



## Project 1930 – West Bay Yards Development

### Analysis of Recreational needs - October, 2024.

The West Bay Yards development project is in the **Urban Waterfront** zone per [OMC Ch. 18 Fig 6-2](#) where height limit is **42-65'**. The view blockage percentage from Westbay drive to the waterfront on this project is **57%** and maximum building height is **63'** to top of roof and **65'** including parapets.

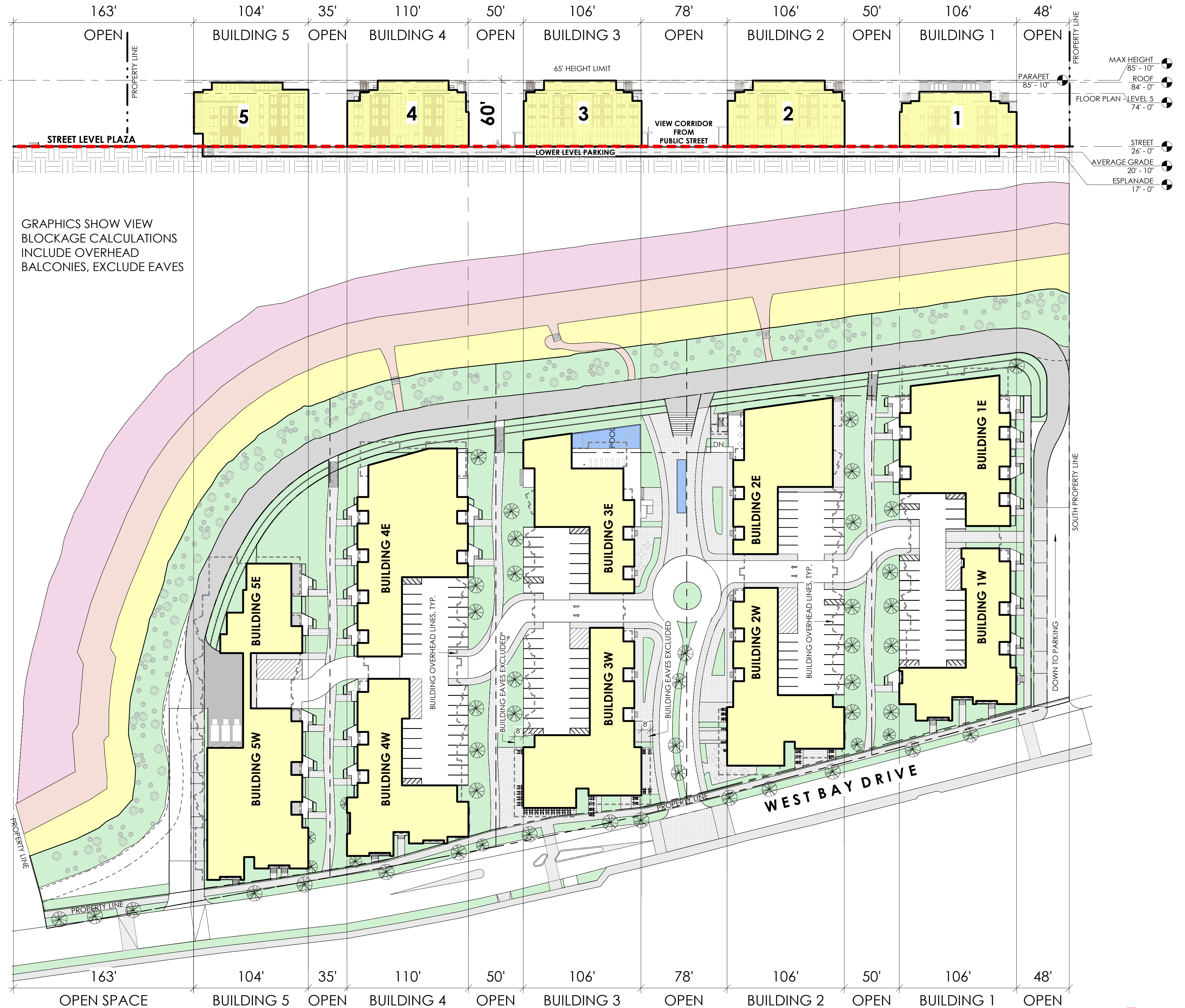
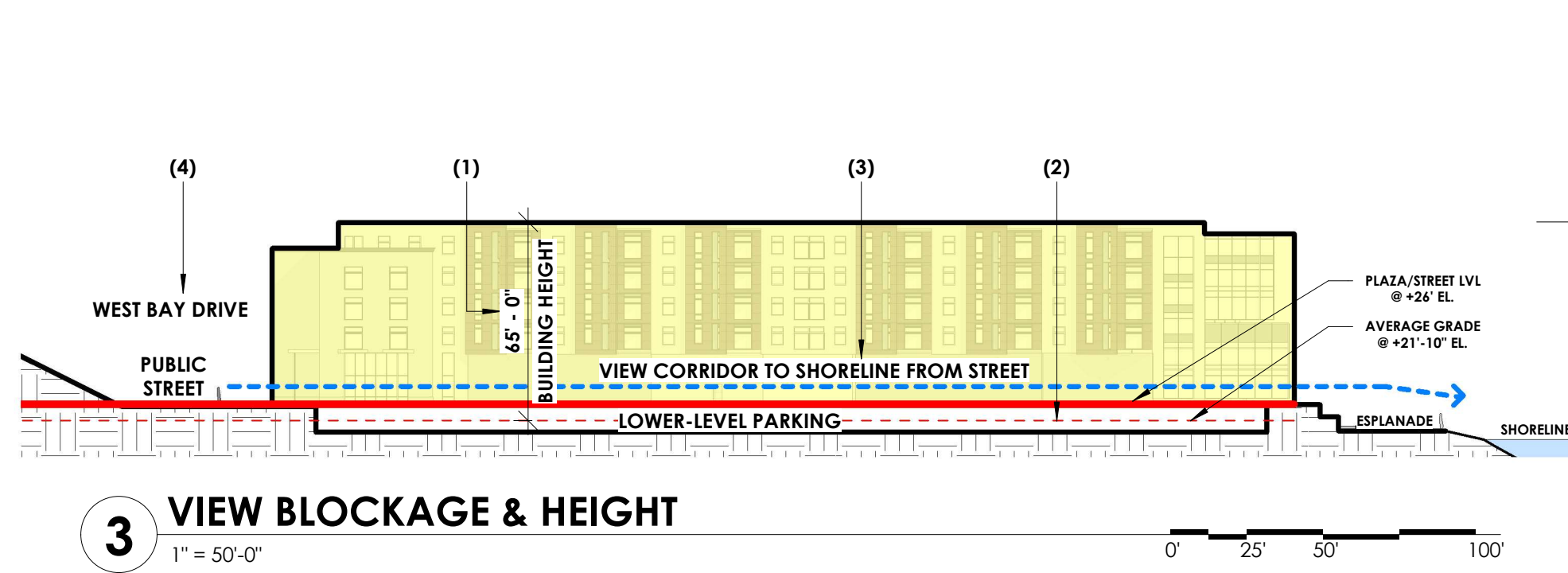


#### **IMAGE: LOOKING DOWNHILL FROM SLOPE TO BUDD INLET**

Per [OMC 18.06.100.a.2.c.iii](#), development shall be subject to the alternate standards for building height and view blockage, if alternate waterfront view access is provided through public amenities such as **waterfront trail & expanded waterfront trail corridor facility** for horizontal view blockage of **70%** upto height of **65'**.

#### Recreational public amenities provided:

The development proposes pedestrian connectivity through an **expanded waterfront trail corridor** dedicated for public use, running North-South along the Eastern edge of the plaza to offset view blockages by height of the buildings. The spacious pedestrian corridors between each of the building leads to a grand stair which descends to this waterfront esplanade maintaining visual connection to the shoreline. The other amenities provided on site are **kayak launch, shoreline access pathways and pedestrian resting areas with seat walls & benches** along the trail. These amenities are open to public use and restrictions of private use would apply only to residential portions of the buildings.



**3 VIEW BLOCKAGE & HEIGHT**

1" = 50'-0" 0' 25' 50' 100'

Per definitions provided under the 2020 Unified Development Code of OMC.

**Section 18.02.120.**

<sup>(1)</sup> Height (of Structure): **The difference between the average grade<sup>(2)</sup> level and the highest point of a structure;** provided, that television antennas, chimneys, and similar appurtenances shall not be used in calculating height except where such appurtenances obstruct the view of the shoreline from a substantial number of residences on areas adjoining such shorelines.

Per Section 18.02.180. Grade<sup>(2)</sup> is:

<sup>(2)</sup> Grade: **The finished ground level adjoining the building at the exterior walls.**

<sup>(2)</sup> Grade Plane: **A reference plane representing the average of the finished ground level adjoining the building at all exterior walls.** Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than six feet from the building between the structure and a point six feet from the building.

<sup>(1)</sup> Height of Building is measured from calculated Average Grade Plane. See Sheet A6.2 for graphics.

**18.06.100 COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS-SPECIFIC**

FOR BUILDINGS BLOCKING UP TO 70% OF VIEW BLOCKAGE, TO A HEIGHT OF 65 FEET-AMENITIES FOR BOTH WATERFRONT TRAIL AND EXPANDED WATERFRONT TRAIL CORRIDOR FACILITY SHOULD BE PROVIDED, IN ORDER TO **RETAIN PUBLIC AND PRIVATE VIEW ACCESS TO BUDD INLET FROM HILLSIDE SITES ABOVE WEST BAY DRIVE**<sup>(4)</sup>. SEE GRAPHICS ABOVE SHOWING VIEW ACCESS FROM STREET.

The two main regulations for Urban Waterfront (UW) per OMC 18.06.100.A.2.c are:

**(a) Building Height**

Per definitions of <sup>(1)</sup> Height in SMP cited above, the shoreline height restrictions are established to **limit obstructing the view of the shoreline,**

and

**(b) View Blockage** - intention to maintain required View Corridors<sup>(3)</sup>.

**View Corridor<sup>(3)</sup>**, definition per 18.02.180 is

<sup>(3)</sup>View Corridor. An area at **ground level** providing views of the waterfront, unobstructed by permanent structures between a **public street<sup>(4)</sup>** and the preserved.<sup>4</sup>

As shown in graphics above, height of the buildings as measured from **Average Grade Plane<sup>(2)</sup>** at +21'-10" NAVD88 is **65 feet**. View blockage through building massing, is below 70% and within allowable limits of OMC 18.06.100.A.2.c when providing an expanded waterfront trail corridor.

**VIEW PROTECTION CORRIDOR**

PER OMC 18.06.100.A.2.C.III, DEVELOPMENT SHALL BE SUBJECT TO THE ALTERNATE STANDARDS FOR BUILDING HEIGHT AND VIEW BLOCKAGE, IF ALTERNATE WATERFRONT VIEW ACCESS IS PROVIDED THROUGH PUBLIC AMENITIES SUCH AS WATERFRONT TRAIL & EXPANDED WATERFRONT TRAIL CORRIDOR FACILITY FOR HORIZONTAL VIEW BLOCKAGE OF 70% UP TO HEIGHT OF 65'. SEE SHEET A11 AND A19.

TOTAL HORIZONTAL DISTANCE ALONG WEST BAY DRIVE = 926'

VIEW BLOCKAGE AND HEIGHT INCREASES INCLUDES EXPANDED WATERFRONT TRAIL CORRIDOR

BUILDING 1 VIEW BLOCKAGE =	104'
BUILDING 2 VIEW BLOCKAGE =	104'
BUILDING 3 VIEW BLOCKAGE =	106'
BUILDING 4 VIEW BLOCKAGE =	110'
BUILDING 5 VIEW BLOCKAGE =	104'
<b>TOTAL VIEW BLOCKAGE =</b>	<b>(57%) 532'</b>

REQUIRED VIEW CORRIDOR (OPEN SPACE) = (30%) 278'  
 PROVIDED OPEN SPACE = (43%) 394'

TOTAL HORIZONTAL DISTANCE ALONG EAST SHORELINE = 955'

VIEW BLOCKAGE AND HEIGHT INCREASES INCLUDES EXPANDED WATERFRONT TRAIL CORRIDOR

BUILDING 1 VIEW BLOCKAGE =	106'
BUILDING 2 VIEW BLOCKAGE =	106'
BUILDING 3 VIEW BLOCKAGE =	106'
BUILDING 4 VIEW BLOCKAGE =	110'
BUILDING 5 VIEW BLOCKAGE =	104'
<b>TOTAL VIEW BLOCKAGE =</b>	<b>(56%) 532'</b>

REQUIRED VIEW CORRIDOR (OPEN SPACE) = (30%) 287'  
 PROVIDED OPEN SPACE = (45%) 423'

**1 SITE PLAN- CONCEPT VIEW BLOCKAGE**

1" = 50'-0" 0' 25' 50' 100'



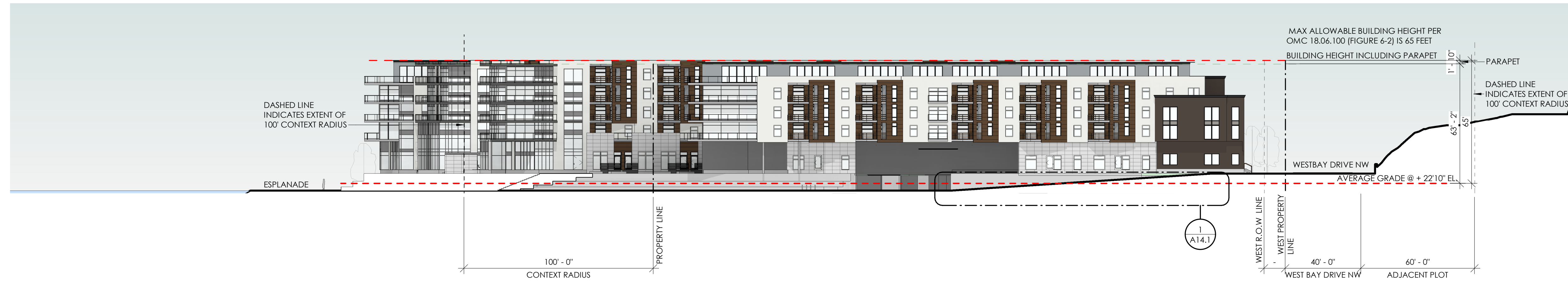
**VIEW BLOCKAGE & HEIGHT**

WEST BAY YARDS  
 LUXURY WATERFRONT LIVING  
 OLYMPIA

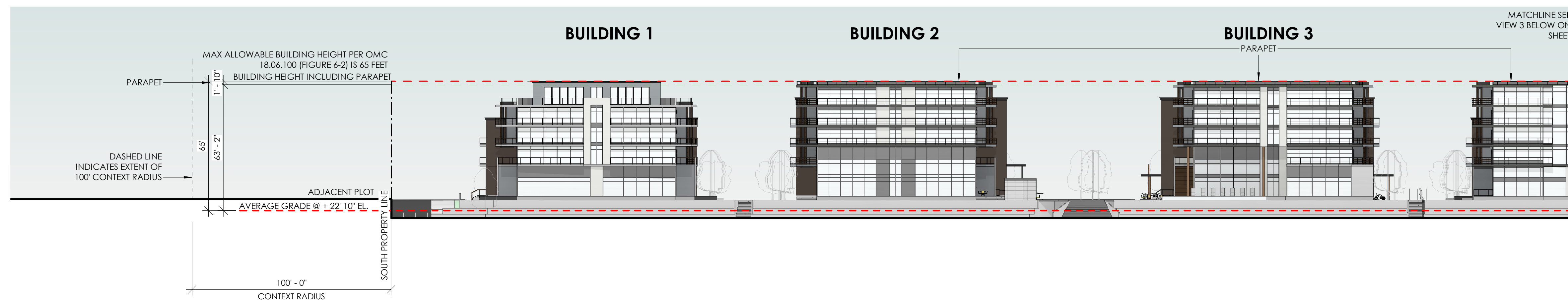
WEST BAY DRIVE | OLYMPIA, WA  
 SCHEMATIC DESIGN | 11/22/24

**A15**

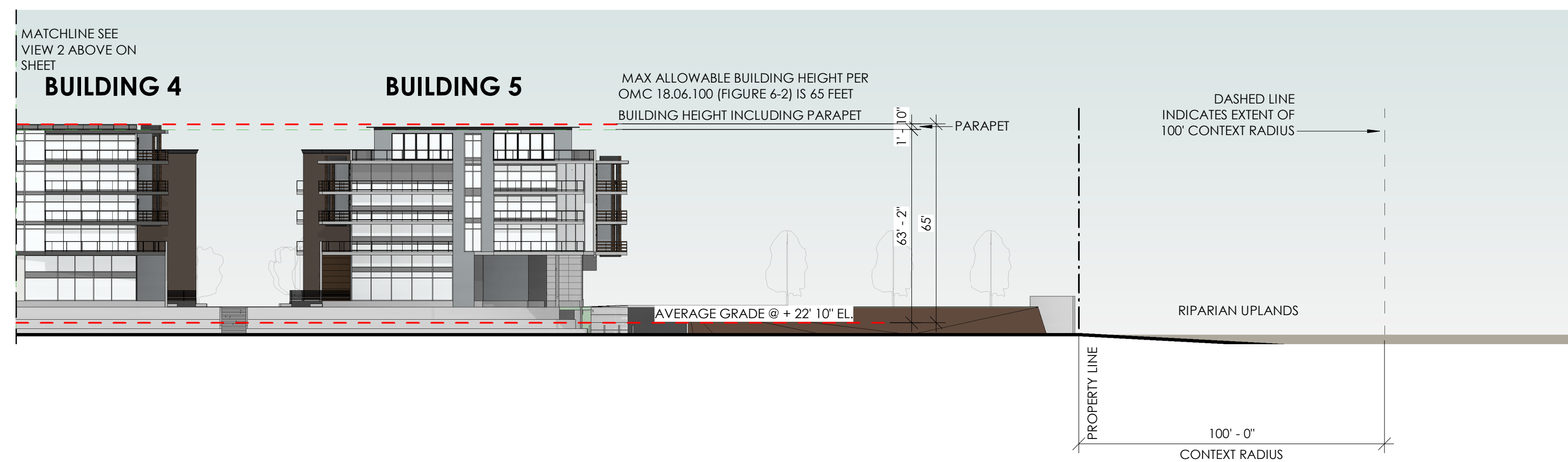




**1 NORTH ELEVATION - 100' CONTEXT**  
1/32" = 1'-0"



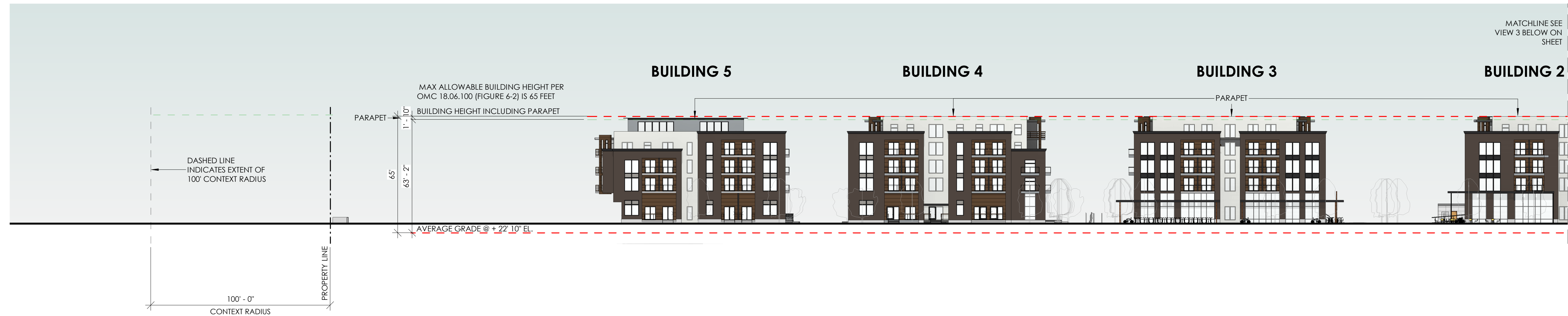
**2 EAST ELEVATION - 100' CONTEXT A**  
1/32" = 1'-0"



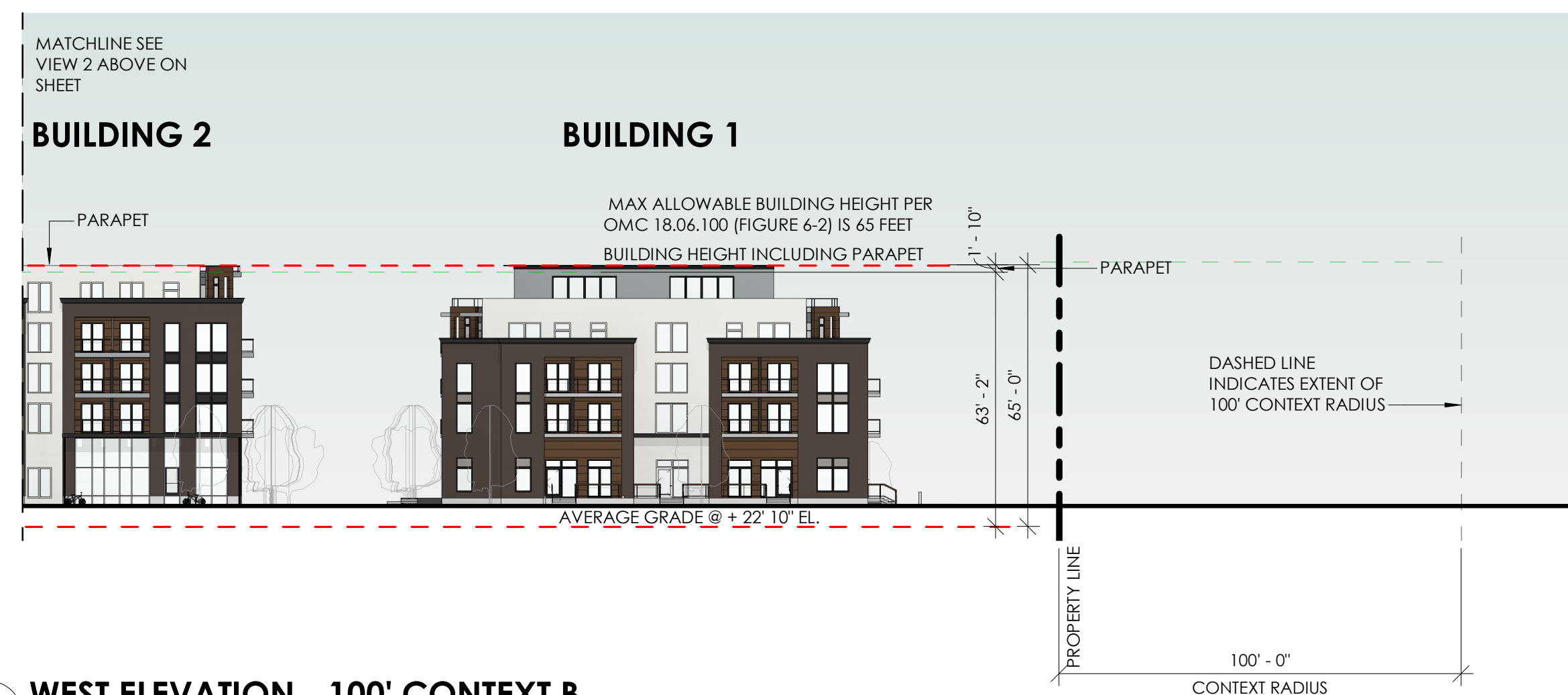
**3 EAST ELEVATION - 100' CONTEXT B**  
1/32" = 1'-0"



**1 SOUTH ELEVATION - 100' CONTEXT**  
 1/32" = 1'-0"



**2 WEST ELEVATION - 100' CONTEXT A**  
 1/32" = 1'-0"



**3 WEST ELEVATION - 100' CONTEXT B**  
 1/32" = 1'-0"



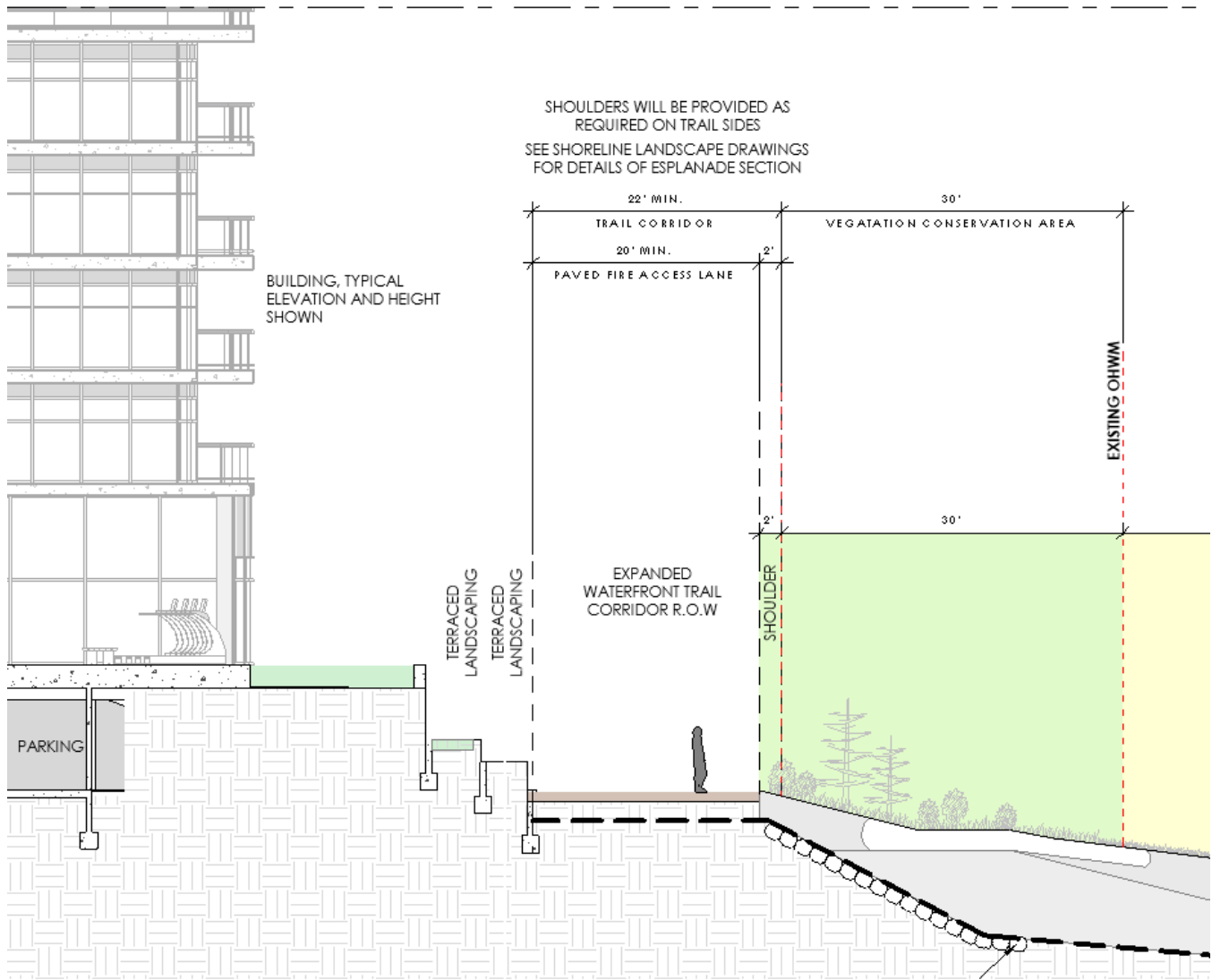
**IMAGE: WATERFRONT TRAIL CORRDIOR ALONG SHORELINE**

The expanded waterfront trail corridor is 22 feet wide which includes 2-foot shoulder, all dedicated as Right-of-way to the city for public use as per requirements [EDDS Table 13](#).

**Table 13: Trail and Shared-Use Path Design Standards**

Trail Class	Trail Width	Vertical Clearance	Surface Material*	Maximum Grades	Minimum Corridor Width	User
Commuter Multi-use	12 Feet + 2 Feet Grass Shoulder	10 Feet	2 Inch Asphalt 2 Inch CSTC 6 Inch Gravel Base	8% Maximum less than 5% recommended	22 Feet	High use commuter, bicycle, <a href="#">pedestrian</a>

20 feet of this is paved width as required for Fire access lane. See Figure below illustrating the same.



**Analysis of impacts:**

Environmental Impacts:

The trail corridor is located outside of the Vegetation Conservation Area to protect its sensitive vegetation area. All other project amenities are located outside of VCA except shoreline access pathways which are allowed without variance per OMC 18.20.493.

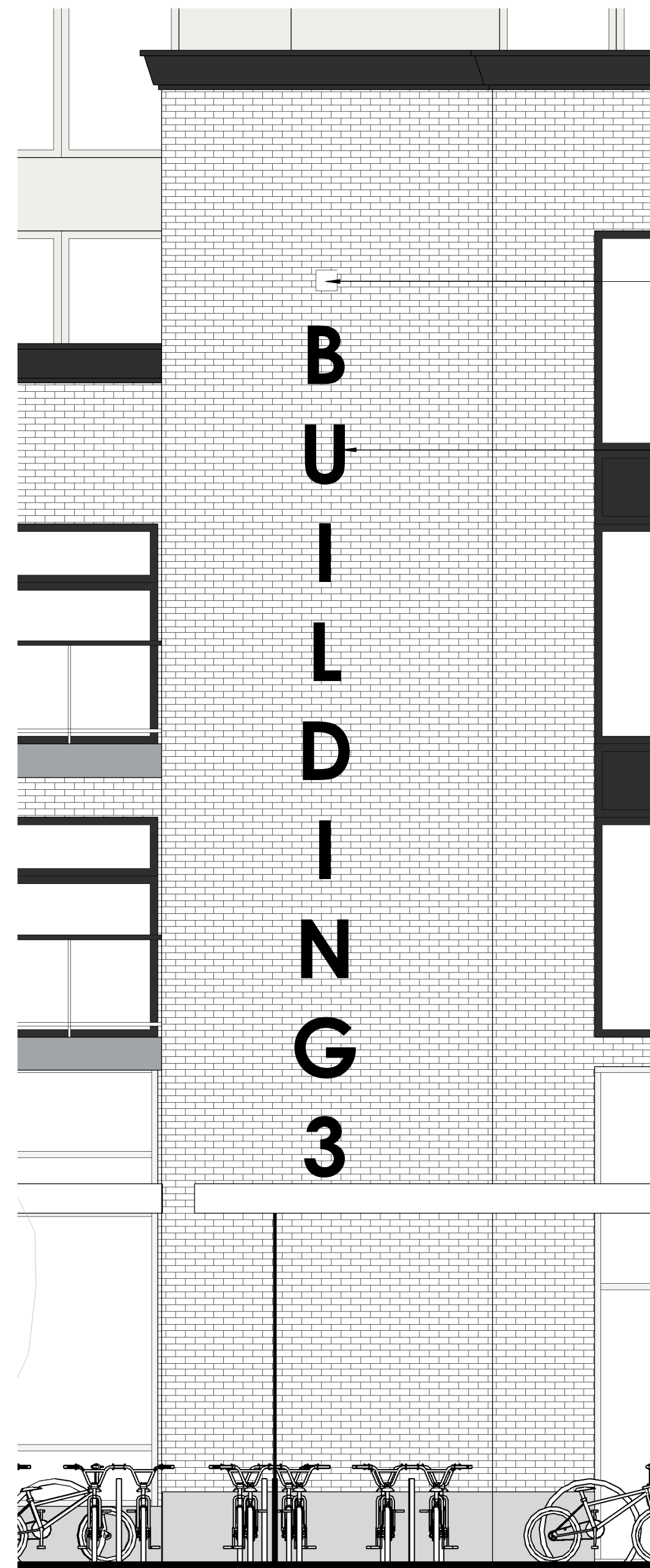


**IMAGE: WATERFRONT TRAIL WITH VEGETATION**

Hazardous Waste Risks: none

Trail Improvements: 100% Trail improvements consisting of providing an expanded trail per EDDS requirements at a location that previously had no trail system at all.

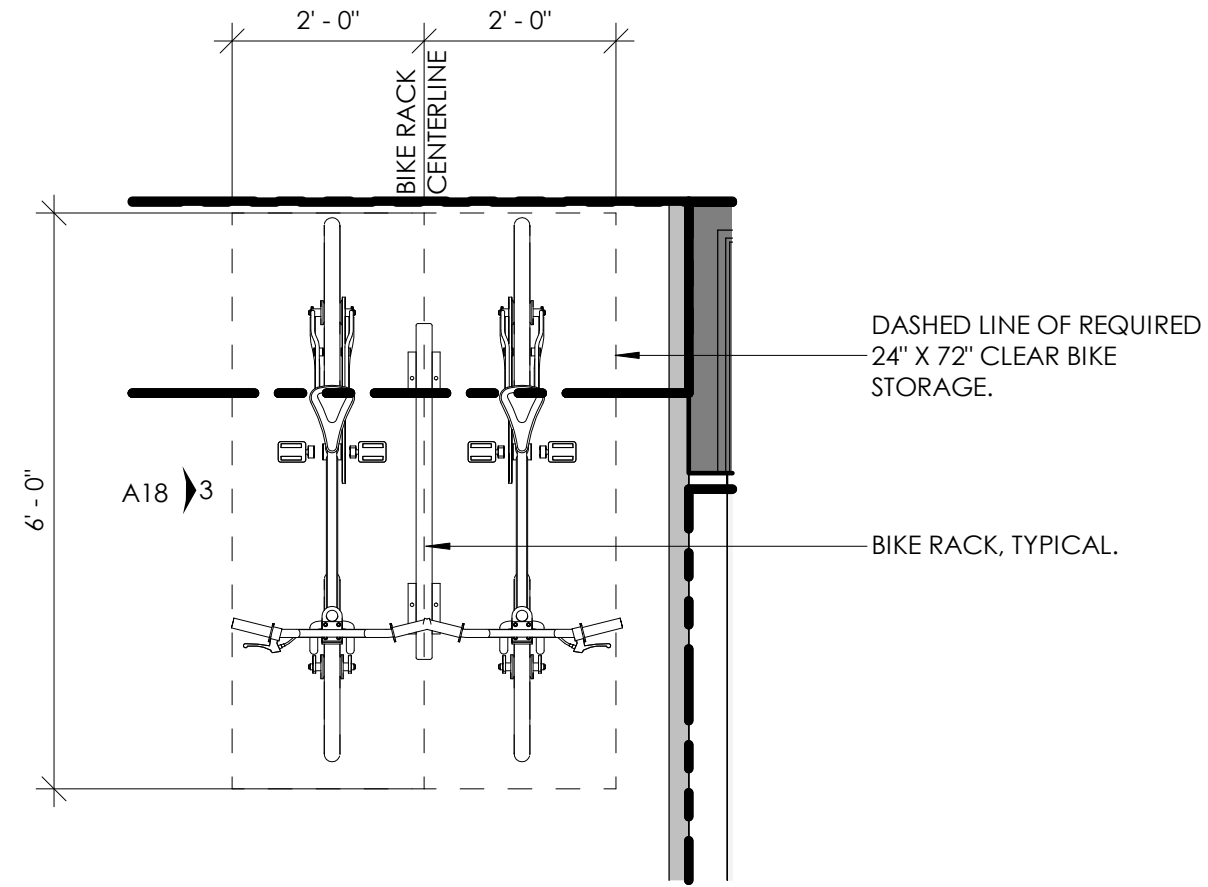
Engineering Issues: No issues for the trail running adjacent to the water have been identified. It has been designed to convey water either directly in the Bay or into catch basins. There are minimal utilities located under this area.



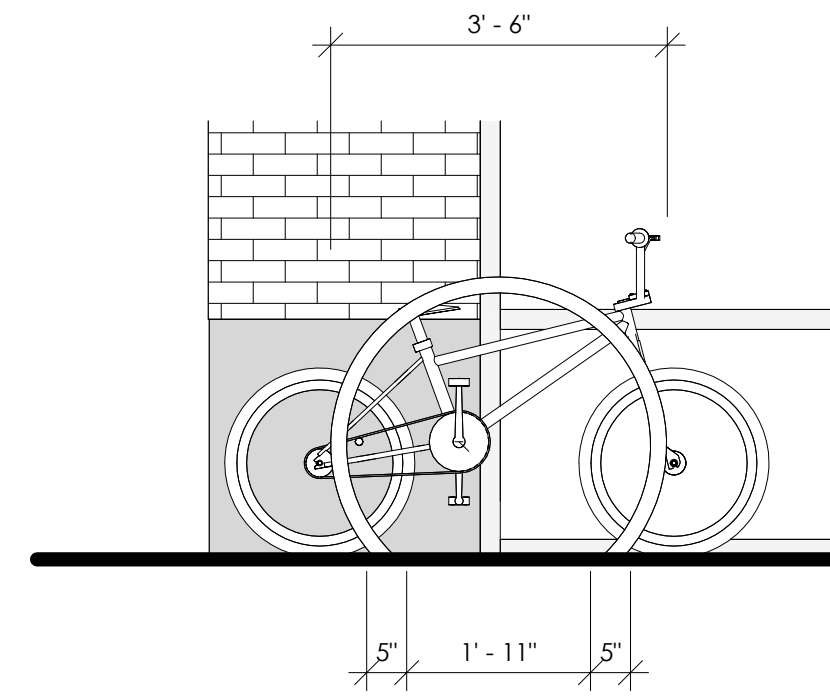
**1 BUILDING SIGNAGE**  
1/4" = 1'-0"

DOWN LIGHT FIXTURES

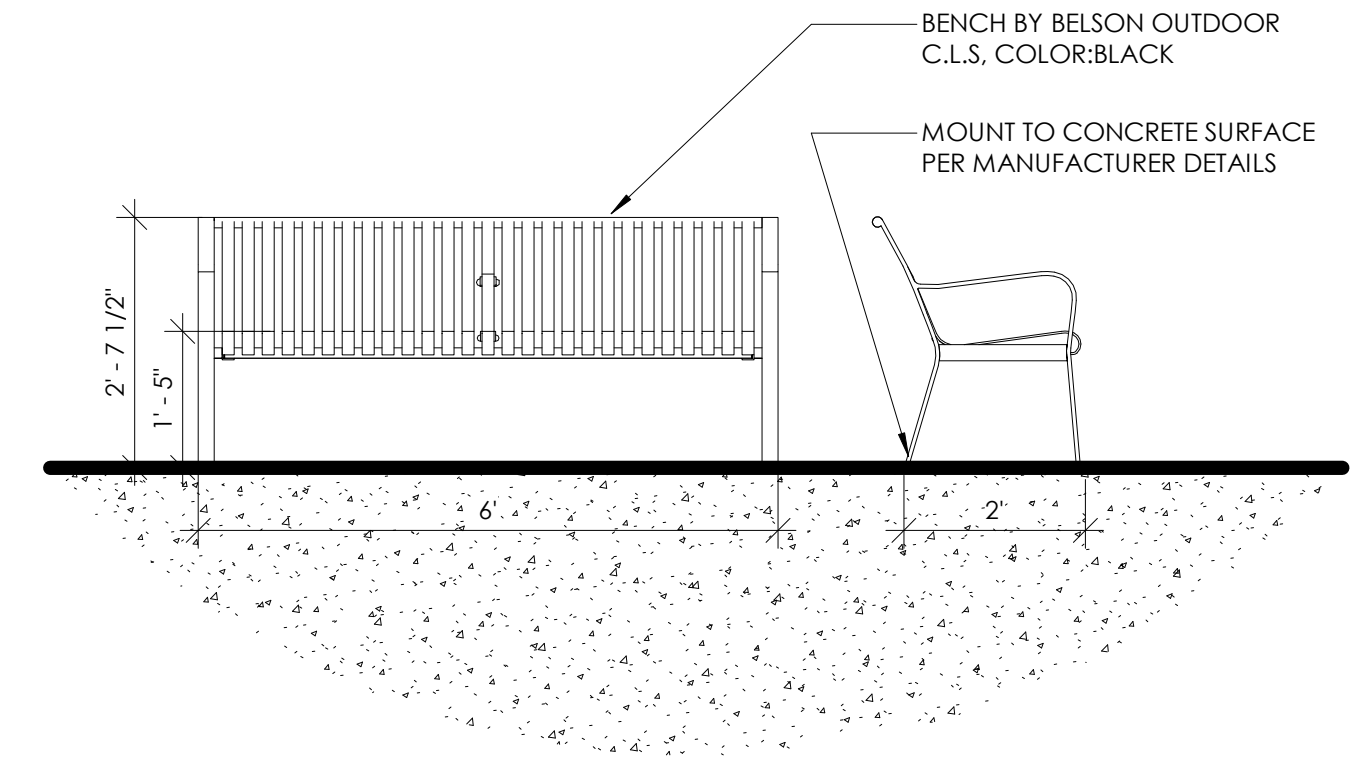
BLACK METAL LETTER SIGNAGE ON BRICK



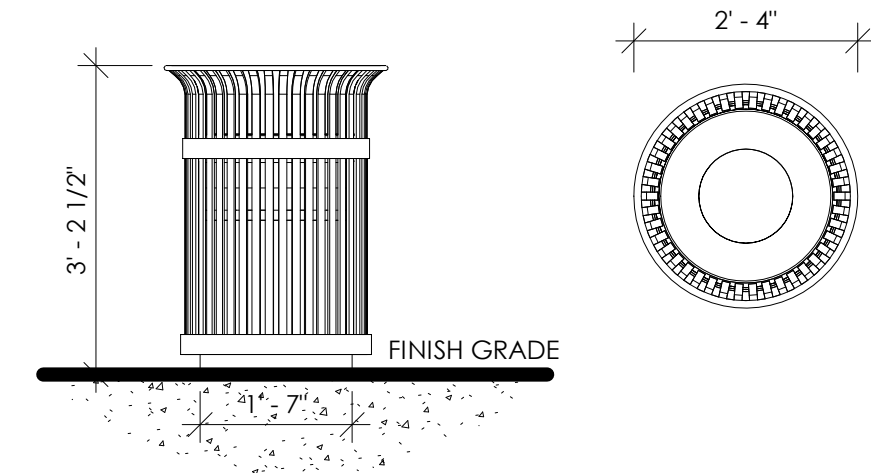
**2 SHORT TERM BIKE STORAGE - PLAN**  
1/2" = 1'-0"



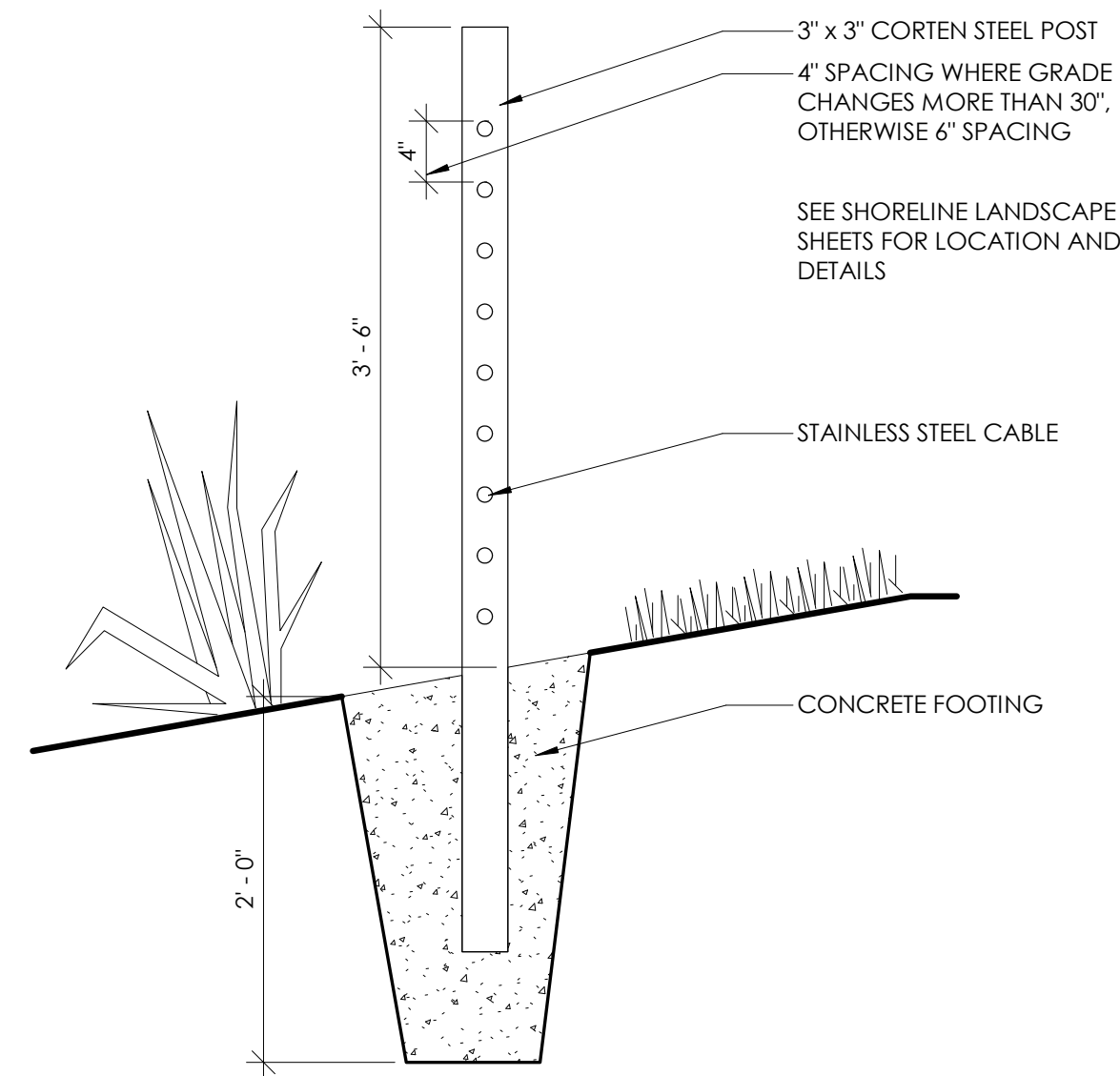
**3 SHORT TERM BIKE STORAGE - SIDE ELEVATION**  
1/2" = 1'-0"



**4 BENCH DETAIL**  
1/2" = 1'-0"









**6 SITE - GARBAGE RECEPTACLE**  
1/2" = 1'-0"



**7 FENCE DETAIL**  
1" = 1'-0"

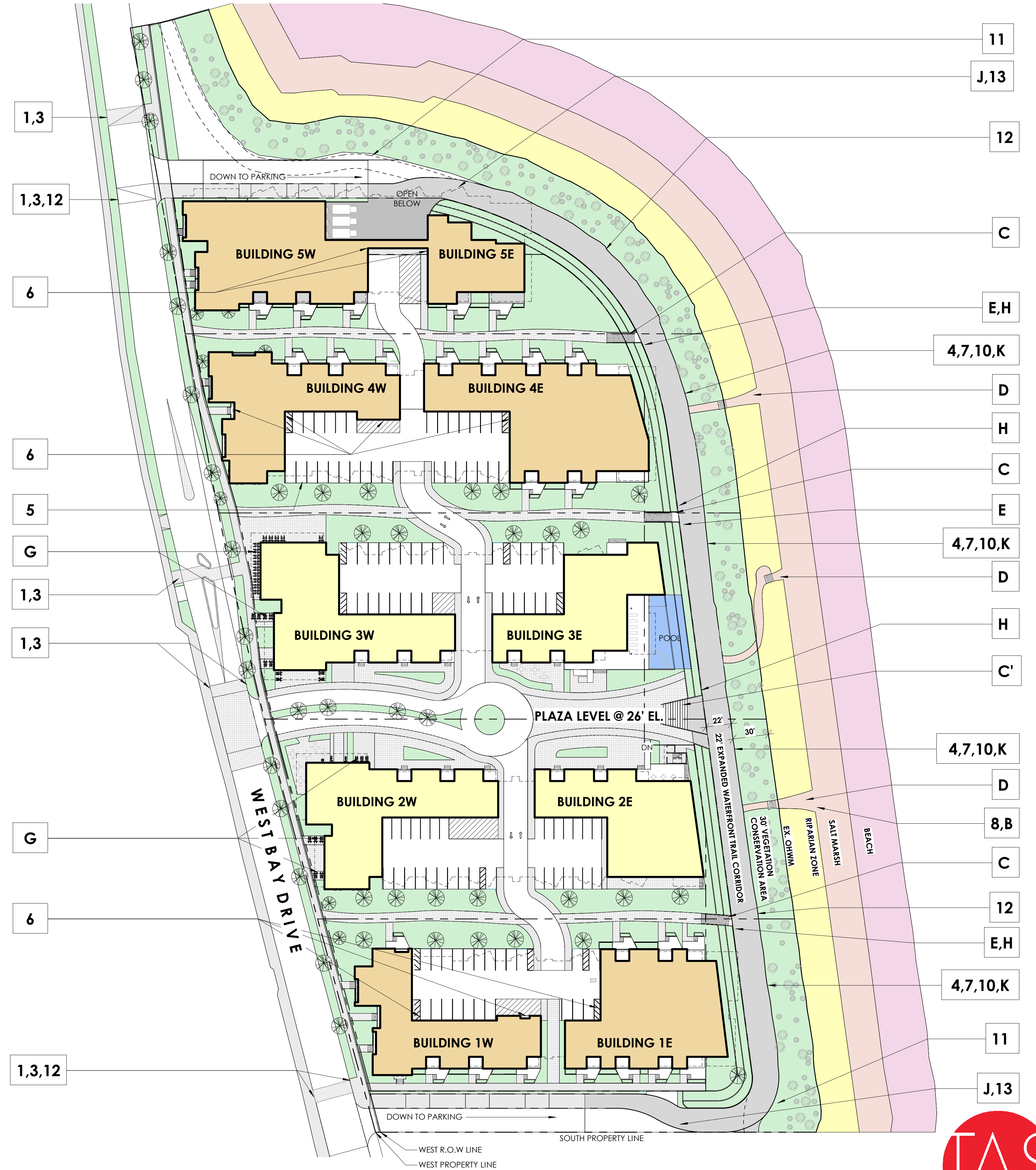
**SITE SIGNAGE LEGEND** TO BE IN COMPLIANCE WITH OMC 18.20.480

<p>1</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PEDESTRIAN SIGN, MUTCD SIGN DESIGNATION No. W11-2                  2. 30" DIAMOND                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND YELLOW BACKGROUND WITH BLACK TEXT.</p>	<p>6</p> 	<p>1. PRIVATE ACCESS - RESIDENTS ONLY                  2. 30" WIDE X 36" HIGH.                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH RED TEXT.</p>
<p>2</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LEFT TURN ONLY SIGN, MUTCD SIGN DESIGNATION No. R3-5.                  2. 30" WIDE X 36" HIGH.                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>	<p>7</p> 	<p>1. SENSITIVE RIPARIAN AREA - KEEP OUT.                  2. 10" WIDE X 14" HIGH RECTANGLE                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND RED/WHITE BACKGROUND WITH WHITE/RED TEXT.</p>
<p>3</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PEDESTRIAN CROSSWALK SIGN, MUTCD SIGN No. R9-8.                  2. 36" WIDE X 18 HIGH" RECTANGLE                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>	<p>8</p> 	<p>1. SMALL BOAT (KAYAK) LAUNCH.                  2. 12" WIDE X 18" HIGH RECTANGLE                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND BROWN BACKGROUND WITH WHITE TEXT.</p>
<p>4</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES NO PEDESTRIAN SIGN, MUTCD SIGN No. R5-10c.                  2. 36" WIDE X 18 HIGH" RECTANGLE                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>	<p>9</p> 	<p>1. WASHINGTON ELECTRICAL VEHICLE CHARGING STATION SIGN.                  2. 12" WIDE X 12" HIGH.                  3. REFLECTIVE HEAVY DUTY ALUMINUM, .63 MIL. WITH ROUNDED CORNERS, PAINTED WITH 3M INKS, ENGINEER GRADE MINIMUM. POLE MOUNTED. COLOR: GREEN BACKGROUND W/ WHITE SYMBOL AND TEXT.</p>
<p>5</p> 	<p>1. PARKING SIGN                  2. 18" WIDE X 24" HIGH RECTANGLE                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH GREEN TEXT.</p>	<p>10</p> 	<p>AT LOCATIONS OF SALT MARSH PLANTING. SEE NOTE K BELOW.                  1. RESTRICTED AREA                  2. 30" WIDE X 36" HIGH.                  3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>
<p>3'-0"</p> 	<p>INTERNATIONAL SYMBOL OF ACCESSIBILITY PER WAC 1101.2.6 WHITE SYMBOL ON A BLUE BACKGROUND</p>	<p>11</p> 	<p>13</p> 
		<p>12</p> 	

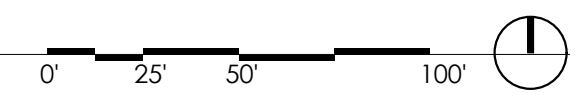
**SITE AMENITIES LEGEND**

NOTE: ALL AMENITIES ON SITE ARE OPEN FOR PUBLIC ACCESS EXCEPT FOR VEGETATION CONSERVATION AREA & RESIDENTIAL PORTIONS OF THE BUILDINGS SHOWN BY LEGENDS

<p>A ITEM REMOVED</p> <p>B KAYAK LAUNCH. LOCATED AT AREA WITH ADEQUATE WATER DEPTH FOR LAUNCH. ACCESSED THROUGH GRAVEL TRAIL</p> <p>C INTERMEDIATE STAIR PROVIDES PUBLIC CONNECTION TO WATERFRONT AND BEACH</p> <p>C' CENTRAL GRAND STAIR AS CONNECTION TO WATERFRONT AND BEACH</p>	<p>D PUBLIC ACCESS TO SHORELINE AS REQ. PER OMC 18.20.450.A.2 ; PEDESTRIAN ACCESS FROM UPLAND TO SHORELINE - ALLOWED WITHOUT VARIANCE PER OMC 18.20.493.A.2. SIGNAGE TO BE PROVIDED PER 18.20.450.1</p> <p>E PEDESTRIAN RESTING AREAS (SEAT WALLS). SEE SHORELINE LANDSCAPE</p> <p>F ITEM REMOVED</p>	<p>G SHORT TERM BIKE STORAGE</p> <p>H PEDESTRIAN BENCHES WILL BE PROVIDED ALONG PEDESTRIAN ROUTES</p> <p>I TRASH RECEPTACLE WILL BE PROVIDED ALONG PEDESTRIAN ROUTES</p> <p>J RETRACTABLE BOLLARDS FOR PEDESTRIAN SAFETY AT VEHICULAR ROUTE INTERSECTION, SEE A11 &amp; A12</p>	<p>K STEEL POST FENCE WITH STEEL CABLE TO PROTECT SENSITIVE VEGETATION PER 18.20.460.A.2. SEE LANDSCAPE PLANS FOR LOCATION &amp; DETAILS.</p> <p>PRIVATE RESIDENTIAL ACCESS ONLY BUILDINGS</p> <p>MIXED-USE BUILDINGS WITH PUBLIC ACCESS TO COMMERCIAL PROGRAMS AT PLAZA AND PRIVATE RESIDENTIAL ONLY ACCESS AT UPPER FLOORS</p>
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1 SITE PLAN- AMENITIES  
1" = 50'-0"



A19

