

WEST BAY YARDS DEVELOPMENT



PROJECT INFORMATION

West Bay Yards is a new five-building Multifamily housing development with two Mixed-use and three single-use Residential buildings on five separate parcels. Included in the 478-unit development are residential, commercial, recreational and business spaces spread across the site.

The proposal is for phased construction of the five buildings on top of an elevated public plaza that aligns with West Bay Drive street level, keeping habitable areas above projected flood plain. The elevated plaza has a central vehicular access point and three pedestrian access points - directly from West Bay Drive. The lower level parking and waterfront esplanade are accessed through pedestrian and vehicular ramps on North and South ends of the property. Over 800 parking spaces will be located both above and below the plaza level with a majority located below the average grade and tucked under overhead buildings, away from public view.

The development proposes pedestrian connectivity through an expanded waterfront trail corridor esplanade dedicated for public use. It runs North-South along the Eastern waterfront edge of the Plaza to offset view blockages caused by the buildings. The waterfront trail has accessible ramp connections back to West Bay drive. The spacious pedestrian courts between each of the building leads to a grand stair which descends to the waterfront esplanade maintaining visual connection to the shoreline. These amenities will be open to public use while ensuring privacy and security for the residential uses.

The construction of the buildings will take place in three phases. Phase 1 includes Mixed-use Buildings 2 and 3. Single-use Residential Buildings 4 & 5 will be developed in Phase 2; followed by Residential Building 1 in the last phase. Every phase will have abundant pedestrian plaza and amenities on all sides.

The development of the site will be undertaken in two phases. Phase 1 will include development of the shoreline, waterfront trail and partial frontage improvements - having accessible pedestrian, vehicular and fire access paths around the site with connections to West Bay drive. During this phase all the required utilities for Building 2 and 3 with infrastructure for future buildings will be laid. In Phase 2 all utilities and amenities required for the five buildings will be completed.

The shared-use esplanade, the 30' Vegetation Conservation Area (VCA) and secured riparian zones maintain the balance required between new construction and native ecosystems around the site.

MODEL CODE : 2018 IBC, 2020 OMC
OCCUPANCY TYPE : 2 MIXED-USE BUILDINGS AND 3 SINGLE-USE RESIDENTIAL BUILDINGS
NUMBER OF STORIES : 5 STORIES OVER LOWER-LEVEL PARKING
BUILDING HEIGHT : 65' INCLUDING PARAPET (MAX. ALLOWABLE PER OMC)

OLYMPIA MUNICIPAL CODE (OMC) 2020
 PER OMC 2020 DESIGN REVIEW MAP, SITE IS LOCATED IN INFILL REGULATION AND WESTBAY DRIVE DISTRICT.
 PER CH.18 FIG 6-2, SITE IS LOCATED IN **UW 42-65 HT. LIMIT ZONE**.
 PER CITY OF OLYMPIA SHORELINE MAP, SITE IS LOCATED IN **URBAN INTENSITY CORRIDOR**.
 PER TABLE 6.2- DEVELOPMENT STANDARDS, SHORELINE REACH IS IN **BUDD - 3A** SUBJECT TO WESTBAY DRIVE REGULATIONS.
18.06.100 COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS-SPECIFIC
 FOR BUILDINGS BLOCKING UPTO 70% OF VIEW BLOCKAGE TO A HEIGHT OF 65 FEET, AMENITIES FOR BOTH WATERFRONT TRAIL AND EXPANDED WATERFRONT TRAIL CORRIDOR FACILITY SHOULD BE PROVIDED.

PER CHAPTER 18.06.020 COMMERCIAL DISTRICTS PURPOSES B.4. **URBAN WATERFRONT (UW)** DISTRICT. THIS DISTRICT IS INTENDED TO:
 • INTEGRATE **MULTIPLE LAND USES**
 • ENCOURAGE HIGH-AMENITY **RECREATION**, TOURIST-ORIENTED AND **COMMERCIAL DEVELOPMENT** WHICH WILL ENHANCE **PUBLIC ACCESS AND USE OF THE SHORELINE**.
 • **PROTECTS VIEWS** OF BUDD INLET, THE OLYMPICS, MT. RAINIER, AND THE CAPITOL, AND PRESERVES A SENSE OF OPENNESS ON THE WATERFRONT.
 • ENCOURAGE WATER-DEPENDENT AND **WATER-RELATED DEVELOPMENT** (AS DEFINED IN THE SHORELINE MASTER PROGRAM FOR THE THURSTON REGION)
 • PROVIDE **SHORELINE PUBLIC ACCESS** TO SIGNIFICANT NUMBERS OF THE POPULATION.

SITE INFORMATION

PARCEL NO.: 72600200101, 72600200102, 72600200103, 72600200104, 72600200105
ZONING: UW (URBAN WATERFRONT)
JURISDICTION: CITY OF OLYMPIA
LOT AREA: 19.48 ACRES (TOTAL PARCEL AREA PER SURVEY)
SITE ADDRESS: 1210 WEST BAY DRIVE NW
 OLYMPIA, WA 98502
SITE AREA: SEE TABLES IN SHEET A6.1
BUILDING AREA: SEE TABLES IN SHEET A6.1 (BUILDING COVERAGE)
OPEN SPACE AREA: SEE TABLES IN SHEET A6.1 (BUILDING COVERAGE)

DESIGN TEAM

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ABBREVIATIONS

ADA	AMERICANS WITH DISABILITY
AFF	ABOVE FINISHED FLOOR
BLA	BOUNDARY LINE ADJUSTMENT
C	COMPACT PARKING STALL
CLR	CLEAR
CONC	CONCRETE
CONT	CONTINUOUS
CY	CUBIC YARD
DF	DOUGLAS FIR
DIA	DIAMETER
DN	DOWN
DTL(S)	DETAIL(S)
EA	EACH
EDDS	ENGINEERING DESIGN & DEVELOPMENT STANDARDS
EL	ELEVATION LEVEL
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EQ	EQUAL
EX	EXISTING
EXT	EXTERIOR
FE	FIRE EXTINGUISHER
FF	FINISHED FLOOR
FFE	FINISHED FLOOR ELEVATION
FFL	FINISHED FLOOR LEVEL
FSD	FIRE SEPARATION DISTANCE
FT	FOOT/FEET
GEN	GENERAL
HB	HOSE BIBB
HORIZ	HORIZONTAL
HR	HOUR
HTL	HIGH TIDE LINE
IBC	INTERNATIONAL BUILDING CODE
IN	INCH
ISA	INTERNATIONAL SYMBOL OF ACCESS
LVL	LEVEL
MAX	MAXIMUM
MHWM	MEAN HIGH WATER MARK
MIN	MINIMUM
MISC	MISCELLANEOUS
(N)	NEW
NA	NOT APPLICABLE
NAVD88	NORTH AMERICAN VERTICAL DATUM OF 1988
NTS	NOT TO SCALE
OPP	OPPOSITE
OHWM	ORDINARY HIGH WATER MARK
OMC	OLYMPIA MUNICIPAL CODE
PT	POST TENSIONED (CONCRETE SLAB/DECK)
R	RISER
RM	ROOM
ROW	RIGHT-OF-WAY
SCUP	SHORELINE CONDITIONAL USE PERMIT
SF	SQUARE FOOT/FEET
SI	SQUARE INCH
SIM	SIMILAR
SMP	SHORELINE MASTER PROGRAM (PER OMC)
SQ	SQUARE
TBD	TO BE DETERMINED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCA	VEGETATION CONSERVATION AREA
W/	WITH
WSEC	WASHINGTON STATE ENERGY CODE

SHEET LIST

SHEET NUMBER	SHEET NAME
A1	PROJECT INFORMATION
A2	CONTEXT SITE PLAN
A3	CONTEXT ELEVATIONS
A4	CONTEXT ELEVATIONS
A5	CONTEXT IMAGES
A6.1	SITE PLAN
A6.2	AVERAGE GRADE
A6.3	SITE COVERAGE
A7	SITE PHASING - PLAN
A8	BUILDING PHASING - SECTION
A9	BUILDING PHASING - AXON
A10	BUILDING PHASING - PLAN
A11	PEDESTRIAN ROUTE
A12	VEHICULAR ROUTE
A13	FIRE ACCESS ROUTE
A14.1	SITE SECTION- NORTH ACCESS
A14.2	SITE SECTION- SOUTH ACCESS
A15	VIEW BLOCKAGE & HEIGHT
A16	VIEW STUDY
A17	VIEW STUDY
A18	SITE FEATURES
A19	SITE SIGNAGE & AMENITIES
A20	SOLID WASTE
A21	SITE PLAN - R.O.W & PARCELS
A22	SITE PLAN - BUILDING 1
A23	SITE PLAN - BUILDING 2
A24	SITE PLAN - BUILDING 3
A25	SITE PLAN - BUILDING 4
A26	SITE PLAN - BUILDING 5
A27	BUILDING SEPARATION
A28	SITE PLAN - KEY WATER LEVELS
A29	SHORELINE SECTION
A30	BUILDING PLAN
A31	BUILDING PLAN
A32	BUILDING PLAN
A33	BUILDING ELEVATIONS - BUILDING 1
A34	BUILDING ELEVATIONS - BUILDING 1
A35	BUILDING ELEVATIONS - BUILDING 2
A36	BUILDING ELEVATIONS - BUILDING 2
A37	BUILDING ELEVATIONS - BUILDING 3
A38	BUILDING ELEVATIONS - BUILDING 3
A39	BUILDING ELEVATIONS - BUILDING 4
A40	BUILDING ELEVATIONS - BUILDING 4
A41	BUILDING ELEVATIONS - BUILDING 5
A42	BUILDING ELEVATIONS - BUILDING 5
A43	SITE & BUILDING LIGHTING
A44	PERSPECTIVES



WEST BAY YARDS
 LUXURY WATERFRONT LIVING
 OLYMPIA

PROJECT INFORMATION

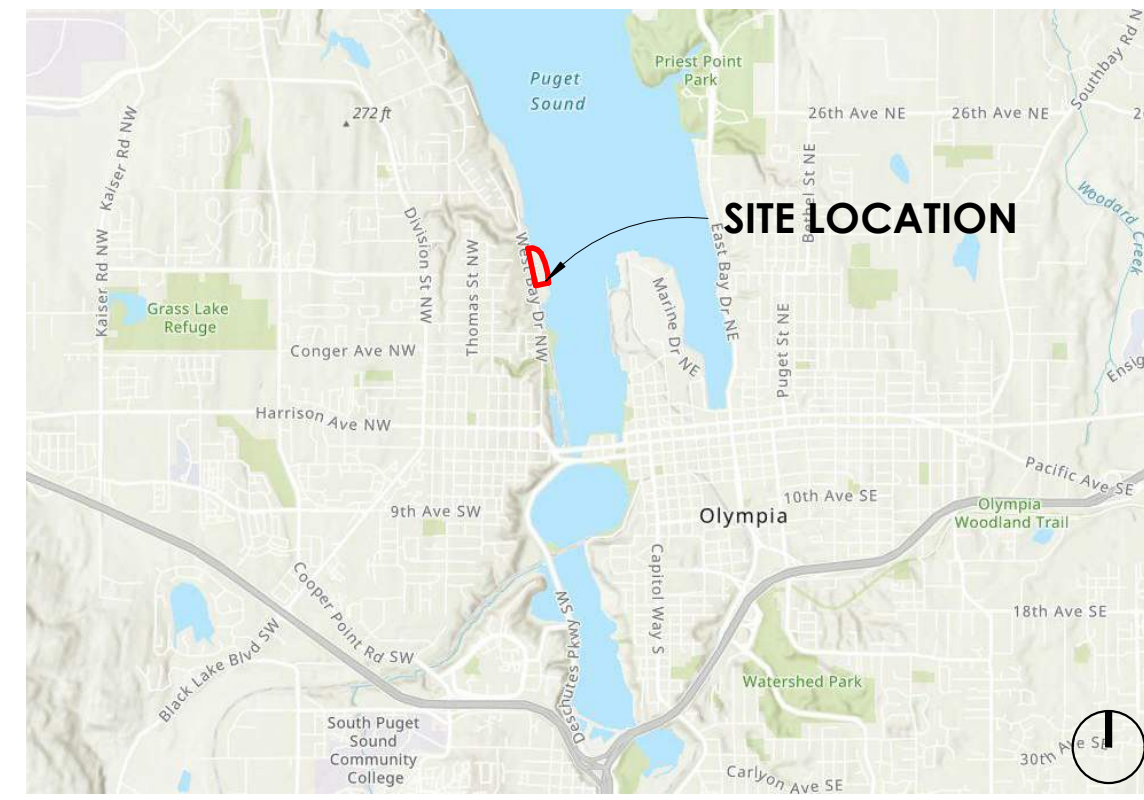
WEST BAY DRIVE | OLYMPIA, WA
 SCHEMATIC DESIGN | 07/25/25

A1



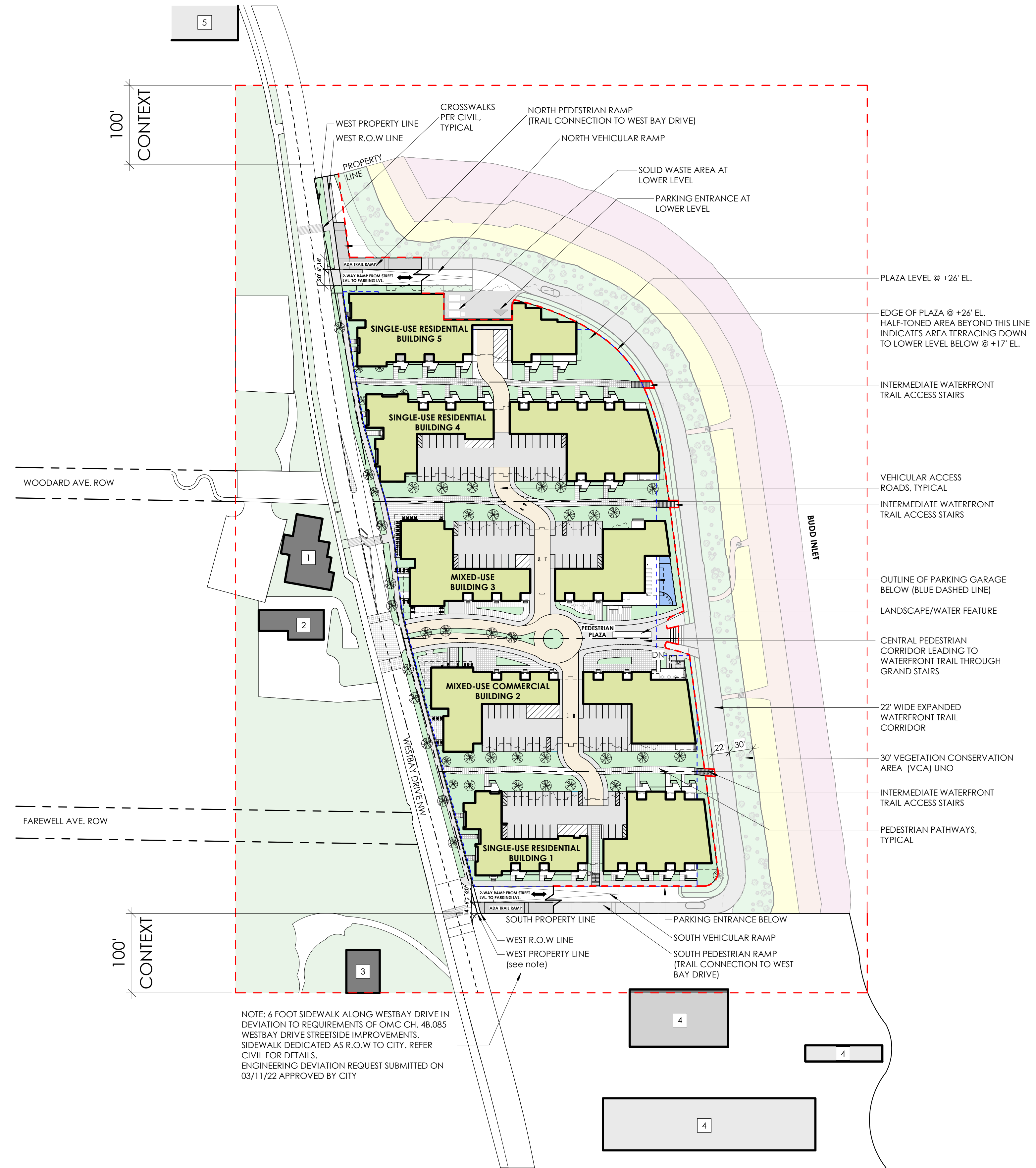
THOMAS
 architecture studios

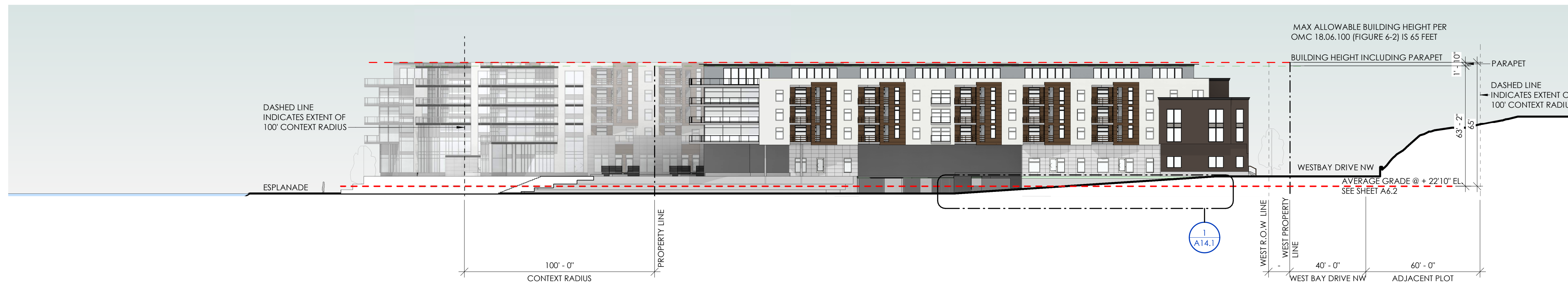
VICINITY MAP - SITE LOCATION



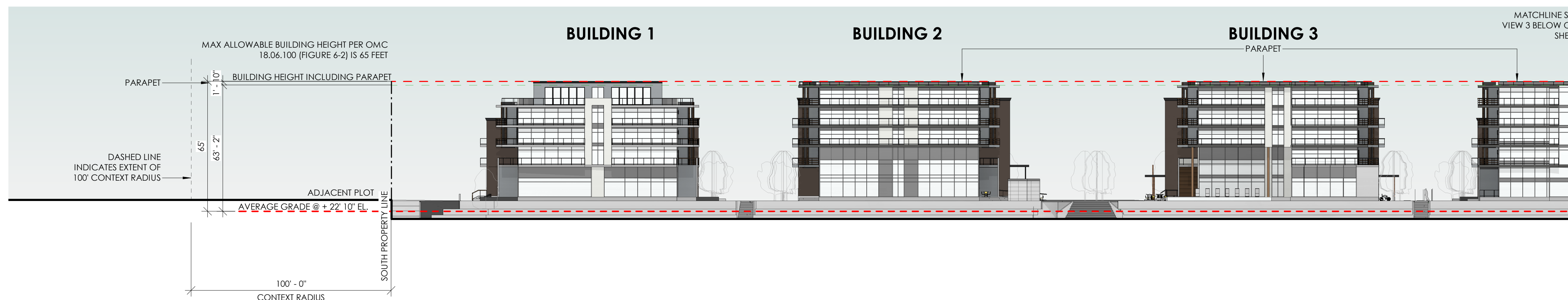
SITE LEGEND CONTEXT 100'

- PROPERTY LINE
- - - - DASHED LINE INDICATES BUILDING ABOVE, TYPICAL.
- - - - 100' CONTEXT EXTENT
- FOOTPRINT OF PROJECT STRUCTURE AT STREET LEVEL
- EXISTING ADJACENT BUILDINGS
- NEW LANDSCAPE (PERVIOUS) - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION
- EXISTING LANDSCAPE
- NEW STANDARD DUTY CONCRETE (IMPERVIOUS), SEE CIVIL
- NEW STAMPED CONCRETE HARDSCAPE (IMPERVIOUS)
- EXISTING SIDEWALK & ROADS
- POOL
- LOADING ZONES
- 1 PHILIP KRATZ LAW OFFICE
- 2 SUNSET INSURANCE
- 3 PRIVATE RESIDENCE
- 4 ADJACENT ABANDONED STRUCTURES
- 5 CREDIT RESOURCES OF WASHINGTON & DWS INVESTMENTS

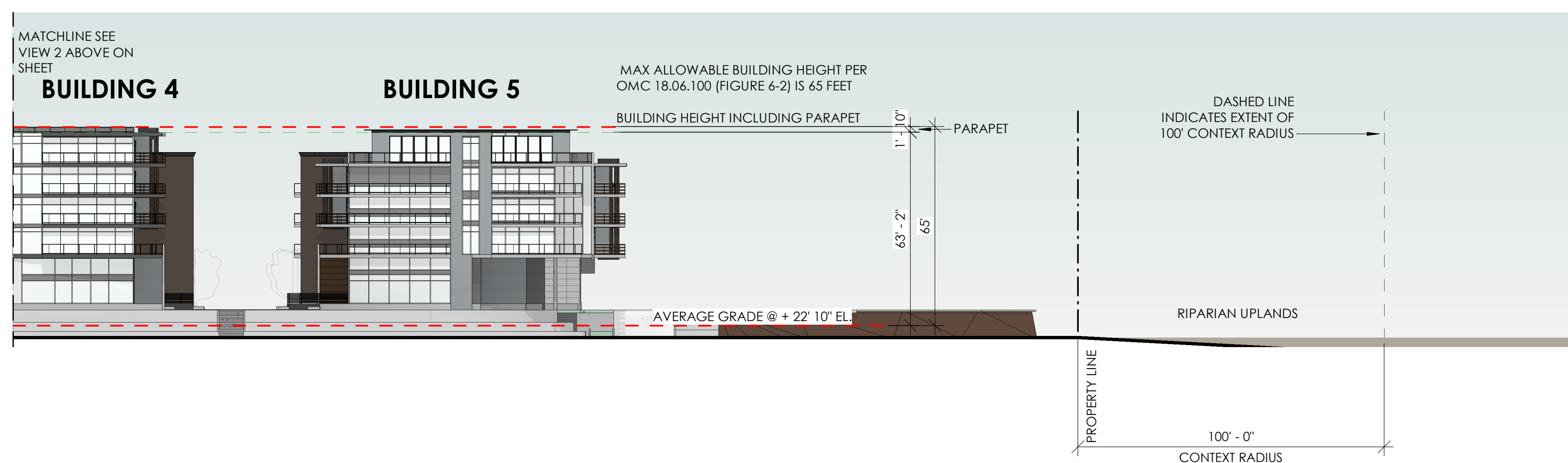




1 NORTH ELEVATION - 100' CONTEXT
1/32" = 1'-0"



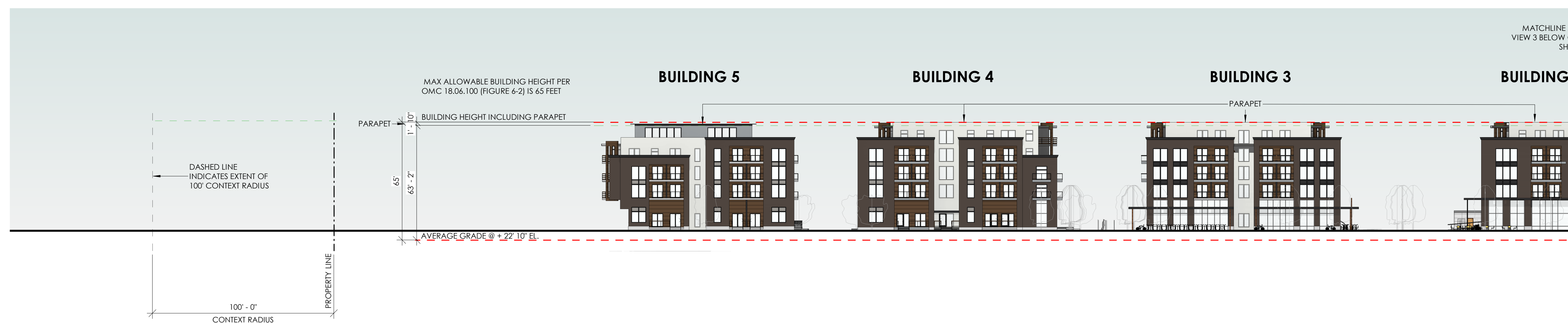
2 EAST ELEVATION - 100' CONTEXT A
1/32" = 1'-0"



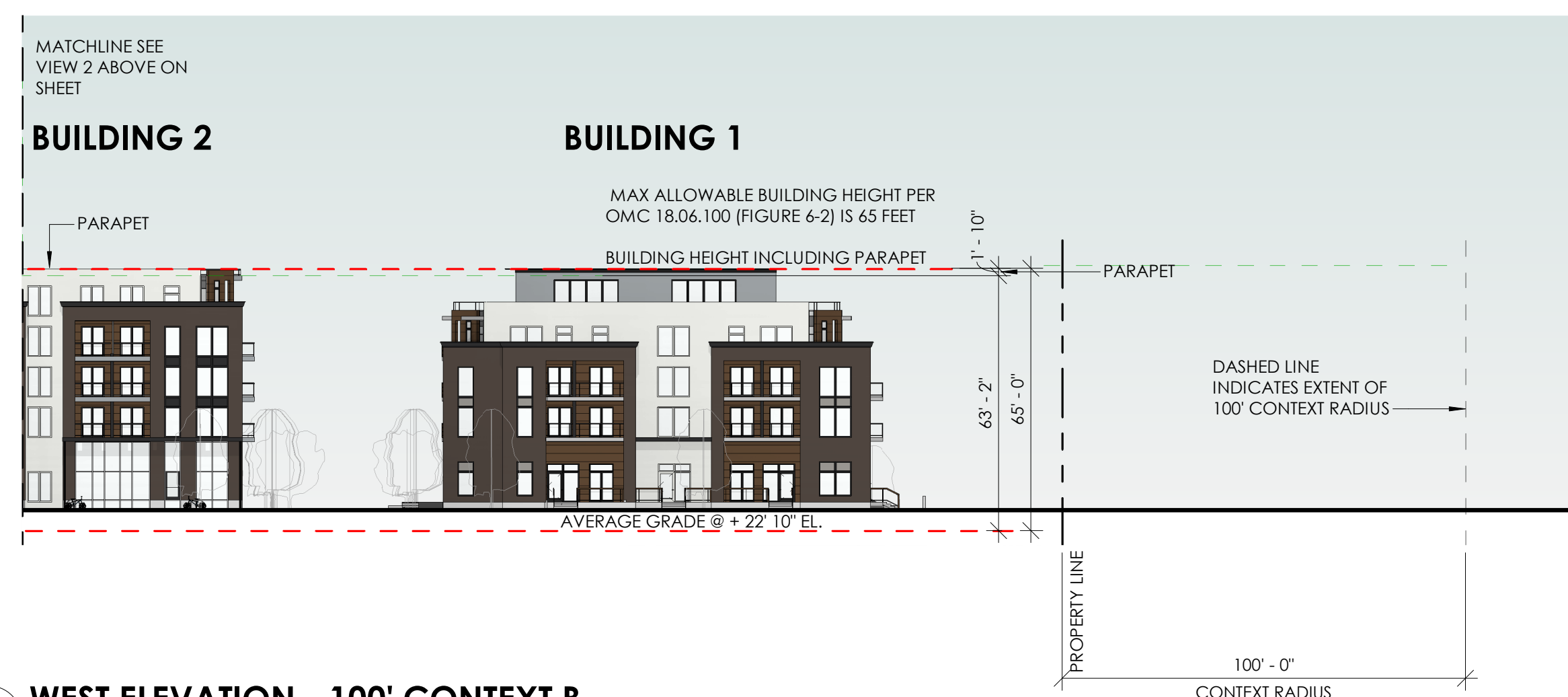
3 EAST ELEVATION - 100' CONTEXT B
1/32" = 1'-0"



1 SOUTH ELEVATION - 100' CONTEXT
1/32" = 1'-0"



2 WEST ELEVATION - 100' CONTEXT A
1/32" = 1'-0"



3 WEST ELEVATION - 100' CONTEXT B
1/32" = 1'-0"





LOOKING NORTHEAST TOWARDS OLYMPIC MOUNTAINS



LOOKING EAST TOWARDS PORT OF OLYMPIA



LOOKING SOUTHEAST TOWARDS DOWNTOWN & CAPITOL DOME



LOOKING NORTHWEST TOWARDS EXISTING OFFICE BUILDING



LOOKING WEST TOWARDS EXISTING OFFICE BUILDINGS



LOOKING SOUTHWEST TOWARDS EXISTING RESIDENCE



EXISTING ADJACENT ABANDONED STRUCTURE LOCATED SOUTH OF SITE



EXISTING ADJACENT ABANDONED STRUCTURE LOCATED SOUTH OF SITE



VIEW FROM WOODARD AVE NW DRIVEWAY

SITE INFORMATION

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 SITE ADDRESS: 1210 WEST BAY DRIVE NW OLYMPIA, WA 98502
 SITE AREA: SEE TABLES IN SHEET A6.1
 BUILDING AREA: SEE TABLES IN SHEET A6.1 (BUILDING COVERAGE)
 OPEN SPACE AREA: SEE TABLES IN SHEET A6.1 (BUILDING COVERAGE)

LOT AREAS

SEE SURVEY FOR RECORDED PARCEL AREAS AND SHEET A6.3 FOR DETAILS

SITE REGION	AREA	NO.	DESCRIPTION
LOWER LEVEL COVERAGE	236,601 SF	1	PARKING GARAGE BELOW OVERHEAD BUILDING BEYOND PARKING FOOTPRINT
OVERHEAD COVERAGE	13,495 SF	2	LOWER LEVEL+PLAZA COVERAGE
TOTAL BUILDING COVERAGE	250,148 SF	3	LANDSCAPED AREA ON PLAZA
VEGETATED ROOF	43,627 SF	4	2 FEET OF OVERHEAD EAVES
OPEN SPACE	5,875 SF	5	AREA w/in EX. OHWM LINE
LOT AREA	350,554 SF	6	

***TOTAL BUILDING COVERAGE**

Building Area includes hardscape on Plaza and Open Area includes Vegetated Roof over parking garage/Plaza per Parcel

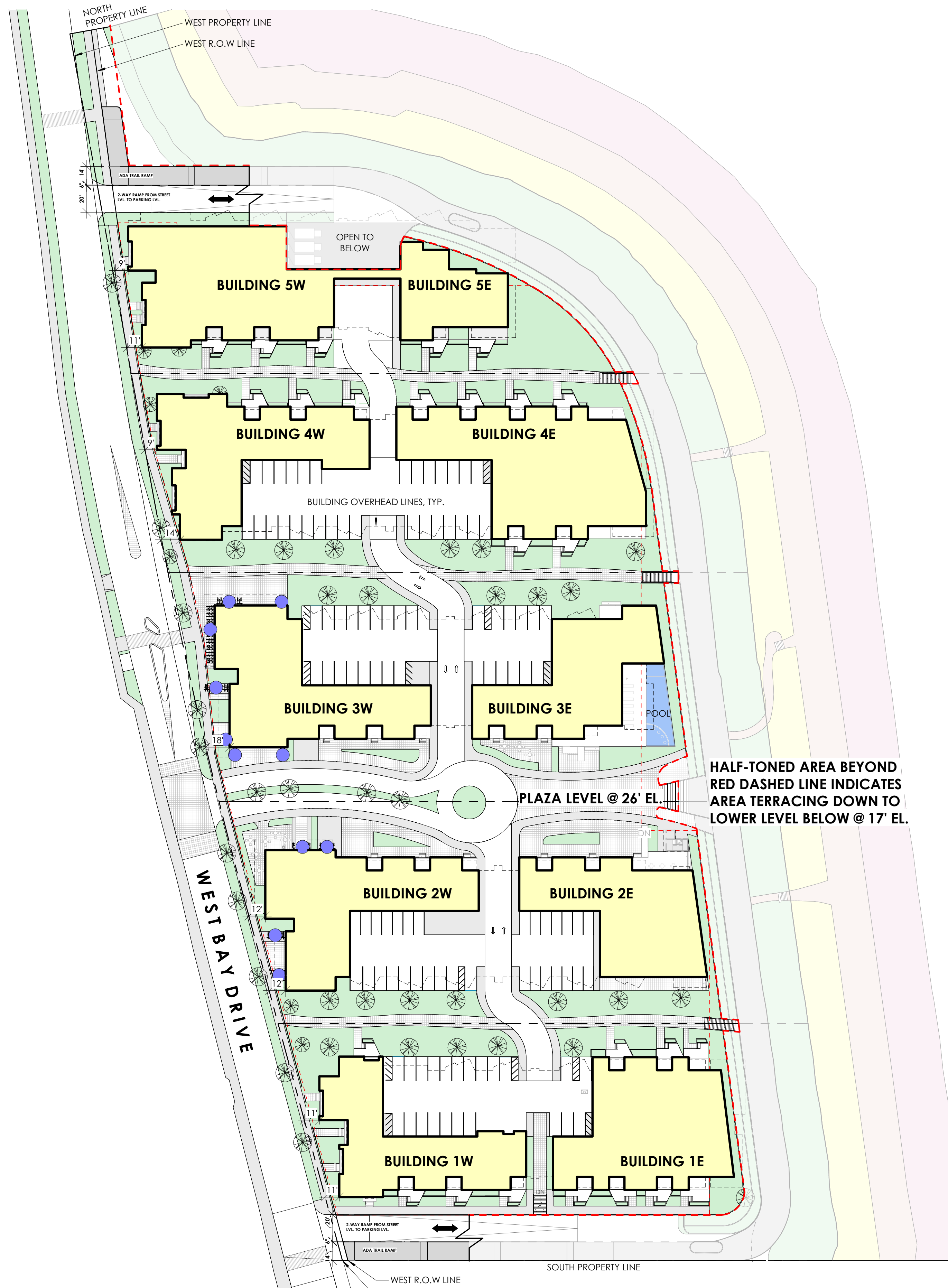
INCLUDES	TYPE	Area	% OF TOTAL SITE
BUILDING 1	BUILDING	34,337 SF	9.8%
BUILDING 2	BUILDING	46,195 SF	13.2%
BUILDING 3	BUILDING	48,233 SF	13.8%
BUILDING 4	BUILDING	42,322 SF	12.1%
BUILDING 5	BUILDING	29,559 SF	8.4%
BUILDING		200,646 SF	57.2%
TOTAL BUILDING COVERAGE			
BUILDING 1 OPEN SPACE	OPEN SPACE	34,810 SF	9.9%
BUILDING 2 OPEN SPACE	OPEN SPACE	22,374 SF	6.4%
BUILDING 3 OPEN SPACE	OPEN SPACE	25,785 SF	7.4%
BUILDING 4 OPEN SPACE	OPEN SPACE	23,504 SF	6.7%
BUILDING 5 OPEN SPACE	OPEN SPACE	43,434 SF	12.4%
OPEN SPACE		149,908 SF	42.8%
TOTAL SITE AREA		350,553 SF	100.0%

BUILDING INFORMATION

BUILDING	AREA	UNIT COUNT	COMMERCIAL AREA
BUILDING 1	129,349 SF	97	0 SF
BUILDING 2	158,359 SF	85	16,587 SF
BUILDING 3	164,854 SF	84	4,378 SF
BUILDING 4	188,695 SF	126	0 SF
BUILDING 5	116,726 SF	86	0 SF
Grand total	757,982 SF	478	20,965 SF

SITE USAGE

PER OMC DEFINITIONS 18.02.180:
***COVERAGE, BUILDING:** THE PORTION OF A LOT COVERED BY THE PRINCIPAL AND ACCESSORY BUILDING FLOOR AREA INCLUDING ALL AREAS COVERED BY A WEATHER-TIGHT ROOF, EXCLUDING TWO FEET OF EAVES.
COVERAGE, IMPERVIOUS: THE AREA WHICH IS OCCUPIED OR COVERED BY ALL IMPERVIOUS SURFACES INCLUDING TOTAL HORIZONTAL SURFACE OF ALL BUILDINGS, EXCEPT 2' OF EAVES.
VEGETATED ROOF: A ROOF DESIGNED AND CONSTRUCTED TO SUPPORT, AND THAT DOES SUPPORT, LIVING VEGETATION WITH AT LEAST THREE INCHES OF ENGINEERED SOIL. SEE GRAPHICS ON SHEET A6.3
LOT OCCUPANCY: PER 2020 OMC 18.06.080 : TABLE 6.02 FOR URBAN WATERFRONT, MAX ALLOWABLE IMPERVIOUS SURFACE COVERAGE =100% . MAX. ALLOWABLE BUILDING COVERAGE= 60%.
PROPOSED SITE: SEE TABLES ON SHEET A6.1 FOR
 • BUILDING COVERAGE PERCENT PER PARCEL
 • LANDSCAPE (PERVIOUS) AREA - INCLUDED IN BUILDING OPEN SPACE
 • BUILDING (IMPERVIOUS) AREA - INCLUDES PLAZA HARDSCAPE
 PARCEL LINES PER BOUNDARY LINE ADJUSTMENT (BLA) DRAWING SUBMITTED BY MTN2COAST TO CITY DATED 05/10/2023.



SITE BIKE PARKING

- LOCATION OF COVERED SHORT TERM BIKE PARKING
- LOCATION OF INDOOR LONG TERM BIKE PARKING

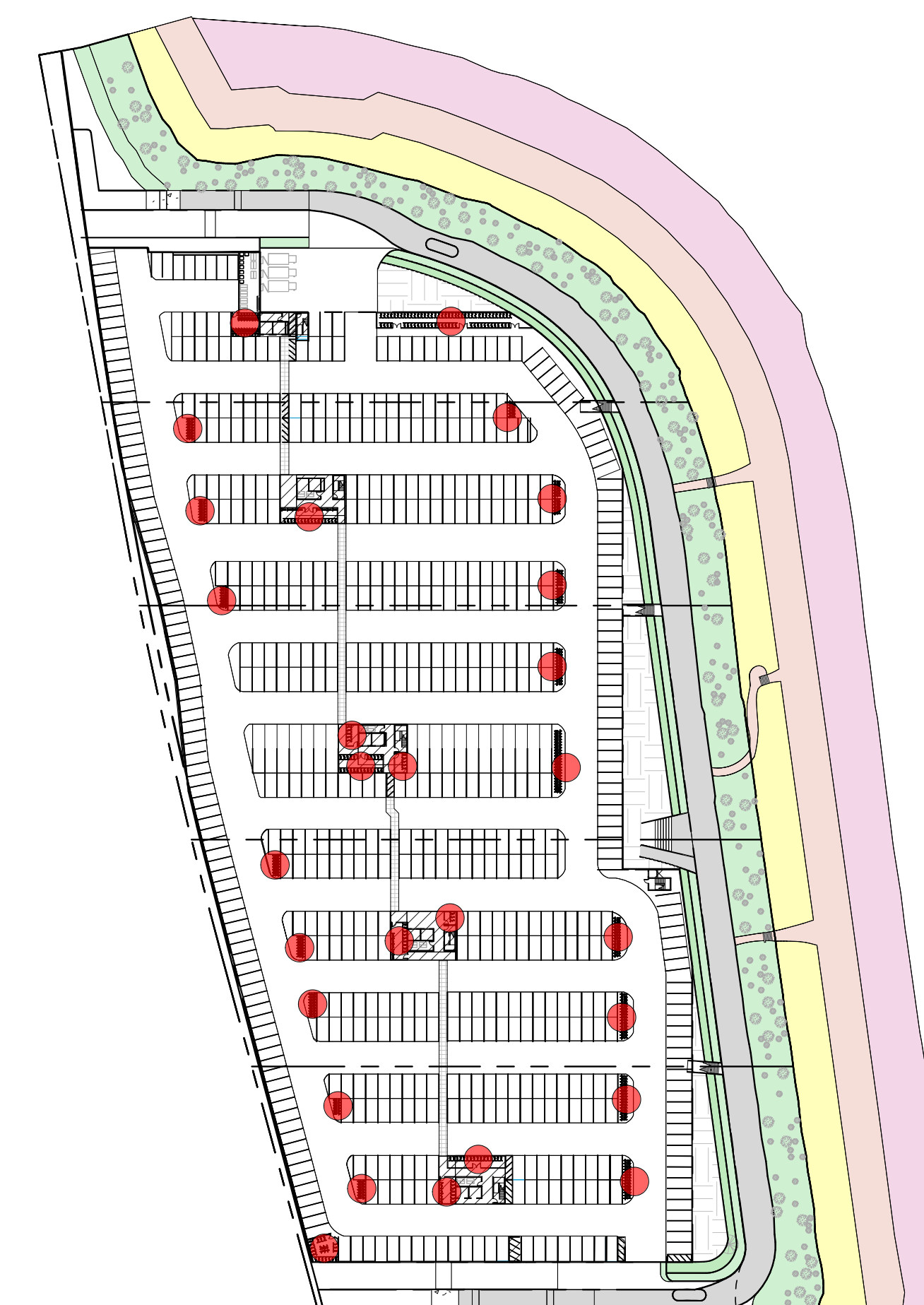


LONG TERM BIKE PARKING



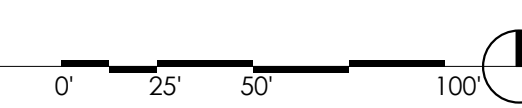
SHORT TERM BIKE PARKING

LOWER LEVEL PARKING



HALF-TONED AREA BEYOND RED DASHED LINE INDICATES AREA TERRACING DOWN TO LOWER LEVEL BELOW @ 17' EL.

1 SITE PLAN- CONCEPT -SD
 1" = 50'-0"



HEIGHT AND AVERAGE GRADE CALCULATION:

Per definitions provided under the 2020 Unified Development Code of OMC,

Section 18.20.120.

Height (of Structure): **The difference between the average grade level and the highest point of a structure;** provided, that television antennas, chimneys, and similar appurtenances shall not be used in calculating height except where such appurtenances obstruct the view of the shoreline from a substantial number of residences on areas adjoining such shorelines.

Per Section 18.02.180. Grade is,

(1) Grade. **The finished ground level adjoining the building at the exterior walls.**

(2) Grade Plane. **A reference plane representing the average of the finished ground level adjoining the building at all exterior walls.** Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than six feet from the building between the structure and a point six feet from the building.

AVERAGE OF THE GRADE ADJOINING EXTERIOR WALLS ON FOUR SIDES OF THE BUILDING =

(WEST) 26' +

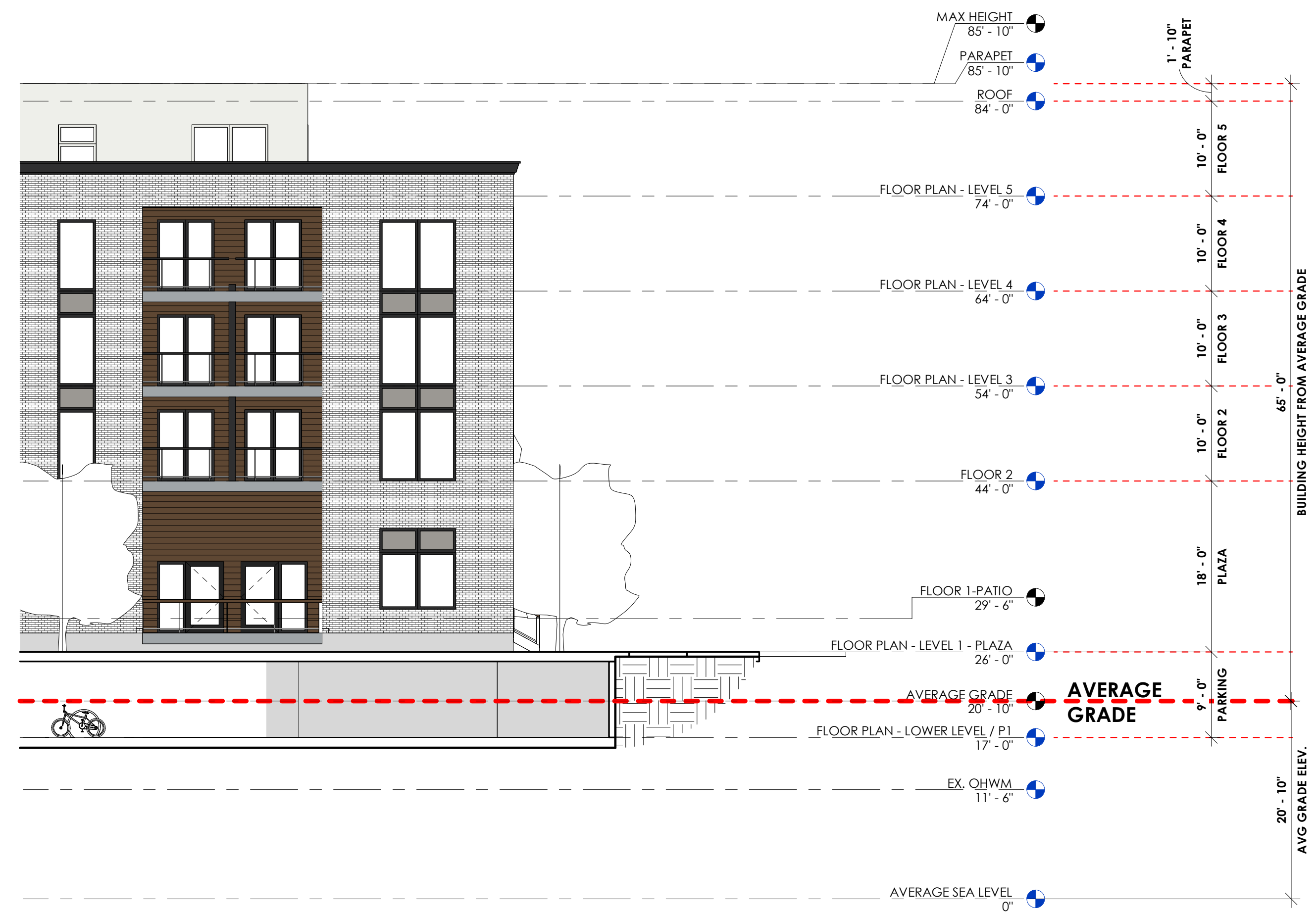
(NORTH) 20'3" +

(EAST) 17' +

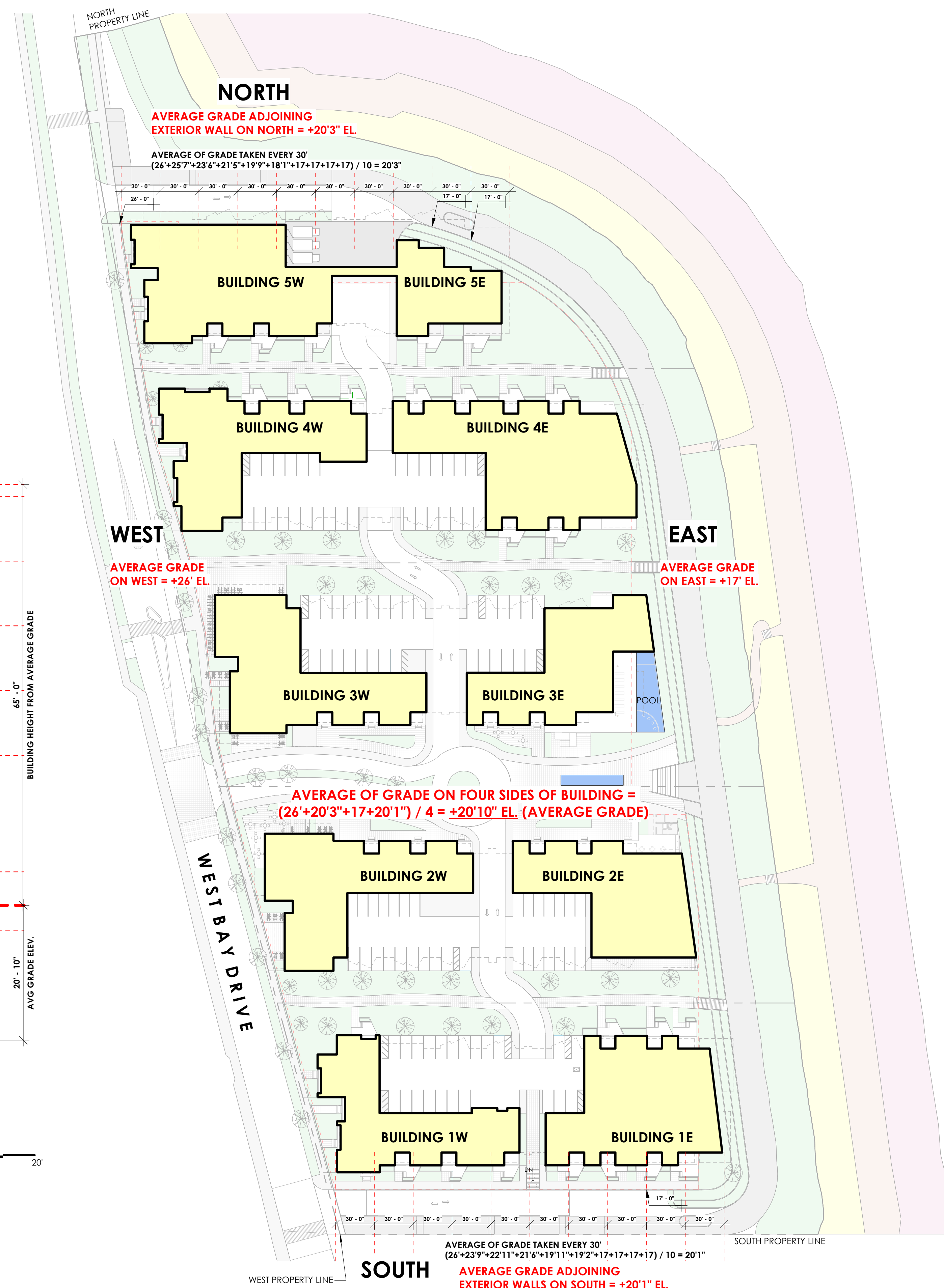
(SOUTH) 20'1" +

TOTAL = 83'4" / 4 = **+20'10" EL. (PROJECT AVERAGE GRADE PLANE)**

BUILDING HEIGHT IS MEASURED FROM CALCULATED AVERAGE GRADE PLANE.
SEE GRAPHICS ON SHEET.



2 BUILDING HEIGHT SECTION
1" = 10'-0"



1 SITE PLAN- AVERAGE GRADE CALCULATION
1" = 50'-0"



SITE USAGE

PER OMC DEFINITIONS 18.02.180:
***COVERAGE, BUILDING**, THE PORTION OF A LOT COVERED BY THE PRINCIPAL AND ACCESSORY BUILDING FLOOR AREA INCLUDING ALL AREAS COVERED BY A WEATHER-TIGHT ROOF, EXCLUDING TWO FEET OF EAVES.
COVERAGE, IMPERVIOUS, THE AREA WHICH IS OCCUPIED OR COVERED BY ALL IMPERVIOUS SURFACES INCLUDING TOTAL HORIZONTAL SURFACE OF ALL BUILDINGS, EXCEPT 2' OF EAVES.
VEGETATED ROOF, A ROOF DESIGNED AND CONSTRUCTED TO SUPPORT, AND THAT DOES SUPPORT, LIVING VEGETATION WITH AT LEAST THREE INCHES OF ENGINEERED SOIL. SEE GRAPHICS ON SHEET A6.3

LOT OCCUPANCY: PER 2020 OMC 18.06.080 : TABLE 6.02 FOR URBAN WATERFRONT, MAX. ALLOWABLE IMPERVIOUS SURFACE COVERAGE = 100% . MAX. ALLOWABLE BUILDING COVERAGE = 60%.

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 • LANDSCAPE (PERVIOUS) AREA INCLUDED IN BUILDING OPEN SPACE
 • BUILDING (IMPVIOUS) AREA - INCLUDES PLAZA HARDSCAPE

PARCEL LINES PER BOUNDARY LINE ADJUSTMENT (BLA) DRAWING SUBMITTED BY MTN2COAST TO CITY DATED 05/10/2023.

2 TIERED LANDSCAPE TERRACES - EACH 6'-0" WIDE

EXISTING ORDINARY HIGH WATER MARK (OHWM) MARKS EAST EDGE OF SITE AREA IN SHORELANDS PER SMP (HEAVY RED LINE)

EDGE OF PLAZA @ +2' EL. HALF-TONED AREA BEYOND INDICATES AREA TERRACING DOWN TO LOWER LEVEL BELOW @ 17' EL.

LOT AREA LANDWARD OF EXISTING OHWM (INSIDE SOLID REDLINE): 350,554 SF NO. (6) IN TABLE BELOW

LOWER LEVEL PARKING COVERAGE (INSIDE DASHED RED LINE) = 236,652 SF NO. (1) IN TABLE BELOW

OVERHEAD BUILDING AREA BEYOND LOWER LEVEL PARKING FOOTPRINT (GRAY CROSSHATCH) = 13,495 SF NO. (2) IN TABLE BELOW

VEGETATED ROOF ON PLAZA OVER LOWER LEVEL PARKING FOOTPRINT (INSIDE GREEN DASH WITH CROSSHATCH): 43,627 SF NO. (4) IN TABLE BELOW

2 FEET OF OVERHEAD EAVES AROUND BUILDING EXCLUDED FROM BUILDING COVERAGE PER DEFINITION ABOVE. (OPEN SPACE IN TABLE BELOW) NO. (5) IN TABLE BELOW

LOT AREAS

SEE SURVEY FOR RECORDED PARCEL AREAS AND SHEET A6.3 FOR DETAILS

SITE REGION	AREA	NO.	DESCRIPTION
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LOT AREA	350,554 SF	6	AREA w/in EX. OHWM LINE

COVERAGE CALCULATIONS BREAKDOWN

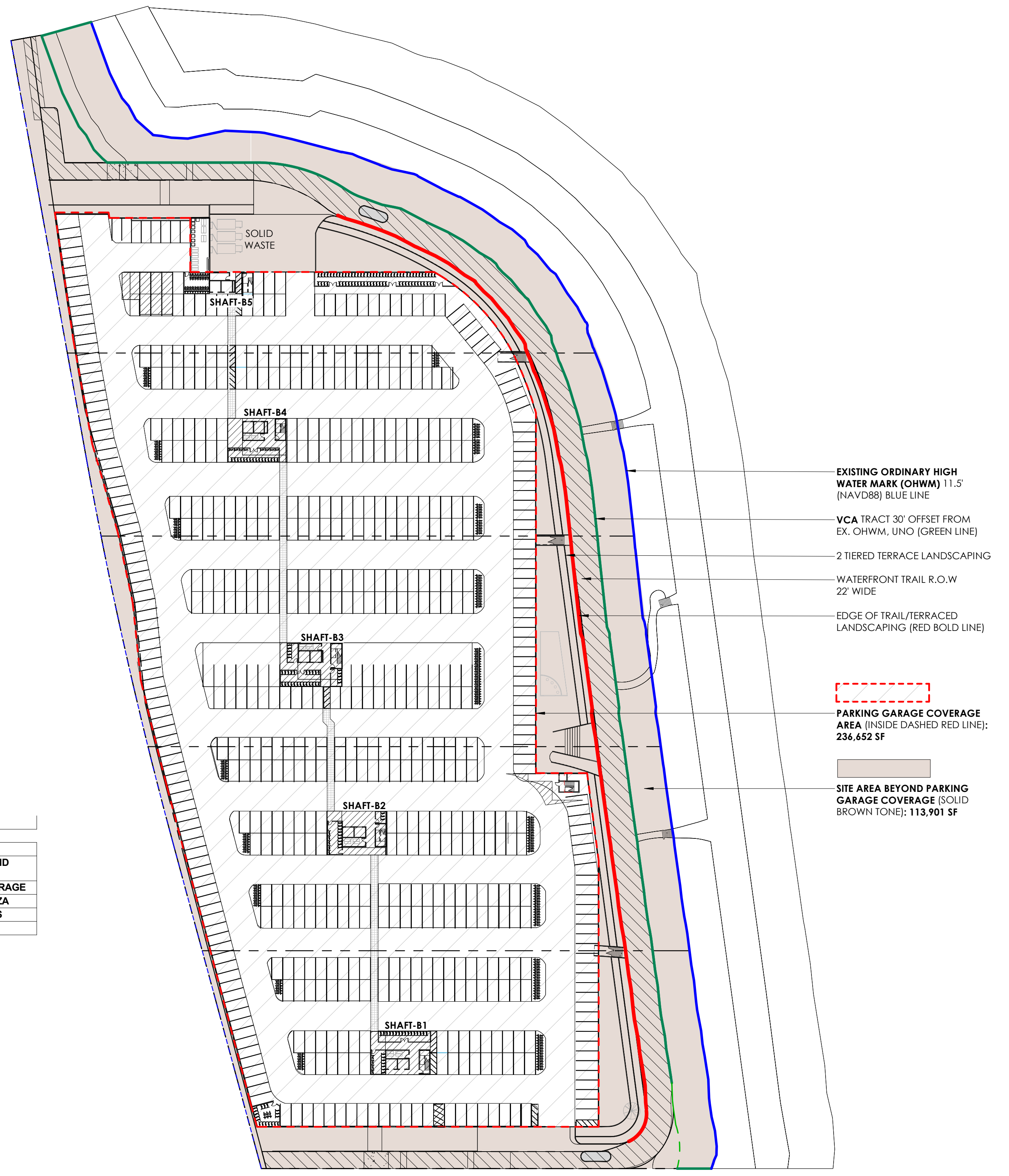
AS SHOWN IN TABLE ABOVE AND GRAPHICS:

LOWER LEVEL COVERAGE [(1) IN TABLE] 236,652 SF
+ OVERHEAD COVERAGE [(2) IN TABLE] 13,495 SF +
= TOTAL BUILDING COVERAGE [(3) IN TABLE] **250,147 SF**

TOTAL BUILDING COVERAGE [(3) IN TABLE] 250,147 SF
- VEGETATED ROOF [(4) IN TABLE] 43,627 SF -
- OPEN SPACE [(5) IN TABLE] 5,875 SF -
= ADJUSTED BUILDING AREA **200,645 SF**

ADJUSTED BUILDING AREA DIVIDED BY 200,645 SF +
= SITE AREA (WITHIN EX. OHWM) [(6) IN TABLE] 350,554 SF
= % OF BUILDING COVERAGE X 100 **57.23%**

PROJECT BUILDING COVERAGE = 57%



EXISTING ORDINARY HIGH WATER MARK (OHWM) 11.5' (NAVD88) BLUE LINE

VCA TRACT 30' OFFSET FROM EX. OHWM, UNO (GREEN LINE)

2 TIERED TERRACE LANDSCAPING

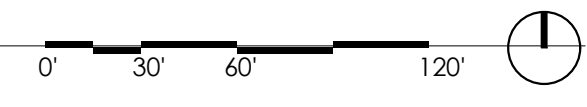
WATERFRONT TRAIL R.O.W 22' WIDE

EDGE OF TRAIL/TERRACED LANDSCAPING (RED BOLD LINE)

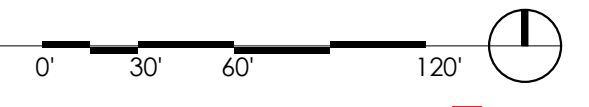
PARKING GARAGE COVERAGE AREA (INSIDE DASHED RED LINE): 236,652 SF

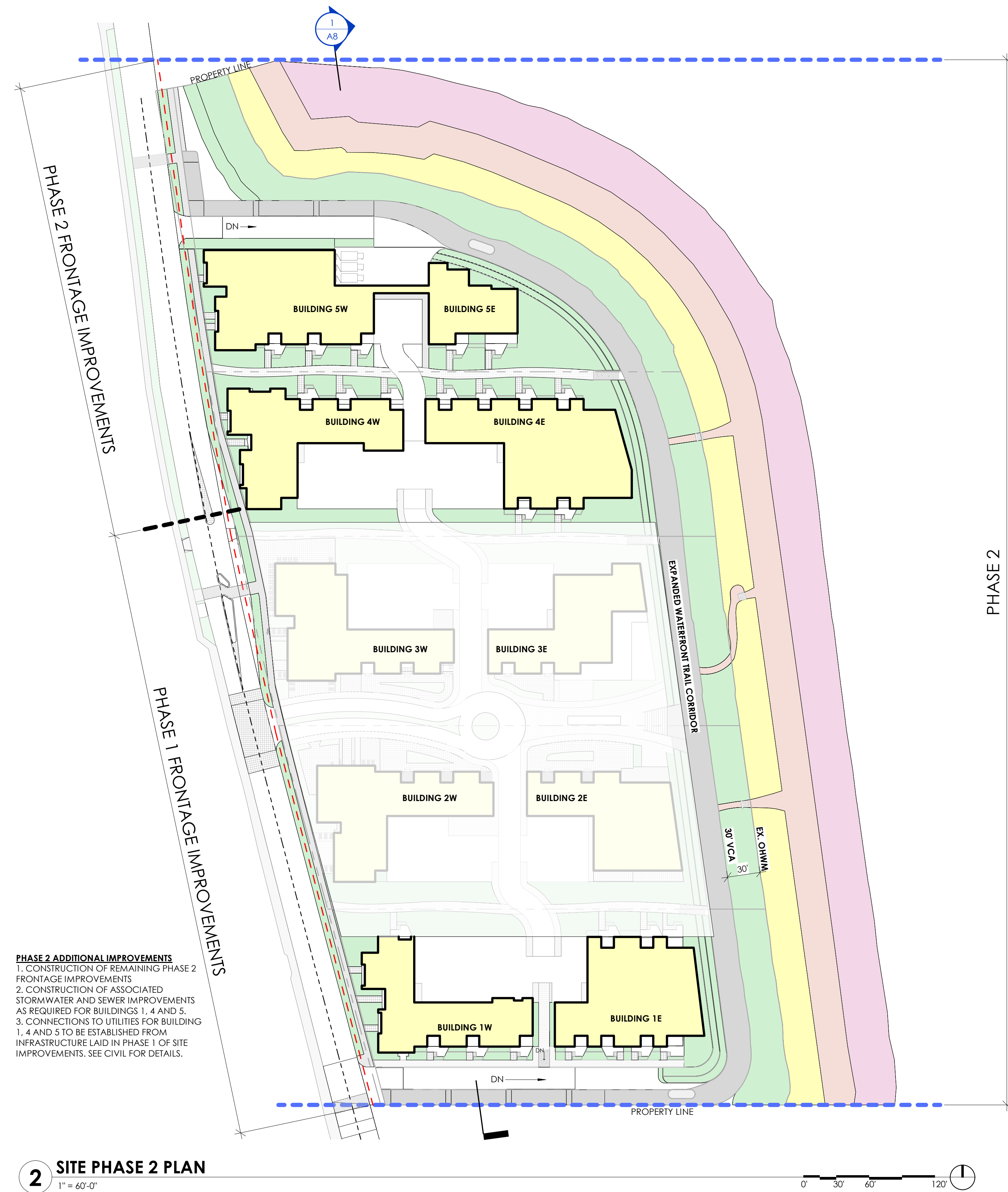
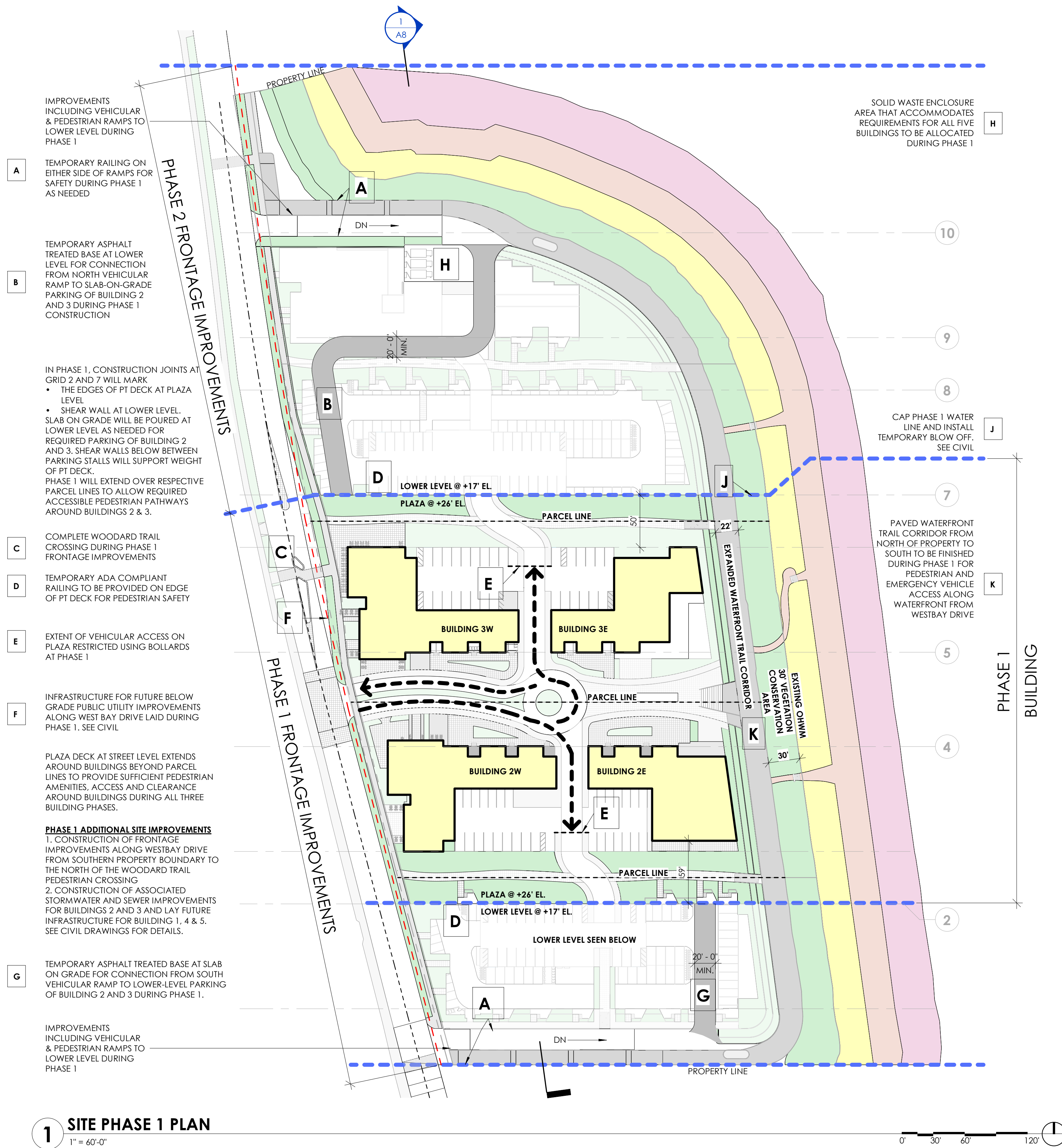
SITE AREA BEYOND PARKING GARAGE COVERAGE (SOLID BROWN TONE): 113,901 SF

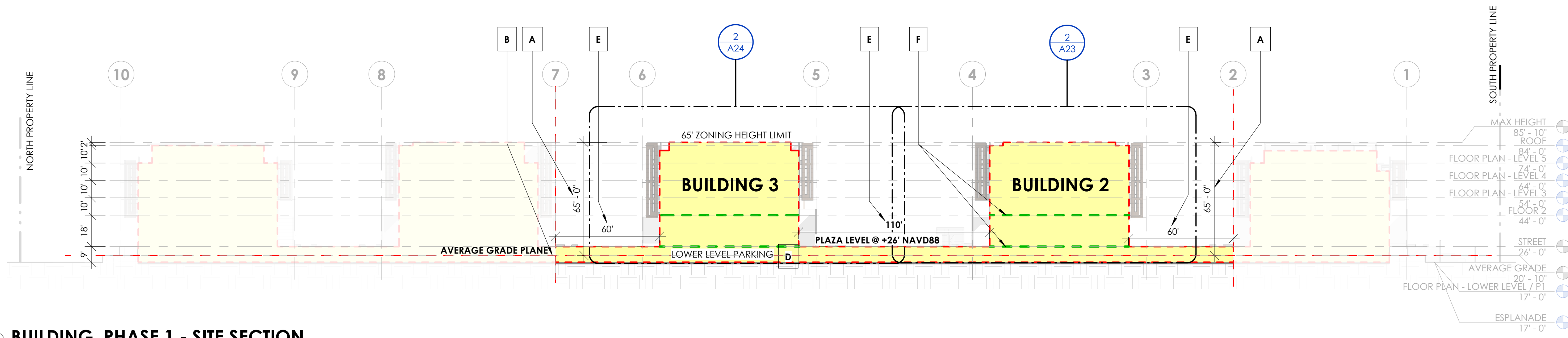
2 SITE PLAN - PLAZA - COVERAGE
 1" = 60'-0"



1 SITE PLAN - LOWER LEVEL - COVERAGE
 1" = 60'-0"

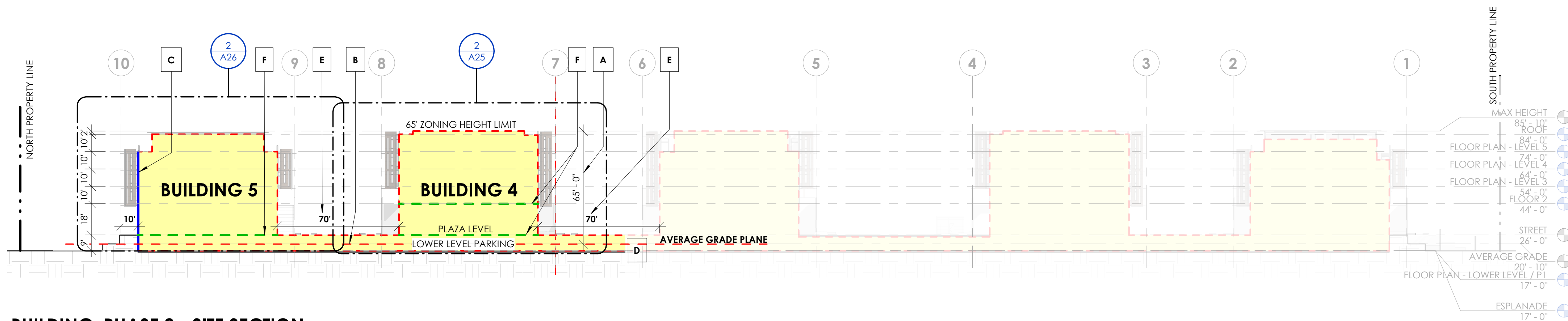






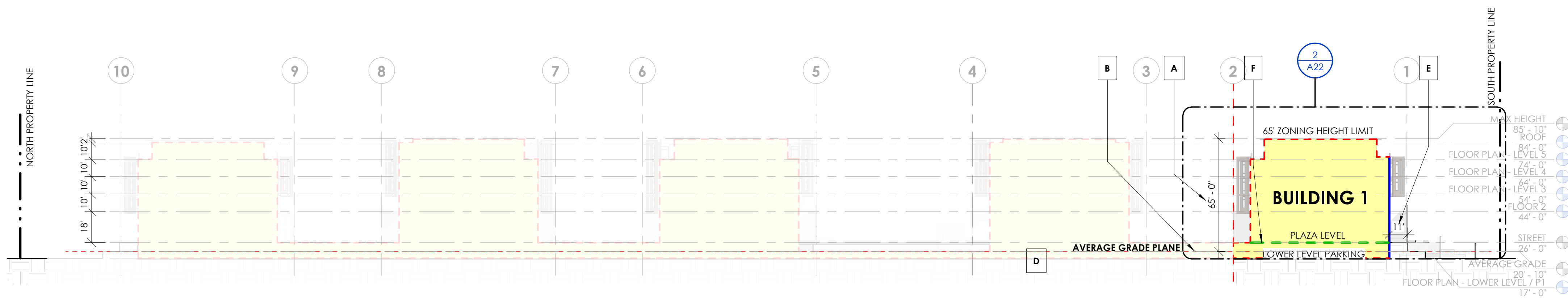
1 BUILDING PHASE 1 - SITE SECTION
1" = 40'-0"

- A** PER DEFINITIONS PROVIDED UNDER THE 2020 UNIFIED DEVELOPMENT CODE OF OMC, SECTION 18.20.120. HEIGHT (OF STRUCTURE): THE DIFFERENCE BETWEEN THE AVERAGE GRADE LEVEL AND THE HIGHEST POINT OF A STRUCTURE (NOT INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT); PROVIDED, THAT TELEVISION ANTENNAS, CHIMNEYS, AND SIMILAR APPURTENANCES SHALL NOT BE USED IN CALCULATING HEIGHT EXCEPT WHERE SUCH APPURTENANCES OBSTRUCT THE VIEW OF THE SHORELINE FROM A SUBSTANTIAL NUMBER OF RESIDENCES ON AREAS ADJOINING SUCH SHORELINES.
- B** PER SECTION 18.02.180, GRADE IS, GRADE. THE FINISHED GROUND LEVEL ADJOINING THE BUILDING AT THE EXTERIOR WALLS. GRADE PLANE. A REFERENCE PLANE REPRESENTING THE AVERAGE OF THE FINISHED GROUND LEVEL ADJOINING THE BUILDING AT ALL EXTERIOR WALLS, WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS. THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINTS WITHIN THE AREA BETWEEN THE BUILDING AND THE LOT LINE OR, WHERE THE LOT LINE IS MORE THAN SIX FEET FROM THE BUILDING BETWEEN THE STRUCTURE AND A POINT SIX FEET FROM THE BUILDING.
- C** EXTERIOR WALLS OF BUILDING ADJOINING AVERAGE GRADE PLANE (BLUE LINES)

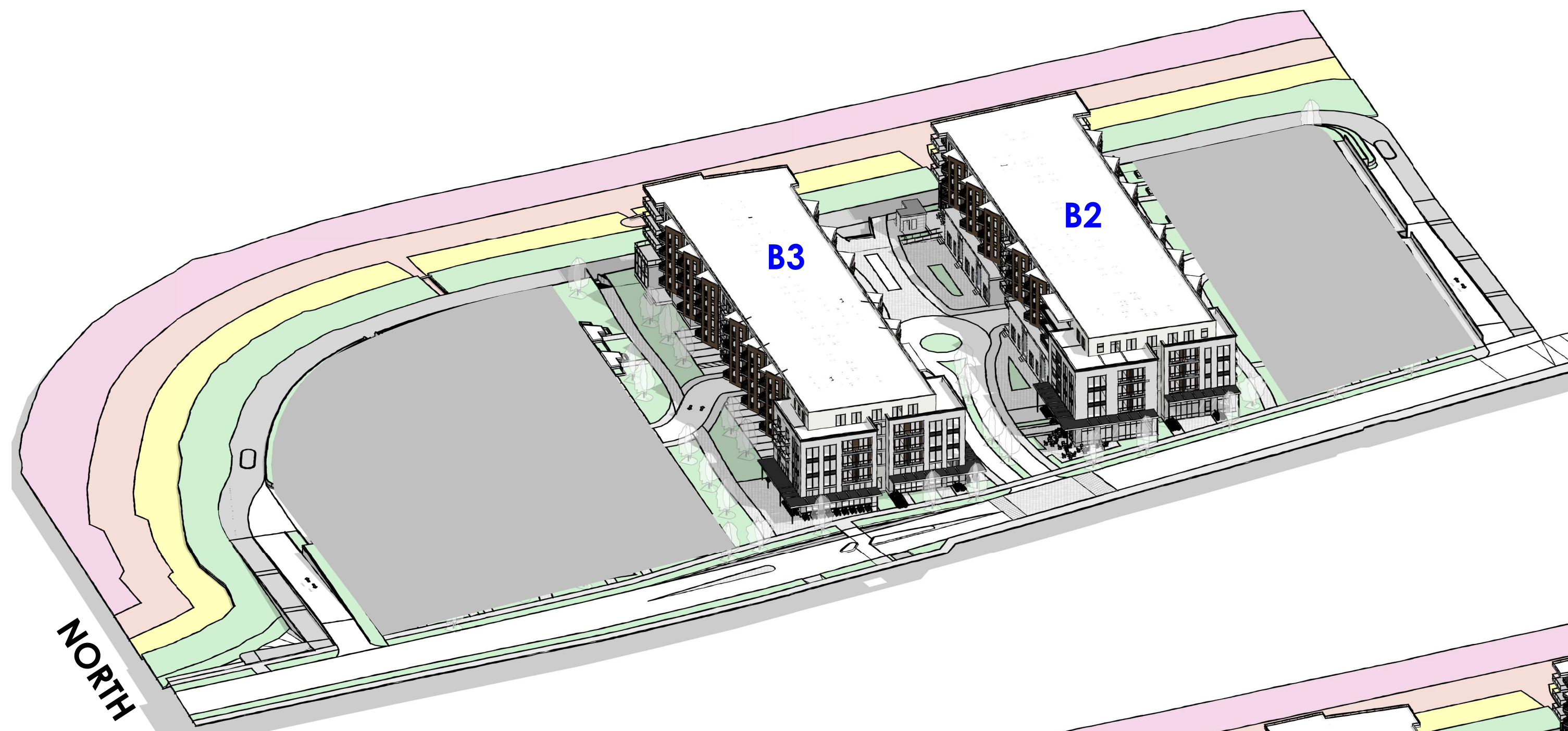


2 BUILDING PHASE 2 - SITE SECTION
1" = 40'-0"

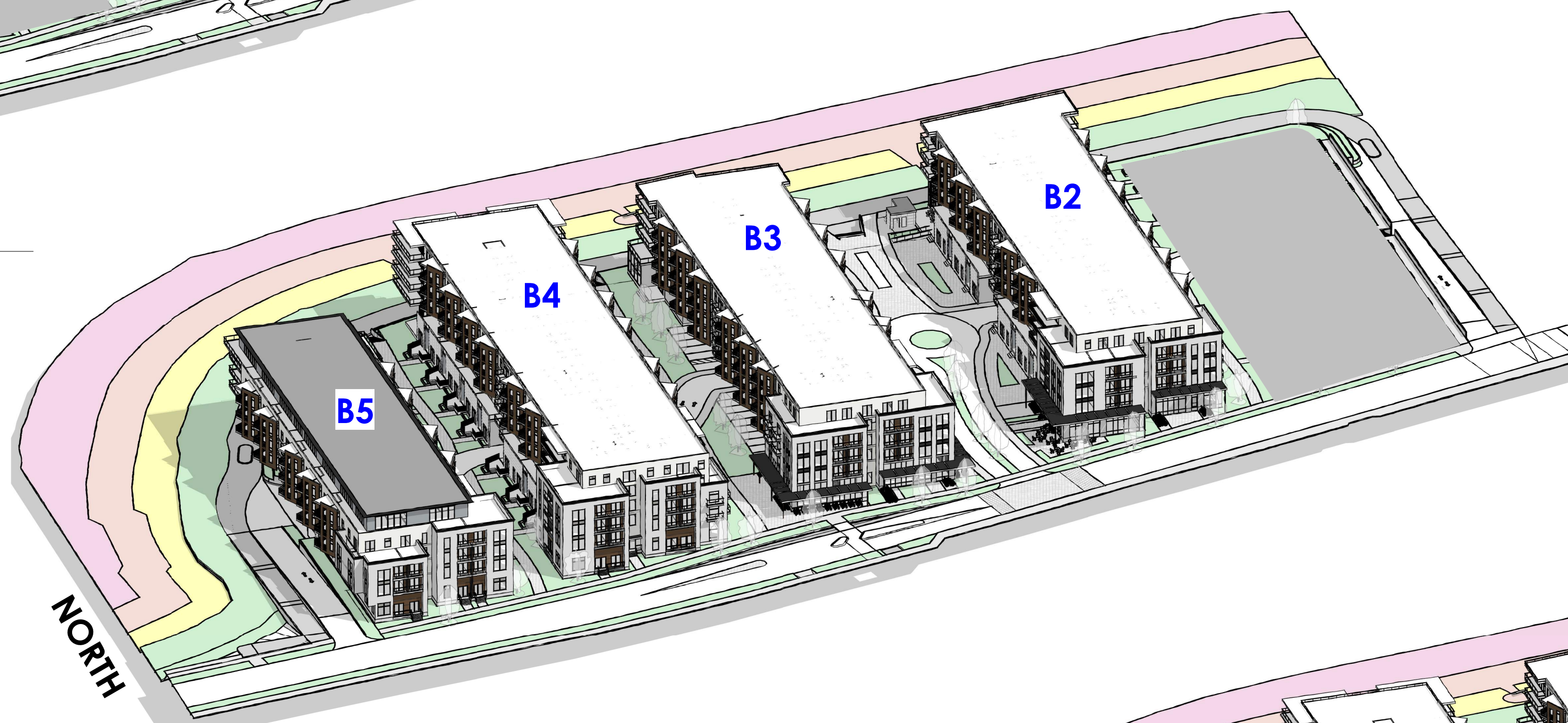
- D** THE LOWER-LEVEL PARKING IS A FLOOD PROOF ENCLOSURE USED SOLELY FOR PARKING AND BUILDING ACCESS.
- E** IN ALL PHASES, THE PLAZA POST-TENSIONED DECK EXTENDS ON ALL SIDES OF THE BUILDING BEYOND PARCEL LINES TO PROVIDE REQUIRED PEDESTRIAN AMENITIES AND ACCESS AROUND BUILDING
- F** HORIZONTAL BUILDING SEPARATION OF TYPE IA CONSTRUCTION MAKES THE PORTION OF THE BUILDING ABOVE A SEPARATE AND DISTINCT BUILDING FOR THE PURPOSES OF DETERMINING AREA LIMITATIONS, CONTINUITY OF FIRE WALLS, LIMITATIONS OF NUMBER OF STORIES AND TYPE OF CONSTRUCTION PER WA AMENDMENT OF IBC 510.2. SEE GREEN DASHED LINES. SEE SHEET A27.
- G** PER OMC 18.06.100.A.2.C.III, DEVELOPMENT SHALL BE SUBJECT TO THE ALTERNATE STANDARDS FOR BUILDING HEIGHT AND VIEW BLOCKAGE, IF ALTERNATE WATERFRONT VIEW ACCESS IS PROVIDED THROUGH PUBLIC AMENITIES SUCH AS WATERFRONT TRAIL & EXPANDED WATERFRONT TRAIL CORRIDOR FACILITY FOR HORIZONTAL VIEW BLOCKAGE OF 70% UP TO HEIGHT OF 65'. SEE SHEETS A11, A15, A21 AND A29 FOR DETAILS.



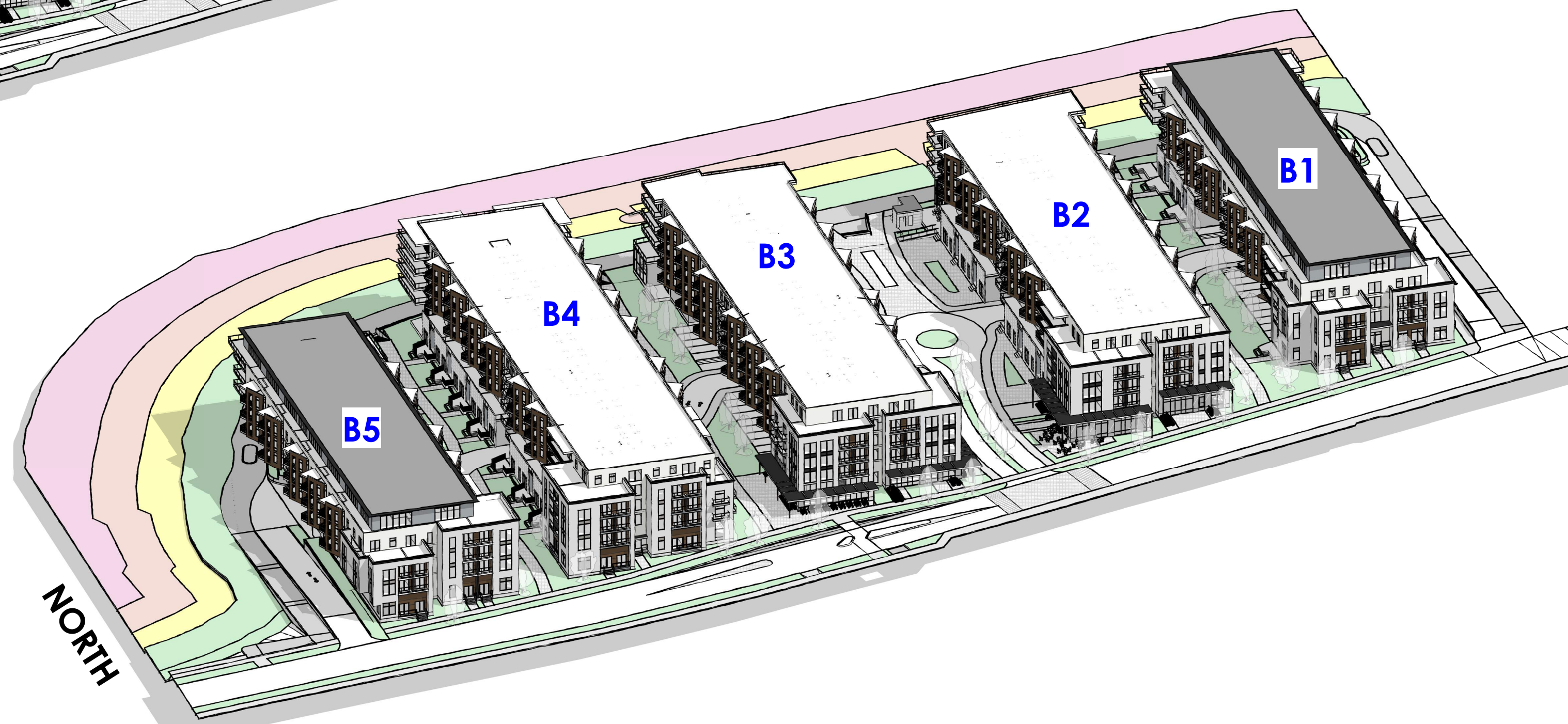
3 BUILDING PHASE 3 - SITE SECTION
1" = 40'-0"



1 AXON - BUILDING PHASE 1



2 AXON - BUILDING PHASE 2



3 AXON - BUILDING PHASE 3



PHASE 2 NARRATIVE

1. CONSTRUCTION OF RETAINING WALL ALONG WESTBAY DRIVE, AND SLAB-ON-GRADE AT LOWER LEVEL FROM GRID 7 TO NORTH RAMP
2. CONSTRUCTION OF RETAINING WALL FOR TERRACED LANDSCAPING ALONG EAST WATER FRONT ESPLANADE FROM GRID 7 TO NORTH PARKING ENTRY
3. CONSTRUCTION OF PT DECK AT PLAZA LEVEL FROM GRID 7 TO EDGE OF NORTH RAMP
4. CONSTRUCTION OF BUILDING 4 AND 5
5. CONSTRUCTION OF RELATED TERRACED LANDSCAPE AND PLAZA LEVEL HARD & SOFTSCAPE ELEMENTS

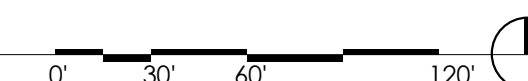
PHASE 1 NARRATIVE

1. CONSTRUCTION SITE PHASE 1 IMPROVEMENTS
2. CONSTRUCTION OF RETAINING WALL ALONG WESTBAY DRIVE, AND SLAB-ON-GRADE AT LOWER LEVEL FROM GRID 2 TO 7. CONSTRUCTION OF NORTH AND SOUTH RAMPS FOR ACCESS TO LOWER LEVEL PARKING AND ESPLANADE
3. CONSTRUCTION OF RETAINING WALL FOR TERRACED LANDSCAPING ALONG WATER FRONT ESPLANADE FROM GRID 2 TO 7
4. CONSTRUCTION OF PT DECK AT PLAZA LEVEL FROM GRID 2 TO 7
5. CONSTRUCTION OF BUILDING 2 AND 3
6. CONSTRUCTION OF RELATED TERRACED LANDSCAPE AND PLAZA LEVEL HARD AND SOFTSCAPE ELEMENTS

PHASE 3 NARRATIVE

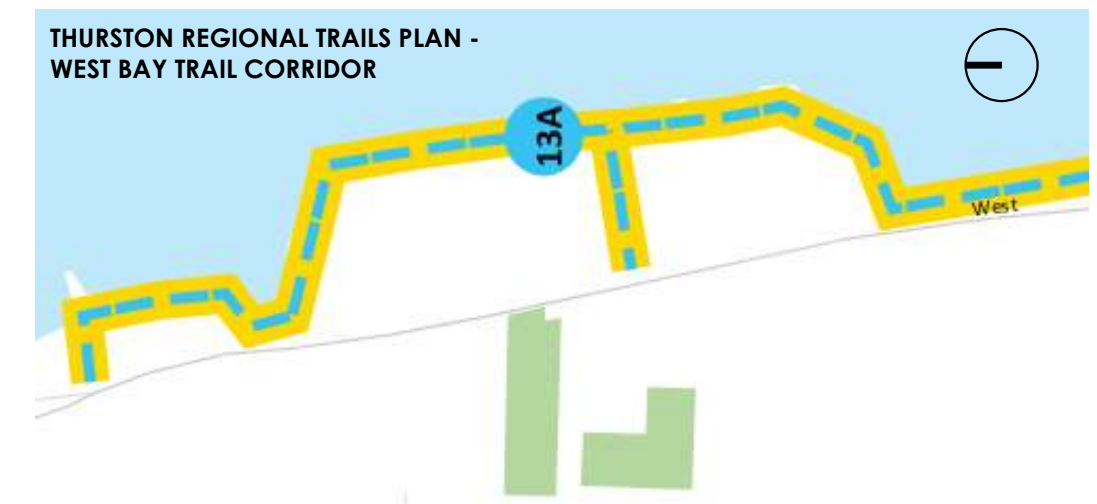
1. CONSTRUCTION OF RETAINING WALL ALONG WESTBAY DRIVE, AND SLAB-ON-GRADE AT LOWER LEVEL FROM GRID 2 TO SOUTH RAMP
2. CONSTRUCTION OF RETAINING WALL FOR TERRACED LANDSCAPING ALONG WATER FRONT ESPLANADE FROM GRID 2 TO SOUTH PARKING ENTRY
3. CONSTRUCTION OF PT DECK AT PLAZA LEVEL FROM GRID 2 TO EDGE OF SOUTH RAMP
4. CONSTRUCTION OF BUILDING 1
5. CONSTRUCTION OF RELATED TERRACED LANDSCAPE AND PLAZA LEVEL HARD & SOFTSCAPE ELEMENTS

1 BUILDING - PHASES
1" = 60'-0"

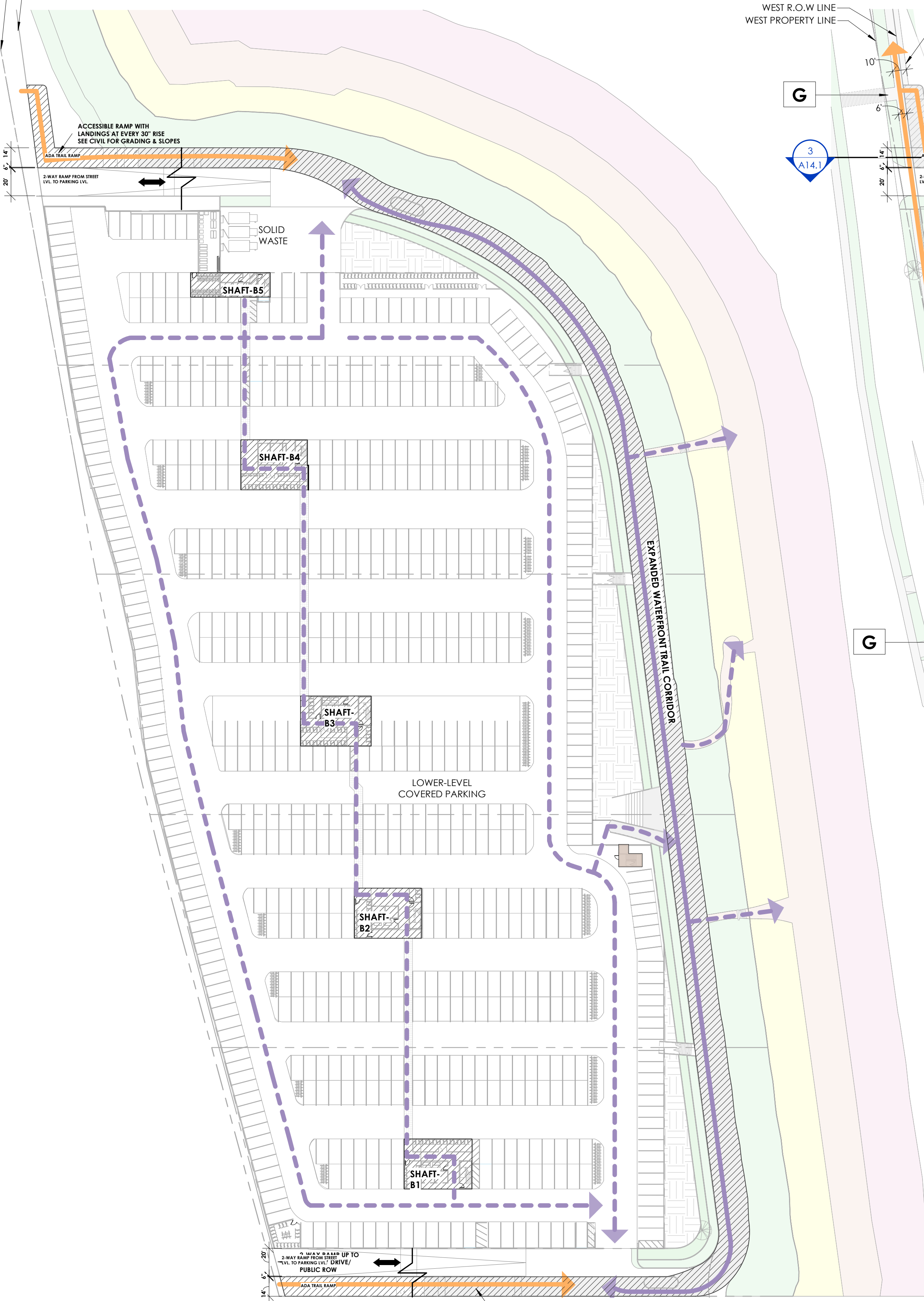


PEDESTRIAN PLAN LEGEND

- PLAZA LEVEL @ +26' EL.**
- PRIMARY PEDESTRIAN ROUTE
- SECONDARY PEDESTRIAN ROUTE
- LOWER LEVEL @ +17' EL.**
- PRIMARY PEDESTRIAN ROUTE (22' PUBLIC TRAIL CORRIDOR R.O.W)
- SECONDARY PEDESTRIAN ROUTE
- STAIR & ELEVATOR CORE (ADA ACCESS TO PLAZA & TRAIL)
- PUBLIC USE TRAIL

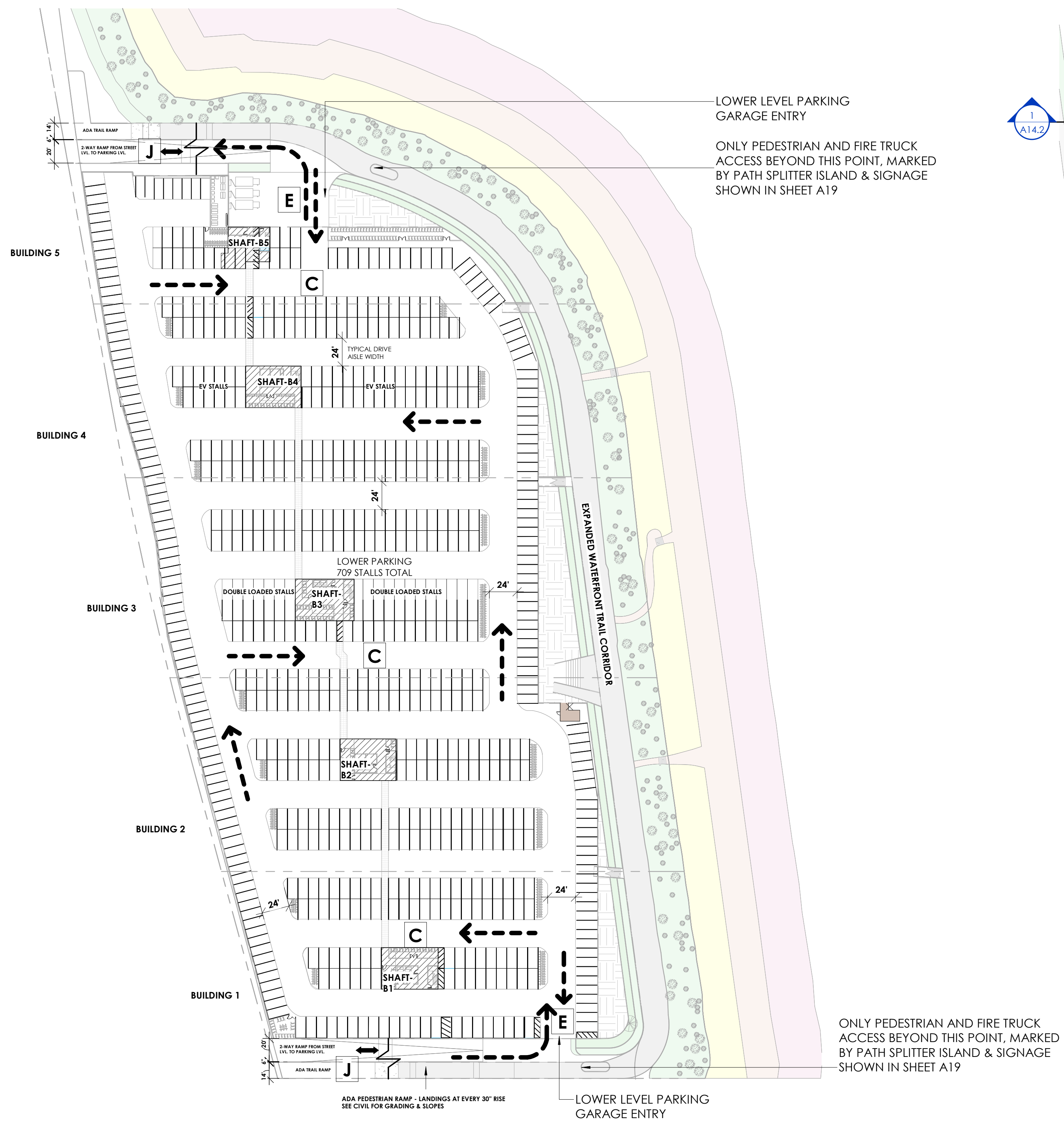


- A** THE 22' WIDE EXPANDED WATERFRONT TRAIL CORRIDOR DEDICATED TO THE CITY FOR PUBLIC USE AS R.O.W PER 18.06.100.A.2.C.iv.b AND EDDS 4E.010.T.13, IS PROVIDED ALONG THE EAST WATERFRONT SIDE. THIS TRAIL SECTION ALLOWS ONLY PEDESTRIAN AND EMERGENCY VEHICLE ACCESS IDENTIFIED BY SIGNAGE & PATH SPLITTER ISLAND.
- B** PUBLICLY ACCESSIBLE PEDESTRIAN CONNECTION BETWEEN EXPANDED TRAIL AND WEST BAY DRIVE SIDEWALK DEDICATED PER OMC 18.06.100.A.2.C.iv.b.4., MINIMUM TRAIL WIDTH OF 12' WITH 2' BUFFER MAINTAINED PER CITY REQUIREMENTS. SEE SHEET A21 FOR RIGHT-OF-WAY DETAILS
- C** ACCESSIBLE TRAIL CONNECTION TO WEST BAY DRIVE - TRAIL TURNS TOWARDS NORTH TO RUN PARALLEL TO WEST BAY DRIVE SIDEWALK AND RAMP UP TO MEET NEW SIDEWALK ELEVATION. 10' WIDE SIDEWALK AT POINT WHERE TRAIL CONNECTS TO WEST BAY DRIVE SIDEWALK AND EXTENDS NORTH TO PROPERTY LINE PER CITY REQUIREMENTS FOR FUTURE CONNECTION TO ADJACENT PROPERTIES.
- C'** FUTURE TRAIL CONNECTION TO ADJACENT PROPERTY ON SOUTH PER ADOPTED TRAILS PLAN.
- D** THE TRAIL PATH AROUND THE SITE PROVIDED PER ADOPTED THURSTON REGIONAL TRAILS PLAN - 13A WEST BAY TRAIL CORRIDOR (PAGE 166) AND IS LOCATED ALONG THE WATER ON ALL SIDES WITH LIGHTING, SIGNAGE & OTHER PEDESTRIAN FRIENDLY FEATURES. SEE SHEET A19 AND A43. SEE CIVIL SHEETS FOR ADA RAMP GRADING AND SLOPES.
- D** PATH SPLITTER ISLAND PER WSDOT 1515.08(2)(A) RESTRICTS ACCESS OF VEHICLES & REFUSE TRUCK ON TRAIL FOR PEDESTRIAN SAFETY. ISLANDS WILL BE MOUNTABLE FOR EMERGENCY VEHICLE ACCESS THROUGH WATERFRONT TRAIL
- E** PEDESTRIAN/VEHICLE PATH INTERSECTION, GUARDED BY BOLLARDS ON THE PLAZA
- F** PEDESTRIAN RESTING POINTS, EVERY 200' ALONG ROUTE
- G** PEDESTRIAN ACCESS THROUGH CROSSWALKS FROM WEST BAY DRIVE MARKED BY SIGNAGE. SEE CIVIL AND A19.
- H** 6 FOOT SIDEWALK ALONG WESTBAY DRIVE PER APPROVED ENGINEERING DEVIATION REQUEST DATED 03/11/22. SEE OMC CH. 4B.085 WESTBAY DRIVE STREETSIDE IMPROVEMENTS REFER CIVIL FOR DETAILS.

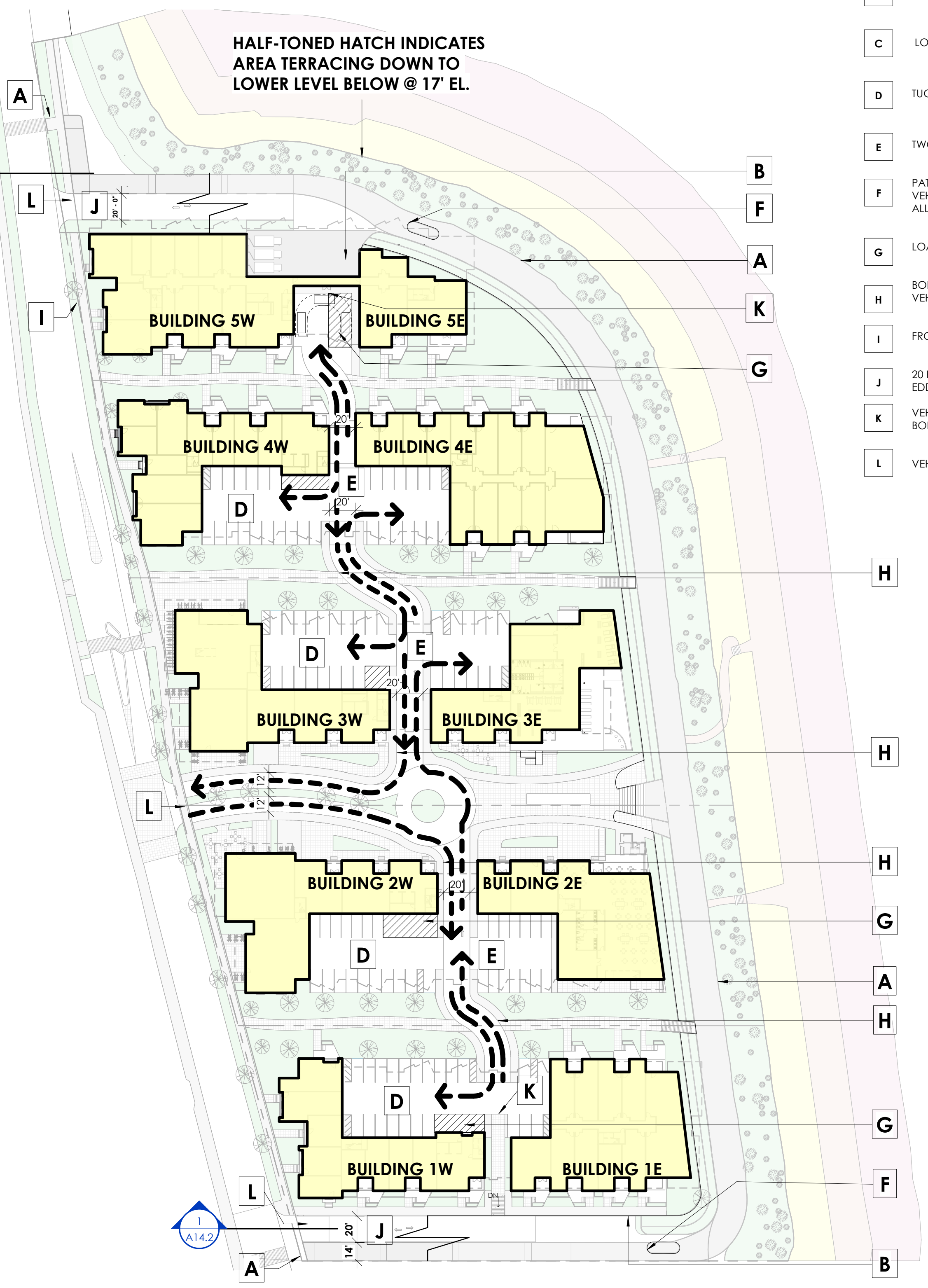


2 PEDESTRIAN ROUTES - LOWER PARKING LEVEL
 1" = 50'-0"
 ADA PEDESTRIAN RAMP - LANDINGS AT EVERY 30' RISE
 SEE CIVIL FOR GRADING & SLOPES

1 PEDESTRIAN ROUTES - PLAZA LEVEL & TRAIL
 1" = 50'-0"
 ADA PEDESTRIAN RAMP - LANDINGS AT EVERY 30' RISE
 SEE CIVIL FOR GRADING & SLOPES

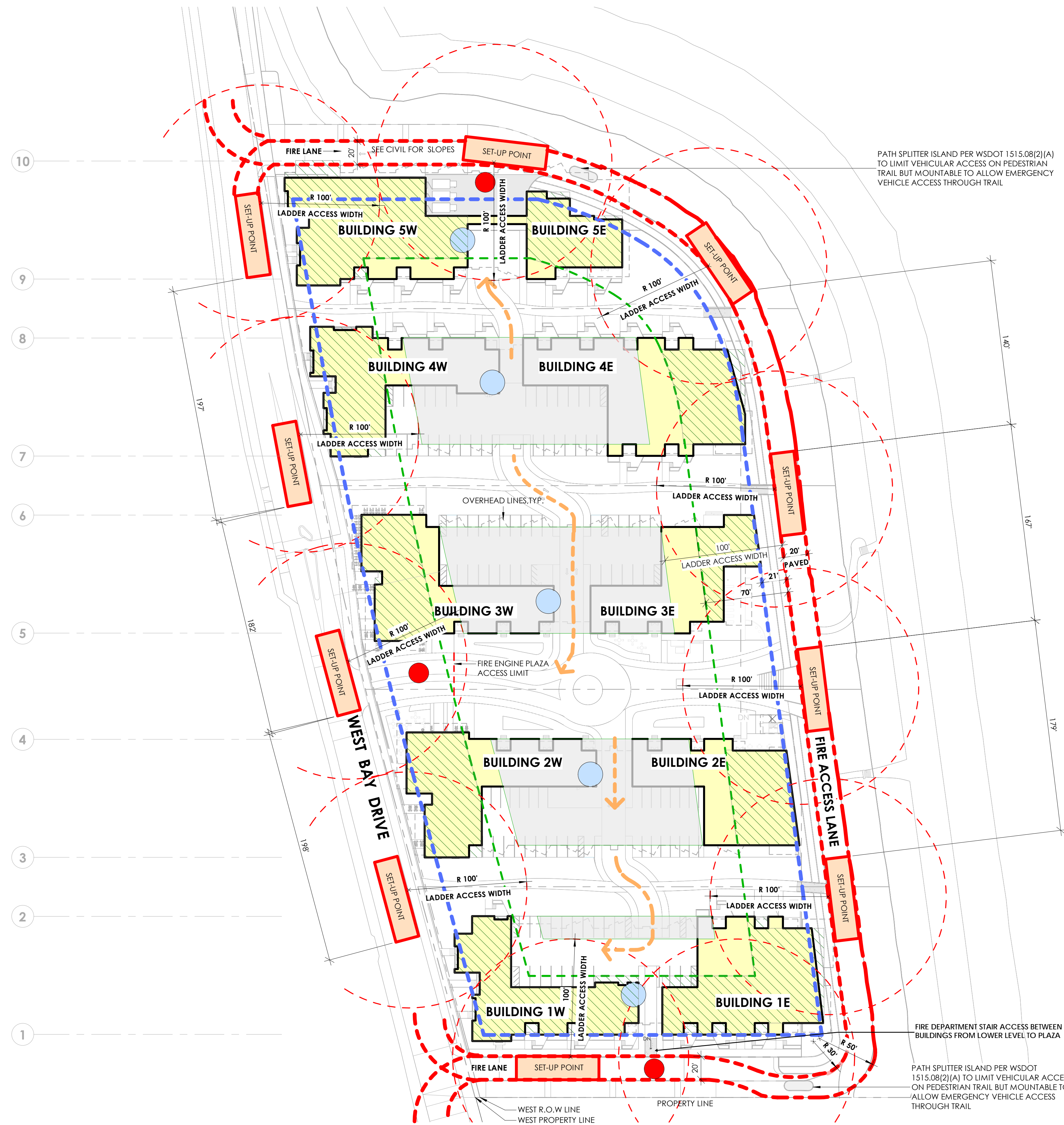


1 VEHICULAR ROUTES - LOWER PARKING LEVEL
 1" = 60'-0" 0' 30' 60' 120'



2 VEHICULAR ROUTES - PLAZA COVERED PARKING
 1" = 60'-0" 0' 30' 60' 120'

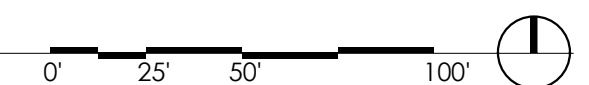
- A SIGNAGE "PUBLIC TRAIL" ALONG WATERFRONT
- B LOWER LEVEL PARKING GARAGE ACCESS
- C LOWER LEVEL PARKING (BELOW-STREET LEVEL)
- D TUCK-UNDER PARKING (COVERED BY OVERHEAD BUILDING)
- E TWO-WAY DRIVE AISLE
- F PATH SPLITTER ISLAND PER WSDOT 1515.08(2)(A) TO LIMIT VEHICULAR ACCESS ON PEDESTRIAN TRAIL BUT MOUNTABLE TO ALLOW EMERGENCY VEHICLE ACCESS ALONG WATERFRONT TRAIL
- G LOADING AREA PER OMC 18.38.140
- H BOLLARDS TO BE PROVIDED FOR SAFETY AT PEDESTRIAN-VEHICULAR ROUTE INTERSECTION ON PLAZA
- I FRONTAGE LANDSCAPING
- J 20 FEET WIDE DRIVEWAY PRIMARILY FOR RESIDENTIAL USE PER EDDS 4.1.40.A.1
- K VEHICULAR ACCESS ON PLAZA LIMITED TO THESE POINTS USING BOLLARDS
- L VEHICULAR ENTRY TO SITE FROM WESTBAY DRIVE

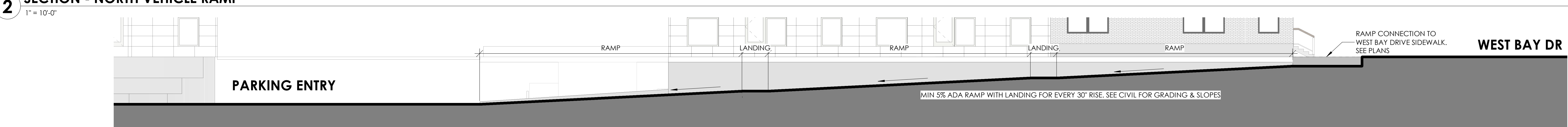
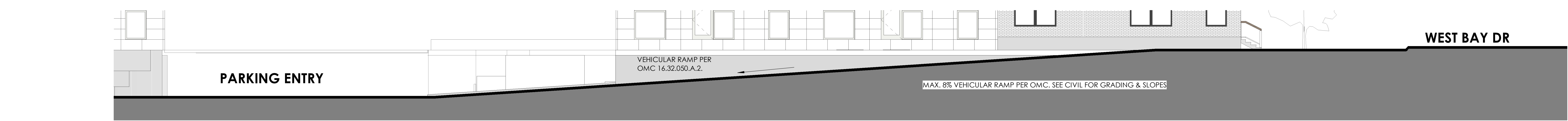
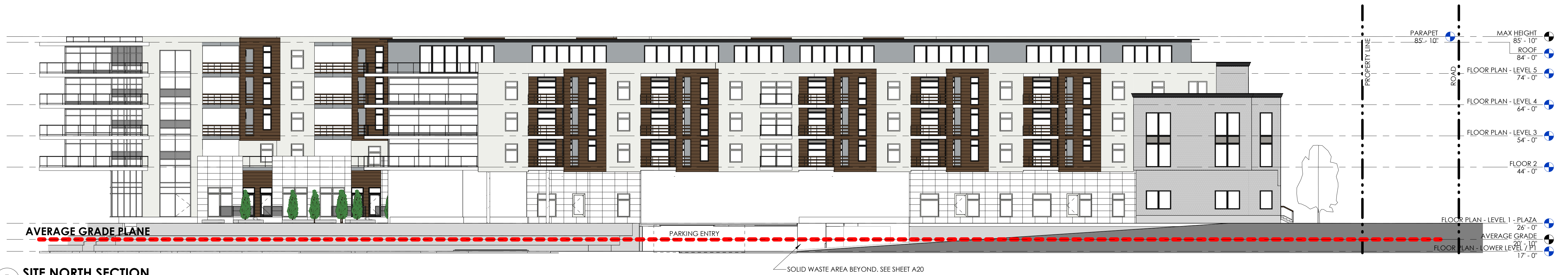


- FIRE ACCESS LEGEND**
- FIRE TRUCK SET UP POINTS FOR EACH 200' BUILDING FACADE PER OMC 16.05.060.A.2., 70 FEET LENGTH PER CITY REQUIREMENTS
 - PLAZA LEVEL BUILDING FOOTPRINT
 - 70' LADDER ACCESS ZONE
 - 100' RADIUS FOR LADDER ACCESS FROM SET-UP POINTS FOR MIN. 50% OF UNITS PER OLYMPIA FIRE DEPT. REQUIREMENTS
 - PLAZA BUILDING FOOTPRINT AREA = 151,943 SF
 - BUILDING AREA OUTSIDE OF 100' LADDER ACCESS = 51,690 (34% OF BUILDING FOOTPRINT) LESS THAN 35% OF UNITS ARE OUTSIDE OF 100' EXTENT FROM ACCESS LADDER. APPROVED FIRE PROTECTION SYSTEMS TO BE PROVIDED FOR THESE PORTIONS OF BUILDING PER 16.32.050.C. (OVERHEAD BALCONIES EXCLUDED FROM HATCH AREA)
 - STANDPIPE LOCATIONS
 - 20' WIDE PAVED FIRE TRUCK ACCESS ROADWAY, WITH 30' INSIDE RADIUS FOR DRIVEWAYS IN EXCESS OF 150 FEET PER 16.32.050.F
 - 21' ACCESS OFFSET FROM CURB OF ACCESS ROAD PER OMC 16.05.060.A.5
 - EMERGENCY VEHICLE ACCESS BETWEEN BUILDINGS AT PLAZA. REQUIRED 8' HEIGHT CLEARANCE.
 - LOCATIONS ON SITE TO STAGE FIRE ENGINE DURING EMERGENCY VEHICLE SERVICE CALLS PER FIRE MARSHAL REQUIREMENTS
 - NEAR NORTH RAMP
 - ON SOUTH RAMP AND
 - MIDWAY ACCESS TO PLAZA BETWEEN BUILDING 2 & 3
- NOTE: SEE CIVIL WATER PLAN WT-01 FOR WATER LINE & HYDRANT LOCATIONS (OMC 16.36.050)

FIRE ACCESS ROUTE

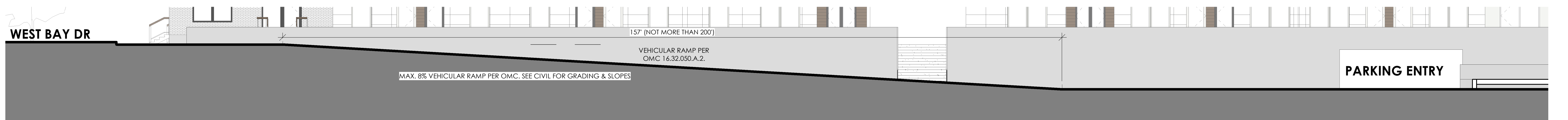
1 FIRE ACCESS DIAGRAM
1" = 50'-0"



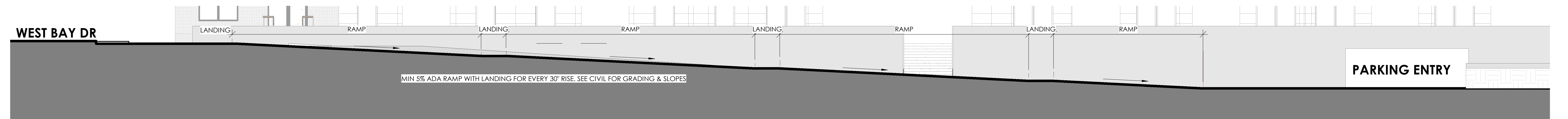




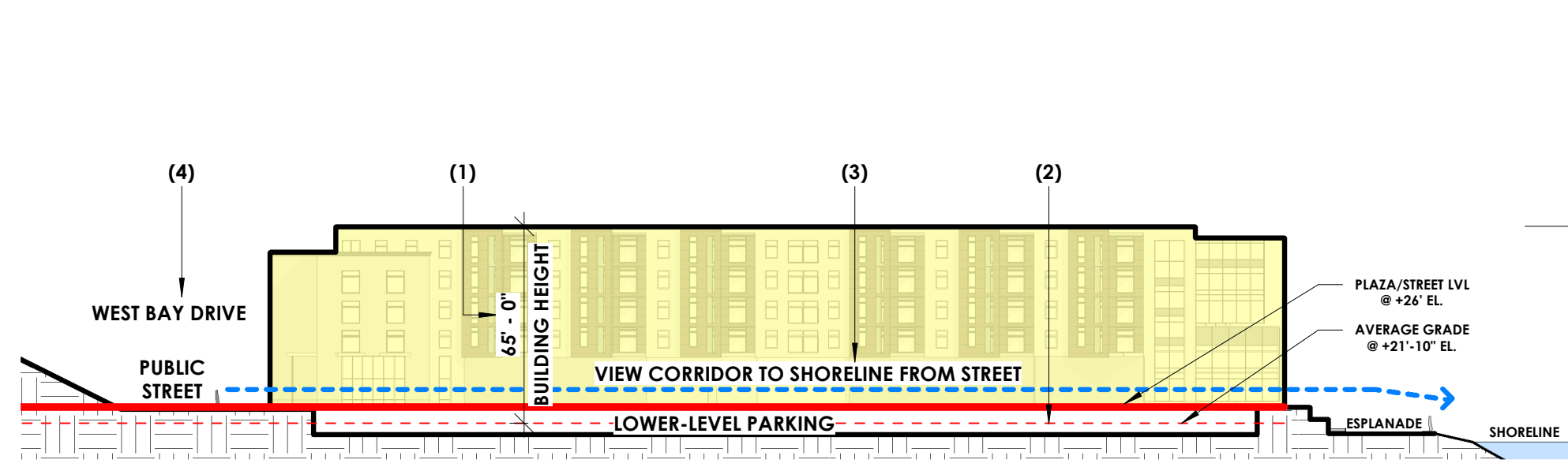
1 SITE SOUTH SECTION
1/16" = 1'-0"



2 SECTION - SOUTH VEHICLE RAMP
1" = 10'-0"



3 SECTION - SOUTH PEDESTRIAN RAMP
1" = 10'-0"



3 VIEW BLOCKAGE & HEIGHT

1" = 50'-0" 0' 25' 50' 100'

SEE TAGS IN ABOVE EXHIBIT

Per definitions provided under the 2020 Unified Development Code of OMC.

Section 18.02.120.

⁽¹⁾ Height (of Structure): **The difference between the average grade level and the highest point of a structure;** provided, that television antennas, chimneys, and similar appurtenances shall not be used in calculating height except where such appurtenances obstruct the view of the shoreline from a substantial number of residences on areas adjoining such shorelines.

Per Section 18.02.180. Grade⁽²⁾ is,

⁽²⁾ Grade: **The finished ground level adjoining the building at the exterior walls.**

⁽³⁾ Grade Plane: **A reference plane representing the average of the finished ground level adjoining the building at all exterior walls.** Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than six feet from the building between the structure and a point six feet from the building.

⁽⁴⁾ Height of Building is measured from calculated Average Grade Plane. See Sheet A6.2 for graphics.

18.06.100 COMMERCIAL DISTRICTS' DEVELOPMENT STANDARDS-SPECIFIC

FOR BUILDINGS BLOCKING UP TO 70% OF VIEW BLOCKAGE, TO A HEIGHT OF 65 FEET-AMENITIES FOR BOTH WATERFRONT TRAIL AND EXPANDED WATERFRONT TRAIL CORRIDOR FACILITY SHOULD BE PROVIDED, IN ORDER TO **RETAIN PUBLIC AND PRIVATE VIEW ACCESS TO BUDD INLET FROM HILLSIDE SITES ABOVE WEST BAY DRIVE**⁽¹⁾. SEE GRAPHICS ABOVE SHOWING VIEW ACCESS FROM STREET.

The two main regulations for Urban Waterfront (UW) per OMC 18.06.100.A.2.c are:

(a) Building Height

Per definitions of ⁽¹⁾ 'Height' in SMP cited above, the shoreline height restrictions are established to **limit obstructing the view of the shoreline,**

and

(b) View Blockage - intention to maintain required **View Corridors**⁽²⁾.

View Corridor⁽³⁾, definition per 18.02.180 is

⁽³⁾View Corridor. An area at **ground level** providing views of the waterfront, unobstructed by permanent structures between a **public street**⁽⁴⁾ and the preserved."

As shown in graphics above, height of the buildings as measured from **Average Grade Plane**⁽²⁾ at +21'-10" NAVD88 is **65 feet**. View blockage through building massing, is below 70% and within allowable limits of OMC 18.06.100.A.2.c when providing an expanded waterfront trail corridor.

VIEW PROTECTION CORRIDOR

PER OMC 18.06.100.A.2.C.III, DEVELOPMENT SHALL BE SUBJECT TO THE ALTERNATE STANDARDS FOR BUILDING HEIGHT AND VIEW BLOCKAGE, IF ALTERNATE WATERFRONT VIEW ACCESS IS PROVIDED THROUGH PUBLIC AMENITIES SUCH AS WATERFRONT TRAIL & EXPANDED WATERFRONT TRAIL CORRIDOR FACILITY FOR HORIZONTAL VIEW BLOCKAGE OF 70% UP TO HEIGHT OF 65'. SEE SHEET A11 AND A19.

TOTAL HORIZONTAL DISTANCE ALONG WEST BAY DRIVE = **926'**

VIEW BLOCKAGE AND HEIGHT INCREASES
INCLUDES EXPANDED WATERFRONT TRAIL CORRIDOR

BUILDING 1 VIEW BLOCKAGE =	104'
BUILDING 2 VIEW BLOCKAGE =	104'
BUILDING 3 VIEW BLOCKAGE =	106'
BUILDING 4 VIEW BLOCKAGE =	110'
BUILDING 5 VIEW BLOCKAGE =	104'
TOTAL VIEW BLOCKAGE =	(57%) 532'

REQUIRED VIEW CORRIDOR (OPEN SPACE) = **(30%) 278'**
PROVIDED OPEN SPACE = **(43%) 394'**

TOTAL HORIZONTAL DISTANCE ALONG EAST SHORELINE = **955'**

VIEW BLOCKAGE AND HEIGHT INCREASES
INCLUDES EXPANDED WATERFRONT TRAIL CORRIDOR

BUILDING 1 VIEW BLOCKAGE =	106'
BUILDING 2 VIEW BLOCKAGE =	106'
BUILDING 3 VIEW BLOCKAGE =	106'
BUILDING 4 VIEW BLOCKAGE =	110'
BUILDING 5 VIEW BLOCKAGE =	104'
TOTAL VIEW BLOCKAGE =	(56%) 532'

REQUIRED VIEW CORRIDOR (OPEN SPACE)= **(30%) 287'**
PROVIDED OPEN SPACE = **(45%) 423'**



GRAPHICS SHOW VIEW BLOCKAGE CALCULATIONS - INCLUDE OVERHEAD BALCONIES, EXCLUDE EAVES

- MAX HEIGHT 85'-10"
- ROOF 84'-0"
- FLOOR PLAN - LEVEL 5 74'-0"
- STREET 26'-0"
- AVERAGE GRADE 20'-10"
- ESPLANADE 17'-0"

1 SITE PLAN- CONCEPT VIEW BLOCKAGE

1" = 50'-0" 0' 25' 50' 100'



VIEW BLOCKAGE & HEIGHT

WEST BAY YARDS WEST BAY DRIVE | OLYMPIA, WA
LUXURY WATERFRONT LIVING SCHEMATIC DESIGN | 07/25/25
OLYMPIA

A15





1 SITE PLAN -VIEW CONTEXT
1" = 80'-0"

NOTE: SEE SHEET A17 FOR ADDITIONAL VIEW STUDY IMAGES AND INFORMATION.

VIEW A - BEFORE

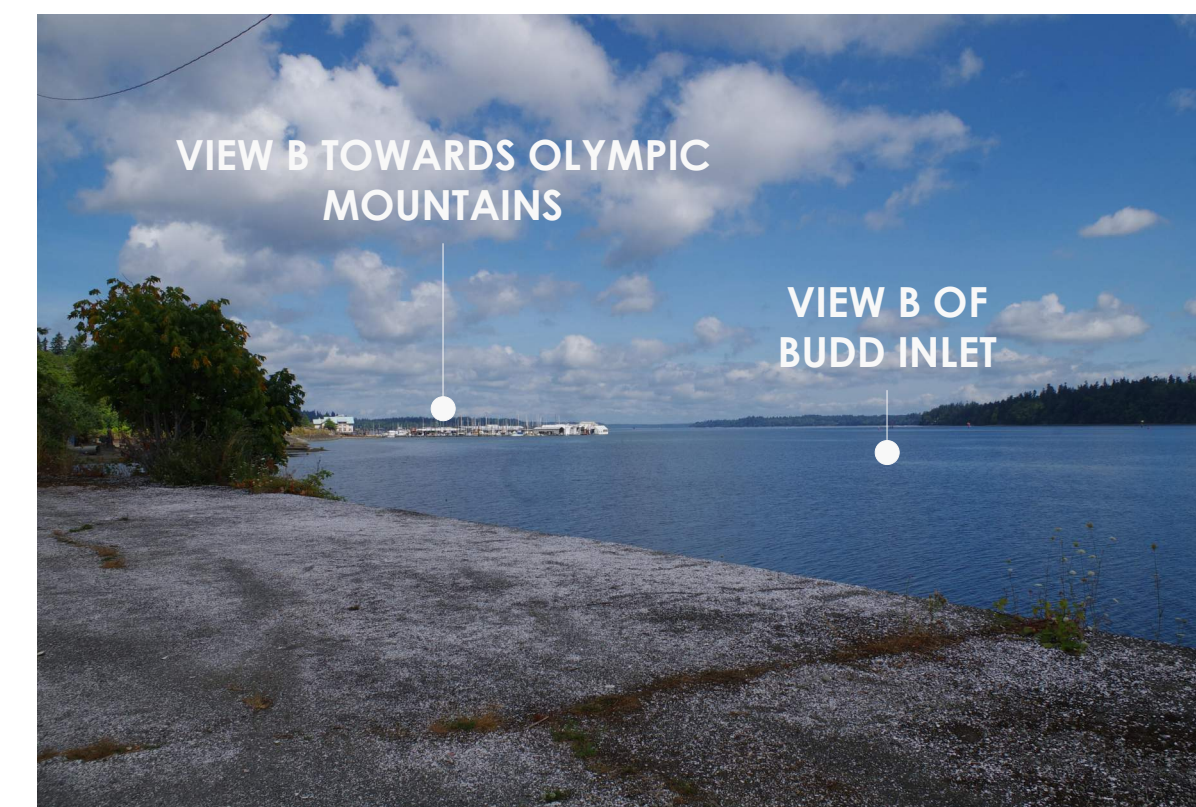


VIEW STUDY A - IS TOWARDS THE DIRECTION OF THE OLYMPIC MOUNTAINS AND BUDD INLET, NORTH-EAST OF THE PROPOSED SITE. WITH THE NEW RIPARIAN PLANTING ALONG THE EDGE OF THE ESPLANADE AND RIPARIAN PLANTING ON THE DOWNHILL OF THE SLOPE, VIEWS ARE STILL MAINTAINED AND VISIBLE FROM THE PEDESTRIAN EYE LEVEL. REFER SHORELINE LANDSCAPE DRAWINGS

VIEW A - AFTER

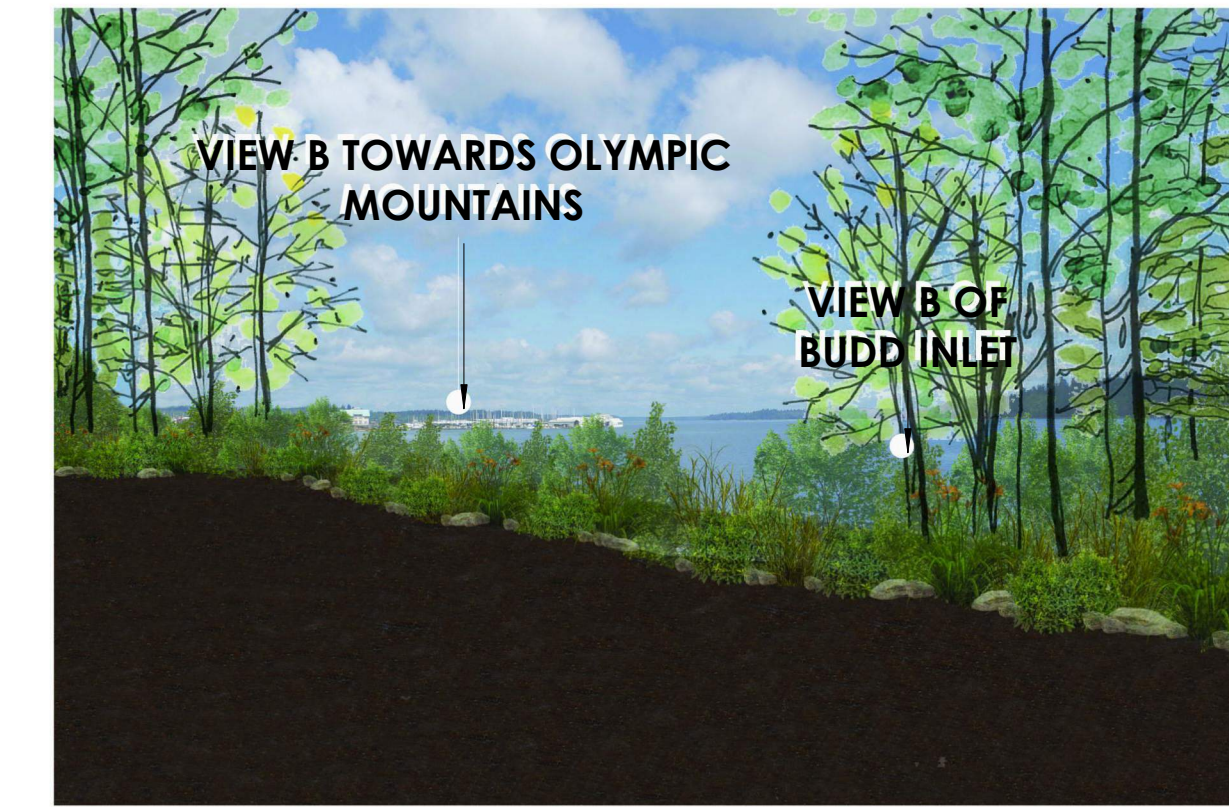


VIEW B - BEFORE



VIEW STUDY B - IS TOWARDS THE DIRECTION OF THE OLYMPIC MOUNTAINS AND BUDD INLET, NORTH-EAST OF THE PROPOSED SITE. WITH THE NEW RIPARIAN PLANTING ALONG THE EDGE OF THE ESPLANADE AND RIPARIAN PLANTING ON THE DOWNHILL OF THE SLOPE, VIEWS ARE STILL MAINTAINED AND VISIBLE FROM THE PEDESTRIAN EYE LEVEL. REFER SHORELINE LANDSCAPE DRAWINGS

VIEW B - AFTER



VIEW C - BEFORE



VIEW STUDY C - IS TOWARDS THE DIRECTION OF MT RAINIER, BUDD INLET, AND THE CAPITOL DOME SOUTH-EAST OF THE PROPOSED SITE. WITH THE NEW RIPARIAN PLANTING ALONG THE EDGE OF THE ESPLANADE AND RIPARIAN PLANTING ON THE DOWNHILL OF THE SLOPE, VIEWS ARE STILL MAINTAINED AND VISIBLE FROM THE PEDESTRIAN EYE LEVEL. REFER SHORELINE LANDSCAPE DRAWINGS FOR HEIGHT & CANOPY WIDTH.

VIEW C - AFTER



VIEW D - BEFORE



VIEW D - AFTER



VIEW STUDY D - IS IN THE DIRECTION TOWARDS BUDD INLET, EAST OF THE PROPOSED SITE. WITH THE NEW RIPARIAN PLANTING ALONG THE EDGE OF THE ESPLANADE AND DOWNHILL OF THE SLOPE, VIEWS ARE STILL MAINTAINED FROM THE TOP OF THE HILL. SEE SHORELINE LANDSCAPE DRAWINGS.

VIEW E - BEFORE



VIEW E - AFTER



VIEW STUDY E - IS LOOKING SOUTH DOWN WEST BAY DRIVE AND WEST OF THE PROPOSED SITE. PROPOSED BUILDINGS RESPOND TO THE EXISTING CONTEXT AND PEDESTRIAN SCALE BY MAINTAINING A 3-4 STORY HEIGHT. A NEW SIDEWALK WITH LANDSCAPE BUFFER, PROTECTED COVERED AREAS AND LIGHTING WILL IMPROVE ACCESSIBILITY FOR PEDESTRIANS ALONG WEST BAY DRIVE.

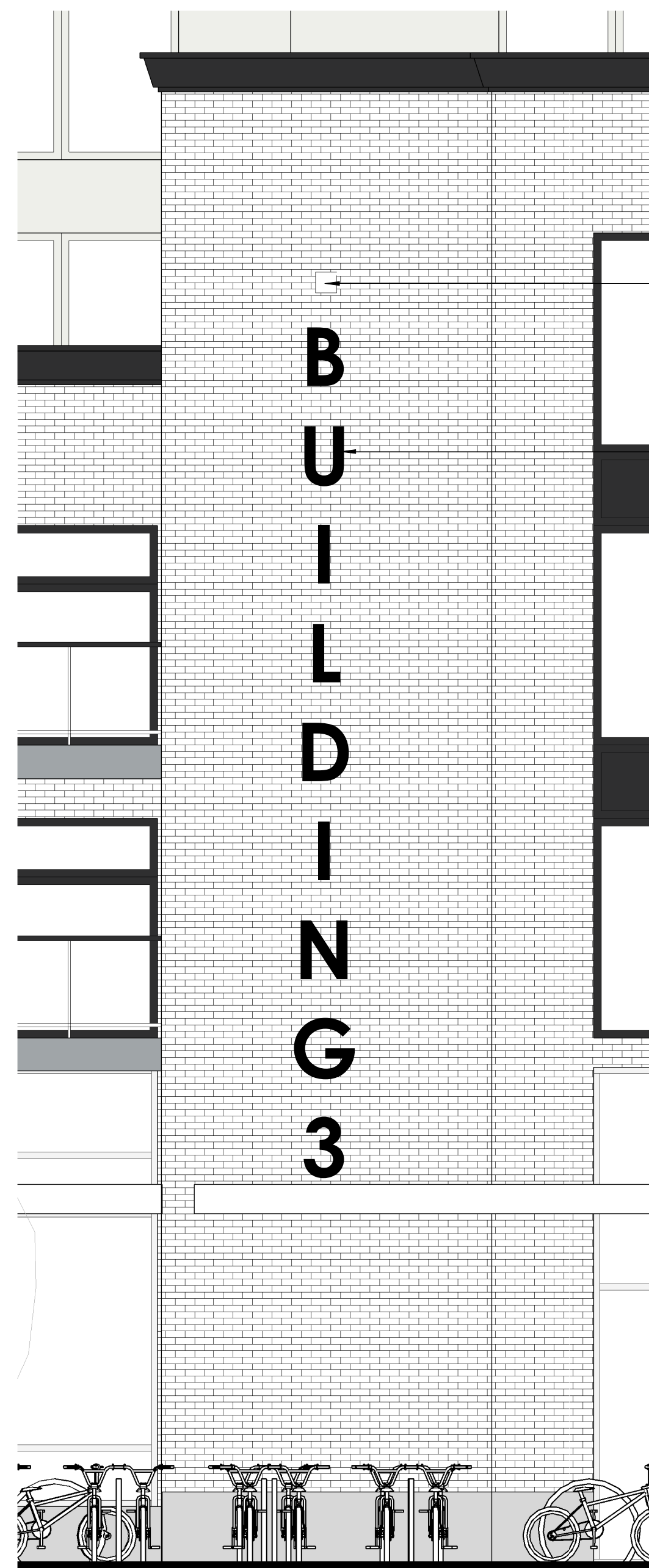
VIEW F - BEFORE



VIEW F - AFTER



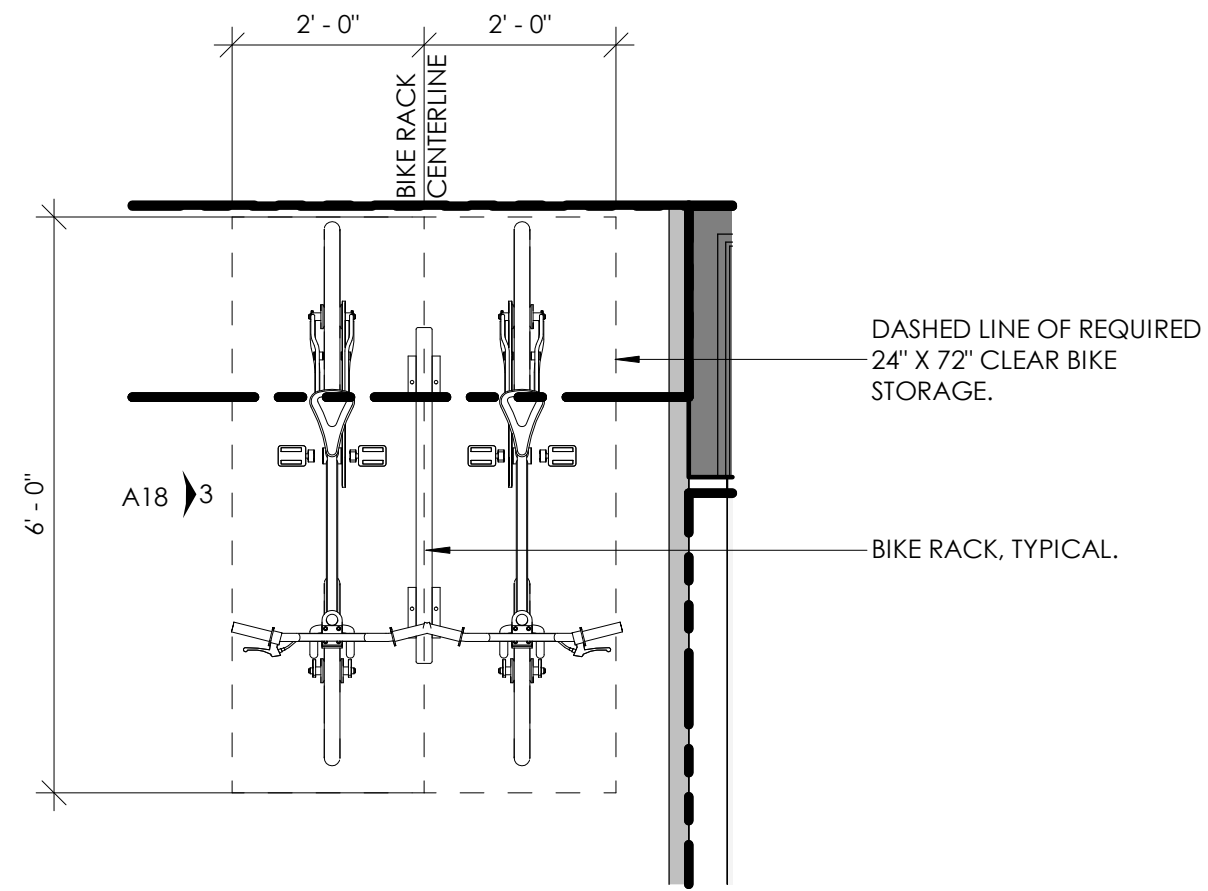
VIEW STUDY F - IS LOOKING NORTH WEST BAY DRIVE AND WEST OF THE PROPOSED SITE. PROPOSED BUILDINGS RESPOND TO THE EXISTING CONTEXT AND PEDESTRIAN SCALE BY MAINTAINING A 3-4 STORY HEIGHT. A NEW SIDEWALK WITH LANDSCAPE BUFFER, PROTECTED COVERED AREAS AND LIGHTING WILL IMPROVE ACCESSIBILITY FOR PEDESTRIANS ALONG WEST BAY DRIVE.



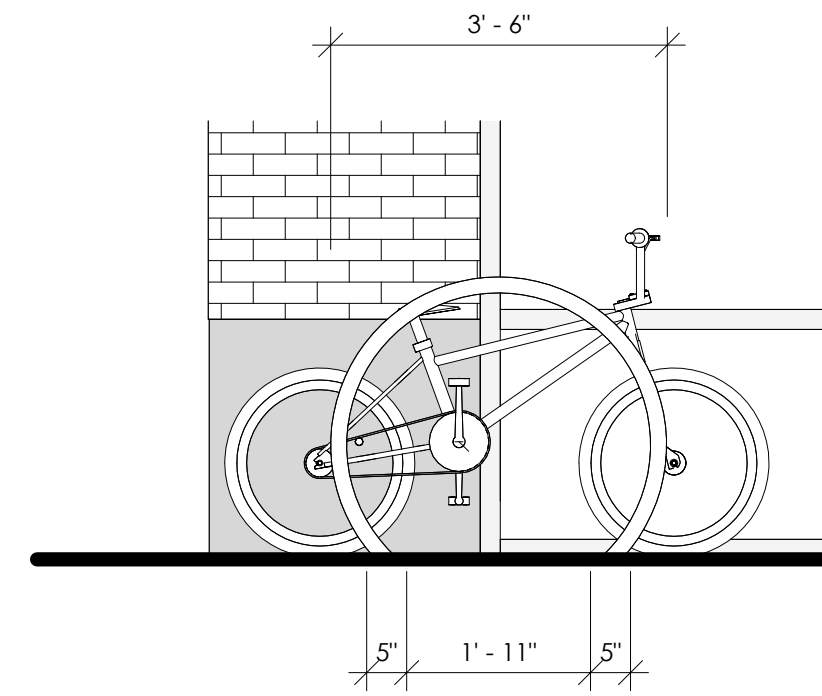
1 BUILDING SIGNAGE
1/4" = 1'-0"

DOWN LIGHT FIXTURES

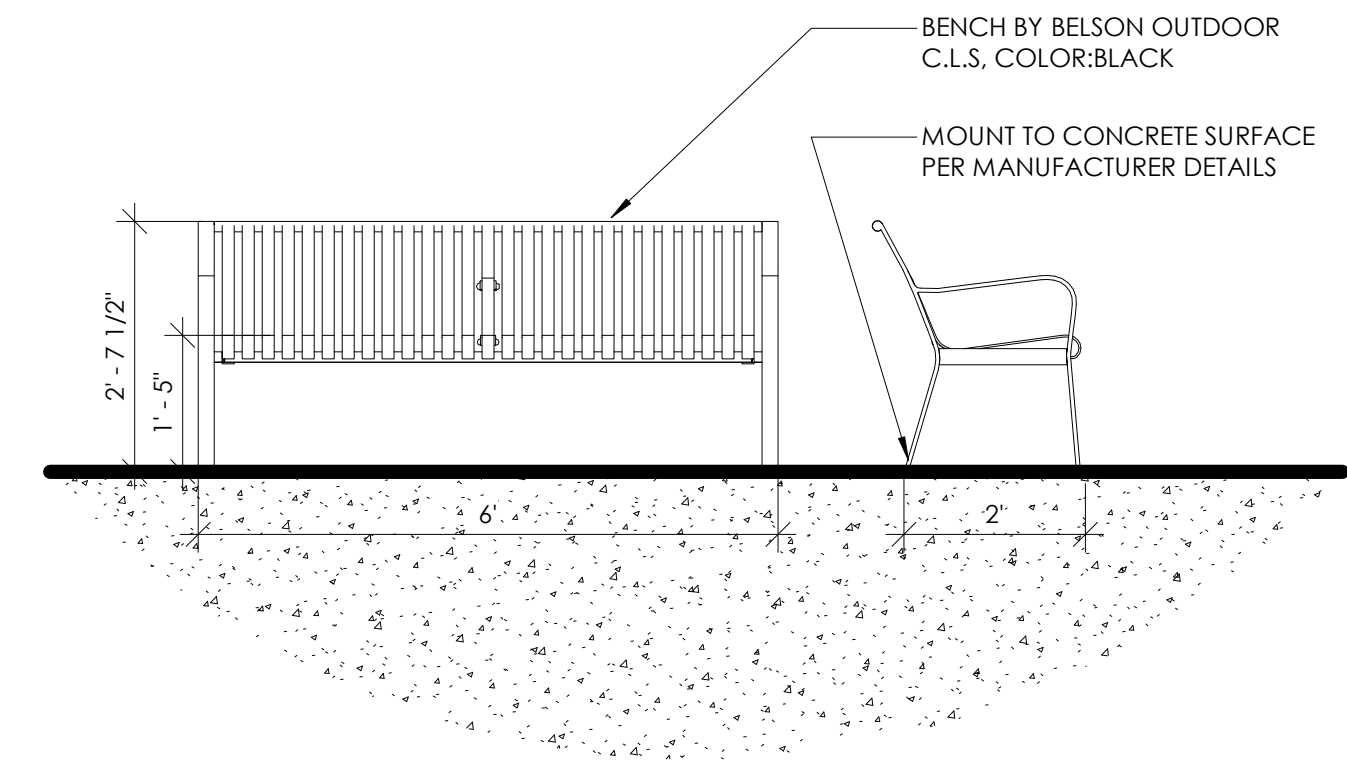
BLACK METAL LETTER SIGNAGE ON BRICK



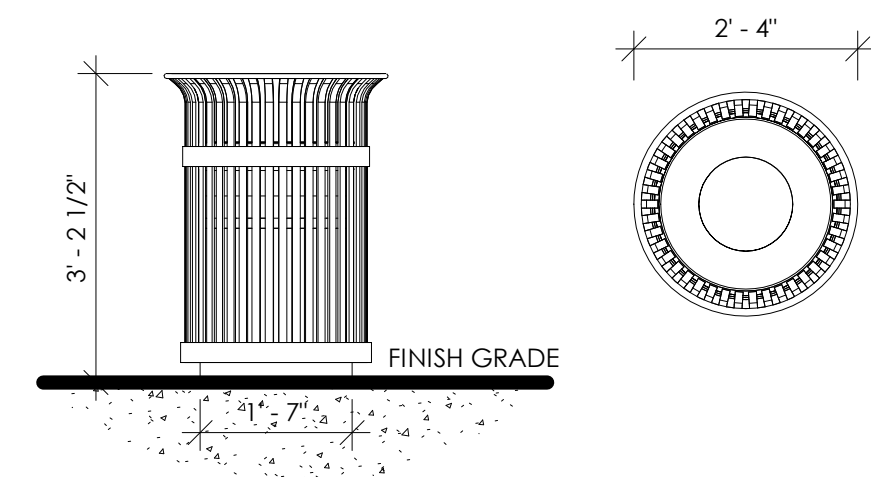
2 SHORT TERM BIKE STORAGE - PLAN
1/2" = 1'-0"



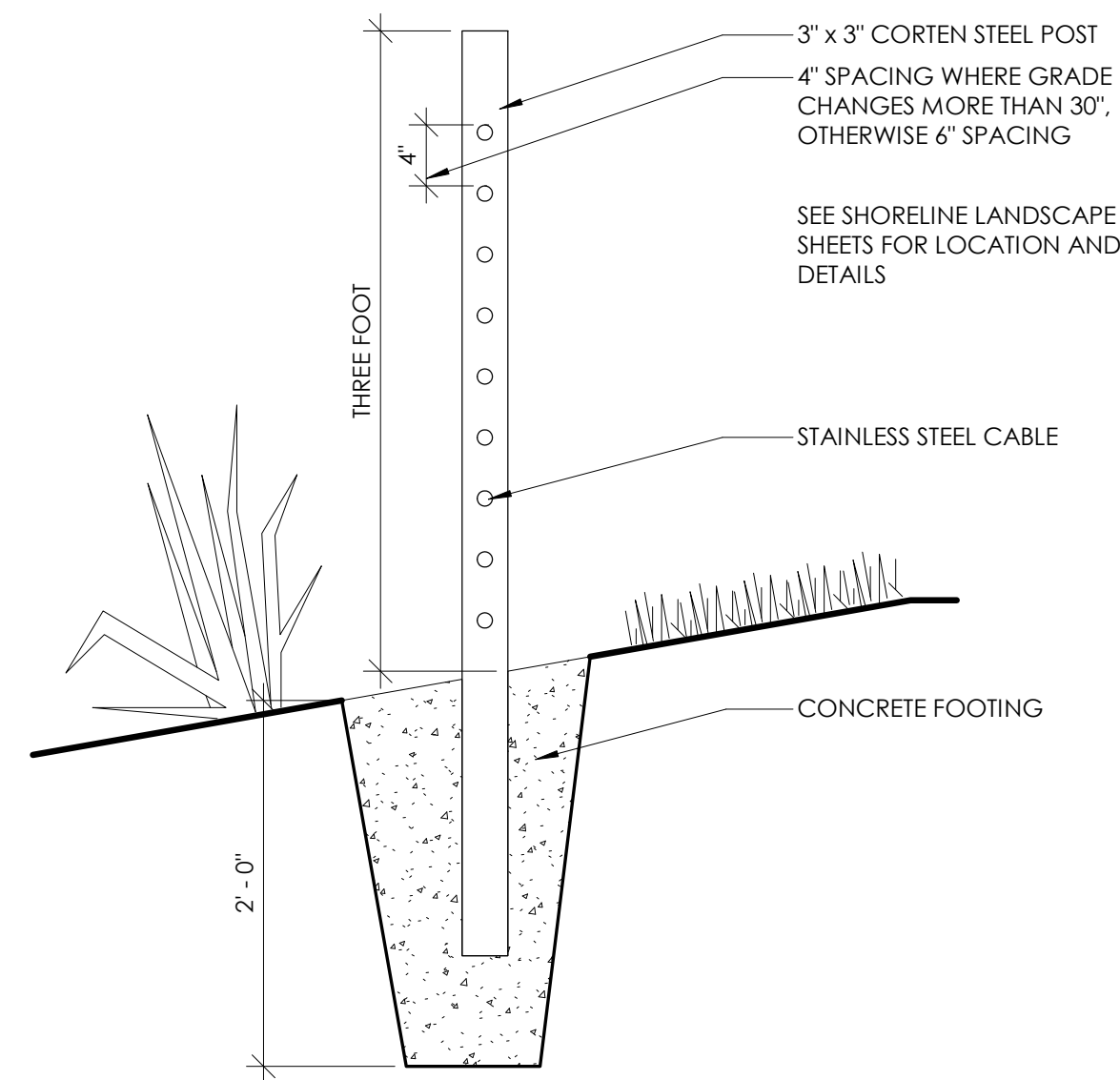
3 SHORT TERM BIKE STORAGE - SIDE ELEVATION
1/2" = 1'-0"



4 BENCH DETAIL
1/2" = 1'-0"










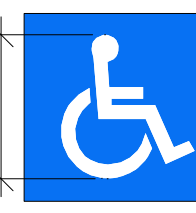



6 SITE - GARBAGE RECEPTACLE
1/2" = 1'-0"



7 FENCE DETAIL
1" = 1'-0"

SITE SIGNAGE LEGEND TO BE IN COMPLIANCE WITH OMC 18.20.480

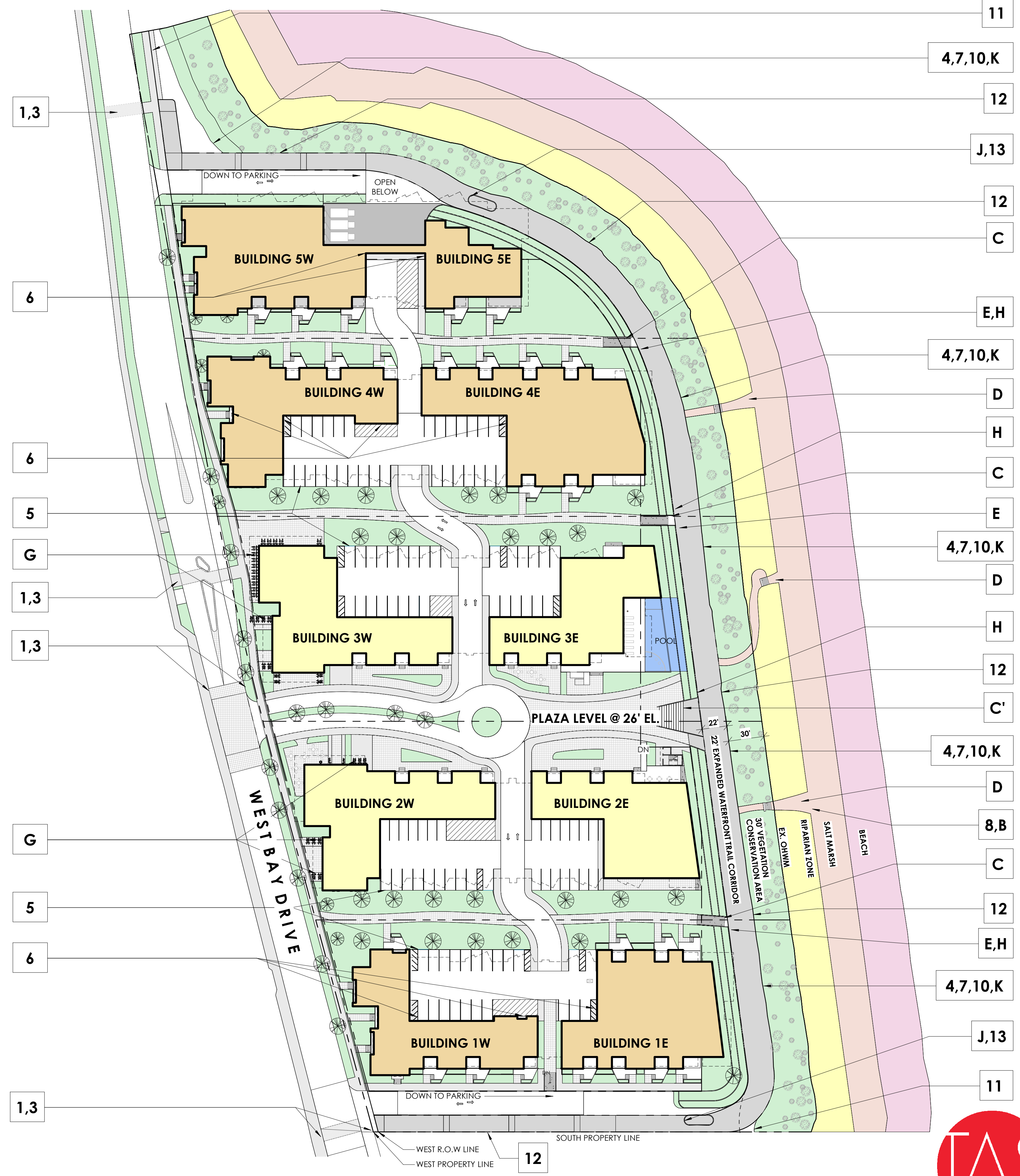
<p>1</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PEDESTRIAN SIGN, MUTCD SIGN DESIGNATION No. W11-2 2. 30" DIAMOND 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND YELLOW BACKGROUND WITH BLACK TEXT.</p>	<p>6</p> 	<p>1. PRIVATE ACCESS - RESIDENTS ONLY 2. 30" WIDE X 36" HIGH 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH RED TEXT.</p>
<p>2</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LEFT TURN ONLY SIGN, MUTCD SIGN DESIGNATION No. R3-5. 2. 30" WIDE X 36" HIGH. 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>	<p>7</p> 	<p>1. SENSITIVE RIPARIAN AREA - KEEP OUT. 2. 10" WIDE X 14" HIGH RECTANGLE 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND RED/WHITE BACKGROUND WITH WHITE/RED TEXT.</p>
<p>3</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PEDESTRIAN CROSSWALK SIGN, MUTCD SIGN No. R9-8. 2. 36" WIDE X 18" HIGH RECTANGLE 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>	<p>8</p> 	<p>1. SMALL BOAT (KAYAK) LAUNCH. 2. 12" WIDE X 18" HIGH RECTANGLE 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND BROWN BACKGROUND WITH WHITE TEXT.</p>
<p>4</p> 	<p>1. STANDARD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES NO PEDESTRIAN SIGN, MUTCD SIGN No. R5-10c. 2. 36" WIDE X 18" HIGH RECTANGLE 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>	<p>9</p> 	<p>1. WASHINGTON ELECTRICAL VEHICLE CHARGING STATION SIGN. 2. 12" WIDE X 12" HIGH. 3. REFLECTIVE HEAVY DUTY ALUMINUM, 63 MIL. WITH ROUNDED CORNERS, PAINTED WITH 3M INKS, ENGINEER GRADE MINIMUM. POLE MOUNTED, COLOR: GREEN BACKGROUND W/ WHITE SYMBOL AND TEXT.</p>
<p>5</p> 	<p>1. PARKING SIGN 2. 18" WIDE X 24" HIGH RECTANGLE 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH GREEN TEXT.</p>	<p>10</p> 	<p>AT LOCATIONS OF SALT MARSH PLANTING, SEE NOTE K BELOW. 1. RESTRICTED AREA 2. 30" WIDE X 36" HIGH. 3. HIGH-INTENSITY PRISMATIC SHEETING WITH 0.080 GAUGE ALUMINUM, POLE MOUNTED AND WHITE BACKGROUND WITH BLACK TEXT.</p>
<p>3'-0"</p> 	<p>INTERNATIONAL SYMBOL OF ACCESSIBILITY PER WAC 1101.2.6 WHITE SYMBOL ON A BLUE BACKGROUND</p>	<p>11</p> 	<p>13</p> 
		<p>12</p> 	

SITE AMENITIES LEGEND

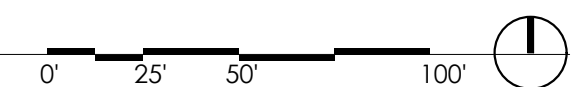
NOTE: ALL AMENITIES ON SITE ARE OPEN FOR PUBLIC ACCESS EXCEPT FOR VEGETATION CONSERVATION AREA & RESIDENTIAL PORTIONS OF THE BUILDINGS SHOWN BY LEGENDS

OMC 18.06.100A.2.c.iv.b.2. The expanded waterfront trail corridor facility or small park may vary in size from City park standards and could include additional right-of-way for the expanded trail, landscaping, habitat enhancement, benches, lighting, parking, garbage receptacles, interpretive signs and other facilities.

<p>A ITEM REMOVED</p> <p>B KAYAK LAUNCH, LOCATED AT AREA WITH ADEQUATE WATER DEPTH FOR LAUNCH, ACCESSED THROUGH GRAVEL TRAIL</p> <p>C INTERMEDIATE STAIR PROVIDES PUBLIC CONNECTION TO WATERFRONT AND BEACH</p> <p>C' CENTRAL GRAND STAIR AS CONNECTION TO WATERFRONT AND BEACH</p>	<p>D PUBLIC ACCESS TO SHORELINE AS REQ. PER OMC 18.20.450.A.2 - PEDESTRIAN ACCESS FROM UPLAND TO SHORELINE - ALLOWED WITHOUT VARIANCE PER OMC 18.20.493.2. SIGNAGE TO BE PROVIDED PER 18.20.450.1</p> <p>E PEDESTRIAN RESTING AREAS (SEAT WALLS), SEE SHORELINE LANDSCAPE</p> <p>F ITEM REMOVED</p>	<p>G SHORT TERM BIKE STORAGE</p> <p>H PEDESTRIAN BENCHES WILL BE PROVIDED ALONG PEDESTRIAN ROUTES</p> <p>I TRASH RECEPTACLE WILL BE PROVIDED ALONG PEDESTRIAN ROUTES</p> <p>J PATH SPLITTER ISLAND PER WSDOT 1515.08(2)(A) TO LIMIT VEHICULAR ACCESS ON PEDESTRIAN TRAIL BUT MOUNTABLE TO ALLOW EMERGENCY VEHICLE ACCESS THROUGH TRAIL</p>	<p>K STEEL POST FENCE WITH STEEL CABLE TO PROTECT SENSITIVE VEGETATION PER 18.20.460.A.2. SEE LANDSCAPE PLANS FOR LOCATION & DETAILS.</p> <p>PRIVATE RESIDENTIAL ACCESS ONLY BUILDINGS</p> <p>MIXED-USE BUILDINGS WITH PUBLIC ACCESS TO COMMERCIAL PROGRAMS AT PLAZA AND PRIVATE RESIDENTIAL ONLY ACCESS AT UPPER FLOORS</p>
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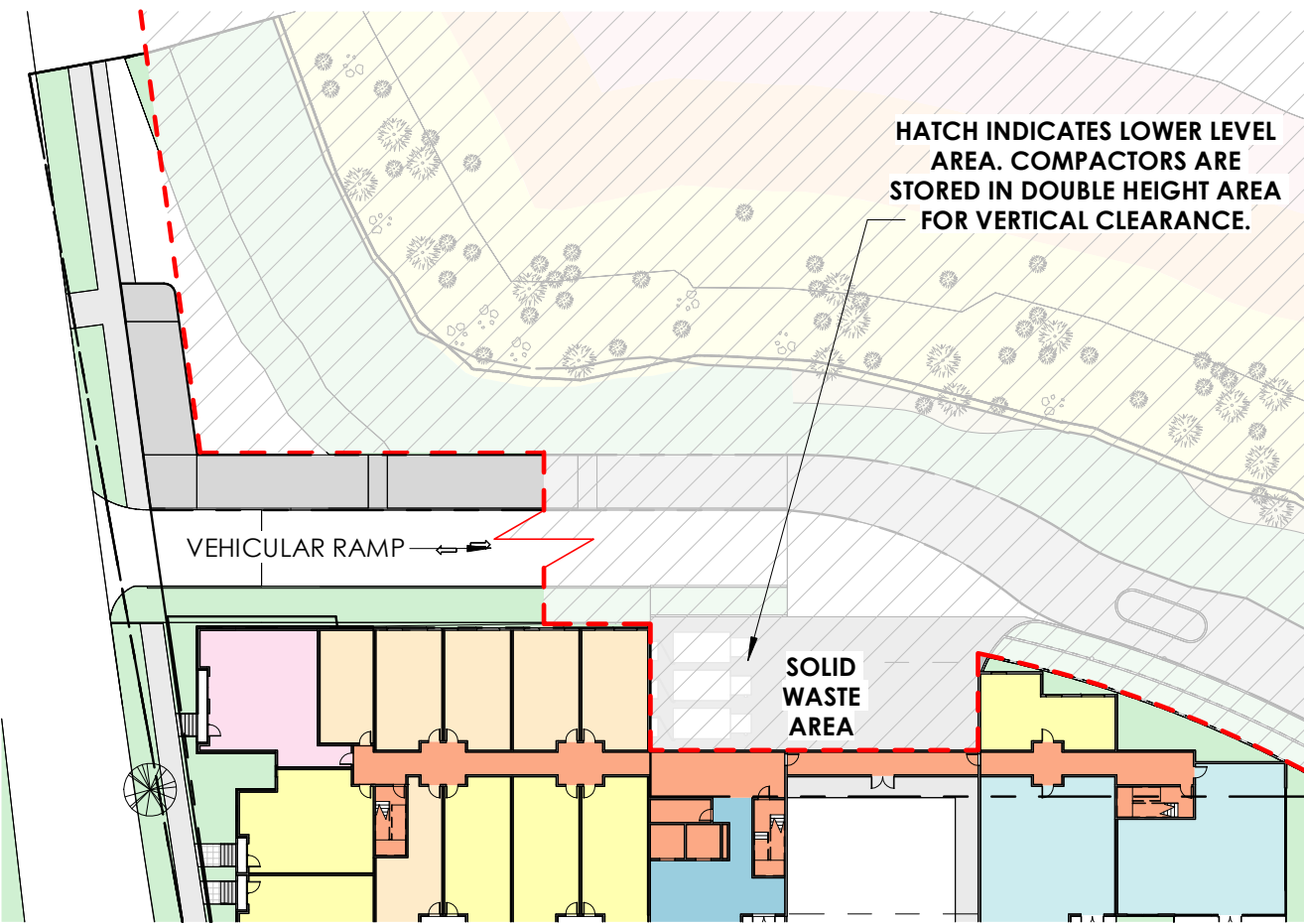


1 SITE PLAN- AMENITIES
1" = 50'-0"

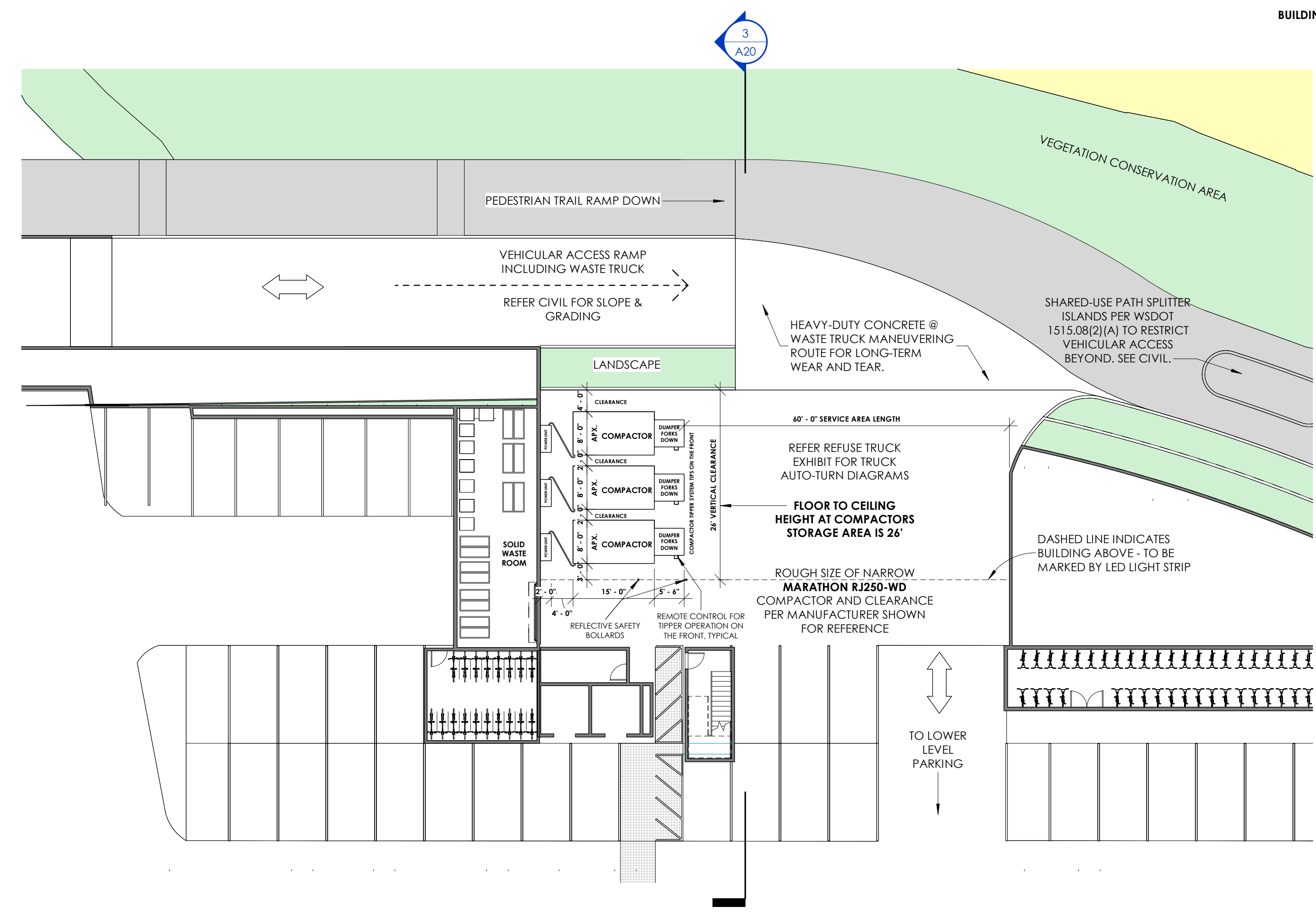


A19





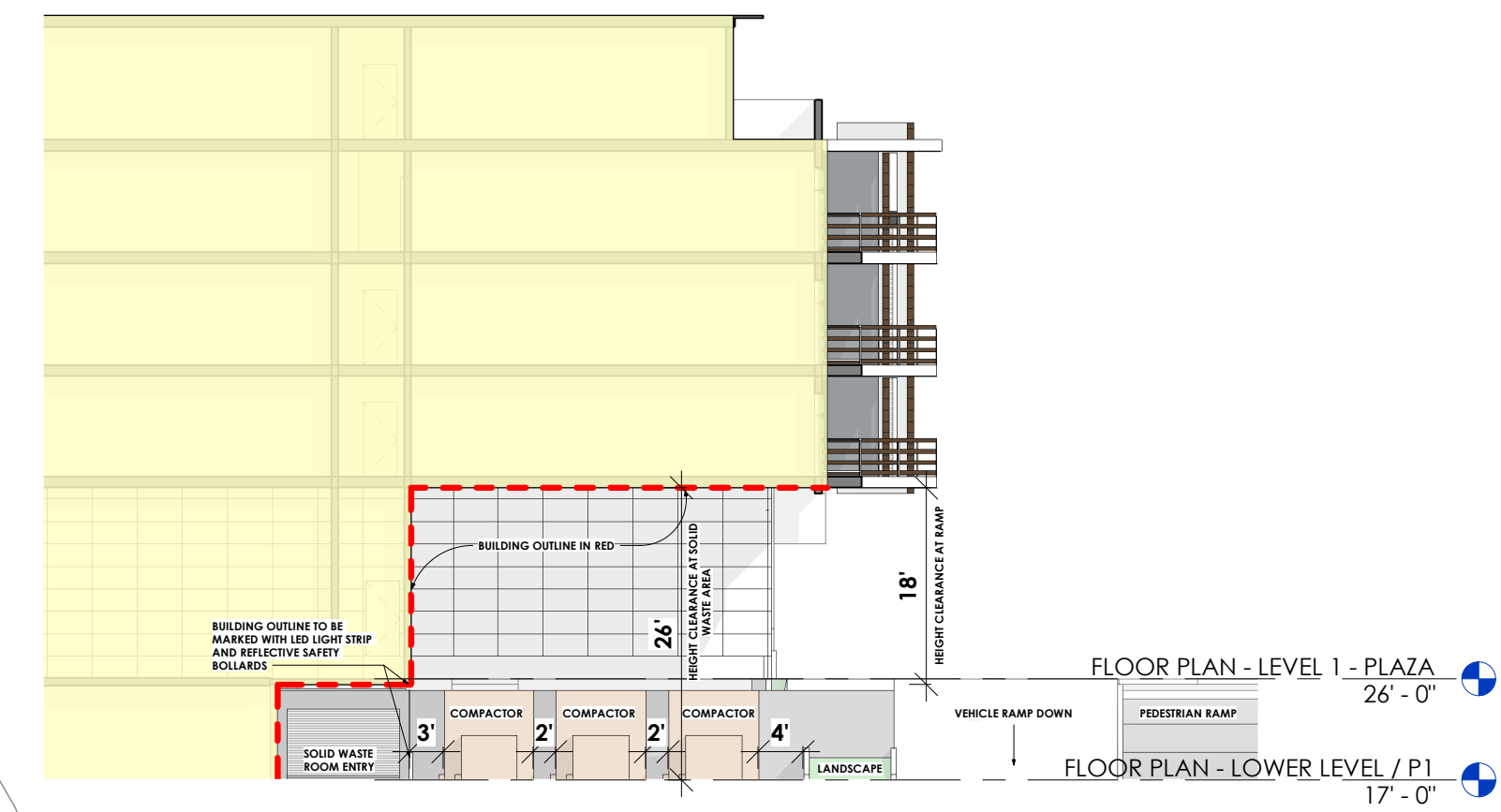
5 SOLID WASTE LOCATION
1" = 50'-0"



2 SOLID WASTE - ENLARGED PLAN
1/16" = 1'-0"



1 SOLID WASTE CIRCULATION PLAN
1" = 50'-0"



3 SOLID WASTE - SECTION
1/16" = 1'-0"

WASTE RESOURCE SUMMARY

PER OLYMPIA MUNICIPAL CODE EDDS: CHAPTER 8
GOAL: TO COLLECT AND STORE WASTE IN FACILITY ACCESSED BY THE TRAIL OR CIRCULATION CORE ON THE LOWER LEVEL. PROVIDE GARBAGE SHOOTS IN INDIVIDUAL BUILDINGS FOR THE COLLECTION OF WASTE. PICK-UP CYCLE BASED AT 4.33 WEEKS PER MONTH. COMPACTORS AND DROP BOXES ARE STRONGLY ENCOURAGED WHERE WASTE VOLUMES EXCEED 6 CUBIC YARDS PER WEEK FOR A GIVEN WASTE STREAM AND HAVING MULTIPLE DUMPSTERS IS NOT POSSIBLE. DIVIDE EQUALLY BETWEEN GARBAGE, RECYCLING/ORGANICS.

EACH BUILDING WILL HAVE TWO WASTE CHUTES ONE FOR GARBAGE AND ONE FOR MIXED RECYCLING. ORGANICS WASTE WILL NEED TO BE TAKEN TO SOLID WASTE ROOM IN GARAGE. WASTE IS COLLECTED AT LOWER LEVEL IN 2 YARD TOW CARTS. TOW CARTS WILL BE TAKEN TO COMPACTORS BY BUILDING MANAGEMENT FOR MUNICIPAL PICKUP. THREE COMPACTORS - ASSIGNED FOR GARBAGE, COMMINGLE RECYCLING & CORRUGATED CARDBOARD/FUTURE BACK-UP. RECYCLING AND ORGANICS TO BE HANDLED ON AN AS-NEEDED BASIS FOR THE COMMERCIAL SPACES.

PHASE 1:

BUILDING 2 (85) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 = (8,770 SF) REST/CAFE @ 1.0 CY/500 SF = (7,817 SF) COMMERCIAL @ 1.0 CY/500 SF =	PER WEEK 21.59 CY 17.54 CY 15.63 CY
BUILDING 3: (84) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 = (4,378 SF) COMMERCIAL @ 1.0 CY/500 SF =	21.33 CY 8.75 CY
TOTAL WASTE COLLECTED =	84.84 CY
REQUIRED WASTE ALLOCATED TO GARBAGE =	42.42 CY
REQUIRED WASTE ALLOCATED TO RECYCLE/ORGANICS =	42.42 CY

PHASE 2:

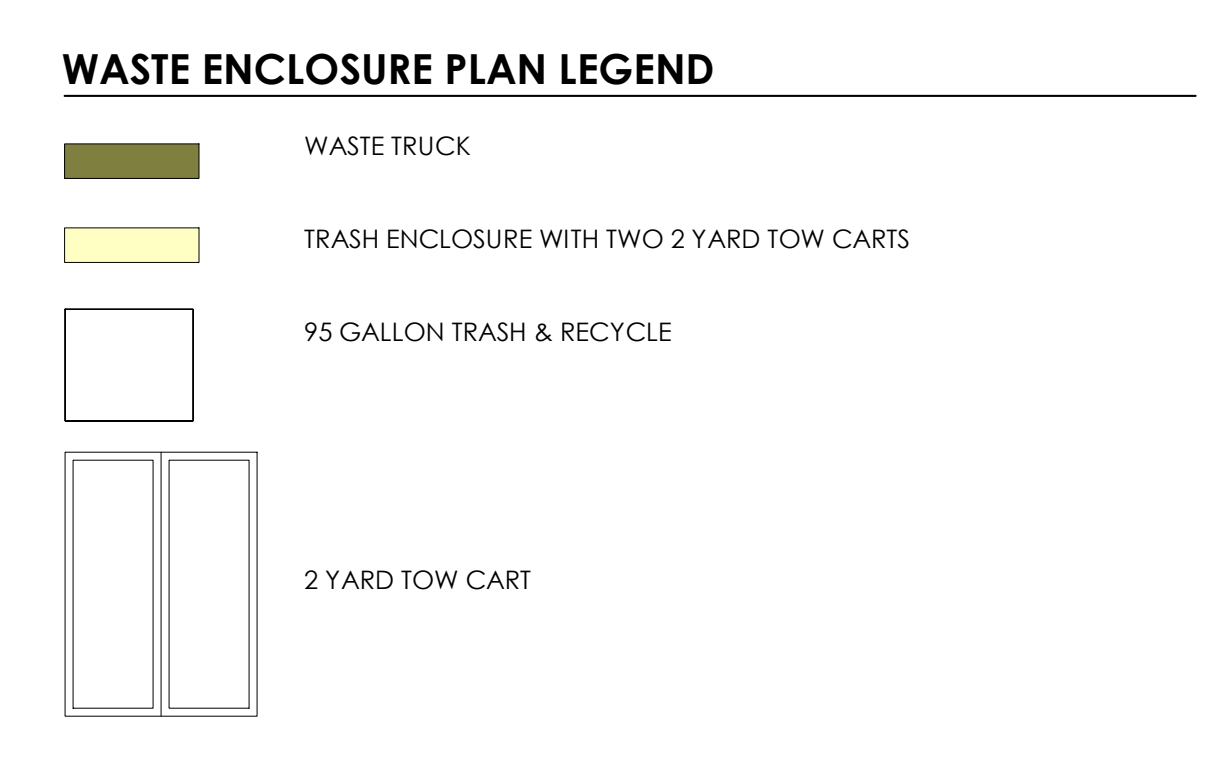
BUILDING 4 (126) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 =	32.00 CY
BUILDING 5 (86) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 =	21.84 CY
TOTAL WASTE COLLECTED =	53.84 CY
REQUIRED WASTE ALLOCATED TO GARBAGE =	26.92 CY
REQUIRED WASTE ALLOCATED TO RECYCLE/ORGANICS =	26.92 CY

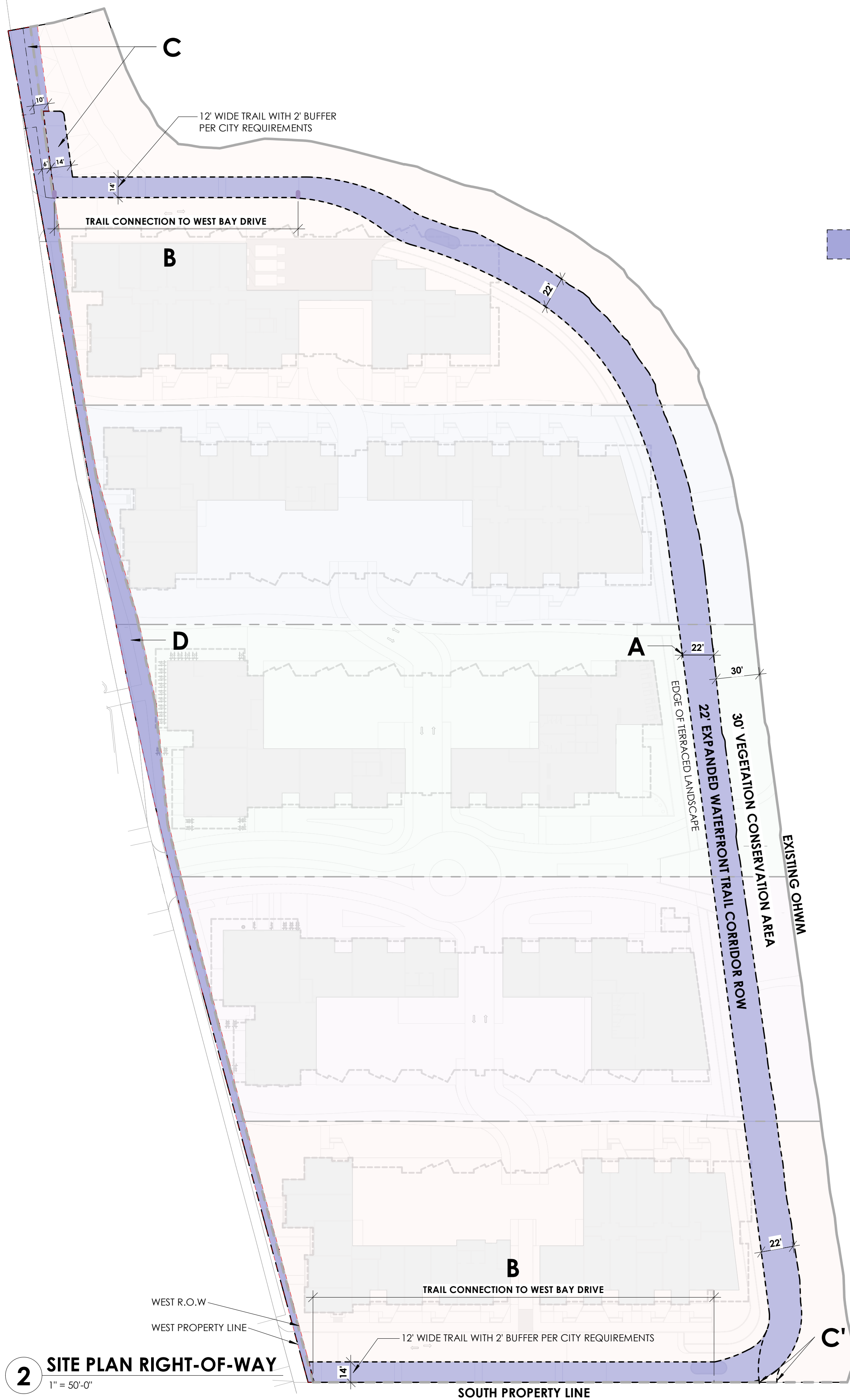
PHASE 3:

BUILDING 1 (97) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 =	24.64 CY
TOTAL WASTE COLLECTED =	24.64 CY
REQUIRED WASTE ALLOCATED TO GARBAGE =	12.32 CY
REQUIRED WASTE ALLOCATED TO RECYCLE/ORGANICS =	12.32 CY

WASTE ENCLOSURE PLAN LEGEND

- WASTE TRUCK
- TRASH ENCLOSURE WITH TWO 2 YARD TOW CARTS
- 95 GALLON TRASH & RECYCLE
- 2 YARD TOW CART





2 SITE PLAN RIGHT-OF-WAY
1" = 50'-0"

TRAILS AND RIGHT-OF-WAY

As required to be dedicated for public use per OMC 18.06.100.A.2.c and Shoreline Master Program 18.20.

TRAILS AND SIDEWALKS DEDICATED TO THE CITY FOR PUBLIC ACCESS AND USE AS REQUIRED PER OLYMPIA MUNICIPAL CODE AND ENGINEERING STANDARDS

- A** THE 22' WIDE EXPANDED WATERFRONT TRAIL CORRIDOR DEDICATED TO THE CITY FOR PUBLIC USE AS R.O.W PER 18.06.100.A.2.C.iv.b AND EDDS 4E.010 T.13, IS PROVIDED ALONG THE EAST WATERFRONT SIDE. THIS TRAIL SECTION ALLOWS ONLY PEDESTRIAN AND EMERGENCY VEHICLE ACCESS IDENTIFIED BY SIGNAGE & PATH SPLITTER ISLAND. THE TRAIL CROSS SECTION WIDTH ALONG THE SHORELINE THAT STARTS AT THE EDGE OF TERRACED LANDSCAPING, INCLUDES 20' PAVED PATH FOR FIRE ACCESS ROAD WITH 2' SHOULDER. SEE SHEET - A29 SHORELINE SECTION & SHORELINE LANDSCAPE DRAWINGS FOR DETAILS.
 - B** PUBLICLY ACCESSIBLE PEDESTRIAN CONNECTION BETWEEN EXPANDED TRAIL AND WEST BAY DRIVE SIDEWALK DEDICATED PER OMC 18.06.100.A.2.C.iv.b.4., MINIMUM TRAIL WIDTH OF 12' WITH 2' BUFFER MAINTAINED PER CITY REQUIREMENTS.
 - C** ACCESSIBLE TRAIL CONNECTION TO WEST BAY DRIVE. 10' WIDE SIDEWALK WHERE TRAIL CONNECTS TO WEST BAY DRIVE. THEN EXTENDS TILL NORTH PROPERTY LINE PER CITY REQUIREMENTS FOR FUTURE CONNECTION TO ADJACENT PROPERTIES.
 - C'** FUTURE TRAIL CONNECTION TO ADJACENT PROPERTY ON SOUTH PER ADOPTED TRAILS PLAN.
 - D** THE TRAIL PATH AROUND THE SITE PROVIDED PER 13A WEST BAY TRAIL CORRIDOR OF THURSTON REGIONAL TRAILS PLAN TABLE 2.3 FEATURES (PAGE 49 & 166) AND LOCATED ALONG THE WATER ON ALL SIDES WITH LIGHTING, SIGNAGE & OTHER PEDESTRIAN FRIENDLY FEATURES. SEE SHEET A19 AND A43.
- FRONTAGE IMPROVEMENTS ALONG WEST BAY DRIVE DEDICATED AS RIGHT-OF-WAY TO THE CITY FOR PUBLIC USE. IMPROVEMENTS SHALL BE MADE PER APPROVED ENGINEERING DEVIATION REQUEST DATED 03/11/22. SEE CIVIL FOR DETAILS.

CODE INFORMATION

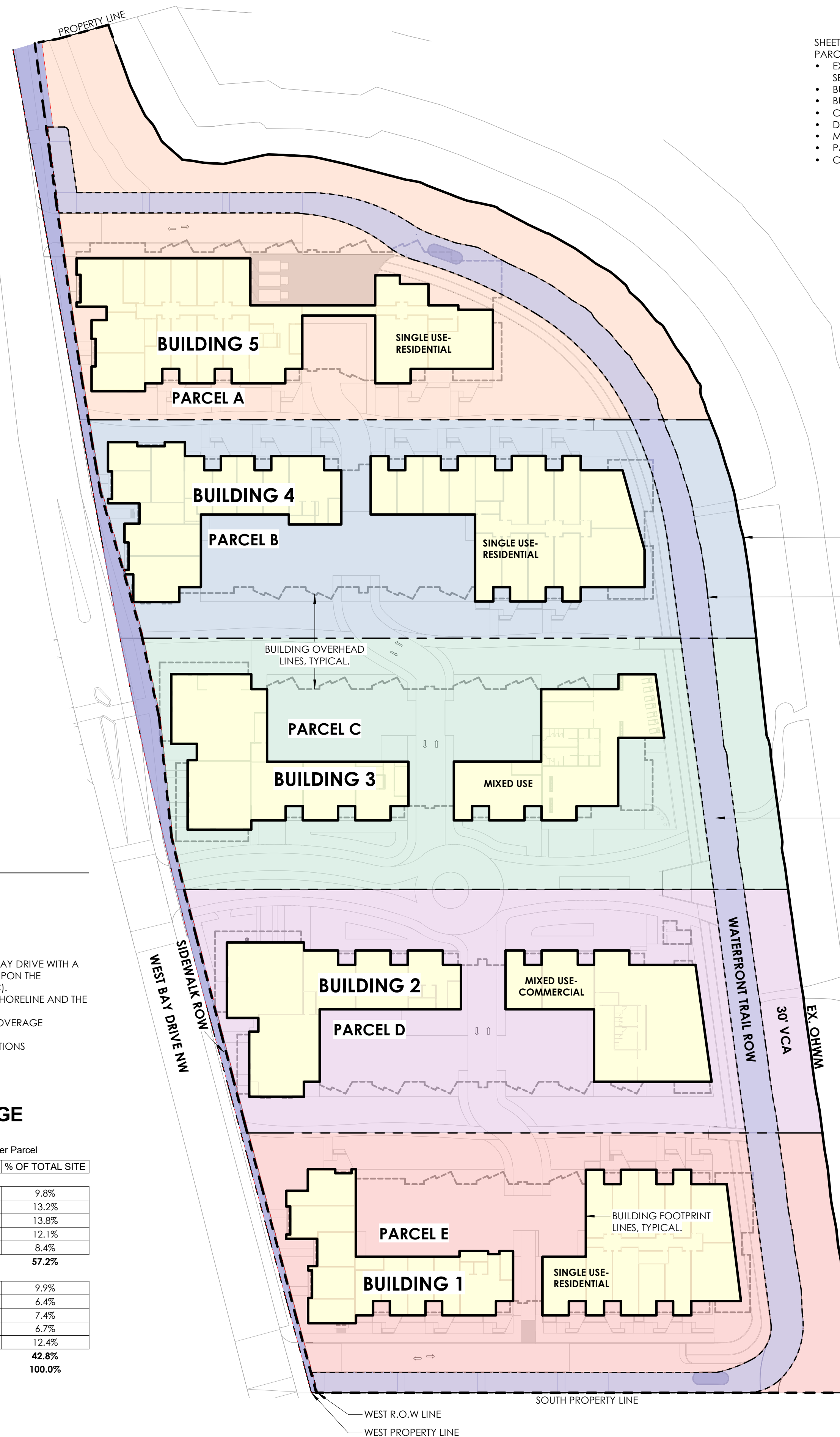
PER 2020 OMC 18.06.080 : TABLE 6.02 COMMERCIAL DEVELOPMENT STANDARDS (COVERAGE & SETBACKS)
MINIMUM LOT AREA - NO MINIMUM.
FRONT YARD SETBACK - NO MINIMUM
REAR YARD SETBACK - NO MINIMUM
SIDE YARD SETBACK - NO MINIMUM;
MAXIMUM BUILDING HEIGHT - IN THE PORTION OF THE AREA ON WEST BAY DRIVE WITH A HEIGHT LIMIT OF 42' TO 65'. THE TALLER HEIGHT LIMIT IS CONDITIONED UPON THE PROVISION OF CERTAIN WATERFRONT AMENITIES. SEE 18.06.100(A)(2)(C).
MAXIMUM BUILDING COVERAGE - 60% FOR PROPERTIES BETWEEN THE SHORELINE AND THE NEAREST UPLAND STREET.
MAXIMUM IMPERVIOUS SURFACE COVERAGE - 100% DEVELOPMENT COVERAGE

PER 2020 OMC CHAPTER 18.20 SHORELINE MASTER PROGRAM REGULATIONS TABLE 6.3 SETBACKS REQUIRED FOR URBAN INTENSITY - BUDD 3A ARE:
SHORELINE SETBACK = 30', **VEGETATION CONSERVATION AREA** = 30',
 SETBACK WITH MAXIMUM REDUCTION=NON-WATER DEPENDENT=30'

***TOTAL BUILDING COVERAGE**

Building Area includes hardscape on Plaza and Open Area includes Vegetated Roof over parking garage/Plaza per Parcel

INCLUDES	TYPE	Area	% OF TOTAL SITE
BUILDING 1	BUILDING	34,337 SF	9.8%
BUILDING 2	BUILDING	46,195 SF	13.2%
BUILDING 3	BUILDING	48,233 SF	13.8%
BUILDING 4	BUILDING	42,322 SF	12.1%
BUILDING 5	BUILDING	29,559 SF	8.4%
BUILDING		200,646 SF	57.2%
BUILDING 1 OPEN SPACE	OPEN SPACE	34,810 SF	9.9%
BUILDING 2 OPEN SPACE	OPEN SPACE	22,374 SF	6.4%
BUILDING 3 OPEN SPACE	OPEN SPACE	25,785 SF	7.4%
BUILDING 4 OPEN SPACE	OPEN SPACE	23,504 SF	6.7%
BUILDING 5 OPEN SPACE	OPEN SPACE	43,434 SF	12.4%
OPEN SPACE		149,908 SF	42.8%
TOTAL SITE AREA		350,553 SF	100.0%



1 SITE PLAN - COVERAGE PER PARCEL
1" = 50'-0"

SHEETS A-21 TO A-26 SHOWS THE FOLLOWING INFORMATION PER PARCEL:
 • EXTENT/PARCEL LINES PER BOUNDARY LINE ADJUSTMENT (BLA).
 • SEE BLA DOCUMENTS FOR RECORDED PARCEL AREA
 • BUILDING FOOTPRINT
 • BUILDING-USE TYPE
 • COVERAGE AREA CALCULATIONS
 • DEVELOPMENT STANDARDS PER 2020 OMC
 • MAXIMUM BUILDING HEIGHT
 • PARKING AND SOLID WASTE SUMMARY
 • CALCULATIONS FOR CODE COMPLIANCE

RIGHT OF WAY AREAS
 PROPERTY/PARCEL LINES PER SURVEY AND BOUNDARY LINE ADJUSTMENT

EXISTING ORDINARY HIGH WATER MARK (OHWM) 11.5' (NAVD88)

VEGETATION CONSERVATION AREA 30' OFFSET FROM EXISTING OHWM

VCA COVERAGE:
 TOTAL VCA COVERAGE IN SITE AREA = 11%

VCA COVERAGE BY PARCEL:
 PARCEL A: 23%
 PARCEL B: 7%
 PARCEL C: 7%
 PARCEL D: 8%
 PARCEL E: 8%

22' EXPANDED WATERFRONT TRAIL CORRIDOR



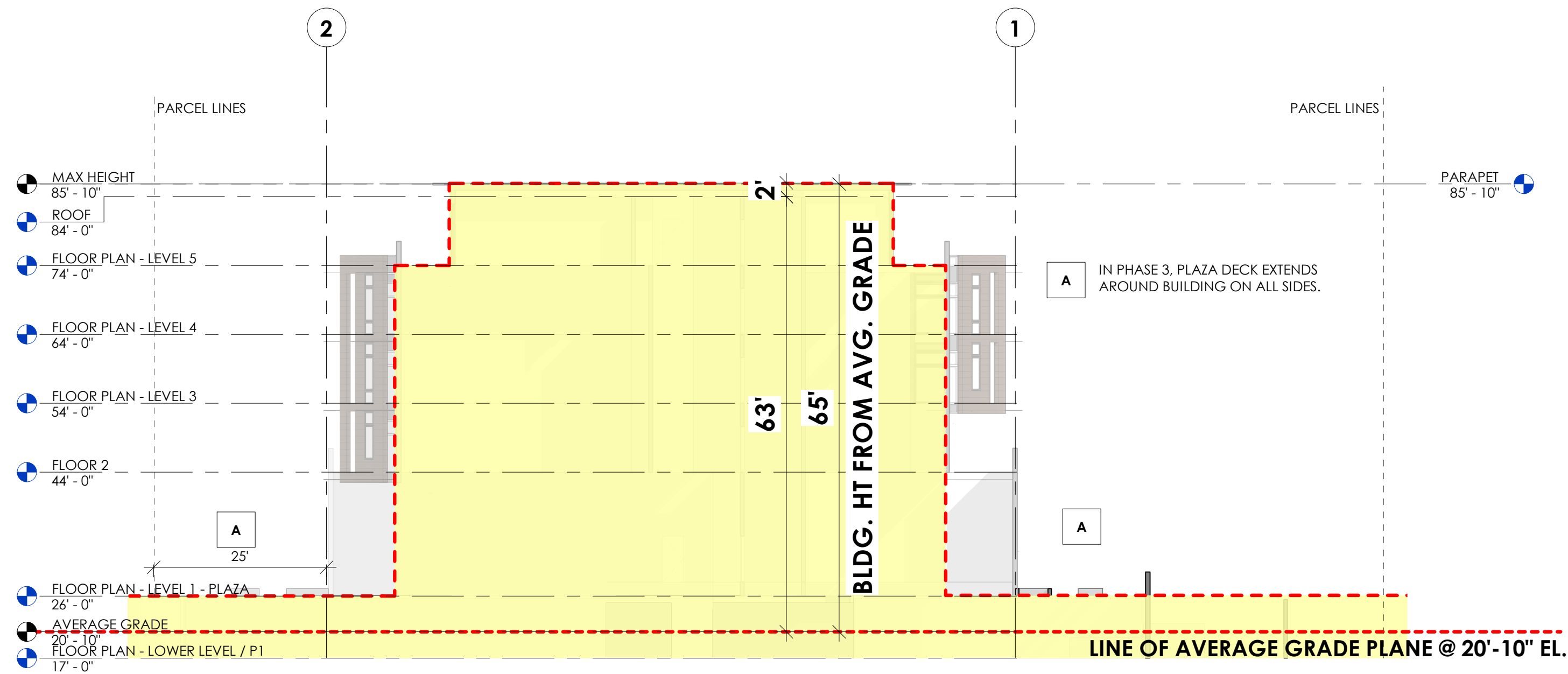
WEST BAY YARDS
 LUXURY WATERFRONT LIVING
 OLYMPIA

SITE PLAN - R.O.W & PARCELS

WEST BAY DRIVE | OLYMPIA, WA
 SCHEMATIC DESIGN | 07/25/25

A21





2 SITE SECTION - BUILDING 1

1:180

PARKING SUMMARY

VEHICLE REQUIREMENTS PER OMC 18.38.100
OFF STREET PARKING SPACES REQUIRED PER OMC TABLE 18.38.100

BUILDING 1:		
(0 SF) RESTAURANT/CAFE @ 10 PER 1,000 SF =		0 SPACES
(17) STUDIOS x 1 =		17 SPACES
(80) MULTIFAMILY DWELLING x 1.5 =		120 SPACES
TOTAL SPACES REQUIRED FOR BUILDING 1 =		137 SPACES

LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38.TABLE38.01)

BUILDING 1:		
(0 SF) RESTAURANT/CAFE @ 1 PER 2,000 SF (MIN.1)=		0 SPACES
(17) STUDIOS @ 0 STORAGE SPACE PER UNIT=		0 SPACES
(80) MULTIFAMILY DWELLING UNITS @ 1 STORAGE SPACE PER UNIT =		80 SPACES
TOTAL FOR ALL THE SPACES PROVIDED =		80 SPACES

SHORT TERM BICYCLE STORAGE REQUIREMENTS 2 MIN (OMC 18.38.TABLE38.01)

BUILDING 1:		
(0 SF) RESTAURANT/CAFE @ 1 PER 1,000 SF (MIN. 1)=		0 SPACES
(17) STUDIOS @ 1/10 UNIT (MIN. 2) =		2 SPACES
(80) MULTIFAMILY DWELLING UNITS @ 1/10 UNIT (MIN. 2) =		8 SPACES
TOTAL FOR ALL THE SPACES PROVIDED =		10 SPACES

LONG-TERM BICYCLE STORAGE FOR BUILDING 1 TO 5 REQUIRED TOTAL = 401 SPACES
SHORT-TERM BICYCLE STORAGE FOR BUILDING 1 TO 5 REQUIRED TOTAL = 62 SPACES
VEHICLE PARKING PROPOSED FOR BUILDING 1 TO 5 REQUIRED TOTAL = 819 SPACES

OFF STREET PARKING LOWER LEVEL =	711 SPACES
OFF STREET PARKING PLAZA LEVEL =	112 SPACES
TOTAL SPACES PROVIDED =	823 SPACES

30% OF ALL SPACES CAN BE COMPACT REQUIRED (MAXIMUM) 824 x 0.30 = 247 SPACES

ACCESSIBLE PARKING REQUIRED(OMC 18.38.120) REQUIRED (2% OF ALL SPACES PER 501-1,000)=	16 SPACES
PROVIDED =	21 SPACES

10% OF ALL SPACES SHALL BE ELECTRICAL VEHICLE SPACES= 82 SPACES
REQUIRED (MINIMUM) = 82 SPACES
PROVIDED = 82 SPACES

CODE INFORMATION

PER 2020 OMC 18.06.080 - TABLE 6.02
COMMERCIAL DEVELOPMENT STANDARDS (COVERAGE & SETBACKS)
MINIMUM LOT AREA - NO MINIMUM.
FRONT YARD SETBACK - NO MINIMUM
REAR YARD SETBACK - NO MINIMUM
SIDE YARD SETBACK - NO MINIMUM;
MAXIMUM BUILDING HEIGHT - IN THE PORTION OF THE AREA ON WEST BAY DRIVE WITH A HEIGHT LIMIT OF 42' TO 65'. THE TALLER HEIGHT LIMIT IS CONDITIONED UPON THE PROVISION OF CERTAIN WATERFRONT AMENITIES. SEE 18.06.100(A)(2)(C).
MAXIMUM BUILDING COVERAGE - 60% FOR PROPERTIES BETWEEN THE SHORELINE AND THE NEAREST UPLAND STREET.
MAXIMUM IMPERVIOUS SURFACE COVERAGE - 100% DEVELOPMENT COVERAGE

PER 2020 OMC CHAPTER 18.20 SHORELINE MASTER PROGRAM REGULATIONS
TABLE 6.3 SETBACKS REQUIRED FOR URBAN INTENSITY - BUDD 3A ARE:
SHORELINE SETBACK = 30', **VEGETATION CONSERVATION AREA = 30'**,
SETBACK WITH MAXIMUM REDUCTION- NON-WATER DEPENDENT=30'

WASTE RESOURCE SUMMARY

GOAL: TO COLLECT AND STORE WASTE IN FACILITY ACCESSED BY THE TRAIL OR CIRCULATION CORE ON THE LOWER LEVEL. PROVIDE GARBAGE SHOOTS IN INDIVIDUAL BUILDINGS FOR THE COLLECTION OF WASTE. CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH. COMPACTORS AND DROP BOXES ARE STRONGLY ENCOURAGED WHERE WASTE VOLUMES EXCEED 6 CUBIC YARDS PER WEEK FOR A GIVEN WASTE STREAM AND HAVING MULTIPLE DUMPSTERS IS NOT POSSIBLE. DIVIDE EQUALLY BETWEEN GARBAGE, RECYCLING AND ORGANICS.

EACH BUILDING WILL HAVE TWO WASTE CHUTES ONE FOR GARBAGE AND ONE FOR MIXED RECYCLING. ORGANICS WASTE WILL NEED TO BE TAKEN TO SOLID WASTE ROOM IN GARAGE. WASTE IS COLLECTED AT LOWER LEVEL IN 2 YARD TOW CARTS. TOW CARTS ARE TAKEN TO COMPACTORS BY BUILDING MANAGEMENT FOR MUNICIPAL PICKUP.

PHASE 3:

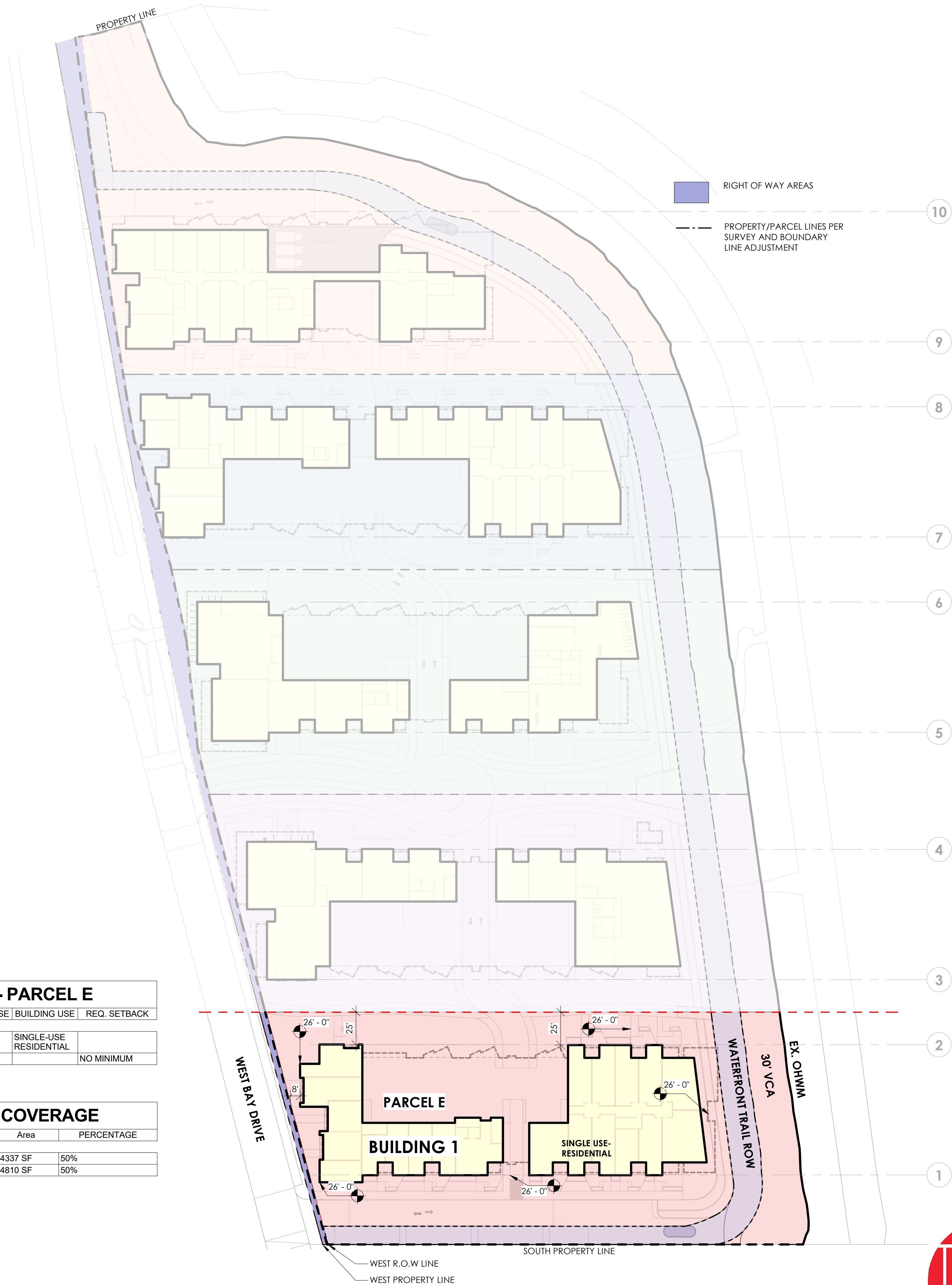
BUILDING 1	(97) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 =	24.64 CY
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TOTAL WASTE COLLECTED = 24.64 CY

REQUIRED WASTE ALLOCATED TO GARBAGE = 12.32 CY
REQUIRED WASTE ALLOCATED TO RECYCLE/ORGANICS = 12.32 CY

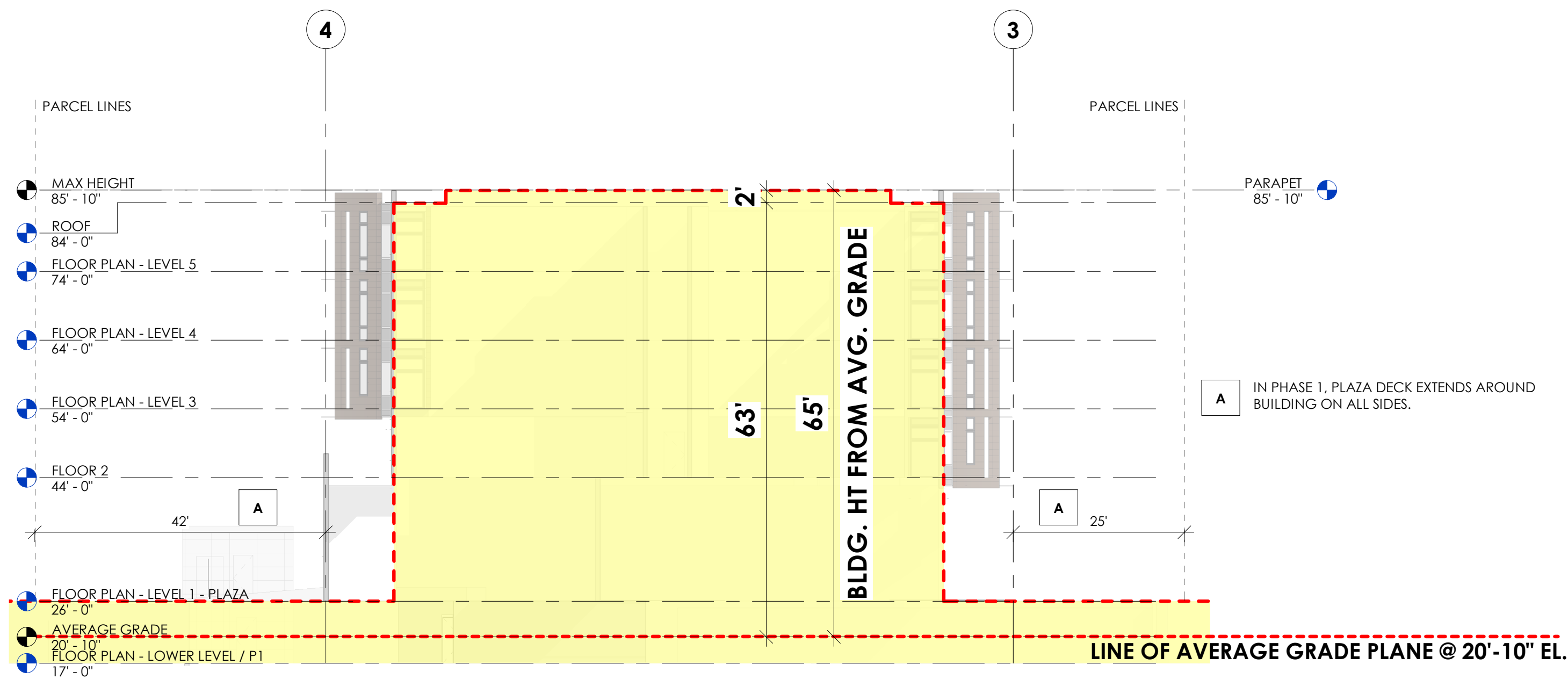
BUILDING 1 - PARCEL E				
Name	Area	BUILDING PHASE	BUILDING USE	REQ. SETBACK
BUILDING 1	34337 SF	PHASE 3	SINGLE-USE RESIDENTIAL	
PARCEL E	69151 SF			NO MINIMUM

BUILDING 1 - COVERAGE		
INCLUDES	Area	PERCENTAGE
BUILDING 1	34337 SF	50%
BUILDING 1 OPEN SPACE	34810 SF	50%



1 SITE PLAN - PARCEL E

1" = 50'-0"



2 SITE SECTION - BUILDING 2
1 : 180

PARKING SUMMARY

VEHICLE REQUIREMENTS PER OMC 18.38.100

OFF STREET PARKING SPACES REQUIRED PER OMC TABLE 18.38.100

BUILDING 2:		
(8,771 SF) RESTAURANT/CAFE @ 10 PER 1,000 SF =	88 SPACES	
(7,817 SF) COMMERCIAL/RETAIL @ 3.5/1000SF =	27 SPACES	
(14) STUDIOS x 1 =	14 SPACES	
(71) MULTIFAMILY DWELLING x 1.5 =	107 SPACES	
TOTAL SPACES =	236 SPACES	

LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38.TABLE38.01)

BUILDING 2:		
(8,771 SF) RESTAURANT/CAFE @ 1 PER 2,000 SF (MIN.1)=	4 SPACES	
(7,817 SF) COMMERCIAL/RETAIL @ 1/6000SF, MAX. 5, MIN.1=	1 SPACE	
(14) STUDIOS @ 0 STORAGE SPACE PER UNIT=	0 SPACES	
(71) MULTIFAMILY DWELLING UNITS @ 1 STORAGE SPACE PER UNIT =	71 SPACES	
TOTAL FOR ALL THE SPACES PROVIDED =	76 SPACES	

SHORT TERM BICYCLE STORAGE REQUIREMENTS 2 MIN (OMC 18.38.TABLE38.01)

BUILDING 2:		
(8,771 SF) RESTAURANT/CAFE @ 1 PER 1,000 SF (MIN. 1)=	9 SPACES	
(7,817 SF) COMMERCIAL/RETAIL @ 1/3000 SF=	3 SPACES	
(14) STUDIOS @ 1/10 UNIT=	1 SPACES	
(71) MULTIFAMILY DWELLING UNITS @ 1/10 UNIT (MIN. 2)=	7 SPACES	
TOTAL FOR ALL THE SPACES PROVIDED =	20 SPACES	

VEHICLE PARKING PROPOSED FOR BUILDING 1 TO 5

OFF STREET PARKING LOWER LEVEL =	711 SPACES
OFF STREET PARKING PLAZA LEVEL =	112 SPACES
TOTAL SPACES PROVIDED =	823 SPACES

30% OF ALL SPACES CAN BE COMPACT REQUIRED (MAXIMUM) 824 x 0.30 =	247 SPACES
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ACCESSIBLE PARKING REQUIRED(OMC18.38.120) REQUIRED [2% OF ALL SPACES PER 501-1,000]= PROVIDED =	16 SPACES 21 SPACES
---	------------------------

10% OF ALL SPACES SHALL BE ELECTRICAL VEHICLE SPACES= REQUIRED (MINIMUM) = PROVIDED =	82 SPACES 82 SPACES
---	------------------------

CODE INFORMATION

PER 2020 OMC 18.06.080 - TABLE 6.02 COMMERCIAL DEVELOPMENT STANDARDS (COVERAGE & SETBACKS)

MINIMUM LOT AREA - NO MINIMUM.
FRONT YARD SETBACK - NO MINIMUM
REAR YARD SETBACK - NO MINIMUM
SIDE YARD SETBACK - NO MINIMUM
MAXIMUM BUILDING HEIGHT - IN THE PORTION OF THE AREA ON WEST BAY DRIVE WITH A HEIGHT LIMIT OF 42' TO 65'. THE TALLER HEIGHT LIMIT IS CONDITIONED UPON THE PROVISION OF CERTAIN WATERFRONT AMENITIES. SEE 18.06.100(A)(2)(C).
MAXIMUM BUILDING COVERAGE - 60% FOR PROPERTIES BETWEEN THE SHORELINE AND THE NEAREST UPLAND STREET.
MAXIMUM IMPERVIOUS SURFACE COVERAGE - 100% DEVELOPMENT COVERAGE

PER 2020 OMC CHAPTER 18.20 SHORELINE MASTER PROGRAM REGULATIONS TABLE 6.3 SETBACKS REQUIRED FOR URBAN INTENSITY - BUDD 3A ARE:
SHORELINE SETBACK = 30'. **VEGETATION CONSERVATION AREA** = 30'.
 SETBACK WITH MAXIMUM REDUCTION- NON-WATER DEPENDENT=30'

WASTE RESOURCE SUMMARY

GOAL: TO COLLECT AND STORE WASTE IN FACILITY ACCESSED BY THE TRAIL OR CIRCULATION CORE ON THE LOWER LEVEL. PROVIDE GARBAGE SHOOTS IN INDIVIDUAL BUILDINGS FOR THE COLLECTION OF WASTE. CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH. COMPACTORS AND DROP BOXES ARE STRONGLY ENCOURAGED WHERE WASTE VOLUMES EXCEED 6 CUBIC YARDS PER WEEK FOR A GIVEN WASTE STREAM AND HAVING MULTIPLE DUMPSTERS IS NOT POSSIBLE. DIVIDE EQUALLY BETWEEN GARBAGE, RECYCLING AND ORGANICS.

EACH BUILDING WILL HAVE TWO WASTE CHUTES ONE FOR GARBAGE AND ONE FOR MIXED RECYCLING. ORGANICS WASTE WILL NEED TO BE TAKEN TO SOLID WASTE ROOM IN GARAGE. WASTE IS COLLECTED AT LOWER LEVEL IN 2 YARD TOW CARTS. TOW CARTS ARE TAKEN TO COMPACTORS BY BUILDING MANAGEMENT FOR MUNICIPAL PICKUP.

PHASE 1:

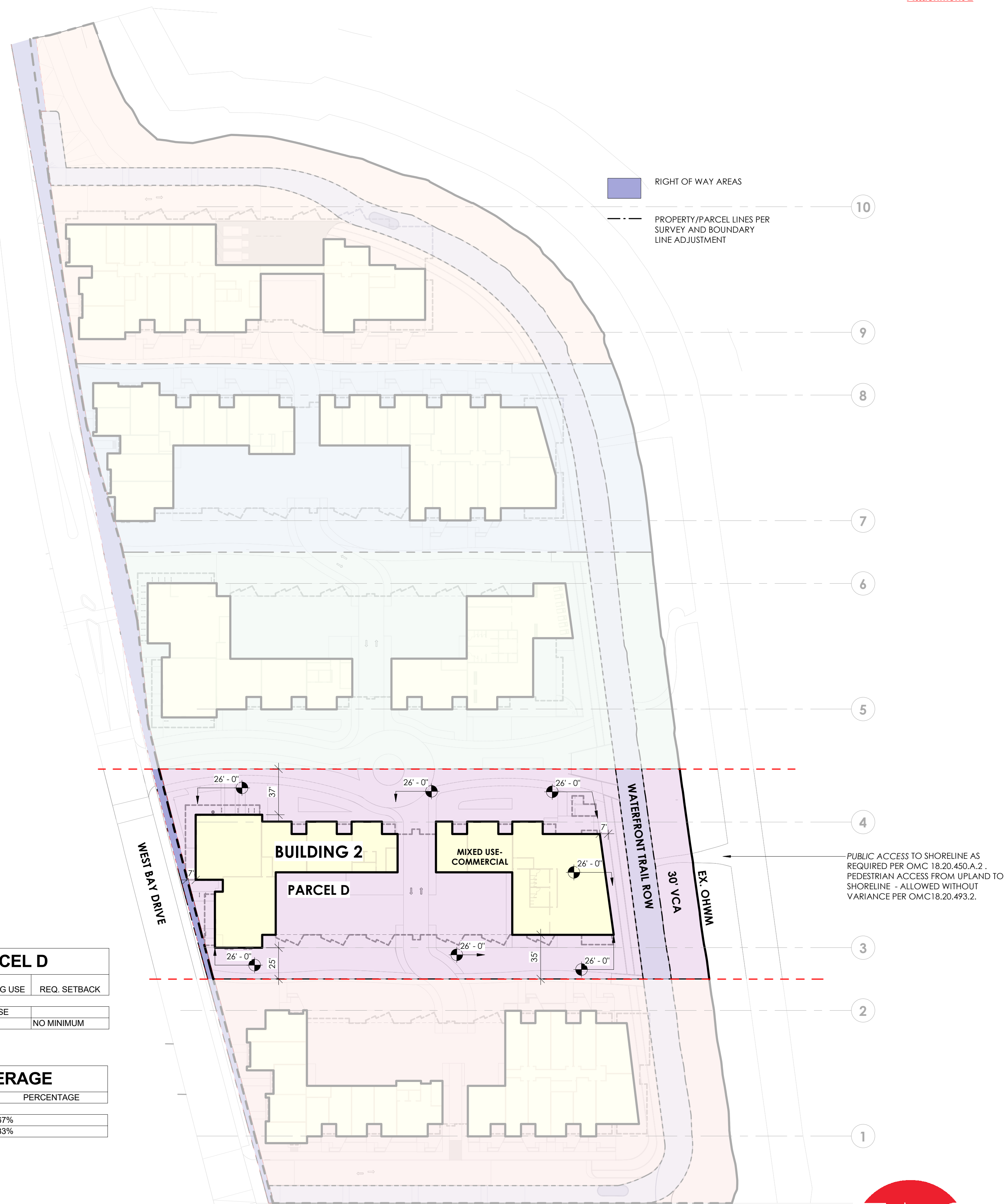
BUILDING 2		PER WEEK
(85) RESIDENTIAL UNITS @1.1 CY PER HOUSEHOLD/4.33 =		21.59 CY
(8,770 SF) REST/CAFE @ 1.0 CY/500 SF =		17.54 CY
(7,817 SF) COMMERCIAL @ 1.0 CY/500 SF =		15.63 CY

TOTAL WASTE COLLECTED = 54.76 CY

REQUIRED WASTE ALLOCATED TO GARBAGE = 27.38 CY
REQUIRED WASTE ALLOCATED TO RECYCLE/ORGANICS = 27.38 CY

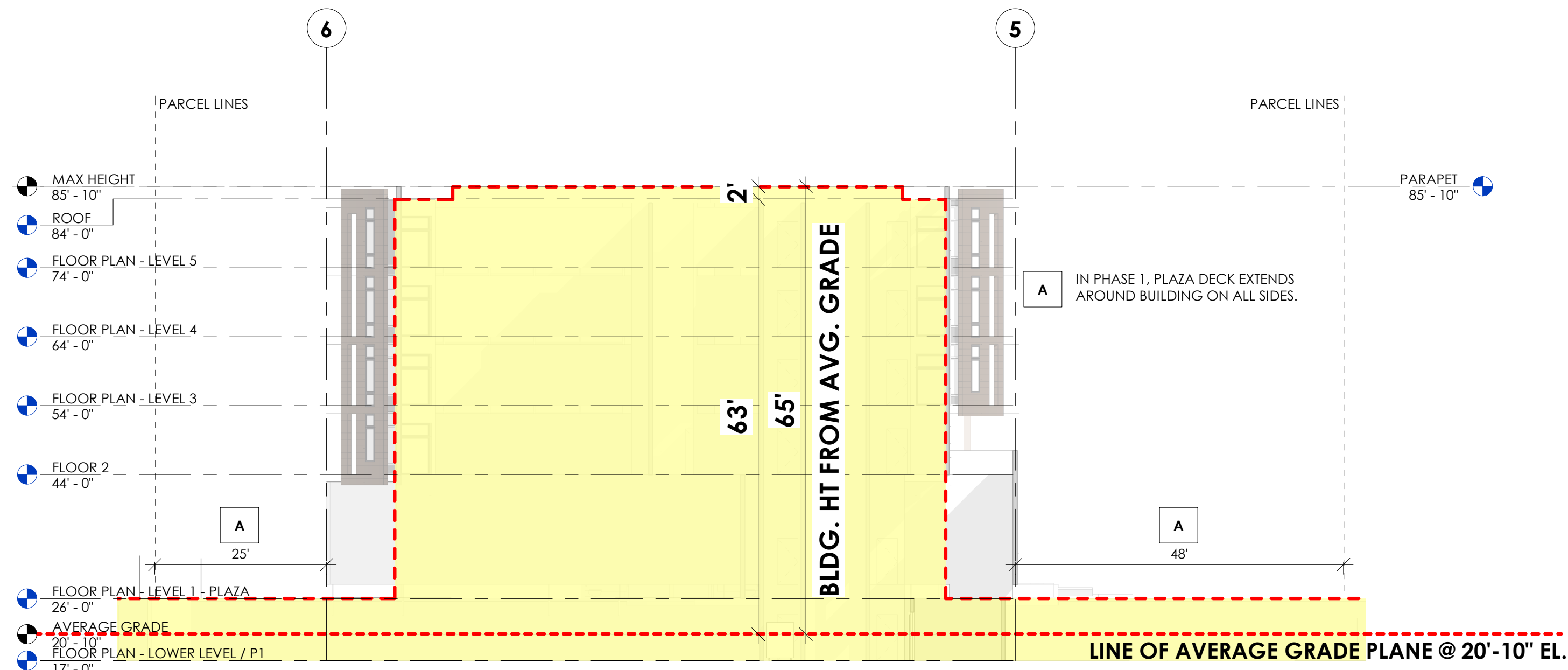
BUILDING 2 - PARCEL D				
Name	Area	BUILDING PHASE	BUILDING USE	REQ. SETBACK
BUILDING 2	46195 SF	PHASE 1	MIXED-USE	
PARCEL D	68567 SF			NO MINIMUM

BUILDING 2 - COVERAGE		
INCLUDES	Area	PERCENTAGE
BUILDING 2	46195 SF	67%
BUILDING 2 OPEN SPACE	22374 SF	33%



1 SITE PLAN- PARCEL D
1" = 50'-0"

A23



2 SITE SECTION - BUILDING 3

1 : 180

PARKING SUMMARY

VEHICLE REQUIREMENTS PER OMC 18.38.100

OFF STREET PARKING SPACES REQUIRED PER OMC TABLE 18.38.100

BUILDING 3:		
(1,878 SF) RESTAURANT/CAFE @ 10 PER 1,000 SF =	19 SPACES	
(2,500 SF) COMMERCIAL/RETAIL @ 3.5/1000SF =	9 SPACES	
(7) STUDIOS x 1 =	7 SPACES	
(77) MULTIFAMILY DWELLING x 1.5 =	116 SPACES	
TOTAL SPACES =	151 SPACES	

LONG TERM BICYCLE STORAGE REQUIREMENTS (OMC 18.38. TABLE 38.01)

BUILDING 3:		
(1,878 SF) RESTAURANT/CAFE @ 1 PER 2,000 SF (MIN. 1) =	1 SPACES	
(2,500 SF) COMMERCIAL/RETAIL @ 1/6000SF, MAX. 5, MIN. 1 =	1 SPACE	
(7) STUDIOS @ 0 STORAGE SPACE PER UNIT =	0 SPACES	
(77) MULTIFAMILY DWELLING UNITS @ 1 STORAGE SPACE PER UNIT =	77 SPACES	
TOTAL FOR ALL THE SPACES PROVIDED =	79 SPACES	

SHORT TERM BICYCLE STORAGE REQUIREMENTS 2 MIN (OMC 18.38.TABLE38.01)

BUILDING 3:		
(1,878 SF) RESTAURANT/CAFE @ 1 PER 1,000 SF (MIN. 1) =	2 SPACES	
(2,500 SF) COMMERCIAL/RETAIL @ 1/3000 SF =	1 SPACE	
(7) STUDIOS @ 1/10 UNIT =	1 SPACES	
(77) MULTIFAMILY DWELLING UNITS @ 1/10 UNIT (MIN. 2) =	8 SPACES	
TOTAL FOR ALL THE SPACES PROVIDED =	12 SPACES	

VEHICLE PARKING PROPOSED FOR BUILDING 1 TO 5

OFF STREET PARKING LOWER LEVEL =	711 SPACES
OFF STREET PARKING PLAZA LEVEL =	112 SPACES
TOTAL SPACES PROVIDED =	823 SPACES

30% OF ALL SPACES CAN BE COMPACT REQUIRED (MAXIMUM) 824 x 0.30 = 247 SPACES

ACCESSIBLE PARKING REQUIRED(OMC 18.38.120) REQUIRED (2% OF ALL SPACES PER 501-1,000) = PROVIDED = 16 SPACES 21 SPACES

10% OF ALL SPACES SHALL BE ELECTRICAL VEHICLE SPACES= REQUIRED (MINIMUM) = PROVIDED = 82 SPACES 82 SPACES

CODE INFORMATION

PER 2020 OMC 18.06.080 - TABLE 6.02 COMMERCIAL DEVELOPMENT STANDARDS (COVERAGE & SETBACKS)

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FRONT YARD SETBACK - NO MINIMUM
REAR YARD SETBACK - NO MINIMUM
SIDE YARD SETBACK - NO MINIMUM;
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MAXIMUM BUILDING COVERAGE - 60% FOR PROPERTIES BETWEEN THE SHORELINE AND THE NEAREST UPLAND STREET.
MAXIMUM IMPERVIOUS SURFACE COVERAGE - 100% DEVELOPMENT COVERAGE

PER 2020 OMC CHAPTER 18.20 SHORELINE MASTER PROGRAM REGULATIONS TABLE 6.3 SETBACKS REQUIRED FOR URBAN INTENSITY - BUDD 3A ARE:
SHORELINE SETBACK = 30'; **VEGETATION CONSERVATION AREA** = 30';
 SETBACK WITH MAXIMUM REDUCTION- NON-WATER DEPENDENT=30'

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GOAL: TO COLLECT AND STORE WASTE IN FACILITY ACCESSED BY THE TRAIL OR CIRCULATION CORE ON THE LOWER LEVEL. PROVIDE GARBAGE SHOOTS IN INDIVIDUAL BUILDINGS FOR THE COLLECTION OF WASTE. CYCLE BASED WEEKLY AT 4.33 WEEKS PER MONTH. COMPACTORS AND DROP BOXES ARE STRONGLY ENCOURAGED WHERE WASTE VOLUMES EXCEED 6 CUBIC YARDS PER WEEK FOR A GIVEN WASTE STREAM AND HAVING MULTIPLE DUMPSTERS IS NOT POSSIBLE. DIVIDE EQUALLY BETWEEN GARBAGE, RECYCLING AND ORGANICS.

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PHASE 1:

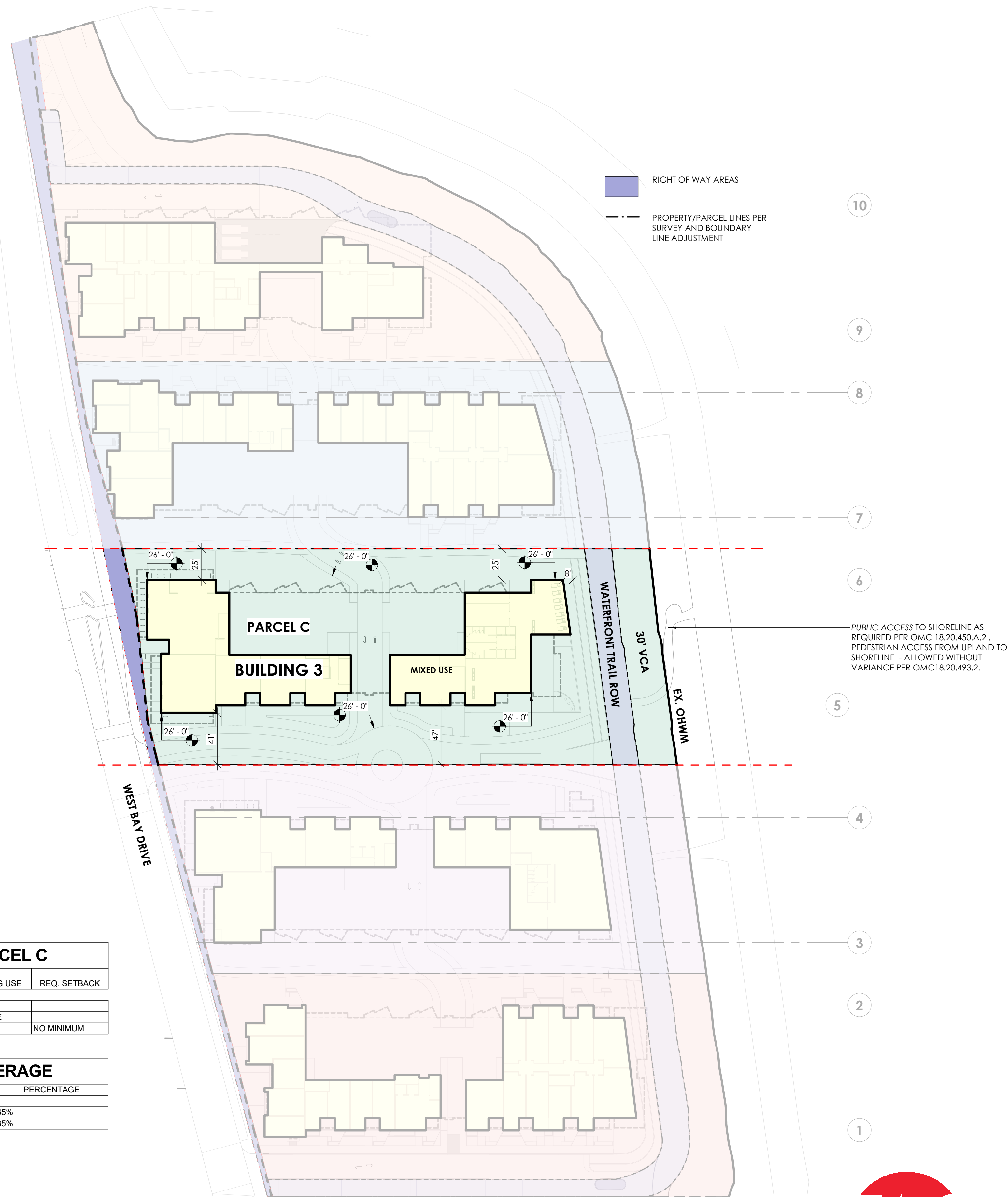
BUILDING 3
 (84) RESIDENTIAL UNITS @ 1.1 CY PER HOUSEHOLD/4.33 = 21.33 CY
 (4,378 SF) COMMERCIAL @ 1.0 CY/500 SF = 8.75 CY

TOTAL WASTE COLLECTED = 30.08 CY

REQUIRED WASTE ALLOCATED TO GARBAGE = 15.04 CY
REQUIRED WASTE ALLOCATED TO RECYCLE/ORGANICS = 15.04 CY

BUILDING 3 - PARCEL C				
Name	Area	BUILDING PHASE	BUILDING USE	REQ. SETBACK
BUILDING 3	48233 SF	PHASE 1	MIXED-USE	
PARCEL C	74019 SF			NO MINIMUM

BUILDING 3 - COVERAGE		
INCLUDES	Area	PERCENTAGE
BUILDING 3	48233 SF	65%
BUILDING 3 OPEN SPACE	25785 SF	35%



PUBLIC ACCESS TO SHORELINE AS REQUIRED PER OMC 18.20.450.A.2 . PEDESTRIAN ACCESS FROM UPLAND TO SHORELINE - ALLOWED WITHOUT VARIANCE PER OMC18.20.493.2.

1 SITE PLAN- PARCEL C

1" = 50'-0"

**SECTION 706
FIRE WALLS**

706.1 General. Fire walls shall be constructed in accordance with Sections 706.2 through 706.11. The extent and location of such fire walls shall provide a complete separation. Where a fire wall separates occupancies that are required to be separated by a fire barrier wall, the most restrictive requirements of each separation shall apply.

706.1.1 Party walls. Any wall located on a lot line between adjacent buildings, which is used or adapted for joint service between the two buildings, shall be constructed as a fire wall in accordance with Section 706. Party walls shall be constructed without openings and shall create separate buildings.

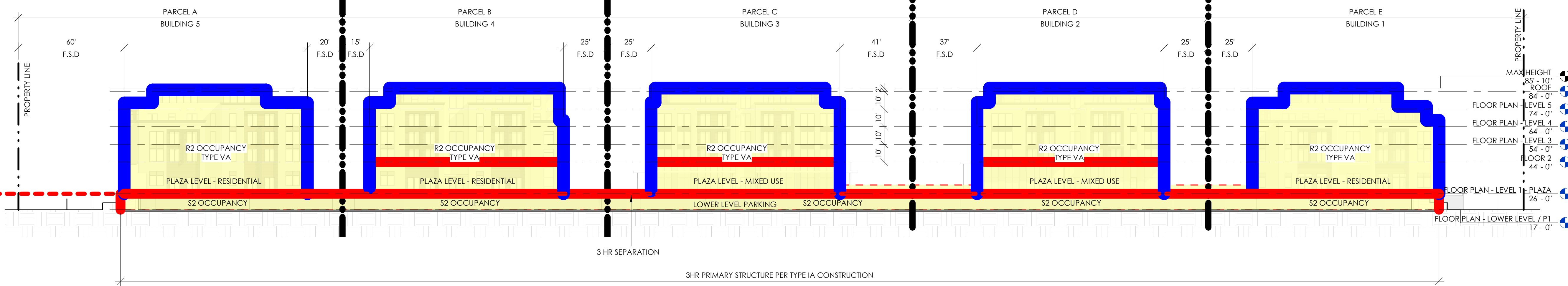
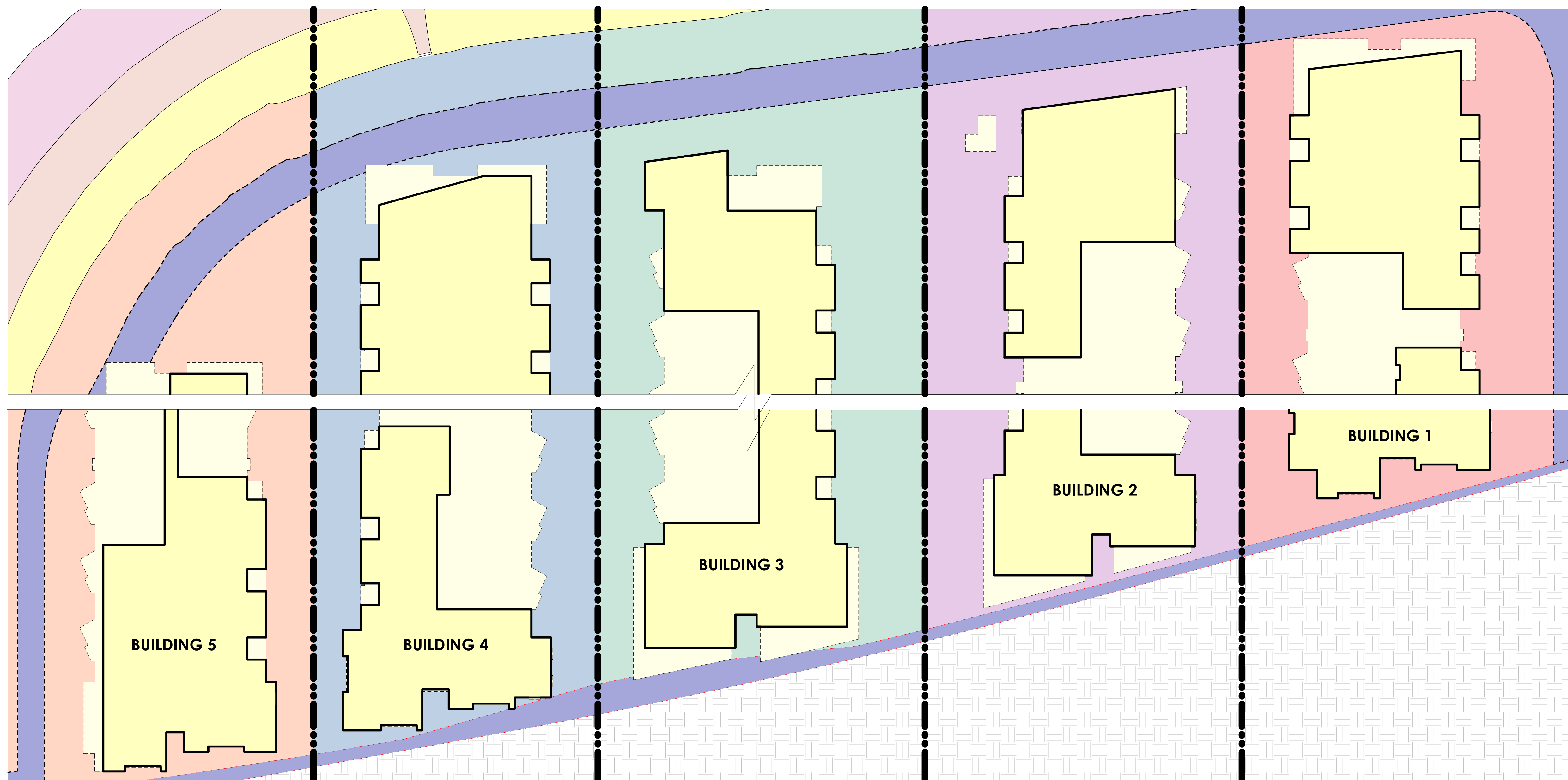
Exceptions:

1. Openings in a party wall separating an anchor building and a mall shall be in accordance with Section 402.4.2.2.1.
2. Fire walls are not required on lot lines dividing a building for ownership purposes where the aggregate height and area of the portions of the building located on both sides of the lot line do not exceed the maximum height and area requirements of this code. For the code official's review and approval, he or she shall be provided with copies of dedicated access easements and contractual agreements that permit the owners of portions of the building located on either side of the lot line access to the other side for purposes of maintaining fire and life safety systems necessary for the operation of the building.

510.4 Parking beneath Group R. Where a maximum one story above grade plane Group S-2 parking garage, enclosed or open, or combination thereof, of Type I construction or open of Type IV construction, with grade entrance, is provided under a building of Group R, the number of stories to be used in determining the minimum type of construction shall be measured from the floor above such a parking area. The floor assembly between the parking garage and the Group R above shall comply with the type of construction required for the parking garage and shall also provide a fire-resistance rating not less than the mixed occupancy separation required in Section 508.4.

510.9 Multiple buildings above a horizontal assembly. Where two or more buildings are provided above the horizontal assembly separating a Group S-2 parking garage or building below from the buildings above in accordance with the special provisions in Section 510.2, 510.3 or 510.8, the buildings above the horizontal assembly shall be regarded as separate and distinct buildings from each other and shall comply with all other provisions of this code as applicable to each separate and distinct building.

Detached. Any building or structure that does not have a wall and roof in common with any other building or structure and where exterior walls are separated by six feet or more.



F.S.D - FIRE SEPARATION DISTANCE
 TYPE IA 3 HR RATED EXTERIOR AND PRIMARY STRUCTURE
 TYPE VA 1 HR RATED EXTERIOR AND PRIMARY STRUCTURE



BUILDING SEPARATION

WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

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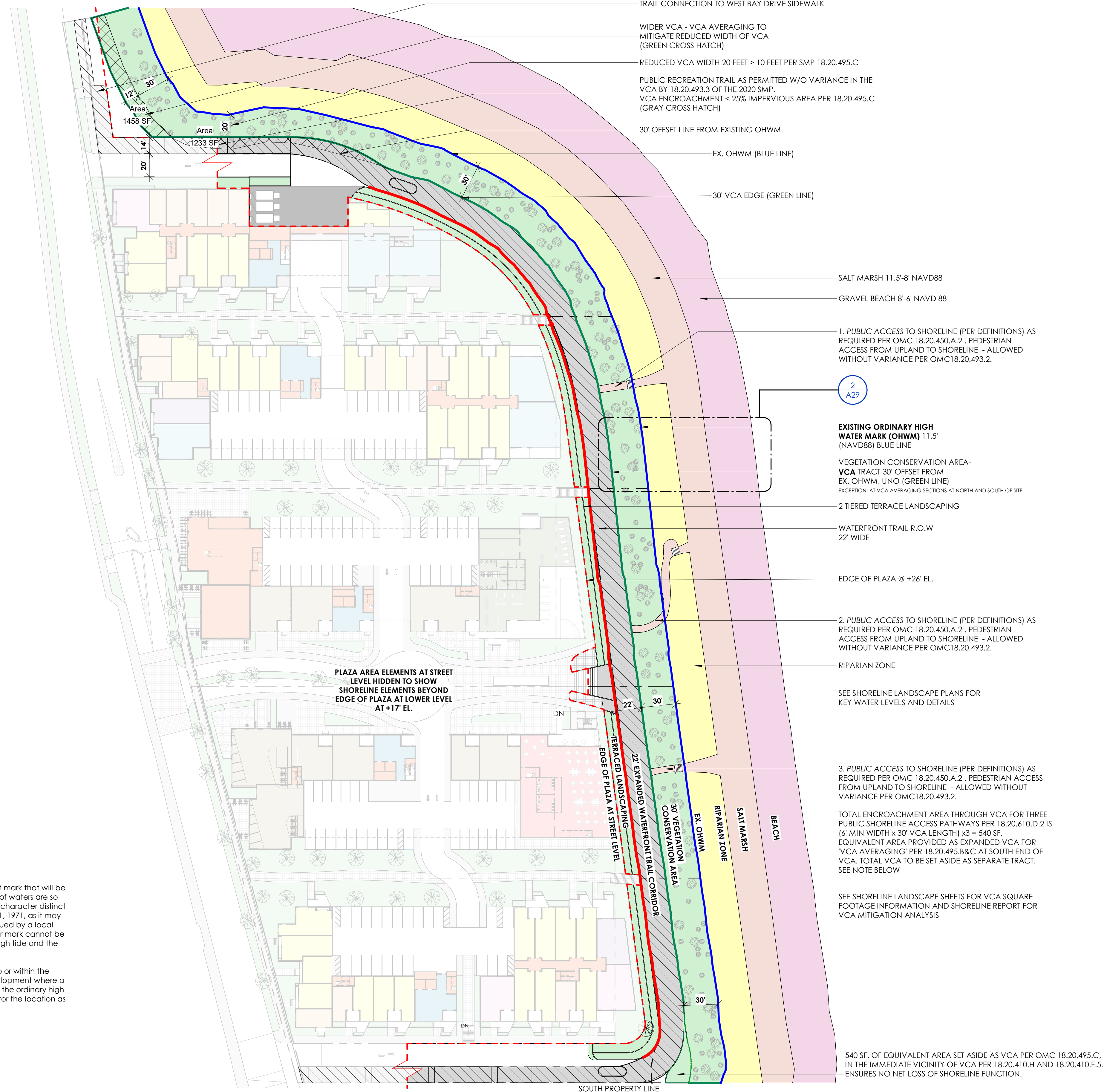


Vegetation Conservation Area: That area within which vegetation conservation actions take place, as required by SMP Chapter 18.20 OF OMC 2020. VCAs outlined in Table 6.3 are measured from the Ordinary High Water Mark and are located within the shoreline setbacks outlined in Table 6.3.

*PER RCW 90.58.030 "Ordinary high water mark" on all lakes, streams, and tidal water is that mark that will be found by examining the bed and banks and ascertaining where the presence and action of waters are so common and usual, and so long continued in all ordinary years, as to mark upon the soil a character distinct from that of the abutting upland, in respect to vegetation as that condition exists on June 1, 1971, as it may naturally change thereafter, or as it may change thereafter in accordance with permits issued by a local government or the department: PROVIDED, That in any area where the ordinary high water mark cannot be found, the ordinary high water mark adjoining salt water shall be the line of mean higher high tide and the ordinary high water mark adjoining fresh water shall be the line of mean high water.

PER WAC 173-27-180. The ordinary high water mark of all water bodies located adjacent to or within the boundary of the project. This may be an approximate location provided, that for any development where a determination of consistency with the applicable regulations requires a precise location of the ordinary high water mark the mark shall be located precisely and the biological and hydrological basis for the location as indicated on the plans shall be included in the development plan.

SEE SHORELINE NARRATIVE DEMONSTRATING COMPLIANCE.



WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

SITE PLAN - KEY WATER LEVELS

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

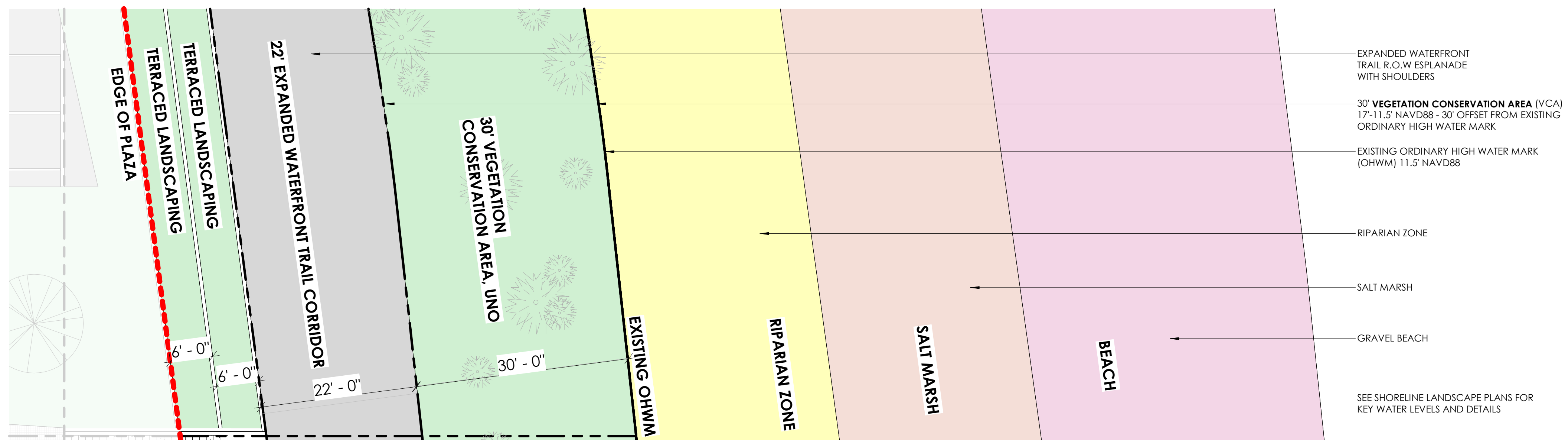
1 SITE PLAN - KEY WATER LEVELS

1" = 50'-0"

0' 25' 50' 100'

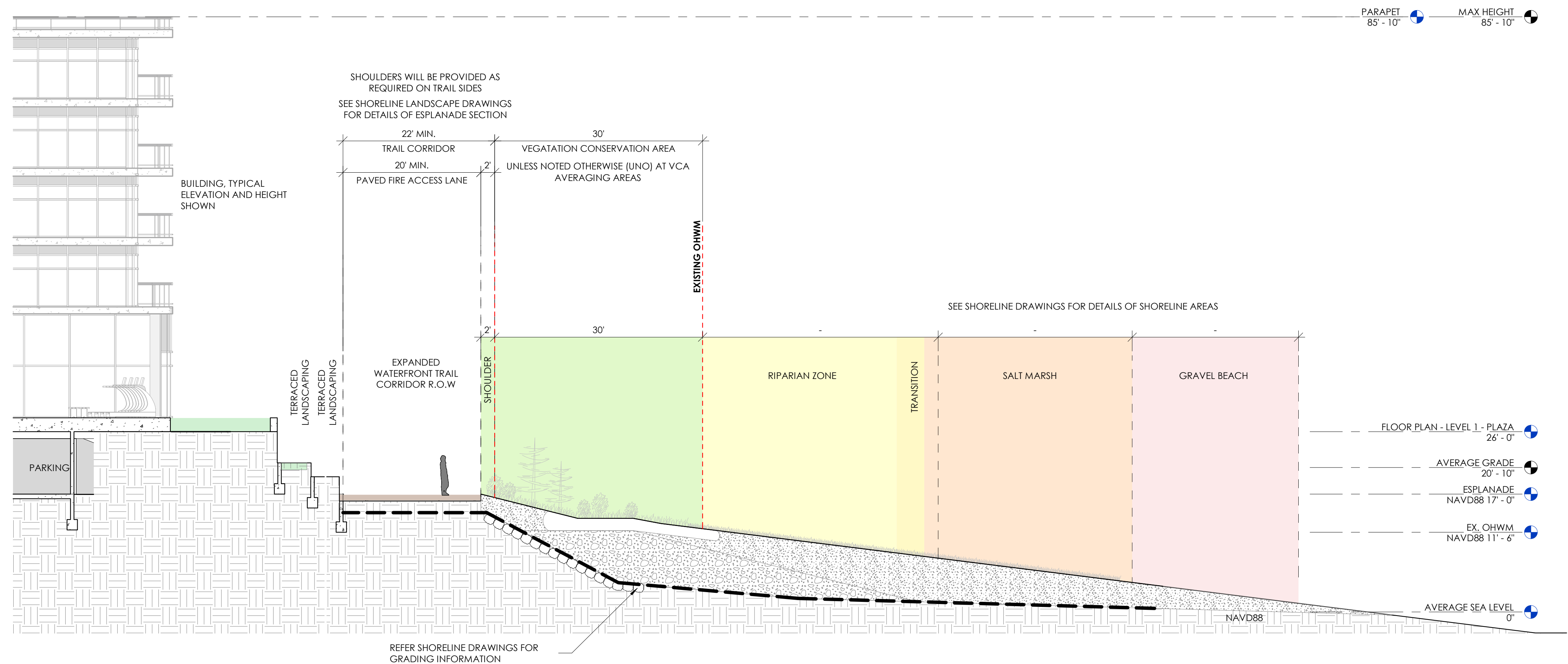
A28





2 SITE PLAN - KEY WATER LEVELS ENLARGED

1" = 10'-0"



1 TYPICAL SHORELINE SECTION

1" = 10'-0"



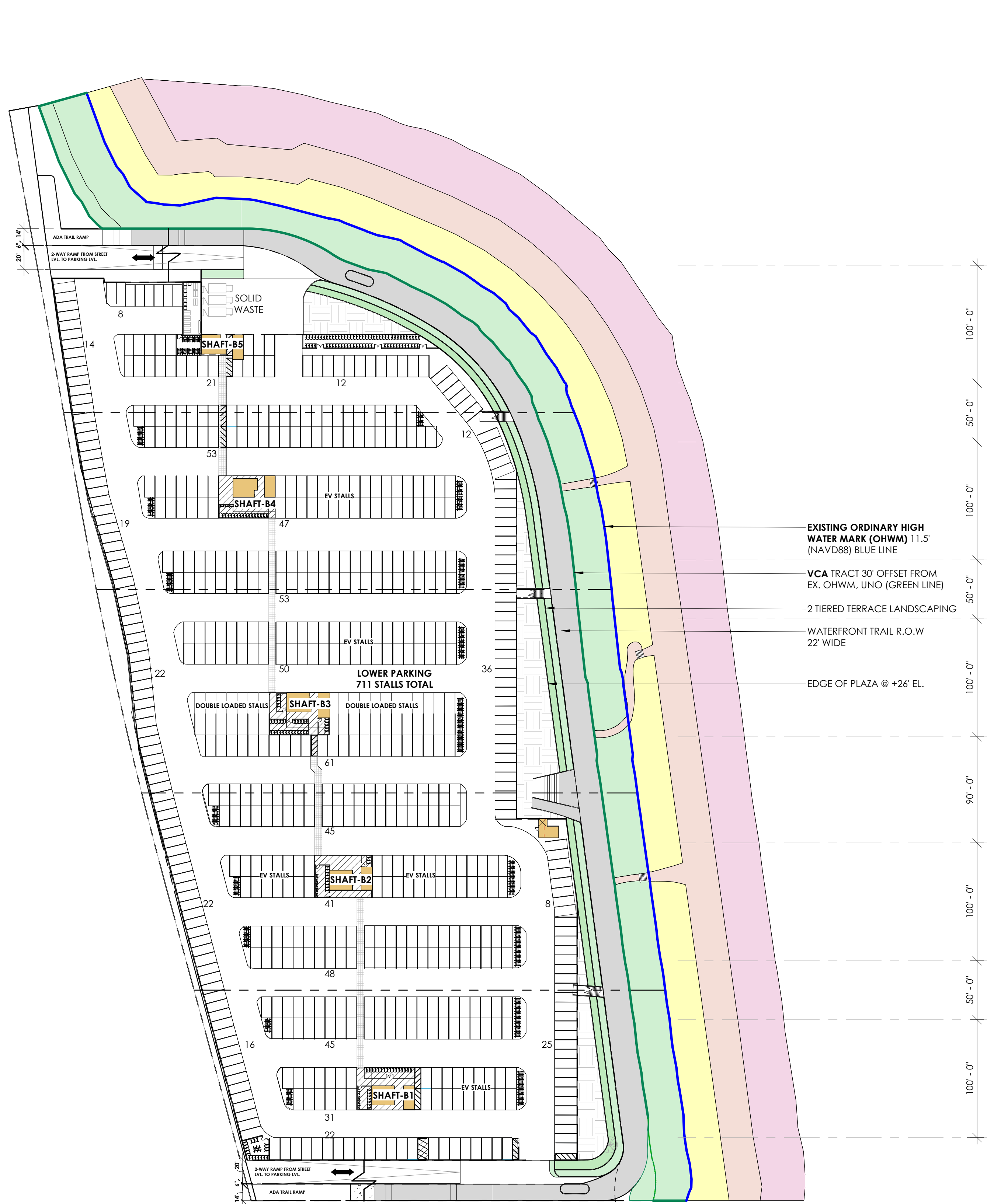
WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

SHORELINE SECTION

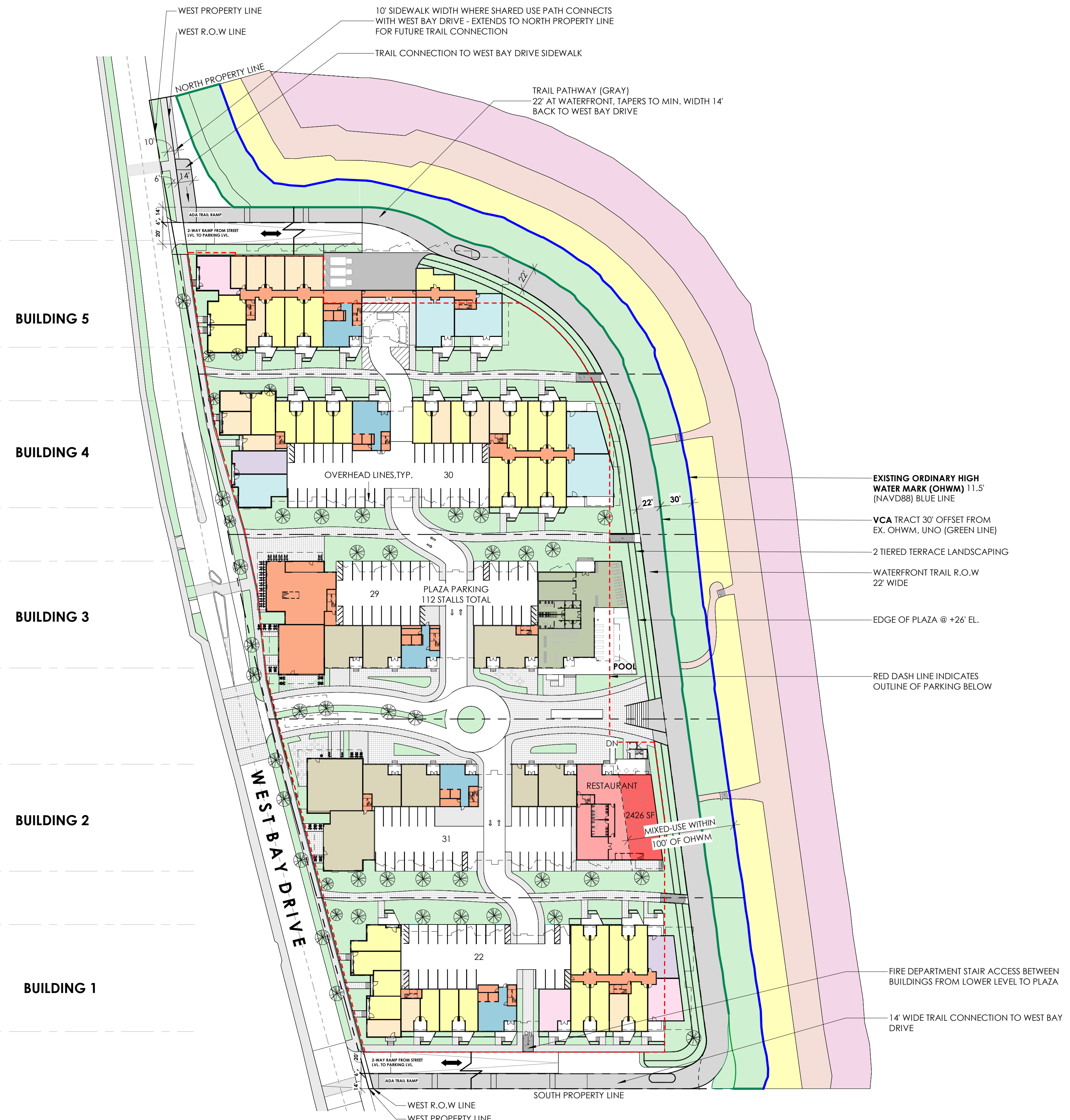
WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

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10
9
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3
2
1



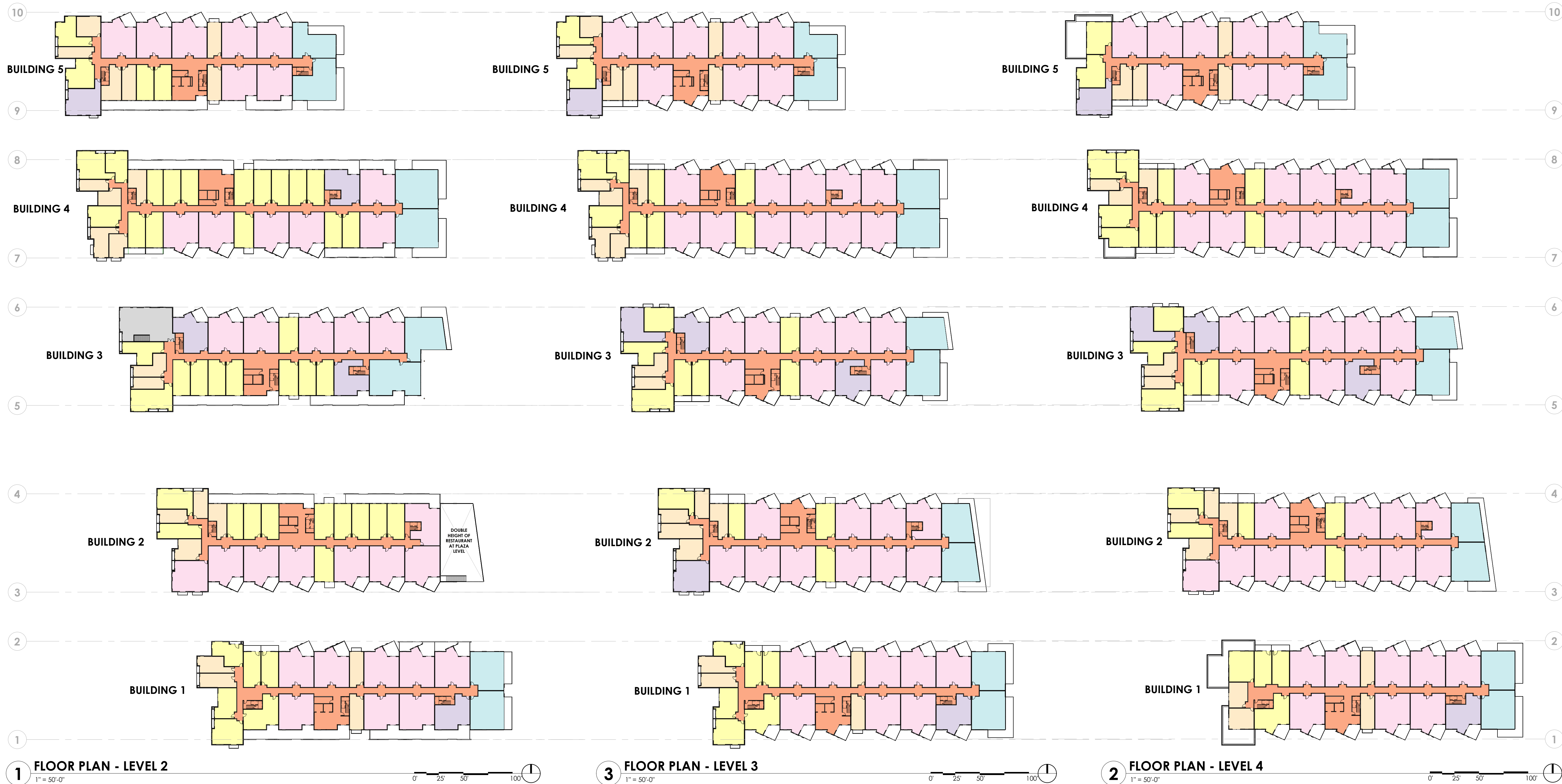
10
9
8
7
6
5
4
3
2
1

1 FLOOR PLAN - LOWER LEVEL / P1
1" = 60'-0"

2 FLOOR PLAN - LEVEL 1 - PLAZA
1" = 60'-0"

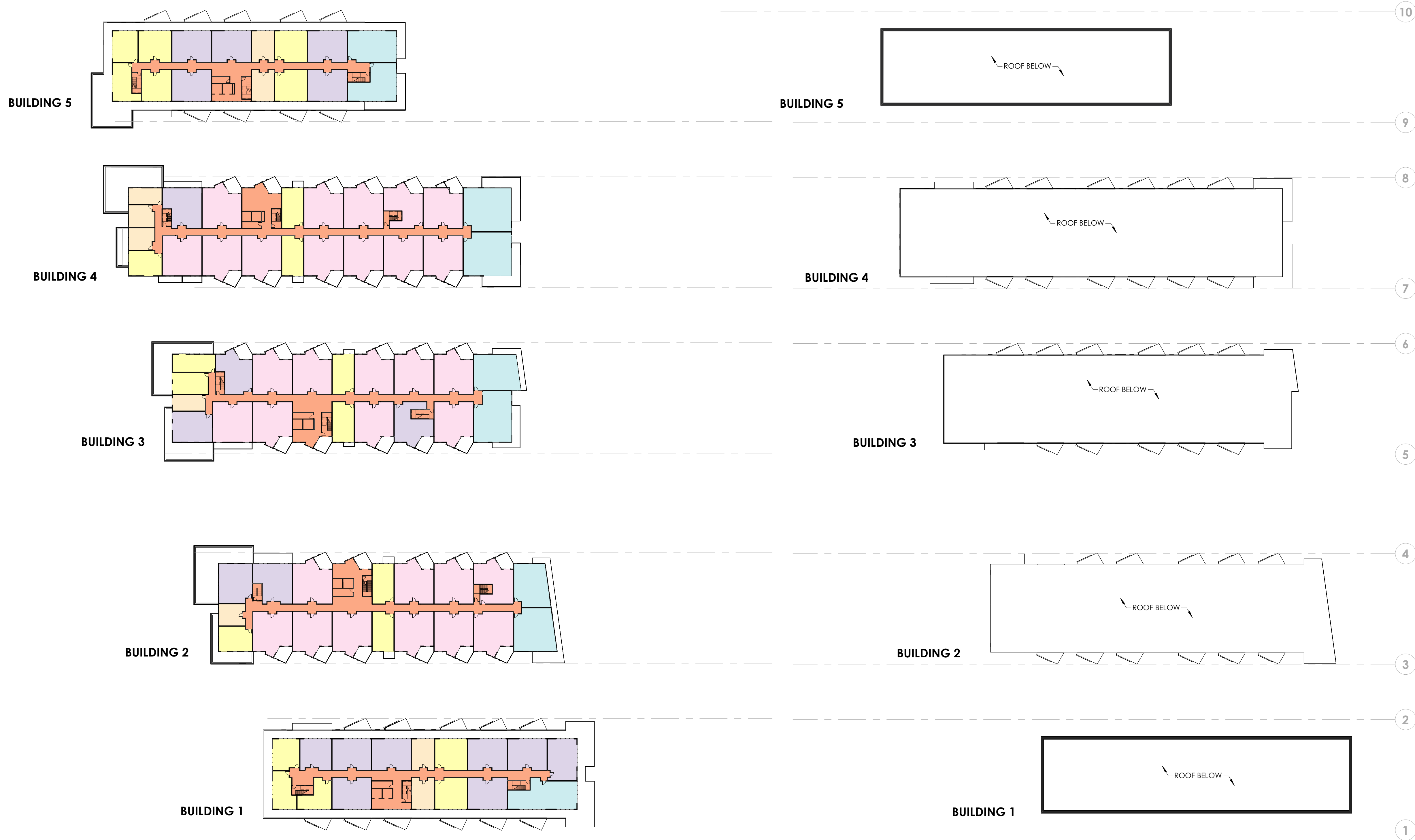
ROOM LEGEND

- 1x1
- 2x2 S
- COMMERCIAL
- GYM
- 2x2 L
- 3x3
- COMMON
- LOBBY
- RESTAURANT
- STUDIO



ROOM LEGEND

 1x1	 2x2 S	 COMMON	 STUDIO
 2X2 L	 3x3	 COMMUNITY SPACE	



1 FLOOR PLAN - LEVEL 5
 1" = 50'-0" 0' 25' 50' 100'

2 FLOOR PLAN - ROOF
 1" = 50'-0" 0' 25' 50' 100'

ROOM LEGEND

- 1x1
- 2x2 S
- COMMON
- 2X2 L
- 3x3
- STUDIO

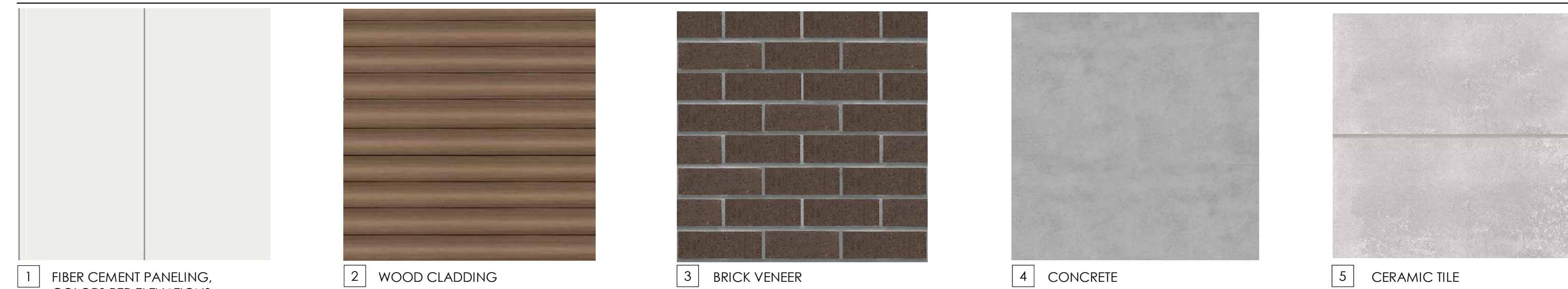


1 NORTH ELEVATION - BUILDING 1
1/16" = 1'-0"



2 SOUTH ELEVATION - BUILDING 1
1/16" = 1'-0"

BUILDING MATERIALS



1 FIBER CEMENT PANELING, COLORS PER ELEVATIONS

2 WOOD CLADDING

3 BRICK VENEER

4 CONCRETE

5 CERAMIC TILE



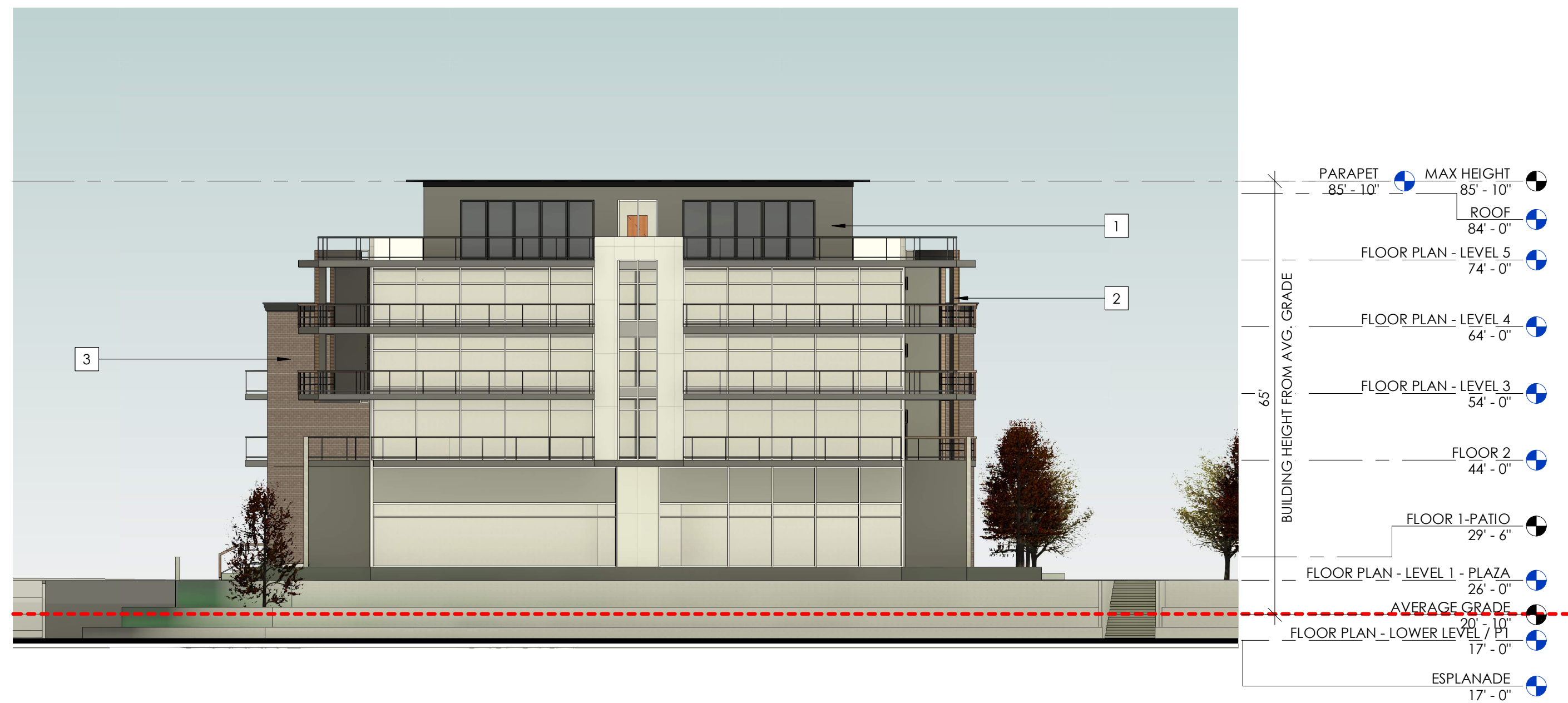
WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

BUILDING ELEVATIONS - BUILDING 1

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

A33

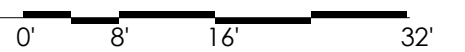




1 EAST ELEVATION - BUILDING 1
1/16" = 1'-0"



2 WEST ELEVATION - BUILDING 1
1/16" = 1'-0"



OMC 18.110.090 STREET WALLS

PER OMC 18.110.090 GLASS SHALL COVER OR COMPRISE AT LEAST SIXTY (60) PERCENT OF THE BUILDING FACE BETWEEN TWO (2) AND EIGHT (8) FEET IN ELEVATION ABOVE THE SIDEWALK.

BUILDING 1
WEST WALL AREA - LEVEL 1 : 387 SF
WEST FENESTRATION AREA - LEVEL 1 : 248 SF
WINDOW TO WALL RATIO : 248 SF/387 SF = 64% > 60% = OK

BUILDING 2
WEST WALL AREA - LEVEL 1: 204 SF
WEST FENESTRATION AREA - LEVEL 1 : 431 SF
WINDOW TO WALL RATIO : 431 SF/204 SF = 211% > 60% = OK

BUILDING 3
WEST WALL AREA - LEVEL 1 : 185 SF
WEST FENESTRATION AREA - LEVEL 1 : 457 SF
WINDOW TO WALL RATIO : 457 SF/185 SF = 247% > 60% = OK

BUILDING 4
WEST WALL AREA - LEVEL 1: 389 SF
WEST FENESTRATION AREA - LEVEL 1: 270 SF
WINDOW TO WALL RATIO : 270 SF/389 SF = 69% > 60% = OK

BUILDING 5
WEST WALL AREA - LEVEL 1: 343 SF
WEST FENESTRATION AREA - LEVEL 1: 232 SF
WINDOW TO WALL RATIO : 232 SF/343 SF = 68% > 60% = OK

BUILDING MATERIALS



WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

BUILDING ELEVATIONS - BUILDING 1

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

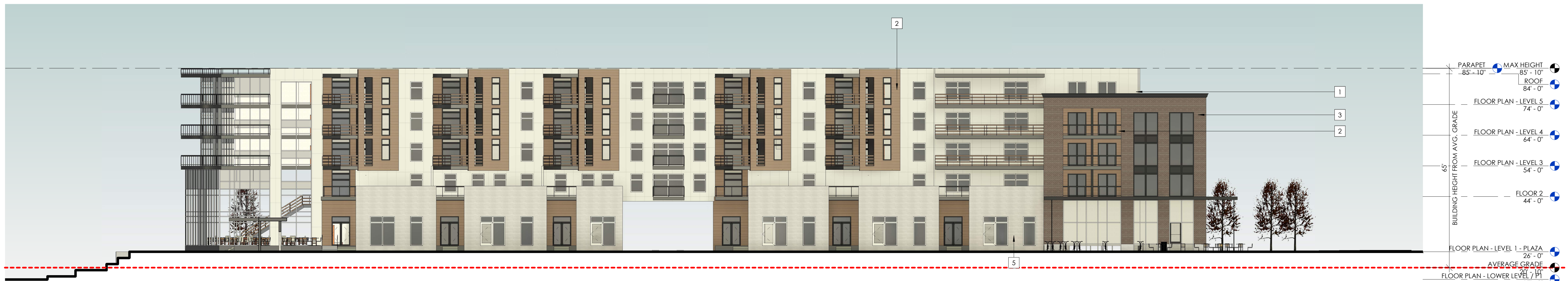
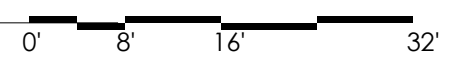
A34



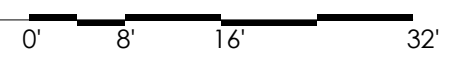
THOMAS
architecture studios



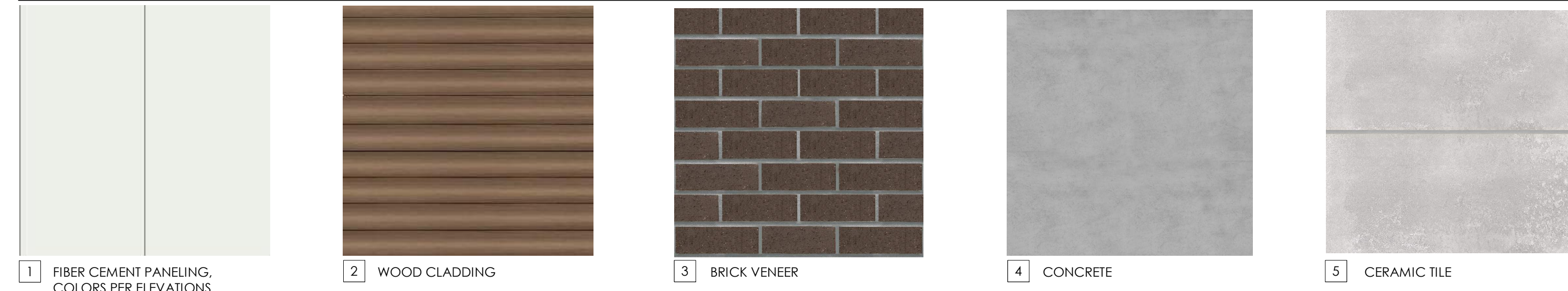
1 SOUTH ELEVATION - BUILDING 2
1/16" = 1'-0"



2 NORTH ELEVATION - BUILDING 2
1/16" = 1'-0"



BUILDING MATERIALS



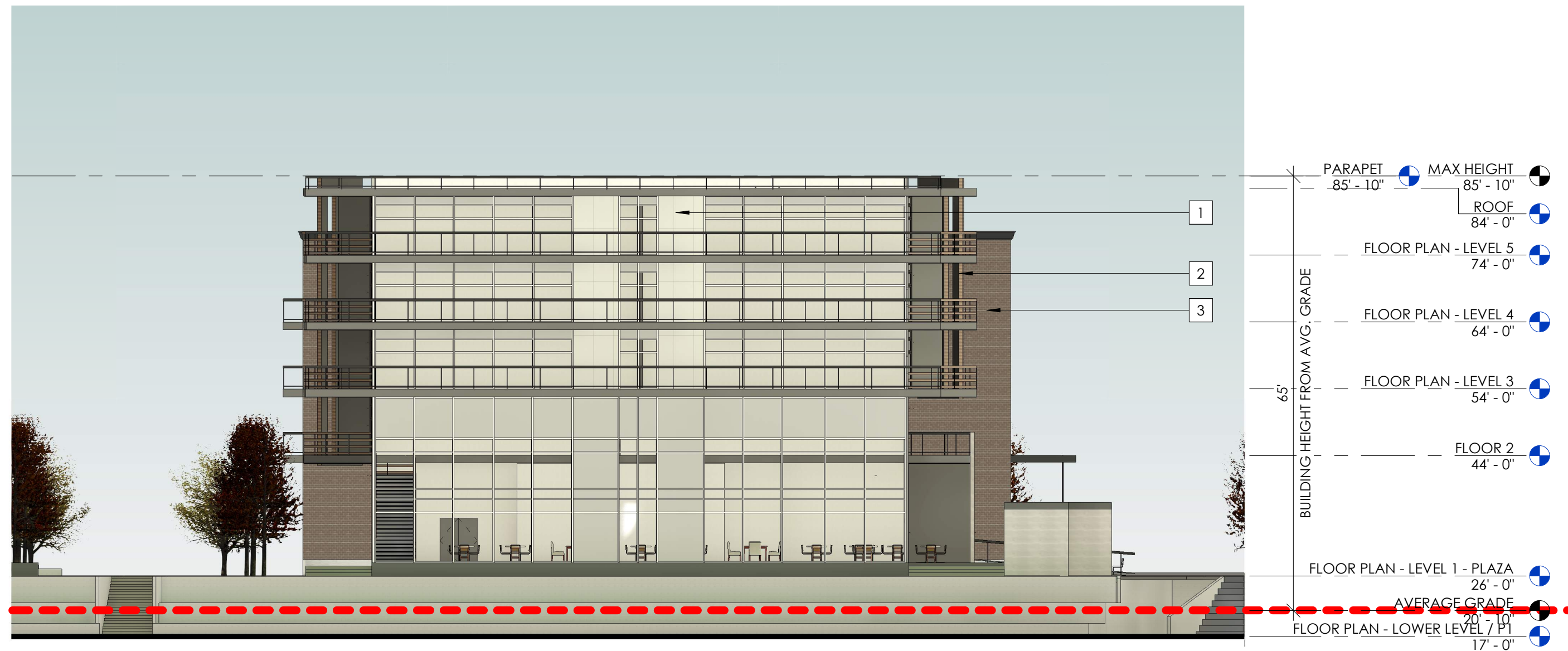
1 FIBER CEMENT PANELING, COLORS PER ELEVATIONS

2 WOOD CLADDING

3 BRICK VENEER

4 CONCRETE

5 CERAMIC TILE



1 EAST ELEVATION - BUILDING 2
1/16" = 1'-0"

2 WEST ELEVATION - BUILDING 2
1/16" = 1'-0"

OMC 18.110.090 STREET WALLS

PER OMC 18.110.090 GLASS SHALL COVER OR COMPRISE AT LEAST SIXTY (60) PERCENT OF THE BUILDING FACE BETWEEN TWO (2) AND EIGHT (8) FEET IN ELEVATION ABOVE THE SIDEWALK.

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WEST FENESTRATION AREA - LEVEL 1 : 248 SF
WINDOW TO WALL RATIO : 248 SF/387 SF = 64% > 60% = OK

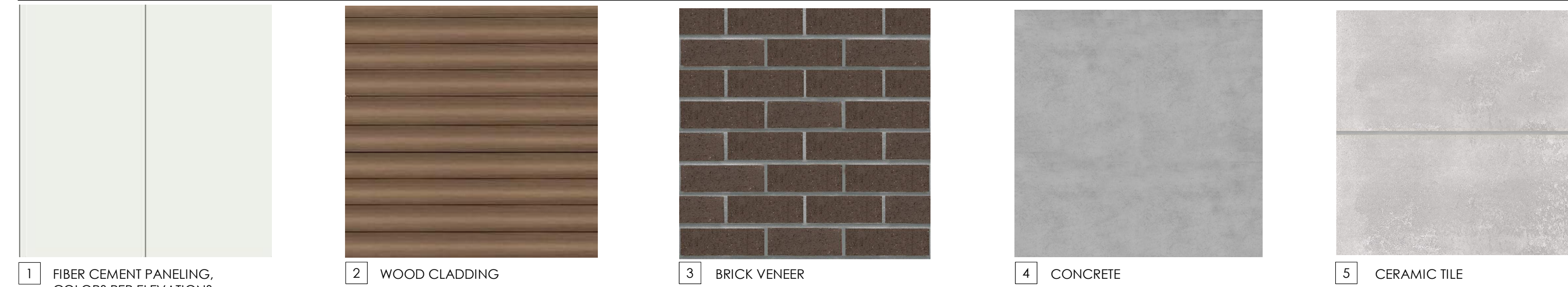
BUILDING 2
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BUILDING MATERIALS



WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

BUILDING ELEVATIONS - BUILDING 2

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

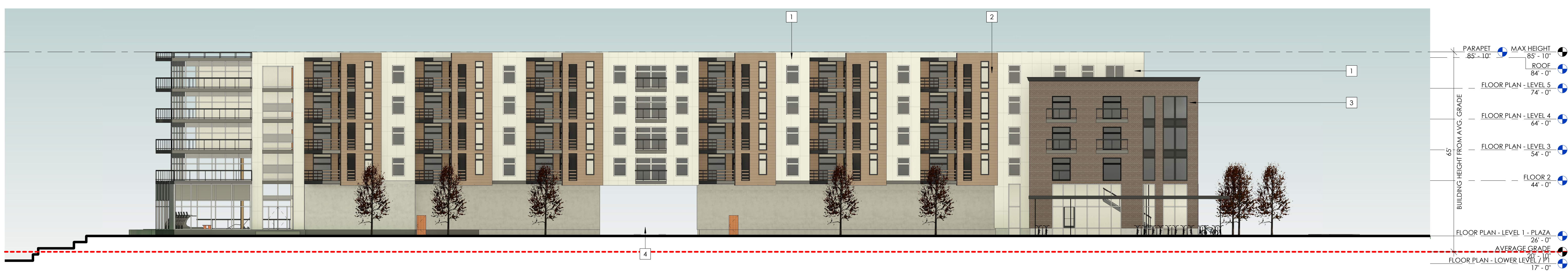
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THOMAS
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1 SOUTH ELEVATION - BUILDING 3
1/16" = 1'-0"

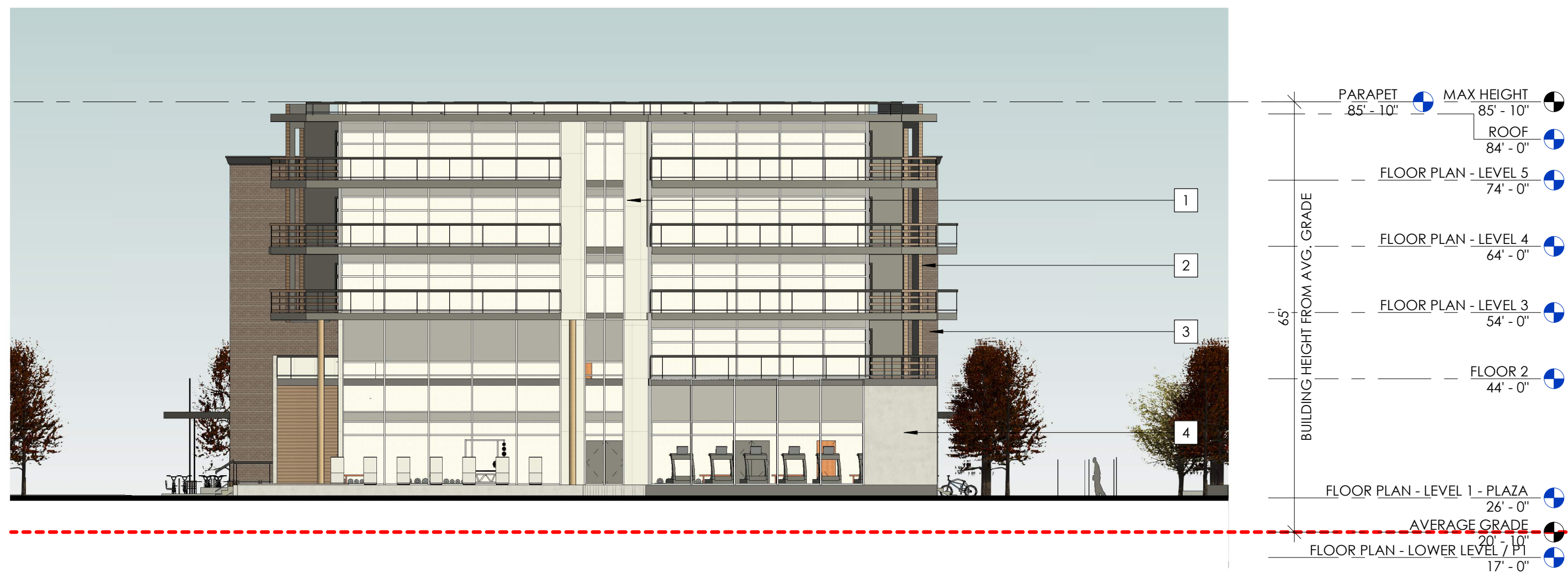


2 NORTH ELEVATION - BUILDING 3
1/16" = 1'-0"

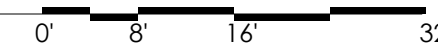
BUILDING MATERIALS



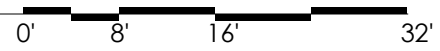
- 1 FIBER CEMENT PANELING, COLORS PER ELEVATIONS
- 2 WOOD CLADDING
- 3 BRICK VENEER
- 4 CONCRETE
- 5 CERAMIC TILE



1 EAST ELEVATION - BUILDING 3
1/16" = 1'-0"



2 WEST ELEVATION - BUILDING 3
1/16" = 1'-0"



OMC 18.110.090 STREET WALLS

PER OMC 18.110.090 GLASS SHALL COVER OR COMPRISE AT LEAST SIXTY (60) PERCENT OF THE BUILDING FACE BETWEEN TWO (2) AND EIGHT (8) FEET IN ELEVATION ABOVE THE SIDEWALK.

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WEST FENESTRATION AREA - LEVEL 1 : 248 SF
WINDOW TO WALL RATIO : 248 SF/387 SF = 64% > 60% = OK

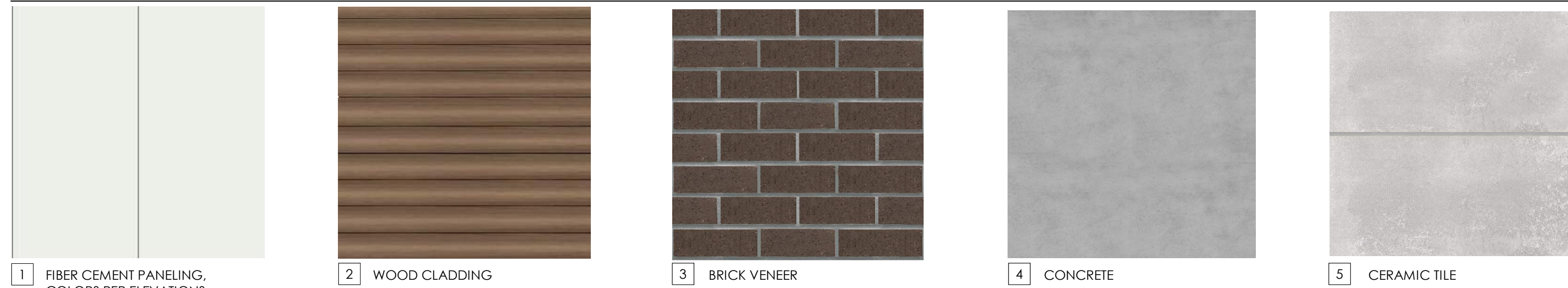
BUILDING 2
WEST WALL AREA - LEVEL 1: 204 SF
WEST FENESTRATION AREA - LEVEL 1 : 431 SF
WINDOW TO WALL RATIO : 431 SF/204 SF = 211% > 60% = OK

BUILDING 3
WEST WALL AREA - LEVEL 1 : 185 SF
WEST FENESTRATION AREA - LEVEL 1 : 457 SF
WINDOW TO WALL RATIO : 457 SF/185 SF = 247% > 60% = OK

BUILDING 4
WEST WALL AREA - LEVEL 1: 389 SF
WEST FENESTRATION AREA - LEVEL 1: 270 SF
WINDOW TO WALL RATIO : 270 SF/389 SF = 69% > 60% = OK

BUILDING 5
WEST WALL AREA - LEVEL 1: 343 SF
WEST FENESTRATION AREA - LEVEL 1: 232 SF
WINDOW TO WALL RATIO : 232 SF/343 SF = 68 % > 60% = OK

BUILDING MATERIALS



1 FIBER CEMENT PANELING, COLORS PER ELEVATIONS

2 WOOD CLADDING

3 BRICK VENEER

4 CONCRETE

5 CERAMIC TILE



WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

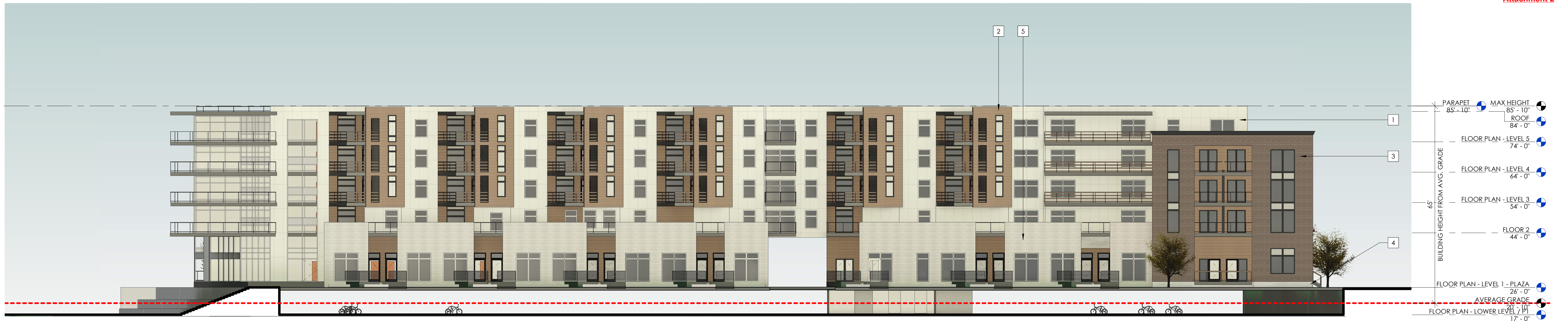
BUILDING ELEVATIONS - BUILDING 3

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

A38



THOMAS
architecture studios



1 NORTH ELEVATION - BUILDING 4
1/16" = 1'-0"



2 SOUTH ELEVATION - BUILDING 4
1/16" = 1'-0"

BUILDING MATERIALS



1 FIBER CEMENT PANELING, COLORS PER ELEVATIONS

2 WOOD CLADDING

3 BRICK VENEER

4 CONCRETE

5 CERAMIC TILE



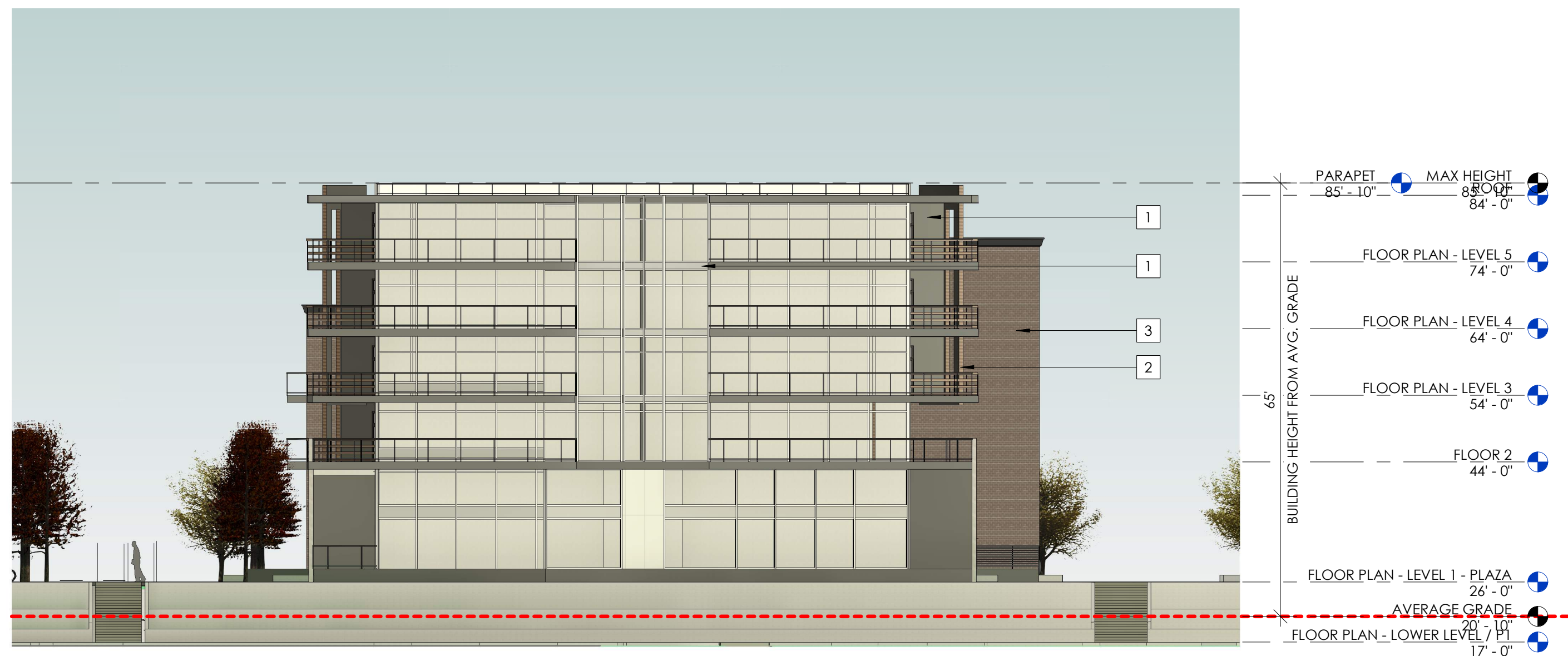
WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

BUILDING ELEVATIONS - BUILDING 4

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

A39





1 EAST ELEVATION - BUILDING 4
1/16" = 1'-0"

0' 8' 16' 32'

2 WEST ELEVATION - BUILDING 4
1/16" = 1'-0"

0' 8' 16' 32'

OMC 18.110.090 STREET WALLS

PER OMC 18.110.090 GLASS SHALL COVER OR COMPRISE AT LEAST SIXTY (60) PERCENT OF THE BUILDING FACE BETWEEN TWO (2) AND EIGHT (8) FEET IN ELEVATION ABOVE THE SIDEWALK.

BUILDING 1
WEST WALL AREA - LEVEL 1 : 387 SF
WEST FENESTRATION AREA - LEVEL 1 : 248 SF
WINDOW TO WALL RATIO : 248 SF/387 SF = 64% > 60% = OK

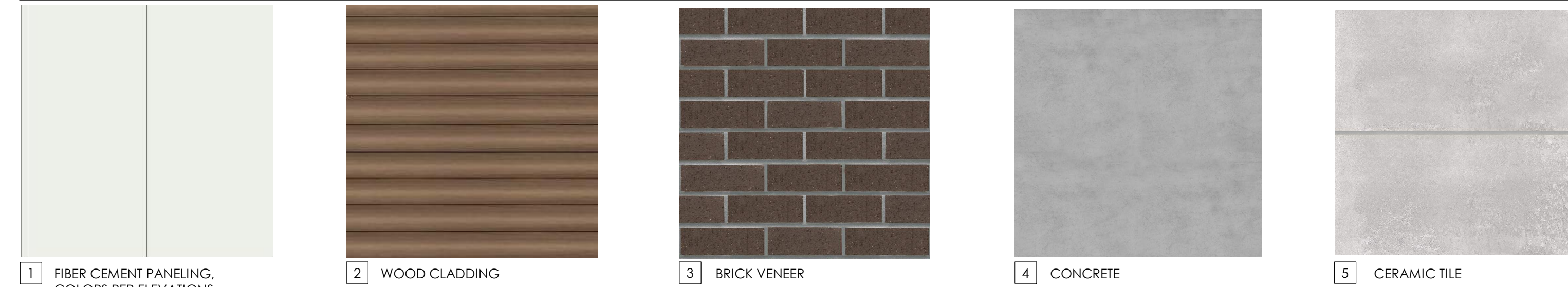
BUILDING 2
WEST WALL AREA - LEVEL 1: 204 SF
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WEST FENESTRATION AREA - LEVEL 1: 270 SF
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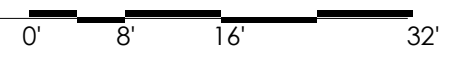
BUILDING 5
WEST WALL AREA - LEVEL 1: 343 SF
WEST FENESTRATION AREA - LEVEL 1: 232 SF
WINDOW TO WALL RATIO : 232 SF/343 SF = 68% > 60% = OK

BUILDING MATERIALS





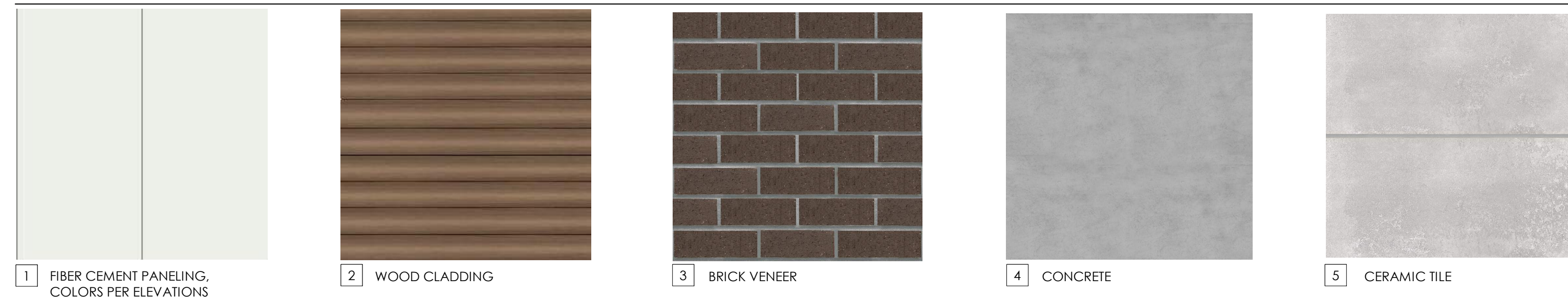
1 NORTH ELEVATION - BUILDING 5
1/16" = 1'-0"



2 SOUTH ELEVATION - BUILDING 5
1/16" = 1'-0"



BUILDING MATERIALS



1 FIBER CEMENT PANELING, COLORS PER ELEVATIONS

2 WOOD CLADDING

3 BRICK VENEER

4 CONCRETE

5 CERAMIC TILE



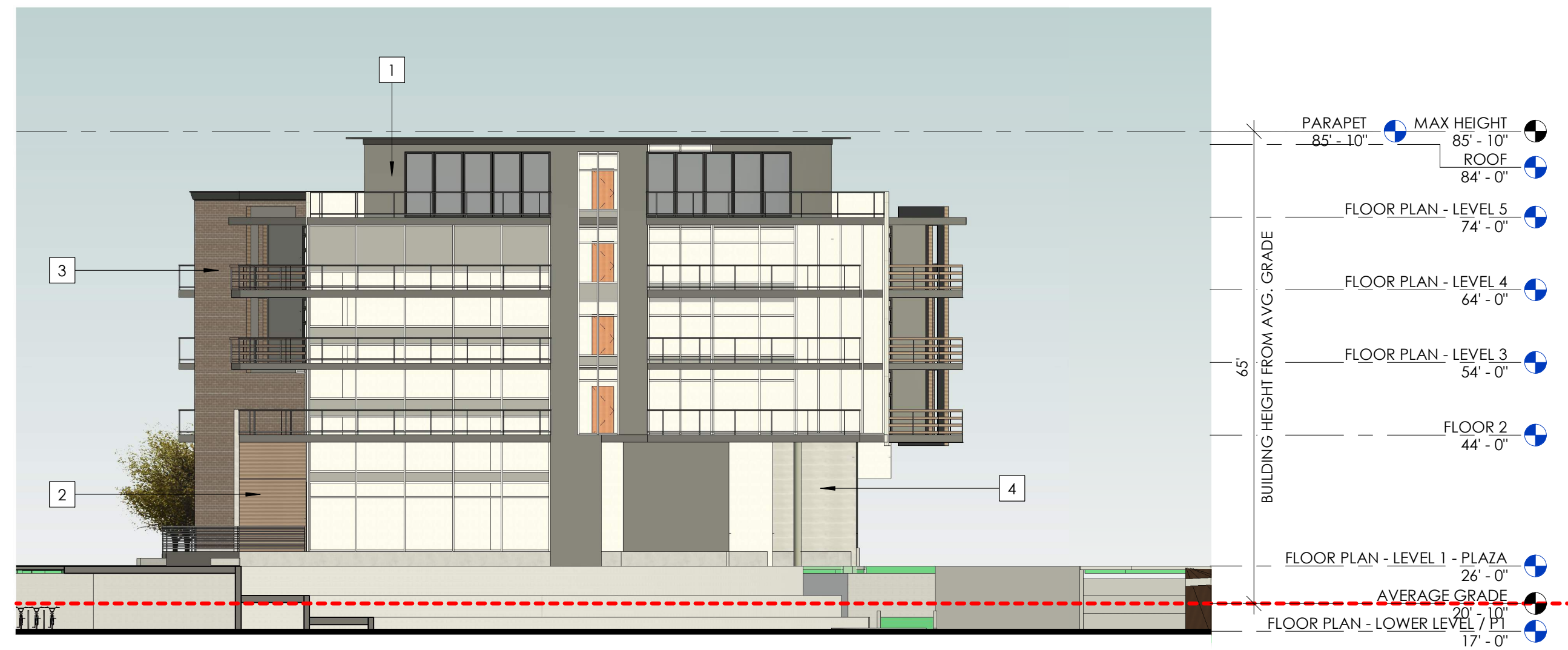
WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

BUILDING ELEVATIONS - BUILDING 5

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

A41





1 EAST ELEVATION - BUILDING 5
1/16" = 1'-0"

0' 8' 16' 32'



2 WEST ELEVATION - BUILDING 5
1/16" = 1'-0"

0' 8' 16' 32'

OMC 18.110.090 STREET WALLS

PER OMC 18.110.090 GLASS SHALL COVER OR COMPRISE AT LEAST SIXTY (60) PERCENT OF THE BUILDING FACE BETWEEN TWO (2) AND EIGHT (8) FEET IN ELEVATION ABOVE THE SIDEWALK.

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BUILDING MATERIALS



1 FIBER CEMENT PANELING, COLORS PER ELEVATIONS

2 WOOD CLADDING

3 BRICK VENEER

4 CONCRETE

5 CERAMIC TILE



WEST BAY YARDS
LUXURY WATERFRONT LIVING
OLYMPIA

BUILDING ELEVATIONS - BUILDING 5

WEST BAY DRIVE | OLYMPIA, WA
SCHEMATIC DESIGN | 07/25/25

A42



THOMAS
architecture studios

SITE & BUILDING LIGHTING LEGEND



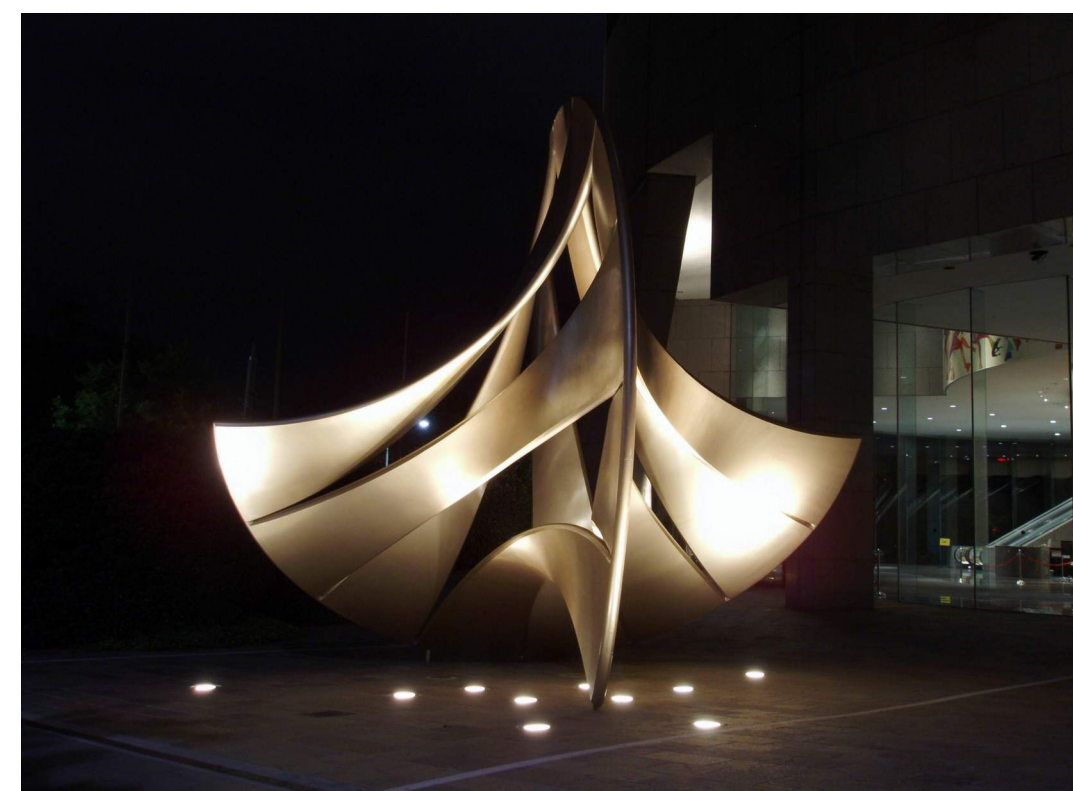
● POLE MOUNTED LIGHT FIXTURE
TEKA ILLUMINATION
LARGE BEACON POLE MOUNT SOLID STATE
COLOR: COPPER IN BRASS WITH GREEN PATINA FINISH
DARK SKY LIGHT FIXTURE



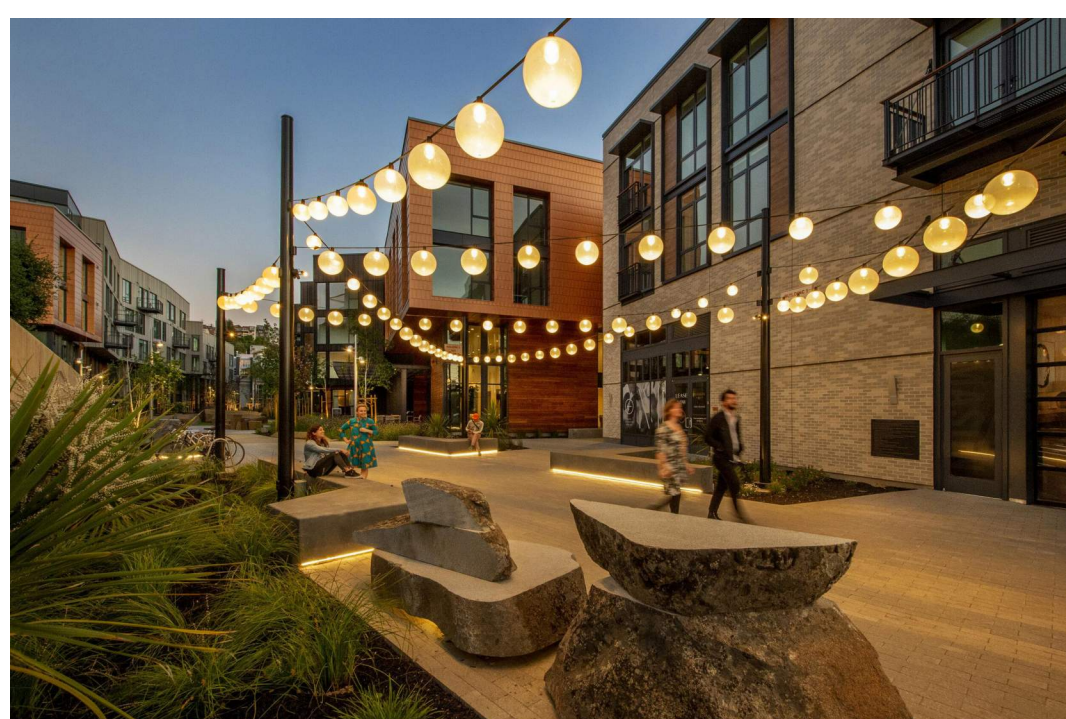
● BOLLARD LIGHT FIXTURE
TEKA ILLUMINATION
CITADEL BOLLARD SOLID STATE
COLOR: COPPER IN BRASS WITH GREEN PATINA FINISH
DARK SKY LIGHT FIXTURE



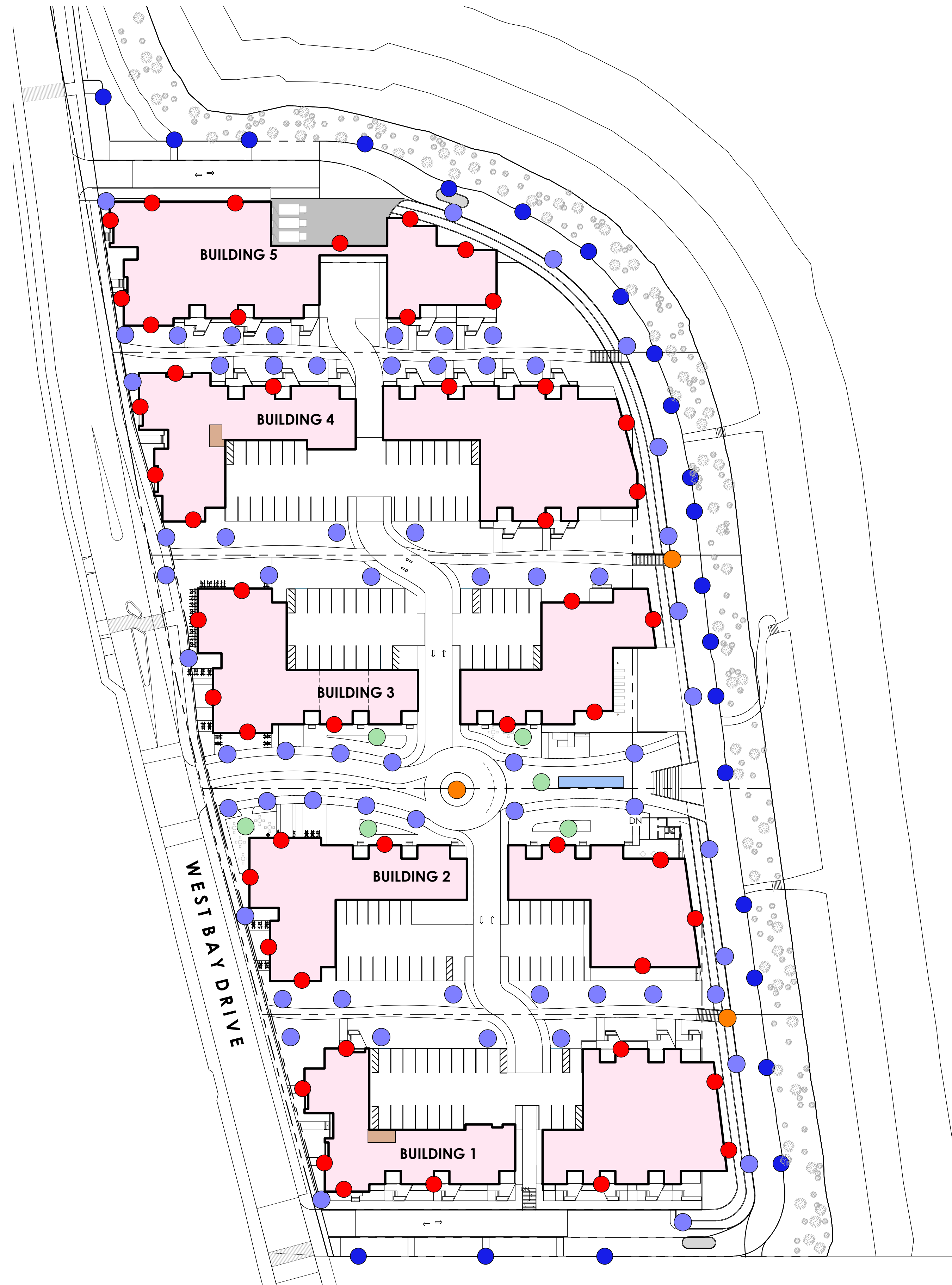
● WALL MOUNTED LIGHT FIXTURE
TEKA ILLUMINATION
ARCADE SERIES FULL SHIELD 14 SOLID STATE
COLOR: COPPER WITH BROWN PATINA FINISH
DARK SKY LIGHT FIXTURE



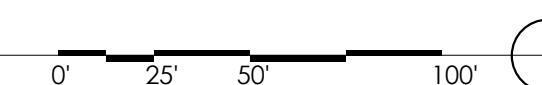
● SCULPTURAL LIGHT



● STRING HUNG LIGHTING



1 SITE PLAN- LIGHTING
1" = 50'-0"





VIEW FROM EAST



VIEW FROM WEST