NATIVE
50	SPIRAEA x BUMALDA 'GOLDFLAME' Goldflame Bumald Spirea	3	GAL.	CONTAINER	ADAPTIVE
23	VACCINIUM OVATUM Evergreen Huckleberry	5	GAL.	CONTAINER	NATIVE
EVERGREEN SHRUBS					
22	GAULTHERIA SHALLON Salal	5	GAL.	CONTAINER	NATIVE
54	ESCALLONIA 'COMPAKTA' Compact Escallonia	3	GAL.	CONTAINER	NATIVE
61	MAHONIA AQUIFOLIUM Tall Oregon Grape	5	GAL.	CONTAINER	NATIVE
23	MYRICA CALIFORNICA California Wax Myrtle	7	GAL.	CONTAINER	NATIVE
21	PIERIS JAPONICA 'MT. FIRE' Mountain Fire Andromeda	24-30"		CONTAINER	ADAPTIVE
44	RHODODENDRON 'ELIZABETH' Elizabeth Rhododendron	21-24"		CONTAINER	ADAPTIVE
7	RHODODENDRON MACROPHYLLUM Pacific Rhododendron	5	GAL.	CONTAINER	NATIVE
GROUND COVERS & FERN					
92	ARCHTOSTAPHYLOS UVA URSI Kinnickinnick	1	GAL.	18"O.C.	NATIVE
91	CAREX MORROWII 'AUREA VARIEGATA' Variegata Sedge	2	GAL.	CONTAINER	NATIVE
194	FRAGERIA CHILOENSIS Coast Strawberry	1	GAL.	18" O.C.	NATIVE
20	HEMEROCALIS 'STELLA D ORRO' Day Lilly	1	GAL.	CONTAINER	ADAPTIVE
380	OPHIPOGON PLANISCAPUS Green Mondo Grass	1	GAL.	12"O.C.	ADAPTIVE
68	POLYSTICHUM MUNITUM Western Sword Fern	2	GAL.	CONTAINER	NATIVE
26	RUDBECKI FULGIDA 'SULLIVANTII' Goldstrum	1	GAL.	CONTAINER	NATIVE
	STORMWATER PLANTING				

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PRELIMINARY
NOT FOR
CONSTRUCTION

STATE OF
LANDSCAPE ARCHITECT
Leifur A. Macdonald
CERTIFICATE NO. 350

Housing
Authority
of Thurston County

MACDONALD
ENVIRONMENTAL PLANNING, PC
WWW.MEP-PC.COM

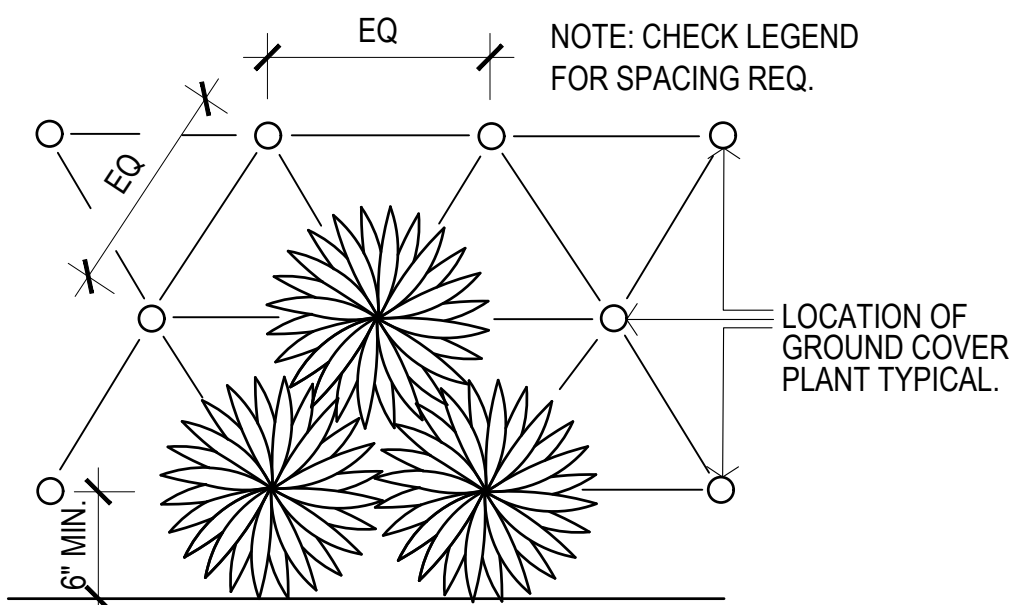
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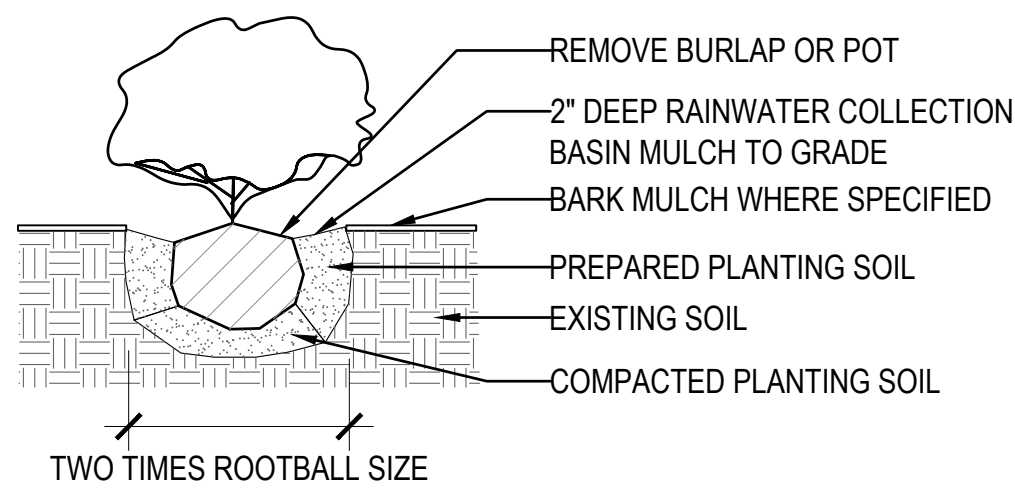
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ISSUANCE DESIGN DEVELOPMENT
DATE 02/08/2020
SCALE 1:20
PROJECT NUMBER 202010.00
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DRAWING TITLE Planting Plan
SHEET NUMBER L3.00

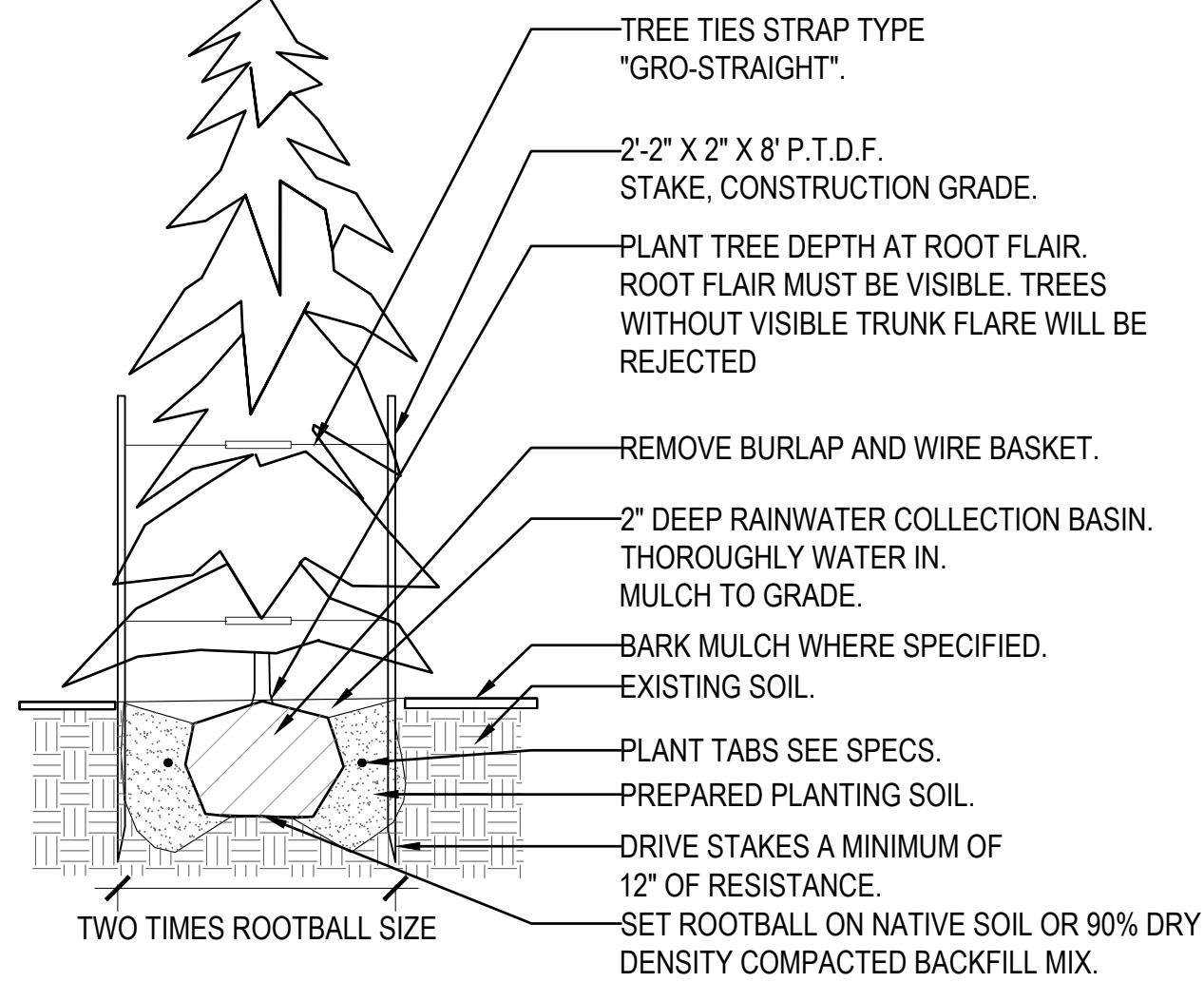
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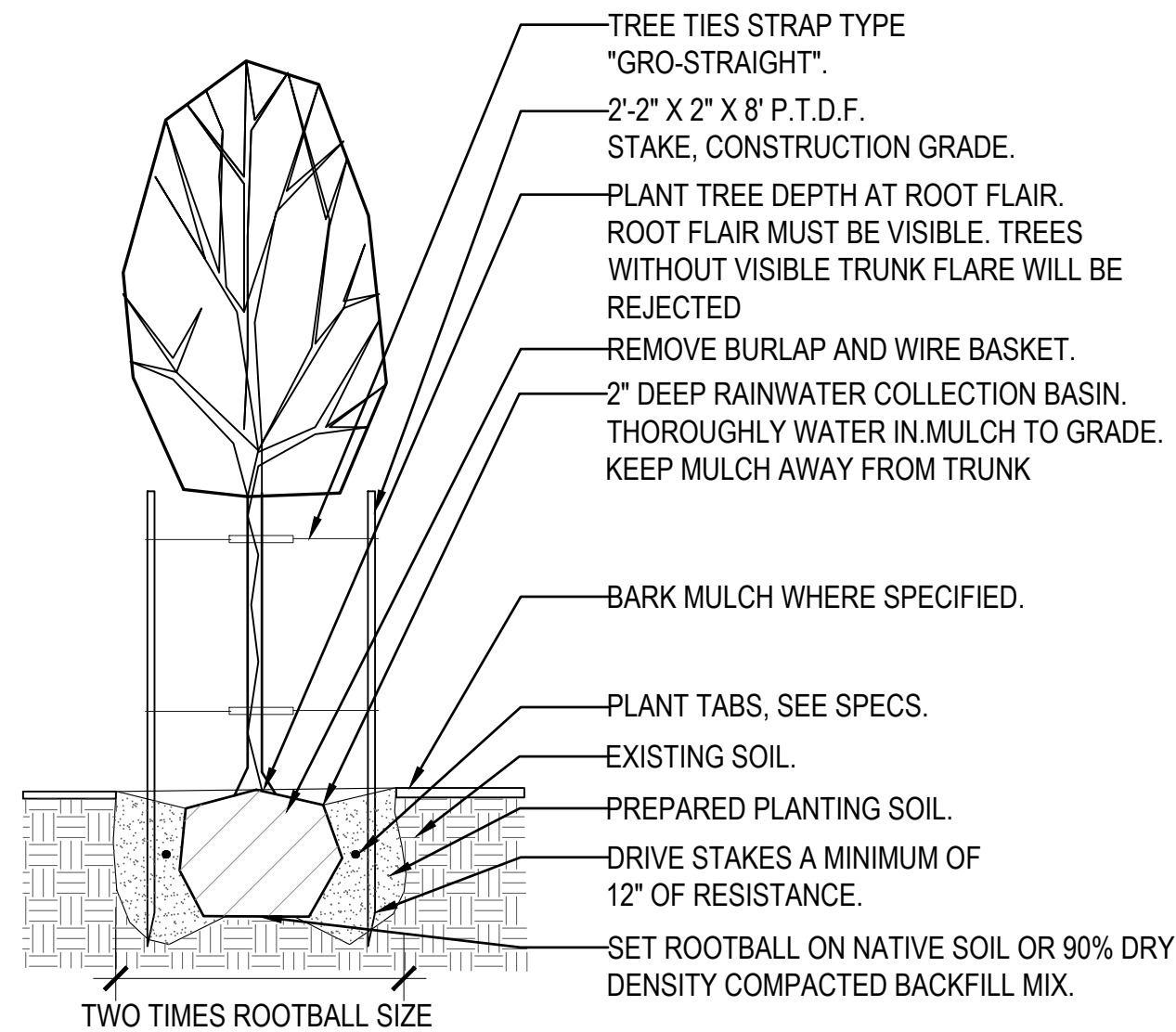
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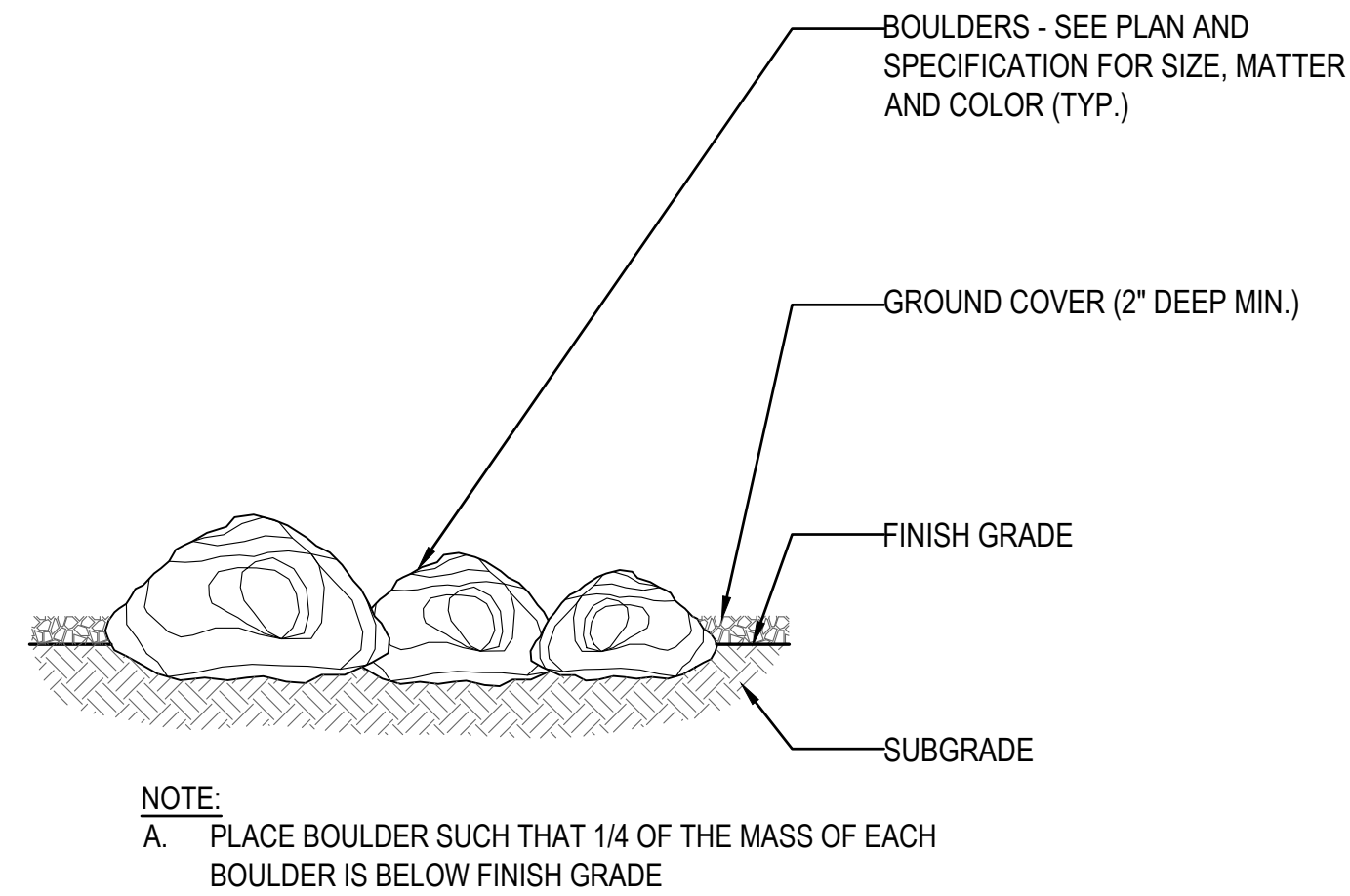
2 SHRUB PLANTING DETAIL
SCALE: NTS



3 EVERGREEN TREE PLANTING DETAIL
SCALE: NTS



4 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



5 BOULDER INSTALLATION
SCALE: NTS

REVISION NO	DATE

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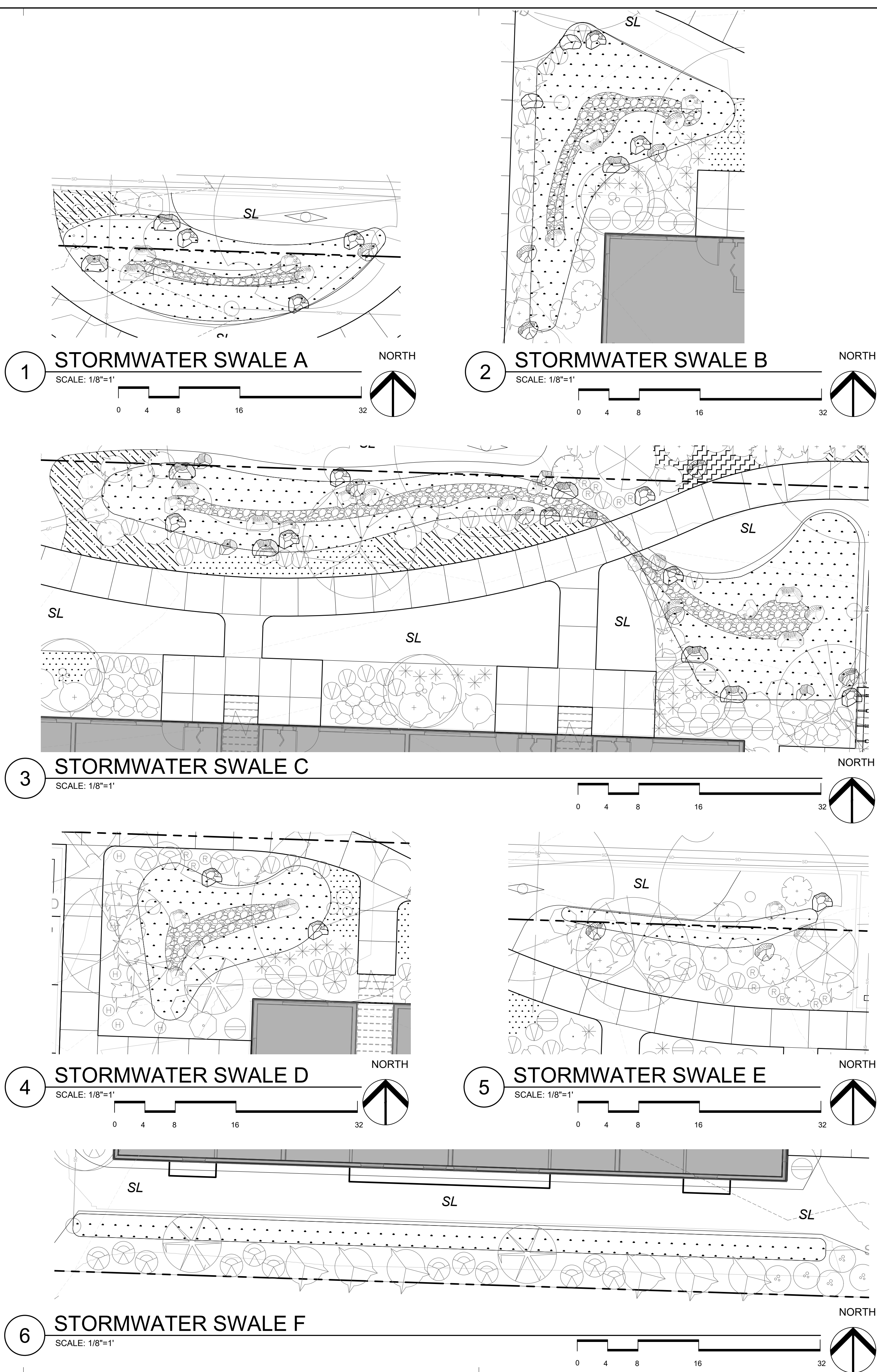
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Planting
Plan Details

SHEET NUMBER

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STORM WATER SWALES PLANT TABLES

SWALE A - PLANTER - 353sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	79	1 GAL	15" O.C.
	CAREX STIPATA Sawbeak Sedge	105	1 GAL	15" O.C.
	JUNCUS TENUIS Slender Rush	52	1 GAL	15" O.C.
	SCRIPTUS AMERICANUS American Bulrush	26	1 GAL	15" O.C.
SWALE A - TOTAL PLANTS =262				

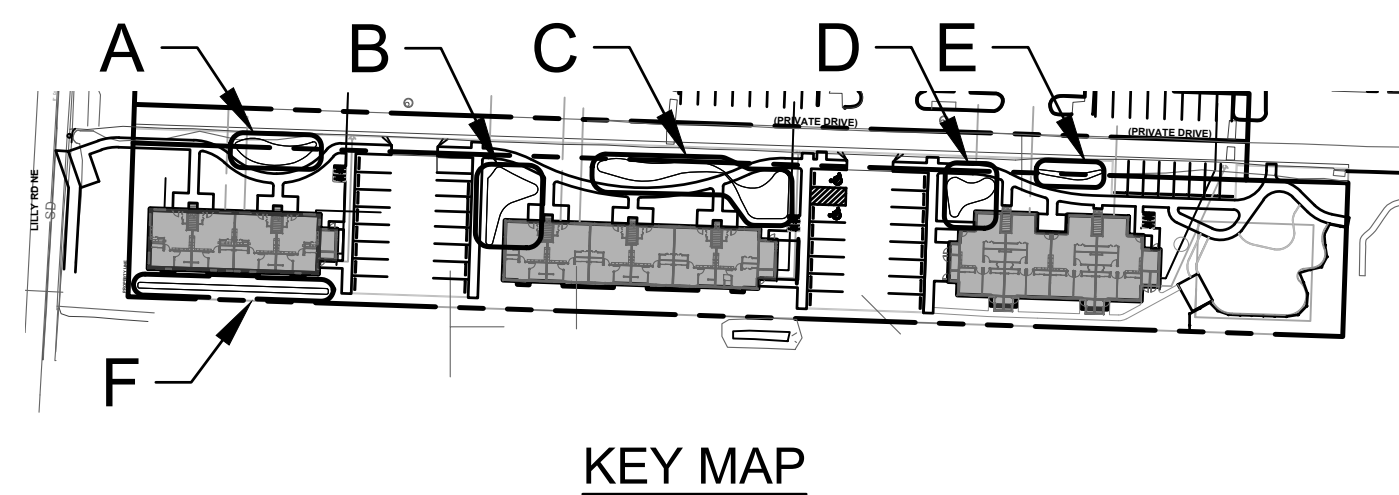
SWALE B - PLANTER - 400sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	89	1 GAL	15" O.C.
	CAREX STIPATA Sawbeak Sedge	118	1 GAL	15" O.C.
	JUNCUS TENUIS Slender Rush	59	1 GAL	15" O.C.
	SCRIPTUS AMERICANUS American Bulrush	30	1 GAL	15" O.C.
SWALE B - TOTAL PLANTS =296				

SWALE C - PLANTER - 775sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	172	1 GAL	15" O.C.
	CAREX STIPATA Sawbeak Sedge	229	1 GAL	15" O.C.
	JUNCUS TENUIS Slender Rush	115	1 GAL	15" O.C.
	SCRIPTUS AMERICANUS American Bulrush	57	1 GAL	15" O.C.
SWALE C - TOTAL PLANTS =573				

SWALE D - PLANTER - 265sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	59	1 GAL	15" O.C.
	CAREX STIPATA Sawbeak Sedge	78	1 GAL	15" O.C.
	JUNCUS TENUIS Slender Rush	39	1 GAL	15" O.C.
	SCRIPTUS AMERICANUS American Bulrush	20	1 GAL	15" O.C.
SWALE D - TOTAL PLANTS = 196				

SWALE E - PLANTER - 93sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	21	1 GAL	15" O.C.
	CAREX STIPATA Sawbeak Sedge	28	1 GAL	15" O.C.
	JUNCUS TENUIS Slender Rush	14	1 GAL	15" O.C.
	SCRIPTUS AMERICANUS American Bulrush	7	1 GAL	15" O.C.
SWALE E - TOTAL PLANTS = 70				

SWALE F - PLANTER - 297sf				
SYMBOL	NAME	QTY	SIZE	SPACING
	CAMASSIA LEICHTLINII Camas Lily	66	1 GAL	15" O.C.
	CAREX STIPATA Sawbeak Sedge	88	1 GAL	15" O.C.
	JUNCUS TENUIS Slender Rush	44	1 GAL	15" O.C.
	SCRIPTUS AMERICANUS American Bulrush	22	1 GAL	15" O.C.
SWALE E - TOTAL PLANTS =220				



STORMWATER PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL SEE CIVIL DRAWINGS FOR STORMWATER CATCHMENTS CONSTRUCTION DETAILS AND NOTES.
2. PLANT MATERIALS SHALL BE OF HIGH GRADE, AND SHALL MEET THE QUALITY AND SIZE STANDARDS FOR NURSERY STOCK.
3. STORMWATER FACILITIES SHALL BE INSTALLED, PLANTED AND MAINTAINED TO COMPLY WITH LID TECHNICAL GUIDANCE MANUAL FOR PUGET SOUND
4. ALL STORMWATER FACILITY PLANTING SHALL HAVE A 90% SURVIVAL RATE AT 2 YEARS FROM PLANTING. FACILITIES NOT IN COMPLIANCE AT THE 2 YEAR MARK SHALL BE REPLANTED TO COMPLY.

OC-III APARTMENTS

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95806

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Plans

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