



Briggs Village

Design Guidelines

AMENDED MARCH 3, 2014

Briggs Village Illustrative Plan



BRIGGS VILLAGE DESIGN INTENT

Design Character

The Briggs Village Design Guidelines illustrate a range of design possibilities that is based on, neo-traditional craftsman and colonial revival styles. These guidelines are meant to convey a sense of tradition and permanence within the village. These guidelines are purposefully intended to coincide with the City of Olympia's goals for pedestrian friendly streets with the emphasis on strong entry features and pedestrian-scale porches. The elements of these neo-traditional craftsman and colonial revival styles that will be reflected in the different building types throughout the village include:

- A clear distinction and precise proportioning of the three building parts (the base, middle and top).
- Encourage the use of medium pitch gable forms and pediments to create prominent entryways, porches and balconies.
- Emphasize symmetry in the placement of doors and windows that correspond to implied columns and bays of historically smaller spans and scale.
- Vertical emphasis to window and door proportions.

Several variations on the guidelines are anticipated to be expressed in the new architecture. The resultant community character will become unique to Olympia as it relates to new housing communities, but reminiscent of older parts of the City, such as the South Capitol neighborhood.

The adaptation of these guidelines to the different building types in the village will likely vary, with the most variety and interpretation found in the retail buildings, occurring in the densest parts of the village; in Town Square. The guidelines are flexible in order to:

- Adapt to smaller sites and challenging topography.
- Appeal to a broader range of owner preferences.
- Allow for diversity within the well-ordered land-use plan and blend with nearby building context.

The Design Challenge

- Respond to the Briggs Family design sensibilities, values and personality.
- Be unique in Olympia without being too foreign; be recognizable without being too “thematic.”
- Adapt to a wide range of building types and lot sizes, as well as the undulating site.
- Create a sense of order and compatibility between a variety of building types and streetscapes, but also offer opportunities for delight, surprise and a sense of unique place.
- Appeal to a wide range of prospective home, retail and office owners and tenants.
- Translate to guidelines that are clear and understandable as well as flexible; leaving room for future design inventiveness.
- Be buildable and viable within the Olympia marketplace.
- Meet City of Olympia design requirements for pedestrian friendly streets.

Use of the Guidelines

These guidelines supplement the City of Olympia's Design Guidelines for villages and centers. The Briggs Village guidelines illustrate how the City's guidelines are adapted to the building styles, open spaces and streetscapes of the village. The Design Guidelines for the Briggs Urban Village are to be used in concert with the regulatory requirements of Olympia City Code, Chapter 18.05A.

The City's design code speaks in terms of requirements and guidelines. The requirements must be met by any applicant; the guidelines identify alternatives which show how a particular requirement can be achieved. The guidelines for the Briggs Village are written in suggestive language – “should”, “could”, or “may”, to indicate that the guidelines are suggestive choices rather than prescriptive of a specific design.

The Design Guidelines also include examples to illustrate that the architectural intent may be achieved through a variety of final designs. The purpose of the Design Guidelines is to encourage creativity and variety within the desired design objective here described. The suggested language, however, does not imply that the requirement is to be avoided when the terms “should”, “could”, “may” or similar terms are used. The guidelines are intended to require the architectural design to meet the requirement either as shown in the illustrations or through a substantive equivalent.

The guidelines were developed from a design process that:

- Began by creating prototypical unit plans and layouts for each of the building types.
- Tested the adequacy of building lot size and dimensions for the unit plans.
- Extruded unit plans to form building elevations.
- Illustrated a variety of buildings, massing, heights, roof forms and facade delineation that suggested design intent for each building type, given the placement within the village.
- Presented possible streetscapes from the building elevations.

The resultant guidelines show the depth of planning and design through the perspective streetscape sketches, example building elevations and site plans.

The following designs are for illustrative purposes only. In the event that these illustrations conflict with the Master Plan Amendment, the amendment text governs.

BUILDING DESIGN GUIDELINES: MIXED USE DISTRICT

Overall Intent of the Guidelines

The Mixed Use District comprises the center of the Briggs Village, with Town Square at its core. Town Square marks the intersection of several vehicular, pedestrian and visual axes. It is the focal point of the village and the center from which the energy and character of the village radiates.

The Mixed Use District and Town Square is intended to be an active, community hub that serves as a year-round, day and evening-long gathering place for village residents, shoppers and visitors. This gathering place is achieved through the careful balance between building form and exterior spaces, both open and covered.

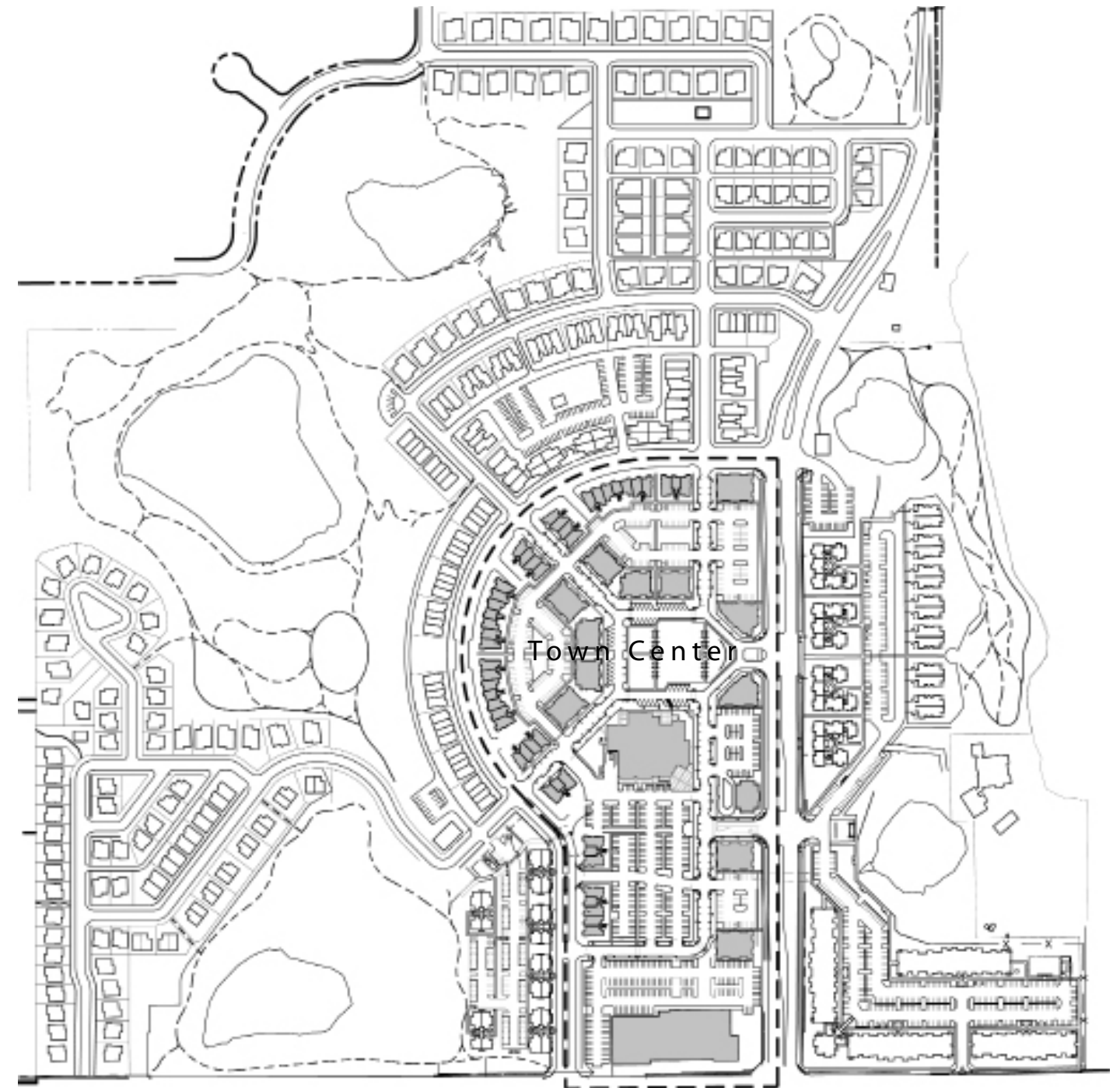
The design vision is to create a village center of pedestrian scale buildings that both frames the Town Square and accommodates a variety of commercial tenants including retail, professional offices and services, and multifamily housing. A Clock Tower and a Pavilion, each with associated arbors, anchors the Town Square while setting themselves apart from the surrounding commercial and residential buildings of the Mixed Use District.

The architectural character of the Mixed Use District shall be pre-modern, neo-traditional craftsman and is intended to:

- Express traditional or classic vernacular through building massing with emphasis of a base, middle and top.
- Allow and reflect a mix of uses within any one building, by developing a separate character for each through a modulated and varied horizontal tenant bay expression.
- Encourage a lively and varied retail experience by allowing for tenant individuality in elevation delineation and treatment as well as signage.
- Ensure a sense of continuity and permanence throughout Town Square through the use of durable building materials of higher quality and reduced maintenance.

A local example of the type of retail, streetscape environment is University Village and older, neighborhood villages such as Fremont or Ballard in Seattle. What it is not intended to be is: as quiet as Sylvester Park, as mall-like as Redmond Town Square, or as overtly “thematic” as Leavenworth or Poulsbo.

The open space, Town Square, is envisioned to be a centerpiece of the village open space and incorporating a number of special features, such as a plaza, performance pavilion and clock tower. Town Square is zoned to accommodate both a quiet, park-like atmosphere and more active spaces that complement the commercial spaces that surround Town Square. The Mixed Use District and Town Square, specifically, will be a comfortable, family-oriented environment where one can enjoy a cup of coffee, visit with friends, or play checkers in the Square.



Mixed Use District

Mixed Use District: Commercial Buildings

Intent of Guidelines: Massing, Height and Modulation

The purpose of the Guidelines is to achieve massing, height, modulation and articulation goals. The guidelines are illustrative of the architectural requirements that shall be met using the tools described below.

- Ensure that buildings are appropriately scaled and proportioned for the enclosure of Town Square.
- Enable simple massing and articulation of the buildings, in order to both allow for future changes of tenants or uses and be feasible in the Olympia marketplace.
- Encourage creativity and liveliness to the streets at special areas, such as corners and passageways.
- Special corner elements, architectural details and landscaping will aid “wayfinding” for shoppers and residents through the village center.

Massing and Height

The design guidelines for commercial buildings envision a combination of one and multi-story buildings lining Town Square. The integration of some multi-story buildings along the perimeter of the square are envisioned to be phased in over time to help enclose/frame the square and add additional “eyes on the square”. If buildings are proposed that exceed 1 ½ stories (one story with mezzanine), each proposer will need to show how parking requirements are being met.



One story commercial buildings are allowed, but require a minimum facade height of 24'. Height shall be measured from the fronting street.

Through the use of clerestory windows, one story commercial buildings shall imply at least one and a half (1 1/2) stories in order to frame and enclose Town Square.

Heights of buildings along radial streets, as well as those facing Henderson Boulevard, are also encouraged to imply at least one and a half (1 1/2) stories, with a minimum facade height of 24'; height shall be measured from the fronting street.



All commercial buildings are required to have a minimum internal floor to ceiling height of 18'.

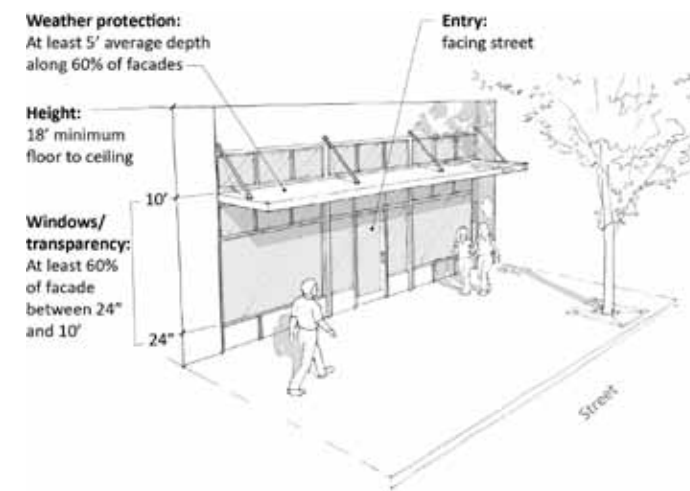
Building Frontages

There is a hierarchy of building frontages to the commercial buildings throughout the Mixed Use District. There is a need to identify guidelines for each type of building frontage to meet design goals while accommodating the necessary function of commercial buildings. Provisions herein address:

- Building/Business Entrances
- The level of facade transparency
- The amount of weather protection

Building Frontages Storefronts

This section includes all facades facing Town Square, Radial Streets, and other facades where a business' primary entry is located:



- Building/Business' primary entry must be located along this facade;
- Transparent windows or doors covering at least 60% of the facade between 24" and 10' above the sidewalk are required; and
- Weather protection averaging at least 5' deep (4' minimum) along at least 60% of the facade is required (see Commercial Facade Treatment - Weather Protection for awning types allowed). Weather protection elements shall provide at least 8' vertical clearance over the sidewalk but no higher than 14' to maintain the weather protection function and to maintain a pedestrian sense of scale.

Building Frontages: Henderson Boulevard and Secondary Street Frontages

This section includes all facades facing Henderson Boulevard and all other street facing facades that do not contain a business' primary entrance.

- Entrances along these facades are encouraged, particularly at building corners. For buildings adjacent to Henderson Boulevard, at least one public or business building entrance shall be visible from the street.
- Transparent windows or doors covering at least 40% of the facade between 24" and 10' above the sidewalk are required. Departures will be considered provided design treatments are included to enhance the pedestrian environment and design character of the facade: and

Mixed Use District: Commercial Buildings | Continued

- Weather protection elements along these frontages are encouraged and required for the following:
 - Where a business' primary entry faces this frontage, weather protection elements shall meet storefront standards noted above.
 - Office or other (non-service only) building entrances (4' deep minimum).

Building Frontages: Parking Lot and Internal Pedestrian Walkway Frontages

This section includes all parking facades facing parking lots and facades facing internal pedestrian walkways.

- Entrances along these facades are encouraged.
- Transparent windows or doors covering at least 20% of the facade between 3' and 8' above the sidewalk. Departures will be considered provided design treatments are included to enhance the pedestrian environment and design character of the facade: and
- Weather protection elements along these frontages are encouraged and required for the following:
 - Where a business' primary entry faces this frontage, weather protection elements shall meet storefront standards noted above.
 - For secondary business and other building tenant entrances, weather protection over the entry at least 4' deep is required.



Pedestrian corridor



Example of Pedestrian corridor



Roof Types

Variation in roof form is encouraged as it relates to and helps define building modulation around Town Square and other village streetscapes.

Roofline modulation is encouraged as an effective type of facade articulation. The maximum length of unmodulated roofline is 25'. Every 25' the parapet articulation must change and the height must change by a minimum of 24" OR the roof type must change (flat, mansard, gable, hip, etc.).

Continuous, unarticulated roof heights and/or roof types are not acceptable.

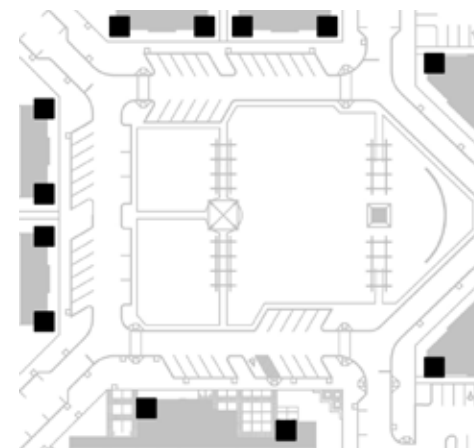


Special Corner Elements

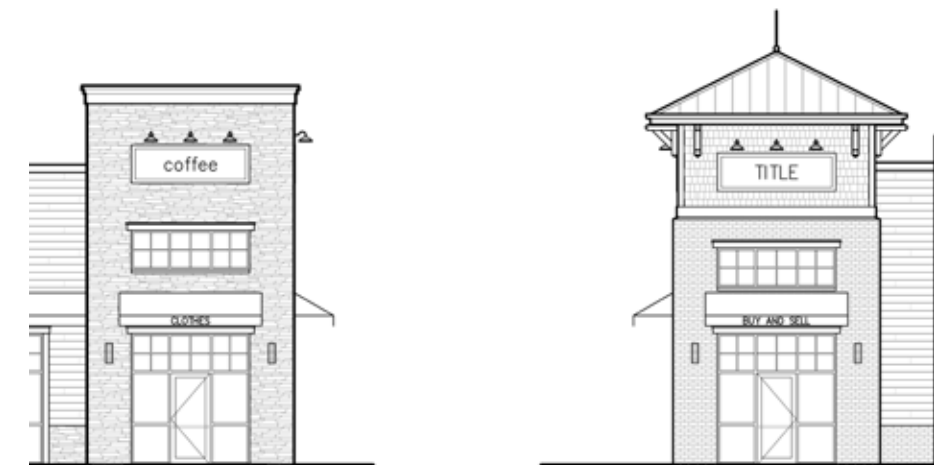
Attention should be given to differentiation of special corner elements, especially those on axis with and providing visual termination, create gateways and focal anchors to the streets surrounding Town Square.

Special corner elements may include hip roofs or compound gable roofs or flat roofs embellished with extraordinary cornice details, glazing or materials.

Each "block" facing Town Square shall encourage a corner building tower feature as highlighted in the "Location of Special Corner Elements" plan adjacent. Signage shall be used to complement and reinforce these special corner elements.



Location of Special Corner Elements



Options for Special Corner Elements

Mixed Use District: Commercial Buildings | Continued

Facade Articulation

Building façades shall integrate architectural elements that create a complementary pattern of rhythm, dividing large buildings into smaller identifiable pieces. Building Frontages (Storefronts, Henderson Boulevard, and Secondary Street Frontages) shall integrate at least 3 of the following features at intervals no greater than 25' (twenty-five feet) to create a pattern of small traditional storefronts. Building Frontages (Parking Lot Frontages and Internal Pedestrian Walkway Frontages) shall integrate at least 3 of the following features at intervals no greater than 40' (forty feet) to create a pattern of small traditional storefronts.

- i. Use of window and/or entries that reinforce the pattern of small storefront spaces;
- ii. Use of weather protection features that reinforce small storefronts. For example, one 75' wide façade articulated into three 25' wide storefronts could include a steel canopy for the middle storefront and awnings for the outside storefronts to help articulate the façade;
- iii. Providing vertical building modulation of at least 2' in depth and 4' in width if combined with a change in siding materials and/or roofline modulation;
- iv. Change of roofline or parapet;
- v. Use of vertical piers/columns that reinforce the storefront pattern;
- vi. Changing materials and/or color with a change in building plane;
- vii. Vertical elements such as a trellis with plants, green wall, or art element that meets the purpose of the guidelines; and/or
- viii. Other methods that meet the purpose of the guidelines.



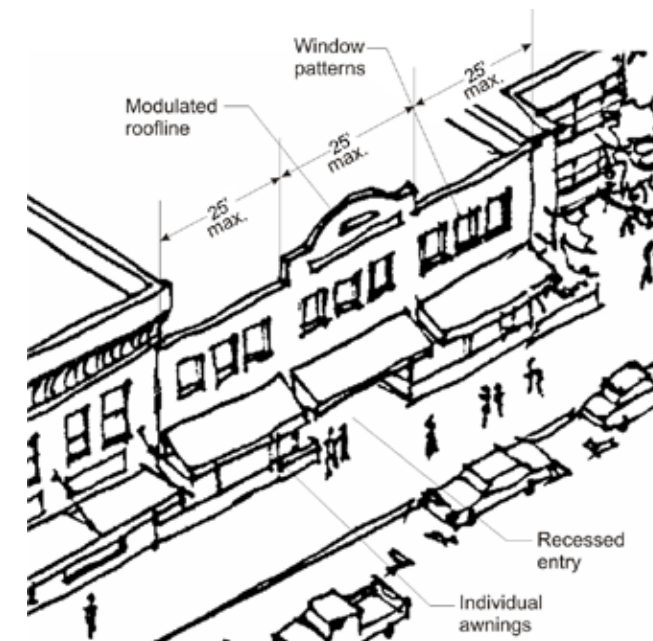
Storefronts



Articulation & Modulation



Modulation & Facade Articulation Examples Good example of Articulation



Good example of roof modulation

Mixed Use District: Commercial Buildings

Building Form and Materials

Variety in building form may include the use of flat, gabled or hip roof forms. Roof forms are encouraged to be true architectural or structural forms. Variation in roof forms (including gabled, hipped or flat) and the use of accessories such as dormers, when using sloped roofs, and embellished cornices, when using flat roofs, are encouraged.

Variety in building materials is encouraged, so long as the framework of building base, middle and top is evident and wall finishes remain consistent on all sides of buildings that can be seen by the public. Material changes should occur where there is a change in the vertical plane, the horizontal plane, or an articulation element is used (example: trim board) to separate dissimilar materials. Width of articulation shall be a minimum of 25'-40' depending on Building Frontage (see previous section) to imply historically smaller structural components. Use material changes horizontally and vertically to give identity to internal uses and implied or actual smaller individual shop owners.

The buildings throughout the Mixed Use District are truly “buildings in the round” where each building frontage is in full view of the surrounding neighborhood. As a result, there must be consistency in the design of all frontages for each individual building, including materials and detailing.



View from Town Square to Northwest



Mixed Use District: Commercial Façade Treatment

Intent of Guidelines: Facade Treatment

Provide continuity throughout the Town Square buildings by establishing the basic framework for the buildings including the rhythm of bay spacing, windows and entryways.

Create a lively streetscape and allow significant freedom and encourage creativity in the tenant occupied/improved portions of the structure, with minimal direction as regards facade, color.

Provide generous internal floor to ceiling heights (18' minimum required) for ground floor commercial uses to create attractive spaces iwth substantial natural light and the capability of accomodating the full range of permitted active commercial uses.

Facade Treatment including Tenant Improvements

Requirements for the ground floor facades, including those areas to be improved by the tenants (distinguished from the building framework) are shown in the following:

- A** *Storefront:* Window systems can be pre-finished aluminum, anodized aluminum or wood.
- Doors can be configured in one of four ways:
- Centralized pair
 - Centralized single
 - Right hand single
 - Left hand single
- B** *Transom Windows:* Either occurs above steel & glass canopy or may reside above or within fabric awning. The use of muntin bars within clearstory windows is encouraged to aid in reinforcing neo-traditional architectural styles.
- C** *Canopy or Awning:* Pedestrian cover at sidewalk can be provided:
- Steel and glass canopies supported by building facade with a design derived from the architectural bay spacing of the building.
 - Fabric awnings fixed or operable; sized to “plug in” to the architectural bay spacing of the building.
- D** *Clearstory Windows:* Encouraged at all corners and within each bay to convey a multi-story scale to each commercial building. The use of muntin bars within clearstory windows is encouraged to aid in reinforcing neo-traditional architectural styles.
- E** *Pilaster Base:* 3' - 4' high base can be finished in stone, veneer simulated stone, masonry (veneer brick, or decorative CMU), tile or panelized wood.
- F** *Corner Pilasters:* 3'-0" (minimum) wide pilaster and adjacent wall can be finished in stone, veneer simulated stone, masonry (veneer brick, or decorative CMU), fiber cement siding (shingles) or panelized wood.
- G** *Sconce Lighting:* Location for tenant sconce lighting at center of pilaster if so desired.
- H** *Signage:* Locations for tenant signage panel include:

- Wall mounted above entry
- Blade sign mounted at underside of canopy or bracketed off header over doorway
- Wall mounted at face of pilaster

J *Solid Display Wall:* Display walls cannot be constructed within three (3) feet of window walls. Window displays require tenant maintenance to assure vitality of storefront.

K *Walls:* Walls can be finished in stone, veneer simulated stone, masonry (veneer brick or decorative CMU), or fiber cement siding (shingles, bevel, channel, board & batten).

L *Cornices:* Shall be sized appropriately for the building style and scale. Larger cornices should be incorporated at building corner elements and primary tenant entries.

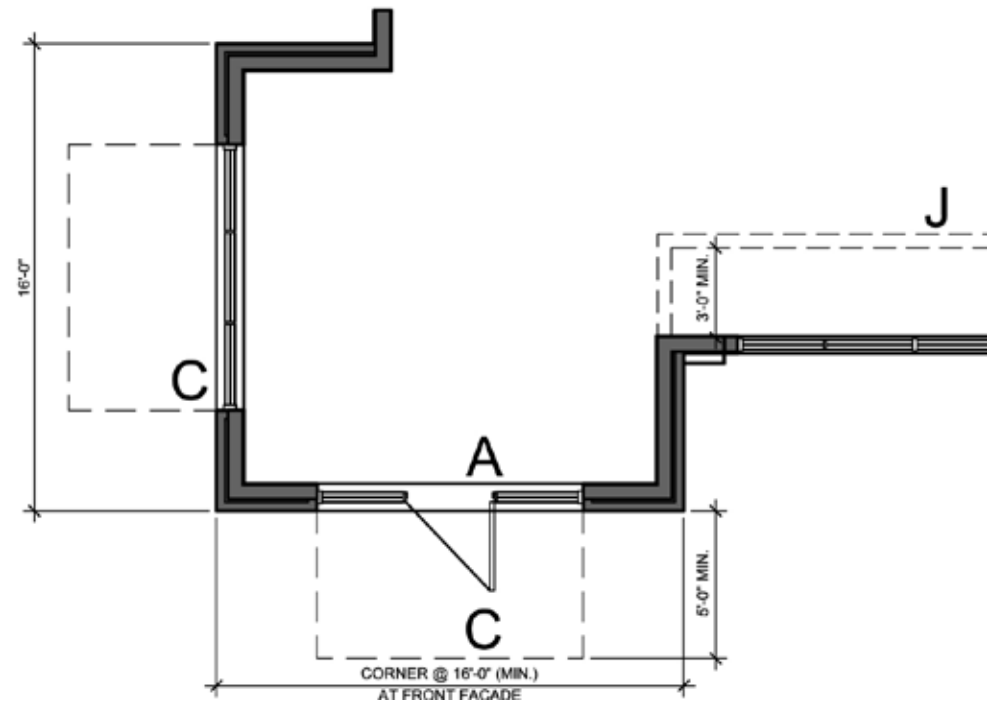
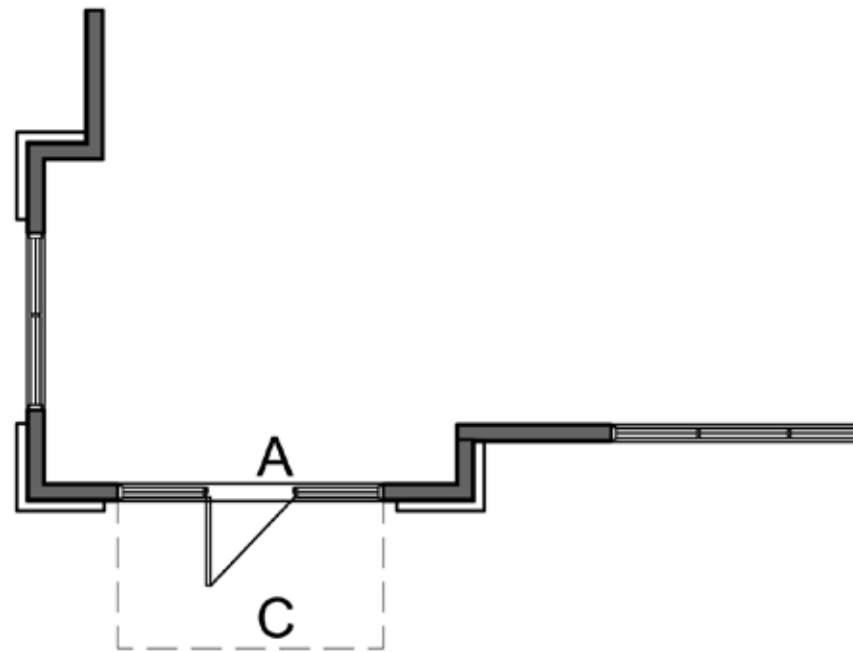
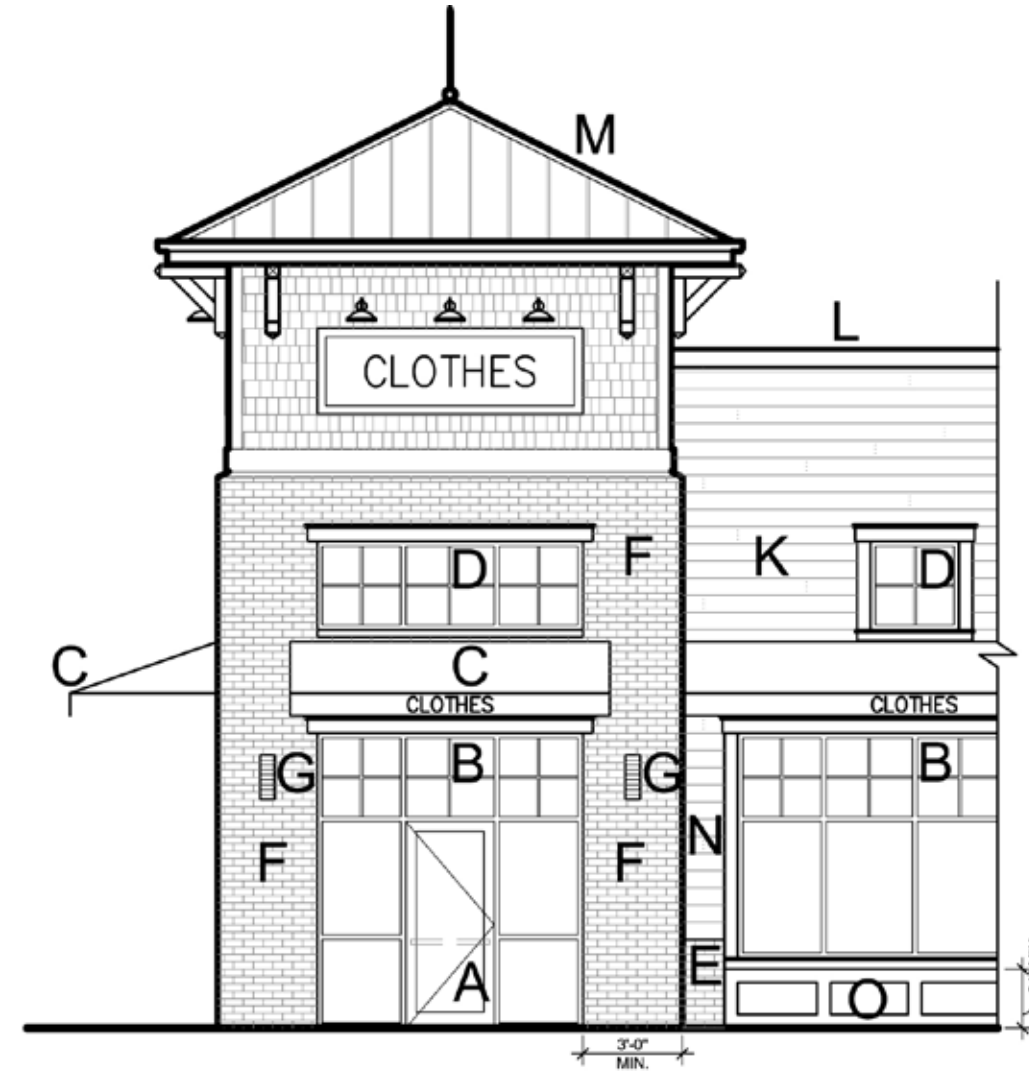
M *Roof Caps:* Sloped roof forms are encouraged at corner elements along primary axis (auto, pedestrian or view corridors). The use of overhangs and knee braces are encouraged to reinforce neo-traditional architectural styles.

N *Trim:* Shall be painted wood or fiber cement, 6" (nominal) width minimum. All trim at openings (windows, doors, vents) should be sized to reinforce neo-traditional architectural styles.

O *Window Base:* Shall be 24" minimum in height and constructed of panelized wood or any other compatible material listed in item 'E' Pilaster Base above. A minimum of 50% of storefront windows must meet this window base requirement.

See signage section page 32 for more details on signage requirements that are unique to the Briggs Village Mixed Use District.

Commercial Facade Improvements



Mixed Use District: Commercial Façade Treatment continued

Facade Elements and Details

Purpose: To encourage the incorporation of design details and small-scale elements into building facades that are attractive at a pedestrian scale.

Requirements:

(a) Façade details toolbox: All non-residential and mixed-use buildings shall be enhanced with appropriate details. All new buildings must employ at least two detail elements from each of the three categories below for each façade facing a street or public space. For example, a building with 75 feet of street frontage with a façade articulated at 25 foot intervals will need to meet the guidelines for each of the three façade segments below.

(i) Window and/or entry treatment:

- (A) Display windows divided into a grid of multiple panes;
- (B) Transom windows;
- (C) Roll-up windows/doors;
- (D) Other distinctive window treatment that meets the purpose of the standards;
- (E) Recessed entry;
- (F) Decorative door;
- (G) Landscaped trellises or other decorative element that incorporates landscaping near the building entry; or
- (H) Other decorative or specially designed entry treatment that meets the purpose of the guidelines.



Window Divides



Transom Windows



Decorative Door

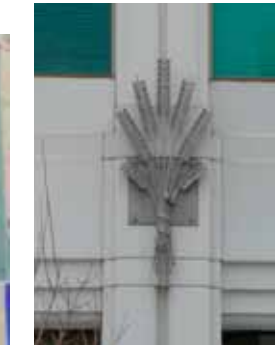
- (ii) Building elements and façade details:
 - (A) Custom-designed weather protection element such as a steel canopy, cloth awning, or retractable awning;
 - (B) Decorative, custom hanging sign(s);
 - (C) Decorative building-mounted light fixtures;
 - (D) Bay windows, trellises, towers, and similar elements; or
 - (E) Other details or elements that meet the purpose of these guidelines.



Steel Awning



Retractable Awning



Custom Signage



Trellis planter



Bracket

(iii) Building materials and other facade elements:

- (A) Use of decorative building materials/use of building materials. Examples include decorative use of brick, tile, or stonework;
- (B) Artwork on building (such as a mural) or bas-relief sculpture;
- (C) Decorative kick-plate, pier, belt course, or other similar feature;
- (D) Hand-crafted material, such as special wrought iron or carved wood; or
- (E) Other details that meet the purpose of the guidelines.



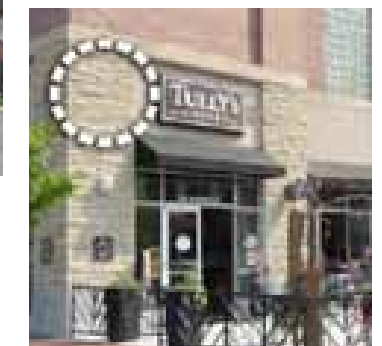
Decorative mosaic tiles



Tilework & Patterns



Sculptural Mural



Stonework

“Custom,” “decorative,” or “hand-crafted” elements referenced above must be distinctive elements or unusual designs that are complementary and/or consistent with the featured architectural style.

Departures to the guidelines above will be considered provided the number, quality, and mix of details meet the purpose of the standards.

Mixed Use District: Commercial Façade Treatment continued

Window Design

Window design: Buildings shall employ techniques to recess or project individual windows above the ground floor at least two inches from the facade or incorporate window trim at least four inches in width that features color that contrasts with the base building color.

Departures will be considered where buildings employ other distinctive window or facade treatment that adds a sense of depth to the facade and/or visual interest to the building.



Acceptable and unacceptable (far right image) window design on upper floors. Note the windows in the brick building on the left are recessed from the facade. The windows in the middle images include trim. The image on the right includes no trim or recess/projection, and thus would not be permitted.

Facade Materials

Purpose:

- To encourage high-quality building materials that enhances the character and identity of Briggs Village;
- To discourage poor materials with high life-cycle costs; and
- To encourage the use of materials that reduce the visual bulk of large buildings.

Requirements:

- Walls can be finished in stone, veneer simulated stone, masonry (veneer brick or decorative CMU), panelized wood, tile, or fiber cement siding (shingles, bevel, channel, board & batten).
- Concrete block guidelines: Concrete block may be used if it is incorporated with other permitted materials and it complies with the following:
 - When used for the primary façade, buildings must incorporate a combination of textures and/or colors to add visual interest. For example, combining split or rock-façade units with smooth ground faced blocks can create distinctive patterns; and
 - Plain Concrete block may comprise no more than 30% of a facade facing a public right-of-way or open space. **Departures** to this standard will be considered provided design treatments are included to enhance the visual character of the building at all observable scales.



Acceptable and unacceptable concrete block examples. The left example uses a mixture of split-faced colored concrete block and smooth-faced concrete block, together comprising just under 30% of the whole facade. The large expanse of smooth-faced concrete block, above, is not acceptable for Briggs Village facades.

(c) Prohibited materials:

- Mirrored glass;
- T1-11-type plywood siding and similar processed sheet products;
- Chain-link fencing (except for temporary fencing and for parks);
- Fiberglass products and similar sheet products; and
- Back-lit vinyl awnings used as signs.
- Stucco, EIFS, and similar materials.
- Metal siding.

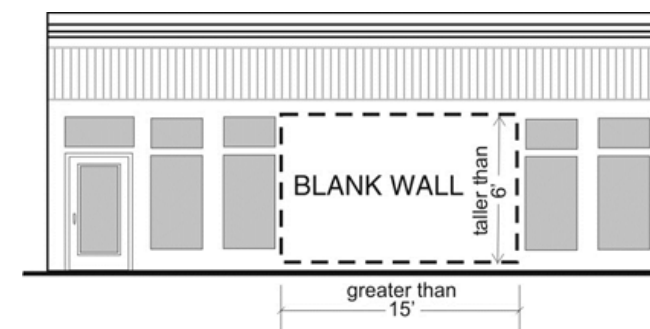
Blank Walls

Purpose:

- To avoid untreated blank walls.
- To enhance the character of Briggs Village

Requirements:

- Blank wall definition: A ground floor wall or portion of a ground floor wall over six feet in height, has a horizontal length greater than 15 feet and does not include a transparent window or door.



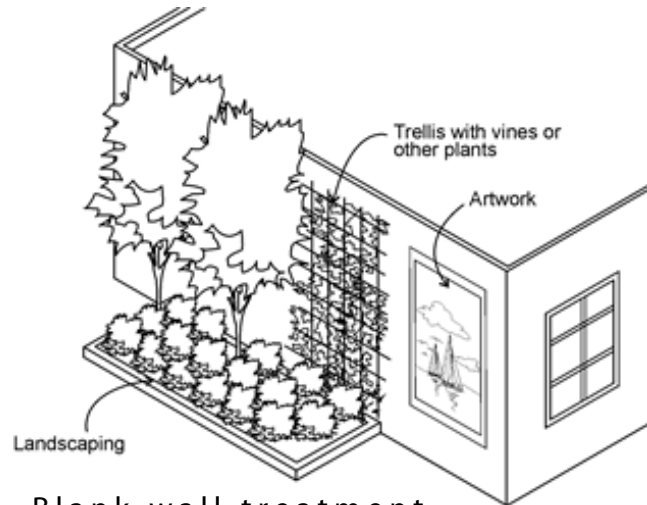
Blank wall definition illustration

Mixed Use District: Commercial Façade Treatment continued

(b) Blank wall treatment: Untreated blank walls visible from a public street, customer parking lot or pedestrian pathway are prohibited unless the following methods are used. Methods to treat blank walls can include:

- (i) Display windows at least 16 inches of depth to allow for changeable displays. Tack on display cases shall not qualify as a blank wall treatment;
- (ii) Landscape planting bed, raised planter bed, or potted plants in front of the wall with planting materials that are sufficient to obscure or screen at least 60% of the wall's surface within 3 years;
- (iii) Installing a vertical trellis in front of the wall with climbing vines or plant materials;
- (iv) Installing a mural or other art work as approved by the reviewing authority; and/or
- (v) Special building detailing that adds visual interest at a pedestrian scale. Such detailing must use a variety of surfaces; monotonous designs will not meet the purpose of the guidelines.

For large visible blank walls, a variety of treatments may be required to meet the purpose of these guidelines.



Blank wall treatment solutions



Raised Planters & Building texture for pedestrian scale



Building detailing & raised planter



Plantings & Building detailing



Artwork or mural

Service Element Location and Design

Purpose:

- To minimize the potential negative impacts of service elements; and
- To encourage thoughtful siting of service elements that balance functional needs with the desire to screen negative impacts.

Requirements:

- (a) All developments shall provide a designated spot for service elements (refuse and disposal). Such elements shall meet the following requirements:
 - (i) Service elements shall be located to minimize the negative visual, noise, odor, and physical impacts to the street environment, adjacent (on and off-site) residents or other uses, and pedestrian areas;
 - (ii) The designated spot for service elements shall be paved with concrete;



Appropriate service area location and enclosure examples

- (iii) Appropriate enclosure of the common trash and recycling elements shall be required. Requirements and considerations:
 - (A) Service areas visible from the street, pathway, pedestrian-oriented space or public parking area shall be enclosed and screened around their perimeter by a durable wall or fence sufficient in height to screen equipment within (6' high minimum). Developments shall use materials and detailing consistent with primary structures on-site. Acceptable wall materials include brick, decorative concrete block or stone;
 - (B) The sides and rear of the enclosure must be screened with landscaping in locations visible from the street, dwelling units, customer parking areas, or pathways to soften the views of the screening element and add visual interest;
 - (C) Collection points shall be located and configured so that the enclosure gate swing does not obstruct pedestrian or vehicle traffic, or does not require that a hauling truck project into any public right-of-way; and
 - (D) Proximity to adjacent residential units will be a key factor in determining appropriate service element treatment. Enclosures must screen views from adjacent buildings, especially from residential structures.

Mixed Use District: Commercial Façade Treatment continued

(b) Utility meters, electrical conduit, and other service utility apparatus: These elements shall be located and/or designed to minimize their visibility to the public. Project designers are strongly encouraged to coordinate with applicable service providers early in the design process to determine the best approach in meeting these guidelines. If such elements are mounted in a location visible from the street, pedestrian pathway, common open space, or shared auto courtyards, they shall be screened with vegetation or by architectural features.



Good and bad utility meter configurations. The example on the left is consolidated and somewhat screened by landscaping elements, whereas the right example is exposed and degrades the character of this project.

(c) Rooftop mechanical equipment: All rooftop mechanical equipment shall be organized, proportioned, detailed, screened, and/or colored to be an integral element of the building and minimize visual impacts from the ground level of adjacent streets and properties and from adjacent multi-family housing. For example, screening features should utilize similar building materials and forms to blend with the architectural character of the building.

OLYMPIA MUNICIPAL CODE Chapter 18.05A
URBAN VILLAGE, NEIGHBORHOOD VILLAGE, NEIGHBORHOOD CENTER AND
COMMUNITY ORIENTED SHOPPING CENTER DESIGN CRITERIA

Sections:

18.05A.010 How to use design criteria.

SITE DESIGN AND ORIENTATION

18.05A.050 Site design - Pedestrian/sidewalk orientation.

18.05A.060 Site design - Fences and walls adjacent to pedestrian scale streets.

COMMERCIAL AND MIXED USE BUILDING DESIGN, LANDSCAPING, AND SIGNS

18.05A.070 Building design - Commercial and mixed use.

18.05A.080 Building design - Creation of human scale.

18.05A.090 Building design - Building wall finishes for stand alone and corner site buildings.

18.05A.100 Landscape design for villages, commercial and mixed use areas.

18.05A.110 Landscape design - Screening.

(Ord. 7061 §4, 2017; Ord. 6581 §5, 2008).

18.05A.010 How to use design criteria 

The Requirement Sections in the following Design Criteria for the City of Olympia are the requirements each project shall meet. These design criteria are intended to supplement the development standards of each zoning district. Where the provisions of this chapter conflict with the provisions of the zoning district, the provisions of the zoning district shall apply. The Guidelines which follow each Requirement Statement are suggested ways to achieve the design intent. Each guideline is meant to indicate the preferred conditions, but other equal or better design solutions will be considered acceptable by the Board and/or staff, so long as these solutions meet the intent of these sections. Where a requirement and/or guideline is followed by the abbreviations found in the Legend on each page - these requirements and/or guidelines are applicable to that particular zone found in Chapter 18.05. Nothing in these Design Criteria shall be construed to create a duty on the part of the City or its officers, agents and employees with respect to the health, safety or welfare of the users of the structures and surroundings mentioned herein.

LEGEND

UV = Urban Village COSC = Community Oriented Shopping Center

NV = Neighborhood Village NC = Neighborhood Center

Staff Note: Briggs is an Urban Village (UV).

(Ord. 5967 §9, 1999; Ord. 5830 §49, 1998; Ord. 5517 §1, 1995).

18.05A.050 Site design –Pedestrian/sidewalk orientation ☒

LEGEND

UV = Urban Village

COSC = Community Oriented Shopping Center

NV = Neighborhood Village

NC = Neighborhood Center

A. REQUIREMENT: Create an interesting street that is visually attractive, and easy to use for pedestrians who will live, work or shop in the area. Buildings internal to a village or center shall generally face and be located on pedestrian streets. This will allow entries, display windows, and building facades to create a continuous row of store fronts and residences. Parking shall be clustered and/or located on the side or behind buildings and be designed in a way that gives pedestrians access to building entrances that are as direct as possible. (UV, NV, COSC, NC)

Exceptions to building and parking orientation may be made for a grocery store in an urban village, or a community oriented shopping center. (UV, COSC)

The orientation and facade of a building adjacent to an arterial or major collector shall be designed to enhance the adjacent neighborhood. Buildings and parking lots located adjacent to an arterial or major collector on the edge of a village or center shall be designed and oriented to (1) maximize the presence and prominence of the building on village corners and at gateways and (2) minimize the presence and prominence of parking lots. Where a building entry faces a parking lot, pedestrian linkages to the internal street network must be as pleasant, visible, well lit, and direct as possible. (UV, NV, COSC, NC)

B. GUIDELINE:

1. Orientation

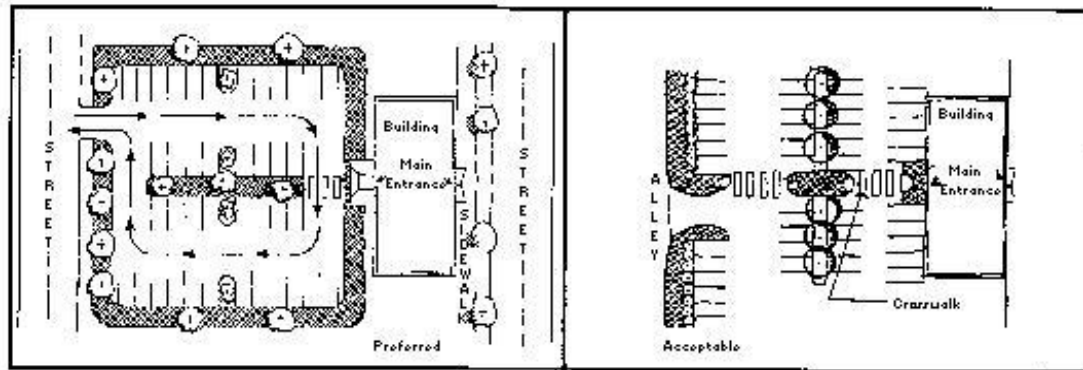
- a. Store fronts should face the core area, center park, and/or sidewalk of the streets on the site. (UV, NV, COSC, NC)
- b. Buildings fronting on a village or center park, green or plaza should be at least two (2) stories high. (UV, NV, COSC, NC)
- c. Corner lots at major street entry points or village center areas should be occupied by buildings or structures designed to emphasize their prominent location. (UV, NV, COSC)
- d. Locate service and delivery away from the main streets where possible. (UV, NV, COSC, NC)
- e. Avoid and/or minimize curb cuts on streets. Use alleys or side streets for vehicle access where possible. (UV, NV, COSC)
- f. Require the site design to accommodate transit on transit routes:

- i. bordering the site, and
- ii. within a core area that may have transit service. (See Figure 5A-5.)(UV, NV, COSC, NC)

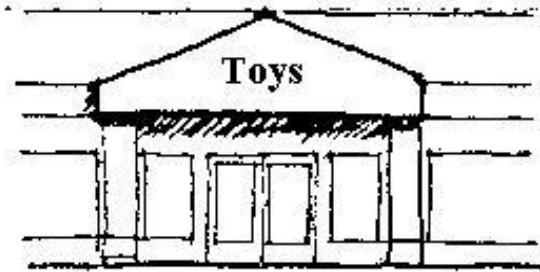
2. Enhanced Pedestrian Access

- a. Direct pedestrian access should be provided from sidewalks and parking lots to building entrances, to bus stops, and to adjacent buildings. Where practical and consistent with the other provisions of the district, parking isles should be aligned perpendicular to the building and pedestrian access should be separate from vehicular travel lanes. (See Figure 5A-9.)(UV, NV, COSC, NC)
- b. Where a parking lot separates a building entrance from a sidewalk in the rights-of-way, a pedestrian walkway at least six (6) feet in width should be provided connecting the street, the sidewalk and the building entrance. Such crossings should be clearly marked. (See Figure 5A-9.)(UV, NV, COSC, NC)
- c. Define walkways with vertical plants, such as trees or shrubs and with lighting. (UV, NV, COSC, NC)
- d. Place signs where they clearly direct customers to the building entrances and the parking areas. (UV, NV, COSC, NC)
- e. Motor vehicle wheel stops or extended curbs should be installed or sidewalk widths should be increased as necessary to ensure that pedestrian walkways within the site have a passable width of at least four (4) feet and sidewalks in rights-of-way are not encroached upon. Street lights, utility poles, benches, trees, trash receptacles and similar streetscape fixtures should, to the greatest extent practical, be situated such that sidewalks in the rights-of-way have a passable width of at least five (5) feet. (UV, NV, COSC, NC)
- f. A walkway or shared bike/pedestrian network should be provided throughout the site that interconnects all dwelling units with other units, nonresidential uses, and common open space. Bike and pedestrian ways should be on the street and alley network but

additional connections may be provided. (UV, NV, COSC)



Parking isles perpendicular to a building entrance are preferred to allow easy and safe connection to building entrances. A convenient pedestrian walkway should be provided between a sidewalk and the building entrance where a sidewalk is separated by a parking lot.



Provide a clear sense of entry upon arrival to the building.

FIGURE 5A-9

3. Enhanced Pedestrian Amenity

a. Walkway materials and patterns and pedestrian amenities such as benches, shelters, trash receptacles, street trees, pedestrian lighting, and drinking fountains should be coordinated to provide some uniformity of design throughout the site. Such improvements should comply with any applicable, adopted streetscape plan and should be incorporated into the core area. (UV, NV, COSC, NC)

4. Possible amenities include:

a. Walls and planters that can be used for seating. (UV, NV, COSC)

b. Seating in a variety of locations such as places which are sunny, sheltered from the rain and wind, or shaded in the summer. (UV, NV, COSC)

c. Fountains or sculpture incorporated into small under-utilized areas. (UV, NV, COSC)

- d. Seating that allows users to observe the activities of the street or enjoy a scenic view. (UV, NV, COSC)
- e. Plazas and courtyards with fountains, sculpture, mobiles, flower boxes, kiosks, banners, etc. (UV, NV, COSC)
- f. Street vendor stations where allowed. (UV, COSC)
- g. Bike racks. (UV, NV, COSC, NC)

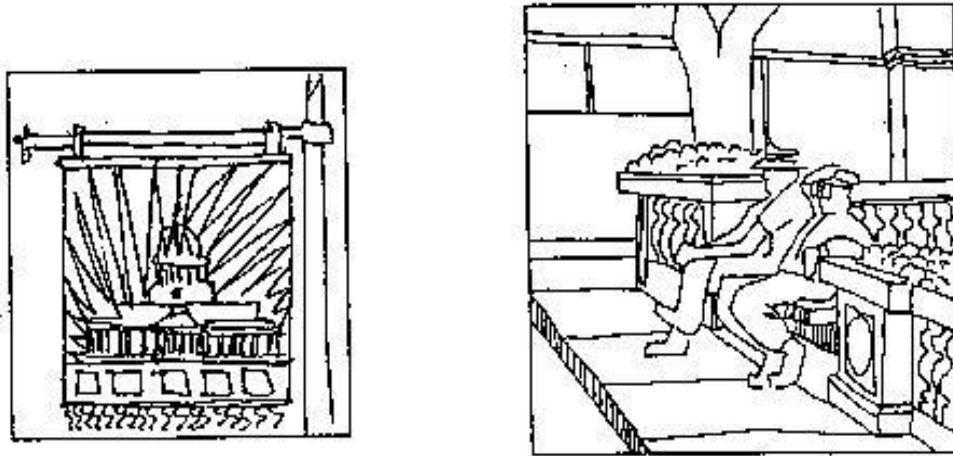
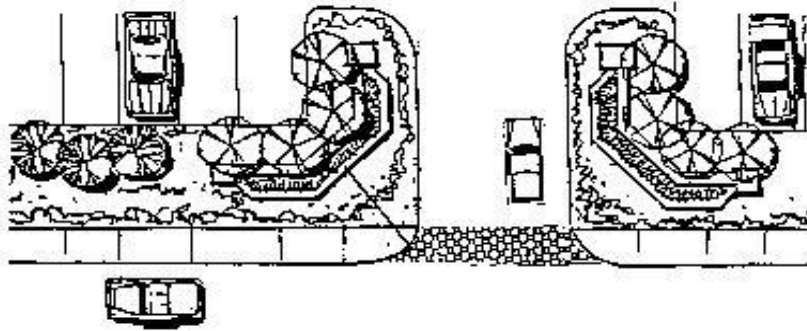


FIGURE 5A-10

5. Add Character and Visual Diversity to Walkways.

- a. Use a change in color and materials such as pavers, brick, stone, and exposed aggregate set in geometric or free form patterns to add interest and variety to walking surface. (UV, NV, COSC)
- b. Identify street crossings through changes in color, materials, or patterns. (UV, NV, COSC)
- c. Separate the pedestrian from the street by placing planters, street trees and planter strips, bollards, or similar elements at the street edge of the sidewalk. (UV, NV, COSC)
- d. Encourage the use of alleys by pedestrians by providing alleys with lighting, plantings, and paving materials in areas of the site where the alley is or may be used as a

pedestrian link. (See Figure 5A-4.)(UV, NV, COSC)



Pavers can be used to clearly identify pedestrian areas.

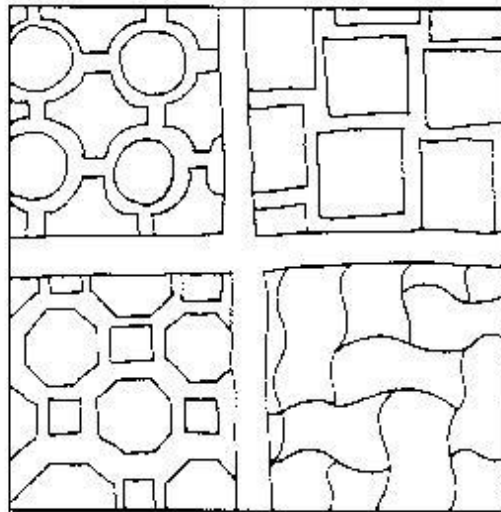


FIGURE 5A-11

6. On-Site Parking

- a. Avoid placing parking lots on corners because the goal is to have buildings as the dominant feature especially on corner lots. (UV, NV, COSC, NC)
- b. Off street parking should have access from alleys or from streets at locations that don't conflict with pedestrian circulation in the center park or main street area. (See Figure 5A-3.)(UV, NV, COSC, NC)
- c. Minimize the apparent width of parking lots which are located adjacent to the street by minimizing curb cuts and through landscaping and screening. (See 5A-12.)(UV, NV, COSC, NC)

d. Limit parking lots on the street frontage to thirty (30) percent of the street frontage of the property. Exceptions may be considered for the grocery store parking lot in an urban village, or community oriented shopping center. An exempted grocery store parking lot should not face a center park or plaza. (UV, NV, COSC, NC)

e. Maintain the building line by screening parking lots which abut the street. Hedges, fences, raised planters, and low walls combined with plantings are possible solutions. However, these cannot obscure vehicular sight lines as a safety requisite. Another solution is to extend the facade of a building with parking located behind it. (UV, NV, COSC)

f. Where parking structures or covered parking faces the street at least sixty (60) percent of the parking structure facing the street between two (2) and eight (8) feet above the sidewalk should incorporate at least one of the treatments listed: (UV, NV, COSC)

i. transparent windows (with clear or lightly tinted glass) where pedestrian-oriented businesses are located along the facade of the parking structure;

ii. display windows;

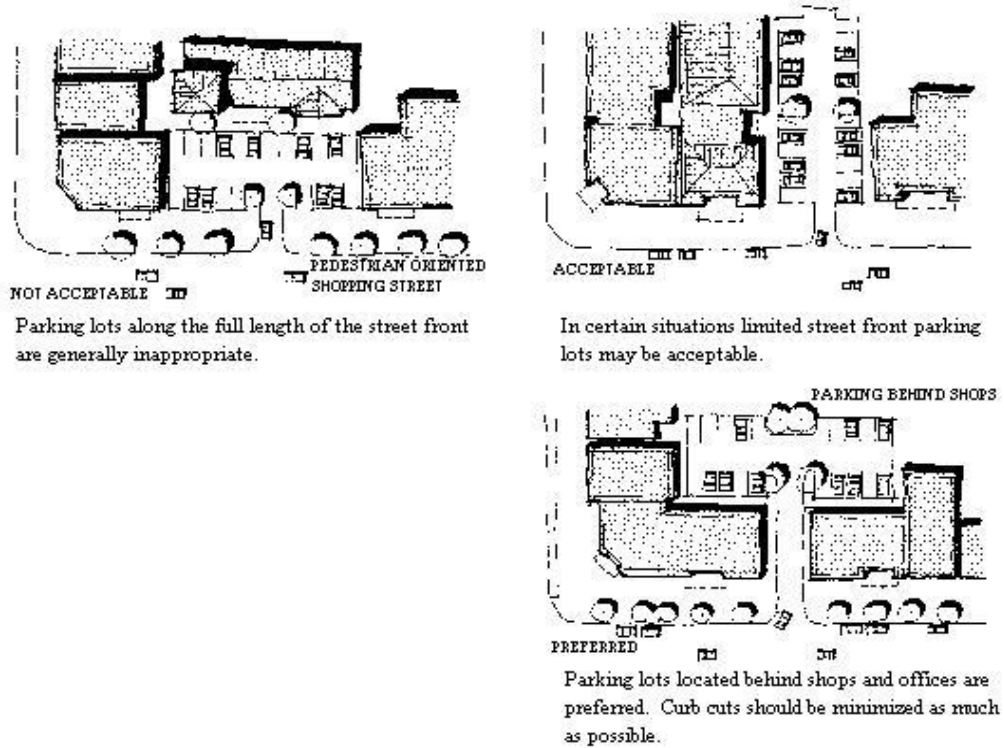
iii. decorative metal grille work or similar detailing which provides texture and covers the parking structure opening;

iv. art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief art work, or similar features; or

v. vertical trellis or other landscaping or pedestrian plaza area.

g. Vehicle entries to garages should be recessed at least six (6) feet from the primary facade plane in order to minimize their prominence.

On-Site Parking Placement



Curb cuts should be minimized as much as possible.

FIGURE 5A-12

7. Lighting

- a. Accent structures, conserve energy and provide visibility and security with lighting. (UV, NV, COSC, NC)
- b. Use lighting to accent key architectural elements or to emphasize landscape features. (UV, NV, COSC, NC)
- c. Provide well lighted pedestrian sidewalks and alleys in accordance with Olympia Street Standards. (UV, NV, COSC, NC)
- d. Locate lighting so as not to have a negative impact on adjacent properties such as shining off site into adjacent buildings. (UV, NV, COSC, NC)

- e. Decorative street lights should be placed at regular intervals throughout the



development. (UV, NV, COSC)

Lighting should be designed so that it does not adversely intrude on neighboring property.

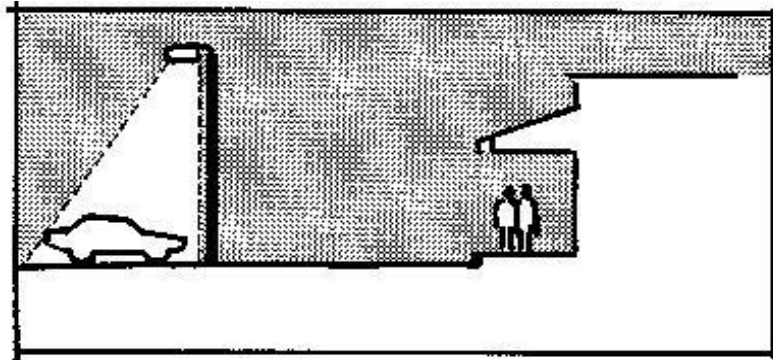


FIGURE 5A-13

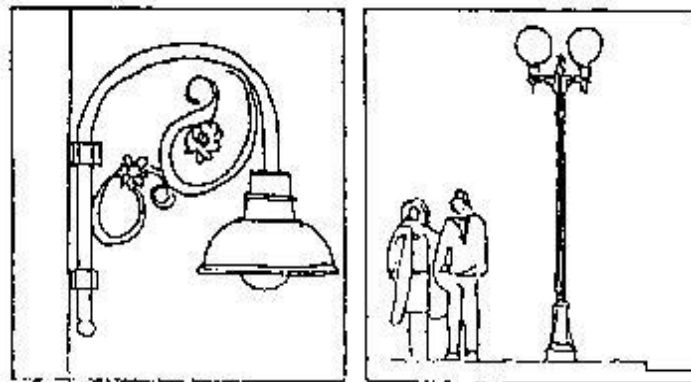


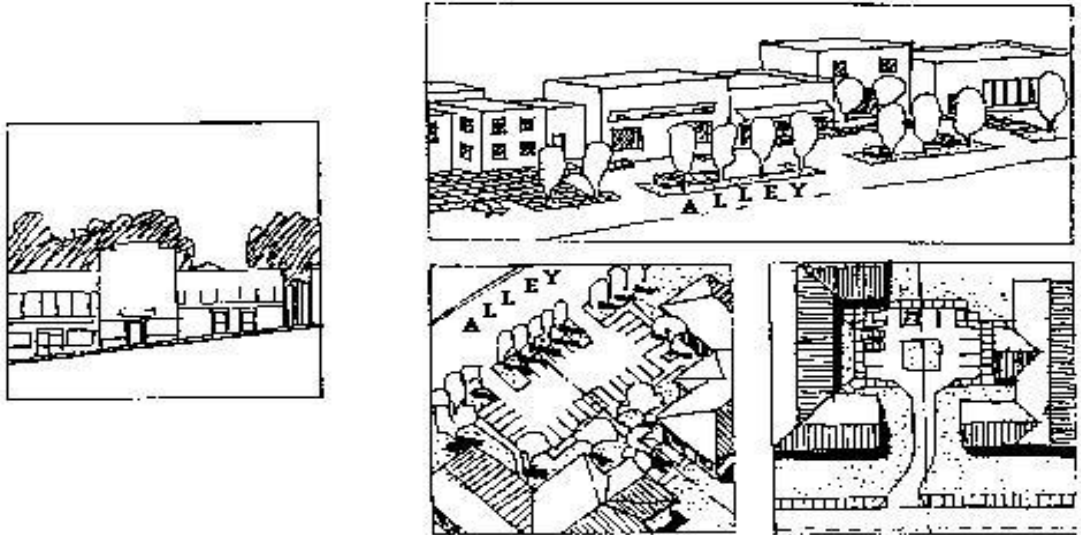
FIGURE 5A-14

8. Physical Context

- a. Conform floor elevations to sidewalk grades where possible, except for residential units where first floors may be elevated two to four (2-4) feet above grade to provide privacy. (See Figure 5A-15.)(UV, NV, COSC, NC)

9. Consolidation

- a. Use common wall side by side development with continuity of facades (as allowed by Table 5.04 sideyard setbacks). (UV, NV, COSC, NC)
- b. Consolidate required parking for several businesses on one (1) parking lot, wherever possible. (UV, NV, COSC, NC)



Conform floor elevations to sidewalk grades wherever possible to allow easy access to businesses from the street.

Consolidate parking for several businesses wherever possible.

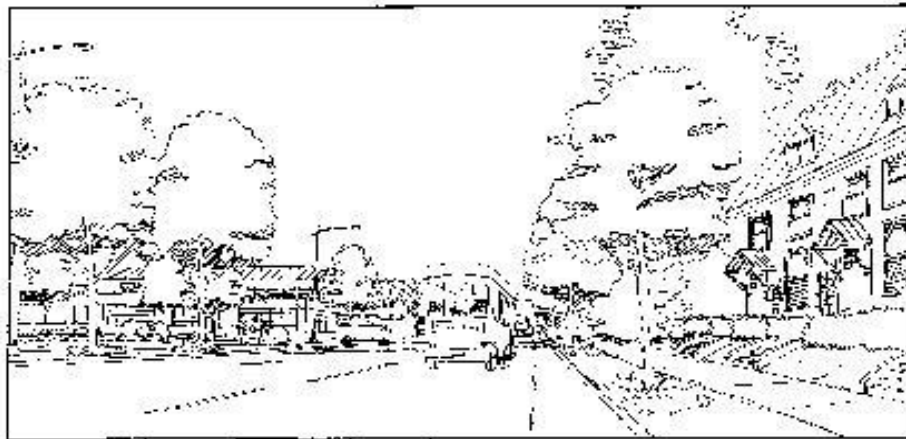


FIGURE 5A-15

Entries to residential units with small setbacks are raised two to four (2-4) feet above the sidewalk grade to provide privacy for residents.

FIGURE 5A-16

(Ord. 6517 §20, 2007; Ord. 5661 §4, 1996; Ord. 5517 §1, 1995)

18.05A.060 Site design –Fences and walls adjacent to pedestrian scale streets

LEGEND

UV = Urban Village

COSC = Community Oriented Shopping Center

NV = Neighborhood Village

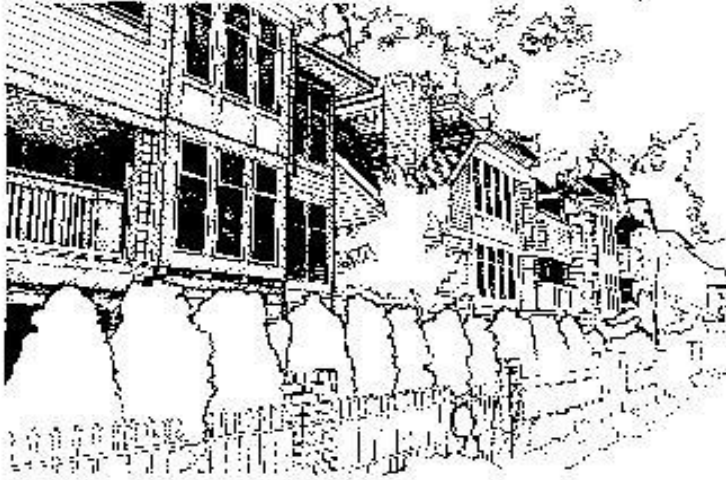
NC = Neighborhood Center

A. **REQUIREMENT:** Design the site to minimize the need for fences and walls which inhibit or discourage pedestrian use of sidewalks or paths, isolate neighborhoods, or separate neighborhoods from main roads. Allow exceptions where necessary to reduce noise, provide buffers or create private yards. (UV, NV, COSC, NC, UC)

B. **GUIDELINE:**

1. Front and side yards which abut a street should be visually open to the street. (UV, NV, COSC, NC, UC)
2. Where a fence, wall or landscaped area separates a sidewalk from a building or one development from another, pedestrian breaks and/or crossings should be placed at regular intervals. (UV, NV, COSC, NC, UC)
3. Where fences or walls are necessary to reduce noise, provide buffers, or create private yards, consider the guidelines below to maintain a pedestrian scale along the street: (UV, NV, COSC, NC, UC)
 - a. Provide art (mosaic, mural decorative masonry pattern, sculpture, relief, etc.) over a substantial portion of the blank wall surface. (UV, NV, COSC, NC, UC)
 - b. Employ small setbacks, indentations, stepped fence heights, or other means of breaking up the wall or fence surface and height. (UV, NV, COSC, NC, UC)
 - c. Employ different texture, colors, or materials (including landscape materials) to break up the wall's surface. (UV, NV, COSC, NC, UC)
 - d. Provide special lighting, a canopy, awning, horizontal trellis or other pedestrian oriented feature that breaks up the size of the blank wall's surface and adds visual interest. (UV, NV, COSC, NC, UC)

e. If fencing is required, repeat the use of facade building materials on fence columns and/or stringers. (UV, NV, COSC, NC, UC)



Alternative to solid, or blank-looking fence.

FIGURE 5A-17



FIGURE 5A-18

(Ord. 5661 §4, 1996; Ord. 5517 §1, 1995).

18.05A.070 Building design –Commercial and mixed use ☒

LEGEND

UV = Urban Village

COSC = Community Oriented Shopping Center

NV = Neighborhood Village

NC = Neighborhood Center

A. REQUIREMENT: Maintain interest at the street level in buildings which abut the street by orienting active uses (such as retail storefront window displays or restaurants) to the street and center park where possible. (UV, NV, COSC, NC)

Commercial and mixed use buildings shall appear to create a pedestrian shopping street with a clearly defined street edge and clearly defined entries. The rear of these buildings shall be designed so that they are approachable from rear yard parking where necessary and are not obtrusive to adjacent neighbors. (UV, NV, COSC, NC)

Buildings shall avoid long, monotonous uninterrupted walls or roof planes. Buildings shall use articulation and/or modulation on all walls that are visible to pedestrians. (UV, NV, COSC, NC)

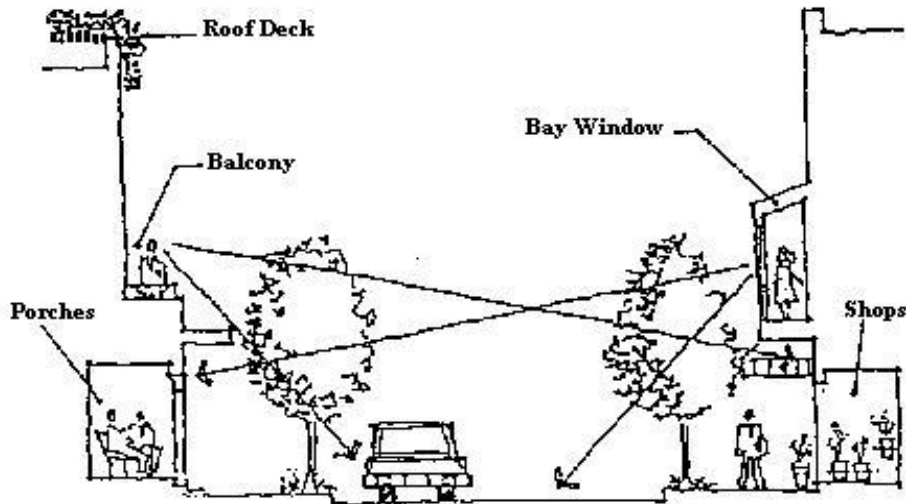
Buildings occupying corners shall be designed as more dramatic structures to emphasize their prominent locations. (UV, NV, COSC)

B. GUIDELINE:

1. Building materials and colors may include any of the following:

a. Masonry, wood, stucco, concrete, stone, and tile, each broken into small modules. (UV, NV, COSC, NC)

b. Accent or trim colors are encouraged. (UV, NV, COSC, NC)



These elements help to create an active street that is human scale and attractive to pedestrians.

FIGURE 5A-19

2. Building elements should employ:

- a. Vertical and horizontal relief in the facade that identifies a bottom, middle and top of the building. (UV, NV, COSC, NC)
- b. A clearly defined pedestrian entry facing the street. (UV, NV, COSC, NC)
- c. Window systems grouped together to form larger areas of glass separated by moldings or jambs. (UV, NV, COSC, NC)
- d. Awnings, canopies, marquees, building overhangs, or similar form of pedestrian weather protection at least four and one half (4 1/2) feet wide provided along at least eighty (80) percent of the frontage of buildings which abut a pedestrian street. (UV, NV, COSC, NC)

3. Building Proportions - Size, Height and Bulk

- a. Use design techniques that minimize the apparent size of the building such as:
 - i. Building setbacks on upper levels, (UV, NV, COSC, NC)
 - ii. Curved or articulated surfaces, (UV, NV, COSC, NC)
 - iii. Recessed entries, (UV, NV, COSC, NC)
 - iv. Roof lines, pitches and shapes, (UV, NV, COSC, NC)
 - v. Cornices, (UV, NV, COSC, NC)
 - vi. Bldg. ornamentation, (UV, NV, COSC, NC)
 - vii. Overhangs & soffits, (UV, NV, COSC, NC)
 - viii. Dormers, balconies and porches that clearly define street facing entries to residential properties, (UV, NV, COSC, NC)
 - ix. Building fenestration and detailing (store front or multi-paned windows for residential units), and (UV, NV, COSC, NC)
 - x. Awnings and marquees. (UV, NV, COSC, NC)
- b. Buildings on corner lots may be designed with additional height and architectural embellishments such as corner towers to emphasize their location. (See Figure 5A-21.) (UV, NV, COSC)



Align the bottom edge of awnings, canopies or marquees when appropriate on a group of buildings so that the unity of the store front line is maintained with adjacent buildings.



FIGURE 5A-20

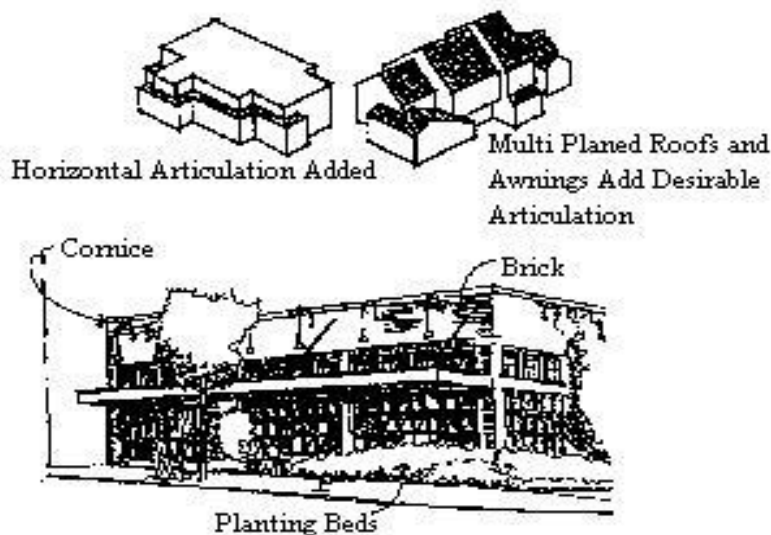
Corner buildings should be designed as more dramatic structures to emphasize their



prominent location.

Traditional style building with a clearly defined bottom, middle and top.

FIGURE 5A-21



Modern style building with a bottom, middle, and a top cornice detail. Use of a variety of materials helps to add interest to the building facade.

FIGURE 5A-22

4. Exterior Wall Treatments

- a. Provide frequent views and access into interior activities of office and commercial buildings from the street. For example, use a high proportion of clear glass at the street level or have displays or services directly available from the street where appropriate. (UV, NV, COSC, NC)
- b. In mixed use buildings, the difference between ground floor commercial uses and entrances for upper level commercial or apartment uses should be reflected by differences in facade treatment. Differentiation can be achieved through distinct but compatible exterior materials, signs, awnings and exterior lighting. (UV, NV, COSC, NC)
- c. One or more of the following wall treatments should be required for building faces fronting on a sidewalk. In total, such wall treatments should cover or comprise at least sixty (60) percent of the building face between two (2) and eight (8) feet in elevation above the sidewalk. Except as provided for in (d), wall segments without such treatments should not exceed thirty (30) feet in length: (UV, NV, COSC, NC)
 - i. Clear or lightly tinted windows which are transparent when viewed from the sidewalk; (UV, NV, COSC, NC)
 - ii. Ornamental and structural architectural details, a mosaic, decorative masonry or tile, surface texture, relief art work, sculpture or murals; (UV, NV, COSC, NC)

- iii. Climbing plants, vines, trees, or other vegetation; or (UV, NV, COSC, NC)
- iv. A pedestrian area located along the southern, eastern, or western exposure of a building face at a transit stop, intersection corner, or other location identified in an adopted streetscape plan may substitute for the wall treatments listed above. (UV, NV, COSC, NC)

Ground floor commercial uses should be differentiated by the facade treatment.

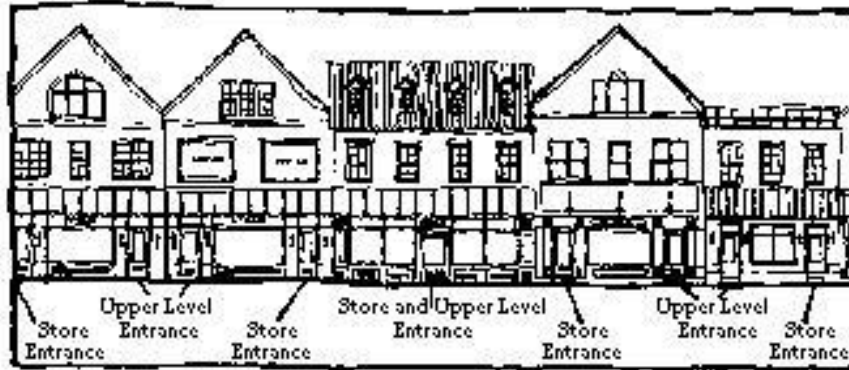


FIGURE 5A-23

(Ord. 6517 §21, 2007; Ord. 5661 §4, 1996; Ord. 5517 §1, 1995).

18.05A.080 Building design –Creation of human scale ☒

LEGEND

UV = Urban Village

COSC = Community Oriented Shopping Center

NV = Neighborhood Village

NC = Neighborhood Center

A. REQUIREMENT: Use design elements that result in buildings with a perceived size that maintains a human scale street that is comfortable for pedestrians and attractive to them. See Figure 5A-43 and Figure 5A-44. These techniques are also useful when commercial buildings abut residential development. (UV, NV, COSC, NC)

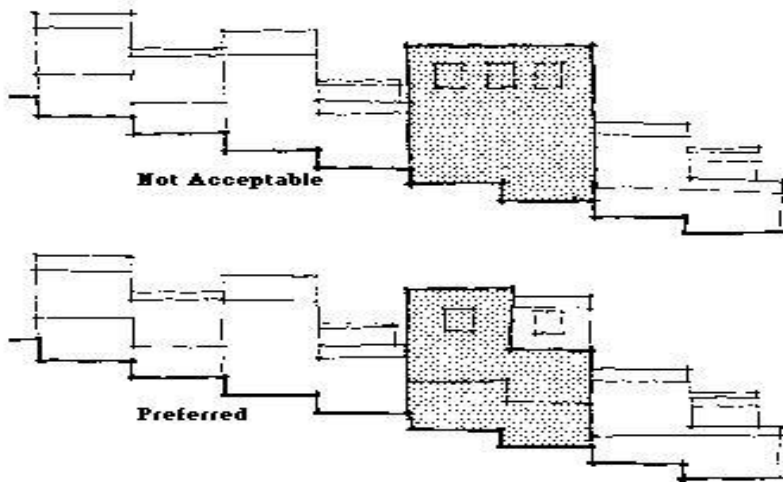
B. GUIDELINE:

1. Use rooflines to maintain apparent scale and reinforce or create architectural character on a street. (UV, NV, COSC, NC)
2. Use architectural features such as cornices or other details that lower the apparent height. (UV, NV, COSC, NC)

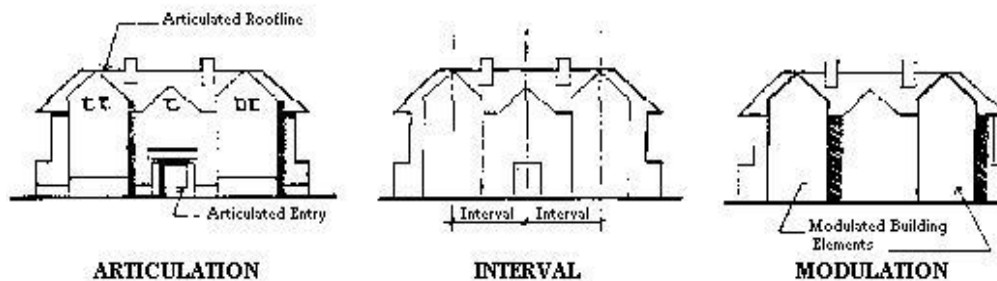
3. Use modulation (stepping back and stepping forward) and articulation on building facades to reduce the bulk of buildings. (Figure 5A-24)(UV, NV, COSC, NC) Articulation methods include:

- a. Broken rooflines
- b. Building elements such as balconies, chimneys, porches or other entry details, and landscaping.

4. Place display windows and retail shops at the street level around the exterior of larger buildings. (UV, NV, COSC)



This building is articulated into intervals. Articulation methods include modulation, broken rooflines, buildings elements (chimneys, entries, etc.) and landscaping.

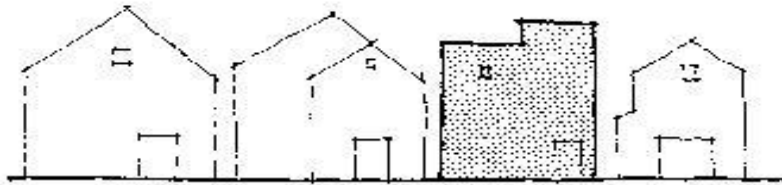


ARTICULATION
 Definitions: Articulation is the giving of emphasis to architectural elements (like windows, balconies, entries, etc.) that create a complementary pattern or rhythm, dividing large buildings into smaller identifiable pieces.

An interval is the measure of articulation - the distance before architectural elements repeat.

MODULATION
 Modulation is a measured and proportioned inflexion or setback in a building's face.

Together articulation, modulation and their interval create a sense of scale important to residential buildings.



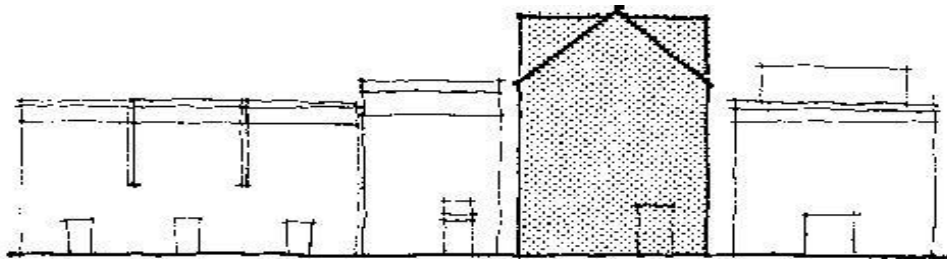
Not Acceptable



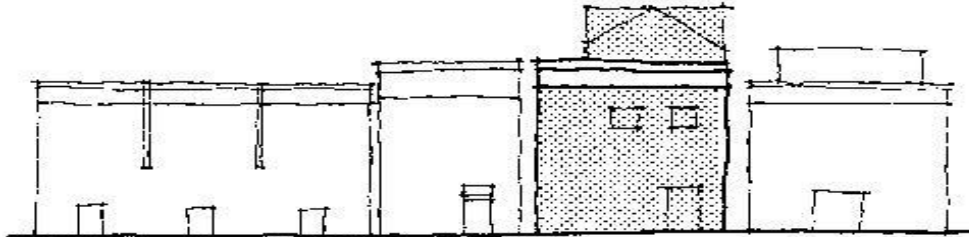
Preferred

FIGURE 5A-24

Rooflines can reinforce the architectural character of a street.

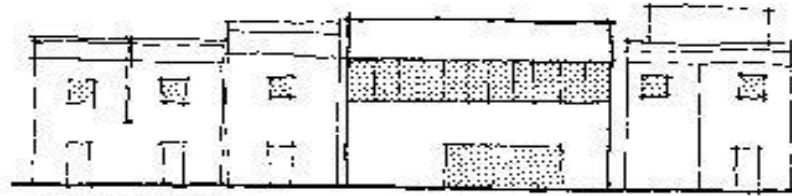


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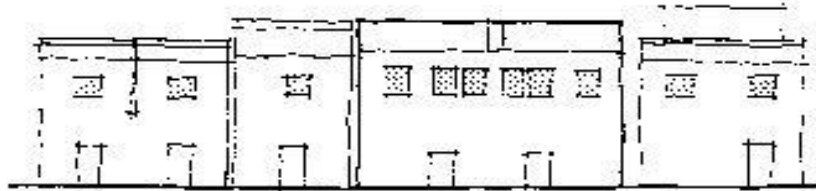


Preferred

Architectural features like cornices can relate to adjacent buildings, lowering the apparent, conflicting height of a building.



Not Acceptable



Preferred

FIGURE 5A-25

Sometimes an area has a number of buildings that feature a distinctive architectural concept or style. In these cases, using that organizational concept can achieve compatibility at a deeper level.

FIGURE 5A-26

(Ord. 6517 §22, 2007; Ord. 5661 §4, 1996; Ord. 5517 §1, 1995).

18.05A.090 Building design –Building wall finishes for stand alone and corner site buildings 

LEGEND

UV = Urban Village

COSC = Community Oriented Shopping Center

NV = Neighborhood Village

NC = Neighborhood Center

A. REQUIREMENT: Ensure buildings have consistent visual identity from all sides visible to the general public. (UV, NV, COSC, NC)

B. GUIDELINE:

1. Continue exterior materials, architectural detailing, and color scheme around all sides of the building visible to the general public. (UV, NV, COSC, NC)

a. Avoid having building fronts or backs which do not look related to the remainder of the building where more than one wall plane can be viewed at the same time. (UV, NV,

COSC, NC)

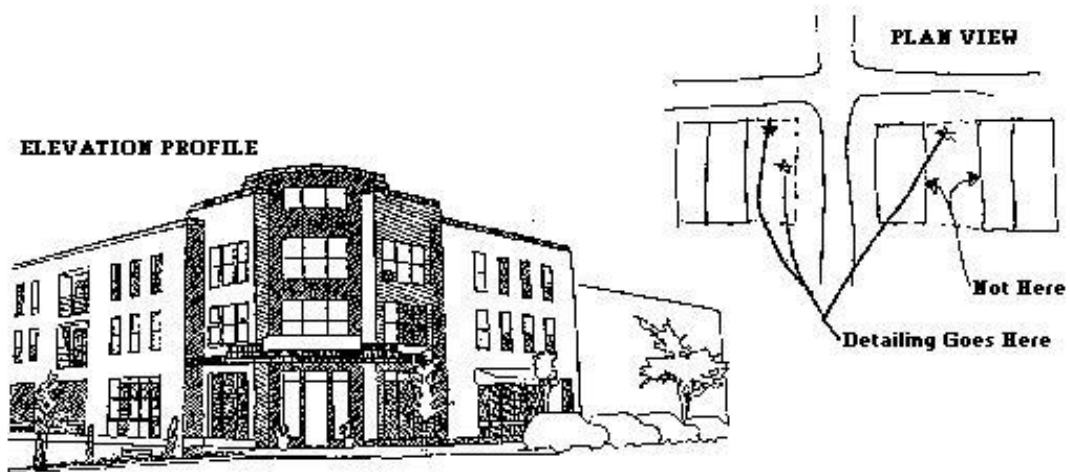


FIGURE 5A-27

(Ord. 6517 §23, 2007; Ord. 5661 §4, 1996; Ord. 5517 §1, 1995).

18.05A.100 Landscape design for villages, commercial and mixed use areas ☒

LEGEND

UV = Urban Village

COSC = Community Oriented Shopping Center

NV = Neighborhood Village

NC = Neighborhood Center

A. REQUIREMENT: Treat plantings and other landscape elements as enhancements to the more dominant built environment. Street trees shall be planted along each side of all streets. (UV, NV, COSC, NC)

B. GUIDELINE:

1. Employ any of the following planting techniques for landscape design:

a. Small planting areas with flowering shrubs. (UV, NV, COSC, NC)

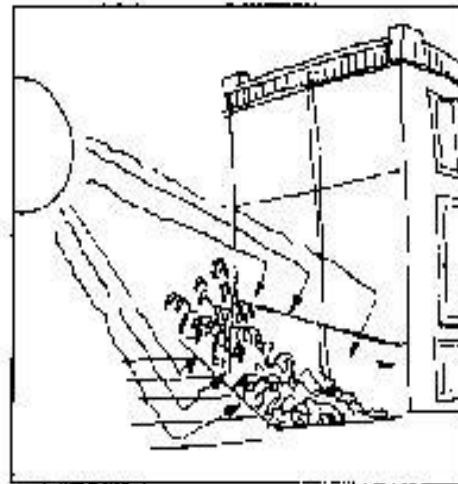
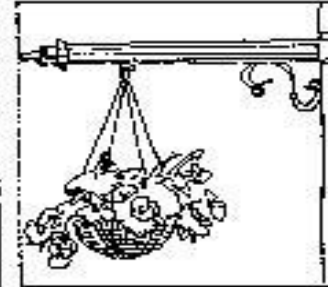
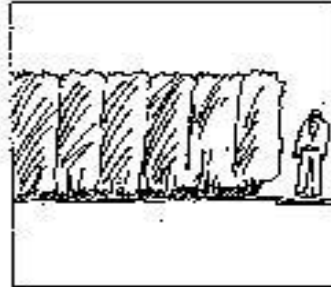
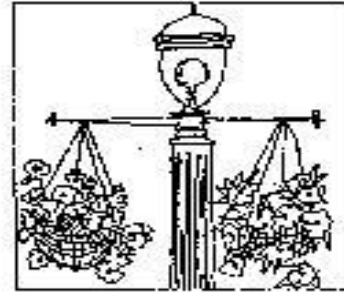
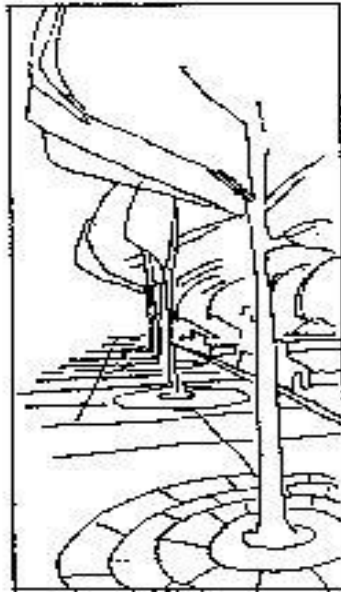
b. Trimmed hedges, window boxes, hanging flower baskets. (UV, NV, COSC, NC)

c. Use of shrubs or vines trained to grow upright on wires or trellises (espaliers) next to blank walls with narrow planting areas. (UV, NV, COSC, NC)

d. Isolated trees installed in pavement cutouts. (UV, NV, COSC, NC)

e. Street trees should be massed at critical points such as at focal points along a curve in a roadway. (UV, NV, COSC, NC)

- f. Low maintenance, low chemical dependent drought-tolerant plant materials should be used. (UV, NV, COSC, NC)
- g. Repeat similar tree and shrub types to coordinate old and new phases of development and provide visual continuity. (UV, NV, COSC, NC)
- h. Limit varieties of plant types, use shrubs in multiples of similar types, and avoid a haphazard mixture of textures, colors and plant types. (UV, NV, COSC, NC)
- i. Include a well landscaped surface stormwater treatment area in the landscape design where surface stormwater treatment is provided. (UV, NV, COSC, NC)
- j. Retain natural greenbelt vegetation that contributes to greenbelt preservation. (UV, NV, COSC, NC)
- k. The owner should provide regular maintenance to ensure that plant materials are kept healthy and that dead or dying plant materials are replaced (see Landscaping and Screening Chapter of the Olympia Unified Development Code 18.36). (UV, NV, COSC, NC)
- l. Landscape open areas created by building modulation. (UV, NV, COSC, NC)
- m. Incorporate upper story planter boxes or roof plants into facades that can be seen by pedestrians. (UV, NV, COSC, NC)
- n. Emphasize entries with special planting in conjunction with decorative paving and/or lighting. (UV, NV, COSC, NC)



Acceptable

Trees should not interfere with visibility for vehicles and pedestrians.

Not Acceptable

Plant choices should be suited to the site conditions.

FIGURE 5A-28

(Ord. 6517 §25, 2007; Ord. 5661 §4, 1996; Ord. 5517 §1, 1995).

18.05A.110 Landscape design –Screening ☒

LEGEND

UV = Urban Village

COSC = Community Oriented Shopping Center

NV = Neighborhood Village

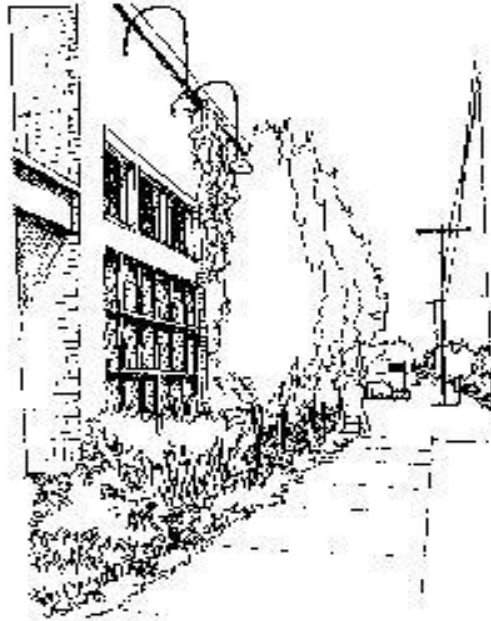
NC = Neighborhood Center

A. REQUIREMENT: Use landscaping to help define, break up and screen parking areas. Landscaping shall provide a separation between incompatible land uses or activities (such as a parking lot next to the bedrooms of a residential structure). Landscaping shall provide a physical or visual barrier for service areas, mechanical equipment, loading docks or similar areas. (UV, NV, COSC, NC)

B. GUIDELINE:

1. Canopy trees (able to spread and shade) should be added to parking areas - there should be no more than six (6) parking spaces in a row without a landscape peninsula within the parking area having a two (2) inch caliper tree, shrubs, and ground covers. (UV, NV, COSC, NC)
2. Wheel stops, curbs, or walkways should be used to protect landscaping from being run over by vehicles in the parking lot. (UV, NV, COSC, NC)
3. Screening can be provided by hedges, densely planted shrubs, evergreen trees, or combinations of these. (UV, NV, COSC, NC)
4. Screen parking from the street with low walls or fencing that maintain building facades, but also maintain vehicular sight lines at the corners and security for customers. (UV, NV, COSC, NC)
5. If fencing is required, repeat the use of facade building materials on fence columns and/or stringers. (UV, NV, COSC, NC)
6. Berms, walls and fences are encouraged in combination with trees, shrubs and vines to screen parking lots. (UV, NV, COSC, NC)
7. Raised planter boxes of concrete, stone, wood, brick or other compatible materials can provide useful separation and screening. (UV, NV, COSC, NC)
8. Locate appropriate landscape materials near building walls or service areas where screening is needed. Large planters may be used as alternative solutions. (UV, NV, COSC, NC)
9. Planters may be placed at the end of bays, on the interior or between rows of parking stalls, providing linear strips for plantings. Use of compact parking spaces as allowed provides some flexibility in design. (UV, NV, COSC, NC)

10. Unrelieved blank walls with narrow planting areas can be softened with espaliered



shrubs or vines. (UV, NV, COSC, NC)

Vines, hardy shrubs and columnar trees used to landscape a narrow planting bed.

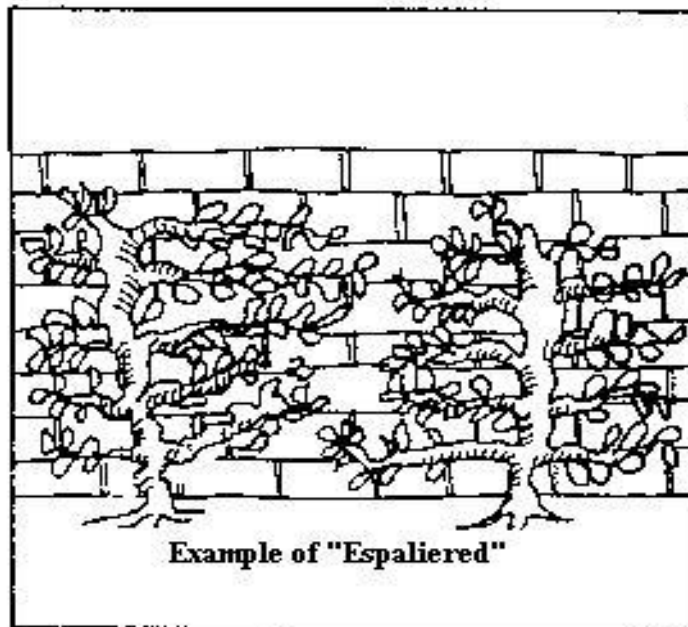


FIGURE 5A-29

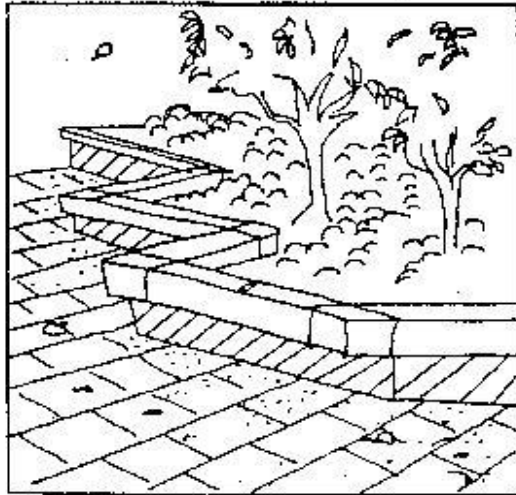


FIGURE 5A-30

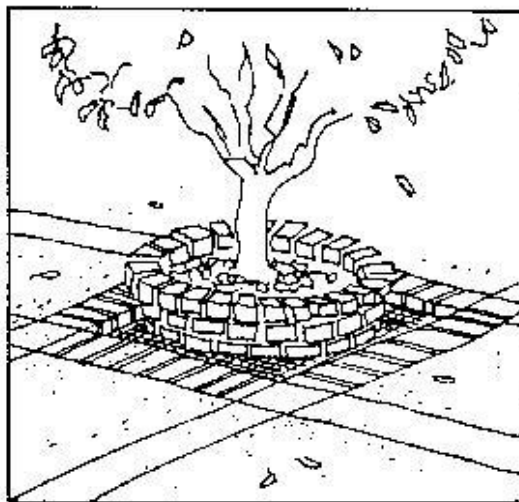


FIGURE 5A-31

(Ord. 6517 §26, 2007; Ord. 566184, 1996; Ord. 5517 §1, 1995).