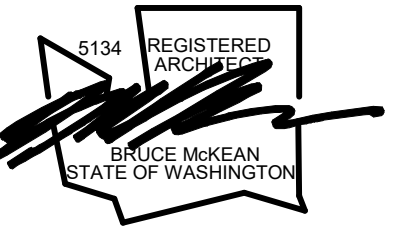


CAPITAL PET URGENT CARE LAND USE SUBMITTAL

4950 HARRISON AVE NW
OLYMPIA, WA 98502
LAND USE SUBMITTAL



SURVEY

TRULAND SURVEY LLC
P.O. BOX 268
GIG HARBOR WA, 98335
CONTACT: ROBERT W. PUSEY JR., PLS
PHONE: (360) 536-1204

LANDSCAPE ARCHITECT + CIVIL ENGINEER

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVENUE SOUTH,
KENT, WA 98032
CONTACT: LYN DO
PHONE: (425) 656-7457
EMAIL: LDO@BARGHAUSEN.COM



PERSPECTIVE VIEW LOOKING NORTHEAST

PROJECT NARRATIVE

THIS PROJECT PROPOSES TO CONSTRUCT A SINGLE-STORY, APPROXIMATELY 6,146 SF VETERINARY URGENT CARE IN OLYMPIA, WASHINGTON. THE FACILITY WILL PROVIDE FULL-SERVICE VETERINARY URGENT CARE, INCLUDING RECEPTION AND WAITING AREAS, EXAM ROOMS, TREATMENT AND SURGICAL SUITES, RECOVERY AREAS, AND STAFF SUPPORT SPACES. THE SITES ARE COMPRISED OF (2) LOTS, ONE OF WHICH IS VACANT AND THE OTHER THAT CONTAINS AN EXISTING RETAIL BUILDING, WHICH WILL BE DEMOLISHED. A SEPARATE BLA PERMIT WILL FOLLOW TO CONSOLIDATE BOTH LOTS.

THE BUILDING IS DESIGNED IN A PACIFIC NORTHWEST MODERN-RUSTIC STYLE THAT INCORPORATES NATURAL MATERIALS LIKE STACKED STONE, AND A WOOD-LIKE MATERIAL, WOODTONE. THIS ARCHITECTURAL STYLE, ALONG WITH MATERIALS, HELPS CREATE A WARM AND WELCOMING ENVIRONMENT. THROUGHOUT THE SITE IS A VARIETY OF NATIVE LANDSCAPING DESIGNED TO COMPLEMENT THE SURROUNDING ENVIRONMENT, ENHANCE THE USER EXPERIENCE, AND MEET LOCAL DEVELOPMENT REQUIREMENTS.

THE PROPOSED SITE INCLUDES 30 PARKING STALLS, 3 OF WHICH ARE EV CHARGING STALLS, 3 EV READY STALLS, AND 3 EV CAPABLE STALLS. THE SITE WILL ALSO INCLUDE 4 BICYCLE PARKING STALLS, (2) FOR LONG TERM, AND (2) FOR SHORT-TERM GUESTS, THAT WILL SUPPORT ALTERNATIVE TRANSPORTATION OPTIONS, PROMOTE SUSTAINABILITY, AND PROVIDE ACCESSIBILITY FOR STAFF AND CLIENTS.

SHEET INDEX

ARCHITECTURAL

DR1 COVER SHEET
DR2 SITE PLAN
DR3 EXTERIOR ELEVATIONS
DR4 FLOOR PLAN
DR5 CUT SHEETS
DR6 CUT SHEETS CONT'D
DR7 SOLID WASTE PLAN

SURVEY

SV01 ALTA/NSPS SURVEY
SV02 ALTA/NSPS SURVEY

CIVIL

C1 PRELIMINARY COVER SHEET
C2 EXISTING CONDITIONS & PRELIMINARY DEMO PLAN
C3 PRELIMINARY TESC PLAN
C4 PRELIMINARY GRADING & STORM PLAN
C5 PRELIMINARY WATER & SEWER PLAN

LANDSCAPE

L1 PRELIMINARY LANDSCAPE PLAN
L2 PLANT SCHEDULE
L3 LANDSCAPE NOTES & DETAILS
L4 PRELIMINARY IRRIGATION PLAN

SOLID WASTE

1 SOLID WASTE EXHIBIT FRONT LOADER ENTERS SITE
2 SOLID WASTE EXHIBIT FRONT LOADER EXITS SITE

SITE DESIGN INFORMATION:

EXISTING:

PARCEL NUMBER(S):	PARCEL A1: 12817320200	PARCEL B1: 12817320100
PARCEL SIZE IN ACRES / SQ FT:	0.16 ACRES 6,970 SQ FT	1.05 ACRES 45,738 SQ FT

EXISTING USE:

VACANT LAND RETAIL

ZONING DESIGNATION:

PO/ RM (PROFESSIONAL OFFICE/RESIDENTIAL)

LEGAL DESCRIPTION:

PARCEL A1: SECTION 17 TOWNSHIP 18 RANGE 2W PART NW-SW
PARCEL B1: 17-18-2W NW-SW LY N OF H/W LESS W 404F LESS .16A

PROPOSED:

PROPOSED USE: VETERINARY CLINIC - NON 24 HR
TYPE OF OCCUPANCY: B

PROPOSED PARCEL SIZE AFTER BOUNDARY LINE ADJUSTMENT:

	PARCEL A2: 0.85 ACRES 37,089 SQ FT	PARCEL B2: 0.49 ACRES 21,436 SQ FT
BUILDING SF:	6,146 SF	

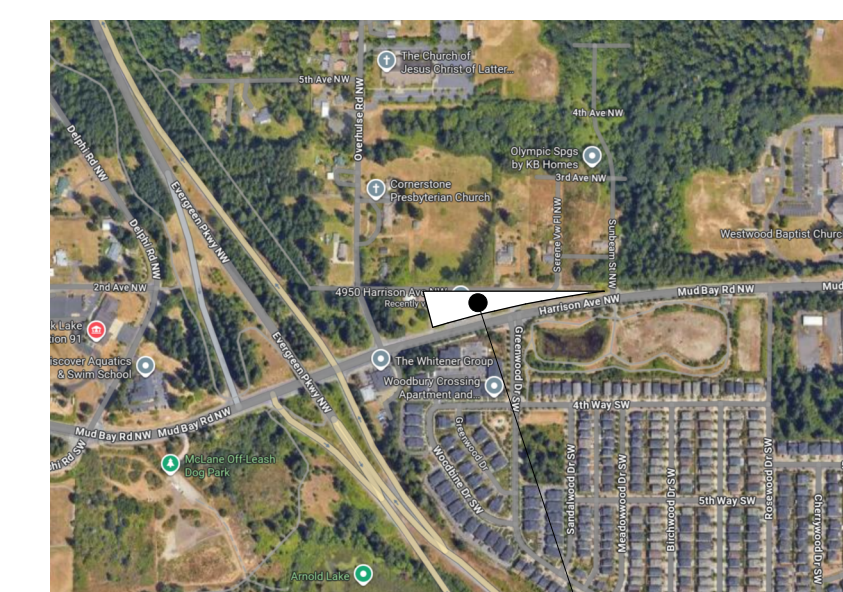
OFF STREET PARKING:

STALL REQUIREMENT (VETERINARY CLINIC): 1 SPACE PER 300 SF
TOTAL REQUIRED: 21 STALLS
TOTAL PROVIDED: 30 STALLS

BICYCLE PARKING:

TYPE I (LONG-TERM EMPLOYEE/TENANT): 2 SPACES
TYPE II (SHORT TERM CUSTOMER/GUEST): 2 SPACES

VICINITY MAP:



OWNER

CAPITAL PET URGENT CARE
405 BLACK HILLS LN SW SUITE G,
OLYMPIA, WA 98502

CONTACTS:
DR. JILLIAN BLAKE
DR. KAREN DAHL
DR. LINDEN FRANZ
PHONE: (360) 915-5900
EMAIL: CAPITALPETUC@GMAIL.COM

ARCHITECT

HELIX DESIGN GROUP
A DIVISION OF SHIVE-HATTERY
4021 12th STREET EAST SUITE 201
TACOMA, WASHINGTON 98424

CONTACTS:
NATHALIE DOYLE
PHONE: (253) 922-9037
EMAIL:
NATHALIED@HELIXDESIGNGROUP.NET

GENERAL CONTRACTOR

RUSH COMMERCIAL CONSTRUCTION
6622 WOLLOCHET DR,
GIG HARBOR, WA 98332

CONTACT: BRETT GRIFFIN
PHONE: (253) 432-7028
EMAIL:
BGRIFFIN@THERUSHCOMPANIES.COM

COVER SHEET

CAPITAL PET CLINIC URGENT CARE

OLYMPIA, WASHINGTON

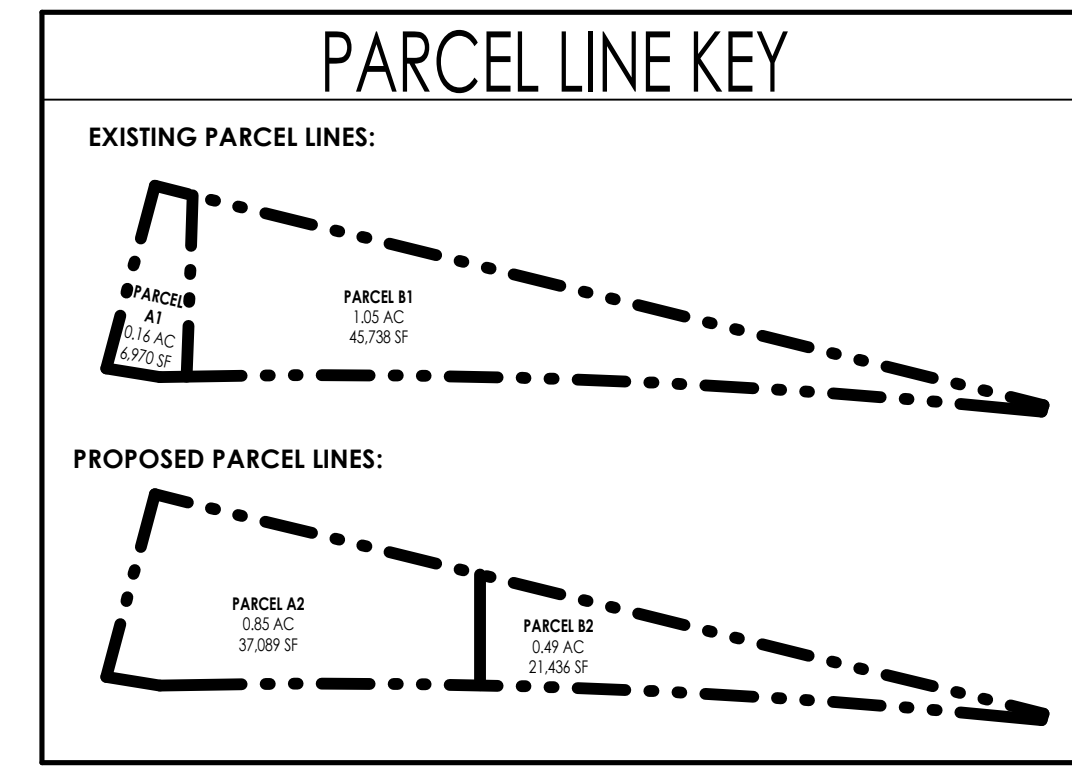
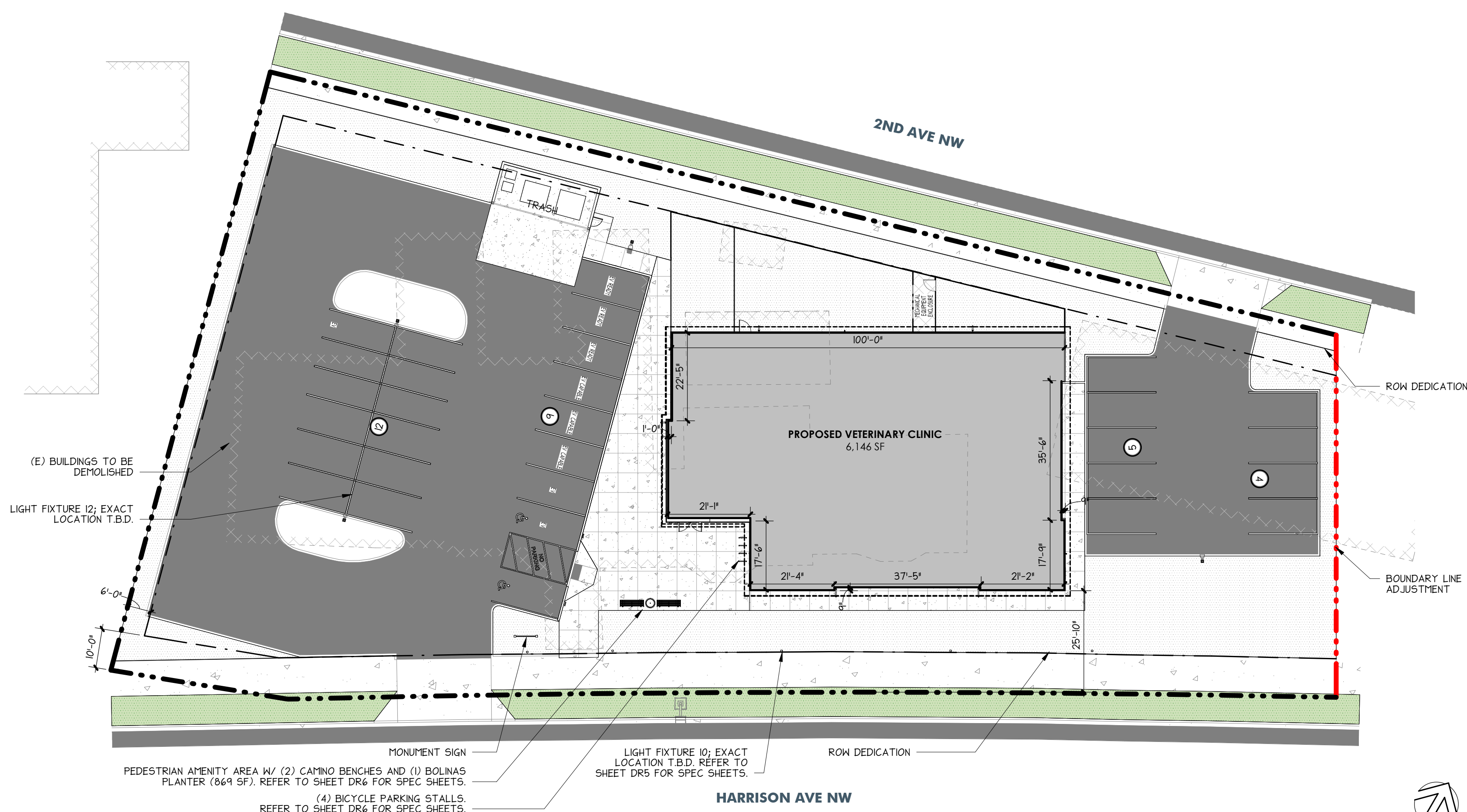
REVISION DATE

DATE JOB NO.
04.01.26 2240019530

LAND USE SUBMITTAL

DR1

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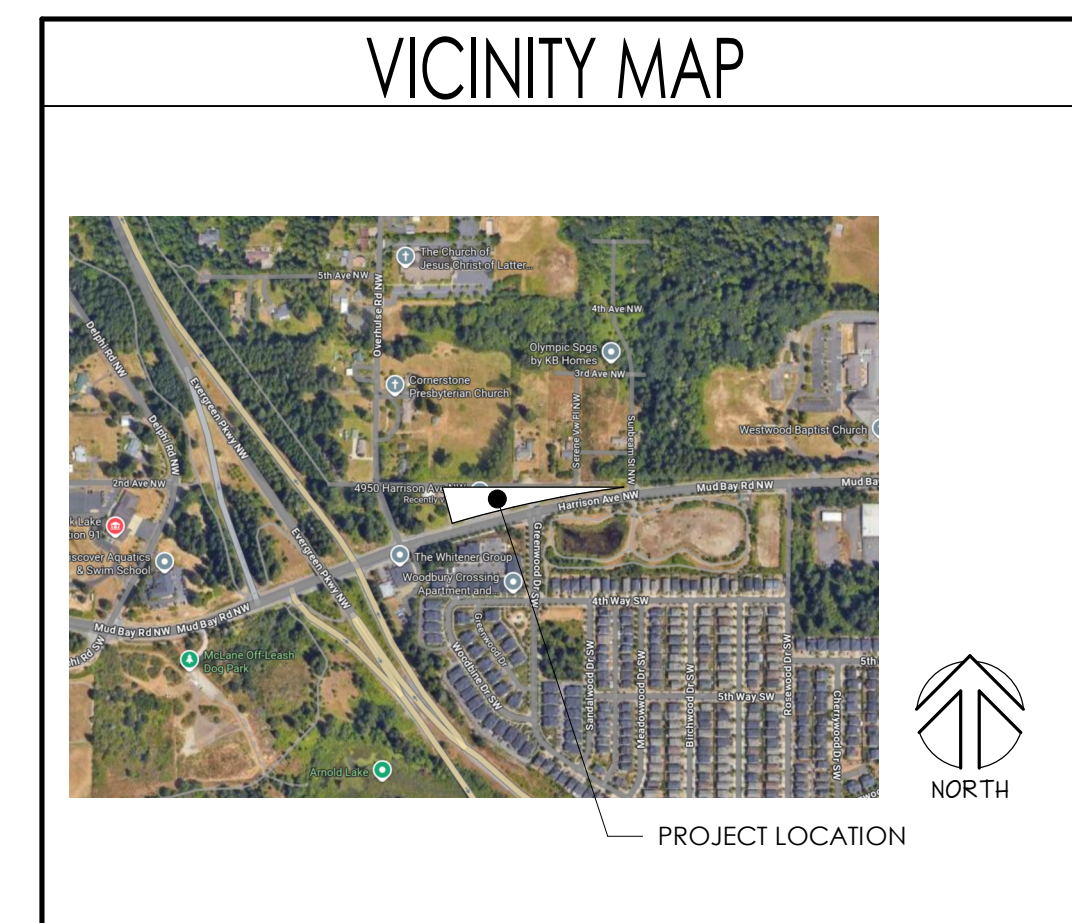


SITE PLAN LEGEND

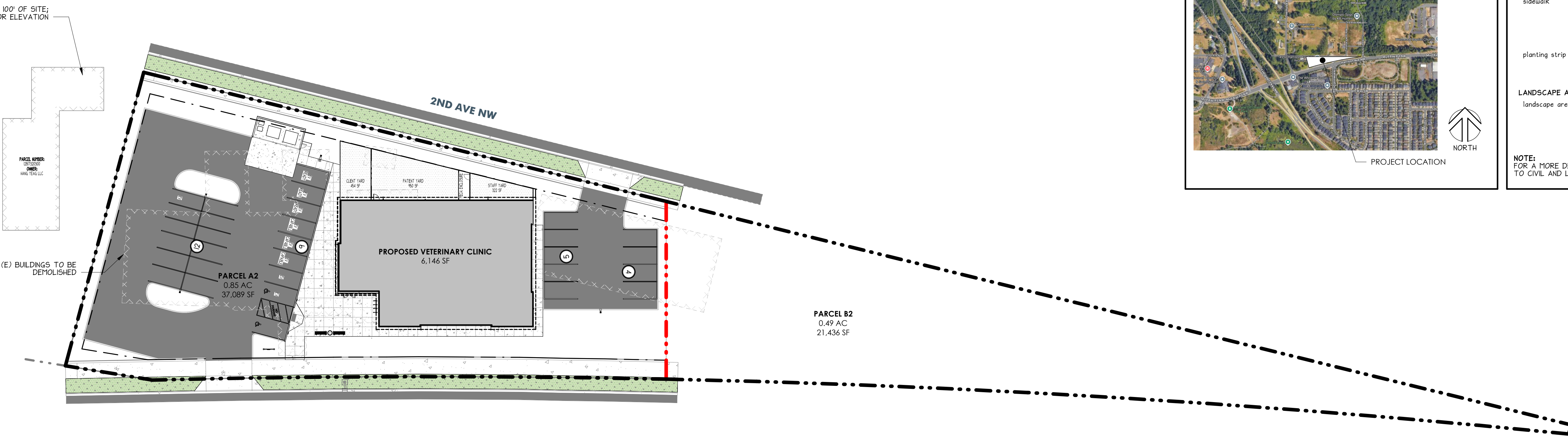
DESCRIPTION	SYMBOL AND TEXT
PROPERTY LINE	---
ADJACENT PROPERTY LINE	- - - - -
PROPERTY SETBACK LINE	--- 10'-0" ---
BUILDING	
FENCE	--- 6' FENCE ---
PARKING STALL AND LANDSCAPE PLANTER	
ACCESSIBLE PARKING STALLS	
CONCRETE PAVEMENT	
ASPHALT PAVING	
ROW IMPROVEMENTS	
LANDSCAPE AREA	

PROJECT INFORMATION

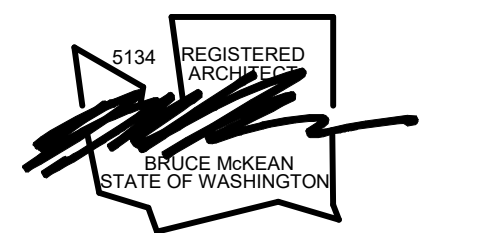
EXISTING:	PARCEL A1: 1.05 AC, 45,738 SF	PARCEL B1: 1.05 AC, 45,738 SF
PARCEL NUMBER(S):	12817320200	12817320100
PARCEL SIZE IN ACRES / SQ FT:	0.16 ACRES, 6,970 SQ FT	1.05 ACRES, 45,738 SQ FT
EXISTING USE:	VACANT LAND	RETAIL
ZONING DESIGNATION: OFFICE/RESIDENTIAL	PO/ RM (PROFESSIONAL)	
LEGAL DESCRIPTION:	PARCEL A1: SECTION 17 TOWNSHIP 18 RANGE 2W PART NW-SW 17-18-2W NW-SW 1/4 N OF H/W LESS W 404F LESS .16A	PARCEL B1: SECTION 17 TOWNSHIP 18 RANGE 2W PART NW-SW 17-18-2W NW-SW 1/4 N OF H/W LESS W 404F LESS .16A
PROPOSED:	PARCEL A2: 0.85 ACRES, 37,089 SQ FT	PARCEL B2: 0.49 ACRES, 21,436 SQ FT
PROPOSED USE:	VETERINARY CLINIC - NON 24 HR	
TYPE OF OCCUPANCY:	B	
PROPOSED PARCEL SIZE AFTER BOUNDARY LINE ADJUSTMENT:	PARCEL A2: 0.85 ACRES, 37,089 SQ FT	PARCEL B2: 0.49 ACRES, 21,436 SQ FT
BUILDING SF:	6,146 SF	
OFF STREET PARKING:	STALL REQUIREMENT (VETERINARY CLINIC): 1 SPACE PER 300 SF	
TOTAL REQUIRED:	21 STALLS	
TOTAL PROVIDED:	30 STALLS	
BICYCLE PARKING:	TYPE I (LONG-TERM EMPLOYEE/TENANT): 2 SPACES	
	TYPE II (SHORT TERM CUSTOMER/GUEST): 2 SPACES	



ENLARGED SITE PLAN
1" = 20'-0"



OVERALL SITE PLAN
1" = 30'-0"



SITE PLAN

CAPITAL PET CLINIC URGENT CARE

OLYMPIA, WASHINGTON

REVISION | DATE

DATE: 04.01.26 | JOB NO: 2240019530
LAND USE SUBMITTAL

DR2

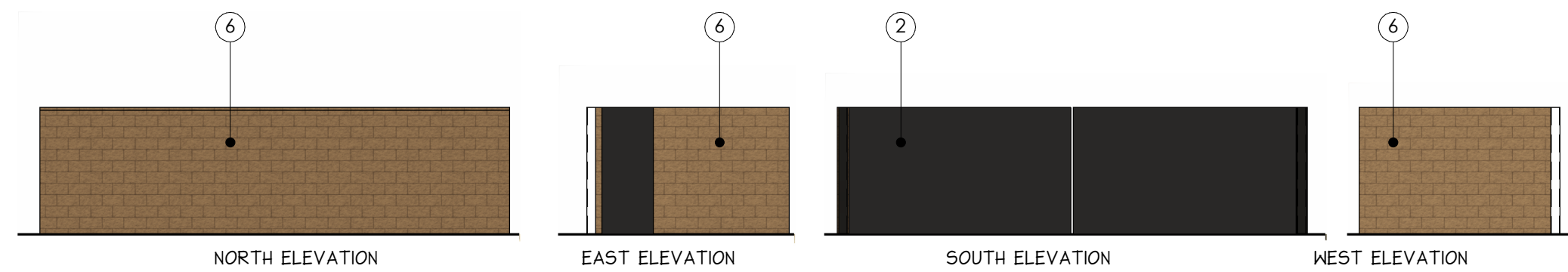
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A | B | C | D | E | F | G | H | J | K

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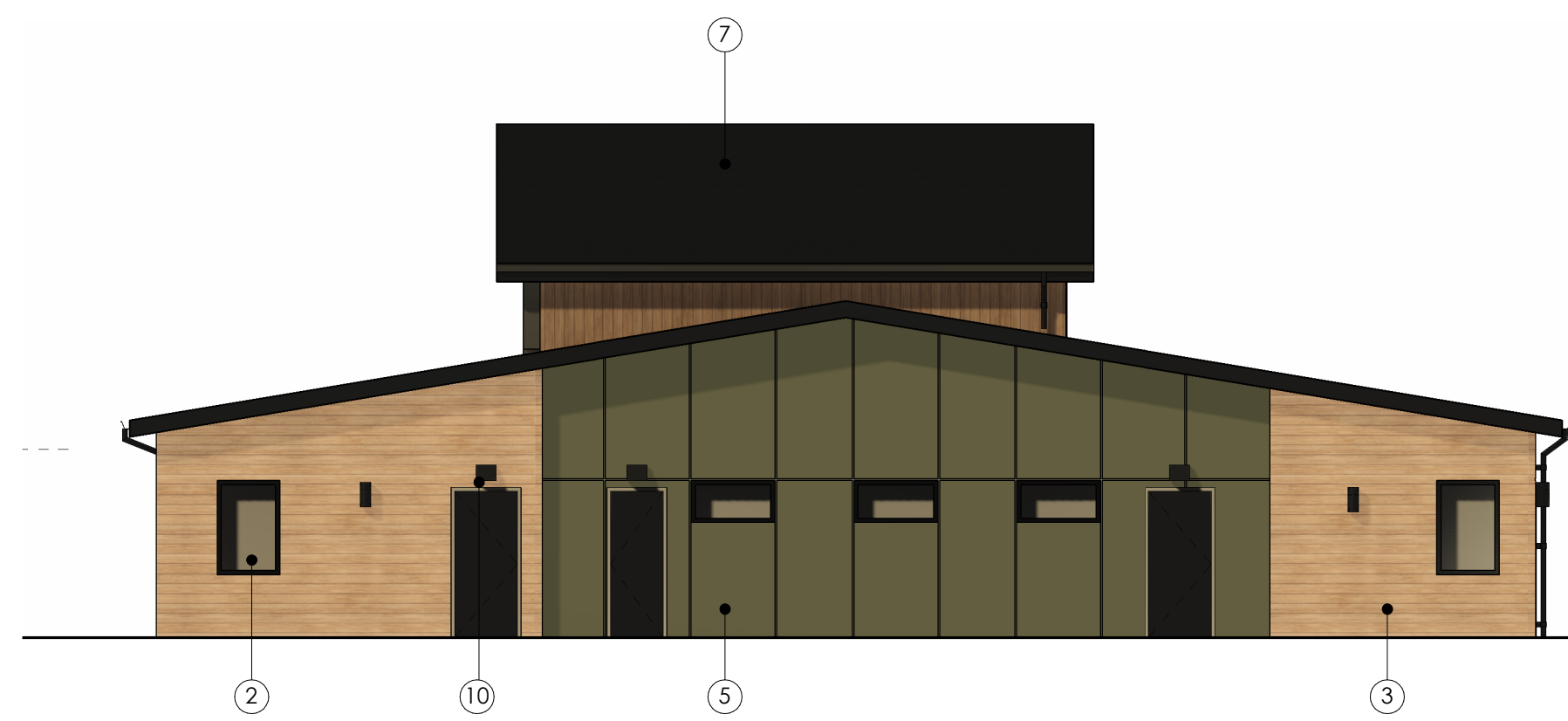


3A TRASH ENCLOSURE ELEVATIONS
1/8" = 1'-0"

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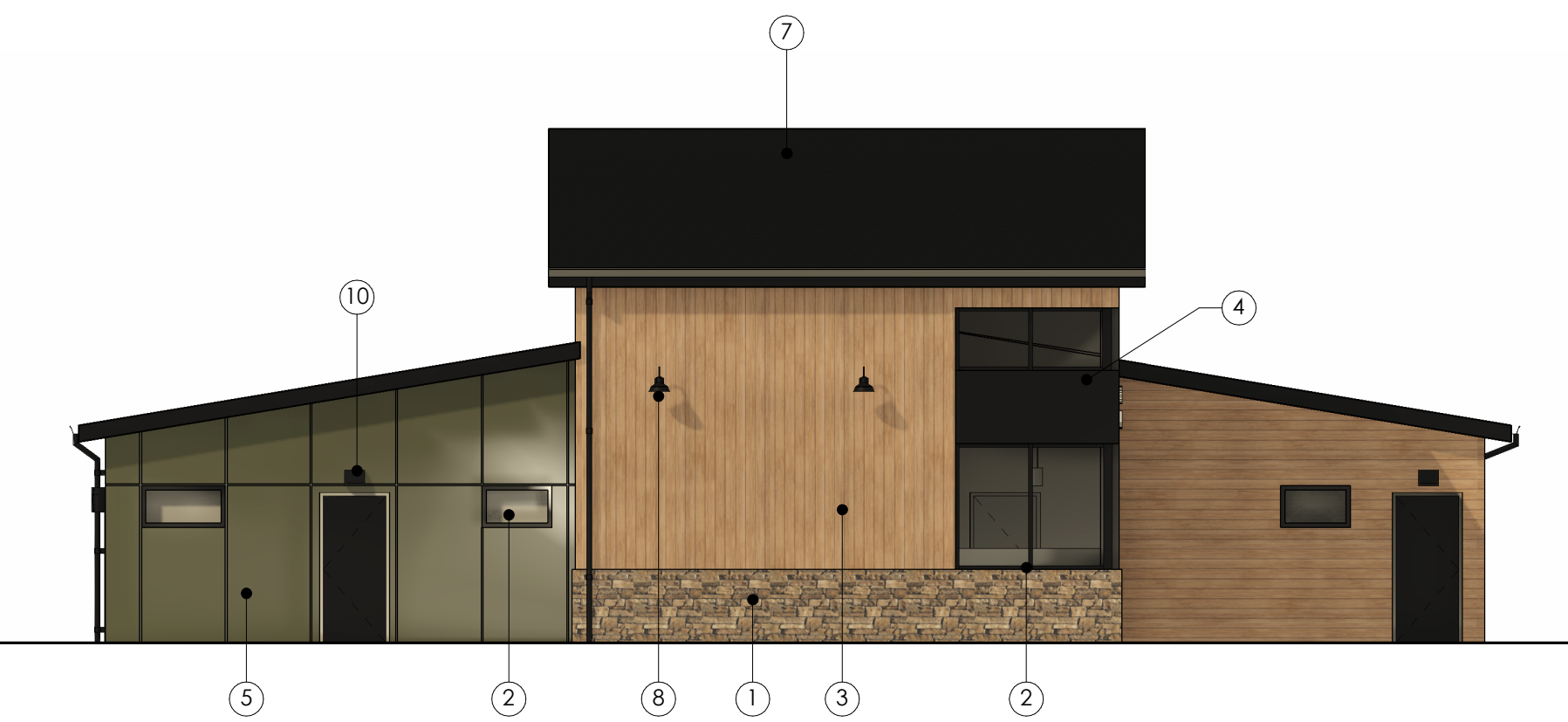


4A EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

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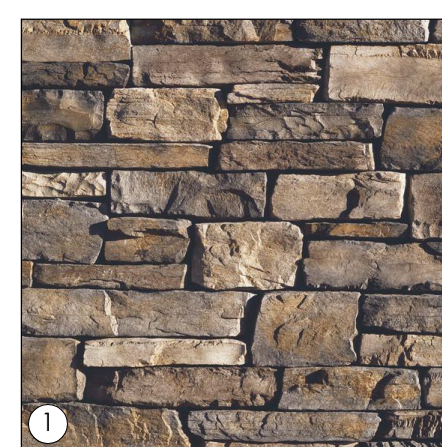
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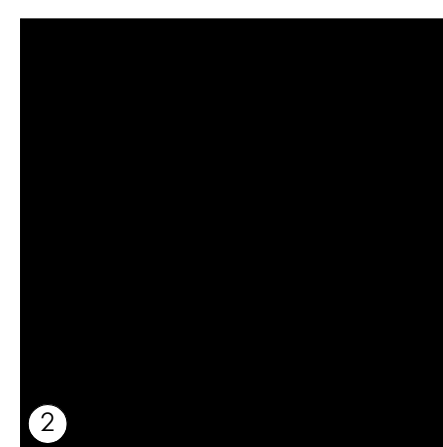
7A EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

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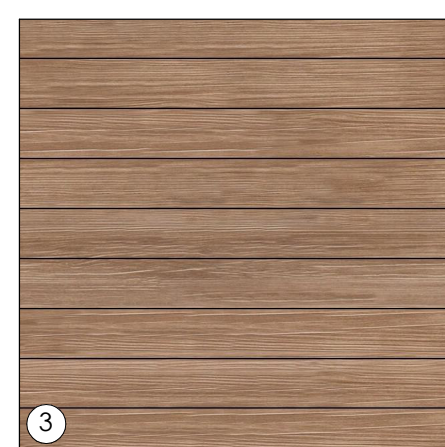
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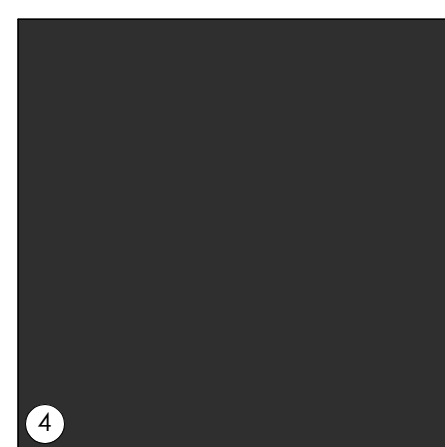
1 STACKED STONE VENEER
COLOR: MONTECITO CLIFFSTONE
MANF.: ELDORADO STONE



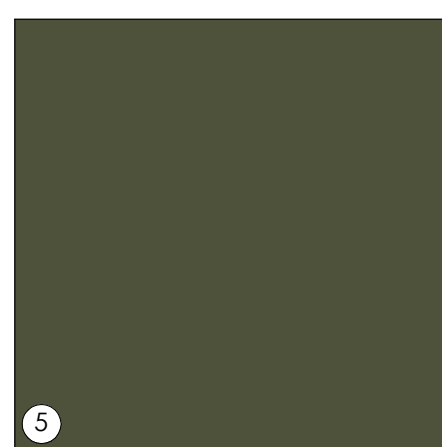
2 ALUMINUM METAL FLASHING /
STOREFRONT / DOORS / AWNING /
CANOPY / VINYL WINDOWS
COLOR: BLACK



3 FIBER CEMENT SIDING (HORIZONTAL
+ VERTICAL APPLICATIONS)
COLOR: SUMMER WHEAT
MANF.: WOODTONE



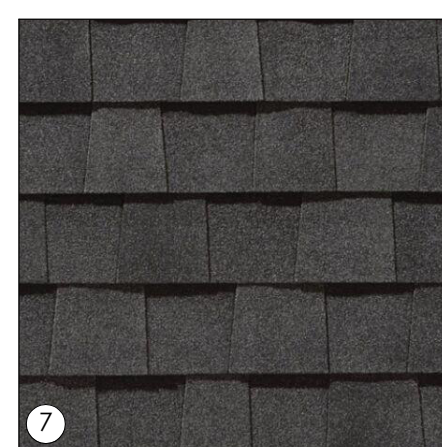
4 HARDIE ARCHITECTURAL PANEL
PAINTED SHERWIN WILLIAMS SW 6258
(TRICORN BLACK)
MANF.: JAMES HARDIE



5 HARDIE ARCHITECTURAL PANEL
PAINTED SHERWIN WILLIAMS SW 6181
(SECRET GARDEN)
MANF.: JAMES HARDIE



6 CMU 8-8-16 SPLIT FACE BLOCK
COLOR: KHAKI
MANF.: MUTUAL MATERIALS



7 ASPHALT SHINGLE ROOFING
COLOR: BLACK



8 BARN LIGHT 14" OUTDOOR WALL
SCONCE
COLOR: TEXTURED BLACK
MANF.: VISUAL COMFORT STUDIO
OR SIM.



9 4" OUTDOOR WALL SCONCE
COLOR: BLACK
MANF.: BETA CALCO OR SIM.

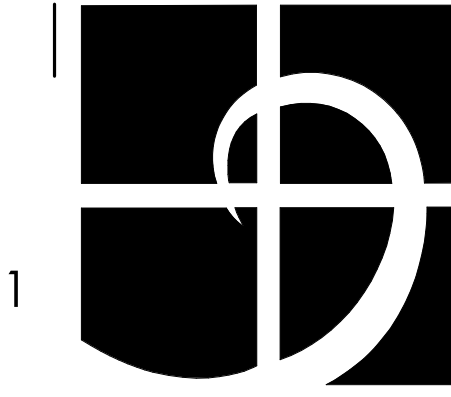


10 7" OUTDOOR WALL SCONCE
COLOR: TEXTURED BLACK
MANF.: TROY LIGHTING OR SIM.



11 DIRECTIONAL UPLIGHT
COLOR: MATTE BLACK
MANF.: ALCON LIGHTING OR SIM.

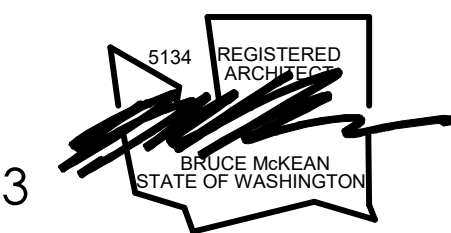
A | B | C | D | E | F | G | H | J | K



Helix
design group
A DIVISION OF SHIVE-HATTERY



AMERICAN INSTITUTE OF ARCHITECTS



BRUCE MCKEAN
STATE OF WASHINGTON

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EXTERIOR ELEVATIONS

CAPITAL PET CLINIC URGENT CARE

OLYMPIA, WASHINGTON

REVISION DATE

DATE 04.01.26 JOB NO. 2240019530
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DR3

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PROJECT: 2240019530 - CAPITAL PET CLINIC
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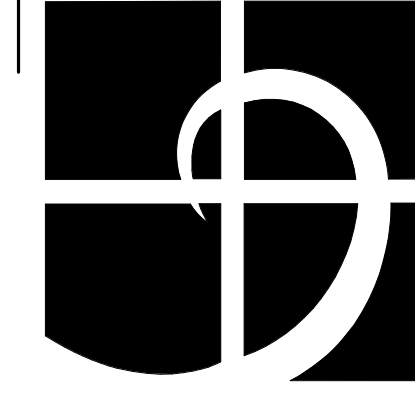
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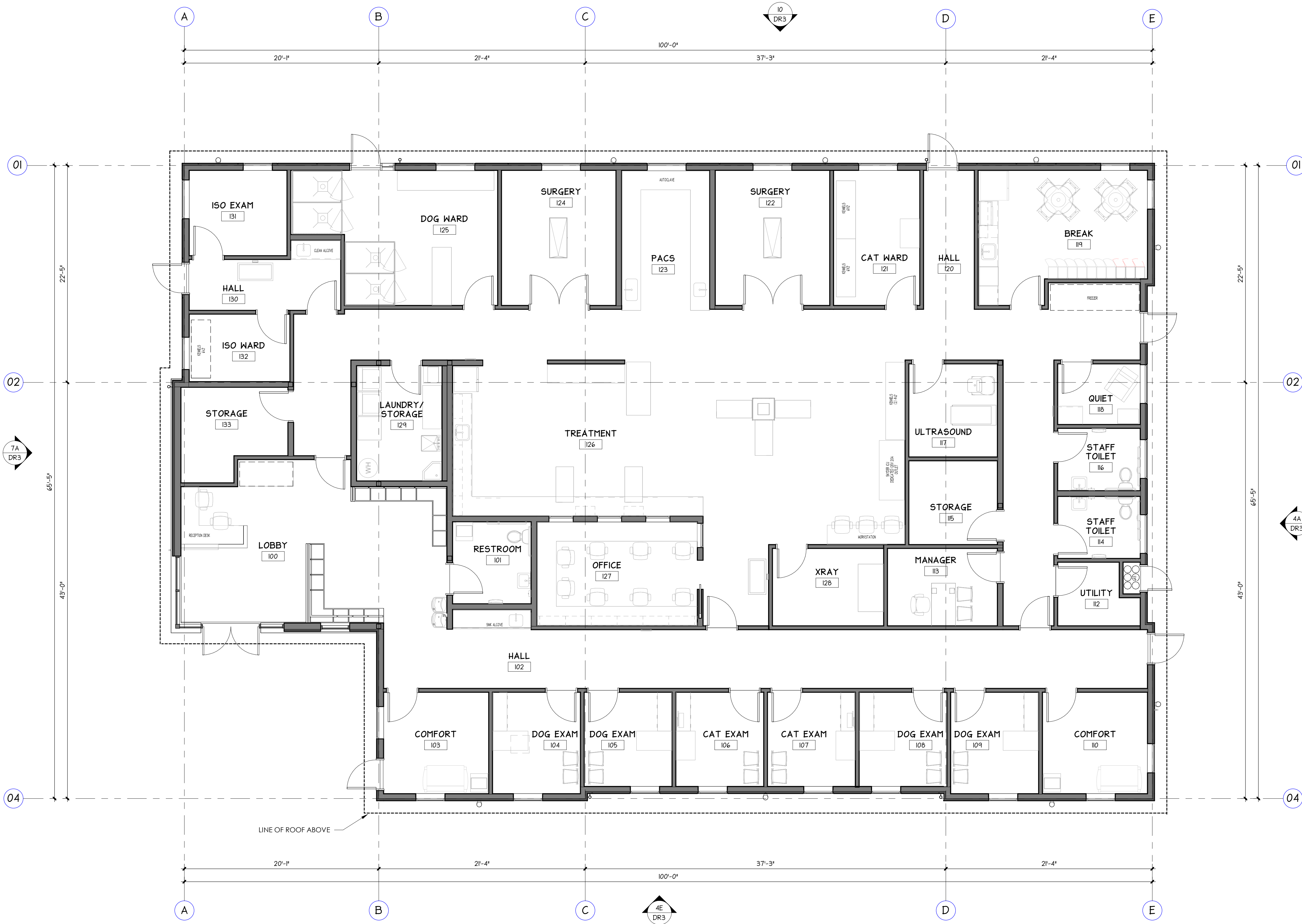
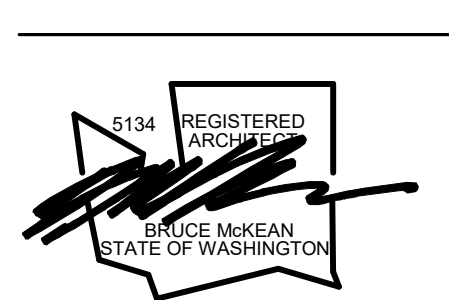
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10A SCHEMATIC FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN

CAPITAL PET CLINIC URGENT CARE

OLYMPIA, WASHINGTON
REVISION DATE

DATE 04.01.26 JOB NO. 2240019530
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DR4

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LIGHT FIXTURE 7

GENERATION LIGHTING

SL1201TXL Large Stone Strong Wall Lantern

Dimensions: 11" H x 11" W x 11" D
Material: Cast Iron
Finish: Textured Black

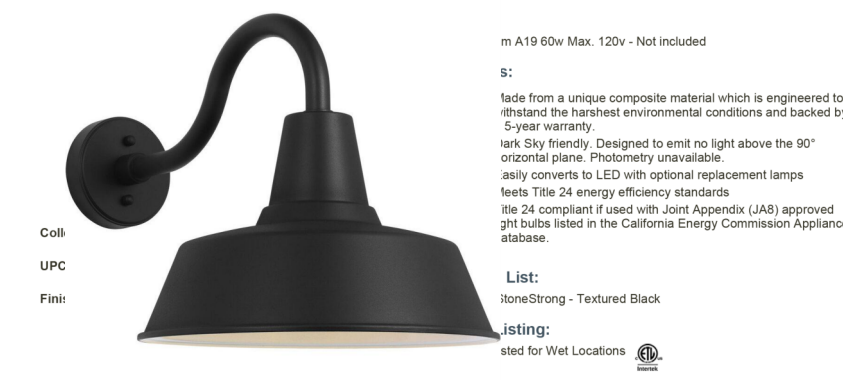


Table with columns: Type, Height, Length, Width, Depth, Diameter, Detail Box Top, Detail Box Bottom

Shipping Information table with columns: Package Type, Product ID, Quantity, UPC, Length, Width, Height, Gross Weight, Net Weight, Pcs Class, UPS Ship Class

Back, Shipping Information, Package Type, Product ID, Quantity, UPC, Length, Width, Height, Gross Weight, Net Weight, Pcs Class, UPS Ship Class

LIGHT FIXTURE 8

FLUID™

Project Name, Fixture Type, Fixture Code, Quantity



FLUID™

Project Name, Fixture Type, Fixture Code, Quantity

Designed by its well-known design, FLUID adds sophistication to the cylinder-style design. Its signature tapered form merges effortlessly with the architecture...

LIGHT FIXTURE 9

ROY

Project Name, Fixture Type, Fixture Code, Quantity

Angling from the wall adds depth and functionality to the straightforward, rectangular silhouette of this outdoor wall sconce.

LIGHT FIXTURE 10

ACON LIGHTING

Project Name, Fixture Type, Fixture Code, Quantity

Specification sheet for ACON LIGHTING fixtures, including dimensions, materials, and ordering information.

LIGHT FIXTURE 11

ACON LIGHTING

Project Name, Fixture Type, Fixture Code, Quantity

Fixture specifications for ACON LIGHTING, including intended use, features, and ordering information.

LIGHT FIXTURE 12

CONTRACTOR SELECT™

Project Name, Fixture Type, Fixture Code, Quantity

Contractor Select™ ESXi LED Area Luminare specifications and features.

CONTRACTOR SELECT™

Project Name, Fixture Type, Fixture Code, Quantity

Contractor Select™ ESXi LED Area Luminare specifications and features.

EXTERIOR DOORS

Architectural Guide for Doors and Frames, featuring images of various door styles and finishes.

Installation Solutions for exterior doors, including factory prefinished doors and frames.

DOOR TECH-DATA 707 DOOR POLYSTYRENE OR GMAX CORE CONSTRUCTION, including technical drawings and specifications.

STOREFRONT

TRIFAB™ V2501 (THERMAL FRAMING SYSTEMS & TRIFAB™)

Project Name, Fixture Type, Fixture Code, Quantity



Design + Performance Versatility with Unmatched Fabrication Flexibility

KAWNEER ANODIZED FINISHES, including technical drawings, performance data, and product information.

KAWNEER ANODIZED FINISHES, including technical drawings, performance data, and product information.

VINYL WINDOWS, including technical drawings, performance data, and product information.

CUT SHEETS, including technical drawings, performance data, and product information.

PROJECT: 224001930 - CAPITAL PET CLINIC

FILE PATH: Autocad/Draw/224001930-A-R24-Capital Pet Urgent Care.rvt

Project title block for Helix design group, including contact information, drawing title (DR5), and revision table.

BICYCLE RACK

1 Hoop Rack Submittal Sheet

CAPACITY 2 Bikes

MATERIALS 1 1/2" schedule 40 pipe (1/2" O.D.)

FINISHES

- Galvanized**
An after fabrication hot dipped galvanized finish is our standard finish.
- Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Chemically cleaned and treated for corrosion reduction
2. Spray primer automatically applied
3. Final finish TBC polyester powder coat
- Medium**
Swarzens Steel 316 grade stainless steel material in a satin finish, high polished finish, or powder coat over galvanized material.
 - Satin Finish (S)
 - Brushed (B)
 - High Polished (H)
 - Powder Coat over Unpolished Stainless

MOUNT OPTIONS

- Surface**
Fastener has two 1/2" x 4" x .25" feet with two anchors per foot. Specify fastener to this option. Tangent restraint feature available upon request.
- In-Ground**
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.
- Wall**
Wall Mounted Downward Rack: see bulletin to hang parallel the wall can be left horizontally or angled to the ground. Racks are heavy duty 2" x 1/4" x 3/16" thick galvanized mounting plate. Specify all mount for this option.

OPTIONAL LEVER BAR

- Add Lever Bar**
Lever bar requires each needs IBC requirements for cast-connector.

FOOTING DIAGRAMS

FLANGES MOUNT

SURFACE MOUNT

IN-GROUND MOUNT

WALL MOUNT

EXTERIOR BENCHES

Tournesol

Camino Modular Benches

Camino is a modular bench collection designed to create vibrant outdoor gathering spaces. Connecting benches enables architectural scalability. Optional integrated lighting illuminates outdoor evening activities. Made in Port Orchard, WA, Camino is constructed from powder coated steel and domestically sourced thermally modified hardwood.

We offer a variety of tools to design with Camino. The Camino Design Guide includes a set of configurations that are available to download and use in projects. Learn more at tournesol.com/camino.

Tournesol.com | 800.542.2282

EXTERIOR PLANTER

Tournesol

Bolinas Collection

Bold, sculptural, monumental concrete planter forms inspired by the rugged coastline of Northern California with a nod to Brutalism. Made in Glass Fiber Reinforced Concrete (GFRC), Bolinas planters are durable in all climates and lighter than standard concrete.

Substantial in size and scale, these freestanding round planters are a stylish solution, suitable for rooftop, courtyards, high-end residential, hospitality, etc.

Tournesol.com | 800.542.2282

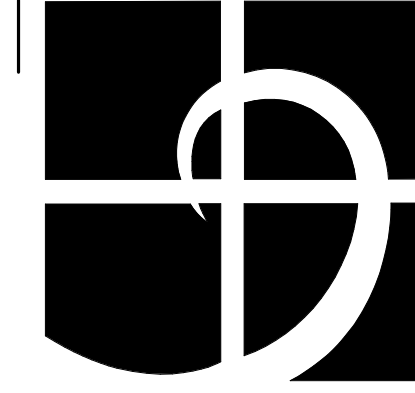
EXTERIOR PLANTER

Tournesol

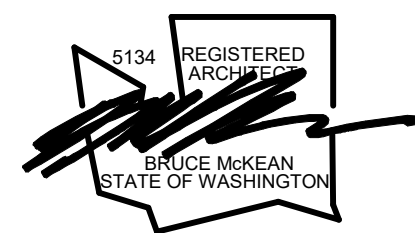
Bolinas Collection

- Glass Fiber Reinforced Concrete (GFRC)
- Suitable for indoor or outdoor use
- Freestanding or anchored
- 19 sizes

Tournesol.com | 800.542.2282



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7 CUT SHEETS CONT'D

8 CAPITAL PET CLINIC URGENT CARE

OLYMPIA, WASHINGTON
REVISION DATE

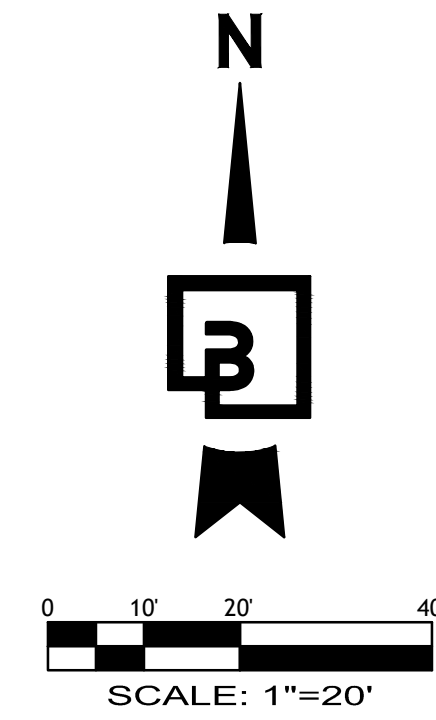
9 DATE 04.01.26 JOB NO. 2240019530
LAND USE SUBMITTAL

10 DR6

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GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, LLC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, LLC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
6. INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). THE CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, LLC. AT COMPLETION OF PROJECT.
12. THE CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, LLC.
13. THE CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, LLC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, LLC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, LLC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

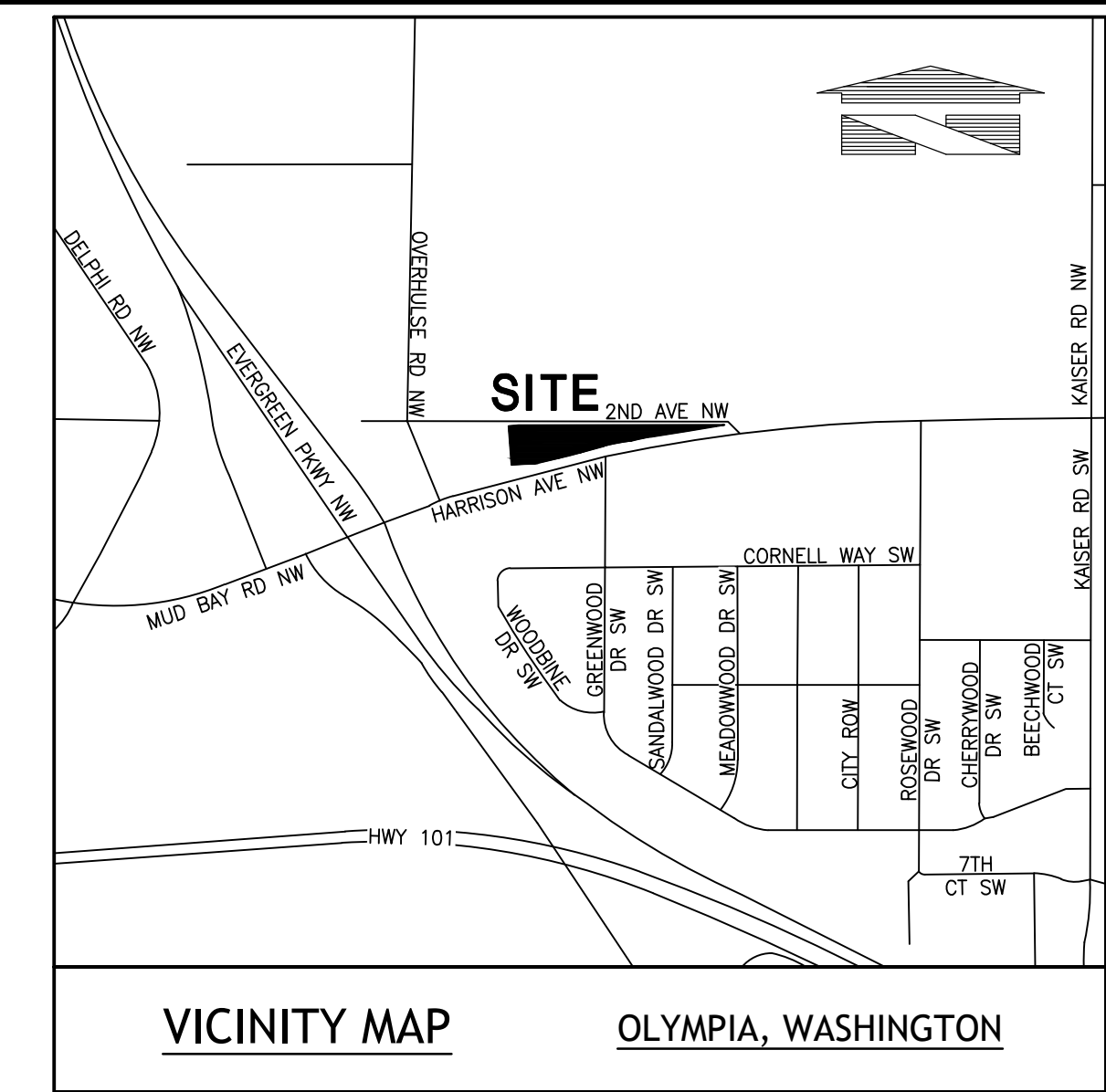
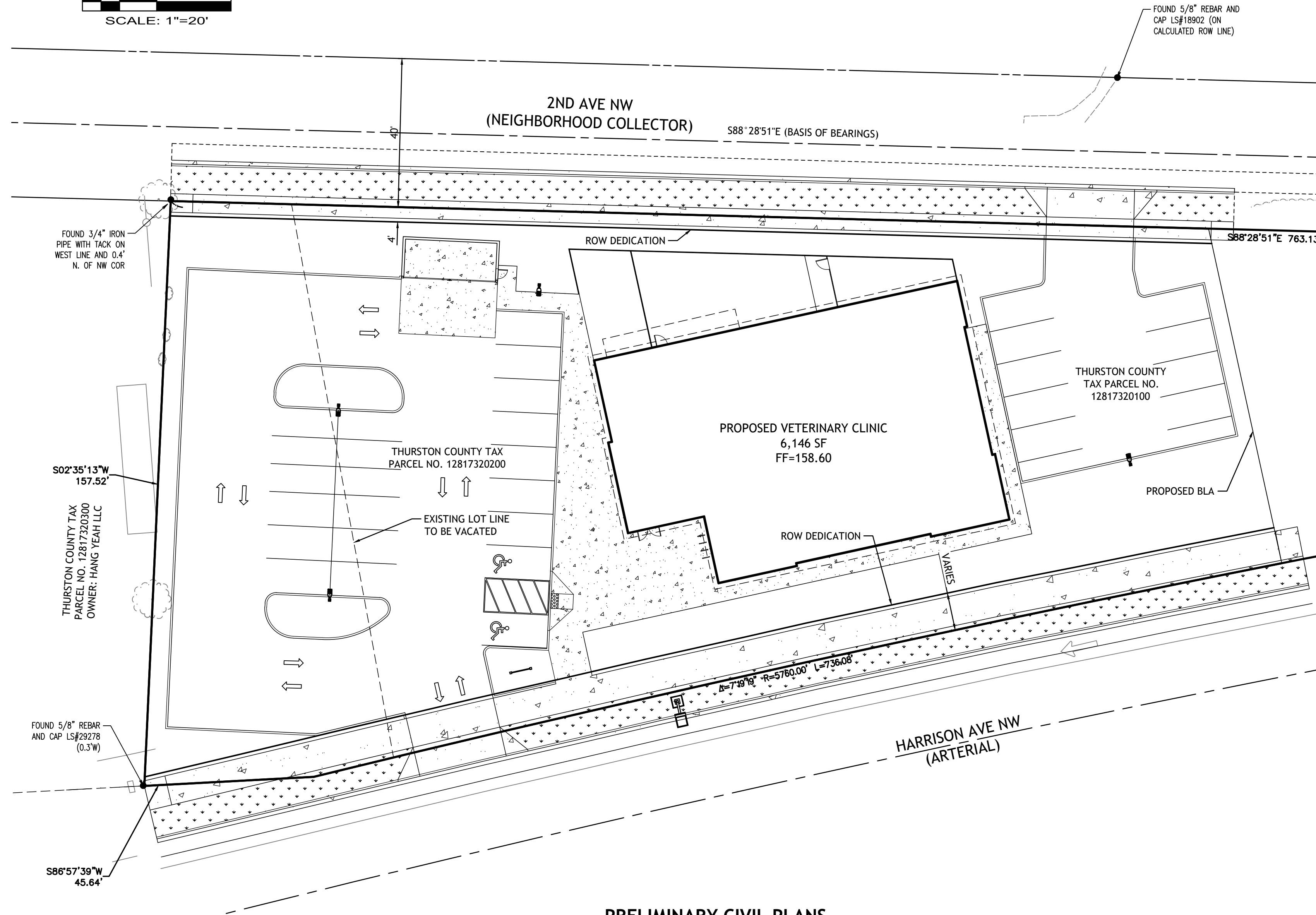


PRELIMINARY COVER SHEET

FOR

CAPITAL PET CLINIC

PTN OF THE NW1/4, OF THE SW1/4 OF SEC 17, TWP 18 N, RGE 2 W, WM
CITY OF OLYMPIA, THURSTON COUNTY, WASHINGTON



LEGAL DESCRIPTION

BASED ON EXHIBIT A OF AN ALTA COMMITMENT FOR TITLE INSURANCE FROM THURSTON COUNTY TITLE INSURANCE COMPANY, ORDER NO. TH44774. THE DATE AND TIME OF THE COMMITMENT IS NOVEMBER 13, 2024 AT 8:00 A.M.

PARCEL A:

THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 18 NORTH, RANGE 2 WEST, W.M., LYING NORTHERLY OF STATE HIGHWAY NO. 9, AS IT EXISTED IN 1947 AND EASTERLY OF A TRACT CONVEYED TO THURSTON COUNTY FIRE PROTECTION DISTRICT NO. 9, BY DEED DATED AUGUST 30, 1971 AND RECORDED UNDER AUDITOR'S FILE NO. 850096; EXCEPT COUNTY ROAD KNOWN AS RANDALL ROAD ALONG THE NORTH BOUNDARY. ALSO EXCEPT THAT PORTION GRANTED TO THE CITY OF OLYMPIA BY DEED RECORDED MAY 20, 2024 UNDER AUDITOR'S FILE NO. 5015267.

PARCEL B:

THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 18 NORTH, RANGE 2 WEST, W.M., DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF COUNTY ROAD KNOWN AS RANDALL ROAD WITH THE EAST LINE OF THE WEST 404 FEET OF SAID SUBDIVISION; RUNNING THENCE SOUTH ALONG SAID EAST LINE OF WEST 404 FEET TRACT TO THE NORTHERLY LINE OF COUNTY ROAD KNOWN AS OLYMPIA HIGHWAY; THENCE NORTHEASTERLY ALONG SAID NORTHERLY LINE OF HIGHWAY 69.5 FEET; THENCE NORTHWESTERLY TO A POINT ON SAID SOUTH LINE OF RANDALL ROAD 32.5 FEET EAST OF THE POINT OF BEGINNING; THENCE WESTERLY ALONG SAID SOUTH LINE OF RANDALL ROAD 32.5 FEET TO THE POINT OF BEGINNING; EXCEPT THAT PORTION CONVEYED TO THE STATE OF WASHINGTON FOR HIGHWAY PURPOSES BY DEED RECORDED FEBRUARY 17, 1972 UNDER AUDITOR'S FILE NO. 859906.

IN THURSTON COUNTY, WASHINGTON.

HORIZONTAL DATUM

HORIZONTAL DATUM FOR THIS SURVEY IS NAD 1983(91), WASHINGTON STATE PLANE SOUTH ZONE COORDINATE SYSTEM, U.S. SURVEY FEET. THE HORIZONTAL DATUM IS BASED ON PUBLISHED INFORMATION FROM THE THURSTON COUNTY GEODATA CENTER, POINT DESIGNATIONS 1213 AND 937.

1213
NORTHING: 634,580.498'
EASTING: 1,024,534.086'

937
NORTHING: 637,157.467'
EASTING: 1,027,251.986'

VERTICAL DATUM

VERTICAL DATUM IS NAVD88 BASED ON PUBLISHED INFORMATION FROM THE THURSTON COUNTY GEODATA CENTER, POINT DESIGNATION 1213.

1213
ELEVATION: 172.926'

STATISTICS

EQUIPMENT: HEMISPHERE S321 GPS AND LEICA TS15 ROBOTIC TOTAL STATION.
METHODOLOGY: FIELD TRAVERSE AND GPS
MEETS OR EXCEEDS SURVEY STANDARD AS PER:
WAC 332-130-050
WAC 332-130-090
WAC 332-130-100
ALL SURVEY WORK OCCURRED IN DECEMBER OF 2024.

REFERENCES

- BOUNDARY LINE ADJUSTMENT, RECORDED UNDER AUDITOR'S FILE NO. 4066495
- PLAT OF WOODBURY CROSSING, RECORDED UNDER AUDITOR'S FILE NO. 4112869
- PLAT OF WOODBURY CROSSING PHASE 2, RECORDED UNDER AUDITOR'S FILE NO. 4391825
- SURVEY, RECORDED UNDER AUDITOR'S FILE NO. 4250643
- SURVEY, RECORDED UNDER AUDITOR'S FILE NO. 4624403

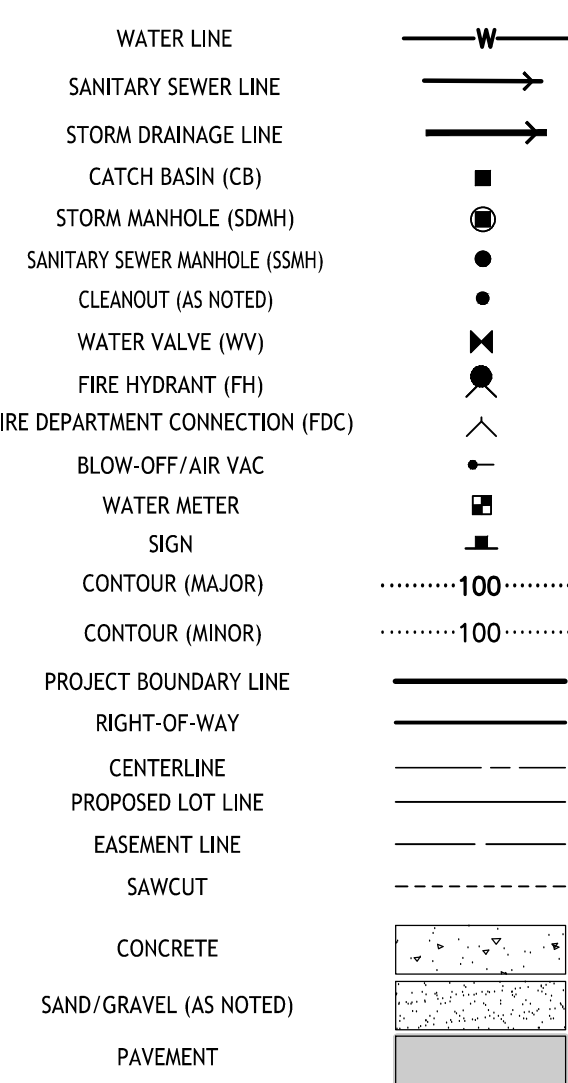
BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS S88°28'51"E ALONG THE NORTH LINE OF THE SW QUARTER OF SECTION 17, TOWNSHIP 18N, RANGE 2W, W.M.

PRELIMINARY CIVIL PLANS

- C1 OF 5 PRELIMINARY COVER SHEET
- C2 OF 5 EXISTING CONDITIONS & PRELIMINARY DEMO PLAN
- C3 OF 5 PRELIMINARY TESC PLAN
- C4 OF 5 PRELIMINARY GRADING & STORM PLAN
- C5 OF 5 PRELIMINARY WATER & SEWER PLAN

PROPOSED LEGEND



DISTURBED AREAS

ASPHALT	0.31 AC
CONCRETE	0.19 AC
BUILDING	0.14 AC
GRAVEL	0.09 AC
LANDSCAPE	0.38 AC
TOTAL DISTURBED AREA	1.11 AC (48,250 SF)

EARTHWORK QUANTITIES

CUT	85 CY
FILL	1,020 CY
NET FILL	935 CY

EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL VERIFY EXACT QUANTITIES PRIOR TO CONSTRUCTION.

MONUMENT DEMOLITION NOTE:

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES AND CIVIL IMPROVEMENTS DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY, PURSUANT TO WAC 332-120. APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR. APPLICATIONS FOR PERMITS TO REMOVE MONUMENTS MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, OR BY CONTACTING THEIR OFFICE BY TELEPHONE AT (206) 902-1190.

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES
PUBLIC LAND SURVEY OFFICE
1111 WASHINGTON STREET S.E.
P.O. BOX 47060
OLYMPIA, WASHINGTON 98504-7060

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

OWNER

BTD REALTY GROUP
405 BLACK HILLS LN SW #G
OLYMPIA, WA 98502

ARCHITECT

HELIX DESIGN GROUP
6021 12TH ST E SUITE 201
TACOMA, WA 98424
(253) 922-9037
CONTACT: NATHALIE DOYLE

SURVEYOR

TRULAND SURVEY, LLC
4506 34TH AVE CT
GIG HARBOR, WA 98335
(425) 516-3919
CONTACT: ROBERT W. PUSEY JR.

ENGINEER

BARGHAUSEN CONSULTING ENGINEERS, LLC
18215 72ND AVE SOUTH
KENT, WA 98032
(425) 251-6222
CONTACT: CARA VSINTAINER, PE

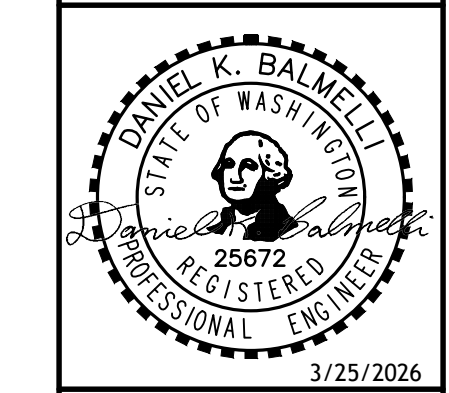
UTILITY CONFLICT NOTE:

CAUTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

Revision
No. Date By Ctd. Appr.

Title:
PRELIMINARY COVER SHEET
FOR
CAPITAL PET CLINIC

For:
BFD REALTY GROUP
405 BLACK HILLS LN SW #G
OLYMPIA, WA 98502



Scale:	Horizontal	Vertical
Designed	LD	LD
Drawn	LD	LD
Checked	LD	LD
Approved	LD	LD
Date	3/25/26	3/25/26

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number
23887

Sheet
C1 of **5**



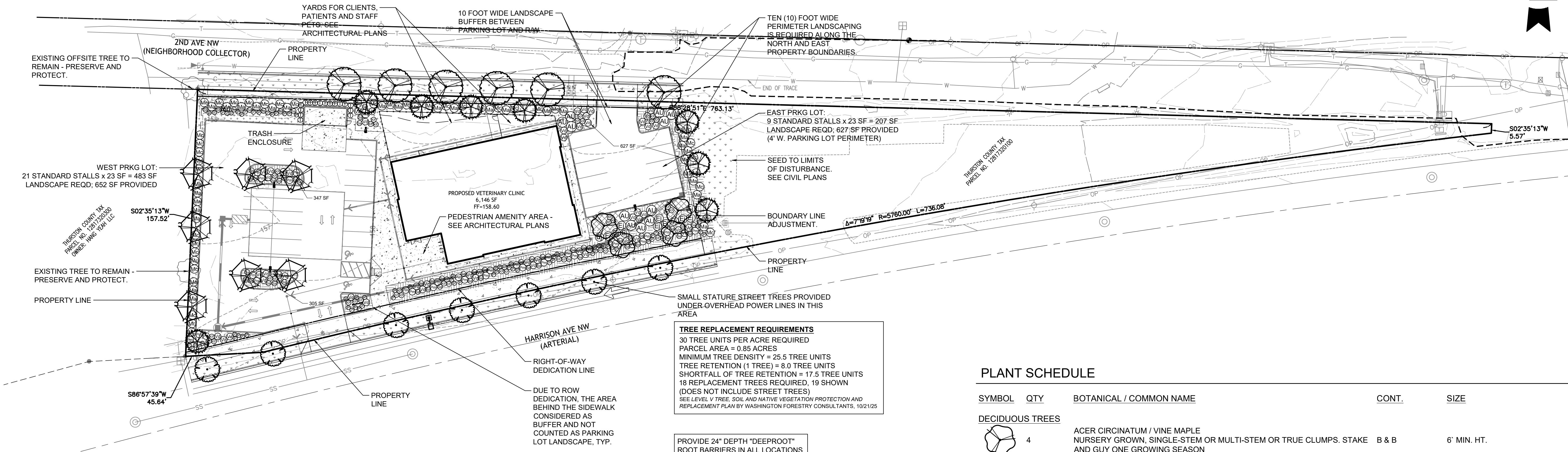
Know what's below.
Call before you dig.
Dial 811
Or 1-800-424-5555

PRELIMINARY LANDSCAPE PLAN

FOR

CAPITAL PET CLINIC

PTN OF THE NW1/4, OF THE SW1/4 OF SEC. 17 TWP. 18 N., RGE 2 WEST, W. M.
CITY OF OLYMPIA, THURSTON COUNTY, WASHINGTON



TREE REPLACEMENT REQUIREMENTS
30 TREE UNITS PER ACRE REQUIRED
PARCEL AREA = 0.85 ACRES
MINIMUM TREE DENSITY = 25.5 TREE UNITS
TREE RETENTION (1 TREE) = 8.0 TREE UNITS
SHORTFALL OF TREE RETENTION = 17.5 TREE UNITS
18 REPLACEMENT TREES REQUIRED, 19 SHOWN
(DOES NOT INCLUDE STREET TREES)
SEE LEVEL V TREE, SOIL AND NATIVE VEGETATION PROTECTION AND REPLACEMENT PLAN BY WASHINGTON FORESTRY CONSULTANTS, 10/21/25

PROVIDE 24" DEPTH "DEEPROOT"
ROOT BARRIERS IN ALL LOCATIONS
WHERE THE DISTANCE BETWEEN A
PROPOSED TREE TRUNK AND A
HARDSCAPE AREA IS 6 FEET OR
LESS.

LANDSCAPE LEGEND

- EXISTING TREE TO BE RETAINED
PROTECT DURING CONSTRUCTION
- STONE MULCH 64 SF
3 TO 4" DEPTH OF 3/4" TO 2"
WASHED DRAIN ROCK OR OTHER
DECORATIVE ROCK MULCH WITH A
MIXTURE OF GRAY COLORS.
SUBMIT PHOTO AND SOURCE FOR
APPROVAL. INSTALL DEWITT 50Z
WEED BARRIER FABRIC IN ALL
PLANT BEDS UNDER GRAVEL.
OVERLAP ENDS AND SIDES
MINIMUM 8". METAL STAPLES 48"
ON-CENTER MAXIMUM.

PLANT SCHEDULE NOTES

1. ALL TREES SHALL BE FULL, WELL BRANCHED AND SYMMETRICAL WITH STRONG, STRAIGHT, UN-CUT CENTRAL LEADER.
2. STREET TREES SHALL BE MATCHED SPECIMENS, AND SHALL BE INSTALLED PER CITY OF OLYMPIA STANDARDS.
3. PRESERVE AND PROTECT ALL EXISTING TREES TO REMAIN PER CITY OF OLYMPIA TREE PROTECTION STANDARDS.
4. STAKE AND GUY ALL TREES FOR ONE GROWING SEASON.
5. REMOVE ALL WEEDS FROM PLANT ROOT BALLS AND CONTAINERS PRIOR TO PLANTING.
6. ALL GROUNDCOVERS SHALL BE WELL ROOTED WITH FULL TOP GROWTH, AND BE PLANTED WITH TRIANGULAR SPACING. VINE TYPE GROUNDCOVERS SHALL HAVE MINIMUM 3 RUNNERS.
7. ALL SHRUBS TO BE WELL ROOTED, SYMMETRICAL, FULL AND BUSHY.
8. ALL FERNS AND GRASSES SHALL BE WELL ROOTED, SYMMETRICAL, WITH FULL TOP GROWTH. ALL FERNS SHALL HAVE A MINIMUM OF 3 FRONDS.
9. PLANTS IN MORE THAN ONE ROW SHALL BE PLANTED WITH TRIANGULAR SPACING AS SHOWN.
10. ALL PLANTS SHALL BE NURSERY GROWN, NOT COLLECTED.
11. ALL SOILS SHALL BE AMENDED PER CITY OF OLYMPIA REQUIREMENTS.
12. APPLY 2-3" ORGANIC MULCH TO THE SURFACES OF ALL SHRUB / GROUNDCOVER AREAS.
13. ALL PLANTS SHALL BE IRRIGATED WITH A WATER-WISE AUTOMATIC IRRIGATION SYSTEM. PLANTING WITHIN THE STREET R.O.W. AND THE LAWN EAST OF THE SITE SHALL EACH BE ZONED SEPARATELY.
14. MAINTAIN ALL NEW PLANTS AND LAWN IN A HEALTHY CONDITION THROUGH THE ONE YEAR GUARANTEE PERIOD.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE	SPACING
DECIDUOUS TREES						
	4	ACER CIRCINATUM / VINE MAPLE NURSERY GROWN, SINGLE-STEM OR MULTI-STEM OR TRUE CLUMPS. STAKE AND GUY ONE GROWING SEASON	B & B	6' MIN. HT.		
	6	ACER GINNALA 'FLAME' / FLAME MAPLE NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON	B & B	2" CAL		
	7	GLEDTISIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER' / HONEY LOCUST 'SKYCOLE'/SKYLINE' ALSO ACCEPTABLE. NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON	B & B	2" CAL		
EVERGREEN TREES						
	7	MAGNOLIA GRANDIFLORA 'KAY PARRIS' / DWARF SOUTHERN MAGNOLIA NURSERY GROWN FOR STREET TREE USE, BRANCHING AT 5'. STAKE AND GUY ONE GROWING SEASON	B & B	2" CAL		
	8	THUJA PLICATA 'EXCELSA' / EXCELSA CEDAR NURSERY GROWN, SINGLE UN-CUT LEADER'. STAKE AND GUY ONE GROWING SEASON	B & B	6' MIN. HT.		
SYMBOL QTY BOTANICAL / COMMON NAME CONT. WATER USE						
	56	SYMPHORICARPOS ALBUS / WHITE SNOWBERRY	1 GAL.	DROUGHT TOLERANT		
EVERGREEN SHRUBS						
	11	ARBUTUS UNEDO 'COMPACTA' / MADROÑO	1 GAL.	DROUGHT TOLERANT		
	12	EUONYMUS JAPONICUS 'AUREO-MARGINATUS' / GOLDEN EUONYMUS	1 GAL.	DROUGHT TOLERANT		
	33	MAHONIA AQUIFOLIUM / OREGON GRAPE	1 GAL.	DROUGHT TOLERANT		
	41	MYRICA CALIFORNICA / PACIFIC WAXMYRTLE	1 GAL.	DROUGHT TOLERANT		
	29	PINUS MUGO 'PUMILIO' / DWARF MUGO PINE	1 GAL.	DROUGHT TOLERANT		
	16	THUJA OCCIDENTALIS 'SMARAGD' / ARBORVITAE	4'-5' HT.	MEDIUM		
	53	VIBURNUM DAVIDII / DAVID VIBURNUM	1 GAL.	DROUGHT TOLERANT		
FERNS / GRASSES						
	39	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.	DROUGHT TOLERANT		
	70	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL.	MEDIUM		
SYMBOL QTY BOTANICAL / COMMON NAME CONT. WATER USE SPACING						
	560	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS' / KINNIKINNICK	1 GAL.	DROUGHT TOLERANT		24" o.c.
	1,149	COTONEASTER DAMMERI / BEARBERRY COTONEASTER	1 GAL.	DROUGHT TOLERANT		24" o.c.
	5,990 SF	LAWN, TURFGRASS CONFORM TO SDMMWW BMP C120. USE "LANDSCAPING SEED MIX" OAE. INSTALL AND MAINTAIN THROUGH GUARANTEE PERIOD PER BMP C120.	SOD OR SEED			
	77	LIRIOPE MUSCARI 'ROYAL PURPLE' / LILYTURF	1 GAL.	MEDIUM		24" o.c.

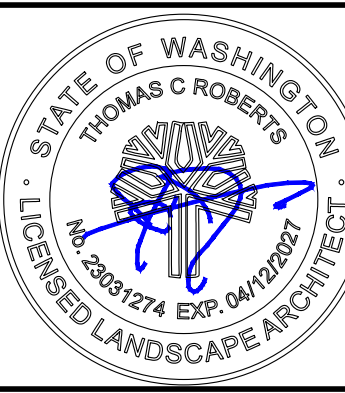
No.	Date	By	Clad.	Appr.	Revision
1	3/31/26	JMW	TCR	TCR	PRELIMINARY LANDSCAPE PLAN
2	2/6/26	JMW	TCR	TCR	PRELIMINARY LANDSCAPE PLAN
3	10/29/25	JMW	TCR	TCR	PRELIMINARY LANDSCAPE PLAN

Title:

PRELIMINARY LANDSCAPE PLAN

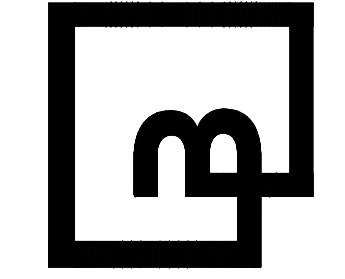
FOR
CAPITAL PET CLINIC

For:
BFD REALTY GROUP
405 BLACK HILLS LN SW #G
OLYMPIA, WA 98502



Scale:	Horizontal	Vertical
	1"=30'	N/A
Designed	LP/TR	
Drawn	LP/TR	
Checked	TCR	
Approved	TCR	
Date	3/31/26	

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
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barghausen.com



Job Number
23887
Sheet
L1 of **3**



Know what's below.
Call before you dig.
Dial 811
Or 1-800-424-5555

LANDSCAPE NOTES AND DETAILS

FOR

CAPITAL PET CLINIC

PTN OF THE NW1/4, OF THE SW1/4 OF SEC. 17 TWP. 18 N., RGE 2 WEST, W. M.
CITY OF OLYMPIA, THURSTON COUNTY, WASHINGTON

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

QUALIFICATIONS:

LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:

SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:

DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

REPAIR OF IRRIGATION SYSTEM:

DURING THE COURSE OF WORK, REPAIR ANY DAMAGE TO THE IRRIGATION SYSTEM TO MATCH CONDITIONS PRIOR TO THE DAMAGE.

GUARANTEE:

GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

30-DAY MAINTENANCE:

CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

SUBMITTALS:

SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:

- DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.
- TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.
- TREE STAKING AND GUYING MATERIALS.
- ONE (1) QUART SIZE OF TOPSOIL AND MULCH.
- PLANTING SCHEDULE INCLUDING DATES AND TIMES.
- MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

MATERIALS:

PLANT MATERIALS:

PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK, MOST RECENT EDITION. PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "GAL" INDICATES GALLON.

- SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- QUALITY: PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION; PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- SUBSTITUTION: NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS SHALL REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.
- LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.
- DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:

AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES, FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO A SOIL TESTING LABORATORY. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.

A) TOPSOIL:

ALL NEW LANDSCAPE AREAS SHALL INCORPORATE SOIL AMENDMENTS AS FOLLOWS: THE UPPERMOST TWELVE (12) INCHES OF SOIL SHALL BE TILLED AND TWO (2) INCHES OF COMPOSTED MATERIAL SHALL BE FULLY INCORPORATED INTO THE TILLED SOIL; OR TO SPECIFICATIONS AS OTHERWISE PROVIDED IN THE STORMWATER MANAGEMENT MANUAL OF WESTERN WASHINGTON, DEPARTMENT OF ECOLOGY, DATED AUGUST 2012, OR AS SUBSEQUENTLY AMENDED. COMPACTION OF LANDSCAPING AREAS FROM VEHICLES AND HEAVY EQUIPMENT SHALL BE AVOIDED AFTER TILLING.

MULCH (TOPDRESSING):

MEDIUM HEM-FIR BARK MULCH

STAKES:

2-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

GUY MATERIAL:

1-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

EXECUTION:

CONTAMINANTS:

VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORILY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:

FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE OF PREPARED LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 2 INCHES BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS AND 1-INCH BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL LAWN AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH OR LAWN. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS. MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

TREES AND SHRUBS:

ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

GROUNDCOVERS:

EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:

MULCH ALL LANDSCAPE AREAS NOT COVERED BY LAWN AND/OR SEED. APPLY SUFFICIENT QUANTITY TO PROVIDE A 3-INCH DEPTH

UTILITY CLEARANCES:

FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

CLEANUP AND PROTECTION:

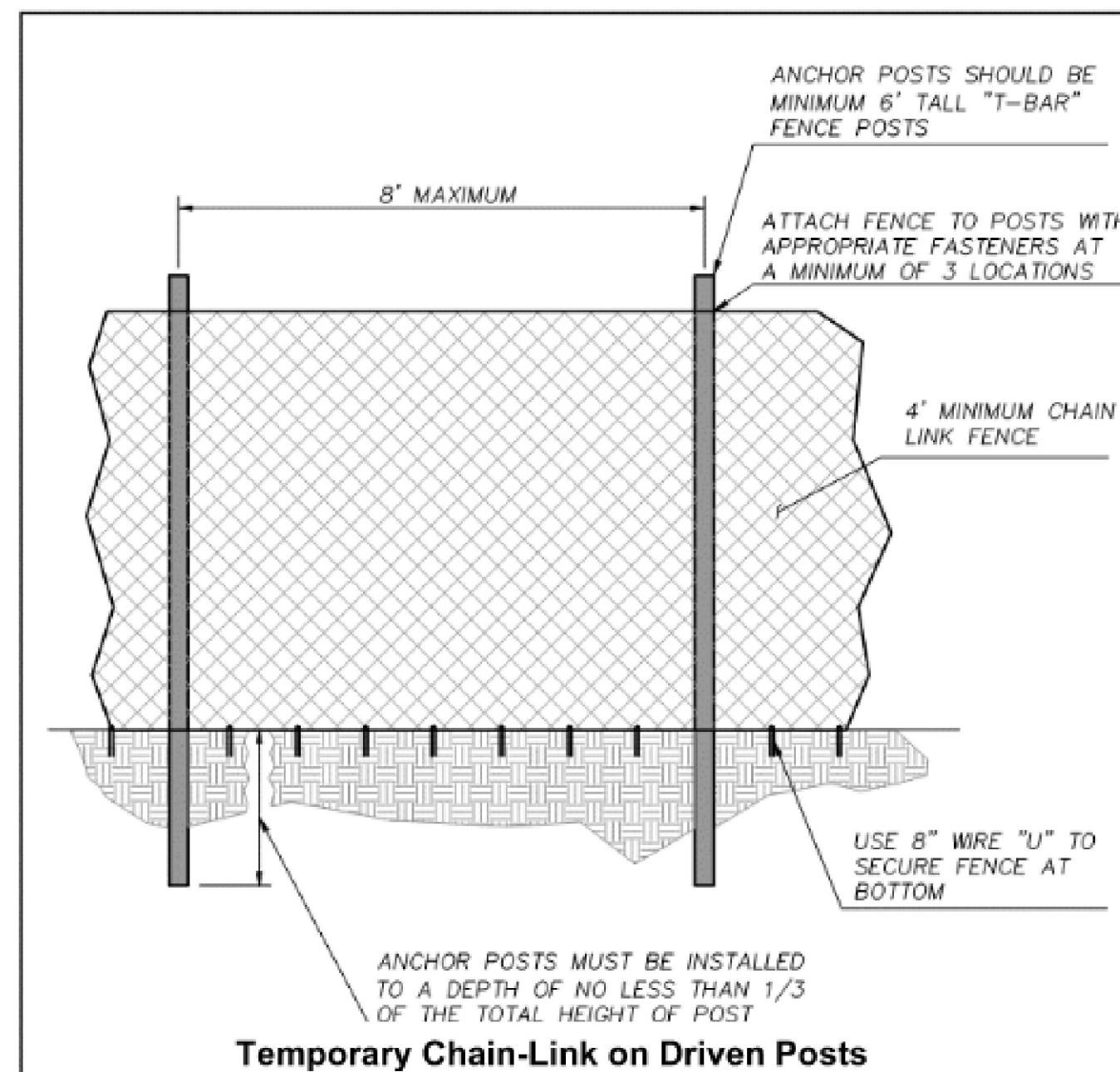
DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

PLANTING MAINTENANCE:

PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTING PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES; AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

IRRIGATION MAINTENANCE:

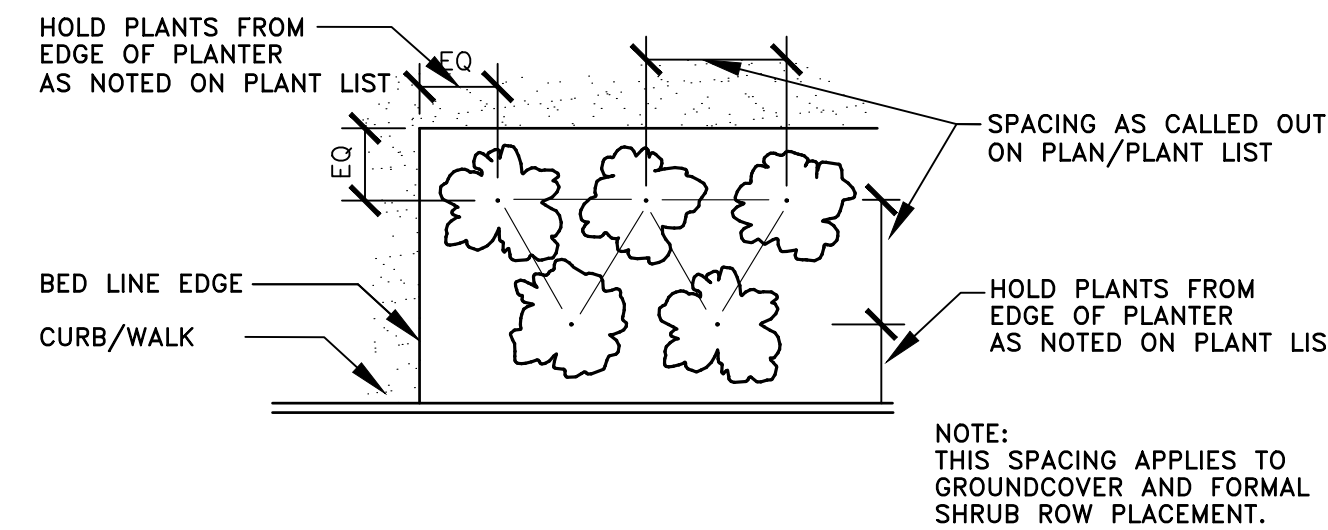
THE IRRIGATION SYSTEM TO BE MAINTAINED INCLUDING ADJUSTMENTS FOR BALANCED WATER DISTRIBUTION AND PRECIPITATION. FAILED OR MALFUNCTIONING IRRIGATION EQUIPMENT SHALL BE REPLACED AND/OR CORRECTED. PLANTING AND IRRIGATION MAINTENANCE TO INCLUDE THOSE OPERATIONS NECESSARY TO THE PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR TO PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.



APPROVED BY	REVISED DATE	CITY OF OLYMPIA	STD. DWG. NO.
FRAN R. EIDE, PE	12/08/2017	TREE PROTECTION FENCE	5-20
CITY ENGINEER			

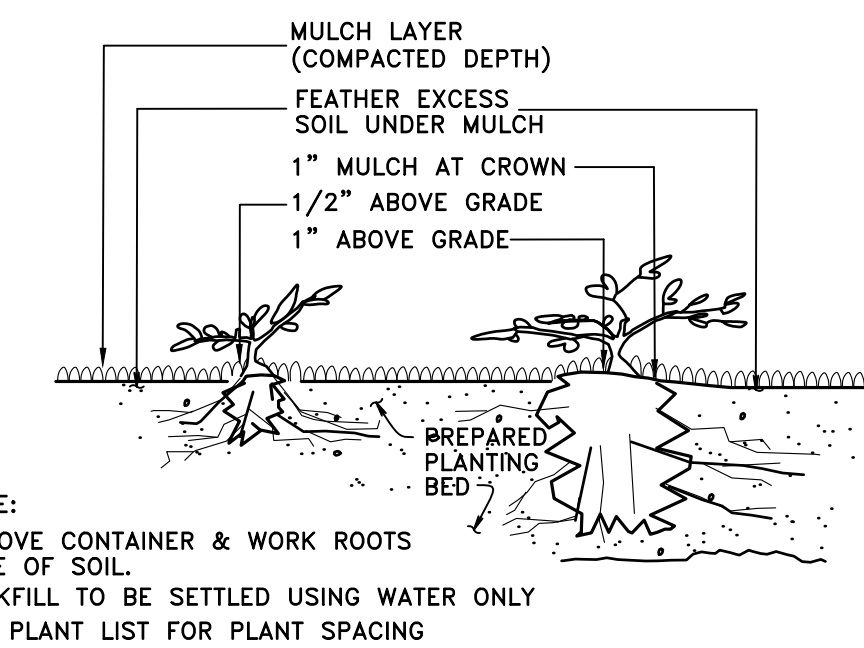
TREE PROTECTION MEASURES

TREES TO BE SAVED MUST BE PROTECTED DURING CONSTRUCTION BY TEMPORARY CHAIN-LINK FENCING ON DRIVEN POSTS, LOCATED AT THE EDGE OF THE ROOT PROTECTION ZONE (RPZ). THE INDIVIDUAL RPZ'S ARE A RADIUS 5 FEET OUTSIDE THE DRUPLINE OF THE TREE, AT THE EDGE OF EXISTING IMPROVEMENTS, OR OTHERWISE DELINEATED BY WFCI THERE SHOULD BE NO EQUIPMENT ACTIVITY (INCLUDING ROTOTILLING) WITHIN THE CRITICAL ROOT ZONE. NO IRRIGATION LINES, TRENCHES, OR OTHER UTILITIES SHOULD BE INSTALLED WITHIN THE RPZ. CUTS OR FILLS SHOULD IMPACT NO MORE THAN 20% OF A TREE'S ROOT SYSTEM. IF TOPSOIL IS ADDED TO THE ROOT ZONE OF A PROTECTED TREE, THE DEPTH SHOULD NOT EXCEED 2 INCHES OF A SANDY LOAM OR LOAMY FINE SAND TOPSOIL AND SHOULD NOT COVER MORE THAN 20% OF THE ROOT SYSTEM. IF ROOTS ARE ENCOUNTERED OUTSIDE THE RPZ DURING CONSTRUCTION, THEY SHOULD BE CUT CLEANLY WITH A SAW AND COVERED IMMEDIATELY WITH MOIST SOIL. NOXIOUS VEGETATION WITHIN THE CRITICAL ROOT ZONE SHOULD BE REMOVED BY HAND. IF A PROPOSED SAVE TREE MUST BE IMPACTED BY GRADING OR FILLS, THEN THE TREE SHOULD BE RE-EVALUATED BY WFCI TO DETERMINE IF THE TREE CAN BE SAVED WITH MITIGATING MEASURES, OR IF THE TREE SHOULD BE REMOVED.



PLANT MATERIAL SPACING DETAIL

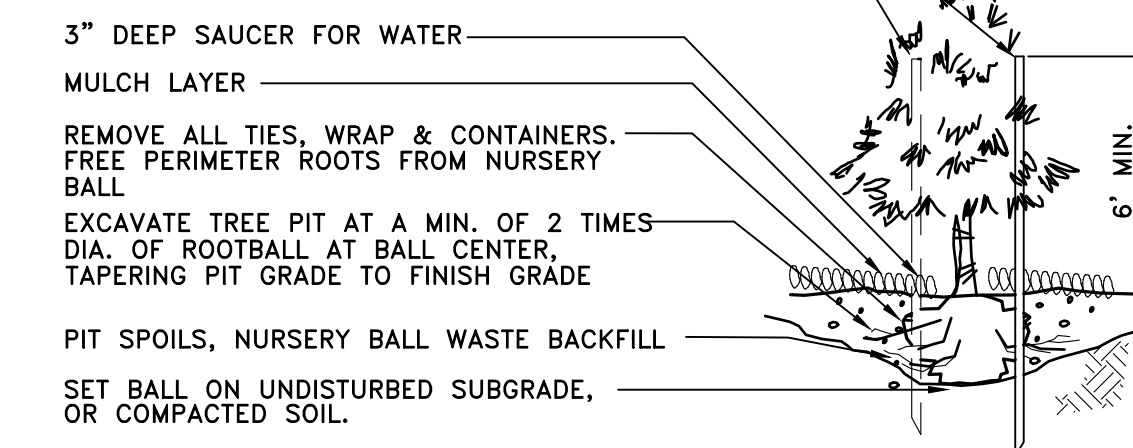
NOT TO SCALE



GROUNDCOVER PLANTING DETAIL

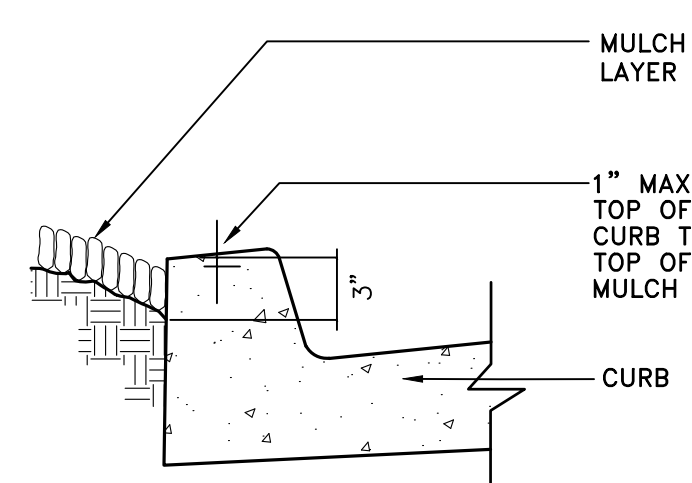
NOT TO SCALE

- LODGEPOLE STAKES: TIE AT APPROX. 1/3 TO 1/2 HEIGHT OF TREE WITH FLEXIBLE RUBBER TIE IN FIGURE EIGHT PATTERN. STAKES AND TREE TO BE PLUMB



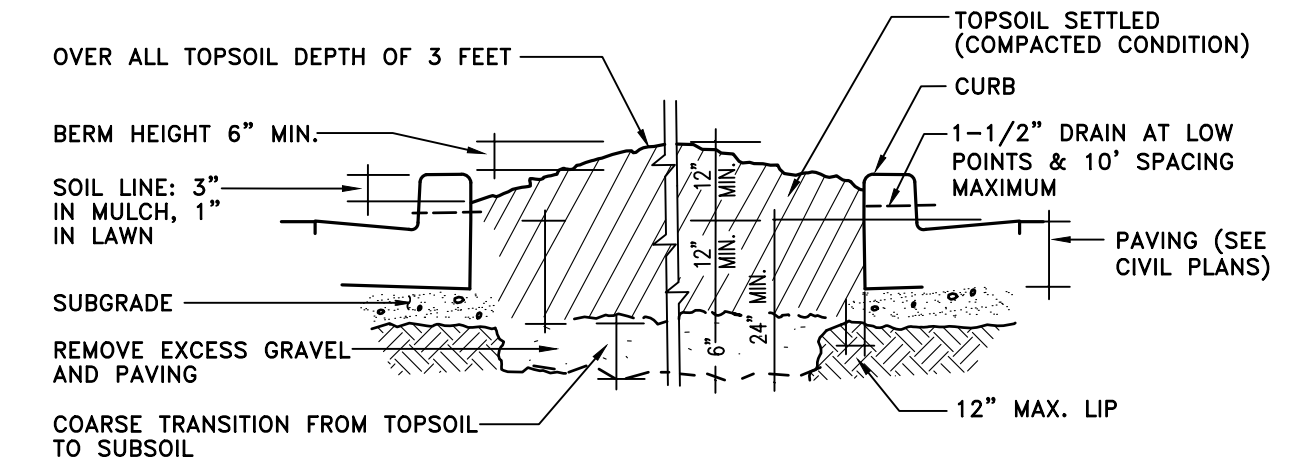
EVERGREEN TREE PLANTING/STAKING DETAIL

NOT TO SCALE



MULCH AT CURB DETAIL

NOT TO SCALE

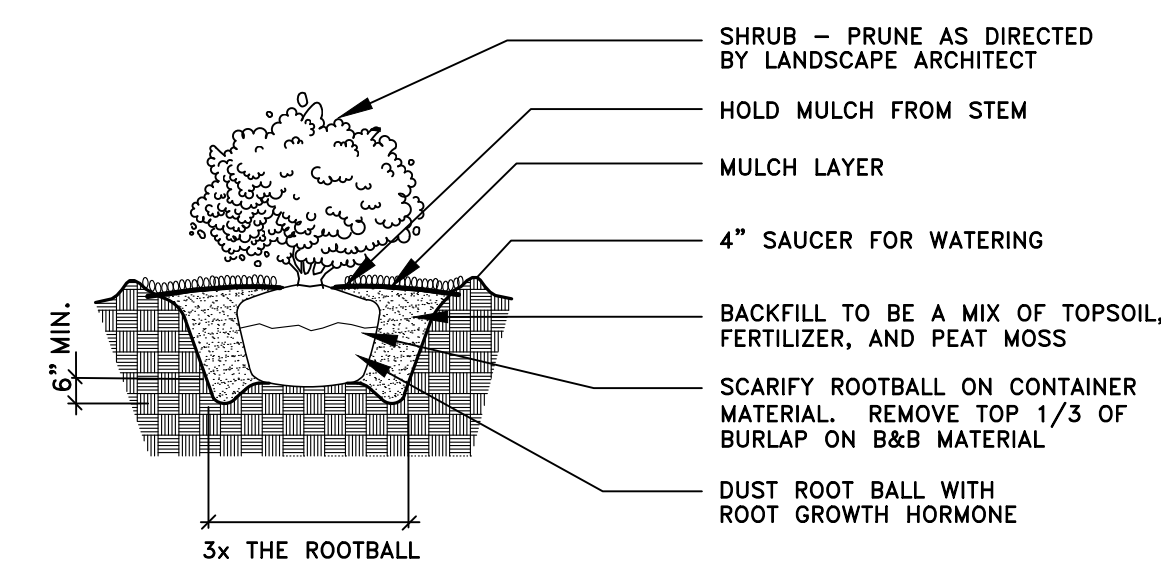


NOTE: OVER EXCAVATE PARKING LOT PLANTERS TO LOOSEN COMPACTED SUBBASE

GRADING - PARKING LOT PLANTERS DETAIL

NOT TO SCALE

DEDUCT ALT #1: IF LANDSCAPE CONTRACTOR CAN DEMONSTRATE THAT PLANTER ISLANDS ARE NOT FULL OF NON-SOIL MATERIALS (CONCRETE WASTE, LUMBER, ROAD BASE, GRAVEL), FULL EXCAVATION AND REPLACE WITH 18"-21" OF TOPSOIL CAN BE ELIMINATED AND IN ITS PLACE, 6" OF COMPOST CAN BE PLACED ON SUB-GRADE AND CULTIVATED INTO TOP 12" OF EXISTING SOIL. TOP OF FINISH GRADE AND DEPTH OF MULCH STILL APPLIES

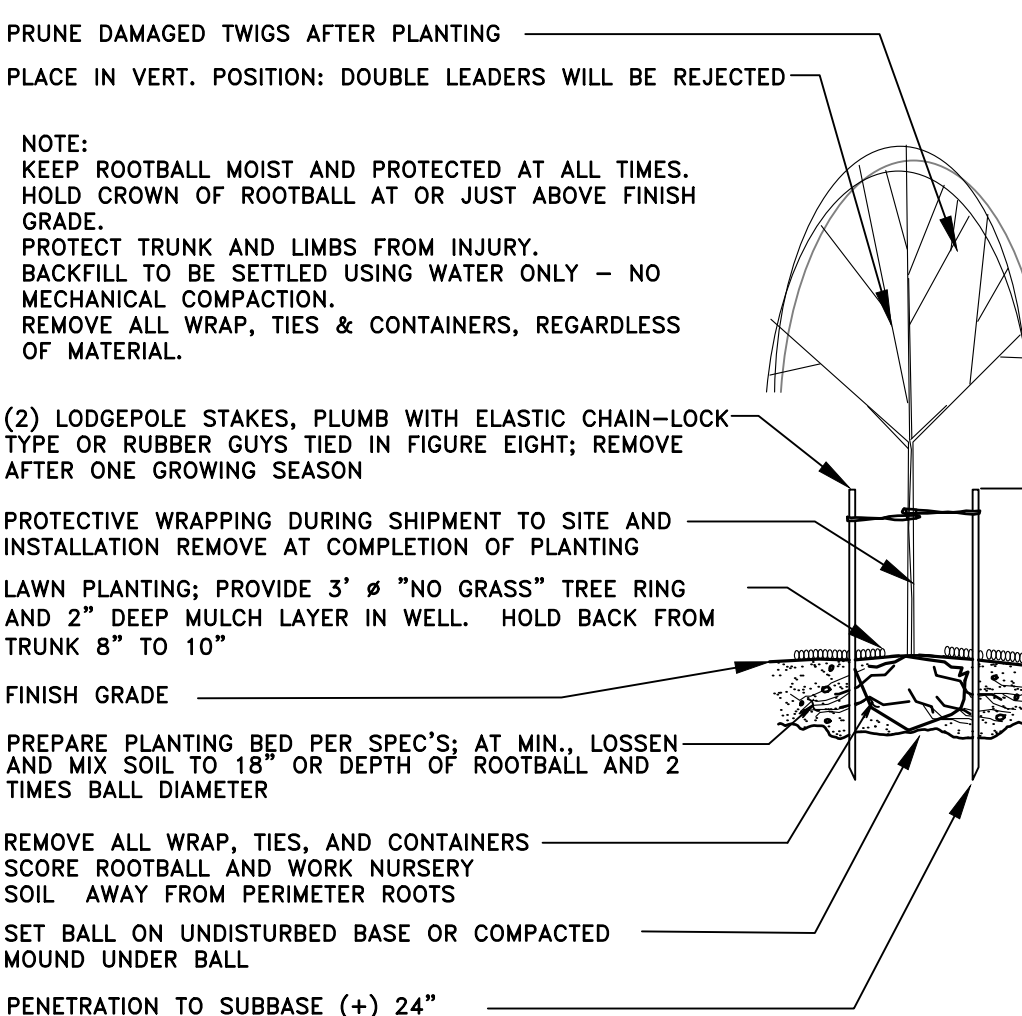


NOTE: APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.

PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT. CUT AND REMOVE BURLAP FROM ROOT BALL

SHRUB PLANTING DETAIL

NOT TO SCALE



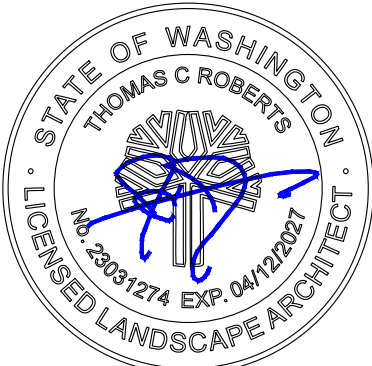
DECIDUOUS TREE PLANTING/STAKING DETAIL

NOT TO SCALE

No.	Date	By	Appr.	Revision
1	3/31/26	JMW	TOR	PER TREE PLAN
2	2/6/26	TCS	JMW	TOR
3	10/29/25	TCS	JMW	TOR

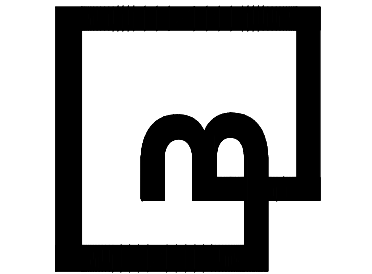
Title: **LANDSCAPE NOTES AND DETAILS**
FOR **CAPITAL PET CLINIC**

For: **BFD REALTY GROUP**
405 BLACK HILLS LN SW #G
OLYMPIA, WA 98502



Scale:	Horizontal	N/A	Vertical	N/A
Designed	LP/TR	Drawn	LP/TR	Checked
Approved	TOR	Date	3/31/26	

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



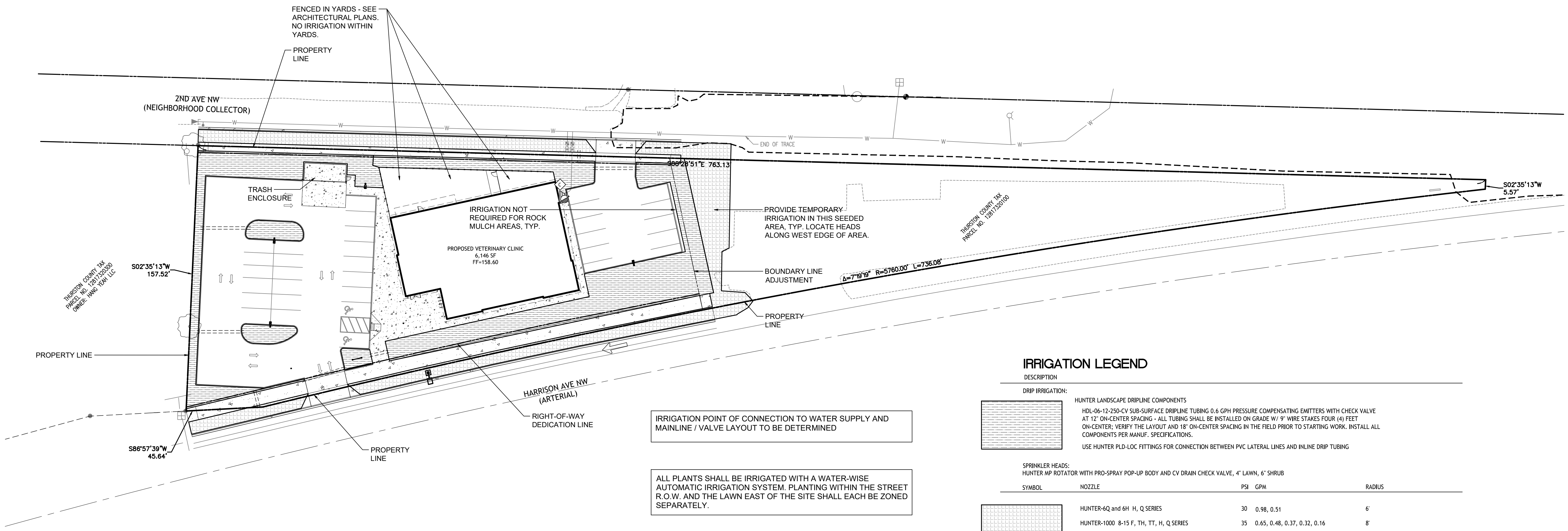
Job Number: **23887**
Sheet: **L2** of **3**



Know what's below.
Call before you dig.
Dial 811
Or 1-800-424-5555

PRELIMINARY IRRIGATION PLAN

FOR
CAPITAL PET CLINIC
PTN OF THE NW1/4, OF THE SW1/4 OF SEC. 17 TWP. 18 N., RGE 2 WEST, W. M.
CITY OF OLYMPIA, THURSTON COUNTY, WASHINGTON



IRRIGATION LEGEND

DESCRIPTION

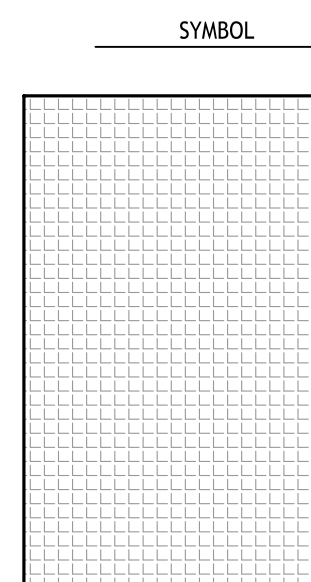
DRIP IRRIGATION:



HUNTER LANDSCAPE DRIPLENE COMPONENTS
HDL-06-12-250-CY SUB-SURFACE DRIPLENE TUBING 0.6 GPH PRESSURE COMPENSATING EMITTERS WITH CHECK VALVE AT 12" ON-CENTER SPACING - ALL TUBING SHALL BE INSTALLED ON GRADE W/ 9" WIRE STAKES FOUR (4) FEET ON-CENTER; VERIFY THE LAYOUT AND 18" ON-CENTER SPACING IN THE FIELD PRIOR TO STARTING WORK. INSTALL ALL COMPONENTS PER MANUF. SPECIFICATIONS.
USE HUNTER PLD-LOC FITTINGS FOR CONNECTION BETWEEN PVC LATERAL LINES AND INLINE DRIP TUBING

SPRINKLER HEADS:

HUNTER MP ROTATOR WITH PRO-SPRAY POP-UP BODY AND CV DRAIN CHECK VALVE, 4" LAWN, 6" SHRUB



SYMBOL	NOZZLE	PSI	GPM	RADIUS
	HUNTER-6Q and 6H, H, Q SERIES	30	0.98, 0.51	6'
	HUNTER-1000 8-15 F, TH, TT, H, Q SERIES	35	0.65, 0.48, 0.37, 0.32, 0.16	8'
	HUNTER-1000 8-15 F, TH, TT, H, Q SERIES	35	0.65, 0.48, 0.37, 0.32, 0.16	10'
	HUNTER-1000 8-15 F, TH, TT, H, Q SERIES	35	0.65, 0.48, 0.37, 0.32, 0.16	12'
	HUNTER-2000 13-21 F, TQ, TT, H, Q SERIES	30	1.29, 0.95, 0.74, 0.63, 0.33	15'
	HUNTER ES515, 5530 SERIES	35	1.41, 0.65	5x30 5x15
	HUNTER-3000 22-30 F, TQ, TT, H, Q SERIES	35	2.88, 2.19, 1.68, 1.44, 0.69 0.43	22'

● SPRAY IRRIGATION: HUNTER ICV 101/151G REMOTE CONTROL VALVE, IN VALVE BOX, ONE VALVE PER BOX
MAXIMUM 2 VALVES PER BOX

⊗ DRIP IRRIGATION: ICZ-101/151-XL REMOTE CONTROL DRIP ZONE KIT WITH FILTER AND PRESSURE REGULATOR
MAXIMUM 2 VALVES PER BOX

☀ HUNTER SOLAR SYNC WIRE RAIN SENSOR COMBO

◇ HUNTER PRO-C CONTROLLER 3 TO 15 STATIONS, (HARDWIRE CONNECTION); PROVIDE GROUND AND BATTERIES PER MANUFACTURER'S SPECIFICATIONS

P.O.C.

⊠ WILKINS 950 XLT-1" DOUBLE CHECK VALVE (STATE APPROVED); TEST AND CERTIFICATION BY LICENSED BACKFLOW TESTER
WILKINS 850 - BALL VALVE, SIZE TO MATCH PIPE
CARSON INDUSTRIES #1730 (TWO AT P.O.C.); GRADE LEVEL VAULT WITH BOLT LOCK LID

⊢ PLASTIC BALL VALVE, MATCH LINE SIZE, IN VALVE BOX

⊙ HUNTER HQ-33DLRC 3/4" QUICK COUPLING VALVE, IN VALVE BOX, PROVIDE TWO KEYS AND SWIVELS

--- MAINLINE - SCH 40 PVC (18" COVER); SIZE PER PLAN, 1-1/2" SIZE MINIMUM

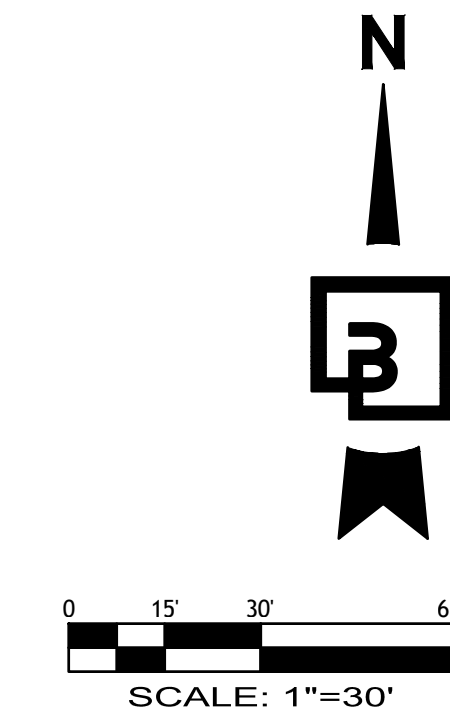
— LATERAL - SCH 40 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM

==== SLEEVE - SCH 40 PVC; 24" MINIMUM COVER AT VEHICLE CROSSINGS AND 18" MINIMUM COVER IN LANDSCAPE AREAS, 6" SIZE WHERE IRRIGATION MAINLINE TRAVELS THROUGH PIPE, 4" SIZE WHERE ONLY LATERALS TRAVEL THROUGH PIPE

IRRIGATION SHOWN DIAGRAMMATICALLY FOR PLAN CLARITY. COMMON TRENCH AND PLACE EQUIPMENT IN LANDSCAPE; MANIFOLD GROUPED VALVES IN ADJACENT SHRUB AREAS WHERE FEASIBLE.

SCH 40 PIPE SIZING CHART

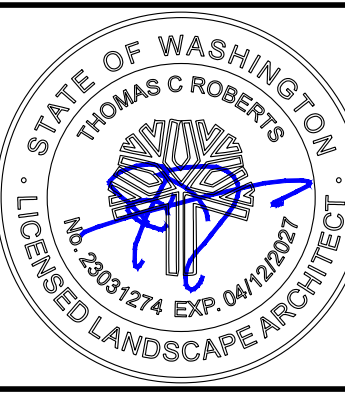
PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"
FLOW GPM	1-8	8.1-13	13.1-23	23.1-32	32.1-53	53.1-74
GPM (MAX.)						



No.	Date	By	Clk.	Appr.
...	3/31/26	TJR	JMW	TJR
...	2/6/26	TJR	JMW	TJR
...	10/29/25	TJR	JMW	TJR

Title:
PRELIMINARY IRRIGATION PLAN
FOR
CAPITAL PET CLINIC

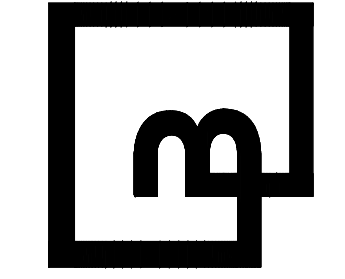
For:
BFD REALTY GROUP
405 BLACK HILLS LN SW #G
OLYMPIA, WA 98502



Scale:
Horizontal 1"=30'
Vertical N/A

Designed	Drawn	Checked	Approved	Date
LP/TR	LP/TR	TJR	TJR	3/31/26

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
23887
Sheet
L3 of **3**

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